



500 West Big Beaver  
Troy, MI 48084  
troymi.gov

248.524.3364  
planning@troymi.gov

## PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Carlton Faison, Chairman, Tom Krent, Vice Chairman  
Ollie Apahidean, Karen Crusse, Barbara Fowler,  
Michael W. Hutson, David Lambert, Sadek Rahman and John J. Tagle

---

**November 26, 2019**

**7:00 P.M.**

**Council Chambers**

---

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – November 12, 2019
4. PUBLIC COMMENT – For Items Not on the Agenda

### **SPECIAL USE**

5. PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2019-0033) – Proposed Bethesda Romanian Pentecostal Church Addition, North of Long Lake, East of John R, South of Tucker (2075 E Long Lake), Section 12, Currently Zoned R-1C (One Family Residential) District
6. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SP JPLN2019-0036) - Proposed Horizon Bank Site Improvements, West side of Crooks, south of Big Beaver (2555 Crooks), Section 29, Currently Zoned O (Office) District
7. PUBLIC COMMENT – Items on Current Agenda
8. PLANNING COMMISSION COMMENT

**ADJOURN**

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Faison called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on November 12, 2019 in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Ollie Apahidean  
Karen Crusse  
Carlton M. Faison  
Barbara Fowler  
Michael W. Hutson  
Tom Krent  
David Lambert  
Sadek Rahman  
John J. Tagle

Also Present:

R. Brent Savidant, Community Development Director  
Ben Carlisle, Carlisle Wortman Associates  
Julie Quinlan Dufrane, Assistant City Attorney  
Jackie Ferencz, Planning Department Administrative Assistant  
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2019-11-075**

Moved by: Tagle  
Support by: Rahman

**RESOLVED**, To approve the Agenda as prepared.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES

**Resolution # PC-2019-11-076**

Moved by: Lambert  
Support by: Fowler

**RESOLVED**, To approve the minutes of the October 22, 2019 Regular meeting as submitted.

Yes: Apahidean, Crusse, Faison, Fowler, Hutson, Krent, Lambert, Rahman  
Abstain: Tagle

**MOTION CARRIED**



4. PUBLIC COMMENT – Items not on the Agenda

There was no one present who wished to speak.

**SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW**

5. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2019-0008) – Proposed Courtyard Hotel, East side of New King, West of Crooks, 5550 New King (PIN 88-20-08-276-006), Section 8, Currently Zoned OM (Office Mixed Use) Zoning District

Mr. Carlisle reviewed the Special Use and Preliminary Site Plan application for the proposed Courtyard Hotel. He addressed the Conditional Rezoning Agreement approved in 2012, specifics of the Phase 2 site plan and the traffic study prepared by Rowe Professional Services and reviewed by the City Traffic Consultant (OHM). Mr. Carlisle voiced support for the hotel use and stated the application meets the Special Use Standards. He asked the Planning Commission to consider any comments from the Public Hearing and discuss the applicant's request to waive the loading space and building materials and elevations.

Mr. Carlisle recommended approval of the Special Use and Preliminary Site Plan application with the conditions to provide traffic improvements as noted in the traffic study and any changes to the building materials or elevations if desired.

Andy Andre of Stellar Development addressed the traffic impact study, shared parking, pedestrian connectivity within the development, building materials and the hotel target market.

PUBLIC HEARING OPENED

There was no one present who wished to speak.

PUBLIC HEARING CLOSED

There was discussion on:

- Traffic improvements; left-hand turn lane on Corporate.
- Number of hotels in City; study in future.
- Potential to add banquet hall.
- Architectural features; break up massing on elevation facing Crooks.

**Resolution # PC-2019-11-077**

Moved by: Krent

Support by: Fowler

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval, pursuant to Articles 8 and 9 of the Zoning Ordinance, as requested for the proposed Courtyard Hotel, located on the East side of New King, West of Crooks, 5550 New King (PIN 88-20-08-276-006), Section 8, Currently Zoned OM (Office Mixed Use) Zoning District, be granted, subject to the following:

1. Provide a deviation of the one (1) required loading space.
2. Incorporate dimensional articulation and interest to the elevation that faces Crooks, to be approved administratively.
3. Work with the Engineering Department to provide required traffic improvements as noted in the traffic study.

Yes: All present (9)

**MOTION CARRIED**

6. PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2019-0032) – Proposed GFA Long Lake Multifamily Development, West side of Dequindre, North of Long Lake (PIN 88-20-12-476-070), Section 12, Currently Zoned NN (Neighborhood Node “J”) and EP (Environmental Protection) Zoning Districts

Mr. Carlisle reviewed the Preliminary Site Plan application for the proposed multifamily development. He addressed the EP-zoned strip of property along the northern property line, shared access with Taco Bell, parking, landscaping and elevations. Mr. Carlisle said the application meets requirements of the NN zoning district and the Site Plan standards. He recommends shifting the development 10 feet to the east to provide a better transition with the residential homes on the west.

Mr. Carlisle recommended Preliminary Site Plan approval with the conditions as identified in his report dated November 5, 2019.

Gary Abitheira addressed the application as relates to the EP-zoned property along the northern property line, shared access and the target market for townhomes.

Chair Faison opened the floor for public comment.

- Avis Landmesser, 568 Ottawa; asked for clarification on general site plan specifics.
- Azhagu Subramanian, 5114 Fedora; addressed buffer transition and privacy.

Chair Faison closed the floor for public comment.

There was discussion on:

- Shared access drive with Taco Bell.
- Design layout as relates to proximity of Taco Bell.
- Courtyard and sidewalk connectivity; opportunity to create additional green space.
- Transition buffer to adjacent residential.
- Property zoned EP; intent of EP zoning district historically.
- Potential to rezone EP-zoned property for better design layout; traditional versus conditional rezoning.
- Building materials in relation to target market; millennials.

**Resolution # PC-2019-11-078**

Moved by: Krent

Support by: Tagle

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed GFA Long Lake Multifamily Development, located on the West side of Dequindre, North of Long Lake (PIN 88-20-12-476-070), Section 12, Currently Zoned NN (Neighborhood Node “J”) and EP (Environmental Protection) Zoning Districts, be postponed for the following reason:

1. To allow the developer ample time to consider all the opinions and ideas expressed by the Commission.

Yes: All present (9)

**MOTION CARRIED**

**OTHER BUSINESS**

7. **PUBLIC COMMENT**

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments, some relating to:

- EP zoning designation; assessment of existing EP-zoned properties.
- Joint meeting with City Council in the future.
- “No” votes; practice of stating reason.
- Appearance of Town Center Drive; skate park; construction equipment.
- Appreciation to Department of Public Works for clearing snow.
- Design standards as relates to “compatibility”.

The Regular meeting of the Planning Commission adjourned at 9:00 p.m.

Respectfully submitted,

---

Carlton Faison, Chair

---

Kathy L. Czarnecki, Recording Secretary

C:\Users\bob\Documents\Kathy\COT Planning Commission Minutes\2019\2019 11 12 Regular Meeting\_Draft.doc

DATE: November 21, 2019

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2019-0033) – Proposed Bethesda Romanian Pentecostal Church Addition, North of Long Lake, East of John R, South of Tucker (2075 E Long Lake), Section 12, Currently Zoned R-1C (One Family Residential) District

The petitioner CMA Design Services submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application to construct an addition to Bethesda Romanian Pentecostal Church.

Bethesda Romanian Pentecostal Church submitted a previous Special Use application for an addition in 2017. The item was considered by the Planning Commission at four meetings and was denied approval on April 9, 2019. This application is considered a new and separate application.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Public comment

G:\SPECIAL USE\SU JPLN2019-0033 BETHESDA CHURCH ADDITION\PC Memo 11 26 2019.docx

## PROPOSED RESOLUTION

PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2019-0033) – Proposed Bethesda Romanian Pentecostal Church Addition, North of Long Lake, East of John R, South of Tucker (2075 E Long Lake), Section 12, Currently Zoned R-1C (One Family Residential) District

### **Resolution # PC-2019-11-**

Moved by:

Seconded by:

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Bethesda Romanian Pentecostal Church Addition, North side of Long Lake Road, East of John R, South of Tucker (2075 E. Long Lake), Section 12, Currently Zoned R-1C (One Family Residential) District, be **[approved] or [approved with conditions] or [denied] or [postponed]**.

The Planning Commission makes the following findings of fact and conclusions based on written materials, comments and testimony of the Applicant's representatives, other interested persons, professional consultants and other factual material presented to the Commission to assist with its deliberation:

1. The building addition **[is] or [is not]** designed in a manner that is harmonious with the character of adjacent property and the surrounding area because:
  - a. the applicant **[has] or [has not]** mitigated the building massing and visual impact through architectural design and landscape buffering.
  - b. Building massing is inconsistent with the character of adjacent properties and the surrounding area.
  - c. A tenet of the Master Plan is the protection of single family neighborhoods. The proposed addition **[is] or [is not]** compatible with the existing homes on Tucker.
  - d. [insert additional reasons, if any]
  - e. [insert additional reasons, if any]
2. The proposed addition **[does] or [does not]** impact traffic on Tucker Street and **[does] or [does not]** significantly impact traffic entering and exiting the site because \_\_\_\_\_.
3. The project **[is] or [is not]** adequately served by essential public facilities and services because \_\_\_\_\_.
4. The addition **[complies] or [does not comply]** with all applicable ordinance standards because \_\_\_\_\_.

5. The proposed addition [**does**] or [**does not**] unreasonably impact the quality of the neighborhood on Tucker Street in comparison to the impacts associated with typical permitted uses.

Be it finally resolved, approval shall be subject to the following conditions:

---

Yes:

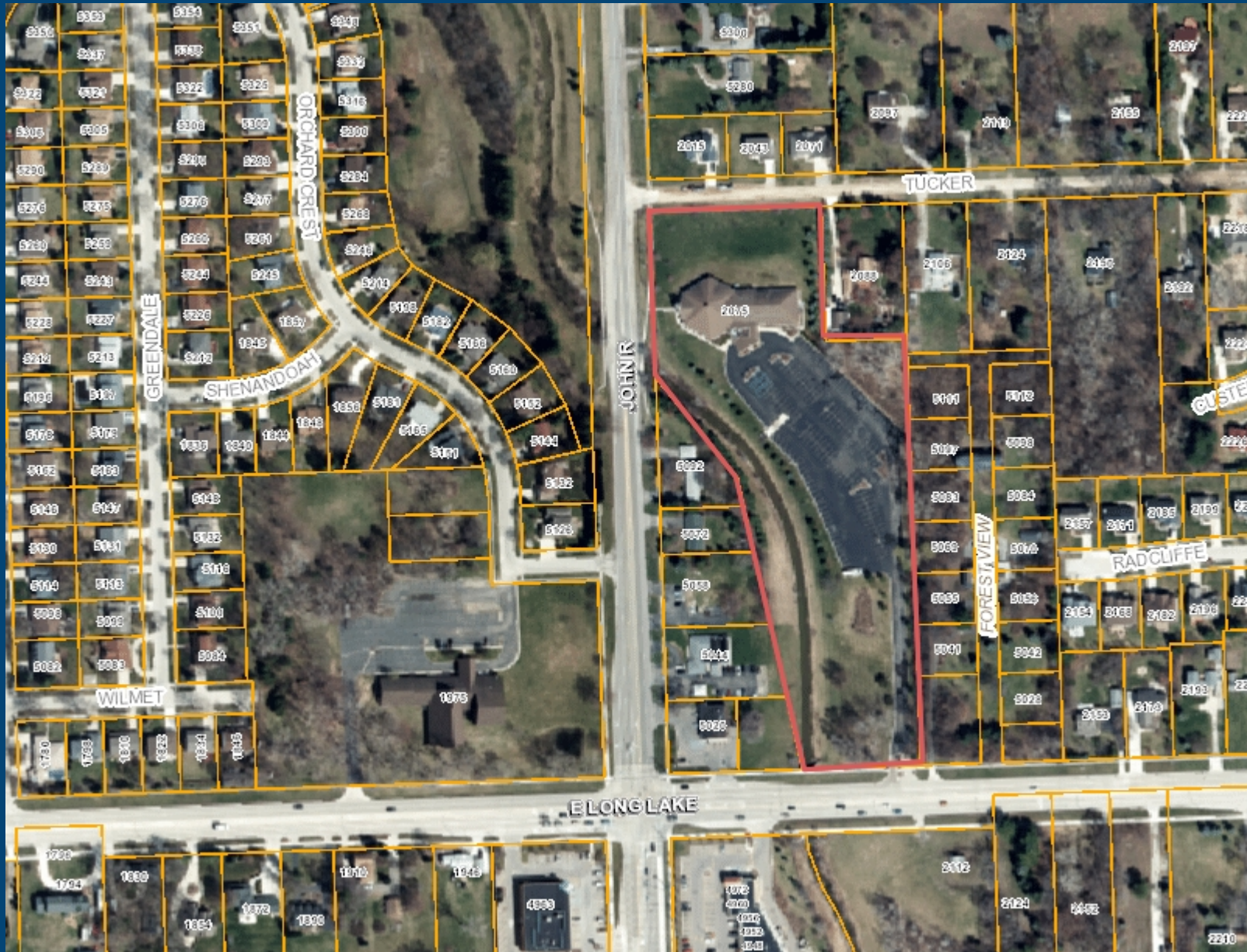
No:

Absent:


**MOTION CARRIED / FAILED**

# Bethesda Romanian Church Addition

City of Troy Planning Department




## Legend:

 Tax Parcel

Aerial

 Red: Band\_1

 Green: Band\_2

 Blue: Band\_3

752 0 376 752Feet

Scale 1:4,514

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 3/7/2017



# Bethesda Romanian Church Addition

























City of Troy Planning Department



## Legend:

 Tax Parcel

### Form Based Zoning 2

-  (PUD) Planned Unit Development
-  (PUD) Planned Unit Development
-  (CF) Community Facilities District
-  (EP) Environmental Protection District
-  (BB) Big Beaver Road
-  (MR) Maple Road
-  (NN) Neighborhood Nodes (A-U)
-  (CB) Community Business
-  (GB) General Business
-  (IB) Integrated Industrial Business District
-  (O) Office Building District
-  (OM) Office Mixed Use
-  (P) Vehicular Parking District
-  (R-1A) One Family Residential District
-  (R-1B) One Family Residential District
-  (R-1C) One Family Residential District
-  (R-1D) One Family Residential District
-  (R-1E) One Family Residential District
-  (RT) One Family Attached Residential District
-  (MF) Multi-Family Residential
-  (MHP) Manufactured Housing
-  (UR) Urban Residential
-  (RC) Research Center District
-  (PV) Planned Vehicle Sales

### Aerial

-  Red: Band\_1
-  Green: Band\_2
-  Blue: Band\_3

752 0 376 752Feet

Scale 1: 4,514

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 3/7/2017



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 5, 2019

## **Special Use and Site Plan Review For City of Troy, Michigan**

<b>Applicant:</b>	Simon Timbuc, Pastor
<b>Project Name:</b>	Bethesda Romanian Pentecostal Church Addition
<b>Plan Date:</b>	September 19, 2019 (Stamped)
<b>Location:</b>	2075 E. Long Lake Road, Troy MI 48085
<b>Zoning:</b>	R-1C Single Family Residential
<b>Action Requested:</b>	Special Use and Site Plan Approval

### **PROJECT AND SITE DESCRIPTION**

The applicant is requesting site plan approval for an addition and site improvements to an existing place of worship located on East Long Lake Road, east of John Road. The proposed two-story addition is a total of 15,780 square feet. The addition is located on the north side of the property, adjacent to Tucker Drive. The two-story building addition includes a fellowship hall, warming kitchen, chapel, restrooms, and eight (8) Sunday school classrooms. Other site improvements include additional landscaping, and a stormwater management detention pond. The addition will require the regrading of the berm that exists along Tucker.

The Planning Commission denied for a building addition on April 4, 2019. The applicant has resubmitted a revised application.



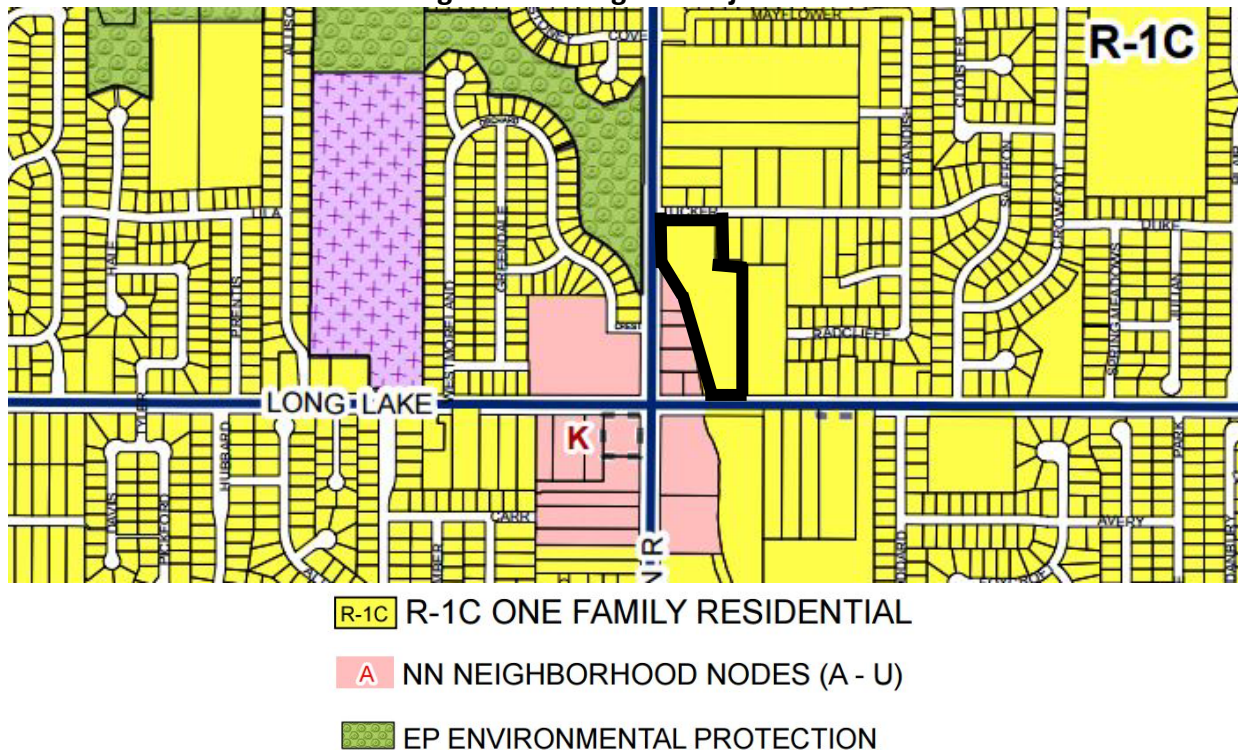
The site is zoned R-1C, and the proposed additional requires a Special Use Permit.

**Figure 1. Location of Subject Site**



Source: Google Maps

**Figure 2. Zoning for Subject Site**



Source: City of Troy Zoning Map

**Table 1. Zoning of Adjacent Properties**

	<b><u>Master Plan</u></b>	<b><u>Zoning</u></b>	<b><u>Use</u></b>
North	Single Family Residential	R-1C	Residential
South	Single Family Residential	R-1C and NN (K)	Commercial & Residential
East	Single Family Residential	R-1C	Residential
West	Single Family Residential	NN (K) and EP	Residential & Environmental Preservation

#### PHOTO OF LOCATION

The proposed location of addition.



## LAST PLANNING COMMISSION REVIEW

The Planning Commission passed the following resolution on April 9, 2019:

**Resolution # PC-2019-04-026**

*Moved by: Crusse*

*Support by: Krent*

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Bethesda Romanian Pentecostal Church Addition, North side of Long Lake, East of John R, South of Tucker (2075 E. Long Lake), Section 12, Currently Zoned R-1C (One Family Residential) District, be denied.

*The Planning Commission makes the following findings of fact and conclusions based on written materials, comments and testimony of the Applicant's representatives, other interested persons, professional consultants and other factual material presented to the Commission to assist with its deliberation:*

1. *The building addition is not designed in a manner that is harmonious with the character of adjacent property and the surrounding area because:*
  - a. *The applicant has not mitigated the building massing and visual impact through architectural design and landscape buffering.*
  - b. *Building massing is inconsistent with the character of adjacent properties and the surrounding area.*
  - c. *A tenet of the Master Plan is the protection of single family neighborhoods. The proposed addition is not compatible with the existing homes on Tucker.*
2. *The proposed addition does unreasonably impact the quality of the neighborhood on Tucker Street in comparison to the impacts associated with typical permitted uses.*

*Yes: Crusse, Faison, Krent, Lambert, Rahman*

*No: Hutson, Tagle*

*Absent: Fowler*

*Recused: Apahidean*

## PLAN CHANGES

The applicant has resubmitted their application. Though it's a new application, we note the following changes to the application:

1. Reduced the building size from 19,167 sq/ft to 15,780 sq/ft
2. Reduced building footprint from 14,605 sq/ft to 12,026 sq/ft
3. Reduced height to 26'-8"

4. Excluding window bumpouts, increased setback on Tucker from 55-feet to 59-feet
5. Eliminated the gym use
6. Reduced number of classrooms
7. Altered first floor windows to reduce visual impact on Tucker
8. Eliminated all second-floor windows

## LANDSCAPE, ACOUSTICS, and PHOTOMETRICS

### Landscape:

The applicant proposes the following landscaping:

Type	Number	Height at time of planting	Maximum Height
Concolor Fir	18	10-12 feet	30-50 feet
Little Leaf Linden	6	4-5-inch diameter	50-60 feet
Green Giant Arborvitae	12	9-10 feet	50-60 feet
Forsythia (shrub)	21	36 inches	8-10 feet

### Acoustic Calculations:

The applicant has provided an acoustic study. The study concludes that at the Tucker Road property line the decibel level is approximately 22 decibels. That equates to a “faint” noise.

### Photometric:

The applicant has provided a photometric plan that complies with ordinance requirements.

## STANDARDS FOR APPROVAL

Places of Worship, and associated uses, are permitted subject to Special Use approval. For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, take action on the request, or grant the request subject to specific conditions.”

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

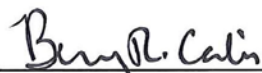


2. *Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*
3. *Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*
4. *Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*
5. *Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*
6. *Impact on the Overall Environment. The proposed Special Use shall not unreasonably impact the quality of natural features and the environment in comparison to the impacts associated with typical permitted uses.*
7. *Special Use Approval Specific Requirements. The general standards and requirements of this Section are basic to all uses authorized by Special Use Approval. The specific and detailed requirements relating to particular uses and area requirements must be also satisfied for those uses.*

#### RECOMMENDATION

The Planning Commission shall determine if the applicant has provided sufficient evidence to meet the special use standards.

If the Planning Commissions finds the special use standards have been met, the Planning Commission may approve the special use and preliminary site plan.



CARLISLE/WORTMAN ASSOC., INC.  
Benjamin R. Carlisle, LEED AP, AICP



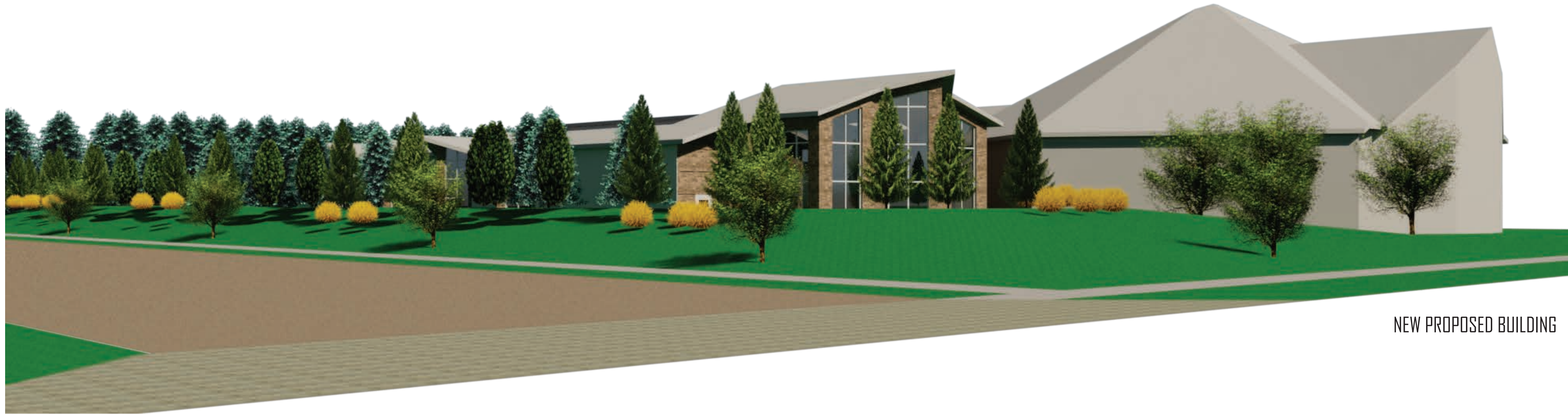
# BETHESDA ROMANIAN PENTECOSTAL CHURCH

## 2075 E LONG LAKE RD, TROY, MI 48085



ORIGINAL PROPOSED BUILDING  
APRIL 2019

(RENDERING SHOWN AT 10 YEAR GROWTH)

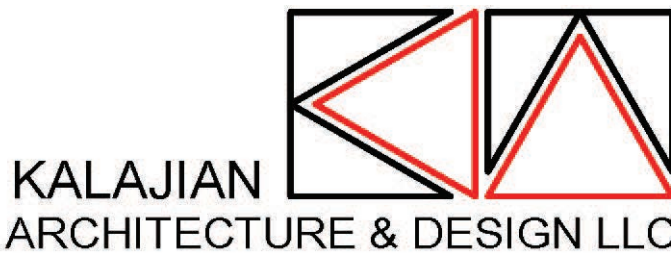


NEW PROPOSED BUILDING

(RENDERING SHOWN AT 10 YEAR GROWTH)



BUILDER: CMA DESIGN SERVICES  
8183 RHODE DDR, SUITE B  
SHELBY TWP., MI 48317



ARCHITECT: KALAJIAN ARCHITECTURE & DESIGN  
7871 AUSTIN DR.,  
TROY, MI 48083



OWNER: BETHESDA ROMANIAN PENTECOSTAL CHURCH  
2075 E LONG LAKE RD.  
TROY, MI 48085

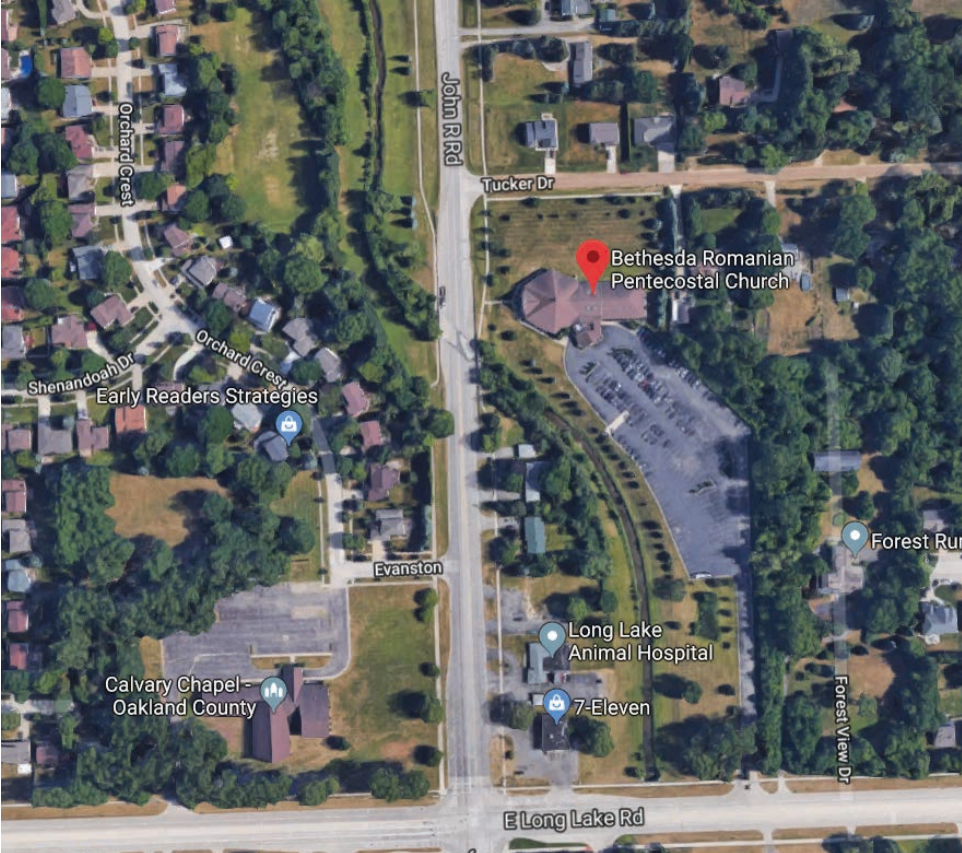
INDEX:	
TITLE	PAGE NUMBER
SITE OVERVIEW/LANDSCAPE/ IRRIGATION	C-1
NOWAK & FRAUS	SP-1
NOWAK & FRAUS	SP-2
NOWAK & FRAUS	SP-3
NOWAK & FRAUS	SP-4
FEMA FIRM MAP	F-1
FEMA FIRM MAP	F-2
FEMA CLOSE UP	F-3
FLOOR PLAN	A-2
SECOND FLOOR PLAN	A-2a
ELEVATIONS	A-3
ACOUSTICS	A-4
SITE ISOMETRIC	A-5
PHOTOMETRIC	E-1

### PREVIOUS PLANNING COMMISSION COMMENTS

- SMELLS/ODORS COMING FROM THE KITCHEN
  - PLEASE BE AWARE THAT THE KITCHEN SHOWN ON THE PROPOSED ADDITION IS SOLELY FOR THE PURPOSE OF WARMING ALREADY PREPARED FOOD
- DUMPSTER LOCATION/ TRASH PICKUP
  - THE CHURCH WILL NOT HAVE ANY TRASH PICK UP SCHEDULED ALONG TUCKER DRIVE AND WILL UTILIZE THE SAME TRASH SERVICE THAT IS CURRENTLY IN PLACE FOR THE EXISTING BUILDING. THE EXISTING DUMPSTER SURROUND IS LOCATED ON THE SOUTHWEST SIDE OF THE CHURCH'S PARKING LOT AND ACCESSED THROUGH THEIR LONG LAKE RD ENTRANCE
- ALTERNATE LOCATIONS FOR ADDITION:
  - THE REMAINING SITE HAS MANY RESTRICTIONS SUCH AS PARKING, EASEMENTS AND WETLANDS LOCATIONS. AN ADDITION ON THE SOUTH SIDE OF THE EXISTING CHURCH WOULD REQUIRE LOST PARKING SPACES TO BE RE-LOCATED TO THE NORTH SIDE OF THE CHURCH
  - ANYWHERE ELSE THE ADDITION IS PLACED WITHIN THE SITE WOULD OCCUR WITHIN THE FLOOD PLAN AS SHOWN WITHIN THE FLOOD PLAIN MAP PROVIDED. THIS WOULD NOT MAKE IT FEASIBLE WITHOUT MITIGATION WHICH WOULD BE IMPRACTICAL WITH THIS SITE SINCE MOST OF IT IS WITHIN THE FLOOD PLAIN ZONE OTHER THAN THE EXISTING AND PROPOSED BUILDING LOCATION
- THE SCHEDULED CHURCH TIMES ARE AS FOLLOWS:
  - SUNDAY 9:00 A.M. AND 5:00 P.M.
  - TUESDAY: 6:30 P.M.
  - WEDNESDAY: 7:00 P.M.
  - THURSDAY: 5:30 P.M. AND 7:00 P.M.
  - FRIDAY: 6:00 P.M. (BAND & CHOIR PRACTICE) AND 6:30 P.M. (BAND & CHOIR PRACTICE) 8:00P.M (YOUTH GROUP)
  - SATURDAY: 10:30 A.M. AND 6:00 P.M. (MENS CHOIR)
  - A FULL SCHEDULE INCLUDING SPECIAL EVENTS CAN BE SEEN BY CLICKING ON THE PROVIDED LINK TO THE CHURCH WEBSITE CALANDER: [HTTP://WWW.BETESDA.COM/CALANDER/](http://www.betesda.com/calander/)
- LANDSCAPING MAINTENANCE
  - ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED SEE PG. C-1
  - ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRDACH UPON ABUTTING PROPERTIES OR RIGHT-OF-WAYS
  - LANDSCAPING TO BE INSTALLED AT THE START OF THE PROJECT TO ACT AS A VISUAL BUFFER BETWEEN NEIGHBORS AND ACTIVE SITE
- SITE ACCESS
  - SEE PAGE C-1 TO VIEW SUGGESTED CONSTRUCTION DRIVEWAYS
- NOISE
  - PLEASE SEE ACOUSTIC STUDY ON PAGE A-4
- SIZE OF THE BUILDING
  - THE OVERALL SQFT. WAS REDUCED FROM 19,200 SQFT (FIRST SUBMISSION) TO 12,026 SQFT. PLEASE SEE PRIMARY PROJECT CHANGES AS WELL AS PAGE A-3
  - THE BUILDING HEIGHT WAS REDUCED FROM THE ORIGINAL 39'-0" TO A HEIGHT OF 28'-0" PLEASE SEE PRIMARY PROJECT CHANGES AS WELL AS PAGE A-3
- WINDOWS
  - WINDOWS WERE KEPT TO A MINIMUM ON THE NORTH SIDE OF THE BUILDING WITH WESTWARD EXPOSURE( NOT FACING TUCKER)
- PROPERTY VALUE
  - N/A

### BUILDING INFORMATION:

BUILDING CODE:	2015 MICHIGAN BUILDING CODE
MECHANICAL CODE:	2015 MICHIGAN MECHANICAL CODE
PLUMBING CODE:	2015 MICHIGAN PLUMBING CODE
ELECTRICAL CODE:	2017 NATIONAL ELECTRIC CODE (2017 NEC) W/ PART 8 AMENDMENTS
ENERGY CODE:	ASHRAE 90.1 2013 PART 10A MICHIGAN UNIFORM ENERGY
FIRE CODE:	2015 INTERNATIONAL FIRE CODE
BARRIER FREE:	P.A. 1 OF 1966 AS AMENDED CHAPTER II OF THE MICHIGAN BUILDING CODE, ICC/ANSI A117.1-3009 STANDARD AS REFERENCED FROM CHAPTER II
USE GROUP:	A-3 ASSEMBLY USES INTENDED FOR WORSHIP
CONSTRUCTION TYPE:	
BUILDING AREA:	FIRST FLOOR- 12,026 SQFT SECOND FLOOR- 3,754 SQFT
SPRINKLERED:	YES
RISK CATEGORY:	III
OCCUPANCY:	PER TABLE 1004.2 MICHIGAN BUILDING CODE 2015 (FLOOR AREA IN SQ.FT. PER PERSON) (MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT) WITHOUT FIXED SEATS 7 NET STANDING SPACE 5 NET UNCONCENTRATED (TABLES AND CHAIRS) 15 NET
ASSEMBLY:	
CLASSROOM:	20 NET
FOUNDATION SOIL BEARING:	2,000 PSF ASSUMED
ROOF LIVE LOAD:	
ROOF DEAD LOAD:	
GROUND SNOW LOAD:	
FROST DEPTH:	42 IN.
WIND LOAD:	115 MPH
SEISMIC LOAD:	Ss= 0.12 SI= 0.043



PROJECT LOCATION: BETHESDA ROMANIAN PENTECOSTAL CHURCH  
2075 E LONG LAKE RD.  
TROY, MI 48085

### GENERAL STATEMENTS/NOTES:

- LANDSCAPING MAINTENANCE - SEE ATTACHED STATEMENT
- CLASSROOM USE- SEE ATTACHED STATEMENT
- CONSTRUCTION TRAFFIC- SEE PAGE C-1
- MEETING WITH NEIGHBORS ON \_\_\_\_ / \_\_\_\_
- CONSTRUCTION PHASE I- PLANTING TO CONCEAL SITE WORK
- PARKING

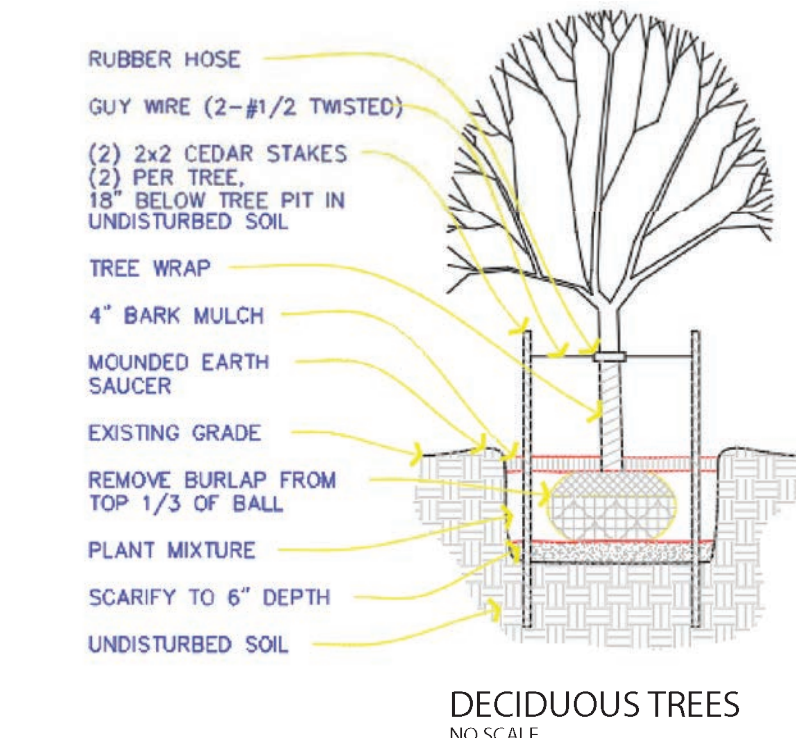
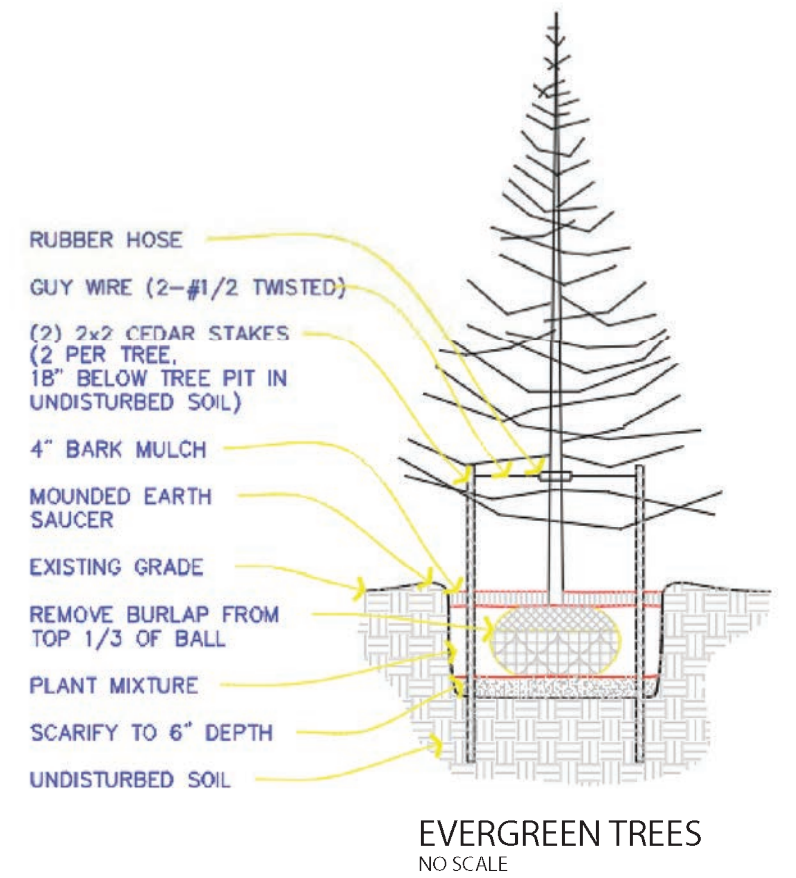
### PRIMARY PROJECT CHANGES

- FOOTPRINT:
  - FIRST SUBMISSION- 19,200 SQFT
  - APRIL 2019 SUBMISSION- 14,606 SQFT.
  - NEW SUBMISSION- 12,026 SQFT.
  - DIFFERENCE BETWEEN SUBMISSIONS- 2,579 SQFT
  - REDUCTION 37.4 % FROM THE FIRST SUBMISSION
- HEIGHT:
  - FIRST SUBMISSION- 39'-0"
  - 2019 SUBMISSION- 30'-0"
  - NEW SUBMISSION- 26'-8"
- VISIBILITY FROM BLDG TO NEIGHBORS
- REMOVED BASKETBALL COURT
- REDUCED CLASSROOMS

### PREVIOUS SUBMISSIONS

PLANNING COMMISSION SUBMISSION	2017.04.25
PLANNING COMMISSION SUBMISSION	2017.07.25
PLANNING COMMISSION SUBMISSION	2018.10.09
PLANNING COMMISSION SUBMISSION	2019.02.26
PLANNING COMMISSION SUBMISSION	2019.





CONCOLOR FIR "ABIES CONCOLOR"	LITTLELEAF LINDEN "TILIA CORDATA"	GREEN GIANT ARBORVITAE "THUJA STANDISHII X PLICATA"	FORSYTHIA "FORSYTHIA X INTERMEDIA"
TREE TYPE: EVERGREEN	TREE TYPE: DECIDUOUS	TREE TYPE: EVERGREEN	TREE TYPE: FLOWERING SHRUB
QUANTITY: 18	QUANTITY: 6	QUANTITY: 12	QUANTITY: 21
PLANTING SIZE: 8'-10'	PLANTING SIZE: 3" DIA.	PLANTING SIZE: 6'-7'	PLANTING SIZE: 36"
MATURE SIZE: HEIGHT: 30'-50' WIDTH: 20'	MATURE SIZE: HEIGHT: 50'-60' WIDTH: 40'	MATURE SIZE: HEIGHT: 50'-60' WIDTH: 12'-20'	MATURE SIZE: HEIGHT: 8'-10' WIDTH: 10'-12'
GROWTH RATE: 12"-24" PER A YEAR	GROWTH RATE: 13"-24" PER A YEAR	GROWTH RATE: AT LEAST 24" PER A YEAR	GROWTH RATE: AT LEAST 24" PER A YEAR

CF	LL	GGA	FOR
----	----	-----	-----

**GENERAL STATEMENTS/NOTES:**

- ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED.
- ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRDACH UPON ABUTTING PROPERTIES OR RIGHT-OF-WAYS.
- LANDSCAPING TO BE INSTALLED AT START OF PROJECT TO ACT AS VISUAL BUFFER BETWEEN NEIGHBORS AND ACTIVE SITE

- LANDSCAPE NOTES PER CITY OF TROY**
1. ALL PLANT MATERIAL SHALL CONFORM IN BOTANICAL NAME, DIMENSIONS AND QUALITY OF "HORTICULTURE STANDARDS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSEYMEN (AAN).
  2. ALL BARE ROOT (BR) PLANT MATERIAL SHALL HAVE A WELL BRANCHED ROOT SYSTEM, CHARACTERISTIC OF THE SPECIES. THE ROOT SYSTEM WILL MEET THE MINIMUM STANDARDS FOR BARE ROOT NURSERY STOCK AS SET DOWN BY THE AAN.
  3. BALLED AND BURLAPPED (B & B) PLANT MATERIAL SHALL BE WITH ORIGINAL SOIL, INTACT WITH THE FIBROUS ROOTS TO INSURE MAXIMUM RECOVERY AFTER TRANSPLANTING.
  4. POTTED PLANTS SHALL HAVE SUFFICIENT ROOT STRUCTURES TO INSURE FULL RECOVERY AND DEVELOPMENT.
  5. ANY PLANTS EXISTING ON THE SITE REQUIRING RELOCATION MUST BE DUG IN ACCORDANCE WITH THE ABOVE STATED STANDARDS.
  6. NURSERY STOCK SHALL BE VIGOROUS FREE FROM DISEASE, INSECTS, INSECT EGGS, OR LARVAE.
  7. SUBSTITUTION OF MATERIALS INCLUDED IN AN APPROVED PLAN SHALL BE MADE WITH THE CONSENT OF THE CITY. THE OWNER MAY REQUEST AN AMENDMENT VERBALLY OR IN WRITING. THE DEVELOPER SHALL PROVIDE AN AS-BUILT DRAWING INDICATING THE CHANGES PRIOR TO THE RELEASE OF THE LANDSCAPE DEPOSIT.

- TREE PROTECTION NOTES**
1. APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
  2. NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY DESIGNATED TREE TO REMAIN.
  3. ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTED FENCING.
  4. SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
  5. ROOT ZONES OF PROTECTED TREES SHOULD BE WELL MARKED WITH BRIGHT COLORS AND SURROUNDED WITH RIGIDLY STAKED FENCING.
  6. THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.

- GENERAL LANDSCAPING NOTES**
1. PLANTS TO BE WATERED PRIOR TO AND AFTER PLANTING IS COMPLETED.
  2. ALL PLANT MATERIAL IS TO BE GUARANTEED FOR A MINIMUM OF ONE FULL YEAR FROM TIME OF PLANTING.
  3. INSTALLATION OF ALL PLANTS SHALL BE IN ACCORDANCE WITH AAN STANDARDS.
  4. PROVIDE CLEAN BACKFILL SOIL, USING SOIL STOCKPILED ON SITE. SOIL SHALL BE SCREENED AND FREE OF ANY DEBRIS, FOREIGN MATERIALS AND STONE. ADD FERTILIZER TO ALL PLANTS WHEN PITS ARE BACKFILLED.
  5. ALL PLANTING SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK SPREAD TO A MINIMUM DEPTH OF 3". MULCH IS TO BE FREE FROM DEBRIS AND FOREIGN MATERIAL.
  6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SHOWN
  7. ALL WORK SHALL BE IRRIGATED AS REQUIRED AND SEED ALL AREAS DISTURBED DURING CONSTRUCTION.

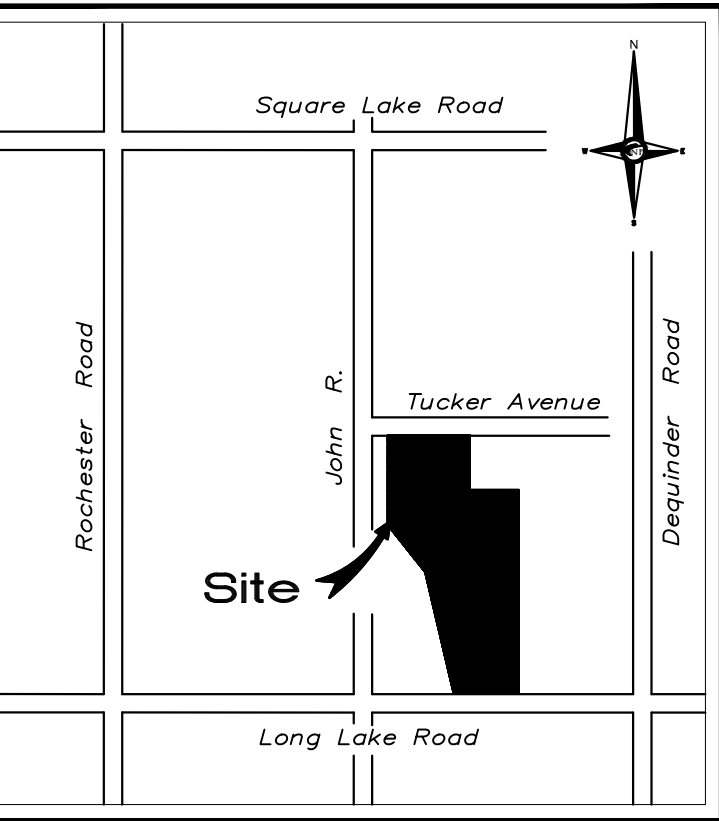
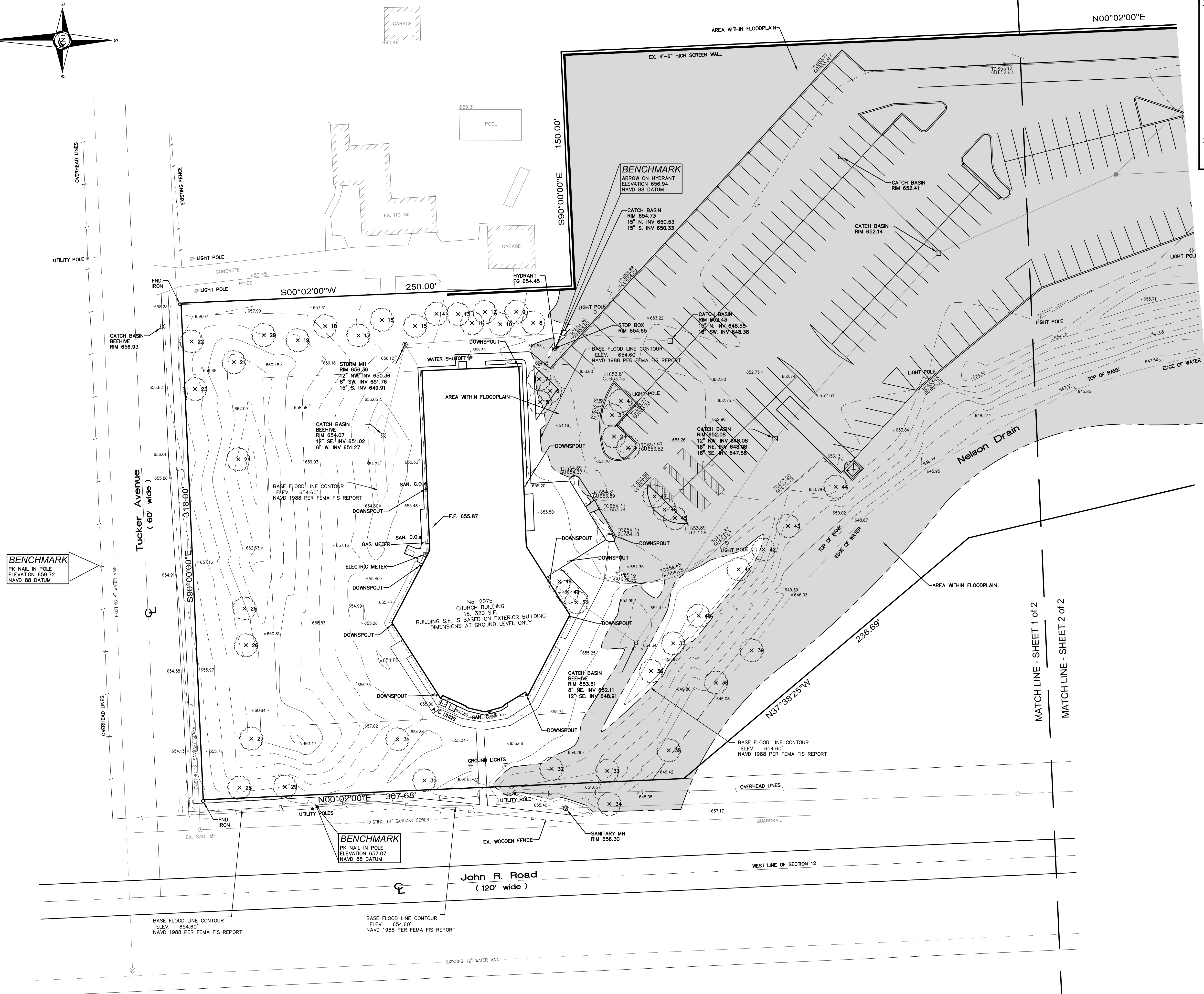
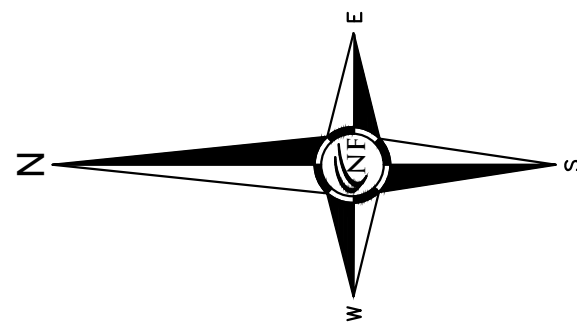
- EXISTING TREE NOTES**
1. SEE EXISTING TREE REMARKS WITHIN ENCLOSED MASTER TREE LIST (PROVIDED BY NOWAK & FRAUS ENGINEERS) FOR LOCATION OF ALL FAIR CONDITION TREES TO BE RESTORED AND PROTECTED FROM FURTHER DAMAGE TREES
  2. REMOVE POOR TREES

- REQUIRED LANDSCAPING**
- A. MAINTAIN STREET FRONTAGE LANDSCAPING - MINIMUM (1) TREE PER EACH 30 LINEAR FEET OF STREET FRONTAGE.
  - B. REPLACE TREES WITHIN NEW CONSTRUCTION ZONE TO MAINTAIN MINIMUM REQUIRED NUMBER OF TREES.
  - C. PROVIDE PLANTING WITHIN EXPANDED DETENTION BASIN.
  - D. REPLACE ALL TREES NOTED AS POOR CONDITION AS NOTED ABOVE.

**PROPERTY INFORMATION**  
PARCEL NUMBER: 88-20-12-351-037  
FRONTAGE: 7.54 ACRES  
ACREAGE: 7.54 ACRES  
LEGAL DESCRIPTION:  
T2N, R1E, SEC 12 EYSTER'S JOHN R ACRES SUB LOT 5 ALSO LOT 15 EXC N 250 FT OF  
LOT 16 4-13-98 FRO13, 028, 032 TO 034  
NEIGHBORHOOD CODE: XCHUR  
ZONING: R-1C ONE FAMILY RESIDENTIAL

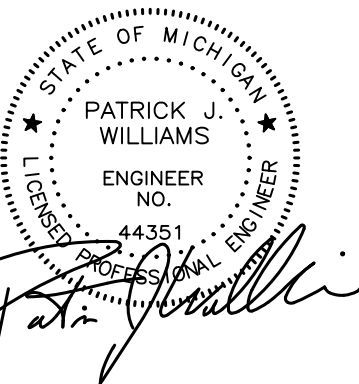
- LEGEND**
- SPRINKLER HEAD
  - ... MAIN LINE
  - SECONDARY LINE
  - ◻ ZONES





NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

SEAL



PROJECT  
Bathesda Romanian  
Pentecostal Church

CLIENT  
Bathesda Romanian  
Pentecostal Church  
2075 E. Long Lake Rd.  
Troy, MI 48085

Contact: Pastor Simion  
Timbuc  
Ph: (248) 740-8800

PROJECT LOCATION  
Part of the Southwest 1/4  
of Section 12  
T. 2 North, R. 11 East  
City of Troy,  
Oakland County, Michigan

SHEET  
Boundary / Topographic /  
Tree Survey



REVISIONS  
02-21-2019 Revised Per Client  
09-12-2019 Revised Per Client

TOPOGRAPHIC SURVEY NOTES  
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.  
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.  
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

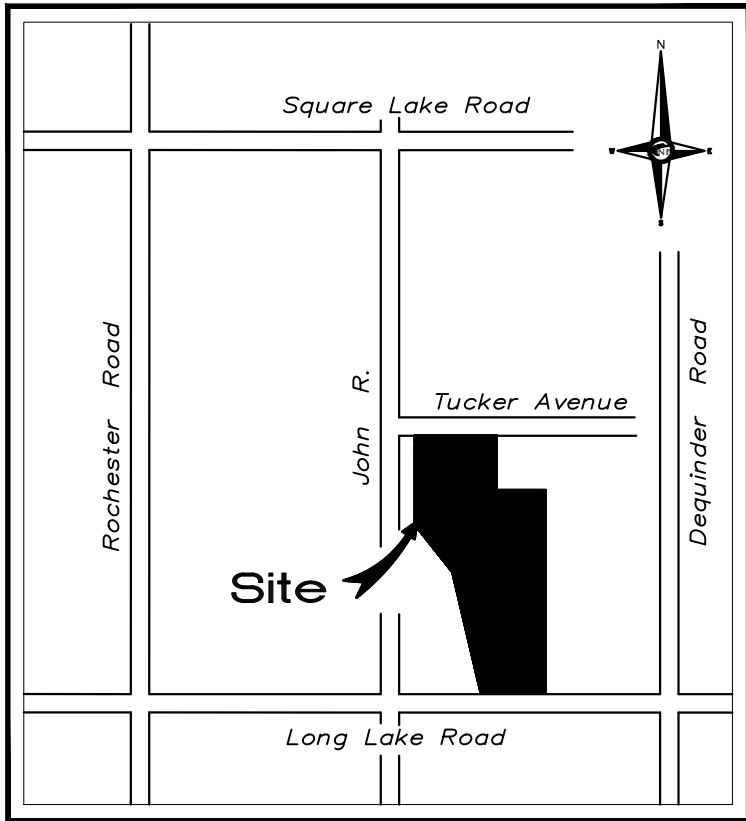
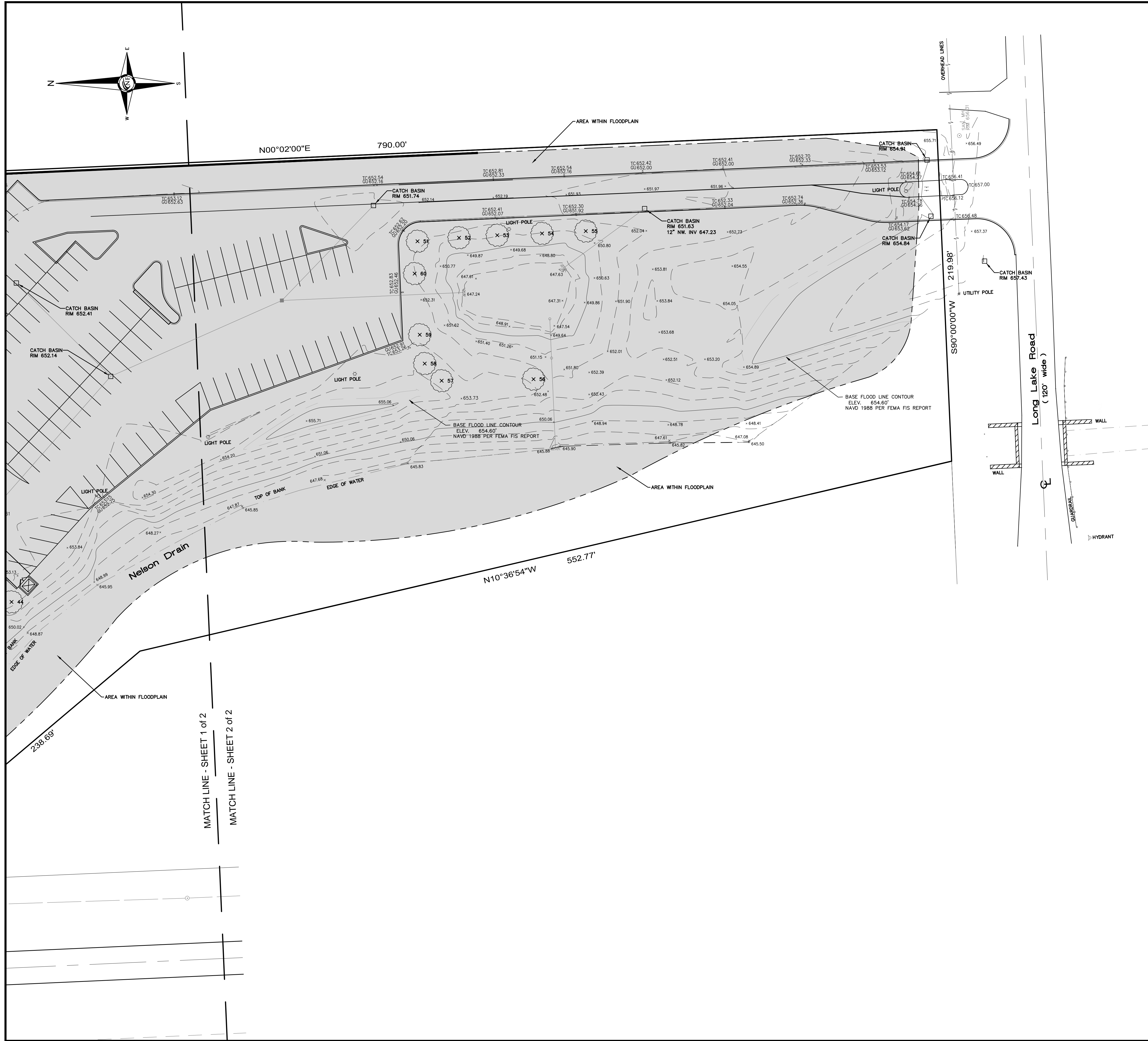
LEGEND	
	MANHOLE
	HYDRANT
	MANHOLE
	UTILITY POLE
	GUY POLE
	GUY WIRE
	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R.Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN

DRAWN BY:  
A. Eizember  
DESIGNED BY:

APPROVED BY:  
P. Williams  
DATE:  
September 23, 2016

SCALE: 1" = 30'  
NFE JOB NO. 9333-02  
SHEET NO. SP-1

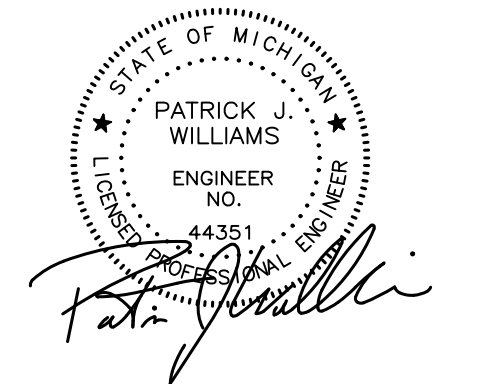




**NF**  
**ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

SEAL



PROJECT  
Bathesda Romanian  
Pentecostal Church

CLIENT  
Bathesda Romanian  
Pentecostal Church  
2075 E. Long Lake Rd.  
Troy, MI 48085

Contact: Pastor Simion  
Timbuc  
Ph: (248) 740-8800

PROJECT LOCATION  
Part of the Southwest 1/4  
of Section 12  
T. 2 North, R. 11 East  
City of Troy,  
Oakland County, Michigan

SHEET  
Boundary / Topographic /  
Tree Survey



Know what's below  
Call before you dig.

REVISIONS  
02-21-2019 Revised Per Client  
09-12-2019 Revised Per Client

**TOPOGRAPHIC SURVEY NOTES**

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

**LEGEND**

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
MANHOLE	EXISTING WATER MAIN
MANHOLE	EXISTING STORM SEWER
UTILITY POLE	EX. R.Y. CATCH BASIN
GUY WIRE	EXISTING BURIED CABLES
GUY WIRE	OVERHEAD LINES
GUY WIRE	LIGHT POLE
GUY WIRE	SIGN
GUY WIRE	EXISTING GAS MAIN

DRAWN BY:  
A. Eizember

DESIGNED BY:

APPROVED BY:  
P. Williams

DATE:  
September 23, 2016

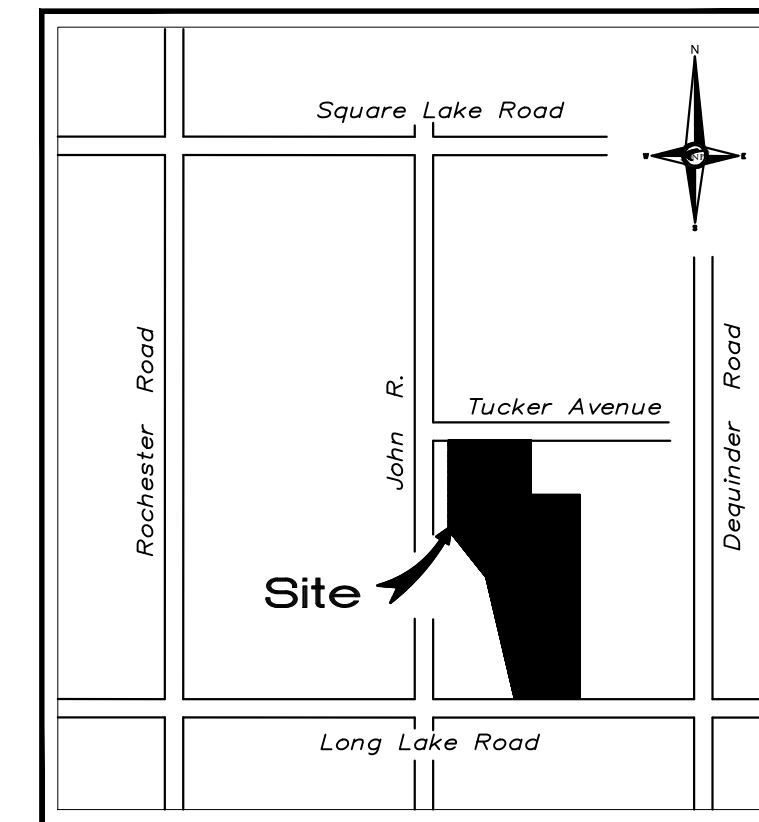
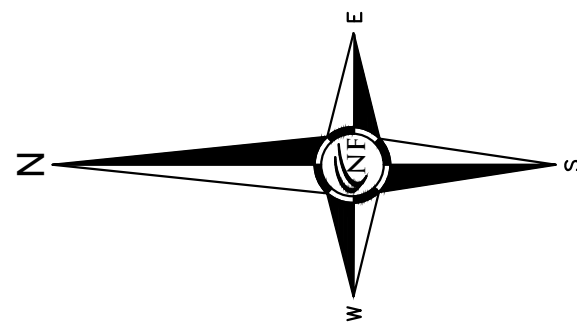
SCALE: 1" = 30'

30 15 0 15 30 45

NFE JOB NO.  
**9333-02**

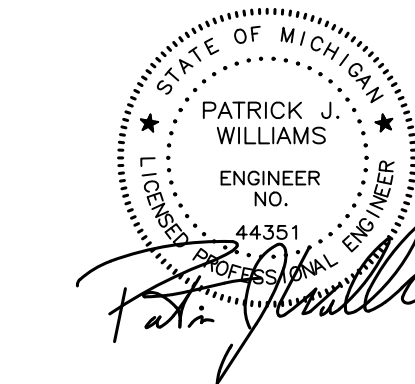
SHEET NO.  
**SP-2**





NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

SEAL



PROJECT

Bathesda Romanian  
Pentecostal Church

CLIENT

Bathesda Romanian  
Pentecostal Church  
2075 E. Long Lake Rd.  
Troy, MI 48085

Contact: Pastor Simion  
Timbuc  
Ph: (248) 740-8800

PROJECT LOCATION

Part of the Southwest 1/4  
of Section 12  
T. 2 North, R. 11 East  
City of Troy,  
Oakland County, Michigan

SHEET

Preliminary Site Plan



REVISIONS

02-21-2019 Revised Per Client  
09-12-2019 Revised Per Client

DRAWN BY:

A. Eizember

DESIGNED BY:

P. Williams

APPROVED BY:

P. Williams

DATE:

September 23, 2016

SCALE: 1" = 30'

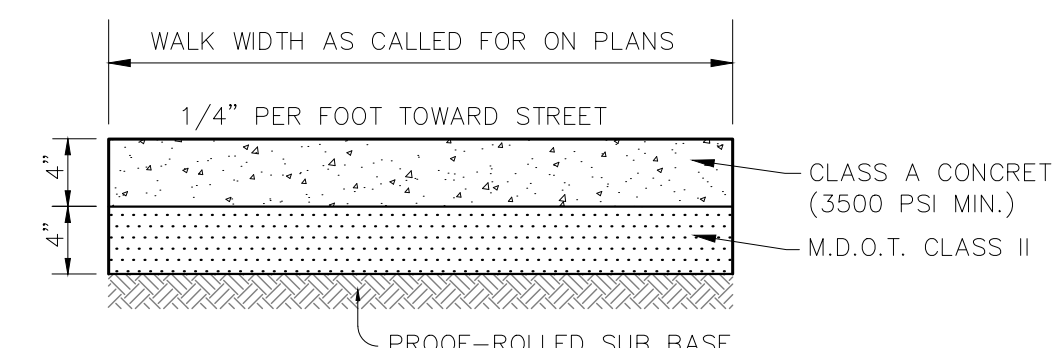
30 15 0 15 30 45

NFE JOB NO.

9333-02

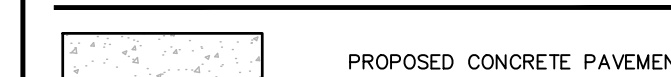
SHEET NO.

SP-3



CONCRETE SIDEWALK SECTION  
N.T.S.

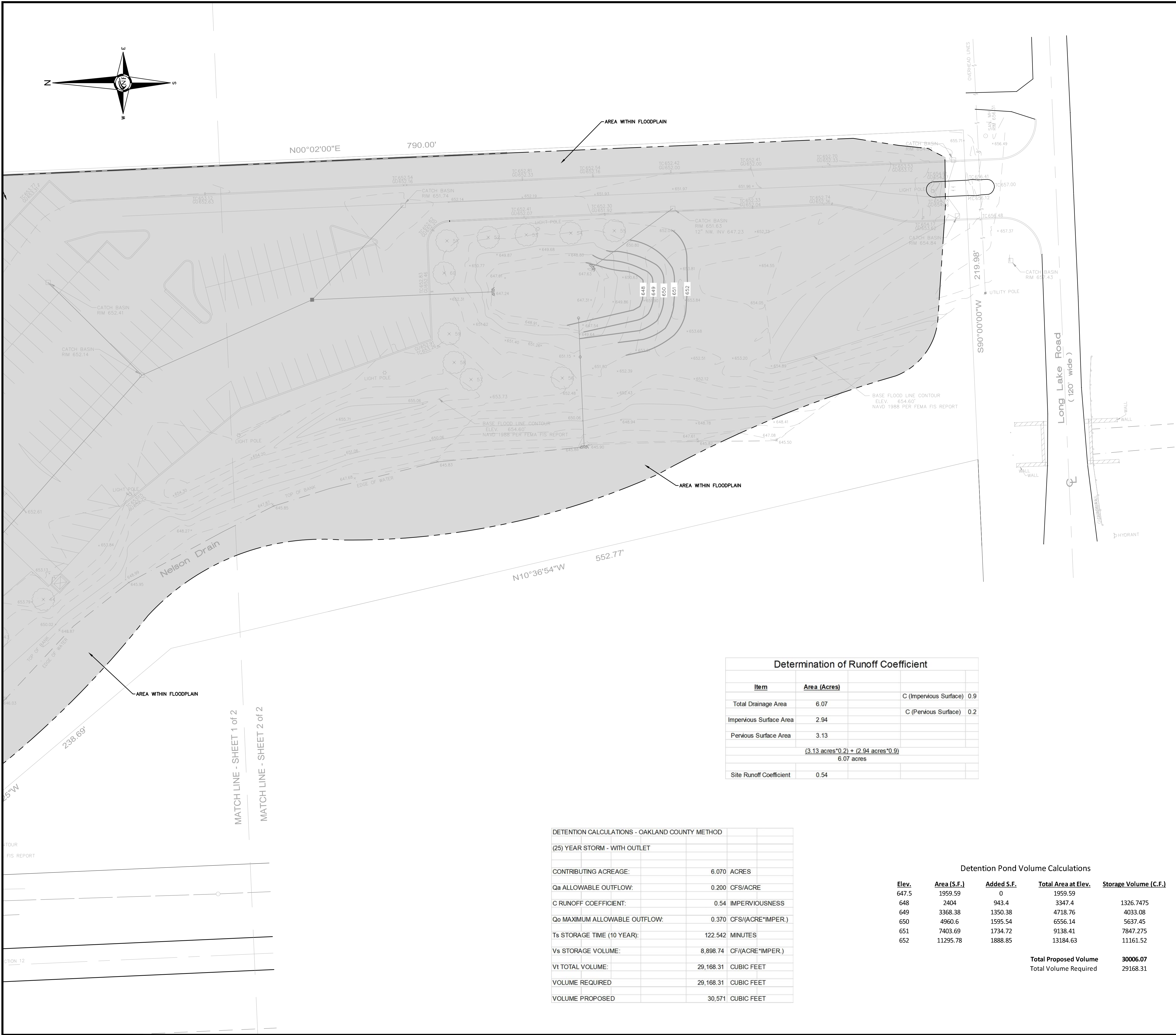
PAVING LEGEND



LEGEND

[Hatched Box]	AREA OF FLOODPLAIN
[Circle with Cross]	MANHOLE
[Circle with X]	EXISTING SANITARY SEWER
[Circle with X]	SAN. CLEAN OUT
[Circle with X]	EXISTING WATERMAIN
[Circle with X]	EXISTING STORM SEWER
[Circle with X]	EX. R. Y. CATCH BASIN
[Circle with X]	EXISTING BURIED CABLES
[Circle with X]	OVERHEAD LINES
[Circle with X]	LIGHT POLE
[Circle with X]	SIGN
[Circle with X]	EXISTING GAS MAIN
[Circle with X]	PR. SANITARY SEWER
[Circle with X]	PR. WATER MAIN
[Circle with X]	PR. STORM SEWER
[Circle with X]	PR. R. Y. CATCH BASIN
[Circle with X]	PROPOSED LIGHT POLE
[Circle with X]	PR. TOP OF CURB ELEVATION
[Circle with X]	PR. GUTTER ELEVATION
[Circle with X]	PR. TOP OF WALK ELEVATION
[Circle with X]	PR. TOP OF PVMT. ELEVATION
[Circle with X]	FINISH GRADE ELEVATION

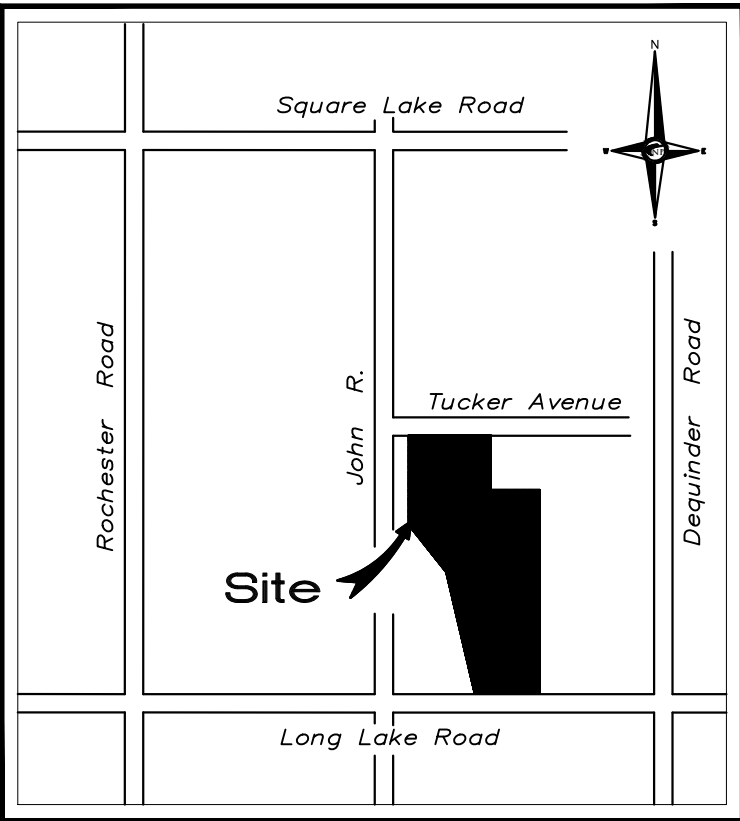




Determination of Runoff Coefficient				
Item	Area (Acres)			
Total Drainage Area	6.07	C (Impervious Surface)	0.9	
Impervious Surface Area	2.94	C (Penious Surface)	0.2	
Pervious Surface Area	3.13			
	(3.13 acres*0.2) + (2.94 acres*0.9)			
	6.07 acres			
Site Runoff Coefficient	0.54			

DETENTION CALCULATIONS - OAKLAND COUNTY METHOD			
(25) YEAR STORM - WITH OUTLET			
CONTRIBUTING ACREAGE:	6.070	ACRES	
Qa ALLOWABLE OUTFLOW:	0.200	CFS/ACRE	
C RUNOFF COEFFICIENT:	0.54	IMPERVIOUSNESS	
Qo MAXIMUM ALLOWABLE OUTFLOW:	0.370	CFS/(ACRE*IMPER.)	
Ts STORAGE TIME (10 YEAR):	122.542	MINUTES	
Vs STORAGE VOLUME:	8,898.74	CF/(ACRE*IMPER.)	
Vt TOTAL VOLUME:	29,168.31	CUBIC FEET	
VOLUME REQUIRED	29,168.31	CUBIC FEET	
VOLUME PROPOSED	30,571	CUBIC FEET	

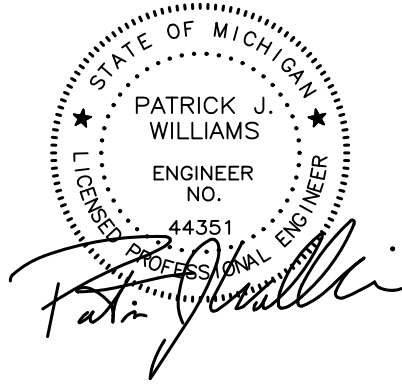
Detention Pond Volume Calculations				
Elev.	Area (S.F.)	Added S.F.	Total Area at Elev.	Storage Volume (C.F.)
647.5	1959.59	0	1959.59	
648	2404	943.4	3347.4	1326.7475
649	3368.38	1350.38	4718.76	4033.08
650	4960.6	1595.54	6556.14	5637.45
651	7403.69	1734.72	9138.41	7847.275
652	11295.78	1888.85	13184.63	11161.52
			Total Proposed Volume	30006.07
			Total Volume Required	29168.31



**NF**  
**ENGINEERS**  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257

SEAL



PROJECT  
Bathesda Romanian  
Pentecostal Church

CLIENT  
Bathesda Romanian  
Pentecostal Church  
2075 E. Long Lake Rd.  
Troy, MI 48085

Contact: Pastor Simion  
Timbuc  
Ph: (248) 740-8800

PROJECT LOCATION  
Part of the Southwest ¼  
of Section 12  
T. 2 North, R. 11 East  
City of Troy,  
Oakland County, Michigan

SHEET  
Preliminary Site Plan



Know what's below  
Call before you dig.

REVISIONS  
02-21-2019 Revised Per Client  
09-12-2019 Revised Per Client

DRAWN BY:  
A. Eizember

DESIGNED BY:  
P. Williams

APPROVED BY:  
P. Williams

DATE:  
September 23, 2016

SCALE: 1" = 30'

NFE JOB NO.  
9333-02

SHEET NO.  
SP-4

#### PAVING LEGEND

PROPOSED CONCRETE PAVEMENT

#### LEGEND

AREA OF FLOODPLAIN  
MANHOLE  
HYDRANT  
MANHOLE  
UTILITY POLE  
C.O.  
HYDRANT  
INLET  
MANHOLE  
GATE VALVE  
C.B.  
MANHOLE  
PROPOSED LIGHT POLE  
PR. TOP OF CURB ELEVATION  
GU 600.00  
PR. GUTTER ELEVATION  
TW 600.00  
PR. TOP OF WALK ELEVATION  
TP 600.00  
PR. TOP OF PVMT. ELEVATION  
FG 600.00  
FINISH GRADE ELEVATION



## NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all the areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations** shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on the FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Michigan State Plane South zone 6401 (FIPSZONE 2113). The horizontal datum was NAD83. Differences in datum, spheroid, projection or state plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA NINGS12  
National Geodetic Survey  
SSMC-3, #9202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information about the **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit their website at <http://www.ngs.noaa.gov>.

**Base Map** information shown on this FIRM was derived from the Oakland County GIS Department from photography dated September 2002 or later.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

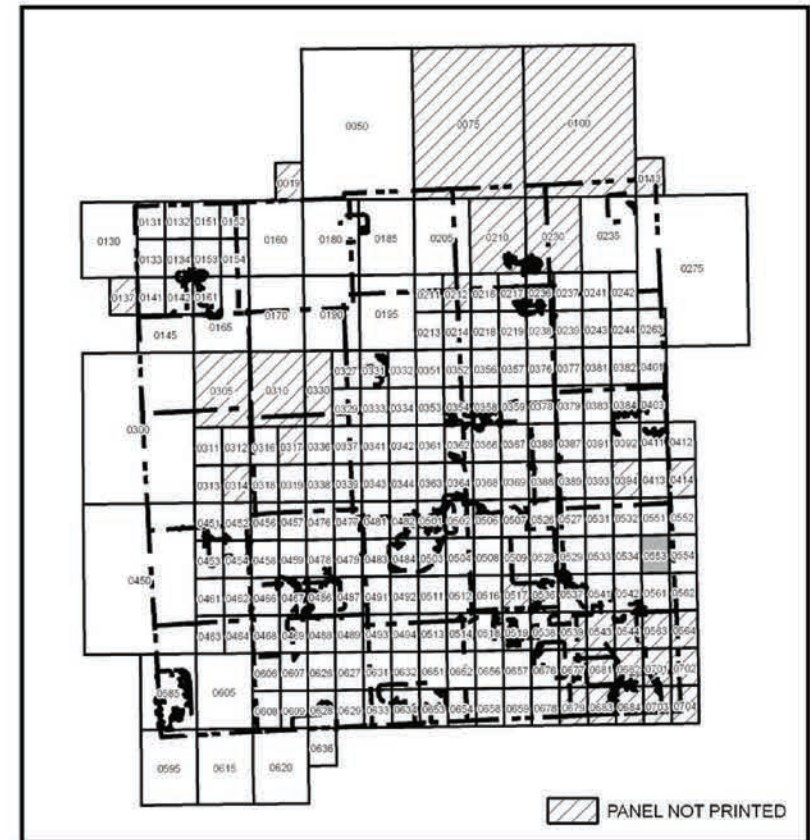
Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and their website at <http://msc.fema.gov/>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627), or visit the FEMA website at <http://www.fema.gov/businessinfo/>.

The **profile base lines** depicted on this map represent the hydraulic modeling baselines that match the flood profiles in the FIS report. As a result if improved topographic data, the **profile base line** in some cases may deviate significantly from the channel centerline or appear outside the SFHA.

## PANEL INDEX

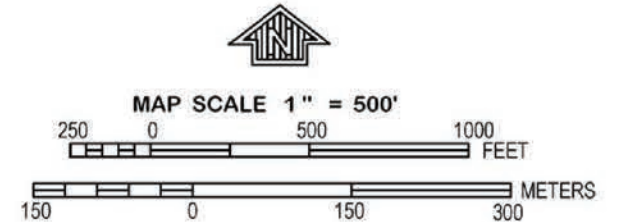


## PROJECT LOCATION



## LEGEND

- SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**
- The 1% annual chance flood (100 year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
- ZONE A**  
No Base Flood Elevations determined.
- ZONE AE**  
Base Flood Elevations determined.
- ZONE AH**  
Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO**  
Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR**  
Area of special hazard formerly protected from the 1% annual chance flood event by a flood control system that was subsequently identified. Zone AR indicates that the former flood control system is being retained to provide protection from the 1% annual chance or greater flood.
- ZONE A99**  
Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V**  
Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE**  
Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE**
- The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS**
- ZONE X**  
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- OTHER AREAS**
- ZONE X**  
Areas determined to be outside of the 0.2% annual chance floodplain.
- ZONE D**  
Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**
- OTHERWISE PROTECTED AREAS (OPAs)**
- CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- 1% annual chance floodplain boundary  
0.2% annual chance floodplain boundary  
Floodway boundary  
Zone D boundary  
CBRS and OPA boundary  
Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations; flood depths or flood velocities.  
Base Flood Elevation line and value; elevation in feet  
Base Flood Elevation value where uniform within zone; elevation in feet  
\*Referenced to the North American Vertical Datum of 1988
- Cross section line**
- Transsect line  
97° 07' 30", 32° 22' 22" 30"  
47° 10' 00" N  
4700000 FT  
HE0181  
M1.5  
River Mile
- MAP REPOSITORY**  
Refer to listing of Map Repositories on Map Index
- EFFECTIVE DATE OF COUNTY-WIDE FLOOD INSURANCE RATE MAP**  
September 26, 2006
- EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL**
- January 16, 2009 – to change Base Flood Elevations, and Special Flood Hazard Areas and to incorporate previously issued Letters of Map Revision.
- For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.
- To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.



PANEL 0553 G

## FIRM

FLOOD INSURANCE RATE MAP

OAKLAND COUNTY,  
MICHIGAN  
(ALL JURISDICTIONS)

PANEL 553 OF 704  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:  
COMMUNITY  
TROY, CITY OF

NUMBER  
260180

PANEL  
0553

SUFFIX  
G

Notes to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER  
26125C0553G  
MAP REVISED  
JANUARY 16, 2009

Federal Emergency Management Agency

REVISIONS	DATE
PLANNING COMMISSION SUBMISSION	2017.04.25
PLANNING COMMISSION SUBMISSION	2017.07.25
PLANNING COMMISSION SUBMISSION	2018.10.09
PLANNING COMMISSION SUBMISSION	2019.02.26

BETHESDA ROMANIAN PENTECOSTAL

© COPYRIGHT  
CMA Design Services

FEMA FIRM MAP



NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all the areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations** (BFEs) and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations** shown on this map apply only to landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on the FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Michigan State Plane South zone 6401 (FIPSZONE 2113). The **horizontal datum** was NAD83. Differences in datum, spheroid, projection or state plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NGS12  
National Geodetic Survey  
SSMC-3, #9202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information about the **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242 or visit their website at <http://www.ngs.noaa.gov>.

**Base Map** information shown on this FIRM was derived from the Oakland County GIS Department from photography dated September 2002 or later.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

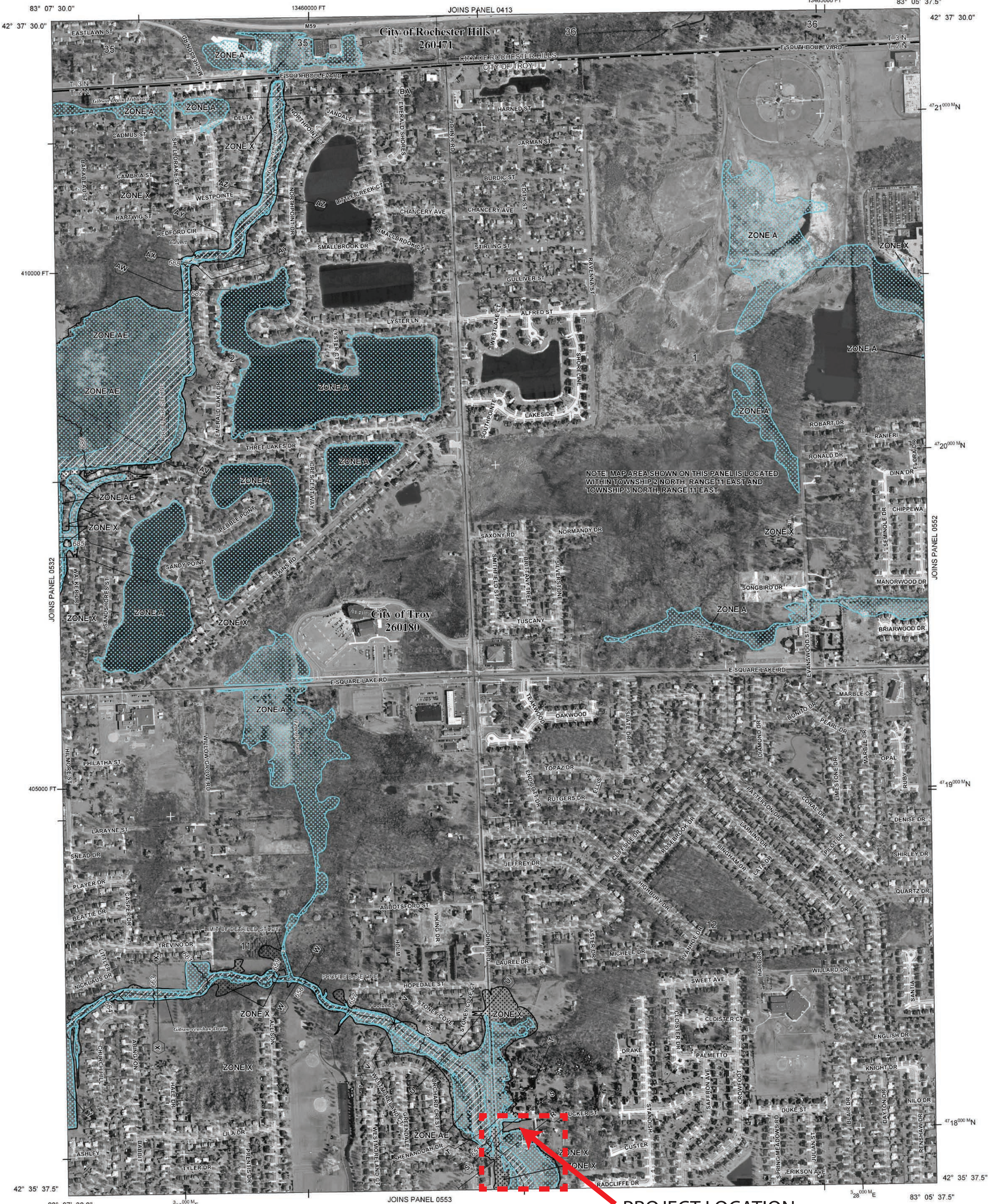
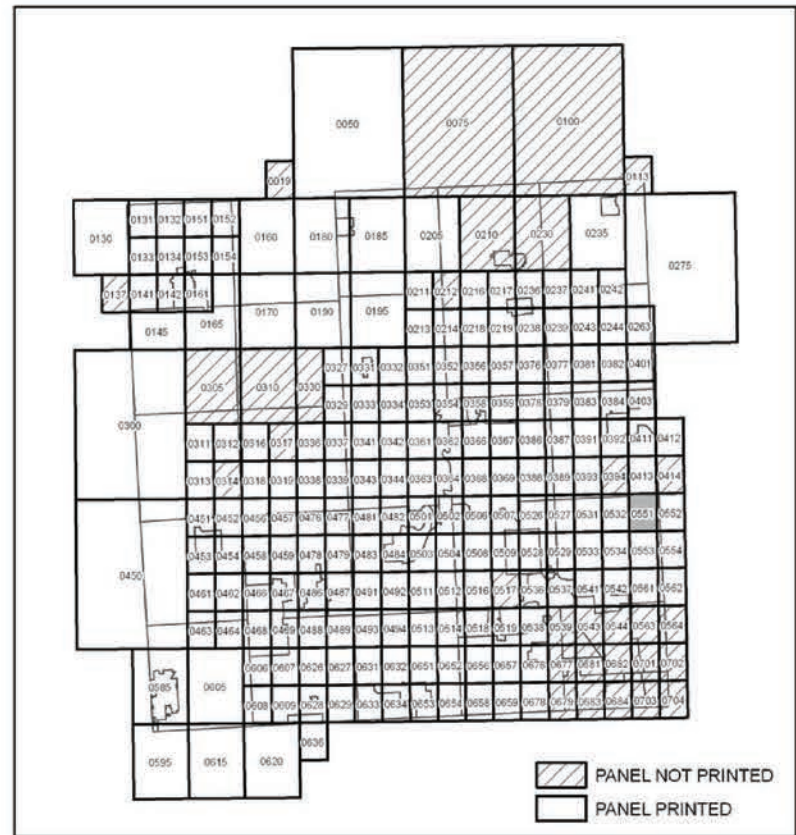
Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and their website at <http://msc.fema.gov/>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/business/info/>.

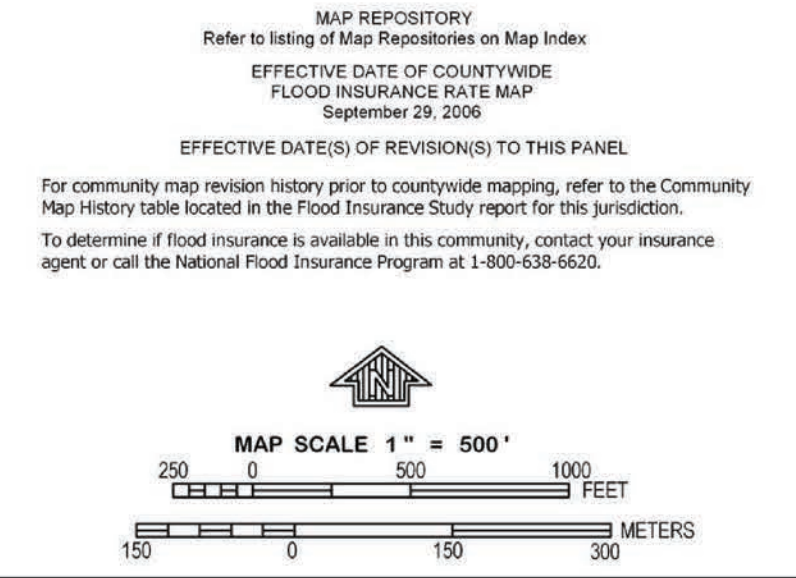
The **profile base lines** depicted on this map represent the hydraulic modeling baselines that match the flood profiles in the FIS report. As a result if improved topographic data, the **profile base line** in some cases may deviate significantly from the channel centerline or appear outside the SFHA.

PANEL INDEX



LEGEND

- SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**  
The 1% annual chance flood (100 year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zone A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
- ZONE A**  
No Base Flood Elevations determined.  
Base Flood Elevations determined.
- ZONE AE**  
Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.  
Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AH**  
Area of special flood hazard formerly protected from the 1% annual chance flood event by a flood control system that was subsequently identified. Zone AR indicates that the former flood control system is being retained to provide protection from the 1% annual chance flood.
- ZONE AO**  
Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE AR**  
Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE A99**  
Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- ZONE V**  
FLOODWAY AREAS IN ZONE AE  
The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- ZONE VE**  
OTHER FLOOD AREAS  
Zone X  
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- OTHER AREAS**  
Zone X  
Zone D  
Areas determined to be outside of the 0.2% annual chance floodplain. Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**  
OTHERWISE PROTECTED AREAS (OPAs)  
CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- 1% annual chance floodplain boundary  
0.2% annual chance floodplain boundary  
Floodway boundary  
Zone D boundary  
CBRS and CPA boundary  
Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.  
Base Flood Elevation line and value; elevation in feet\*  
Base Flood Elevation value where uniform within zone; elevation in feet\*  
\*Referenced to the North American Vertical Datum of 1988
- Cross section line  
Transect line  
Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere  
1000-meter Universal Transverse Mercator grid values, zone 17  
5000-foot grid tick; Michigan State Plane South Coordinate System, 6401 zone (FIPSZONE 2113), Lambert Conformal Conic projection  
Bench mark (see explanation in Notes to Users section of this FIRM panel)  
River Mile



**NATIONAL FLOOD INSURANCE PROGRAM**

**PANEL 0551F**

**FIRM**  
FLOOD INSURANCE RATE MAP

**OAKLAND COUNTY, MICHIGAN**  
(ALL JURISDICTIONS)

**PANEL 551 OF 704**  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:  
COMMUNITY: ROCHESTER HILLS, CITY OF  
TROY, CITY OF

NUMBER: 260471  
PANEL: 0551  
SUFFIX: F

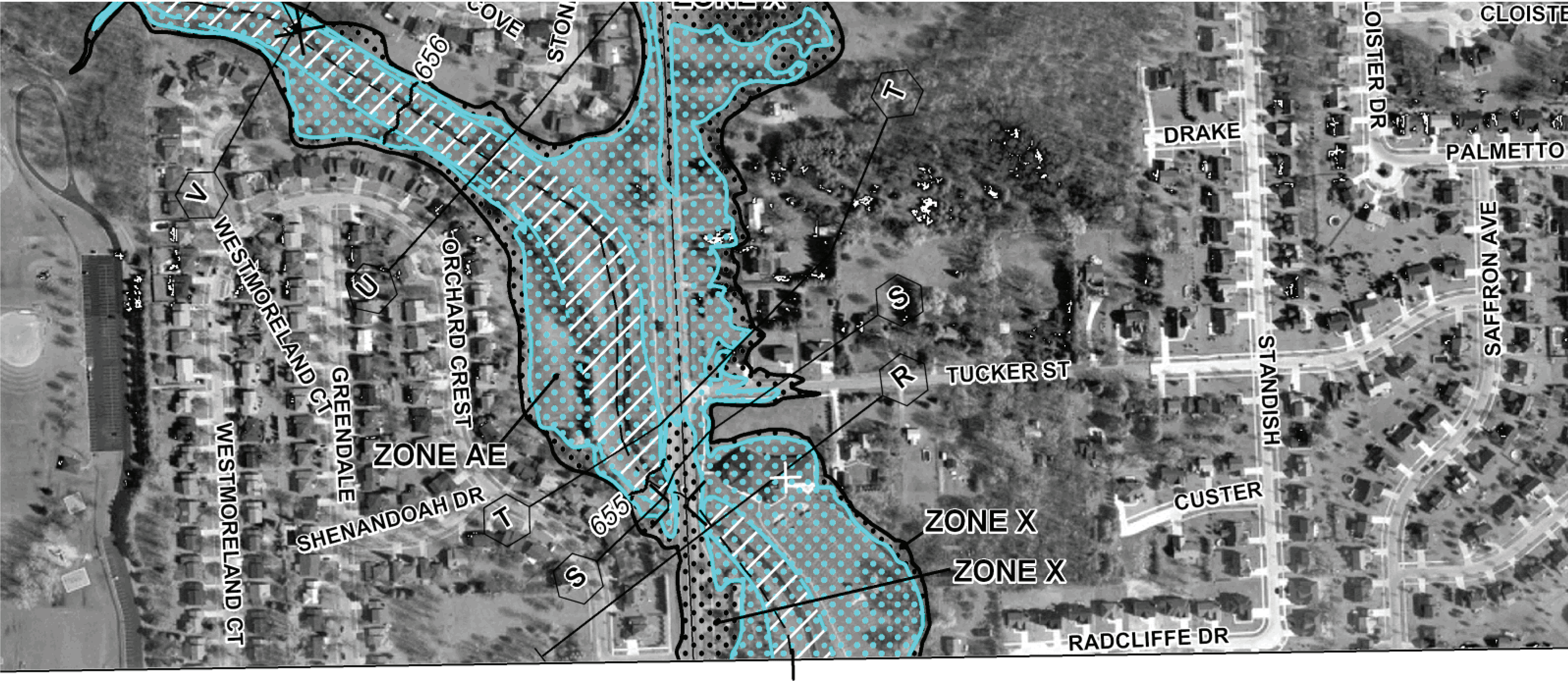
Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER**  
26125C0551F

**EFFECTIVE DATE**  
SEPTEMBER 29, 2006

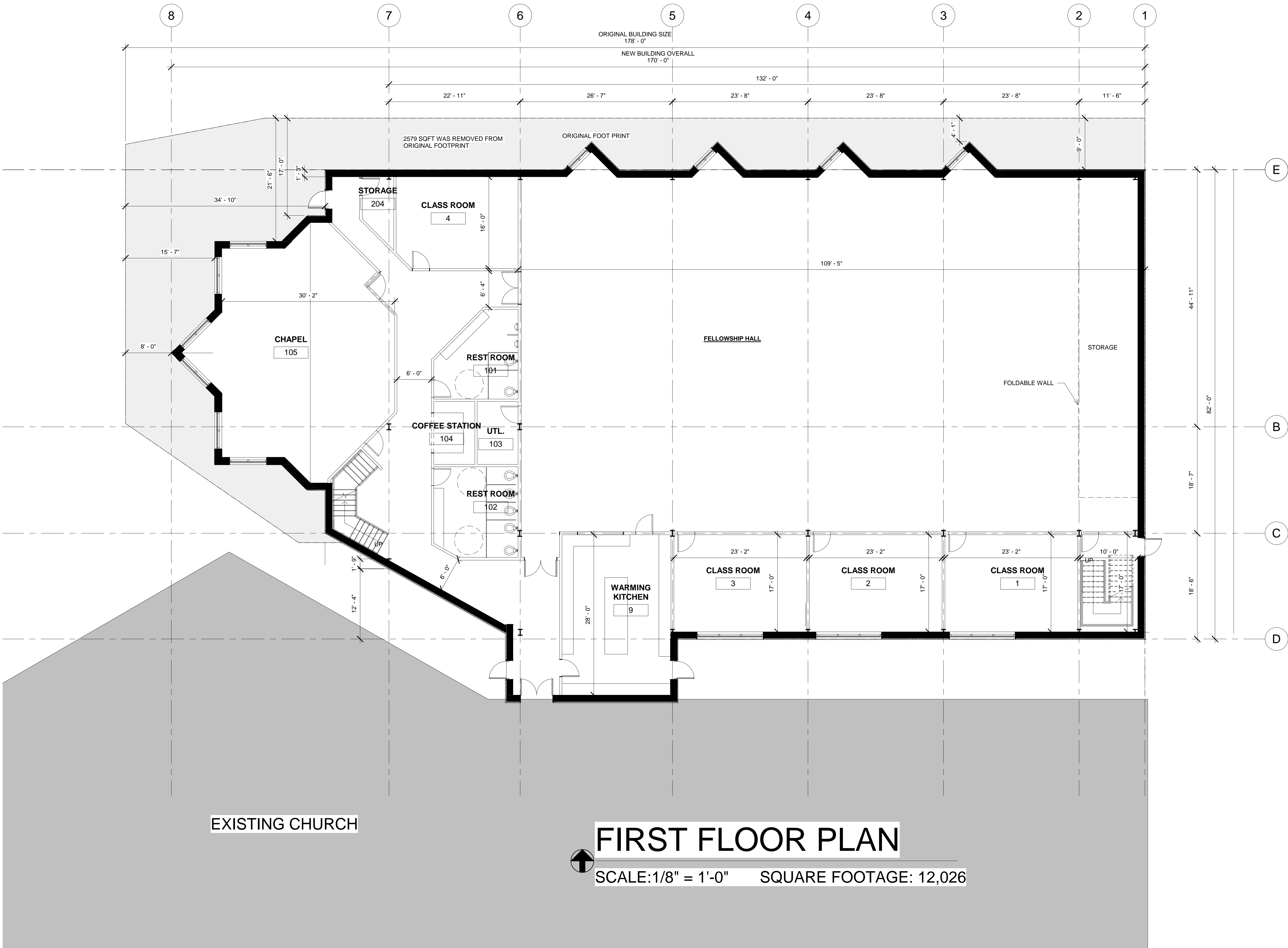
**Federal Emergency Management Agency**





JOINS PANEL 0553





GENERAL STATEMENTS/NOTES:  
-ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED.  
-ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRDACH UPON ABUTTING PROPERTIES OR RIGHT-OF-WAYS.

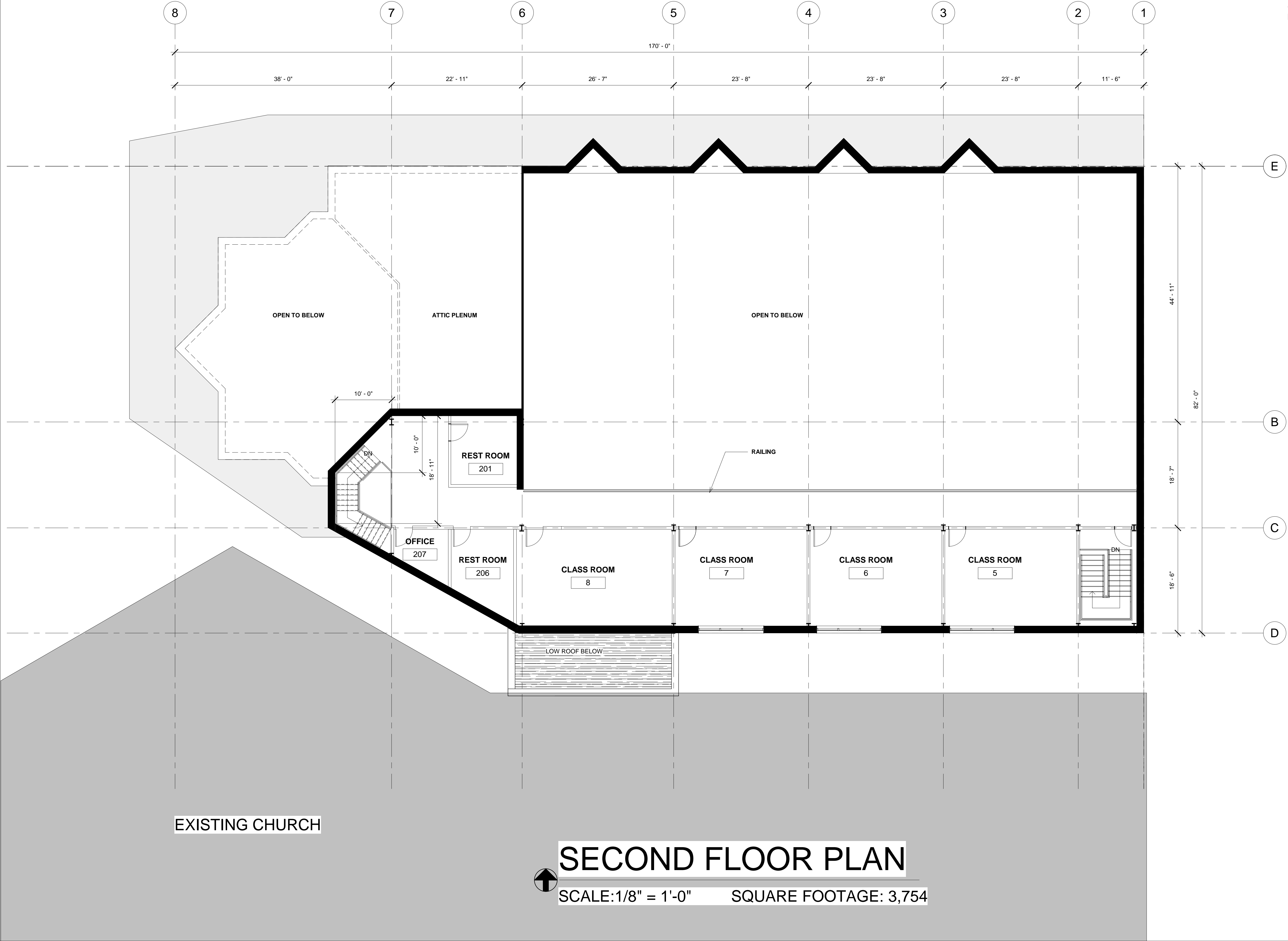
PROPERTY INFORMATION  
PARCEL NUMBER: 88-20-12-351-037  
FRONTAGE: 7.54 ACRES  
ACREAGE: 7.54 ACRES  
LEGAL DESCRIPTION:  
T2N, R1E, SEC 12 EYSTER'S JOHN R ACRES SUB LOT 5 ALSO LOT 15 EXC N 250 FT OF  
LOT 16 4-13-98 FRO13, D28, D32 TO D34  
NEIGHBORHOOD CODE: XCHUR  
ZONING: R-1C ONE FAMILY RESIDENTIAL

FIRST FLOOR PLAN

SCALE:1/8" = 1'-0"      SQUARE FOOTAGE: 12,026

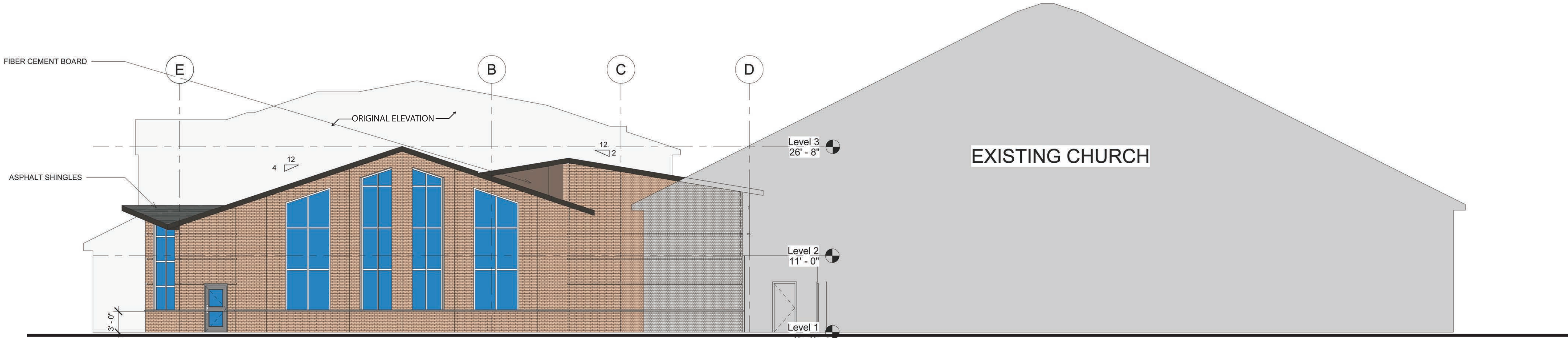
REVISIONS	DATE
PLANNING COMMISSION SUBMISSION	2017.04.25
PLANNING COMMISSION SUBMISSION	2017.07.25
PLANNING COMMISSION SUBMISSION	2018.10.09
PLANNING COMMISSION SUBMISSION	2019.02.26
CHURCH REVIEW	2019.07.17

GENERAL STATEMENTS/NOTES:  
-ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED.  
-ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRDACH UPON ABUTTING PROPERTIES OR RIGHT-OF-WAYS.

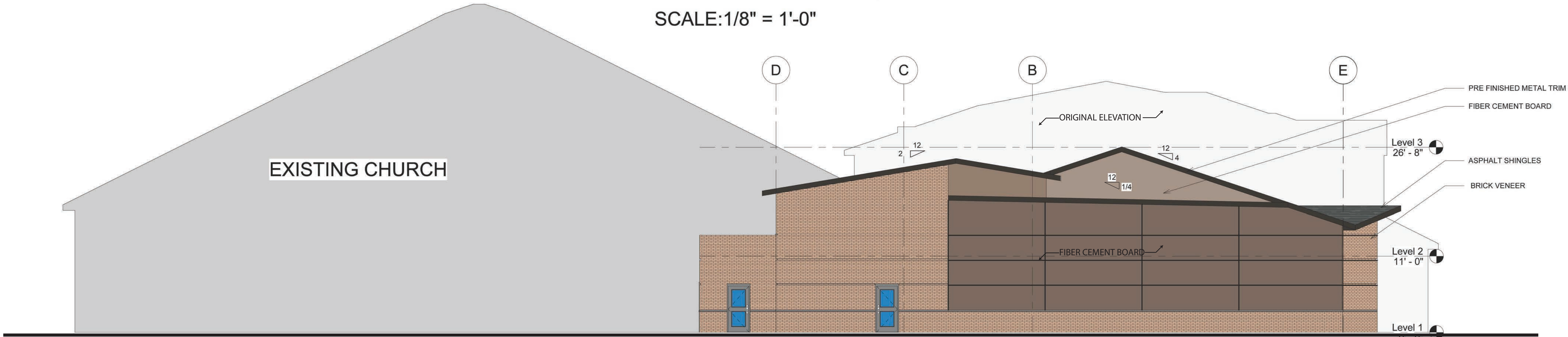




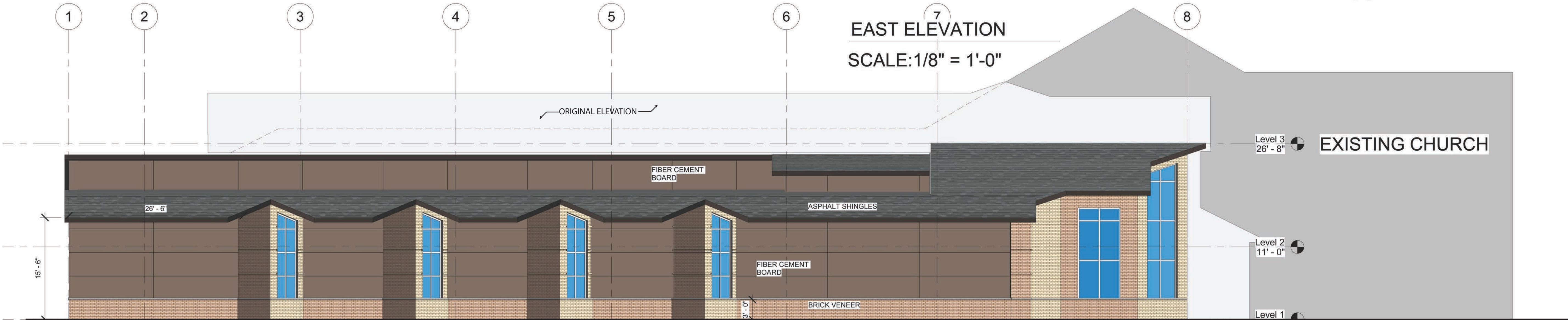
GENERAL STATEMENTS/NOTES:  
-ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED.  
-ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRDACH UPON ABUTTING PROPERTIES OR RIGHT-OF-WAYS.



WEST ELEVATION  
SCALE:1/8" = 1'-0"



EAST ELEVATION  
SCALE:1/8" = 1'-0"



NORTH ELEVATION  
SCALE:1/8" = 1'-0"



EQUATIONS

TL = SPLs – SPLr + 10Log S/A

TL = Transmission Loss

SPLs = The average sound pressure level in the source room

SPLr =The average sound pressure level in the receiving room

S = The surface area of the partition

A = The absorption, in sabins, in the receive room

A = S α

A = Total absorption, Sabins

S= Surface Area, square feet or square meters

α = Absorption Coefficient

Common Variables

S= 110'-0" x 12'-0" = 1320 sqft.

SPLs = 95 dB the sound of a full orchestra

SPLr= 50 dB the average sound of a suburban area

Transmission Loss Through the Wall

A = S α

Using the coefficient of: Gypsum board ½”, nailed to 2x4’s, 15 in. o.c.

Actual Wall:

5/8” Gypsum board, screwed to 2x6’s 18 ga. Metal studs, batt insulation, Dens Glass, vapor barrier 2” air gap, Brick veneer.

STC value of 56

R-Value 22.2

250Hz

A = S α

=1320 sqft x .08 = 105.6 sabins

500Hz

A = S α

= 1320 sqft x .05 =66 sabins

1000- 4000 Hz

A = S α

= 1320 sqft x .03= 39.6 sabins

Best case scenario using 1000-4000 Hz

TL = SPLs – SPLr + 10Log S/A

= 95dB – 50db +10log 1320sqft/39.6 sabins

=45 + 15.23

Loss of 60.23 dB

Worst case scenario using 250 Hz

TL = SPLs – SPLr + 10Log S/A

=95dB – 50 dB + 10log 1320sqft/105.6 sabins

=45+10.97

=55.97 dB

Inverse Square Law

According to the inverse-square law, the intensity ratio for doubling of distance is 2<sup>2</sup> = 4, and the corresponding decibel reduction is 10 log

4, or 6 dB

Starting dB

95dB -55.97dB= 39.03dB

2<sup>2</sup> = 4

39.03dB -6dB=33.03

4<sup>2</sup>= 16

33.03dB -6dB =27.03dB

Even coming out of the building, the average background noise of a suburban area would be 50 resulting in not being able to hear the

noise coming from the church. At 16'-0" you would not be able to hear the church in a rural area

Resources: Source: Mechanical and Electrical Equipment for Buildings.

APPARENT LOUDNESS

DEAFENING

DEAFENING

VERY LOUD

VERY LOUD

VERY LOUD

VERY LOUD

VERY LOUD

VERY LOUD

LOUD

LOUD

MODERATE

MODERATE

FAINT

\* FAINT

FAINT

VERY FAINT

EXAMPLES

JET AIRCRAFT

THRESHOLD OF FEELING

THUNDER

SUBWAY TRAIN

NOISY INDUSTRIAL PLANT

BAND

LOUD STREET NOISES

VACUUM CLEANER

AVERAGE STREET NOISE

AVERAGE OFFICE

2-PERSON CONVERSATION

PRIVATE OFFICE

BEDROOM

NOISE AT SIDEWALK

RUSTLING LEAVES

NORMAL BREATHING

dB(DECIBLE)

140 dB

130 dB

120 dB

110 dB

100 dB

95 dB

90 dB

80 dB

70 dB

60 dB

50 dB

40 dB

30 dB

21.97 dB

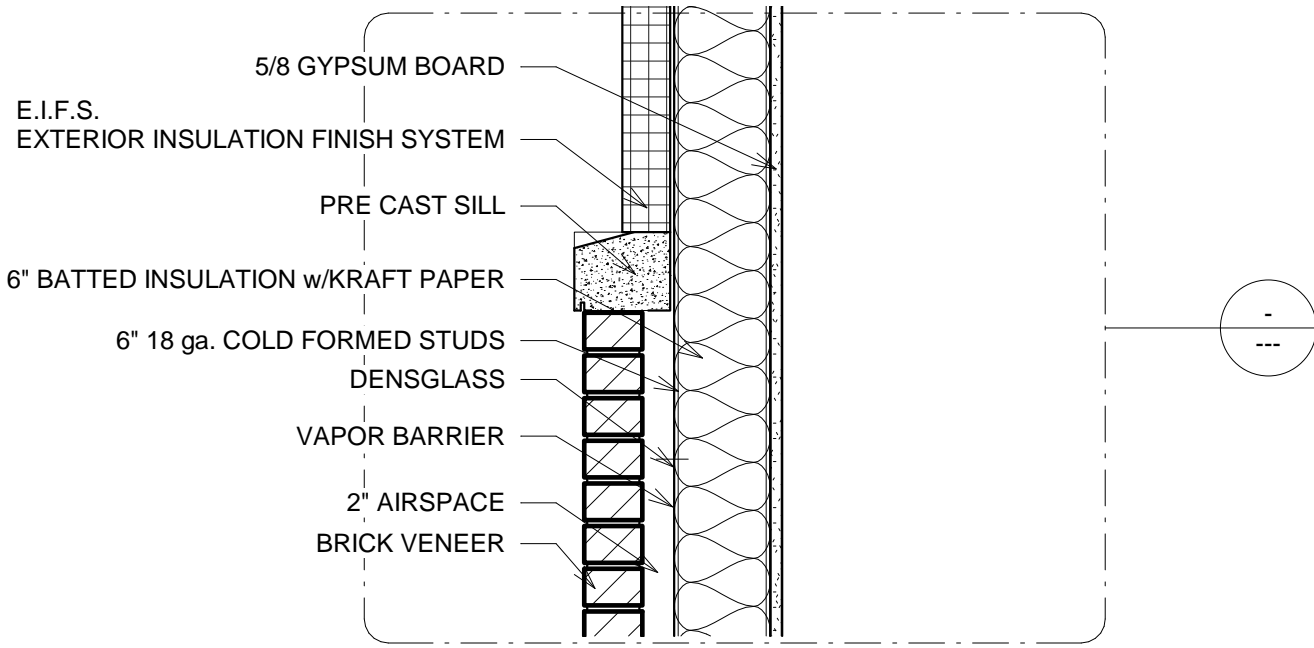
20 dB

10 dB

\*DEPICTS SOUND FROM ACOUSTIC STUDY

SOURCE: “SOUND CONTROL CONSTRUCTION”

2ND EDITION-PRINCIPALS AND PERFORMANCE BY UNITED STATES GYPSUM



Wall Assembly Analysis

Brick

2" airspace

Vapor Barrier

Densglass

6" batted insulation w/Kraft paper

6" 18ga. Cold Form Studs

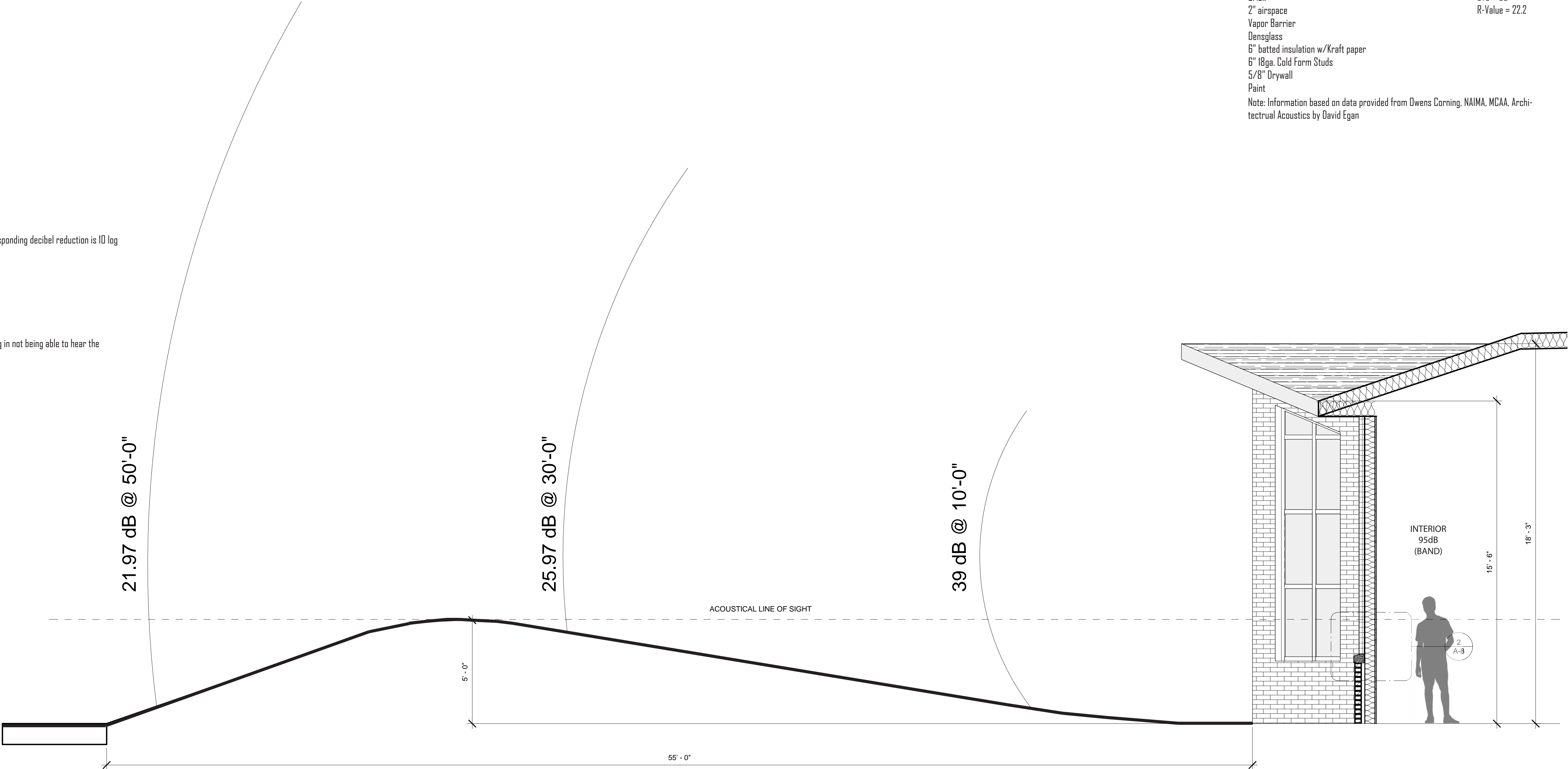
5/8" Drywall

Paint

Note: Information based on data provided from Owens Corning, NAIMA, MCAA, Archi- tectrual Acoustics by David Egan


STC = 56

R-Value = 22.2




ACOUSTIC STUDY

SCALE: 3/8" = 1'-0"




KALAJIAN  
ARCHITECTURE & DESIGN LLC



REVISIONS	DATE
PLANNING COMMISSION SUBMISSION	2017.04.25
PLANNING COMMISSION SUBMISSION	2017.07.25
PLANNING COMMISSION SUBMISSION	2018.10.09
PLANNING COMMISSION SUBMISSION	2019.02.26
CHURCH REVIEW	2019.07.17

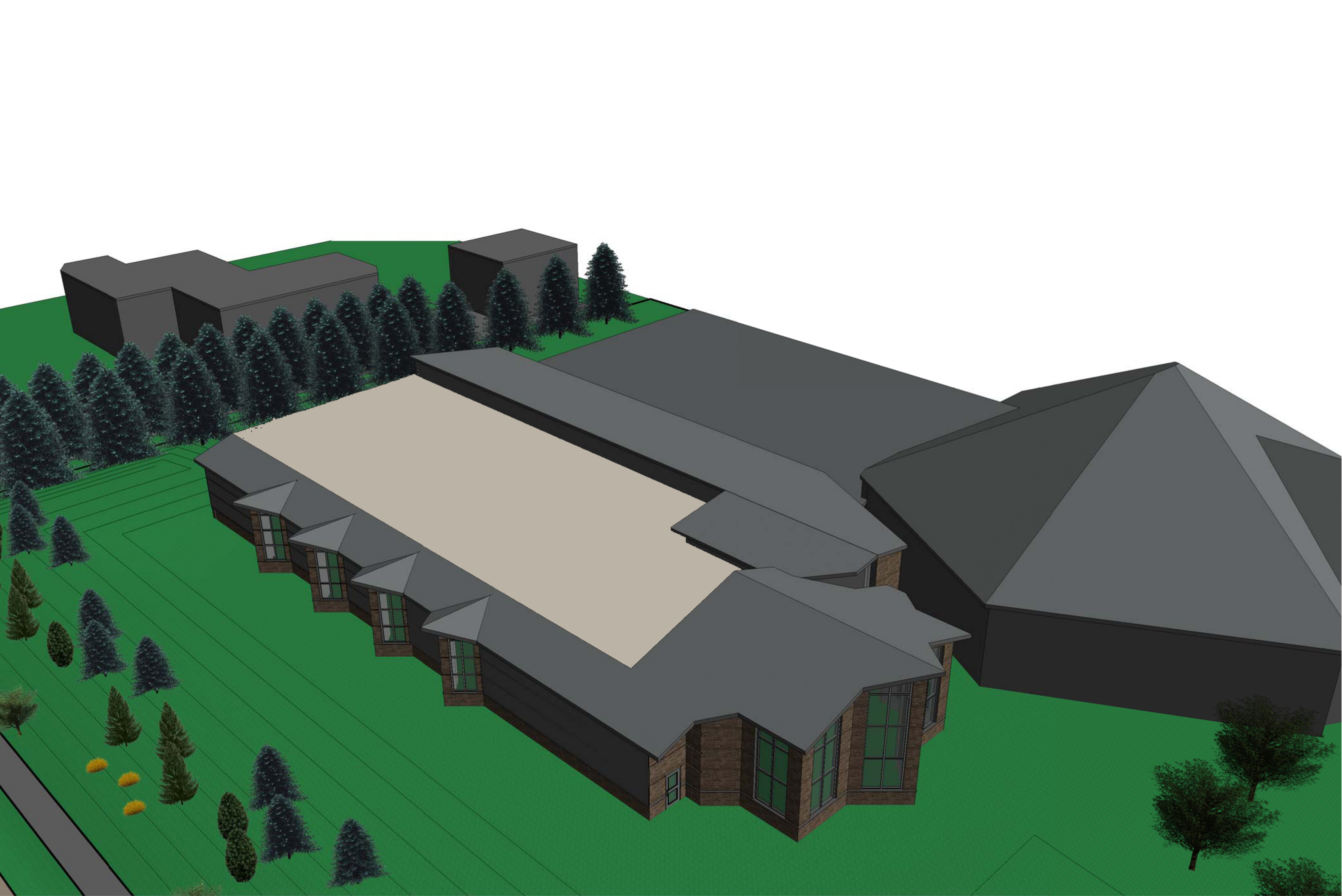
BETHESDA ROMANIAN PENTECOSTAL



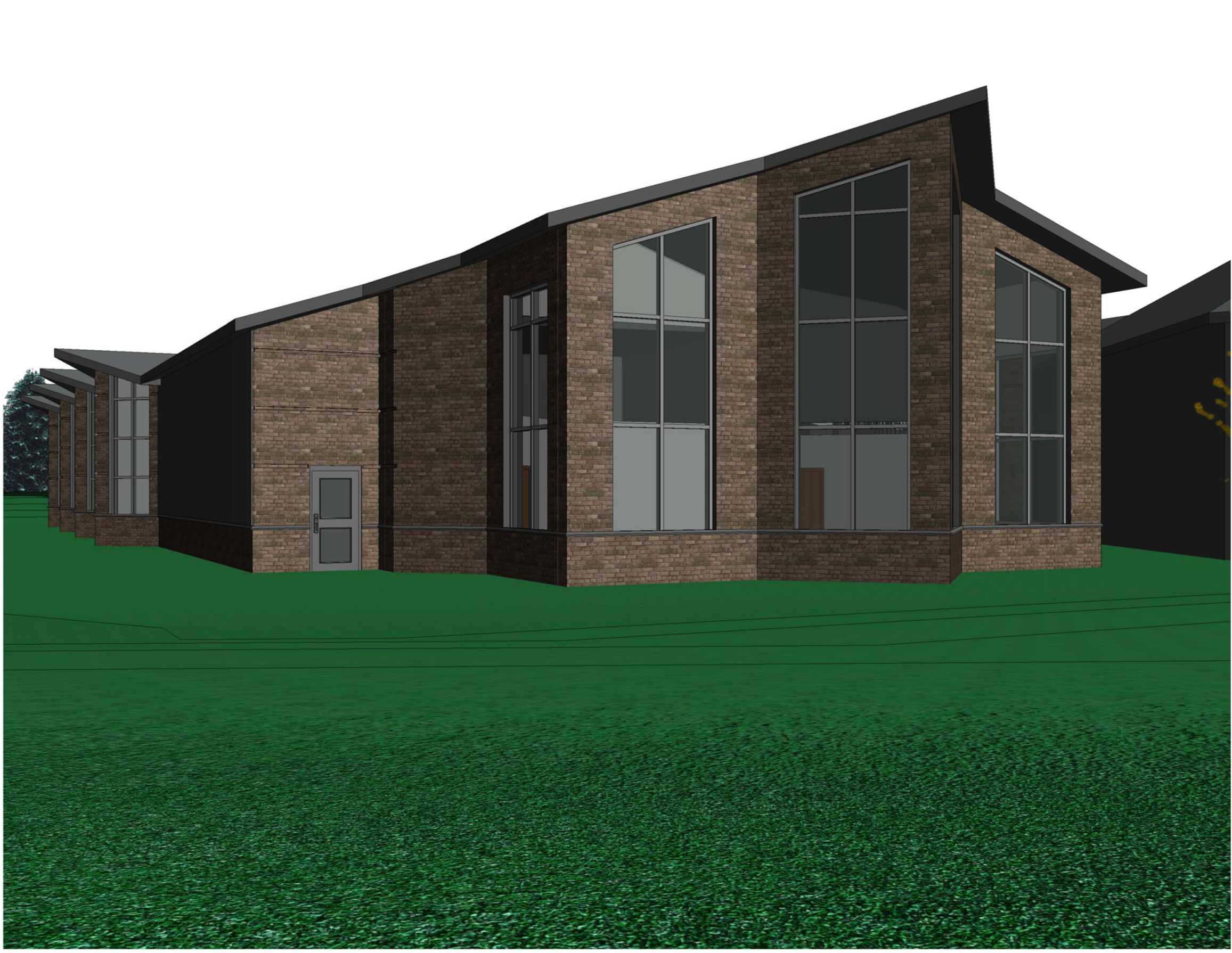
ACOUSTICS

PAGE:  
A-4





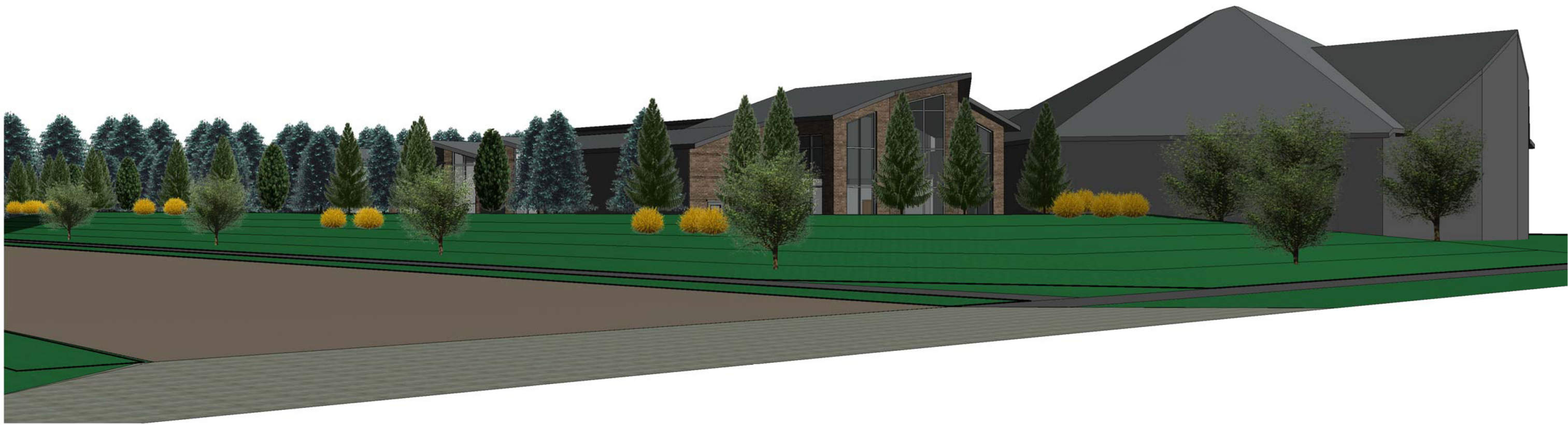
NORTH WEST AERIAL



WEST PERSPECTIVE



NORTH EAST AERIAL



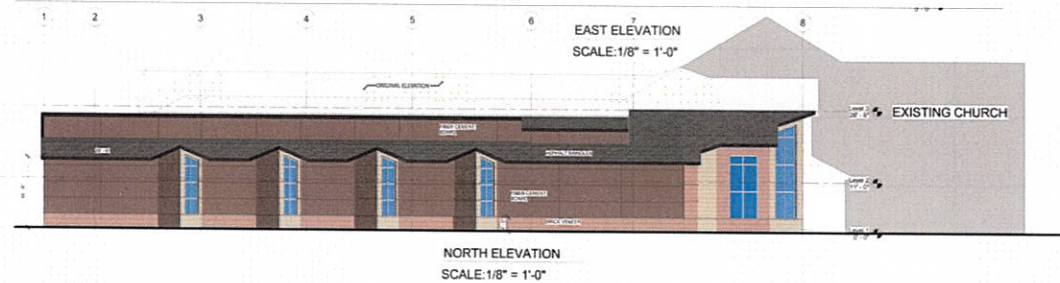
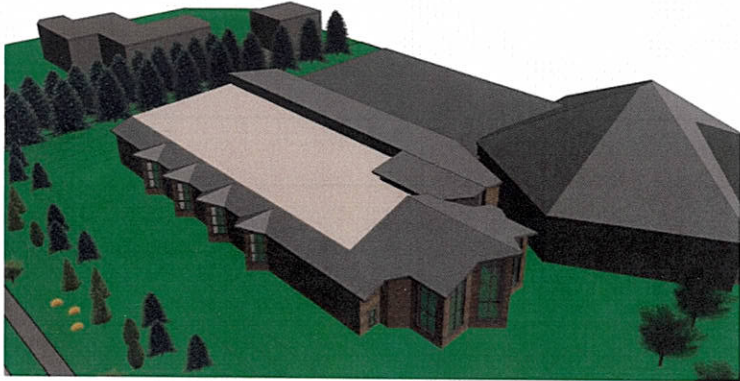
PERSPECTIVE FROM JON R. & TUCKER

<div> <div>CMA</div> <div>DESIGN SERVICES</div> </div> <div> <div>KALAJIAN</div> <div>ARCHITECTURE &amp; DESIGN LLC</div> </div>	REVISIONS	DATE	<div>BETHESDA ROMANIAN PENTECOSTAL</div> <div> <div>© COPYRIGHT</div> <div>CMA Design Services</div> </div>
	PLANNING COMMISSION SUBMISSION	2017.04.25	
	PLANNING COMMISSION SUBMISSION	2017.07.25	
	PLANNING COMMISSION SUBMISSION	2018.10.09	
	PLANNING COMMISSION SUBMISSION	2019.02.26	
	CHURCH REVIEW	2019.07.17	
			ISOMETRICS









**Petition to OPPOSE Bethesda Romanian Pentecostal Church Addition (Dated September 19, 2019)**  
 Please sign below if you would **OPPOSE** this type of developmental in your residential neighborhood

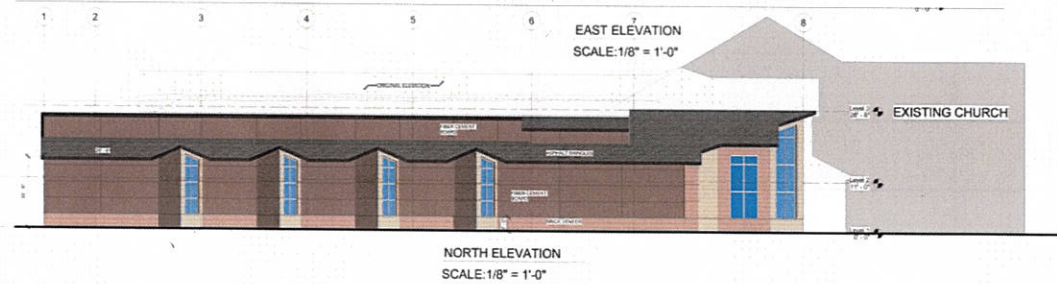
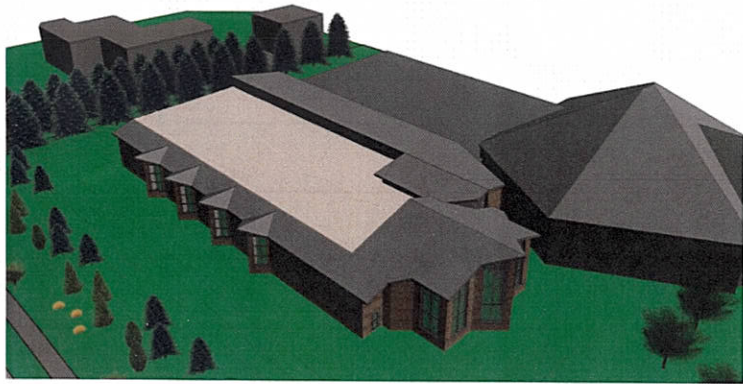
Name	Address	Signature	Troy Home Owner
Praveen KADALA	2150 Chaps Dr		Yes
Srinivas Alapati	2118 Chaps dr.		yes
Marcelo Bertocchi	2086 Chaps Dr.		Renting
Matteo DeSane	5072 John R Rd		Rent
Randall Stevens	5092 John R Rd		Yes
Ken Chabong	2097 Tucker		YES
Simrat Nishra	2023 Chaps Dr		owner
Mike Lanham	2124 TUCKER DR.		YES
Bokai Jin	2043 Tucker Dr.		YES
ALEXANDER TABOR	5280 JOHN R.		YES
Damian Singh L Boin	5041 Forest View		Yes



Petition to OPPOSE Bethesda Romanian Pentecostal Church Addition (Dated September 19, 2019)

Name	Address	Signature	Home Owner
Farooq Salem	2015 TUCKER	Farooq Salem	Yes
Dulian Salem	2015 TUCKER	Dulian Salem	Yes
JUDI MILIDRAG	5300 JOHN R	Judi Milidrag	Yes
BRIAN D. MILIDRAG	5300 JOHN R. RD	Brian Milidrag	Yes
MONICA HANSNER	2071 TUCKER DR.	Monica Hansner	Yes
CHRISTOPHER HANSNER	2071 TUCKER DR	Christopher Hansner	Yes
Karim Alhaidari	2088 TUCKER DR.	Karim Alhaidari	Yes
Lina Hashim	2088 TUCKER DR.	Lina Hashim	Yes
Thomas Scheuer	2248 TUCKER DR	Thomas Scheuer	Yes
Tracy Scheuer	2248 TUCKER DR.	Tracy Scheuer	Yes
Jean Makrzel	2322 TUCKER DR.	Jean Makrzel	Yes
Rick Churay	2338 TUCKER	Rick Churay	Yes
JAMES White	2322 TUCKER	James White	Yes
Doreen Nash	2325 TUCKER	Doreen Nash	Yes
FRANK FARON	2317 TUCKER	Frank Faron	Yes
VINCE WATSON	2262 TUCKER DR	Vince Watson	YES
Michael VEGGION	2155 TUCKER DR	Michael Veggion	Yes
BRUNO VEGGION	2119 TUCKER DR	Bruno Veggion	Yes
Tianmei Wu	5111 Forest View Dr. Troy MI 48085	Tianmei Wu	Yes
Tingting Quan	5097 Forest View Dr. Troy, MI 48085	Tingting Quan	Yes
Shahin Mohammad	5063 Forest View Dr. Troy 48085	Shahin Mohammad	Yes
A R Ghani	5069 Forest view Dr Troy	A R Ghani	Yes
Yaping Hao	5055 forest view Dr Troy	Yaping Hao	Yes
Sulwa Hermiz	5028 Forest View Dr. Troy	Sulwa Hermiz	Yes
PATRICK SMITH	2334 TUCKER	Patrick Smith	Yes
SANDRA ANDREONI	2097 TUCKER	Sandra Andreoni	YES
Elaine M. Wolf	2150 TUCKER	Elaine M. Wolf	Yes





**Petition to OPPOSE Bethesda Romanian Pentecostal Church Addition (Dated September 19, 2019)**

Please sign below if you would OPPOSE this type of developmental in your residential neighborhood

Name	Address	Signature	Troy Home Owner
Kathryn Mouton	3431 Tot Hill Drive, 48084		Yes
Brandon Preblich	4628 Argyle Dr 48085		Yes
Richard E. KATH	4056 Middlebury 48085		YES
RITA Mecoli	5088 Shady Creek 48085		Yes
Richard Ponsell	5088 Shady Creek 48085		YES
Rachana Mallenpudi	2039 Chaps Dr.		Yes -
Keelin Tan	2055 Chaps Dr		Yes
Sandha Ramalingam	2119 chaps dr		Yes
SRINIVAS. TALLURI	2182 chaps dr		yes
SIVA. Kanthanmani	2166 Chaps Dr		Yes.

**From:** [Mary Stockdale](#)  
**To:** [Planning](#)  
**Subject:** rezoning of #88-20-03-278-027  
**Date:** Monday, October 7, 2019 2:33:04 PM

---

Attention to the Planning Commission,

Since we live on De Etta, we want to bring to your attention the difficulty we have at leaving the street. We do have a street light but it seems its for the church's discretion when it works. It is a nightmare to try to turn left off the street, either due to the church having services or when they let out, heavy traffic, or just the oddity of the traffic flow. I'm surprised at the number of cars I have seen STOP at the yellow flashing light. Since we are a dead end street, we are forced to deal with this headache. Now you want to rezone for an office district. We don't know what added grief that's going to add to this congestion but do want you to know that we don't want any outlet onto De Etta.

Thank you

Dennis and Mary Stockdale  
964 De Etta

**From:** [Monica Hausner](#)  
**To:** [Planning](#)  
**Subject:** Fwd: Please Read - Opposition to Bethesda Development  
**Date:** Monday, November 11, 2019 3:16:18 PM  
**Attachments:** [image.png](#)  
[image.png](#)  
[image.png](#)  
[Bethesda Church Opposition Petition November 2019.pdf](#)

---

----- Forwarded message -----

**From:** Monica Hausner <[mhausner2@gmail.com](mailto:mhausner2@gmail.com)>  
**Date:** Mon, Nov 11, 2019 at 3:08 PM  
**Subject:** Please Read - Opposition to Bethesda Development  
**To:** Monica Hausner <[mhausner2@gmail.com](mailto:mhausner2@gmail.com)>

Dear Troy Planning Commission,

I am writing to express my opposition to the September 19, 2019 Bethesda Romanian proposed expansion in our residential neighborhood for the following reasons:

1) **NOT Compatible with Adjacent Uses**

**The proposed addition is still NOT constructed in a manner that is harmonious with the character of the adjacent property and the surrounding areas.**

- **Massive size (15,789 square feet & 170 feet long) compared to the residential homes. Residents could not build this type of structure.**

- **Very minimal reduction (2,600 sq. ft.) in size from April 2019 submission**

- The reduction in classrooms was simply replaced by a chapel
- The fellowship hall is just another name for the gym—it is the same size (109 ft. x 63 ft.)

- **Building will directly face the Tucker residents' front door**
- **Building looks and feels like a School** - Parishioners emailed me and said that the church wants to open a school at this building in the future
- **Low quality materials** - "Pre-manufactured" construction using cement board and faux brick
- **Setback Concerns** - The homes on the same side of the proposed addition will have a significant larger setback

2) **Noise, Lights and Hours of Operation Concerns**

- Residents surrounding the church complained about the noise
- Activities continue until 11pm or later on the weekends
- Residents on Forest View complained about the light pollution and lights on late at night

3) **Long History of Parking/Safety Concerns – How can the church be allowed to expand?**

Recent photos from November 3, 2019



4) **NOT Compatible with the Master Plan**

- **Loss of green space** – The master plan speaks to preservation of green space.

5) **Negative Impact on the Overall Environment & Neighborhood**

- The addition will **negatively affect the quality and natural features of Tucker** (i.e. reduction in green space) and **significantly change the look and feel of the residential neighborhood**.
  - Proposed **tree plantings will take 10 years to mature, if they even survive**. The church has a history of over 20 years of not maintaining their property/landscaping (see pictures below).
-



There has been **no maintenance of the trees for the past 20 years**, yet the applicant provides beautiful “drawings” of the landscaping. Below are examples of the current landscaping.



6) **Concerns with the Church Renting the Facility**

The information below is from the Bethesda website:  
<https://www.betesda.com/calendar/>

“**To reserve any church facilities** please email us at:  
[betezdarpc@gmail.com](mailto:betezdarpc@gmail.com)

Please specify room(s) requested:

Sanctuary

**Fellowship Hall**

Upstairs Room(s)

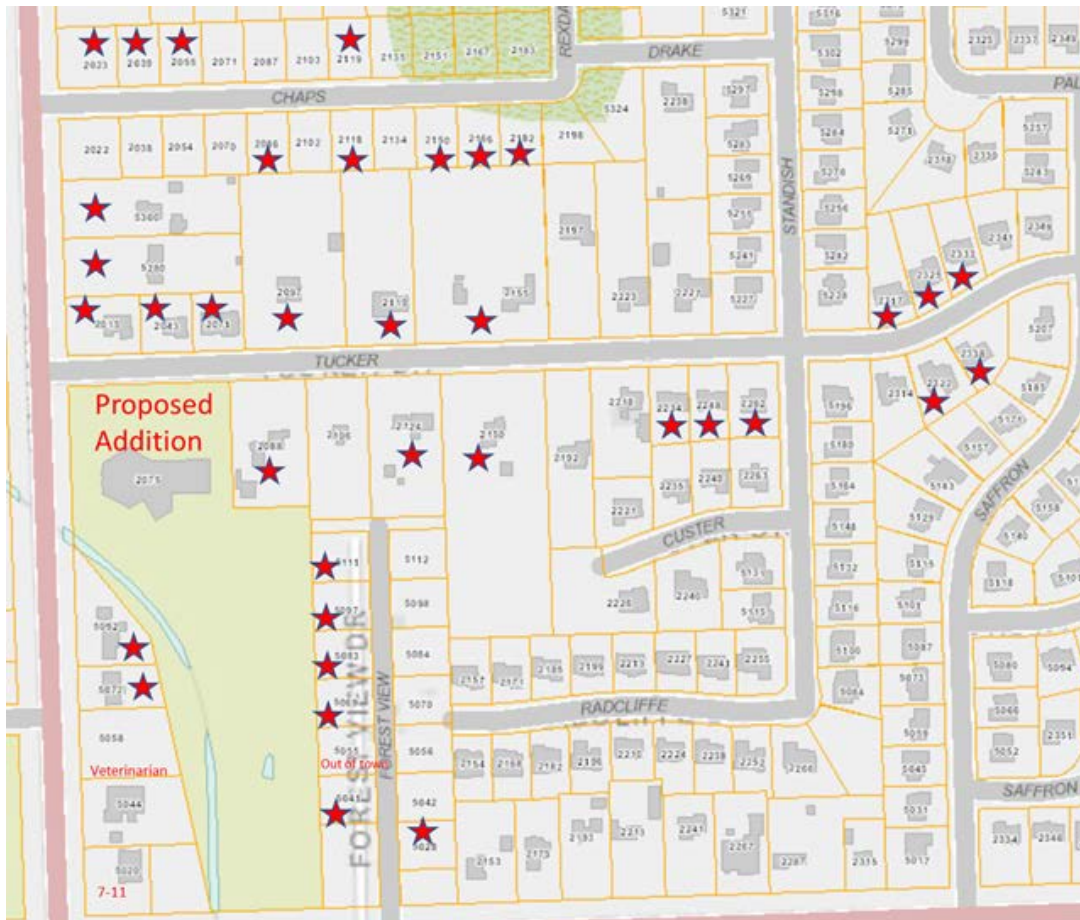
Other

**Date and Time**

Thank you for reserving in advance, and please allow 24-48 hours for confirmation and approval.”

**Also, you can see the church already has a “Fellowship Hall” listed. Why is a second Fellowship Hall needed?**

7) Residents surrounding the church **OPPOSE** the development as represented by the red stars below. Also, please see the attached petition with **47 signatures of the area residents opposing the development.**



8) **The Planning Commission should align with the newly Elected Mayor and City Council**

Below are the Mayor's and City Council's top goals:

- Ethan Baker – “Preserve the character of our neighborhoods by balancing green space with smart, reasonable development”
- Edna Abraham – “Ensure common sense development that preserves our neighborhood's character”
- Theresa Brooks – “Work to protect green spaces and respect our residents”
- Ann Erickson Gault – “Work to preserve our existing neighborhoods,

**support only developments that fit within the character of those neighborhoods**”

Thank you for your support.

Kind regards,  
Monica Hausner  
2071 Tucker Dr.

DATE: November 21, 2019

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SP JPLN2019-0036) - Proposed Horizon Bank Site Improvements, West side of Crooks, south of Big Beaver (2555 Crooks), Section 29, Currently Zoned O (Office) District

The petitioner Wightman submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application to make improvements to an existing office building, including new ATM drive through and drop box.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SPECIAL USE\SU JPLN2019-0036 HORIZON BANK\PC Memo 11 26 2019.docx



## PROPOSED RESOLUTION

PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SP JPLN2019-0036) - Proposed Horizon Bank Site Improvements, West side of Crooks, south of Big Beaver (2555 Crooks), Section 29, Currently Zoned O (Office) District

### **Resolution # PC-2019-11-**

Moved by:

Seconded by:

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Horizon Bank Site Improvements, including ATM drive through, West side of Crooks, South of Big Beaver (2555 Crooks), Section 29, Currently Zoned O (Office) District, be (granted, subject to the following conditions):

1. Provide lighting fixture cutsheets on plan set prior to Final Site Plan Approval.

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

Yes:

No:

Absent:

## MOTION CARRIED / FAILED

G:\SPECIAL USE\SU JPLN2019-0021 GREAT LAKES CHURCH\Proposed Resolution 2019 07 23.doc



595 0 297 595Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.





595 0 297 595 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 5, 2019

## **Preliminary Site Plan and Special Use Review For City of Troy, Michigan**

<b>Applicant:</b>	Christopher Brayak, Architect
<b>Project Name:</b>	Horizon Bank – Drive Thru Addition
<b>Plan Date:</b>	September 27, 2019
<b>Location:</b>	2555 Crooks Road
<b>Zoning:</b>	O, Office
<b>Action Requested:</b>	Preliminary Site Plan and Special Use Approval

### **PROJECT AND SITE DESCRIPTION**

We received a site plan for the installation of drive-up Horizon Bank ATM and drop box at the existing office building located at 2555 Crooks Road. Horizon Bank will occupy a portion of the first floor. The drive-up lane is proposed along the south side of the building, which is currently a grass area. In order to construct the drive-up lane the applicant will require the removal of nine (9) parking spaces. The applicant is significantly increasing site landscaping and improving site lighting. There are no physical changes to the building other than adding the ATM to the south elevation.

Banks with drive-up facilities are listed as a special use in the O, Office District.



### Location of Subject Property

The property is located on the 2555 Crooks Road, just south of Big Beaver Road.



### Current and Proposed Uses of Subject Parcel:

Office with Drive-up ATM Facility

### Current Zoning:

The property is currently zoned O, Office

Direction	Zoning	Use
North	O, Office	Office
South	O, Office	Office
East	RM-1, Multiple Family	Multiple Family Residential
West	O, Office	Office

## PARKING/STACKING

Section 13.06 provides the following parking requirements:

	Required	Provided	Compliance
Professional Office: 1 space per 300 gross sq/ft	14,000 sq.ft /300 = 47 spaces	47 spaces	Compliant
Stacking Spaces per service lane	4	4	Compliant
Barrier Free	2	3	Compliant

The drive-through lane addition requires the removal of nine (9) spaces from the site but parking still complies. The site is currently overparked by ordinance requirements.

**Items to be Addressed:** None.

## SITE ACCESS AND CIRCULATION

### Vehicular access and Circulation

Site access will remain via one (1) shared access off Crooks. The site plan has been reviewed by the engineering who notes that circulation and stacking as provided is sufficient. The Fire Department notes that fire lanes will be reviewed as part of the final site plan.

### Pedestrian access:

Consistent with City requirements, the existing sidewalks on Crooks adjacent to the development is already 8-feet in width.

**Items to be Addressed:** None

## LANDSCAPING

Though the applicant is removing a grassy area for the drive-through lane, they are providing a significant amount of landscaping improvements. Landscape improvements include building landscaping, parking lot landscaping, and landscape screening along the western property line,

**Items to be Addressed:** None.

## PHOTOMETRICS

The applicant is adding site and building lighting. Photometrics comply with ordinance requirements; however the applicant should include fixture cutsheets on plan set.

***Items to be Addressed:*** *Provide fixture cutsheets on plan set.*

## SPECIAL USE

In the O, Office district, Drive-up facilities are permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, take action on the request, or grant the request subject to specific conditions.”

### Use Standards

1. *Ingress and egress to drive-through facilities shall be part of the internal circulation of the site and integrated with the overall site design. Clear identification and delineation between the drive-through facility and the parking lot shall be provided. Drive-through facilities shall be designed in a manner which promotes pedestrian and vehicular safety.*

**Site access and circulation will remain mostly the same. Access to the drive-up ATM is located behind the existing office building. Pedestrian movement between drive-through traffic is limited.**

2. *Single-lane drive-throughs may be located at the side of a building. Multiple-lane drive-throughs shall be located in a manner that will be the least visible from a public thoroughfare. Canopy design shall be compatible with the design of the principal building and incorporate similar materials and architectural elements.*

**The proposed drive-up ATM is a single-lane drive-through located at the side of the building.**

3. *Each drive-through facility shall provide stacking space meeting the following standards:*
  - (a) *Each stacking lane shall be one-way, and each stacking lane space shall be a minimum of twelve (12) feet in width and twenty (20) feet in length.*
  - (b) *If proposed, an escape lane shall be a minimum of twelve (12) feet in width to allow other vehicles to pass those waiting to be served.*
  - (c) *The number of stacking spaces per service lane shall be provided for the uses listed below. When a use is not specifically mentioned, the requirements for off-street stacking space for the use with similar needs, as determined at the discretion of the Zoning Administration, shall apply. – Fast Food Restaurants require 10 stacking spaces per service lane.*

**The site plan complies with the stacking space requirements.**

## **Standards of Approval**

For any Special Use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, take action on the request, or grant the request subject to specific conditions.”

Section 9.03 states that before approving any requests for Special Use approval, the Planning Commission shall consider:

- 1. Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*
- 2. Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*
- 3. Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*
- 4. Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*
- 5. Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*
- 6. Impact on the Overall Environment. The proposed Special Use shall not unreasonably impact the quality of natural features and the environment in comparison to the impacts associated with typical permitted uses.*



7. *Special Use Approval Specific Requirements. The general standards and requirements of this Section are basic to all uses authorized by Special Use Approval. The specific and detailed requirements relating to particular uses and area requirements must be also satisfied for those uses.*

Overall we find that the Special Use Standards have been met:

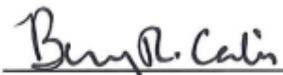
- The proposed addition of a drive-up ATM is accessory to the principal use of the existing office use. The existing site is office/commercial in nature and the accessory use is consistent with the existing commercial character of the property and surrounding area.
- The drive-up ATM is designed in such a way to reduce vehicular and pedestrian conflicts.
- The accessory addition to the use of the property is consistent with the Master Plan.
- The proposed use should not cause additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.
- The use complies with all other zoning requirements.

## RECOMMENDATION

We recommend preliminary site plan and special use approval on the condition the following items are addressed as part of the final site plan submittal:

- Provide fixture cutsheets on plan set.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.  
Benjamin R. Carlisle, LEED AP, AICP

# CITY OF TROY SPECIAL USE REQUEST APPLICATION

**CITY OF TROY PLANNING DEPARTMENT**  
**500 W. BIG BEAVER**  
**TROY, MICHIGAN 48084**  
**PHONE: 248-524-3364**  
**E-MAIL: [planning@troymi.gov](mailto:planning@troymi.gov)**



**SPECIAL USE APPROVAL FEE**  
**\$1,800.00**

**ESCROW FEE**  
**\$1,500.00**

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

APPLICATIONS FOR SPECIAL USE APPROVALS REQUIRING THE SUBMITTAL OF A SITE PLAN SHALL CONFORM TO THE REQUIREMENTS OF THE TROY ZONING ORDINANCE.

A PLANNING COMMISSION PUBLIC HEARING SHALL BE SCHEDULED FOLLOWING A DETERMINATION BY THE PLANNING DEPARTMENT THAT THE SPECIAL USE REQUEST APPLICATION IS COMPLETE AND MEETS THE REQUIREMENTS OF THE TROY ZONING ORDINANCE.

-----  
1. NAME OF THE PROPOSED DEVELOPMENT: \_\_\_\_\_

2. ADDRESS OF THE SUBJECT PROPERTY: \_\_\_\_\_

3. ZONING CLASSIFICATION OF SUBJECT PROPERTY: \_\_\_\_\_

4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: \_\_\_\_\_

5. DESCRIPTION OF PROPOSED USE: \_\_\_\_\_  
\_\_\_\_\_

6. SECTION OF THE ZONING ORDINANCE UNDER WHICH SPECIAL USE APPROVAL IS SOUGHT: \_\_\_\_\_

7. PLEASE PROVIDE A STATEMENT THAT ADDRESSES THE FOLLOWING ARCHITECTURAL DESIGN QUESTIONS:

A. DESCRIPTION OF CONTEXT OF SITE AND HOW PROJECT RESPONDS TO CHARACTER OF THE AREA

B. DESCRIPTION OF THE PROJECT'S DESIGN CONCEPT

C. DESCRIPTION OF HOW THE PROJECT ACHIEVES THE DESIGN CONCEPT

D. DESCRIPTION OF THE DEVELOPMENT PROGRAM (INTENDED USES, KNOWN OR POSSIBLE TENANTS, ETC.).

E. DESCRIPTION OF HOW THE BUILDING MATERIALS ENHANCE THE DESIGN CONCEPT

F. IF THE PROJECT IS IN A FORM-BASED DISTRICT, PROVIDE DESCRIPTION OF HOW THE PROJECT MEETS THE TRANSPARENCY REQUIREMENTS

G. NOTE ANY OTHER IMPORTANT ELEMENTS, FEATURES OR DESIGN CONCEPTS NOT COVERED ABOVE THAT WILL HELP THE PLANNING COMMISSION UNDERSTAND HOW THE PROJECT FOSTERS EXCELLENCE IN THE DESIGN OF THE BUILT ENVIRONMENT

APPLICANT:

NAME \_\_\_\_\_

COMPANY \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

TELEPHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

PROPERTY OWNER:

NAME \_\_\_\_\_

COMPANY \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

TELEPHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

8. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:

9. **SIGNATURE OF APPLICANT** \_\_\_\_\_ **DATE** \_\_\_\_\_

10. **SIGNATURE OF PROPERTY OWNER** \_\_\_\_\_ **DATE** \_\_\_\_\_

*BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES THE PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC OF THE REQUEST FOR SPECIAL USE APPROVAL.*





September 30, 2019

City of Troy Planning Department  
500 W. Beaver  
Troy, Michigan 48084

Attention: R. Brent Savidant, AICP, Planning Director

**RE: ARCHITECTURAL DESIGN STATEMENT**

Dear [Name 2]:

The following is our Architectural Design Statement with regards to the Special Use Request Application:

- A. The existing context of the site is reminiscent of a typical office park. Crooks Road is a five-lane thoroughfare surrounding by property occupied by professional offices, medical offices and religious building types. The front yards are landscaped with sidewalks and parking is provided at the rear of the sites. The landscape character in the front yards presents a pleasant suburban office park atmosphere.
- B. The project design concept is very simple as this is an existing building and site. The design concept is to maintain and freshen up the existing site to improve the facility's curb appeal as well as to adhere to Horizon Bank's brand.
- C. The project will achieve the design concept goals as follows:
  - 1. A new single drive through lane is proposed along the south side of the building. The drive through will contain an ATM and drop box. These items are necessary for the business functions of the bank. The proposed drive through requires a special use permit.
  - 2. Landscaped parking lot islands will be added to the rear parking lot. The islands will provide pervious areas of landscaping that will balance the amount of additional impervious area added by the proposed drive through lane.
  - 3. The existing landscaping is overgrown and will be replaced as indicated on the Landscaping Plan.
  - 4. The existing site lighting is poor. There are currently lights mounted on the roof that shine on the parking lot. We propose to abandon those lights and install two (2) light poles in the parking lot with cut-off LED fixtures that will eliminate the glare produced by the existing lighting.
- D. The intended development program includes maintaining the use of the building for professional offices. The lower front suite will be renovated and occupied by Horizon Bank. The bank will not have a traditional lobby. This office location will function as a mortgage and loan office. The lobby will contain one automated teller unit and will function as a waiting room. The layout of the bank area will be modified to the bank's needs. The remainder of the building will be maintained as office suites. The building mechanical system will also be upgraded as part of the renovation.
- E. The exterior of the building is not being altered so the existing design concept will be preserved.
- F. This project is not located in one of the form-based districts.

---

**BENTON HARBOR**

A 2303 PIPESTONE ROAD  
BENTON HARBOR, MI 49022  
o 269.927.0100

**ALLEGAN**

A 1670 LINCOLN ROAD (M-40)  
ALLEGAN, MI 49010  
o 269.673.8465

**KALAMAZOO**

A 433 E. RANSOM STREET  
KALAMAZOO, MI 49007  
o 269.327.3532

**GOWIGHTMAN.COM**

R. Brent Savidant, AICP, Planning Director

9/30/2019

Page 2

If you have any questions, please feel free to contact me.

Very truly yours,



Christopher Brayak, AIA  
cbrayak@gowightman.com

cc: [Carbon Copy if required]



# **SPECIAL USE APPROVAL APPLICATION CHECKLIST**

## **THE FOLLOWING INFORMATION AND MATERIALS ARE NECESSARY FOR SUBMISSION:**

- ☐ REQUIRED FEE
- ☐ ONE (1) CD CONTAINING AN ELECTRONIC VERSION OF THE ENTIRE SPECIAL USE SITE PLAN APPLICATION (PDF Format)

### **ONE (1) HARD COPY OF THE FOLLOWING:**

- ☐ COMPLETED CITY OF TROY SPECIAL USE APPROVAL APPLICATION FORM
- ☐ CERTIFIED BOUNDARY SURVEY
- ☐ CERTIFIED TOPOGRAPHIC SURVEY

### **TWO (2) HARD COPIES OF THE FOLLOWING:**

- ☐ PRELIMINARY SITE PLAN SHOWING PROPOSED SITE LAYOUT AND USES
- ☐ PRELIMINARY TREE PRESERVATION PLAN / TREE INVENTORY
- ☐ PRELIMINARY LANDSCAPE PLAN
- ☐ PRELIMINARY FLOOR PLANS
- ☐ PRELIMINARY ELEVATIONS
- ☐ PRELIMINARY GRADING PLAN
- ☐ PRELIMINARY LIGHTING PLAN
- ☐ STATEMENT OF COMPATIBILITY AS PER SECTION 9.03 OF THE ZONING ORDINANCE
- ☐ 3-D COLOR RENDERING(S) AND/OR BUILDING MODEL

***ALL HARD COPY DRAWINGS SHALL BE FOLDED, STAPLED, SEALED AND SIGNED  
BY A STATE OF MICHIGAN PROFESSIONAL ENGINEER, REGISTERED ARCHITECT,  
REGISTERED LANDSCAPE ARCHITECT OR PROFESSIONAL COMMUNITY PLANNER***

***ALL BUILDING PLANS SHALL BE PREPARED BY, SEALED BY, AND SIGNED BY A  
REGISTERED ARCHITECT***

***PLANNING COMMISSION AGENDAS ARE ELECTRONIC***

### **NOTICE TO APPLICANT**

Public Hearing notices regarding requests for Special Use Approval will be sent to residents and property owners within 300 feet of the site involved in the request, notification signs will be placed on the property and notices will be posted on the City of Troy website and published in the newspaper of record. The opinions and concerns of residents and adjacent property owners are taken into consideration by the Planning Commission in the course of the Public Hearing.





"ALTA/NSPS LAND TITLE SURVEY"  
IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN

LEGAL DESCRIPTION PER SCHEDULE C, COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 839312, COMMITMENT DATE FEBRUARY 01, 2019:

LAND IN THE CITY OF TROY, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 29, TOWN 2 NORTH, RANGE 11 EAST, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT A POINT, BEING 1,052.38 FEET NORTHERLY ALONG THE EAST SECTION LINE FROM THE EAST 1/4 CORNER; THENCE NORTHERLY ALONG SECTION LINE, 115.0 FEET; THENCE WESTERLY 436.0 FEET; THENCE SOUTHERLY 115.0 FEET; THENCE EASTERLY 436.0 FEET TO THE POINT OF BEGINNING, EXCLUDING THAT PORTION IN CROOKS ROAD RIGHT-OF-WAY.

EASEMENT PARCEL 1:  
TOGETHER WITH A NON-EXCLUSIVE EASEMENT AS CREATED, LIMITED AND DEFINED BY THAT INSTRUMENT RECORDED IN LIBER 7965, PAGE 628, OAKLAND COUNTY RECORDS.

EASEMENT PARCEL 2:  
TOGETHER WITH A NON-EXCLUSIVE EASEMENT AS CREATED, LIMITED AND DEFINED BY THAT INSTRUMENT RECORDED IN LIBER 8603, PAGE 694, OAKLAND COUNTY RECORDS.

SCHEDULE B, SECTION II, EXCEPTIONS, PER COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 839312, COMMITMENT DATE FEBRUARY 01, 2019:

7. TERMS AND CONDITIONS CONTAINED IN EASEMENTS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 7965, PAGE 628 AND LIBER 8603, PAGE 694, SHOWN HEREON.

8. CROSS-ACCESS OR JOINT-DRIVE EASEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 8884, PAGE 324, SHOWN HEREON.

SURVEY NOTES:

MONUMENTS HAVE BEEN PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER (TABLE A, ITEM 1).

THIS PARCEL'S ADDRESS WAS OBSERVED TO BE 2555 CROOKS ROAD (TABLE A, ITEM 2).

THE SURVEYED PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER INFORMATION OBTAINED FROM NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP MAP NUMBER 26125C0541F, EFFECTIVE DATE SEPTEMBER 29, 2009. (TABLE A, ITEM 3).

THE SURVEYED PARCEL CONTAINS 0.99 OF AN ACRE MORE OR LESS (TABLE A, ITEM 4).

NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR TO DATE. ZONING INFORMATION FROM THE CITY OF TROY ZONING ORDINANCE SHOWS THE PARCEL IS ZONED: O-OFFICE (TABLE A, ITEMS 6(a) AND 6(b)).

BUILDING SETBACKS: FRONT- 10'  
SIDE- 20'  
REAR- 30'

EXTERIOR DIMENSIONS OF ALL BUILDINGS OBSERVED AT GROUND LEVEL ARE SHOWN HEREON (TABLE A, ITEM 7(a)).

THE SQUARE FOOTAGE OF THE BUILDING AT GROUND LEVEL IS 6,942 SQUARE FEET MORE OR LESS (TABLE A, ITEM 7(b)).

SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY ARE SHOWN HEREON (TABLE A, ITEM 8).

THERE ARE 55 REGULAR MARKED PARKING SPACES AND 2 MARKED BARRIER FREE PARKING SPACES ON THE SURVEYED PARCEL (TABLE A, ITEM 9).

THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES (TABLE A, ITEM 11).

NAMES OF ADJOINING OWNERS OF PLATTED AND UNPLATTED LANDS ARE SHOWN HEREON (TABLE A, ITEM 13).

DISTANCE TO THE NEAREST INTERSECTING STREET (CROOKS ROAD/KIRTS BOULEVARD) IS ±310' SOUTH OF SURVEYED PARCEL (TABLE A, ITEM 14).

NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK (TABLE A, ITEM 16).

AT THE TIME OF THE SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS (TABLE A, ITEM 17).

OFFSITE APPURTENANT EASEMENT DISCLOSED IN THE COMMITMENT FOR TITLE INSURANCE IS SHOWN HEREON (TABLE A, ITEM 19).

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD, OR OTHERWISE.

THIS SURVEY WAS PERFORMED WITH AN ACCURACY THAT IS NOT LESS THAN REQUIRED BY THE MINIMUM STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYING IN MICHIGAN.

BEARINGS ARE RELATED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.

THE REQUIREMENTS OF P.A. 132 OF 1970, AS AMENDED, HAVE BEEN COMPLIED WITH, EXCEPT FOR PAPER SIZE.

WITNESS TIES

NORTHEAST CORNER, SECTION 29-2-11

IRON ROD W/ 2" DIAMETER BRASS CAP STAMPED OAKLAND COUNTY REMONUMENTATION, PS #17623 IN MONUMENT BOX  
PER L.C.R.C. LIBER 17055, PAGE 767  
TOP OF SOUTHWEST BOLT IN A CONCRETE BASE FOR STEEL LIGHT POST  
TOP OF SOUTHEAST BOLT IN A CONCRETE BASE FOR STEEL LIGHT POST  
TOP OF NORTHEAST BOLT IN A CONCRETE BASE FOR STEEL LIGHT POST  
TOP OF NORTHWEST BOLT IN A CONCRETE BASE FOR STEEL LIGHT POST

N23°E 115.67'  
N70°W 50.94'  
S23°W 123.22'  
S70°E 53.03'

EAST 1/4 CORNER, SECTION 29-2-11

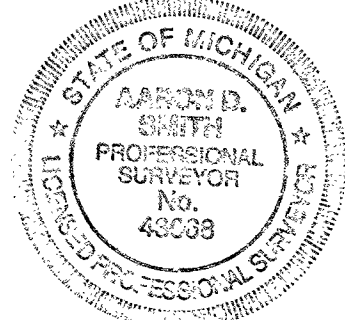
2" DIAMETER BRASS CAP STAMPED OAKLAND COUNTY REMONUMENTATION, PS #17623 ON CONCRETE MONUMENT IN MONUMENT BOX  
PER L.C.R.C. LIBER 17155, PAGE 258  
PK & REMON WASHER IN NORTHEAST FACE OF POWER POLE  
PK & REMON WASHER IN NORTHWEST FACE OF 17" MAPLE  
PK & REMON WASHER IN NORTHWEST FACE OF 10" MAPLE  
CENTER OF TOP NUT ON FIRE HYDRANT  
1/2" IRON ROD IN A MONUMENT BOX

S67°E 57.29'  
S20°W 152.80'  
N62°E 80.94'  
N15°W 171.77'  
SOUTH 46.85'

CERTIFICATION:

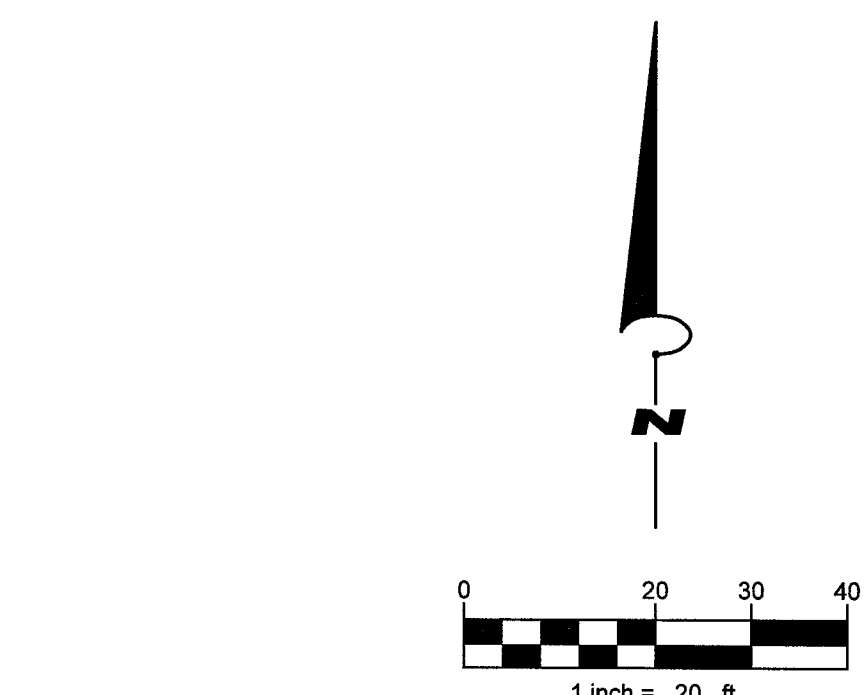
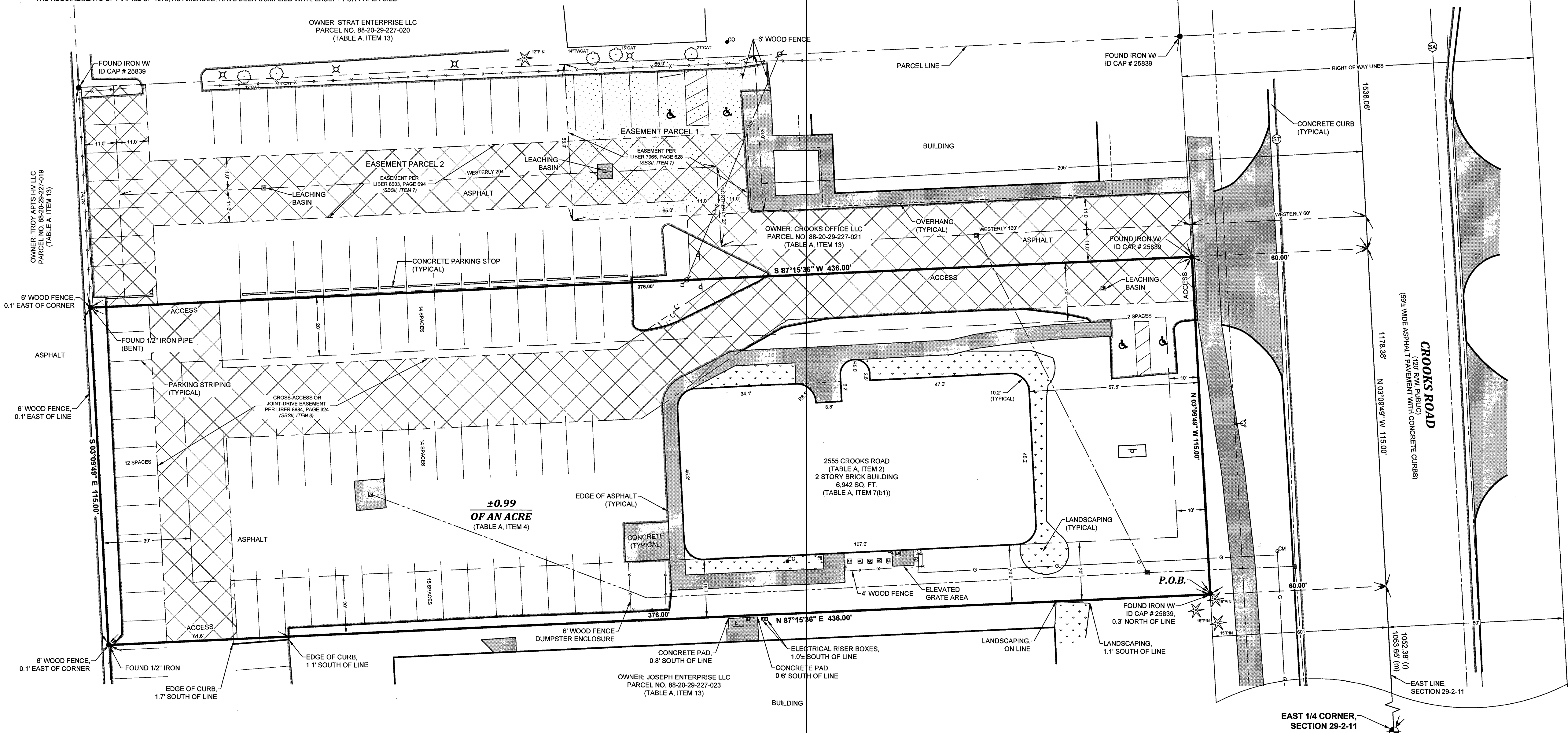
PASHA INDUSTRIAL, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY AND HORIZON BANK.  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD  
DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4,  
6(a), 6(b), 7(a), 7(b), 8, 9, 11, 13, 14, 16, 17, 19, AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 19, 2019.

Aaron D. Smith  
AARON D. SMITH PS - 43068  
asmith@gowightman.com



10/1/2019  
DATE

- LEGEND**
- = FOUND IRON (AS NOTED)
  - ⚡ = POWER POLE
  - ✕ = LIGHT POLE
  - ⋄ = GUY WIRE
  - ⊠ = ELECTRIC RISER BOX
  - ⊞ = ELECTRIC TRANSFORMER
  - ⊞ = AIR CONDITIONER
  - ⊞ = TELEPHONE PEDESTAL
  - ⊞ = GAS METER
  - ⊞ = GAS MARKER POST
  - ⊞ = WATER VALVE
  - ⊞ = FIRE HYDRANT
  - ⊞ = WATER SPIGOT
  - ⊞ = STORM MANHOLE
  - ⊞ = CURB INLET
  - ⊞ = CATCH BASIN
  - ⊞ = CLEAN OUT
  - ⊞ = SIGN
  - ⊞ = SATELLITE DISH
  - ⊞ = BARRIER FREE PARKING SPACE
  - ⊞ = DECIDUOUS TREE
  - ⊞ = CONIFEROUS TREE
  - CAT = CATALPA
  - PIN = PINE
  - TWCAT = TWIN CATALPA
  - (m) = MEASURED
  - (f) = RECORDED
  - SBSH = SCHEDULE B, SECTION II
  - P.O.B. = POINT OF BEGINNING
  - CHE — = OVERHEAD UTILITY LINE
  - — — = APPROXIMATE SANITARY SEWER LOCATION
  - — — = APPROXIMATE STORM SEWER LOCATION
  - — — = APPROXIMATE WATER LOCATION
  - G — = APPROXIMATE BURIED GAS LOCATION



**WIGHTMAN**  
BENTON HARBOR  
2303 Pipestone Road  
Benton Harbor, MI 49022  
Phone: 269.927.0100  
  
KALAMAZOO  
433 East Ransom Street  
Kalamazoo, MI 49007  
Phone: 269.327.3532  
  
ALLEGAN  
1670 Lincoln Road  
Allegan, MI 49010  
Phone: 269.673.8465  
  
www.gowightman.com

PROJECT ADDRESS:

**HORIZON BANK**  
**TROY**  
2555 CROOKS RD.  
TROY, MI 48064

**HORIZON BANK**  
515 FRANKLIN ST.  
MICHIGAN CITY, IN 46360

09/27/2019 CJB  
ISSUED FOR SITE PLAN  
APPROVAL

PRELIMINARY - NOT FOR  
CONSTRUCTION

**REVISIONS**  
DATE: APRIL 1, 2019  
SCALE: 1" = 20'  
DRAWN BY: ACE  
CHECKED BY: GDH

BOUNDARY SURVEY

JOB No. 190079  
**C001**







# HORIZON BANK

## TROY - SITE IMPROVEMENTS & 1st FLOOR RENOVATION PROJECT

### 2555 CROOKS ROAD, TROY, MICHIGAN 48084

INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE	ISSUE DATE
G100	TITLE SHEET	09/27/2019
C001	BOUNDARY SURVEY	09/27/2019
C002	TOPOGRAPHIC SURVEY	09/27/2019
C100	SITE DIMENSIONAL AND UTILITY PLAN	09/27/2019
C101	SITE GRADING PLAN AND SESC PLAN	09/27/2019
C102	SITE LIGHTING PLAN	09/27/2019
C500	SITE DETAILS AND SPECIFICATIONS	09/27/2019
A100	FLOOR PLAN	09/27/2019
A200	EXTERIOR ELEVATIONS	09/27/2019
L100	LANDSCAPING PLAN	09/27/2019
L200	LANDSCAPING DETAILS	09/27/2019

CONTACT INFORMATION

OWNER:  
HORIZON BANK  
JAMES J. JAKSA, NCARB CFM  
VICE PRESIDENT FACILITIES & SERVICES  
515 FRANKLIN STREET  
MICHIGAN CITY, INDIANA 46360  
PHONE: (219) 874-9209  
FAX: (219) 874-9202  
E-MAIL: JJAKSA@HORIZONBANK.COM

ARCHITECT:  
WIGHTMAN  
CHRISTOPHER BRAYAK, AIA  
2303 PIPESTONE RD.  
BENTON HARBOR, MI 49022  
PHONE: (269) 927-0100  
FAX: (269) 927-1300  
E-MAIL: CBRAYAK@GOWIGHTMAN.COM

LANDSCAPE ARCHITECT:  
PLANNED ENVIRONMENT ASSOCIATES  
STUART FRANZEN, PLA  
PO BOX 2256  
CHESTERTON, IN 46304  
PHONE: (219) 929-7959  
EMAIL: SFRANZ01@COMCAST.NET

MECHANICAL / ELECTRICAL / PLUMBING:  
M/E DESIGN SERVICES  
THOMAS COOK  
120 S. HILL STREET  
MISHAWAKA, IN 46544  
PHONE: (574) 256-1914  
EMAIL: TCOOK@M-E-DESIGN.NET

CITY OF TROY PLANNING DEPARTMENT:  
R. BRENT SAVIDANT  
500 W. BIG BEAVER ROAD  
TROY, MI 48084  
PHONE: (248) 524-3364  
EMAIL:

CONTRACTOR:  
T&D

LIST OF ABBREVIATIONS:

A.I.C.	-ALT. INTERRUPTING CAPACITY	L.L.H.	-LONG LEG HORIZONTAL
A.B.	-ANCHOR BOLT	L.L.V.	-LONG LEG VERTICAL
A.F.F.	-ABOVE FINISHED FLOOR	L.P.	-LOW POINT
ALT.	-ALTERNATE	LAV.	-LAVATORY
ALUM.	-ALUMINUM	LOC.	-LOCATE
AUX.	-AUXILIARY	LG.	-LONG
B.O.	-BOTTOM OF	MAS.	-MASONRY
BD.	-BOARD	MAX.	-MAXIMUM
BLK'G.	-BLOCKING	MIN.	-MINIMUM
BM.	-BEAM	MTD.	-MOUNTED
BOT., BOT.	-BOTTOM	MTL.	-METAL
BRZ.	-BRONZE	N.I.C.	-NOT IN CONTRACT
CL	-CENTER LINE	O.C.	-ON CENTER
C. COND.	-CONDUIT	O.D.	-OUTSIDE DIMENSION
CLG.	-CEILING	O.H.	-OVERHANG
COL.	-COLUMN	O/O	-OUT TO OUT
CONC.	-CONCRETE	Ø	-PHASE, DIAMETER
CONN.	-CONNECTION	R	-PLATE
CONT.	-CONTINUOUS	PLYWD., PLWD.	-PLYWOOD
CONTR.	-CONTRACTOR	P.O.S.	-POINT OF SALE
CTR.	-CENTER	PREFAB.	-PREFABRICATED
C.W.	-COLD WATER	P.S.F.	-POUNDS PER SQ. FOOT
Ø	-DIAMETER, PHASE	P.S.I.	-POUNDS PER SQ. INCH
DIA.	-DIAMETER, DIAGRAM	P.T.	-PRESSURE TREATED
DBL	-DOUBLE	PTN.	-PARTITION
D/T	-DRIVE-THRU	P.V.C.	-POLYVINYL CHLORIDE
DWG.	-DRAWING	QTY.	-QUANTITY
E.F.	-EXHAUST FAN	R.D.	-ROOF DRAIN
EA	-EACH	RECEPT.	-RECEPTACLE
ELECT.	-ELECTRIC	REINF.	-REINFORCING
ELEV.	-ELEVATION	REQ'D.	-REQUIRED
EQ.	-EQUAL	R.W.L.	-RAIN WATER LEADER
EQUIP.	-EQUIPMENT	SQ.	-SQUARE
E.W.	-EACH WAY	S/S, S.S.	-STAINLESS STEEL
EXT.	-EXTERIOR	STL.	-STEEL
F.C.O.	-FLOOR CLEAN OUT	STRUC.	-STRUCTURAL
F.D.	-FLOOR DRAIN	SURF.MTD.	-SURFACE MOUNTED
F.E.	-FIRE EXTINGUISHER	S.W.	-SAFE WASTE
FIN.FL.	-FINISH FLOOR	T&G	-TONGUE AND GROOVE
F.O.M.	-FACE OF MASONRY	T.O.S.	-TOP OF SLAB
F.O.S.	-FACE OF STUD	TYP.	-TYPICAL
F.R.P.	-FIRE RATED PANELING	UR.	-URINAL
F.S.	-FLOOR SINK	VEN.	-VENEER
FT.	-FOOT	VERT.	-VERTICAL
FTG.	-FOOTING	VEST.	-VESTIBULE
GA.	-GAUGE	V.T.R.	-VENT THRU ROOF
GALV.	-GALVANIZED	W.	-WIDE, WASTE
G.C.	-GENERAL CONTRACTOR	w/	-WITH
G.P.M.	-GALLONS PER MINUTE	W.C.	-WATER CLOSET
GRD.	-GROUND	W.C.O.	-WALL CLEAN OUT
G.W.	-GREASY WASTE	WD.	-WOOD
GYP.	-GYPSUM	W.H.	-WATER HEATER
HORIZ.	-HORIZONTAL	W.I.B.	-WALK IN BOX
HT.	-HEIGHT	W.P.	-WATER PROOF
H.W.	-HOT WATER	W.W.F.	-WELDED WIRE FABRIC
H.D.	-HAND DRYER	W.W.M.	-WELDED WIRE MESH
H.P.	-HORSE POWER, HIGH POINT		
I.D.	-INTERIOR DESIGN		
INSUL.	-INSULATION		



SITE LOCATION MAP  
SCALE: N.T.S.

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, & FEDERAL LAWS, RULES & REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- ARCHITECTURAL WORK SHALL BE IN ACCORDANCE w/ THE MICHIGAN BUILDING CODE.
- ELECTRICAL WORK SHALL BE PERFORMED BY STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE NATIONAL ELECTRIC CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH & INSTALL ALL MATERIALS & LABOR TO PROVIDE A FULL WORKING ELECTRICAL SYSTEM.
- ALL PLUMBING WORK SHALL BE PERFORMED BY STATE OF MICHIGAN LICENSED PLUMBERS ACCORDING TO MICHIGAN PLUMBING CODE & LOCAL HEALTH DEPARTMENT. FURNISH & INSTALL ALL MATERIALS & LABOR TO PROVIDE A FULL WORKING PLUMBING SYSTEM.
- ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE & THE AMERICANS w/ DISABILITIES ACT.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
- IF ANY ERRORS, OMISSIONS, OR DISCREPANCIES BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE FINAL CLEAN-UP OF THE PROJECT.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL NOT ORDER EQUIPMENT OR FABRICATE BUILDING COMPONENTS WITHOUT FIRST FIELD VERIFYING ALL DIMENSIONS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN THE EXISTING BUILT ENVIRONMENT AND THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, BONDS & OTHER FEES REQUIRED FOR PROPOSED WORK.
- THE CONTRACTOR SHALL CONSTRUCT A DUST WALL WHERE INDICATED ON THE PLANS. THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO MAINTAIN A SAFE WORKING ENVIRONMENT FOR THE OCCUPANTS OF THE BUILDING AND THE GENERAL PUBLIC.
- CONTRACTOR TO VERIFY IF THERE IS AN EXISTING IRRIGATION SYSTEM AND REPORT TO THE OWNER AND ARCHITECT.

SCOPE OF SITE WORK:

THE SCOPE OF WORK:

ADD ONE DRIVE-THROUGH LANE ON THE SOUTH AND EAST SIDE OF THE BUILDING.

ADD LANDSCAPED PARKING LOT ISLANDS. THE PARKING LOT ISLANDS BALANCE THE IMPERVIOUS - PERVIOUS SURFACE AREAS BEFORE CONSTRUCTION AND AFTER PROPOSED CONSTRUCTION.

THE EXISTING LANDSCAPING IS BEING REMOVED AND ALL NEW LANDSCAPING IS BEING PROPOSED.

NEW LED PARKING LOT LIGHTING IS BEING ADDED BEHIND THE BUILDING TO PROVIDE SAFER ENVIRONMENT.

THERE IS TO BE NEW DIRECTIONAL SIGNAGE IN THE PARKING LOT.

THE EXISTING PARKING LOT STRIPING IS TO BE BLACKENED OUT AND ALL NEW PARKING LOT STRIPING IS TO BE PROVIDED.

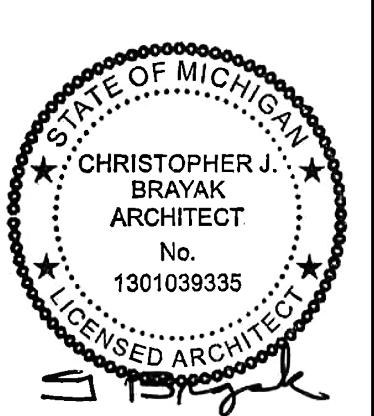
**WIGHTMAN**

**BENTON HARBOR**  
2303 Pipestone Road  
Benton Harbor, MI 49022  
Phone: 269.927.0100

**KALAMAZOO**  
433 East Ransom Street  
Kalamazoo, MI 49007  
Phone: 269.327.3532

**ALLEGAN**  
1670 Lincoln Road  
Allegan, MI 49010  
Phone: 269.673.8465

[www.gowightman.com](http://www.gowightman.com)



PROJECT NAME:  
**HORIZON BANK**  
**TROY**  
2555 CROOKS RD.  
TROY, MI 48084

**HORIZON BANK**  
515 FRANKLIN ST.  
MICHIGAN CITY, IN 46360

09/27/2019  
ISSUED FOR SITE PLAN  
APPROVAL

PRELIMINARY - NOT FOR  
CONSTRUCTION

REVISIONS

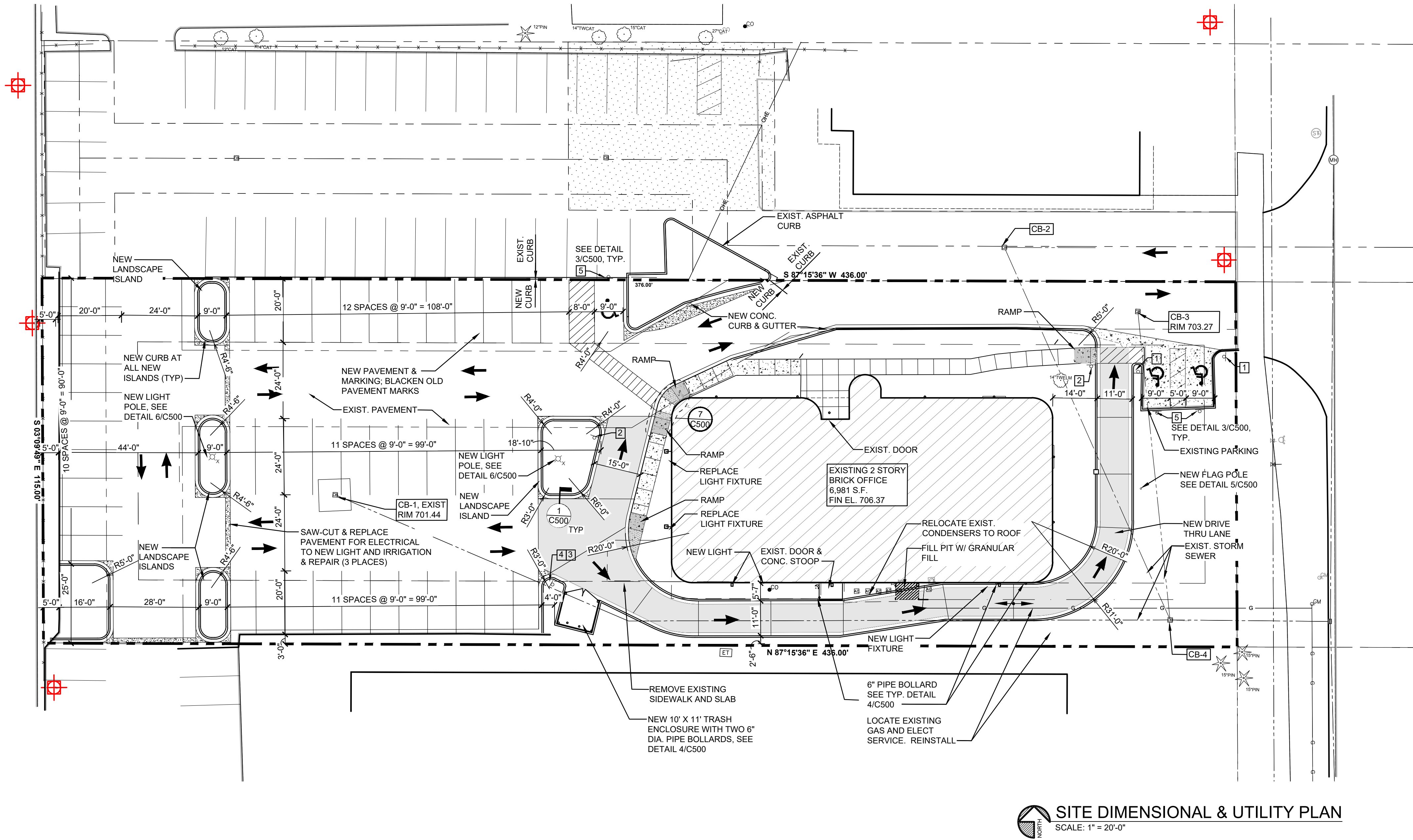
THE REPRODUCTION, COPYING OR OTHER  
USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT IS PROHIBITED.  
© 2019 WIGHTMAN & ASSOCIATES, INC.

DATE: 09/27/2019  
SCALE:

TITLE SHEET

JOB No. 190079  
**G100**





SITE DIMENSIONAL & UTILITY PLAN  
SCALE: 1" = 20'-0"

BENCHMARK INFORMATION	
BM #1:	ELEV. 704.53' BENCHMARK: WEST FLANGE BOLD OF FIRE HYDRANT
BM #2:	ELEV. 705.52' BENCHMARK: GIN SPIKE IN SOUTH SIDE OF POWER POLE

SITE SIGNAGE SCHEDULE	
MARK	DESCRIPTION
1	STOP SIGN
2	ONE-WAY, DO-NO-ENTER SIGN
3	ATM SIGN
4	DRIVE-THROUGH SIGN
5	HANDICAPPED PARKING SIGN

SITE HATCH SCHEDULE	
[Pattern]	NEW CONC. OR BITUMEN PAVEMENT & SIDEWALK
[Pattern]	NEW CONCRETE
[Pattern]	NEW CROSSWALK PAINT
[Pattern]	FILL-IN FRESH-AIR WELL

ZONING	
ZONING DISTRICT: O - OFFICE	
MINIMUM SETBACKS:	
REQUIRED	PROVIDED
FRONT:	10'-0" 10'-0"
SIDE:	20'-0" 20'-0"
REAR:	30'-0" 30'-0"

PARKING COUNT	
CAR PARKING REQUIRED: PROFESSIONAL OFFICE 1/300 SF = 47 SPACES REQUIRED W/ 3 BARRIER FREE SPACES	
EXISTING: STANDARD SPACES BARRIER FREE SPACES TOTAL EXISTING PARKING:	54 2 56
PROPOSED: STANDARD SPACES BARRIER FREE SPACES TOTAL NEW PARKING SPACES	44 3 47

LOT COVERAGE	
EXISTING:	
IMPERVIOUS BUILDING:	6,981 SF
IMPERVIOUS HARDSCAPE:	26,335 SF
IMPERVIOUS TOTAL:	33,316 SF
PERVIOUS TOTAL:	9,923 SF
LOT COVERAGE RATIO:	23% PERVIOUS
PROPOSED:	
IMPERVIOUS BUILDING:	6,981 SF
IMPERVIOUS HARDSCAPE:	26,633 SF
IMPERVIOUS TOTAL:	33,614 SF
PERVIOUS TOTAL:	9,625 SF
LOT COVERAGE RATIO:	22% PERVIOUS
TOTAL SITE:	43,239 SF

DRAINAGE STRUCTURE INFORMATION			
CB-1 =	EXISTING	=	701.44'
	RIM	=	INV. SE
		=	899.34', 12" Ø CONC.
CB-2 =	EXISTING	=	704.33'
	RIM	=	INV. EAST
		=	701.33', 8" Ø PLASTIC
		=	*RIM OF STRUCTURE BADLY BROKEN. STANDING WATER IN STRUCTURE.
CB-3 =	EXISTING	=	703.27'
	RIM	=	INV. SOUTH
		=	699.87', 9" Ø METAL
		=	* RUSTY METAL PIPE. PIPE FULL OF DIRT.
CB-4 =	EXISTING	=	702.67'
	RIM	=	INV. WEST
		=	698.27', 12" CONC.
	INV. NORTH	=	699.47', 6" PVC
	INV. EAST	=	698.17', 12" CONC.

UTILITY LEGEND	
[Symbol]	EXISTING GAS
[Symbol]	PROPOSED GAS
[Symbol]	EXISTING WATER
[Symbol]	PROPOSED WATER
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	PROPOSED STORM SEWER
[Symbol]	EXISTING ELECTRIC
[Symbol]	PROPOSED ELECTRIC
[Symbol]	EXISTING OVERHEAD ELECTRIC
[Symbol]	PROPOSED OVERHEAD ELECTRIC
[Symbol]	EXISTING TELEPHONE
[Symbol]	PROPOSED TELEPHONE
[Symbol]	EXISTING CAT T.V.
[Symbol]	PROPOSED CAT T.V.
[Symbol]	EXISTING FIBER OPTICS
[Symbol]	PROPOSED FIBER OPTICS
[Symbol]	PROPOSED IRRIGATION
[Symbol]	SPOT ELEVATIONS
[Symbol]	PROP. ELEV.
[Symbol]	EXIST. ELEV.

SITE SYMBOL LEGEND	
[Symbol]	FOUND IRON
[Symbol]	FOUND PK NAIL
[Symbol]	SET PK NAIL
[Symbol]	UTILITY POLE
[Symbol]	GUY ANCHOR
[Symbol]	LIGHT POLE
[Symbol]	ELECTRIC METER
[Symbol]	ELECTRIC TRANSFORMER
[Symbol]	ELECTRIC MANHOLE
[Symbol]	RED PAINT
[Symbol]	GAS VALVE
[Symbol]	GAS METER
[Symbol]	TELEPHONE MANHOLE
[Symbol]	COMMUNICATIONS VAULT
[Symbol]	FIRE HYDRANT
[Symbol]	BLUE PAINT
[Symbol]	WATER VALVE
[Symbol]	CATCH BASIN
[Symbol]	STORM SEWER LINE
[Symbol]	SANITARY MANHOLE
[Symbol]	FUEL TANK COVER / LID
[Symbol]	CLEAN OUT
[Symbol]	UNKNOWN MANHOLE
[Symbol]	GUARD POST
[Symbol]	HANDICAPPED PARKING
NAVD88	NORTH AMERICAN VERTICAL DATUM OF 1988
R/W	RIGHT OF WAY
[Symbol]	MONITORING WELL
[Symbol]	SIGN

**WIGHTMAN**  
**BENTON HARBOR**  
2303 Pipestone Road  
Benton Harbor, MI 49022  
Phone: 269.927.0100  
**KALAMAZOO**  
433 East Ransom Street  
Kalamazoo, MI 49007  
Phone: 269.327.3532  
**ALLEGAN**  
1670 Lincoln Road  
Allegan, MI 49010  
Phone: 269.673.8465  
[www.gowightman.com](http://www.gowightman.com)

PROJECT NAME:  
**HORIZON BANK TROY**  
2555 CROOKS RD.  
TROY, MI 48064

**HORIZON BANK**  
515 FRANKLIN ST.  
MICHIGAN CITY, IN 46360

09/27/2019  
ISSUED FOR SITE PLAN  
APPROVAL

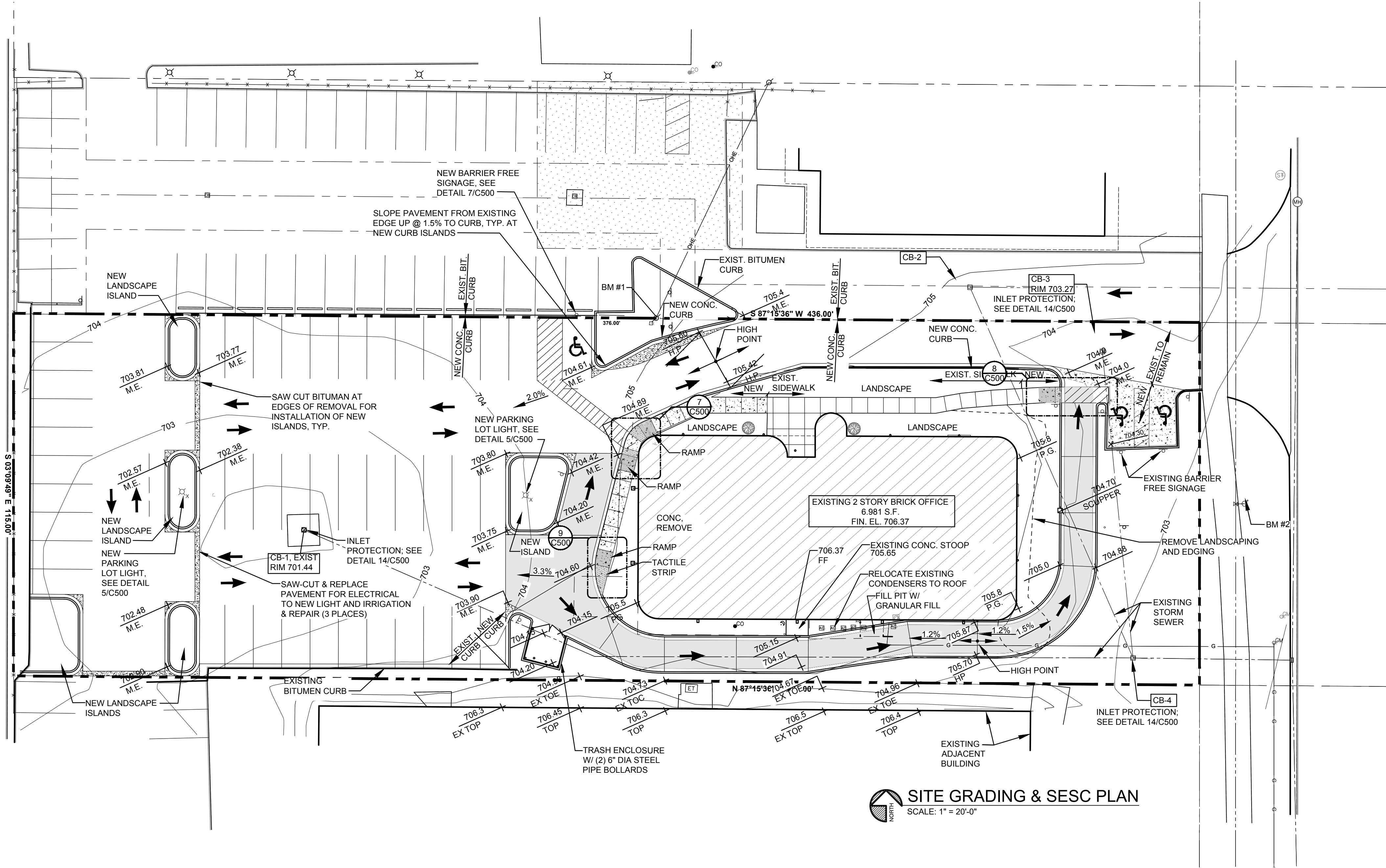
PRELIMINARY - NOT FOR  
CONSTRUCTION

REVISIONS  
THE REPRODUCTION, COPYING OR OTHER  
USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT IS PROHIBITED.  
© 2019 WIGHTMAN & ASSOCIATES, INC.  
DATE: 09/27/2019  
SCALE: AS INDICATED

SITE DIMENSIONAL &  
UTILITY PLAN

JOB No. 190079  
**C100**





**SITE GRADING & SESC PLAN**  
SCALE: 1" = 20'-0"

**BENCHMARK INFORMATION**

BM #1:  
ELEV. 704.53'  
BENCHMARK: WEST FLANGE  
BOLD OF FIRE HYDRANT

BM #2:  
ELEV. 705.52'  
BENCHMARK: GIN SPIKE IN  
SOUTH SIDE OF POWER POLE

**SITE HATCH SCHEDULE**

- NEW CONC. OR BITUMEN PAVEMENT & SIDEWALK
- NEW CONCRETE
- NEW CROSSWALK PAINT
- FILL-IN FRESH-AIR WELL

**ZONING**

ZONING DISTRICT: O - OFFICE

MINIMUM SETBACKS:

	REQUIRED	PROVIDED
FRONT:	10'-0"	10'-0"
SIDE:	20'-0"	20'-0"
REAR:	30'-0"	30'-0"

**PARKING COUNT**

**CAR PARKING REQUIRED:**  
PROFFESIONAL OFFICE  
1/300 SF = 47 SPACES REQUIRED W/  
3 BARRIER FREE SPACES

EXISTING:  
STANDARD SPACES 54  
BARRIER FREE SPACES 2  
**TOTAL EXISTING PARKING: 56**

PROPOSED:  
STANDARD SPACES 44  
BARRIER FREE SPACES 3  
**TOTAL NEW PARKING SPACES 47**

**LOT COVERAGE**

**EXISTING:**  
IMPERVIOUS BUILDING: 6,981 SF  
IMPERVIOUS HARDSCAPE: 26,335 SF  
**IMPERVIOUS TOTAL: 33,316 SF**

**PERVIOUS TOTAL: 9,923 SF**  
LOT COVERAGE RATIO: 23% PERVIOUS

**PROPOSED:**  
IMPERVIOUS BUILDING: 6,981 SF  
IMPERVIOUS HARDSCAPE: 26,633 SF  
**IMPERVIOUS TOTAL: 33,614 SF**

**PERVIOUS TOTAL: 9,625 SF**  
LOT COVERAGE RATIO: 22% PERVIOUS  
**TOTAL SITE: 43,239 SF**

**DRAINAGE STRUCTURE INFORMATION**

CB-1 = EXISTING = 701.44'  
RIM = 701.44'  
INV. SE = 899.34', 12" Ø CONC.

CB-2 = EXISTING = 704.33'  
RIM = 704.33'  
INV. EAST = 701.33', 8" Ø PLASTIC  
\*RIM OF STRUCTURE BADLY BROKEN.  
STANDING WATER IN STRUCTURE.

CB-3 = EXISTING = 703.27'  
RIM = 703.27'  
INV. SOUTH = 699.87', 9" Ø METAL  
\* RUSTY METAL PIPE.  
PIPE FULL OF DIRT.

CB-4 = EXISTING = 702.67'  
RIM = 702.67'  
INV. WEST = 698.27', 12" CONC.  
INV. NORTH = 699.47', 6" PVC  
INV. EAST = 698.17', 12" CONC.

**UTILITY LEGEND**

	EXISTING GAS
	PROPOSED GAS
	EXISTING WATER
	PROPOSED WATER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING ELECTRIC
	PROPOSED ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	PROPOSED OVERHEAD ELECTRIC
	EXISTING TELEPHONE
	PROPOSED TELEPHONE
	EXISTING CAT T.V.
	PROPOSED CAT T.V.
	EXISTING FIBER OPTICS
	PROPOSED FIBER OPTICS
	PROPOSED IRRIGATION
	SPOT ELEVATIONS
	PROP. ELEV.
	EXIST. ELEV.

**SITE SYMBOL LEGEND**

	FOUND IRON
	FOUND PK NAIL
	SET PK NAIL
	UTILITY POLE
	GUY ANCHOR
	LIGHT POLE
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	ELECTRIC MANHOLE
	RED PAINT
	GAS VALVE
	GAS METER
	TELEPHONE MANHOLE
	COMMUNICATIONS VAULT
	FIRE HYDRANT
	BLUE PAINT
	WATER VALVE
	CATCH BASIN
	STORM SEWER LINE
	SANITARY MANHOLE
	FUEL TANK COVER / LID
	CLEAN OUT
	UNKNOWN MANHOLE
	GUARD POST
	HANDICAPPED PARKING
	NORTH
	RIGHT OF WAY
	MONITORING WELL
	SIGN



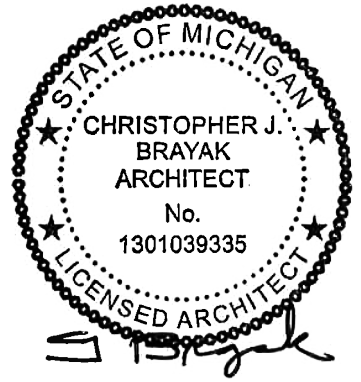
**WIGHTMAN**

**BENTON HARBOR**  
2303 Pipestone Road  
Benton Harbor, MI 49022  
Phone: 269.927.0100

**KALAMAZOO**  
433 East Ransom Street  
Kalamazoo, MI 49007  
Phone: 269.327.3532

**ALLEGAN**  
1670 Lincoln Road  
Allegan, MI 49010  
Phone: 269.673.8465

[www.gowightman.com](http://www.gowightman.com)



PROJECT NAME:  
**HORIZON BANK TROY**  
2555 CROOKS RD.  
TROY, MI 48064

**HORIZON BANK**  
515 FRANKLIN ST.  
MICHIGAN CITY, IN 46360

09/27/2019 CJB  
ISSUED FOR SITE PLAN APPROVAL

PRELIMINARY - NOT FOR CONSTRUCTION

**REVISIONS**

DATE: 09/27/2019  
SCALE: AS INDICATED

**SITE GRADING & SOIL EROSION AND SEDIMENTATION CONTROL PLAN**

JOB No. 190079  
**C101**





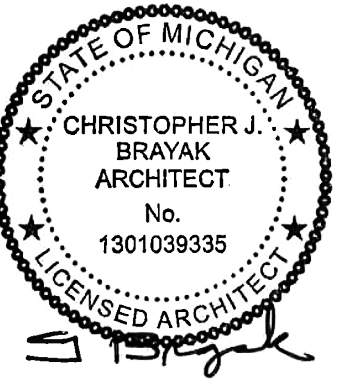
## WIGHTMAN

**BENTON HARBOR**  
2303 Pipestone Road  
Benton Harbor, MI 49022  
Phone: 269.927.0100

**KALAMAZOO**  
433 East Ransom Street  
Kalamazoo, MI 49007  
Phone: 269.327.3532

**ALLEGAN**  
1670 Lincoln Road  
Allegan, MI 49010  
Phone: 269.673.8465

[www.gowightman.com](http://www.gowightman.com)



PROJECT NAME:  
**HORIZON BANK  
TROY**  
2555 CROOKS RD.  
TROY, MI 48064

**HORIZON BANK**  
515 FRANKLIN ST.  
MICHIGAN CITY, IN 46360

09/27/2019  
ISSUED FOR SITE PLAN  
APPROVAL

PRELIMINARY - NOT FOR  
CONSTRUCTION

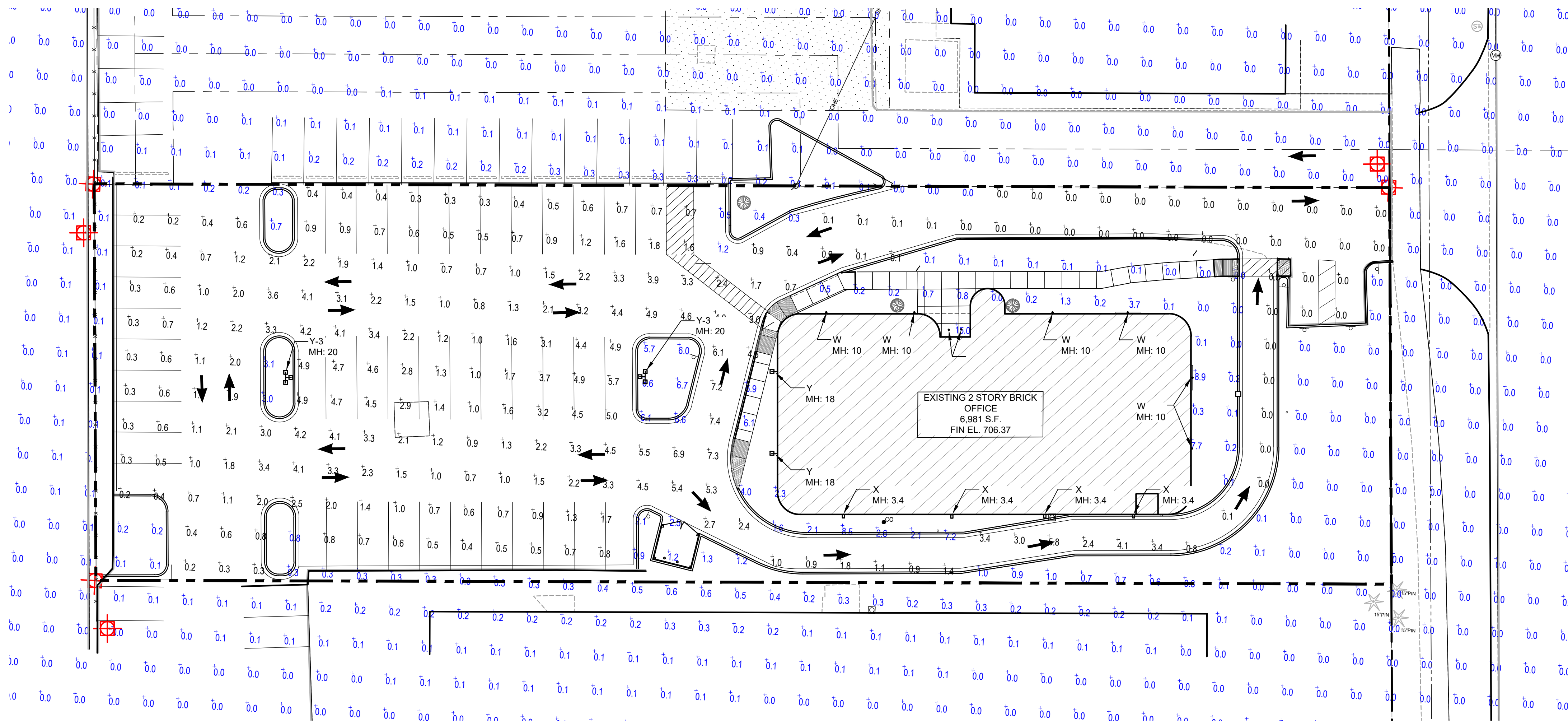
### REVISIONS

THE REPRODUCTION, COPYING OR OTHER  
USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT IS PROHIBITED.  
© 2019 WIGHTMAN & ASSOCIATES, INC.

DATE: 09/27/2019  
SCALE: AS INDICATED

SITE LIGHTING PLAN

JOB No. 190079  
**C102**



### SITE LIGHTING PLAN

SCALE: 1" = 20'-0"

PHOTOMETRIC PLAN DESIGNED BY ESL-SPECTRUM  
WWW.ESL-SPECTRUM.COM  
PHONE: 317.951.2300

Luminaire Schedule						
Project: 20190297-SC HORIZON BANK TROY - SITE LIGHTING						
Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF
⊙	6	W	SINGLE	8.4	697	0.800
⊙	4	X	SINGLE	38.7	2777	0.850
⊙	2	Y	SINGLE	77.6	7300	0.850
⊙	2	Y-3	3 @ 90 DEGREES	77.6	7300	0.850
⊙	2	Z1	SINGLE	12.5	961	0.900
Description						
LD4-S-D-6L-40K-FL30-XX						
SW1-36L-4K-XX						
ARWX09D4-4K45						
ARWX09D4-4K45-2SB - 20' POLE						
LF4SL-4LFSL11L40K8 DL						

CALCULATIONS ARE MAINTAINED HORIZONTAL ILLUMINANCE FIGURES IN FOOT-CANDLES  
POINTS SHOWN ARE AT GRADE  
FIXTURE MOUNTING HEIGHTS ARE SPECIFIED NEXT TO FIXTURES AS "MH"

Calculation Summary							
Project: 20190297-SC HORIZON BANK TROY - SITE LIGHTING							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT @ Grade	illuminance	Fc	1.65	7.4	0.0	N.A.	N.A.
PERIMETER @ Grade	illuminance	Fc	0.13	15.0	0.0	N.A.	N.A.

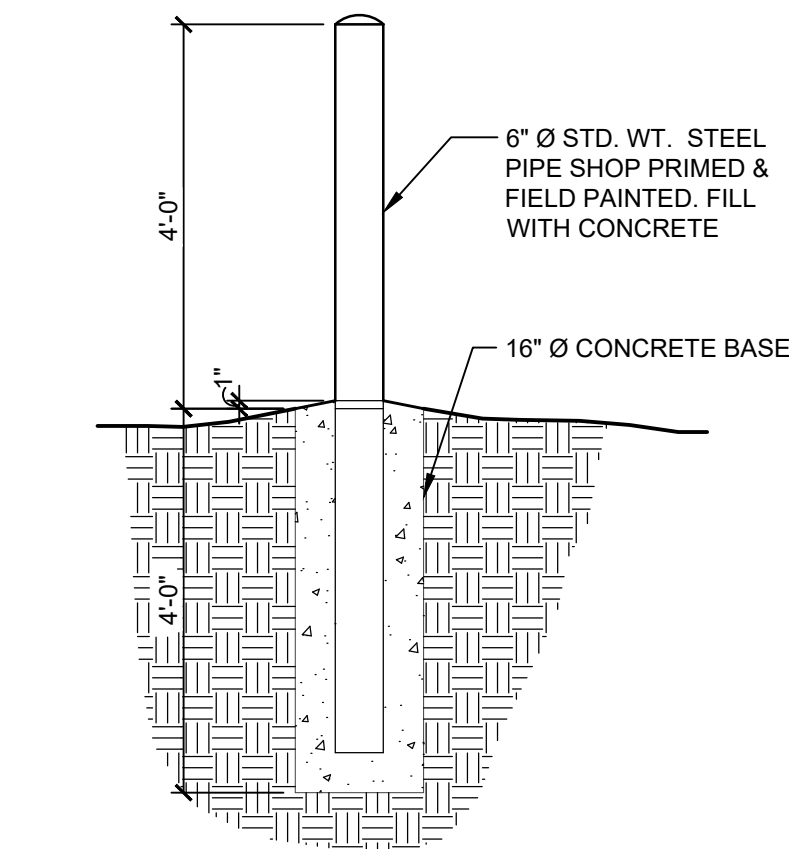
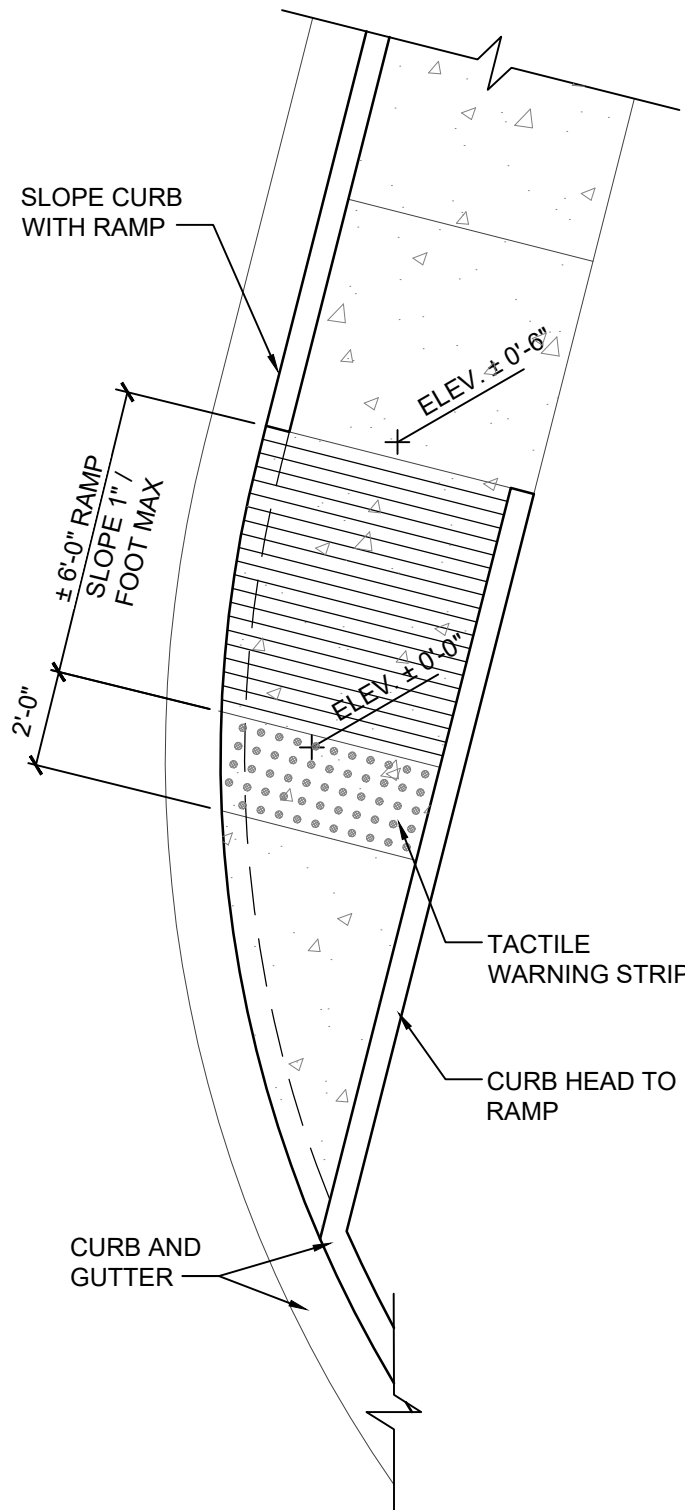
ESL-Spectrum's services are for estimation purposes only, and are not warranties.  
Final design and illumination levels must be determined and specified by an electrical engineer.  
Field results may differ from computer predictions because of many uncontrollable factors and adverse test conditions such as:  
line voltage variations, lamp performance, product manufacturing tolerances, jobsite conditions, and other unrecoverable light-loss factors.

THE FIXTURE TYPE(S) AND LAMPING(S) SPECIFIED ON THIS LAYOUT MUST BE USED IN ORDER TO MEET THE EXACT CRITERIA AND PERFORMANCE DATA SHOWN.  
IES RECOMMENDED ILLUMINANCE TARGETS USED WHERE APPLICABLE.



1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. ARCHITECTURAL WORK SHALL BE ACCORDING TO THE INTERNATIONAL BUILDING CODE AS MODIFIED BY THE STATE OF MICHIGAN.
3. ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.E.P.A. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
4. ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
5. ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
6. ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
7. ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) AND THE CITY OF TROY.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
9. CONTACT "MISS DIG" #11 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 72 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
10. ANY UTILITIES INCLUDING BUT NOT LIMITED TO SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, GAS LINES, ELECTRICAL SERVICES, TELEPHONE SERVICE, IRRIGATION, STORM SEWER, ETC. WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION, AND AT THE CONTRACTORS EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING IF REQUIRED WITH THE CITY OF TROY'S ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
12. DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
13. CONTRACTOR IS TO UNCOVER AND CONFIRM ALL UTILITY LOCATIONS IN THE WORK AREA. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION.
14. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS NOTED ON SITE DIMENSIONAL PLAN.

1. GENERAL CONTRACTOR SHALL PROTECT ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
2. REMOVE ALL SUBGRADE GRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
3. COMPACTION OF FILL BY FLOODING IS NOT ACCEPTABLE. THIS METHOD WILL GENERALLY NOT ACHIEVE THE DESIRED COMPACTION AND THE LARGE QUANTITIES OF WATER WILL TEND TO SOFTEN THE FOUNDATION SOILS.
4. ALL FILL FOR THIS PROJECT MUST BE OBTAINED AND PLACED BY THE EXCAVATION CONTRACTOR. ALL REQUIRED FILL SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER, OR MDOT CLASS 11 GRANULAR MATERIAL FROM BORROW. EXCESS FILL SHALL BE REMOVED FROM SITE BY THE EXCAVATION CONTRACTOR. NOTE: NO BORROW OR SOIL REMOVAL ARRANGEMENTS HAVE BEEN PRE-ARRANGED BY THE OWNER, AND SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR.
5. ALL GRANULAR FILL AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
6. BITUMINOUS PAVEMENT SHALL BE 1 1/2" MDOT BIT. MIX-36A TOP COURSE ON 2 1/2" MDOT BIT. MIX-13A BASE COURSE ON 6" COMPACTED MDOT SERIES 22A AGGREGATE BASE. BITUMINOUS MATERIALS ON THIS PROJECT SHALL BE A.C. PENETRATION 785-100 (A.C. 10).
7. EXTERIOR SIDEWALK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE 4 - 6 % AIR ENTRAINMENT WITH A BROOM FINISH. CONCRETE PAVEMENT SHALL BE REINFORCED WITH 6"x6" / W2.9 WWF.
8. EXPANSION JOINTS IN CONCRETE PAVEMENT AND WALKS SHALL BE 1/2" ASPHALT IMPREGNATED FULL DEPTH 40° C. MAXIMUM & AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING AT SIDEWALK WIDTH DIMENSION.
9. STRIPING OF PARKING STALLS AND RESTRICTING AREAS TO BE WHITE. BARRIER FREE PARKING STRIPING SHALL BE BLUE. ALL LINES SHALL BE SINGLE STRIPE, 4" WIDE, STRAIGHT, EVENLY SPACED, AND UNIFORM IN LENGTH.



12" MIN.

18" MIN.

2" DIA. POST P/P W/CAP

OMIT POST IF WALL MOUNTED

PROVIDE:  
 (1) HANDICAP ACCESSIBLE SIGNS, POLE MOUNTED, AND  
 (1) VAN ACCESSIBLE SIGN,  
 POLE MOUNTED OR WALL  
 MOUNTED AS NOTED.

ALL SIGNS MUST COMPLY WITH STATE BARRIER FREE REQUIREMENTS AND THE A.D.A.

60" (OMIT POST IF WALL MOUNTED)

8"

42"

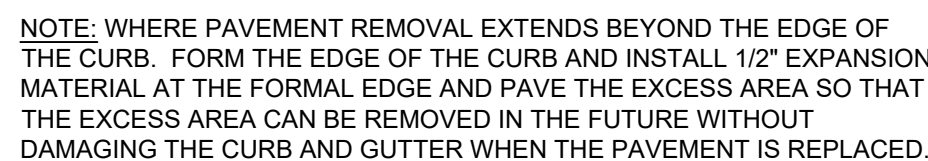
VAN ACCESSIBLE

HANDICAPPED PERSONS

3 PARKIN  
C500 NOT TO SCALE



(C500) NOT TO SCALE



1 CURB & G  
C500 SCALE: 1-1/2" = 1'-0"



14 INLET P  
C500 NOT TO SCALE



13 PERIMETER  
C500 NOT TO SCALE



11  
C500

STRUC  
NOT TO SCALE



10 TRASH E  
C500 SCALE: 1/4" = 1'-0"



8 w/ TACT  
C500 NOT TO SCALE



7 w/ TACT  
C500 NOT TO SCALE



5 FLAG PO  
C500 NOT TO SCALE





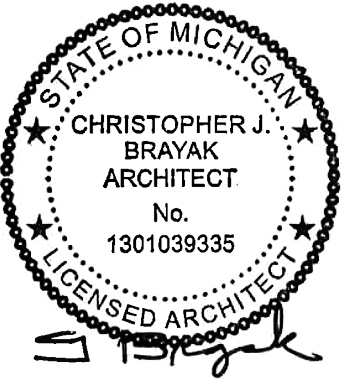
## WIGHTMAN

**BENTON HARBOR**  
2303 Pipestone Road  
Benton Harbor, MI 49022  
Phone: 269.927.0100

**KALAMAZOO**  
433 East Ransom Street  
Kalamazoo, MI 49007  
Phone: 269.327.3532

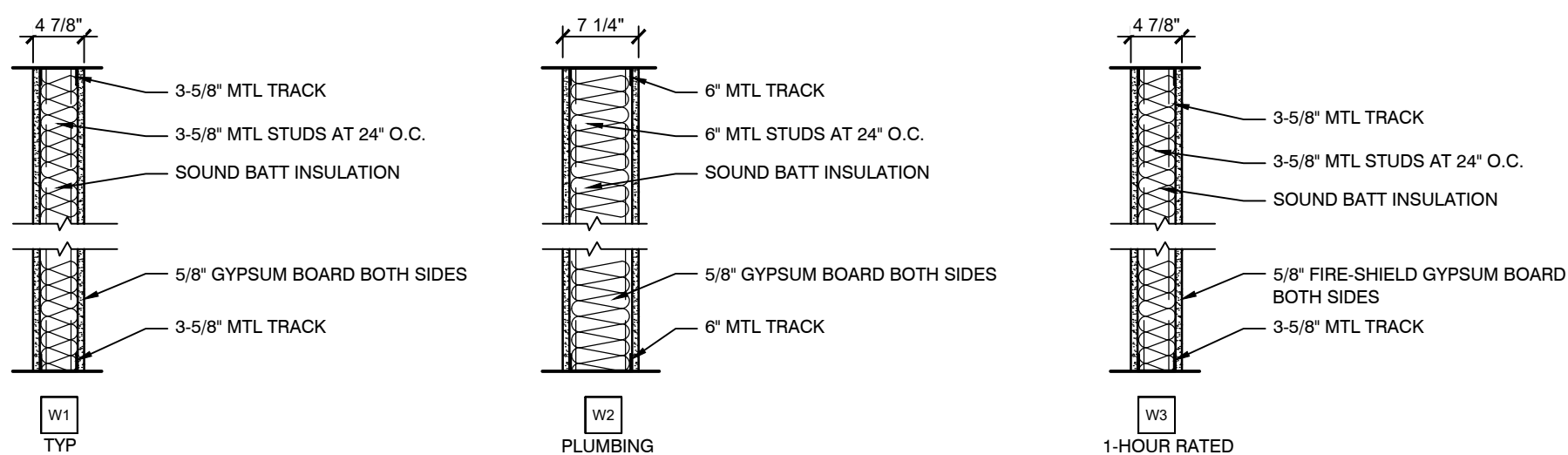
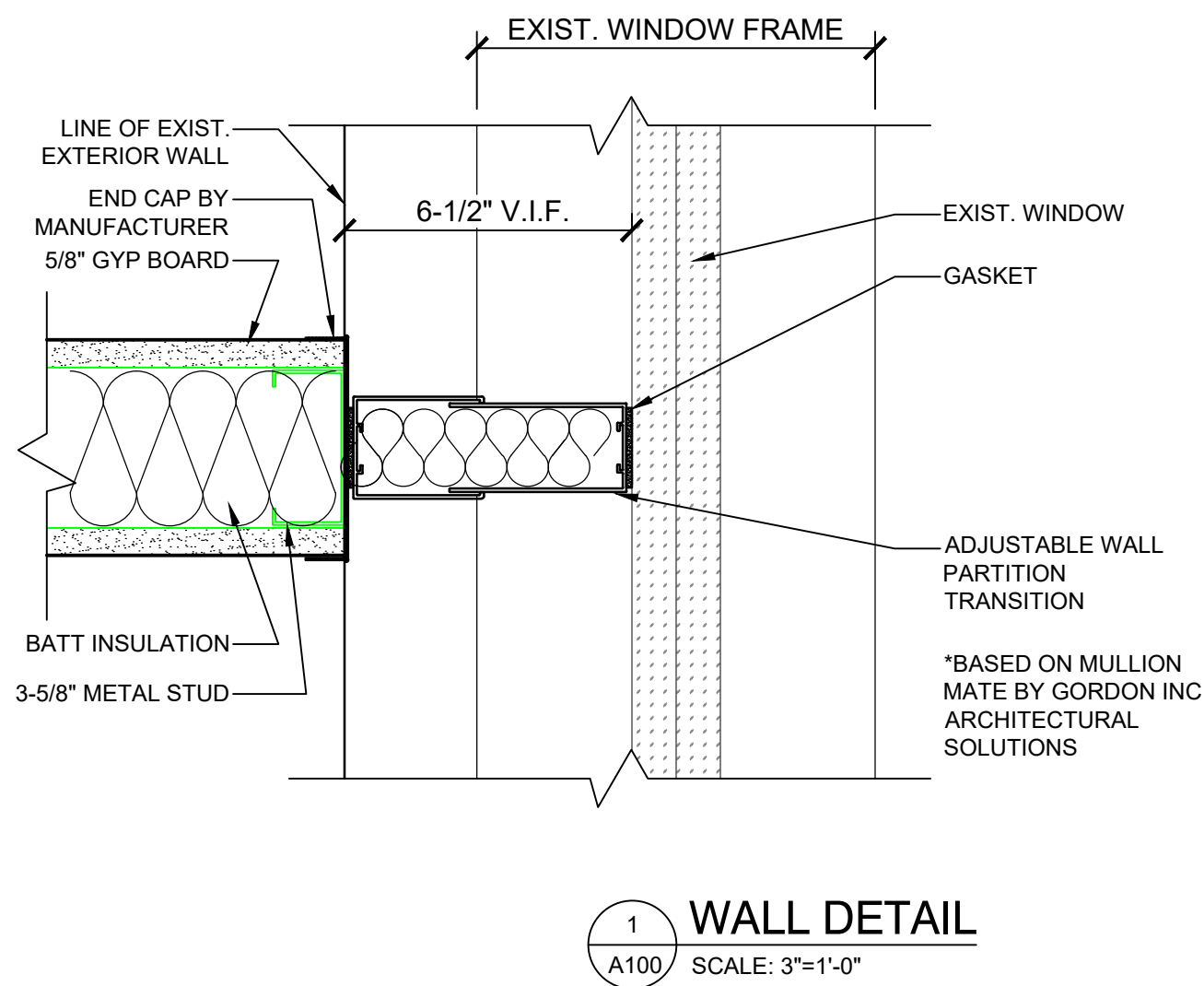
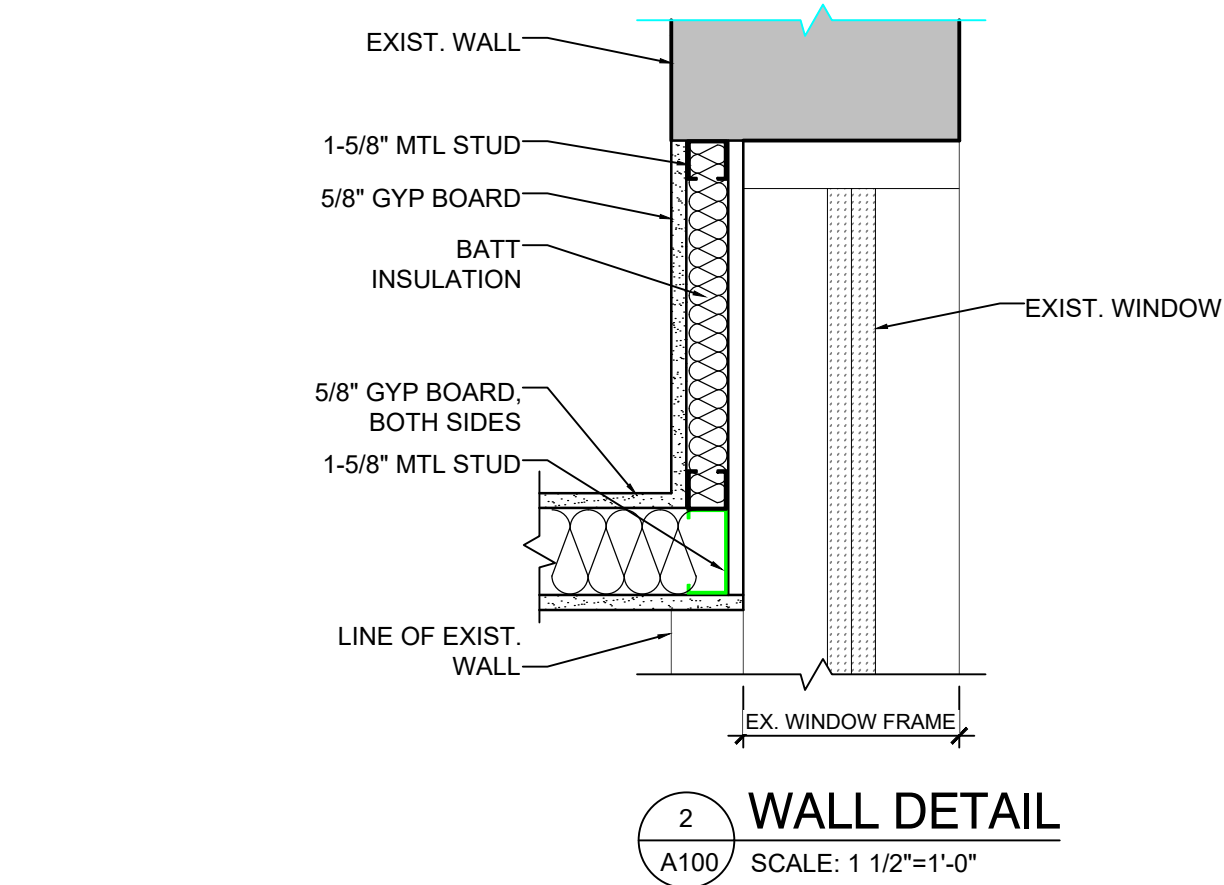
**ALLEGAN**  
1670 Lincoln Road  
Allegan, MI 49010  
Phone: 269.673.8465

www.gowightman.com

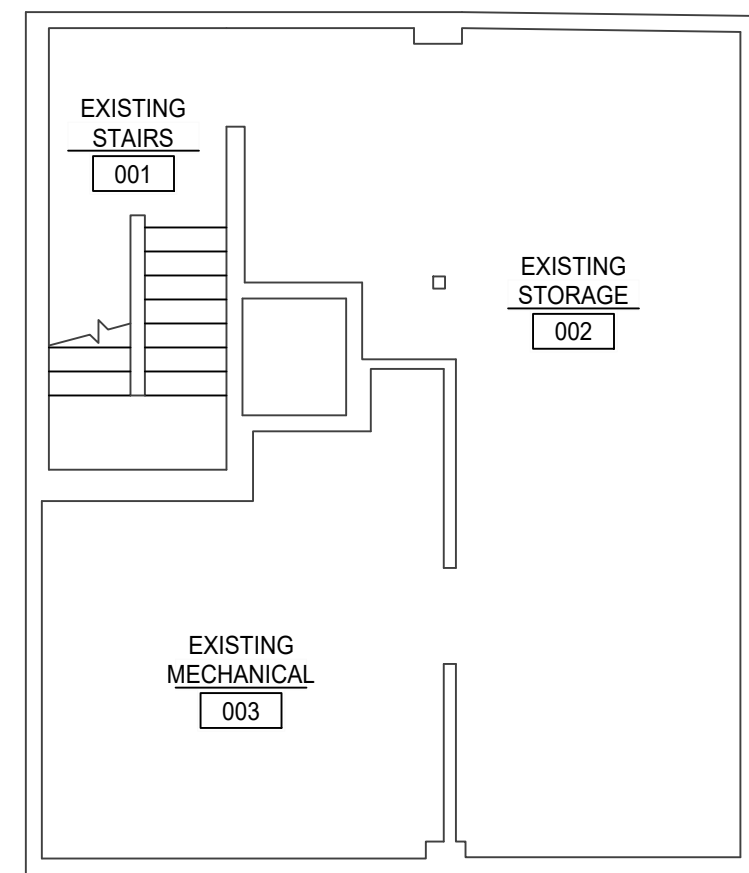


PROJECT NAME:  
**HORIZON BANK TROY**  
2555 CROOKS RD.  
TROY, MI 48064

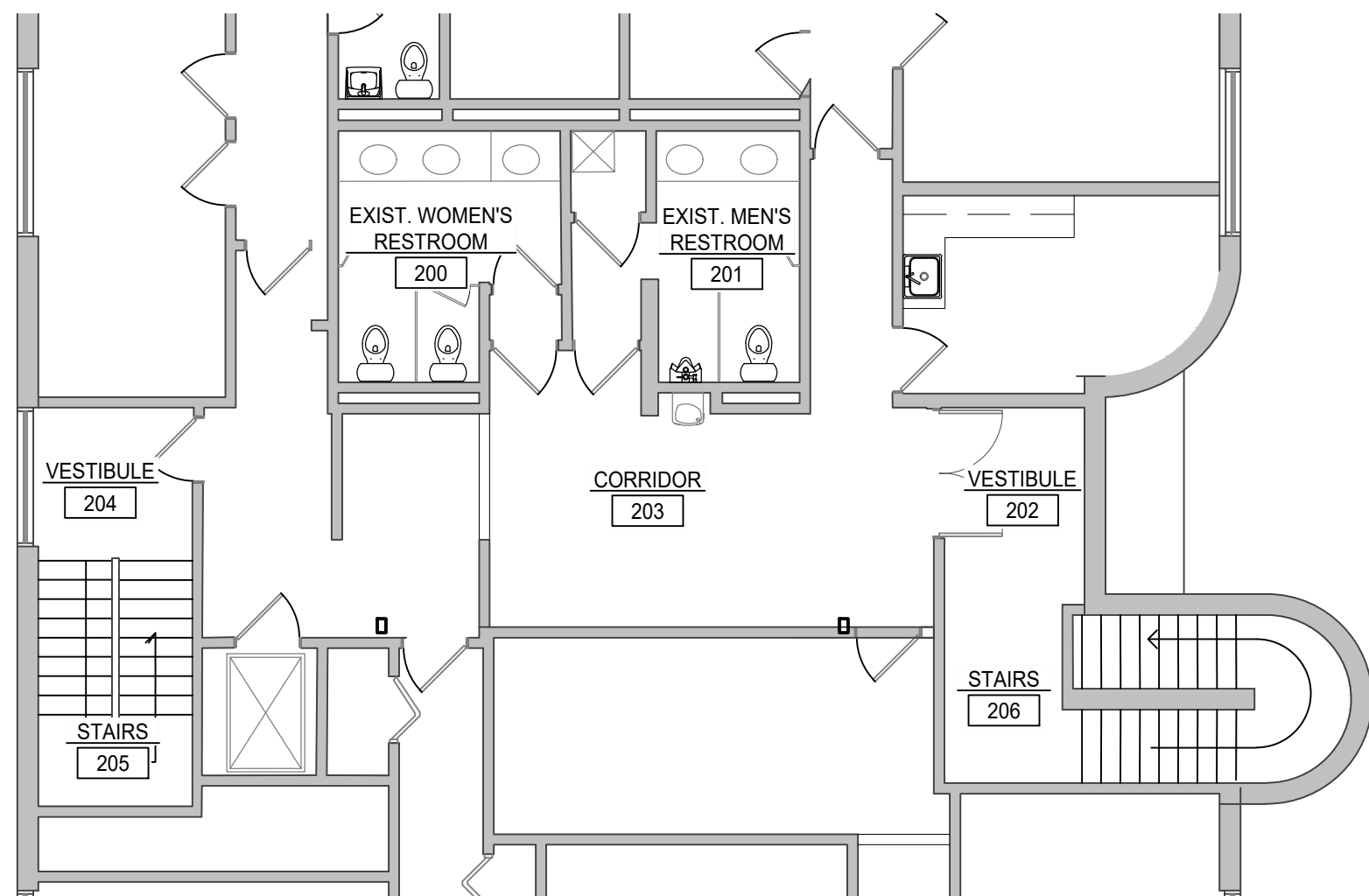
**HORIZON BANK**  
515 FRANKLIN ST.  
MICHIGAN CITY, IN 46360



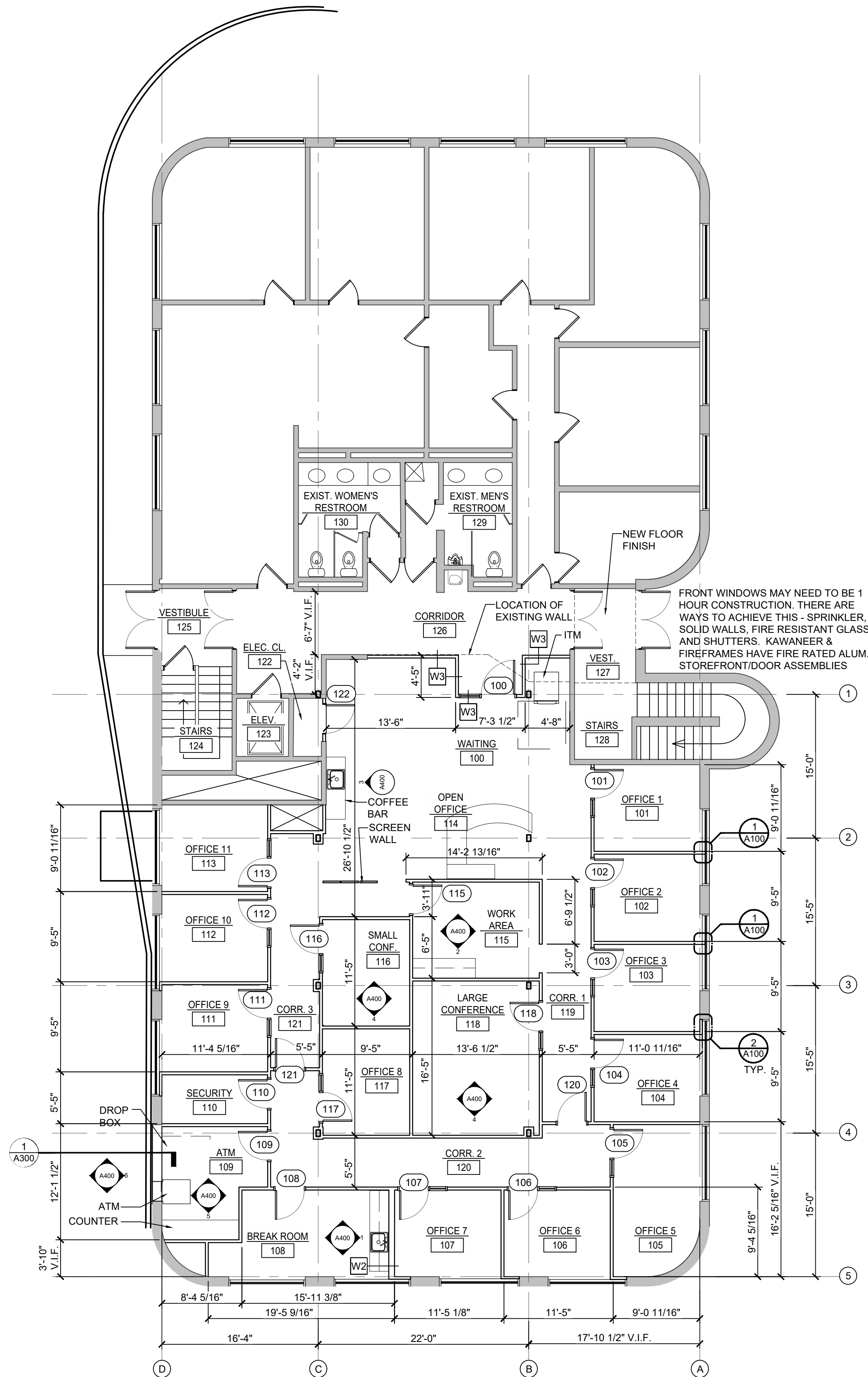
**WALL PARTITION TYPES**  
NOT TO SCALE



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**PARTIAL SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

09/27/2019  
ISSUED FOR SITE PLAN  
APPROVAL

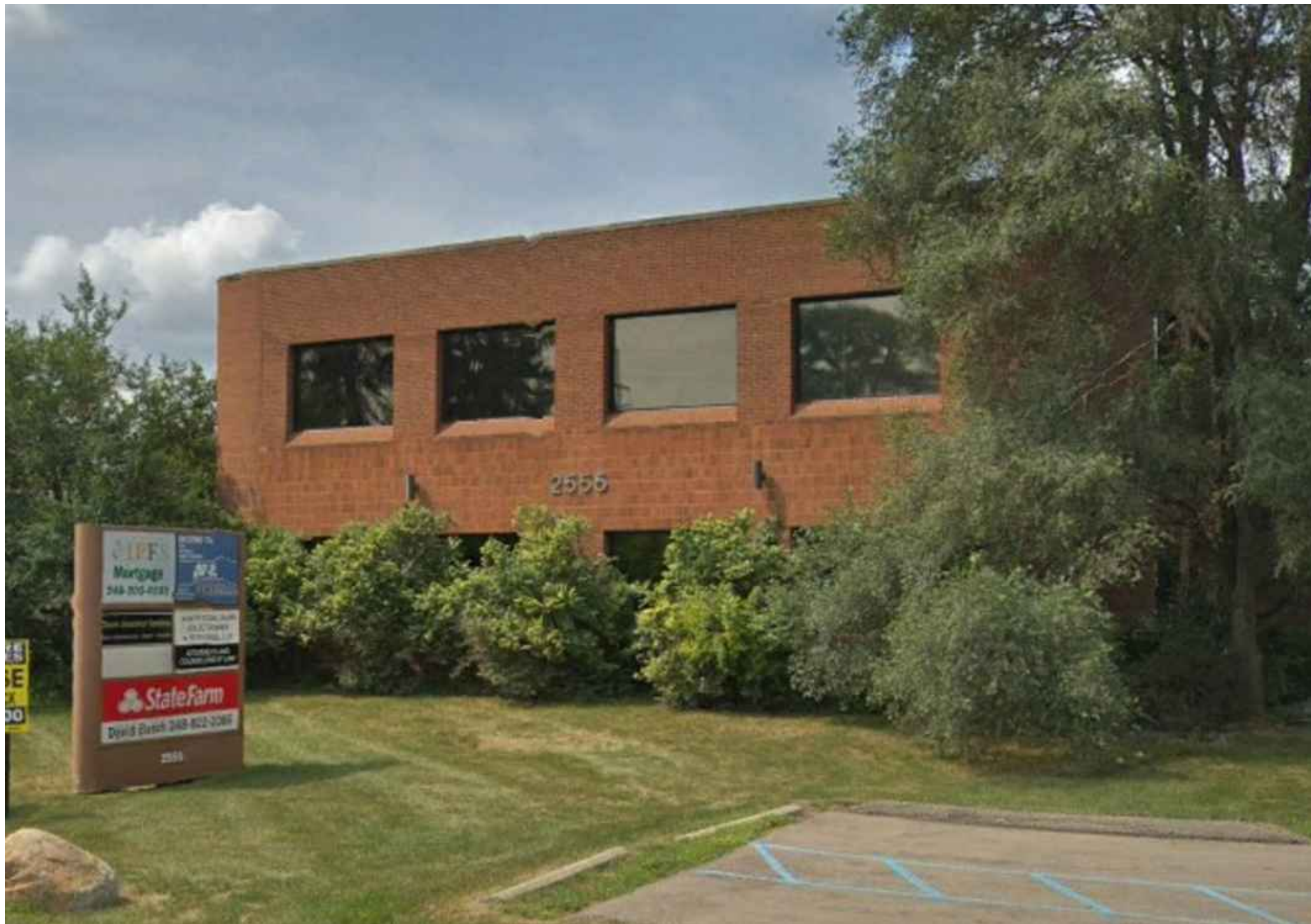
00 PRELIMINARY - NOT FOR  
CONSTRUCTION

**REVISIONS**  
THE REPRODUCTION, COPYING OR OTHER  
USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT IS PROHIBITED.  
© 2019 WIGHTMAN & ASSOCIATES, INC.  
DATE: 09/27/2019  
SCALE: AS SHOWN

FLOOR PLANS

JOB No. 190079  
**A100**





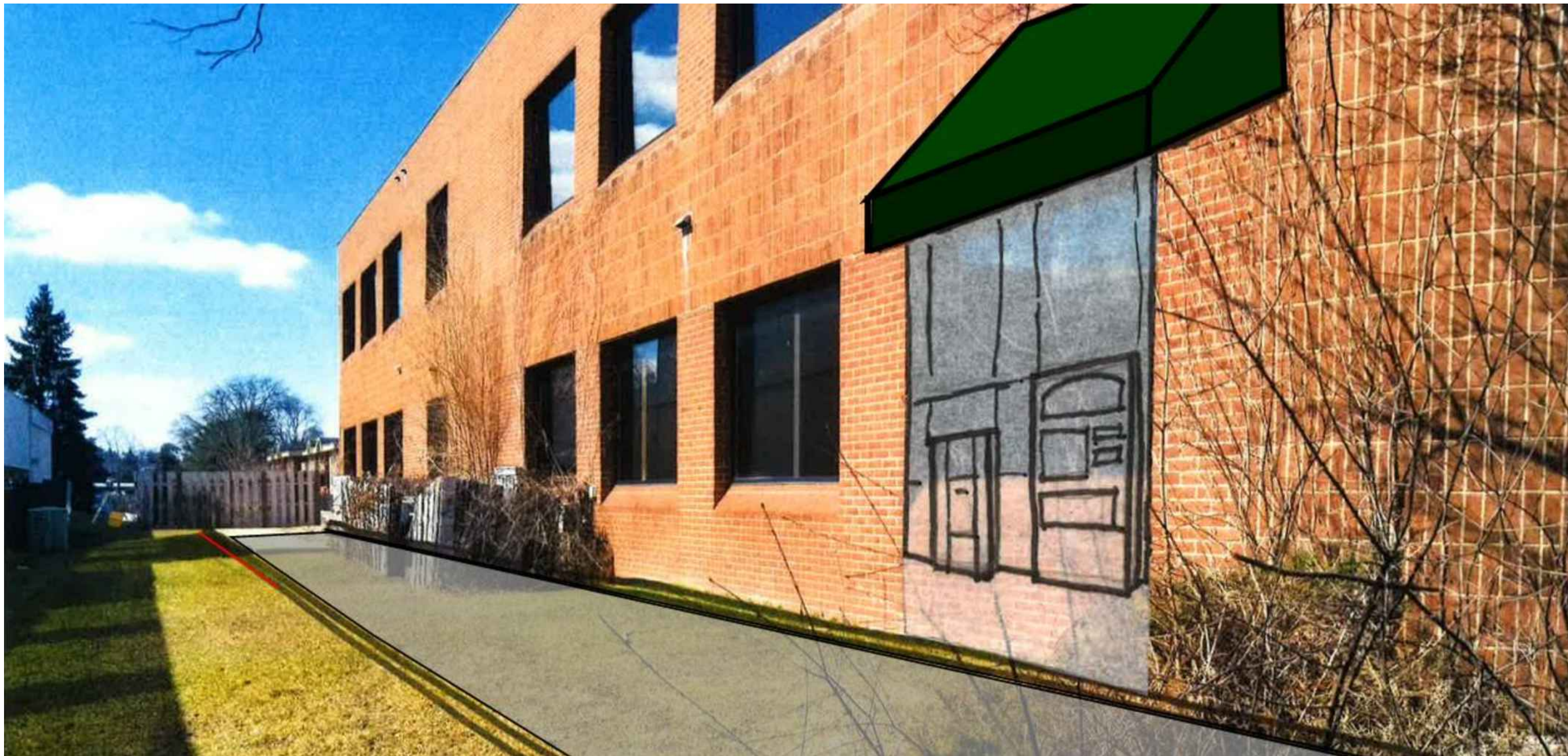
4 EAST ELEVATION  
A200 NOT TO SCALE



2 NORTH ELEVATION  
A200 NOT TO SCALE



3 WEST ELEVATION  
A200 NOT TO SCALE



1 SOUTH ELEVATION  
A200 NOT TO SCALE

W+

WIGHTMAN

BENTON HARBOR

2303 Pipestone Road  
Benton Harbor, MI 49022  
Phone: 269.927.0100

KALAMAZOO

433 East Ransom Street  
Kalamazoo, MI 49007  
Phone: 269.327.3532

ALLEGAN

1670 Lincoln Road  
Allegan, MI 49010  
Phone: 269.673.8465

www.gowightman.com

STATE OF MICHIGAN  
CHRISTOPHER J. BRAYAK  
ARCHITECT  
No. 1301039335  
LICENSED ARCHITECT

PROJECT NAME:  
**HORIZON BANK TROY**  
2555 CROOKS RD.  
TROY, MI 48064

**HORIZON BANK**  
515 FRANKLIN ST.  
MICHIGAN CITY, IN 46360

09/27/2019  
ISSUED FOR SITE PLAN  
APPROVAL

PRELIMINARY - NOT FOR  
CONSTRUCTION

REVISIONS

THE REPRODUCTION, COPYING OR OTHER  
USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT IS PROHIBITED.  
© 2019 WIGHTMAN & ASSOCIATES, INC.  
DATE: 09/27/2019  
SCALE: NOT TO SCALE

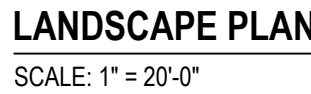
EXTERIOR  
ELEVATIONS

JOB No. 190079  
A200









**NOTES:**

1. SEE SHEET L200 FOR LANDSCAPE NOTES, DETAILS AND SPECIFICATIONS

## TREE INVENTORY

EXISTING TREES

	PROPOSED TREES

--	--

### LEGEND

## LAWN SEED MIX

<p>APPLY SEED MIX AT 5 POUND PER 100 SQUARE FEET, OR AS OTHERWISE DIRECTED BY THE SEED PROVIDER.</p>
<p>BASIS OF LAWN SEED MIXTURE IS 'FIELD OF DREAMS' ATHLETIC MIXTURE BY NATIONAL SEED, LISLE, IL. PHONE # 1-888-963-7333</p>

## PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	COMMENTS
<b>DECIDUOUS TREES</b>							
CO	1	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5' CAL.		X	B&B SPECIMEN
GTS	2	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.5' CAL.		X	B&B SPECIMEN
PAE	2	PLATANUS X ACERFOLIA 'MORTON CIRCLE'	EXCLAMATION LONDON PLANE TREE	2.5' CAL.			B&B SPECIMEN
<b>DECIDUOUS SHRUBS</b>							
AIB	11	ARONIA MELANOCARPA 'MORTON'	IROQUOIS BEAUTY CHOKEBERRY	#3 CONT.	36" O.C.	X	
CAC	10	CLETHRA ALNIFOLIA 'CALEB'	VANILLA SPICE SUMMERSWEET	#3 CONT.	48" O.C.	X	
HPB	5	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	#3 CONT.	48" O.C.		
RAG	14	RHUS AROMATICA 'GRO LOW'	GRO-LOW SUMAC	#3 CONT.	48" O.C.	X	
SPB	16	SYRINGA PENDA 'BLOOMERANG'	BLOOMERANG DWARF LILAC	#5 CONT.	36" O.C.		
<b>EVERGREEN SHRUBS</b>							
JCK	23	JUNIPERUS CHINENSIS 'KALLAY'S COMPACT'	KALLAY'S COMPACT JUNIPER	#5 CONT.	48" O.C.		
<b>PERENNIALS, GRASSES &amp; GROUNDCOVERS</b>							
ASM	48	ALLIUM 'MILLENIUM'	MILLENIUM ALLIUM	#1 CONT.	18" O.C.		
CKF	38	CALAMOGROSTIS X 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#3 CONT.	36" O.C.		
EPM	51	ECHINACEA 'CBG CONE2'	PIXIE MEADOWBRITE CONEFLOWER	#1 CONT.	24" O.C.	X	
GR	10	GERANIUM 'ROZANNE'	ROZANNE GERANIUM	#1 CONT.	24" O.C.	X	
LS	21	LIRIOPE SPICATA	CREEPING LILYTURF	QUARTS	12" O.C.		
MSA	9	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	#3 CONT.	48" O.C.		
NBW	32	NEPETA 'BLUE WONDER'	BLUE WONDER NEPETA	#1 CONT.	18" O.C.		
RLG	48	RUDBECKIA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR BLACK-EYED SUSAN	#1 CONT.	18" O.C.	X	
SH	51	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT.	18" O.C.	X	









September 30, 2019

City of Troy Planning Department  
500 W. Beaver  
Troy, Michigan 48084

Attention: R. Brent Savidant, AICP, Planning Director

**RE: SPECIAL USE STATEMENT OF COMPATIBILITY PER 9.03**

Dear Mr. Savidant:

The following is our Statement of Compatibility as per Section 9.03 of the Zoning Ordinance:

The design intent of this existing building office suite renovation and site improvement project mirrors the character of the adjacent properties and surrounding area and is compatible with the current O-Office zoning district. The surrounding property along this five-lane corridor of Crooks Road is currently occupied by professional and medical offices and religious building types with landscaped front yards and sidewalks and parking provided at the rear of the sites. The proposed building renovation and site improvements will not change the exterior character of the existing building and will enhance the existing curb appeal with the addition of new landscaping along the front yard as well as new landscaped islands and updated paved areas in the existing parking lot. These renovations will be compatible with the goals of the City of Troy Master Plan and land use allocation.

The impact on traffic will be minimal with the addition of the proposed single land drive through lane along the South side of the building. This drive-through will contain an ATM and drop box. It will follow the existing traffic flow of vehicular access to the site. The impact of the new drive-through lane on existing public services will be minimal and will not create an unreasonable public burden.

The new drive-through lane is designed in accordance with the Zoning Ordinance Standards, specifically with Section 6.10-Drive-Through Facilities. The lane shall be a single one-way 11' wide route integrated with the overall flow of traffic through the existing parking lot and is designed to include 4 stacking spaces. Clear identification of the lane will be incorporated onto the site with use of visible signage. The finalized canopy design with incorporated LED down-lighting for safety will be in accordance with Horizon Bank's brand to provide users with protection from the elements.

If you have any questions, please feel free to contact me.

Very truly yours,

Christopher Brayak, AIA  
cbrayak@gowightman.com

cc: [Carbon Copy if required]

**BENTON HARBOR**

A 2303 PIPESTONE ROAD  
BENTON HARBOR, MI 49022  
o 269.927.0100

**ALLEGAN**

A 1670 LINCOLN ROAD (M-40)  
ALLEGAN, MI 49010  
o 269.673.8465

**KALAMAZOO**

A 433 E. RANSOM STREET  
KALAMAZOO, MI 49007  
o 269.327.3532

**GOWIGHTMAN.COM**