PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Tom Krent, Chairman, David Lambert, Vice Chairman Carlton Faison, Michael W. Hutson, Lakshmi Malalahalli, Marianna Perakis, Sadek Rahman, Jerry Rauch and John J. Tagle

April 13, 2021 7:00 P.M. City of Troy

Planning Commission will meet in Council Chambers at the Troy City Hall located at 500 W. Big Beaver Road. Based on the MDHHS Emergency Order dated March 19, 2021 and amended March 31, 2021, concerning "Gatherings and Face Masks," the maximum capacity of Council Chambers is limited to 60 persons, including members of the commission, staff, applicants, and the general public.

The entirety of the meeting will be broadcast in real time on the City's YouTube Channel and also on the cable channels: WOW channel 10, Comcast channel 17 or AT&T channel 99.

Public Comments may be communicated to the Planning Commission in advance of the meeting by calling 248.524.1305 and leaving a voice mail or by sending an email to planning@troymi.gov. All comments received will be provided to the Planning Commission and made part of the official record.

Members of the public who wish to present comments on an item designated on the agenda as a public hearing may attend the meeting in person to present comments. Persons attending in person must adhere to social distancing mandates and must wear a face mask which covers mouth and nose at all times in compliance with MDHHS Orders. If members of the public are uncomfortable appearing in person, comments will be accepted by phone and email as indicated above. Accommodations may also be made to assist with in person public comment if maximum capacity is reached.

- 1. ROLL CALL
- 2. SUSPENSION OF PLANNING COMMISSION BYLAWS
- 3. APPROVAL OF AGENDA
- APPROVAL OF MINUTES March 23, 2021
- 5. <u>PUBLIC COMMENT</u> For Items Submitted via Email or Telephone Message

PRELIMINARY SITE PLAN REVIEW

 PUBLIC HEARING - PRELIMINARY SITE PLAN REVIEW (File Number SP2020-0013) – Proposed The Meadows of Troy (One Family Residential Cluster), East of John R, North of Square Lake Road (Parcel 88-20-01-300-016), Section 1, Currently Zoned R-1D (One Family Residential) District.

SPECIAL USE APPROVAL

 PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0014) — Proposed St. Marks Coptic Church gymnasium and classroom addition, West side of Livernois, South of Wattles (Parcel 88-20-21-277-036), Section 21, Currently Zoned R-1B (One Family Residential) District.

STREET VACATION

8. <u>PUBLIC HEARING - STREET VACATION REQUEST (File Number SV2020-001)</u> – Public walkway East of John R and North of Big Beaver, Abutting 3512 Euclid on the North and 3506 Euclid on the South, Section 24, Currently Zoned R-1C (One Family Residential) District (abutting properties).

OTHER ITEMS

- 9. PROPOSED TEXT AMENDMENT Submitted by Planning Commissioner Gerald Rauch
- 10. PLANNING COMMISSION COMMENT
- 11. ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Krent called the virtual Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on March 23, 2021. Chair Krent introduced the procedure to be followed for a remote meeting.

1. ROLL CALL

Present:

Carlton M. Faison Michael W. Hutson Tom Krent David Lambert Lakshmi Malalahalli Marianna Perakis Sadek Rahman Jerry Rauch John J. Tagle

Also Present:

R. Brent Savidant, Community Development Director Ben Carlisle, Carlisle Wortman Associates Julie Quinlan Dufrane, Assistant City Attorney Kathy L. Czarnecki, Recording Secretary

2. SUSPENSION OF PLANNING COMMISSION BYLAWS

Resolution # PC-2021-03-017

Moved by: Rahman Support by: Tagle

WHEREAS, the Michigan Department of Health and Human Services (MDHHS) Director Robert Gordon issued an Order on October 5, 2020 under MCL 333.2253 restricting indoor gathering sizes to protect public health and safety, and

WHEREAS Public Act 254 of 2020 permits public meetings to be held by electronic means where an in-person meeting could detrimentally increase exposure of board members and the general public to COVID-19,

THEREFORE BE IT RESOLVED, That as allowed by Planning Commission Rules of Procedure Article IV, Section 6, the Troy Planning Commission hereby **TEMPORARILY SUSPENDS** the requirement of holding a meeting at the Troy City Hall and **ALLOWS** all Troy Planning Commission Members to electronically participate in any Planning Commission meeting through March 31, 2021.

Members participating electronically will be considered present and in attendance at the meeting and may participate in the meeting as if physically present. However, members must avoid using email, texting, instant messaging, and other such electronic forms of communication to make a decision or deliberate toward a decision.

RESOLVED, As allowed by Planning Commission By-laws and Rules of Procedure Article X, the Troy Planning Commission hereby **TEMPORARILY SUSPENDS AND MODIFIES** the Bylaws and Rules of Procedure concerning the Order of the Agenda, as set forth in Article V, Section 3, to consolidate the Public Comment sections of the meeting for any meeting held through March 31, 2021.

RESOLVED, As allowed by Planning Commission By-laws and Rules of Procedure Article X, the Troy Planning Commission hereby TEMPORARILY SUSPENDS AND ALLOWS two methods of receiving Public Comment for virtual meetings. Public comments can be submitted for the Planning Commission meeting by sending an email to: planning@troymi.gov. Emails received prior to 4:00 pm on the day of the Planning Commission meeting, will be read at the meeting and made part of the public record. Public comments can also be submitted by calling the following phone number and leaving a voicemail message: (248) 524-1305. Recorded voicemail messages received prior to 4:00 pm on the day of the Planning Commission meeting will be played at the meeting. For emails and recorded messages received after the deadline, reasonable efforts will be made to read emails and play recorded messages received during the meeting. Email and voicemail public comments will be limited to three minutes each.

Yes: All present (9)

MOTION CARRIED

3. <u>APPROVAL OF AGENDA</u>

Resolution # PC-2021-03-018

Moved by: Faison Support by: Lambert

RESOLVED, To approve the Agenda as prepared.

Yes: All present (9)

MOTION CARRIED

4. APPROVAL OF MINUTES

Resolution # PC-2021-03-019

Moved by: Lambert Support by: Rahman

RESOLVED, To approve the minutes of the February 23, 2021 Regular meeting as submitted.

Yes: All present (9)

MOTION CARRIED

5. PUBLIC COMMENT – For Items Submitted via Email or Telephone Message

Mr. Savidant reported there was no public comment.

6. MASTER PLAN AMENDMENT - Survey

Mr. Savidant said the draft Master Plan survey is an important element of community engagement in updating the Master Plan and would be distributed electronically. He reminded members that the Master Plan update would focus on specific issues and is not a comprehensive rewrite. Mr. Savidant said the survey is just a jump start to the project and in-person community engagement such as site visits and walking tours near and at Neighborhood Nodes would follow as the pandemic eases. Mr. Savidant said an "official" kickoff of the project would be at a joint Planning Commission/City Council meeting.

A PowerPoint presentation given by Mr. Carlisle addressed:

- Intent of the survey.
- U.S. census data.
- Distribution to community at large, with anonymity.
- Target on specific issues.
- Time commitment goal of 15 to 20 minutes to complete.
- Overall questions on Master Plan and general demographics.

Mr. Carlisle asked for feedback on:

- Any missing components.
- Length of survey.
- User friendliness.
- Appropriateness of questions.
- Questions to add to or delete from the survey.

There was discussion on:

- Format, phrasing, tailoring of survey questions/replies.
- Quick and concise questions/replies.
- Define 'commercial' development.
- Six to eight City quadrants to be identified and mapped.
- Target issues: Neighborhood Nodes, residential housing, open space.
- Charts to assist survey replies for target issues.
- Goal to complete survey within 15-20 minutes.
- Encompass cultural and ethnic groups.
- Autonomous and electric vehicles.
- Other opportunities of public engagement to address specifics.
- Survey launching pad to arrive at vision of the City.
- Distribution of survey; City website, administration welcomes ideas/suggestions.
- Master Plan survey results; typically small percentage of surveys completed.

Board members were encouraged to forward comments, ideas and suggestions via email to Mr. Savidant and Mr. Carlisle. Mr. Savidant said those would be compiled and a modified draft survey would be presented at a future meeting.

OTHER ITEMS

7. PLANNING COMMISSION COMMENT

Mr. Rauch addressed a potential amendment to Article 5.06, Section E., of the Zoning Ordinance that relates to design standards for Neighborhood Nodes. Mr. Rauch will prepare a written communication on the proposed text amendment to be placed on a future Planning Commission agenda for discussion.

Mr. Savidant said he would provide the Board with results of a general survey distributed by the City approximately one month ago when the results are achieved.

Mr. Savidant said in-person meetings for City Council, Zoning Board of Appeals and Planning Commission could be realized as early as April.

Ms. Dufrane said in-person meetings would be dependent on future State legislative action on remote meetings, noting at this time remote meetings are effective through March 31, 2021.

The virtual Regular meeting of the Planning Commission adjourned at 8:53 p.m.

Tom Krent, Chair	
Kathy L. Czarnecki, Recording Secretary	

Respectfully submitted,

C:\Users\bob\Documents\Kathy\COT Planning Commission Minutes\2021\2021 03 23 Regular Meeting_Draft.doc

DATE: March 31, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - PRELIMINARY SITE PLAN REVIEW (File Number SP2020-

0013) - Proposed The Meadows of Troy (One Family Residential Cluster), East of

John R, North of Square Lake Road (Parcel 88-20-01-300-016), Section 1,

Currently Zoned R-1D (One Family Residential) District.

The petitioner Robertson Brothers Co. submitted the above referenced Preliminary Site Plan application for a 31-unit One Family Residential Cluster. The Planning Commission is responsible for providing a recommendation to City Council for this item.

The applicant has acquired and proposes to develop approximately 12 acres from the 80-acre Troy School District parcel. Thirty percent of the 12-acre site will be preserved in common ownership. The remaining 68 acres will remain under control of the Troy School District. A housing product with first floor master bedroom, suitable for empty nesters and retirees, is proposed.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

- 1. Maps
- 2. Report prepared by Carlisle/Wortman Associates, Inc.
- 3. Anticipated Traffic Impacts Memo prepared by OHM, dated August 27, 2020
- 4. Public comment
- 5. Preliminary Site Plan Application

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PROPOSED RESOLUTION

<u>PUBLIC HEARING - PRELIMINARY SITE PLAN REVIEW (File Number SP2020-0013)</u> – Proposed The Meadows of Troy (One Family Residential Cluster), East of John R, North of Square Lake Road (Parcel 88-20-01-300-016), Section 1, Currently Zoned R-1D (One Family Residential) District.

Resolution # PC-2021-04-

Moved by: Support by:

RESOLVED, The Planning Commission hereby recommends to the City Council that the proposed The Meadows of Troy Site Condominium (One Family Residential Cluster), 31 units/lots, East of John R, North of Square Lake Road (parcel 88-20-01-300-016), Section 1, approximately 12 acres in size, Currently Zoned R-1D (One Family Residential) District, be approved for the following reasons:

- 1. The cluster development better protects the sites natural resources than if the site were not developed as a cluster.
- 2. The cluster development better protects the adjacent properties than if the site were not developed as a cluster.
- 3. The cluster development is compatible with adjacent properties.
- 4. The site can be adequately served with municipal water and sewer.
- 5. The applicant is providing a public parking lot and trail head to preserved trails.
- 6. The applicant is providing a housing product with first floor master bedroom and bath desired by the community.

BE IT FINALLY RESOLVED, The Planning Commission recommends the following design considerations:

- 1. Provide a new wetland assessment or extension from EGLE
- 2. Provide maintenance agreement for the public parking lot.
- 3. Provide easement over Turtle Woods for access to the public lot.

Yes: Absent:

MOTION CARRIED

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TROY

GIS Online



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Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

TROY

GIS Online



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Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: January 22, 2021

March 26, 2021

For City of Troy, Michigan

Project Name: Meadows of Troy

Plan Date: February 19, 2021

Location: North side of Square Lake Road, between John R and

Dequindre Roads

Zoning: R-1D, One-family Residential District

Action Requested: Preliminary Site Condominium Cluster Approval

Required Information: Deficiencies noted

PROJECT AND SITE DESCRIPTION

We are in receipt of a preliminary site plan application for a thirty-one (31) unit detached single-family condominium cluster development. The thirty-one (31) new lots will be accessed from a new private road that is located off Long Lake Road. The applicant is purchasing +/- 12 acres of an +/-80 acre site from the Troy School District. Within the protected open space area of the development there is a regulated wetland. The wetland assessment has expired. A new assessment or extension from EGLE is required.

Thirty percent (30%) of the twelve (12) acres will be preserved in common ownership. Once the property is split, the remaining +/- 68 acres will remain under control of the School District. The future of those 68 acres is unknown.

The applicant is providing a desired housing product with first floor master bedroom and bathroom. In addition, the applicant is proposing the construction of a 13-space gravel parking

lot and trailhead. The applicant notes that the trails will be determined after a conservation easement has been established. What is not clear is if those 68 acres are not preserved in perpetuity, where does the applicant propose trails. Will trails be entirely on the 6 acres they are preserving?

The property is surrounded on three sides by R-1D one-family residential zoning district, and a golf course to the north. The applicant proposes a cluster development. The density base of R-1D based on the parallel plan shows 25 lots. Through the cluster option the applicant is seeking 6 additional units by providing over 30% open space.

All of the homes will be 1,830 square feet in size and will feature a first-floor master bedroom design, with three different elevation types. As part of the development the applicant is proposing to construct a 13-space lot to provide parking and access to the trailhead.



Figure 1. - Location and Aerial Image of Subject Site

Square Lake Road

Size of Subject Property:

12.42 acres

Proposed Uses of Subject Parcel:

Thirty-one (31) detached single family condominium cluster development.

Current Use of Subject Property:

The subject parcels are undeveloped.

Current Zoning:

The property is currently zoned R-1D, One-family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	CF, Community Facilities	Golf Course
South	R-1D, One-family Residential District	Single-family homes
East	R-1D, One-family Residential District	Single-family homes
West	R-1D, One-family Residential District	Single-family homes

Items to be addressed: None

PREVIOUS APPROVAL

Robertson Brothers recently submitted a revised plan for the Section 1 Troy School District property. The site was previously approved by the City Council for Mondrian Homes. In that proposal Mondrian Homes was to purchase the entire 81 acres from the School District. They were going to build a 23-unit cluster development on six-acres, and preserve +/-75 acres of property. The property is now under the control of Robertson Brothers. Robertson Brothers plans to purchase a total of 12 of the 81 acres from the school district. On that 12 acres, the applicant proposes to construct a 31-unit cluster development, and preserve 6.29 acres. In addition, the applicant is proposing the construction of a 14-space gravel parking lot and trailhead.



Approved Mondrian Plan



Proposed Robertson Brothers Plan

SITE ARRANGEMENT

The proposed one-family cluster development consists of thirty-one (31) units. All new lots will be accessed via two driveways to the new private road off Square Lake Road.

The applicant has submitted a parallel plan to establish a base density and portray the visual difference between traditional site design versus a cluster development. The cluster option is offered as an alternative to traditional residential development. The cluster option is intended to:

- 1. Encourage the use of property in accordance with its natural character.
- 2. Assure the permanent preservation of open space and other natural features.
- 3. Provide recreational facilities and/or open space within a reasonable distance of all residents of the Cluster development.
- 4. Allow innovation and greater flexibility in the design of residential developments.
- 5. Facilitate the construction and maintenance of streets, utilities, and public services in a more economical and efficient manner.
- 6. Ensure compatibility of design and use between neighboring property.
- 7. Encourage a less sprawling form of development, thus preserving open space as undeveloped land.
- 8. Allow for design innovation to provide flexibility for land development where the normal development approach would otherwise be unnecessarily restrictive or contrary to other City goals

Items to be addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS and REGULATORY FLEXIBILITY

The intent of the cluster development provisions is to relax the typical R-1D district bulk requirements in order to encourage a less sprawling form of development that preserves open space and natural resources. Although proposed setback dimensions are generally in compliance, as set forth in 10.04.E the applicant is able to seek specific departures from the dimensional requirements of the Zoning Ordinance for yards and perimeter setback as a part of the approval process.

The table below outlines the bulk requirements for cluster development.

Table 1. – Bulk Requirements

	Required/Allowed	Provided	Compliance
Density	Overall density shall not exceed the number of residential cluster units as developed under a conventional site condominium, unless a density bonus has been granted by City Council.	The applicant is seeking 31 units.	The applicant shows 25 units in parallel plan + 20% open space + 10% for additional 10% open space = 32 units The applicant is eligible to up to 32 units. Seeks approval of 31. Complies
Perimeter Setback Perimeter Setback Setback Setback Equal to the rear yard setback requirement for the underlying zoning district of the property directly adjacent to each border = 40 feet perimeter setback		The plan shows a minimum 40 ft. setback on all property lines.	Complies
Lot Size	10,500 sq. ft.	Not Applicable	Not Applicable
Front Setback (building)	20 teet		Compiles
Front Setback (garage)	25 feet		Compiles
Rear Setback (building)	25-feet setback	25-feet minimum	Complies
Side Setback (building)	7.5-feet setback	5-feet minimum	Seeks a maximum 5-foot deviation
Open Space Requirements: Minimum Percentage	Requirements: 20%		Complies. Applicant must submit open space preservation covenant.

Applicant is seeking the following deviations from the Cluster Ordinance:

- Side Setback:
 - o Units 1-5: Providing 10-feet building separation rather than 15 feet.
 - Units 6-12 and 16-22 and 23-25: Providing 11-feet building separation rather than 15 feet.
 - o Units 13-15, 25-31: Providing 12-feet building separation rather than 15 feet.

Based on the proposed one-and-a-half story homes, we support the requested sideyard deviations.

Items to be addressed: Planning Commission is to review the requested deviations as part of the site plan in light of attempt to provide for design innovation to provide flexibility for land development.

OPEN SPACE REQUIREMENTS

A requirement of the Cluster Option is to provide at least one (1) of the following open space benefits:

- a. Significant Natural Features. Preservation of significant natural features contained on the site, as long as it is in the best interest of the City to preserve the natural features that might be negatively impacted by conventional residential development. The determination of whether the site has significant natural features shall be made by the City Council, after review of a Natural Features Analysis, prepared by the applicant, that inventories these features; or
- b. Recreation Facilities. If the site lacks significant natural features, it can qualify with the provision of usable recreation facilities to which all residents of the development shall have reasonable access. Such recreation facilities include areas such as a neighborhood park, passive recreational facilities, soccer fields, ball fields, bike paths, or similar facilities that provide a feature of community-wide significance and enhance residential development. Recreational facilities that are less pervious than natural landscape shall not comprise more than fifty (50) percent of the open space. The determination of whether the site has significant natural features shall be made by the City Council after review of a Site Analysis Plan, prepared by the applicant, that inventories these features; or
- c. Preservation of Common Open Space or Creation of Natural Features. If the site lacks significant natural features, a proposed development may also qualify if the development will preserve common open space or create significant natural features such as wetlands. The determination of whether the site has significant natural features shall be made by the City Council after review of a Site Analysis Plan, prepared by the applicant, which inventories these features.

The applicant is preserving 30% of the site as open space. As requested, the applicant has shown the limits of grading disturbance on the grading plan.

In addition, the applicant is proposing the construction of a 14-space gravel parking lot and trailhead. The applicant notes that the trails will be determined after a conservation easement has been established. The School Districts notes that they will be preserving the balance of the remaining 69-acres and the trail head and parking area is a negotiated agreement between Robertson Brother and the school district that will serve that preserved land.

A tree survey has been provided to inventory the natural features that exist onsite and to calculate the requirements for tree replacement. The site is heavily wooded. The survey examined the existing tree list of approximately twelve (12) acres at the south of the site, where the proposed development will occur. Full replacement and preservation details are shown in *Table 2*.

Protected Tree Inches Removed Replacement Required Landmark 220 inches 220 inches Woodland 2889 inches 1445 inches **Preservation/Mitigation Inches Preserved** Credit Landmark **10752** inches **10752** inches Woodland 1536 inches 3072 inches Protected Replacement Required 1665 inches **Preservation Credit** 13824 inches **Total** + 12,159 inch Credit **Total Tree Mitigation** Zero. The number of inches preserved and

Table 2. – Tree Replacement Details

<u>Guarantee of Open Space and Tree Preservation:</u>

The submitted site plan references a tree protection fence that separates land to be developed from land to be preserved and the trees that exist in these areas.

credited exceed the mitigation required.

Items to be addressed: Planning Commission is to consider and make a recommendation to City Council if the layout and natural features preservation meets the intent of the Cluster provision and has the applicant creatively designed the site to either preserve significant natural resources.

SITE ACCESS AND CIRCULATION

Vehicular

Access to the site will be from two driveways off of Square Lake Road. The development will be served by an internal twenty-eight (28) foot wide private road, located inside of a forty (40) foot roadway easement.

Pedestrian

The applicant proposes a five (5) foot wide concrete sidewalk along the perimeter of the private roads. The internal sidewalk will connect to existing sidewalk on Square Lake Road. The engineering department has reviewed the pedestrian plan and notes:

<u>Fire</u>

The fire department has reviewed the plan and supports the fire circulation plan.

Items to be Addressed: None

STORMWATER

Stormwater management has been shown on the submitted plans with a detention pond within the preserved 6 acres.

Items to be Addressed: None

LANDSCAPING

One-Family Cluster development landscaping requirements are regulated by Section 13.02.F.2.

Table 2. – Landscaping Requirements

Frontage	Required	Provided	Compliance
Proposed Private Rd.	One (1) deciduous tree for every 50 lineal feet.	50 Trees	Compliant
Square Lake Road 120-foot ROW	One (1) large evergreen tree per ten (10) lineal feet. 843 lf./10 lf=84 evergreen trees	84 Trees	Compliant

The applicant is deficient in right-of-way and private road landscaping in the submitted plan.

Items to be Addressed: None

ELEVATIONS AND FLOOR PLANS

The applicant has submitted proposed housing elevations with three elevation options. The types of housing include a ranch home and two, two-story colonials. The indicated square footage for all three elevations is 1,830 sq/ft.

Items to be Addressed: None

CLUSTER STANDARDS

As set forth in section 10.04.I, the applicant shall demonstrate that through the use of the Cluster option, the development will accomplish a sufficient number of the following objectives, as are reasonably applicable to the site, providing:

- a. Long-term protection and preservation of natural resources, natural features, and open space of a significant quantity and/or quality in need of protection or preservation, and which would otherwise be unfeasible or unlikely to be achieved absent these regulations.
- b. Innovative and creative site design through flexibility in the siting of dwellings and other development features that would otherwise be unfeasible or unlikely to be achieved absent these regulations.
- c. Appropriate buffer and/or land use transitions between the Cluster development and surrounding properties.
- d. A compatible mixture of open space, landscaped areas, and/or pedestrian amenities.
- e. Sustainable design features and techniques, such as green building, stormwater management best practices, and low impact design, which will promote and encourage energy conservation and sustainable development.
- f. A means for owning common open space and for protecting it from development in perpetuity.
- g. Any density bonus is commensurate with the benefit offered to achieve such bonus.
- h. The cluster development shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.
- The architectural form, scale, and massing shall ensure buildings are in proportion and complementary to those of adjacent properties and the selected building materials are of high, durable quality. The garage shall not be the dominant feature of a residential building.

The applicant is seeking approval for six (6) additional units than permitted in parallel plan in exchange for the following benefits:

- A. 30% overall site open space, which allows for the preservation of natural resources and inclusion of site amenities.
- B. Allows for private road which provides an additional buffer than a public road to adjacent properties.
- C. Open space collar around perimeter to adjacent properties.
- D. Long-term protection and preservation of natural features, and open space.
- E. Preservation of 227 regulated trees and a regulated wetland.
- F. Adequately served by public services.
- G. Provides an architectural form, scale, and massing that are in proportion and complementary to those of adjacent properties and the selected building materials are of high, durable quality.
- H. Provides a public parking lot and trail head to preserved trails.
- I. Provides a housing product with first floor master bedroom and bath desired by the community.

RECOMMENDATIONS

The applicant is seeking to develop this site as a cluster in order to provide 30% common open space, allow for tree preservation, preserve the regulated wetland. Many of the benefits of this development would not be achievable without a cluster type development. Overall we find:

- 1) The cluster development better protects the sites natural resources than if the site were not developed as a cluster.
- 2) The cluster development better protects the adjacent properties than if the site were not developed as a cluster.
- 3) The cluster development is compatible with adjacent properties.
- 4) The site can be adequately served with municipal water and sewer.
- 5) The applicant is providing a public parking lot and trail head to preserved trails.
- 6) The applicant is providing a housing product with first floor master bedroom and bath desired by the community.

Overall we recommend that the Planning Commission recommend approval of the Cluster Plan to the City Council with the following conditions:

- 1. Provide a new assessment or extension from EGLE
- 2. Provide maintenance agreement for the parking lot
- 3. Provide easement over Turtle Woods for access to the public lot.

CARLISLE/WORTMAN ASSOC., INC. Benjamin R. Carlisle, LEED AP, AICP

memorandum

Date: August 27, 2020



From: Sara Merrill, PE, PTOE

Re: Meadows of Troy

Anticipated Traffic Impacts

The purpose of this memorandum is to provide an overview of anticipated traffic impacts resulting from Meadows of Troy, a proposed site condominium development consisting of 31 detached single-family homes. The development is located on the north side of Square Lake Road, east of John R Road. In the immediate vicinity of the site, Square Lake Road is a 2-lane roadway, with one through lane in each direction.

Advancing Communities

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition, provides trip generation rates for numerous land uses, based on thousands of studies throughout the United States and Canada. This data can then be used to estimate the number of vehicle trips generated by a development. For residential housing, traffic impacts are usually most noticeable during the peak hour of adjacent street traffic – that is, during morning and evening "rush hour", when traffic on the roads is most congested. In most areas, the morning (AM) peak is a one hour period that occurs between 7 am – 9 am, and the evening (PM) peak is a one hour period usually between 4 pm – 6 pm.

The table below provides the calculated number of trips generated for the proposed Meadows of Troy, based on the ITE Trip Generation Manual for Single-Family Detached Housing (ITE Land Use Code #210).

	Number of Site-Generated Trips								
Number of Dwelling Units	AM Peak Hour PM Peak Hour		Daily						
	In	Out	Total	In	Out	Total	In	Out	Total
31 Units	7	20	27	21	12	33	177	177	354

During the morning (AM) peak hour, the proposed Meadows of Troy development is expected to generate 27 new trips: 7 inbound (entering the site), and 20 outbound (exiting the site). During the evening (PM) peak hour, the proposed site is expected to generate 33 new vehicle trips: 21 inbound (entering the site) trips, and 12 outbound (exiting the site). This pattern coincides with residents typically leaving in the morning for work, and returning home in the evening.

The traffic generated by the proposed development is minimal, adding just a few dozen vehicle trips during the peak ("busiest") hour. The traffic impact of this site on the adjacent road network is negligible and would be imperceptible to the majority of road users.

As a point of comparison, Square Lake Road (between John R Road and Dequindre Road) carries close to 1,000 vehicles during the PM peak hour, and averages over 11,000 vehicles per day. Even amongst typical weekdays, traffic volumes during the peak hours alone often vary by 10%+ from one day to the next. The day-to-day fluctuations result in peak hour traffic volumes that vary by upwards of a hundred vehicles. The proposed homes in Meadows of Troy are expected to generate fewer than 35 new vehicle trips during the peak hour.

From: <u>Dorene</u>
To: <u>Planning</u>

 Subject:
 Re parcel 88-20-01-300-016; 12.42 acres

 Date:
 Thursday, April 1, 2021 12:32:21 PM

This email is in regards to the above property.

This city cannot leave one parcel untouched in the City of Troy. Once again, the TSD is greedy for its money and has no good conscience to leave any plot of land alone. This land, like all the others the TSD sold, is a wildlife sanctuary. But money gets in the way of a good conscience in this city. We don't need 31 more units anywhere in this city.

It is sad and sickening that everyone involved doesn't look past the greed. The land and its trees are desperately needed for climate change. The wildlife sanctuary is not only a gem in this city, but the preservation of wildlife is so very important in a thriving municipality. It is appalling that no one in this city has a conscience, most of all the TSD, who are educators. That is precisely why this city looks like every other built up city now. Green space is a must where families and children grow up, but this city has no plans for that. The master plan is poor because it has no balance. Building in this city should have ceased 10 years ago. You can't get any more land once it's gone.

Residents are sad and fed up.

Truly,

Another fed up resident

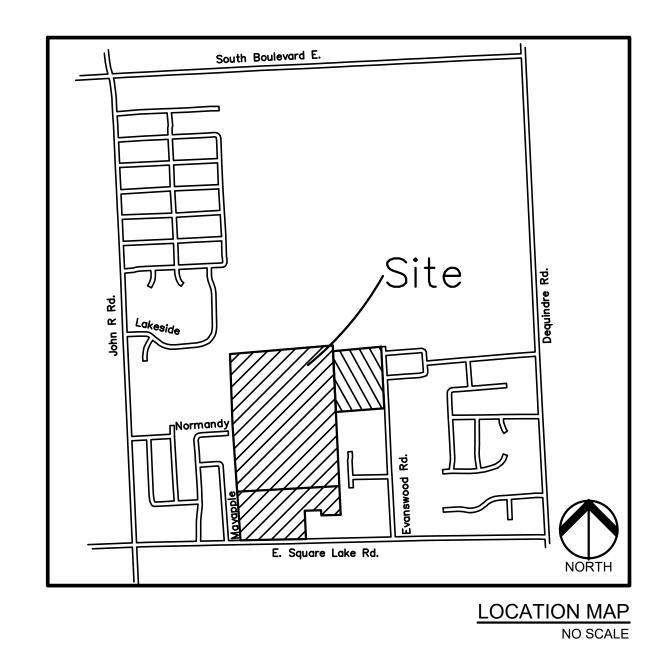
Sent from XFINITY Connect App

PRELIMINARY SITE PLANS

MEADOWS OF TROY

PART OF THE SW 1/4 OF SECTION 1, T.2N., R.11E. CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DATE SUBMITTED DATE APPROVED PERMIT / APPROVAL



	INDEX OF DRAWINGS
NUMBER	TITLE
	COVER SHEET
P-2.0	PARCEL MAP
P-2.1	TOPOGRAPHIC SURVEY
P-3.0	OVERALL SITE PLAN
P-3.1	PRELIMINARY SITE PLAN
P-3.2	PRELIMINARY OPEN SPACE PLAN
P-4.0	PRELIMINARY GRADING PLAN
P-5.0	PRELIMINARY UTILITY PLAN
P-6.0	PARALLEL PLAN
 L-1	OVERALL LANDSCAPE PLAN
L-2	DETENTION POND SEEDING PLAN
L-3	LANDSCAPE ENLARGEMENT PLANS
L-4	TREE PRESERVATION PLAN
L-5	TREE SURVEY (1 OF 4)
L-6	TREE SURVEY (2 OF 4)
L-7	TREE SURVEY (3 OF 4)
L-8	TREE SURVEY (4 OF 4) & LANDSCAPE DETAILS
L-9	LANDSCAPE DETAILS & NOTES

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER

ROBERTSON BROTHERS CO.
6905 TELEGRAPH ROAD, SUITE 200
BLOOMFIELD HILLS, MI 48301
CONTACT: TIM LOUGHRIN
PHONE: 248.282.1428
EMAIL:TLOUGHRIN@ROBERTSONHOMES.COM

ARCHITECT

TK DESIGN & ASSOCIATES, INC.
26030 PONTIAC TRAIL
SOUTH LYON, MI 48178
CONTACT: TODD HALLETT
PHONE: 248.446.1960
EMAIL: THALLETT@TKHOMEDESIGN.COM

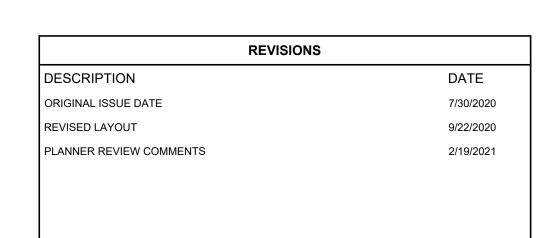
CIVIL ENGINEER

PEA GROUP 2430 ROCHESTER COURT, STE. 100 TROY, MI 48083-1872 CONTACT: JOHN B. THOMPSON, PE PHONE: 844.813.2949 EMAIL: JTHOMPSON@PEAGROUP.COM

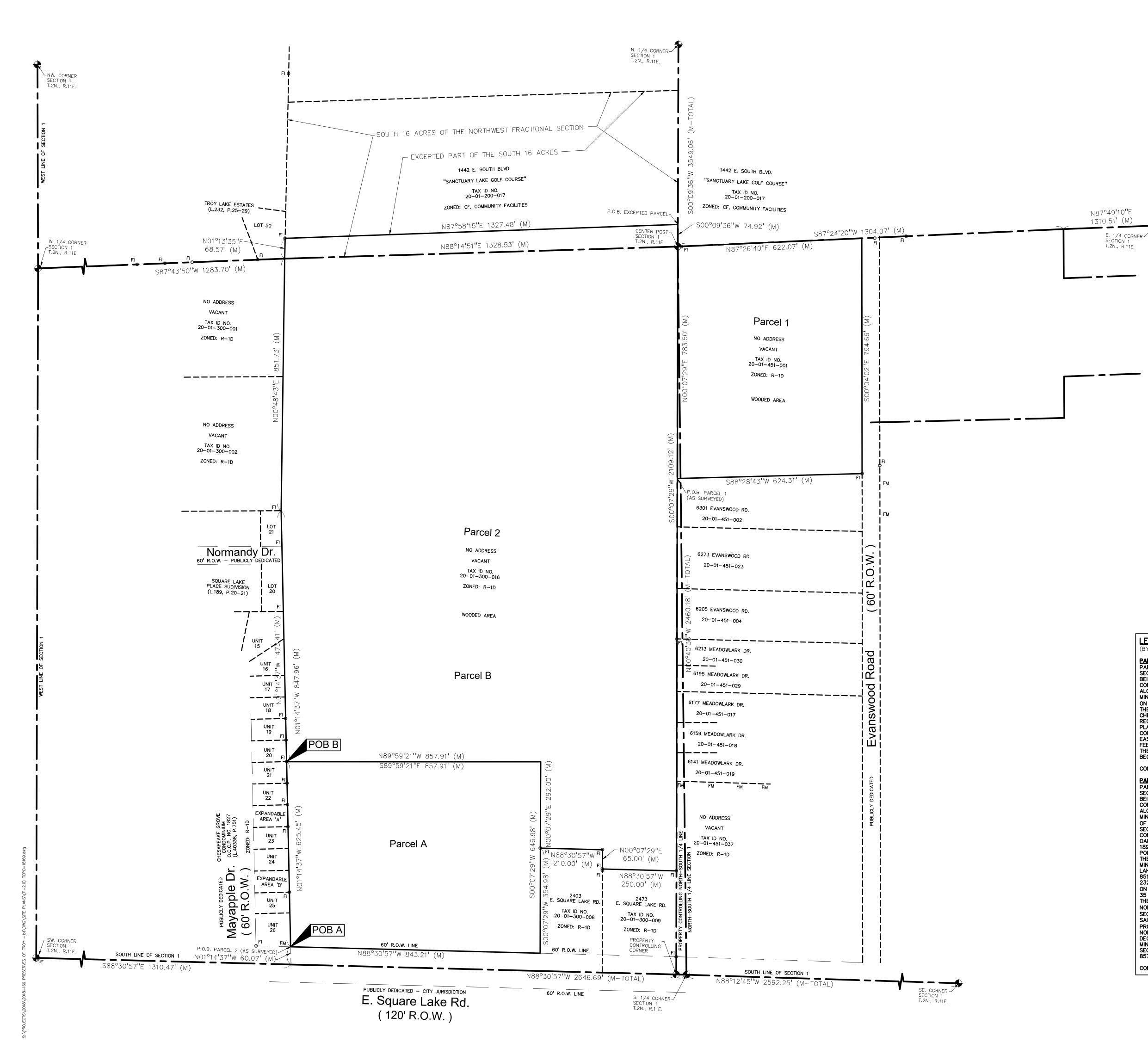
LANDSCAPE ARCHITECT

LAND DESIGN STUDIO, PLLC 1816 W. THIRTEEN MILE ROAD, SUITE B-4 SOUTHFIELD, MI 48076 CONTACT: TAD KREAR, R.L.A. PHONE: 248.594.3220 EMAIL: TAD@LDSRO.COM









LEGAL DESCRIPTION

PER SURVEY PROVIDED BY STANTEC CONSULTING, PROJECT NO. 2075105700, DATED JUNE 25, 2007)

PART OF THE SOUTHEAST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1: THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 2612.25 FEET TO THE PROPERTY CONTROLLING CORNER; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST ALONG THE NORTH-SOUTH PROPERTY CONTROLLING LINE OF SAID SECTION 1 1675.62 FEET TO THE POINT OF BEGINNING: THENCE CONTINUING ALONG SAID PROPERTY CONTROLLING LINE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 783.50 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE NORTH 87 DEGREES 26 MINUTES 40 SECONDS EAST ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 1, 622.07 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF EVANSWOOD ROAD (60 FEET WIDE); THENCE SOUTH 00 DEGREES 04 MINUTES 02 SECONDS EAST ALONG SAID WEST LINE OF EVANSWOOD ROAD, 794.66 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 43 SECONDS WEST, 624.31 FEET TO THE POINT OF BEGINNING.

TAX ID NO. 20-01-451-001

ADDRESS: NONE (VACANT)

CONTAINING: 491,407.07 SQUARE FEET OR 11.281 ACRES

PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WIDE); THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 1473.41 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 29, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, 354.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID E. SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF BEGINNING

TAX ID NO. 20-01-300-016

ADDRESS: NONE (VACANT)

CONTAINING: 3,077,405.52 SQUARE FEET OR 70.647 ACRES

TROY ■ WASHINGTON TWP BRIGHTON ■ DETROIT t: 844.813.2949

www.peagroup.com

SCALE: 1" = 150'



CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

LEGAL DESCRIPTION

PARCEL A
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WIDE);
THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF
CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS
RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 625.45 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 21 SECONDS EAST, 857.91 FEET; THENCE SOUTH OO DEGREES OF MINUTES 29 SECONDS WEST, 646.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID E. SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF

CONTAINING: 540,917.85 SQUARE FEET OR 12.42 ACRES

CONTAINING: 2,536,487.73 SQUARE FEET OR 58.23 ACRES

PARCEL B
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WIDE) AND CONTINUING NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 625.45 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST LINE OF CHESAPEAKE GROVE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST, 847.96 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH OO DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 29, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 292.00 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 21 SECONDS WEST, 857.91 FEET TO THE POINT OF BEGINNING.

PROJECT TITLE

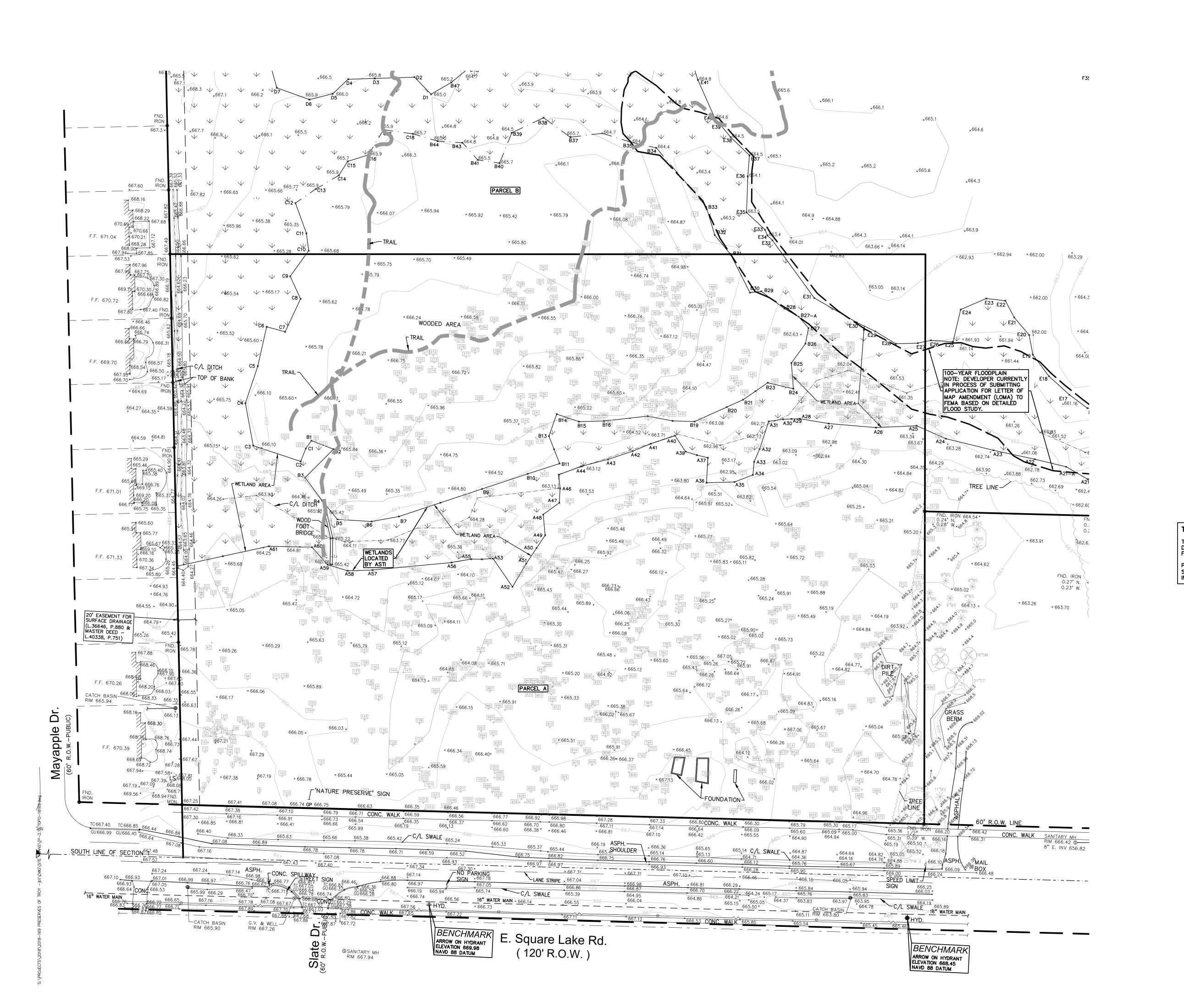
MEADOWS OF TROY

REVISIONS REVISED LAYOUT 09-22-20 PLANNER REVIEW COMMENTS 02-19-21

ORIGINAL ISSUE DATE: JULY 30, 2020

DRAWING TITLE **PARCEL MAP**

PEA JOB NO. 2018-169 TMK DES. TMK DRAWING NUMBER:



LEGEND

IRON FOUND RASS PLUG SET MONUMENT FOUND MAIL FOUND MONUMENT SET Ø NAIL & CAP SET

SEC. CORNER FOUND R RECORDED M MEASURED C CALCULATED

-OH-ELEC-W-O- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL -⊠-UG-PHONE-①--- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE

-UG-ELEC-E-E-E-ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE — _ GAS MAIN, VALVE & GAS LINE MARKER WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE SANITARY SEWER, CLEANOUT & MANHOLE — - - STORM SEWER, CLEANOUT & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF

UNIDENTIFIED STRUCTURE SPOT ELEVATION _____670 _____ CONTOUR LINE -X-X-X- FENCE ☆ STREET LIGHT

SIGN ∠ CONC. ✓

ASPH. ASPHALT

GRAVEL SHOULDER -GRAVEL रक्र स्था MELTAND

ΡΞΛ GROUP TROY ■ WASHINGTON TWP BRIGHTON ■ DETROIT t: 844.813.2949

www.peagroup.com



SCALE: 1" = 50'



CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

LEGAL DESCRIPTION

REFER TO SHEET P-2.0 FOR LEGAL DESCRIPTIONS

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY NF ENGINEERS.

PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING ONLY, A PORTION OF THE PROPERTY
DESCRIBED ON THIS SURVEY LIES WITHIN A SPECIAL FLOOD HAZARD
AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE(S) 'A' AND 'X' OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 26125C0553G, DATED SEPTEMBER 29, 2006.

CLIENT

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

PROJECT TITLE

MEADOWS OF TROY E. SQUARE LAKE ROAD

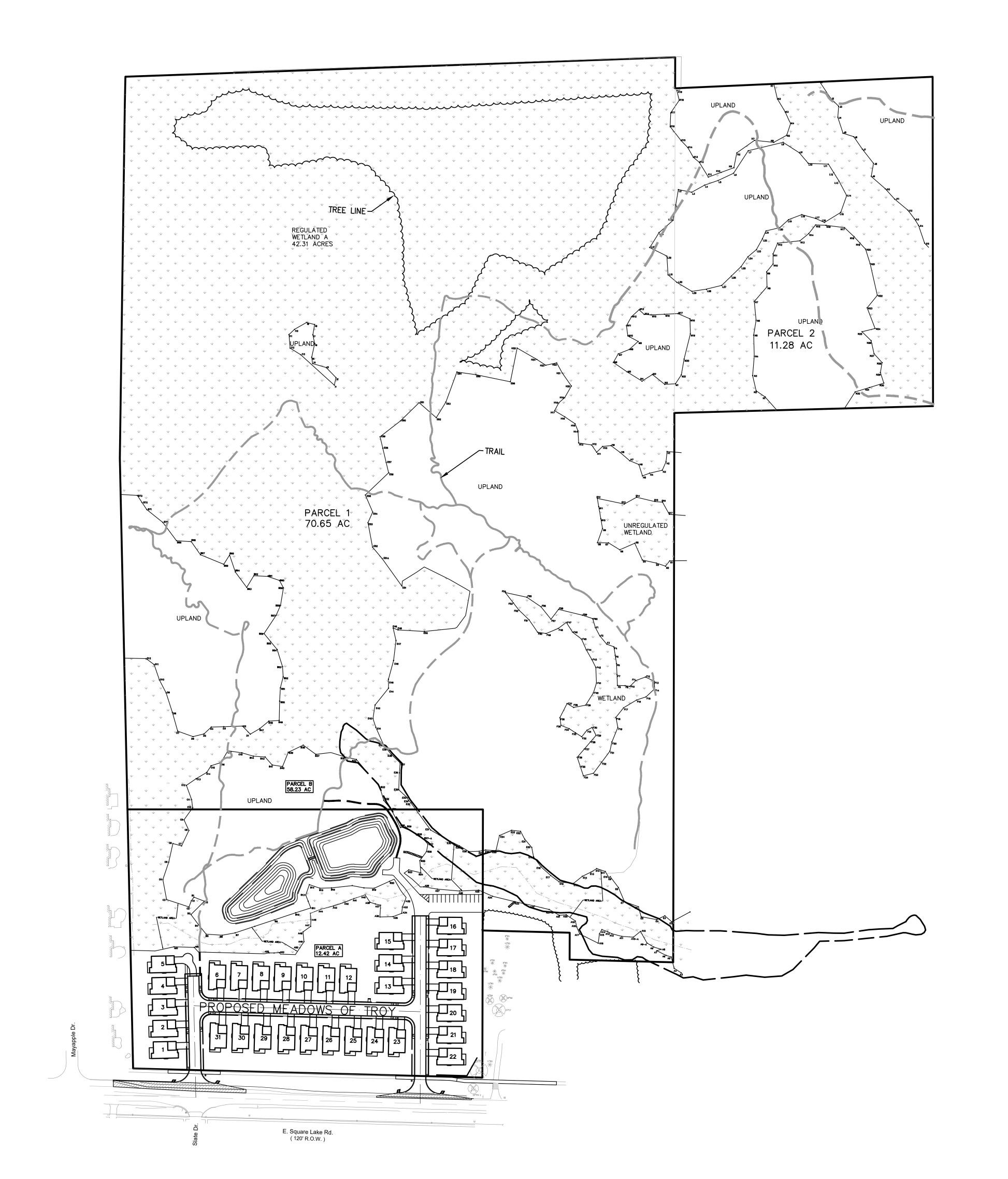
REVISIONS REVISED LAYOUT 09-22-20 PLANNER REVIEW COMMENTS 02-19-21

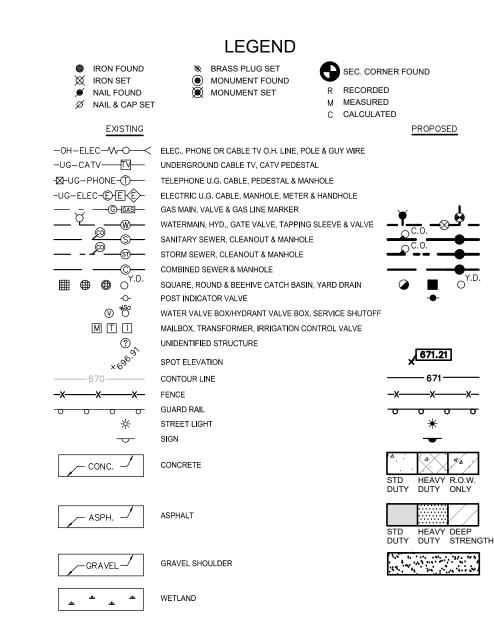
ORIGINAL ISSUE DATE: JULY 30, 2020

DRAWING TITLE **TOPOGRAPHIC SURVEY**

2018-169 PEA JOB NO. TMK TMK DES. DRAWING NUMBER:

NOT FOR CONSTRUCTION

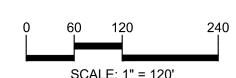




GROUP TROY • WASHINGTON TWP BRIGHTON • DETROIT t: 844.813.2949

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THE LOCATIONS!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

PROJECT TITLE

MEADOWS OF TROY E. SQUARE LAKE ROAD TROY, MICHIGAN

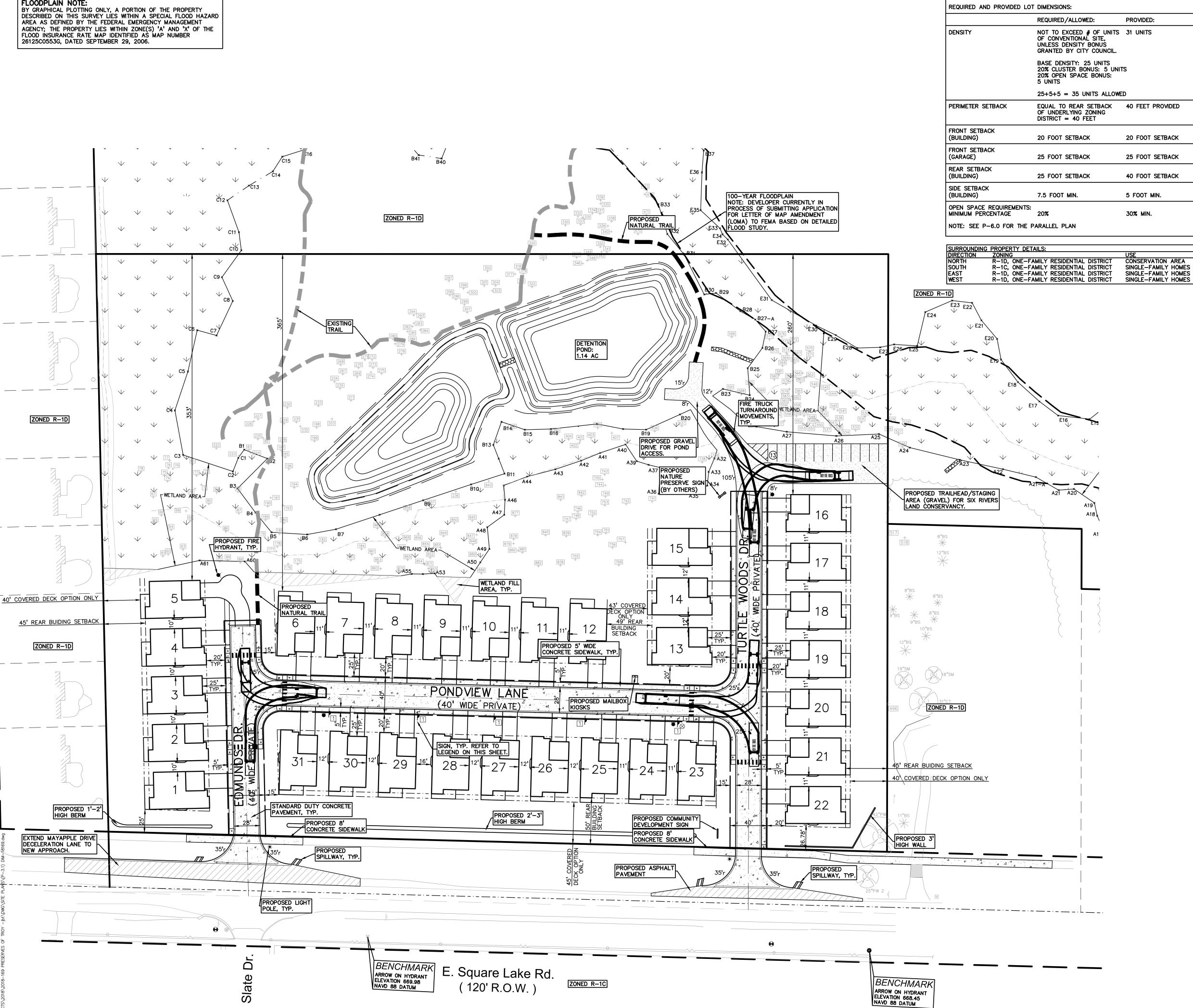
REVISIONS	
REVISED LAYOUT	09-22-20
PLANNER REVIEW COMMENTS	02-19-21
ORIGINAL ISSUE DATE:	

JULY 30, 2020

OVERALL SITE PLAN

PEA JOB NO.	2018-169
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

FLOODPLAIN NOTE: BY GRAPHICAL PLOTTING ONLY, A PORTION OF THE PROPERTY DESCRIBED ON THIS SURVEY LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE(S) 'A' AND 'X' OF THE

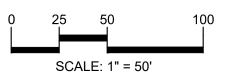


SITE DATA: LEGEND IRON FOUND BRASS PLUG SET SEC. CORNER FOUND MONUMENT FOUND R RECORDED MAIL FOUND MONUMENT SET M MEASURED PROVIDED: Ø NAIL & CAP SET C CALCULATED NOT TO EXCEED # OF UNITS 31 UNITS -OH-ELEC-VV-O- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL -UG-ELEC-E-E-E-ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE — _ GAS MAIN, VALVE & GAS LINE MARKER ___________ WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE SANITARY SEWER, CLEANOUT & MANHOLE — – STORM SEWER, CLEANOUT & MANHOLE COMBINED SEWER & MANHOLE EQUAL TO REAR SETBACK 40 FEET PROVIDED SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF M T I MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE 20 FOOT SETBACK 671.21 SPOT ELEVATION 671 CONTOUR LINE 25 FOOT SETBACK -X-X-X- FENCE -x----x---x-0 0 0 0 ☆ STREET LIGHT 40 FOOT SETBACK SIGN CONC. 5 FOOT MIN. 30% MIN. → ASPH. ✓ ASPHALT GRAVEL SHOULDER GRAVEL

ngr ngr ngr MELTAND

TROY ■ WASHINGTON TWP BRIGHTON ■ DETROIT t: 844.813.2949 www.peagroup.com







CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

ROBERTSON BROTHERS CO.

BLOOMFIELD HILLS, MI

PROJECT TITLE

OF TROY

MEADOWS

E. SQUARE LAKE ROAD

6905 TELEGRAPH ROAD, SUITE 200

PROPOSED CONSTRUCTION OF A 31 LOT SINGLE FAMILY DETACHED SITE CONDOMINIUM PROJECT ON SQUARE LAKE ROAD BETWEEN JOHN R ROAD AND DEQUINDRE ROAD. THE 31 UNITS ARE LOCATED ON A 12.42 ACRE SPLIT OF THE 81.9 ACRE SCHOOL DISTRICT PROPERTY. ACCESS TO ALL UNITS WILL BE A NEW PRIVATE ROAD VIA SQUARE LAKE ROAD. THE PROPOSED RESIDENTIAL USE IS PERMITTED BY-RIGHT IN

SITE ARRANGEMENT:
THE PROPOSED SITE CONDOMINIUM CONSISTS OF 31 UNITS. ALL UNITS FRONT ON NEW PRIVATE STREETS, AND ALLOW FOR ADEQUATE SETBACKS, AND PERMIT SUFFICIENT SPACE FOR THE HOMES AND INGRESS AND EGRESS FOR EACH UNIT ACCORDING TO THE CLUSTER OPTION.

NATURAL RESOURCES:
THE SITE CURRENTLY HAS HEAVY TREE COVER AND MODERATE WETLAND COVER.

FLOODPLAIN: THE PROPERTY IS LOCATED WITHIN THE FLOOD HAZARD AREA ZONE(S) 'A' AND 'X' INDICATED BY FLOOD INSURANCE RATE MAP (FIRM) NO. 26125C0553G DATED: SEPTEMBER 29, 2006.

ACCESS AND CIRCULATION:

VEHICULAR ACCESS AND CIRCULATION: VEHICULAR ACCESS TO ALL UNITS WILL BE VIA A NEW ROADWAY. ROADWAYS WILL HAVE A PRIVATE ROAD EASEMENT WHICH FOLLOWS THE BACK OF CURB.

PEDESTRIAN ACCESS AND CIRCULATION:
A 5-FOOT WIDE SIDEWALK IS PROVIDED ALONG THE FRONTAGE OF THE NEW

<u>UTILITIES:</u>
UTILITIES WILL BE WITHIN EASEMENTS APPROVED AS TO SIZE AND LOCATION BY THE CITY ENGINEER.

ALL SITES ARE SERVED BY PUBLIC WATER, SANITARY SEWER, STORM WATER AND SHALL CONSTRUCTED TO CITY STANDARDS, AT THE EXPENSE OF THE DEVELOPER. EASEMENTS OVER THESE SYSTEMS SHALL BE CONVEYED AND RECORDED BEFORE OCCUPANCY PERMITS ARE ISSUED FOR DWELLING UNITS.

A 25-YEAR DETENTION BASIN IS PROPOSED WITH A RESTRICTED OUTLET DISCHARGE TO THE ONSITE WETLANDS.

REQUESTED VARIANCES/WAIVERS:

1) VARIANCE FOR 10' BETWEEN BUILDINGS (15' REQUIRED) 2) VARIANCE FOR 40' MAJOR ROAD SETBACK (50' REQUIRED)

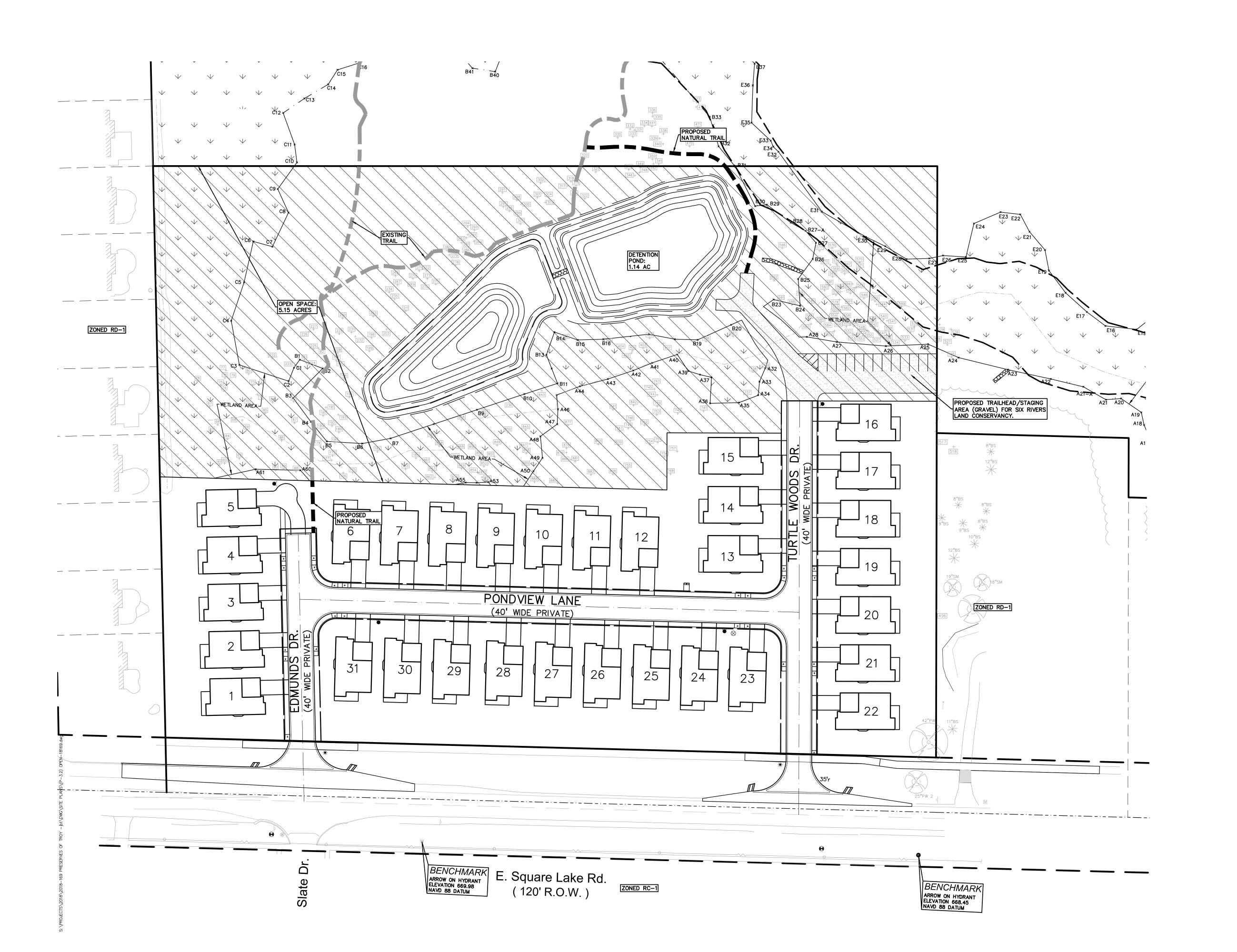
3) VARIANCE FOR 15' FRONT YARD SETBACK FOR CORNER LOTS (20' REQUIRED)

REVISIONS REVISED LAYOUT 09-22-20 PLANNER REVIEW COMMENTS 02-19-21

ORIGINAL ISSUE DATE: JULY 30, 2020

DRAWING TITLE **PRELIMINARY SITE PLAN**

PEA JOB NO.	2018-169
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	



LEGEND IRON FOUND RASS PLUG SET SEC. CORNER FOUND MONUMENT FOUND R RECORDED MONUMENT SET M MEASURED Ø NAIL & CAP SET C CALCULATED -OH-ELEC-W-O-C ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL -⊠-UG-PHONE-Ū--- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE -UG-ELEC-E-E-E- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE — _ GAS MAIN, VALVE & GAS LINE MARKER — WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE SANITARY SEWER, CLEANOUT & MANHOLE — — STORM SEWER, CLEANOUT & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF M T I MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE x 671.21 SPOT ELEVATION 671 -----670 ------ CONTOUR LINE **-X---X-** FENCE _x---x-0 0 0 0 ── SIGN CONC. CONCRETE ASPH. ASPHALT



ΡΞΛ

GROUP

TROY • WASHINGTON TWP BRIGHTON • DETROIT t: 844.813.2949

www.peagroup.com

SCALE: 1" = 50'

OPEN SPACE: OPEN SPACE EXCLUDING POND: 5.15 AC / 12.0 AC =42% OPEN SPACE INCLUDING POND: 6.29 AC / 12.0 AC = 52% OPEN SPACE REQUIRED: 30%

GRAVEL GRAVEL SHOULDER

عقد عقد METLAND



CAUTION!!

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CLIENT

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

PROJECT TITLE

REVISIONS

MEADOWS OF TROY

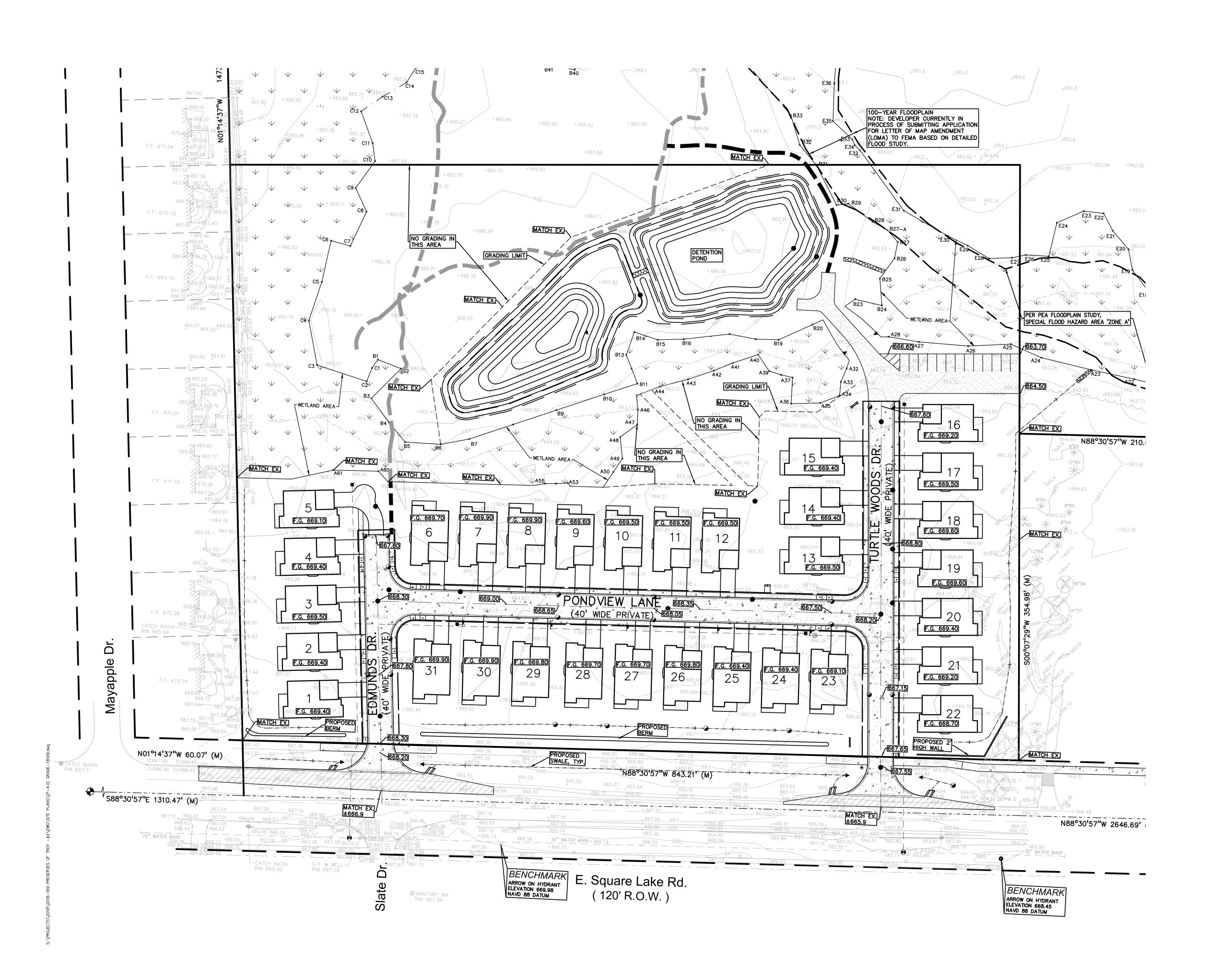
E. SQUARE LAKE ROAD
TROY, MICHIGAN

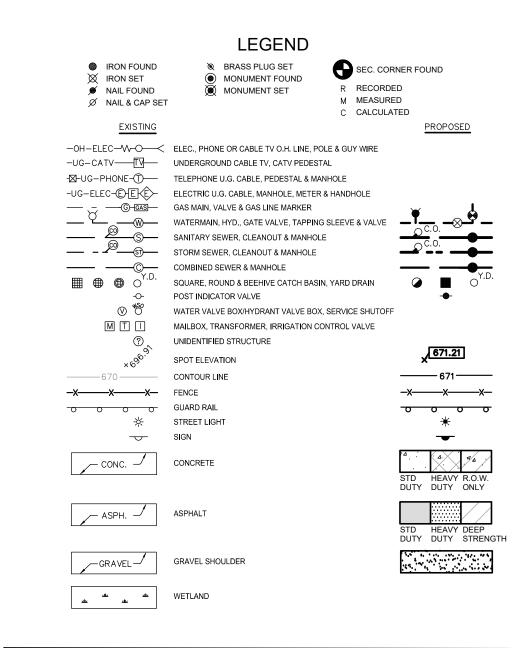
EVISED LAYOUT	09-22-20
LANNER REVIEW COMMENTS	02-19-21
ORIGINAL ISSUE DATE:	
ULY 30, 2020	
RAWING TITLE	

PRELIMINARY OPEN SPACE PLAN

PEA JOB NO.	2018-169
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

NOT FOR CONSTRUCTION P-3.2





NOTE: STEPPED BRICK LEDGES EXPECTED AT THE REAR OF BUILDINGS 5-10 AND 16-22.

GROUP

TROY ■ WASHINGTON TWP

BRIGHTON ■ DETROIT

www.peagroup.com

t: 844.813.2949

SCALE: 1" = 50'



THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

PROJECT TITLE

MEADOWS OF TROY

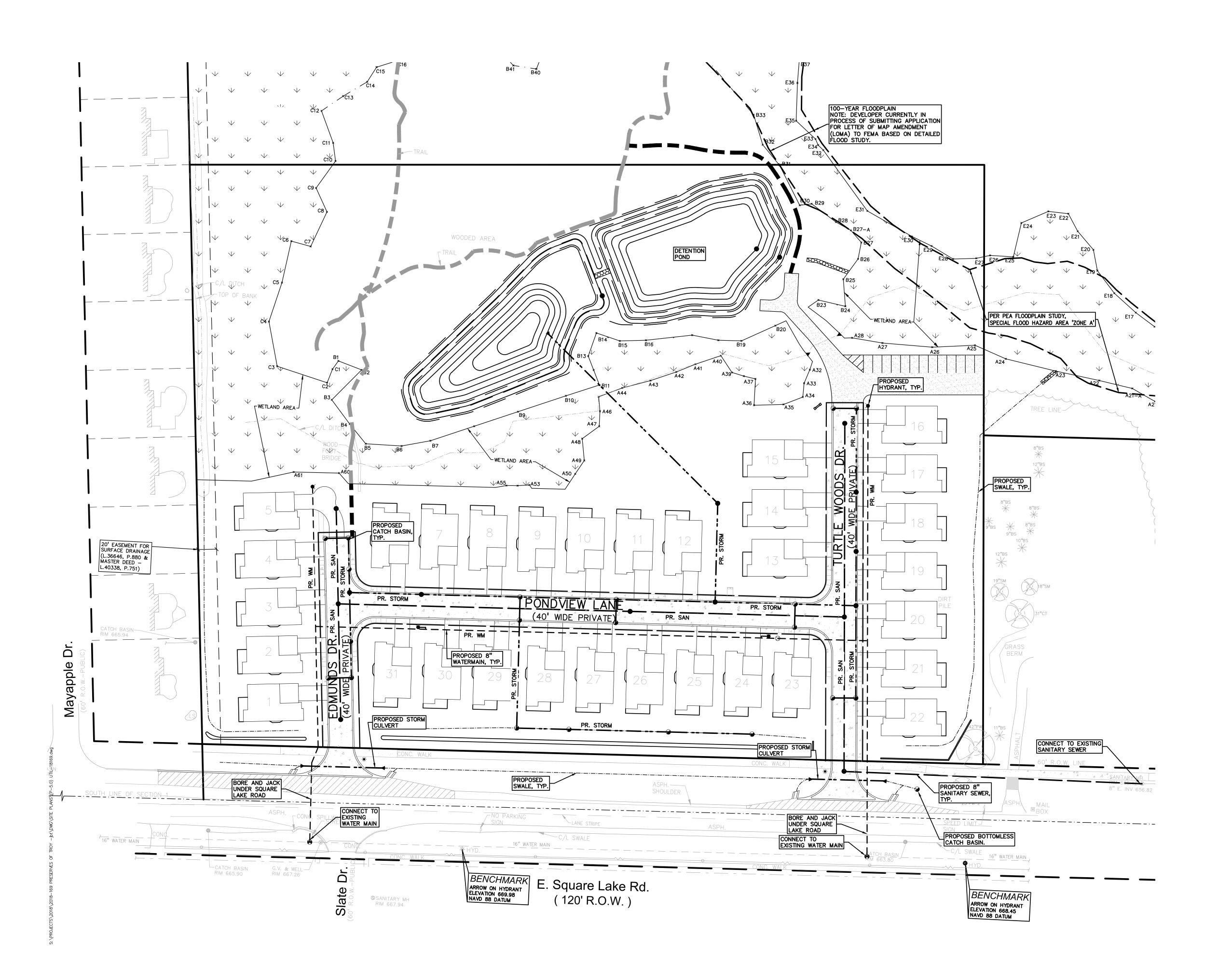
E. SQUARE LAKE ROAD
TROY, MICHIGAN

REVISIONS REVISED LAYOUT PLANNER REVIEW COMMENTS 02-19-21 ORIGINAL ISSUE DATE:

JULY 30, 2020 **PRELIMINARY GRADING**

PLAN PEA JOB NO. 2018-169

DRAWING NUMBER:



LEGEND

IRON FOUND RASS PLUG SET MONUMENT FOUND MAIL FOUND MONUMENT SET Ø NAIL & CAP SET

SEC. CORNER FOUND R RECORDED M MEASURED C CALCULATED

671.21

671

–x——x——x—

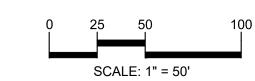
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-OH-ELEC-VV-O--- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL -⊠-UG-PHONE-Ū--- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE -UG-ELEC-E-E-E-E- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE — _ GAS MAIN, VALVE & GAS LINE MARKER WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE

SANITARY SEWER, CLEANOUT & MANHOLE — — STORM SEWER, CLEANOUT & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF M T MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE

SPOT ELEVATION -----670 ------ CONTOUR LINE **-X---X-** FENCE ☆ STREET LIGHT ── SIGN CONC. CONCRETE

ASPH. ASPHALT GRAVEL GRAVEL SHOULDER عقد عقد METLAND



ΣΞΛ

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THE LOCATIONS!

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CLIENT

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

PROJECT TITLE

JULY 30, 2020

DRAWING TITLE

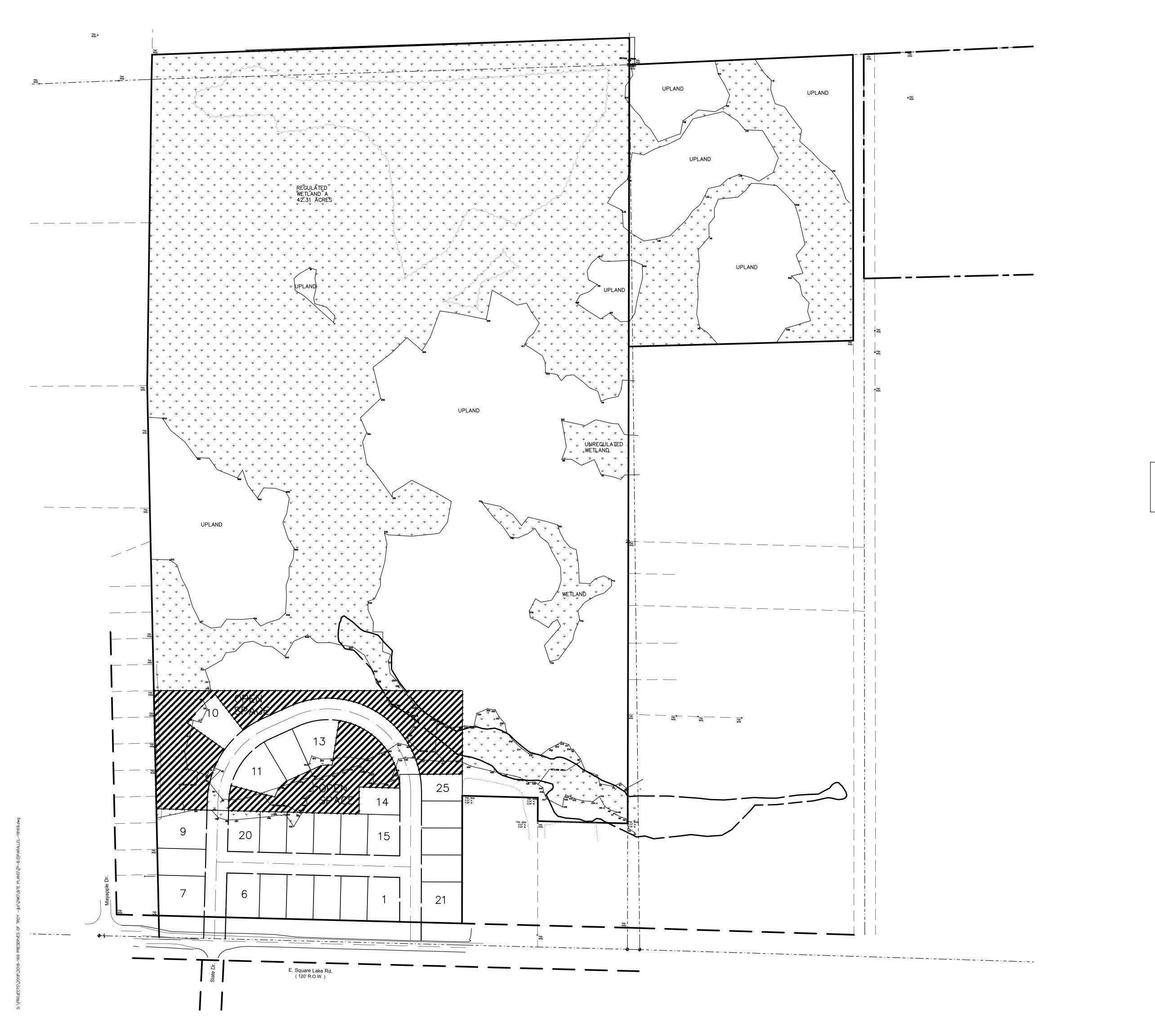
MEADOWS OF TROY

E. SQUARE LAKE ROAD
TROY, MICHIGAN

REVISIONS REVISED LAYOUT 09-22-20 PLANNER REVIEW COMMENTS 02-19-21 ORIGINAL ISSUE DATE:

PEA JOB NO. 2018-169 TMK TMK DES. DRAWING NUMBER:

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0 60 120 240

Know what's below.

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CAUTION!!
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ZONED: R-1D LOT AVG. METHOD LOTS: 25

CLIENT

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

PROJECT TITLE

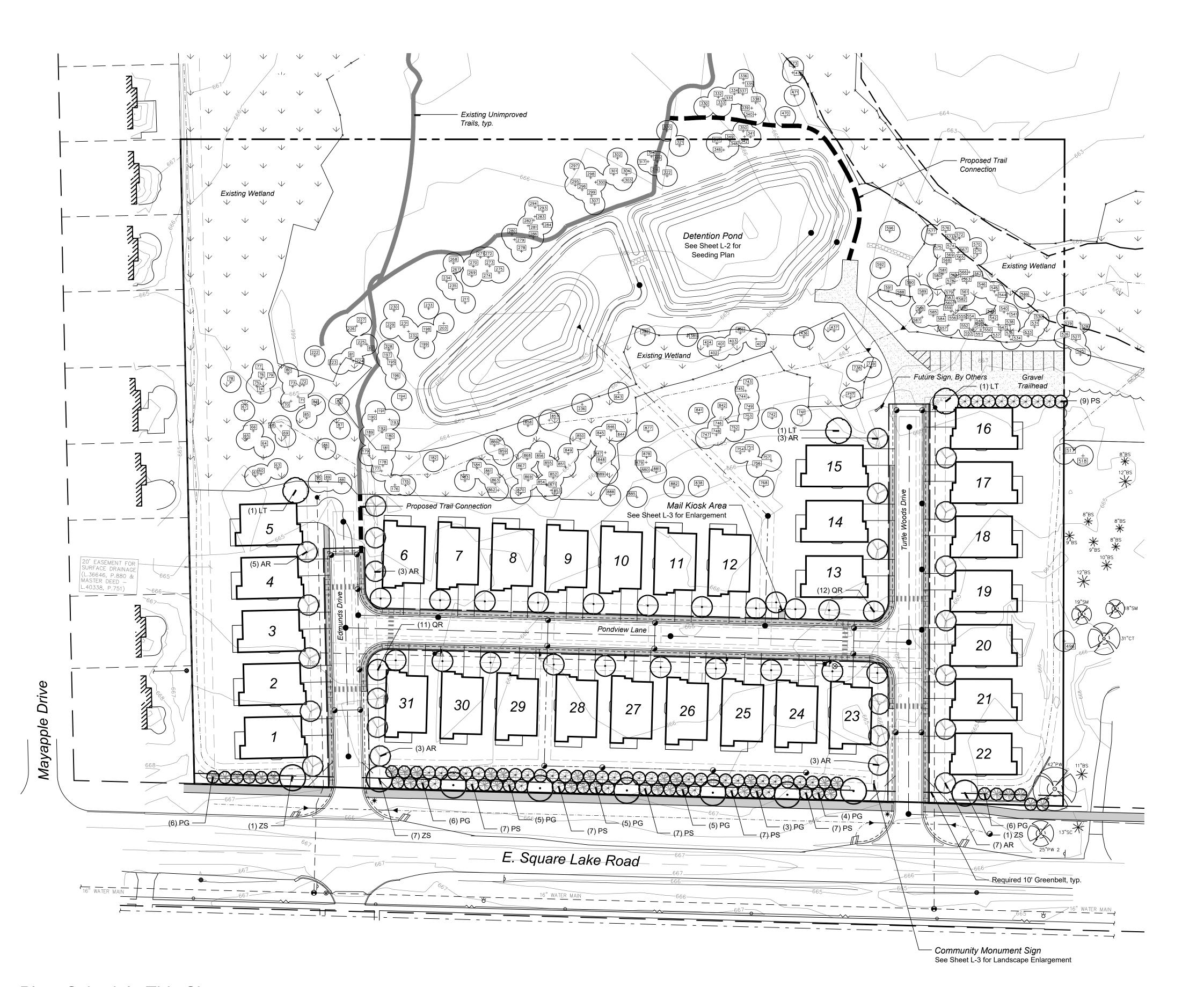
MEADOWS OF TROY E. SQUARE LAKE ROAD TROY, MICHIGAN

REVISIONS
REVISED LAYOUT 09-22-20
PLANNER REVIEW COMMENTS 02-19-21

ORIGINAL ISSUE DATE: JULY 30, 2020

PARALLEL PLAN

PEA JOB NO. 2018-169
P.M. JBT
DN. TMK
DES. TMK
DRAWING NUMBER:



Landscape Requirement Summary

Diversity of Plant Material

Required: Minimum 50% of the total proposed plantings are native tree

and shrub species 94% native tree and shrubs species Proposed:

Greenbelt Landscape

Min. 10' width Greenbelt along Public Road R.O.W. 10' width Greenbelt along Square Lake R.O.W. 1 Deciduous Tree per 30 LF of Greenbelt Required: Proposed: Required:

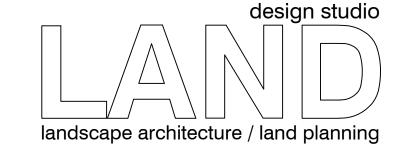
Greenbelt Length: Required:

Proposed:

Street Tree Landscape

Required: 1 Tree per 50 LF internal road frontage Unit 1-5 Frontage: 269.83 LF Required: 6 Trees Proposed: Unit 6 W. Frontage: 112.98 LF Required: Proposed: Unit 6-13 S. Frontage: 520.75 LF Required: Proposed: Unit 13-15 Frontage: 227.87 LF Required: Proposed: Unit 16-22 Frontage: 386.58 LF Required: 8 Trees Proposed: Unit 23 E. Frontage: 130.03 LF Required: Proposed: Unit 23-31 Frontage: 520.08 LF Required: 11 Trees Proposed: Unit 31 W. Frontage: 130.15 LF 3 Trees Required:

3 Trees



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LEGEND



= Existing Trees, To Remain

Woodland Replacement Summary

Total Trees Surveyed: - Total Trees Offsite: Total Onsite Trees: Total Trees Removed:

- Woodland Trees: - Woodland Tree DBH: 2,889.00" - Landmark Trees: - Landmark Tree DBH: 220.00" Exempt Trees:

*Exempt Trees include prohibited trees species, and Poor Quality Trees

Replacement Requirements:

50% of Woodland Tree DBH Removed 100% of Landmark Tree DBH Removed

1,664.50" Required:

Provided: **6,028.00" provided from Existing Trees saved on site at a rate of 2x the inch for inch equivalent.

Additional Trees Preserved Onsite:

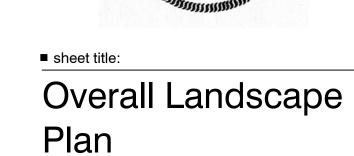
Additional Tree Preservation Area Onsite: 64,126.40 sf (1.47 Ac.) *Trees within this Preservation Area are determined by Representative Tree Plots at the following calculations

Representative Tree Plot: 100'x100' (1,000 sf) - Woodland Trees: 21 at 8" average = 168" DBH - Landmark Trees: 2 at 12" average = 24" DBH 14 (Exempt for Replacement) Invasive Trees:

- Total DBH per Plot: 192" Additional Tree Preservation - Tree Plots per Area: 64,126.40 / 1,000 = 64.13

- Additional DBH Saved: 12,312.96"

Total Replacement Credit: 18,876.96"



project title:

Meadows of Troy

City of Troy, Michigan

prepared for:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.657.4968

Job number:	■ date:
18028	07.28.2020
■ drawn by:	■ checked by:
EMJ	WTK

Plant Schedule This Sheet

Trees							
sym.	qty.	botanical name	common name	size	spacing	root	native*
AR	24	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5" cal.	per plans	B&B	yes
LT	3	Liriodendron tulipifera	Tulip Tree	2.5" cal.	per plans	B&B	yes
PG	40	Picea glauca	White Spruce	6' ht.	per plans	B&B	yes
PS	44	Pinus strobus	White Pine	6' ht.	per plans	B&B	yes
QR	23	Quercus robur 'Fastigiata'	Columnar English Oak	2.5" cal.	per plans	B&B	yes
ZS	9	Zelkova serrata	Japanese Zelkova	2.5" cal.	per plans	B&B	

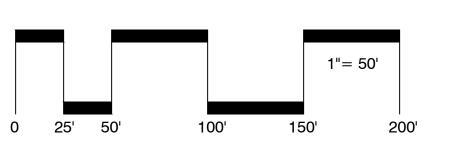
* "Native" for the purposes of the Ordinance requirement is being interpreted to include "nearly native" cultivars which possess

beneficial improvements over the species.



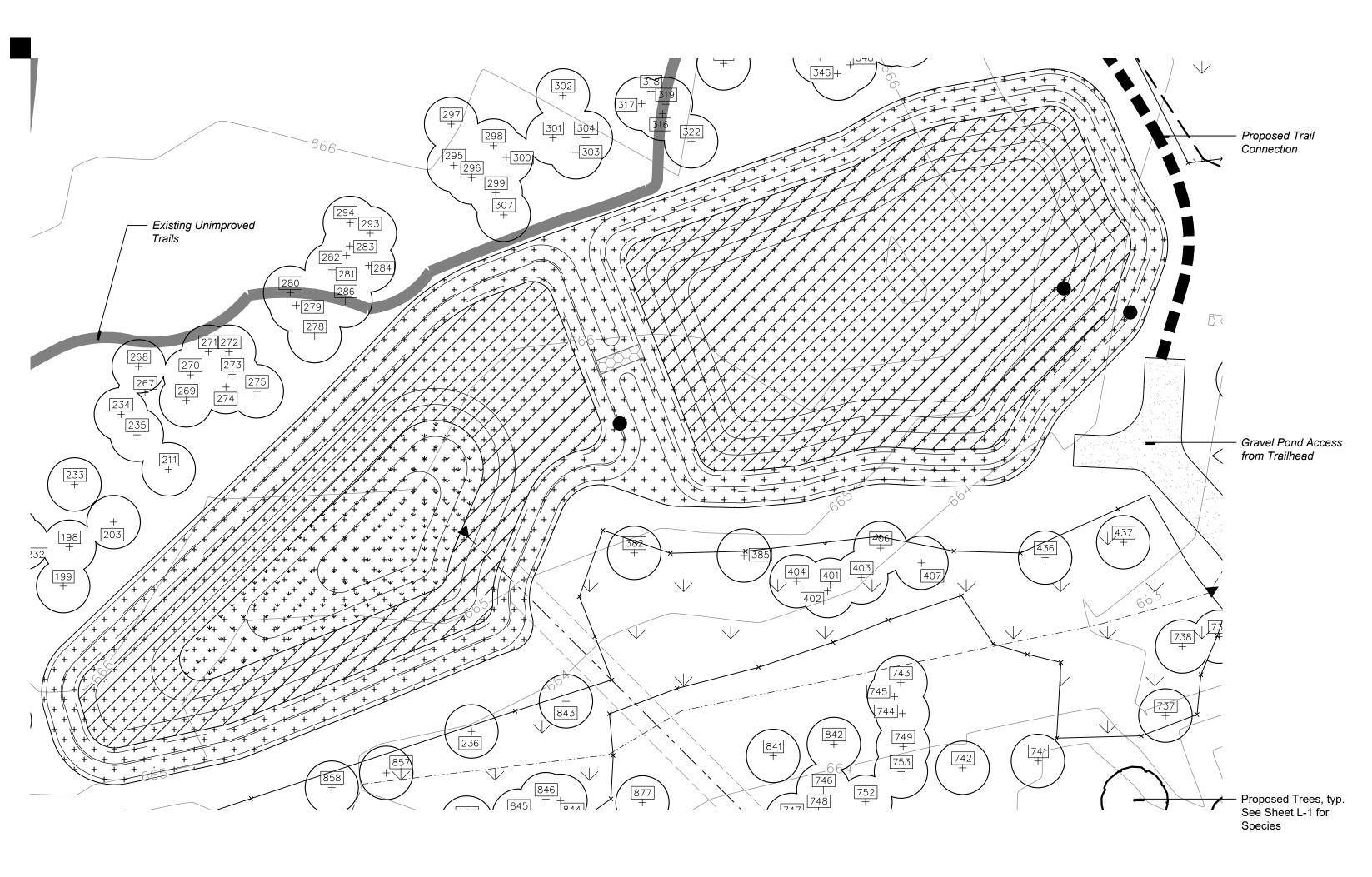


09.21.2020 Per Engineering Revisions 02.22.2021 Per Municipal Review









Stormwater Seed Mix - Edge Zone			
and accountating day.			
	Language Control	PLS	
Botanical Name	Common Name	Ounces/Acre	
Permanent Grasses/Sedges/Rushes:			
Bolboschoenus fluviatilis	River Bulrush	1.00	
Carex cristatella	Crested Oval Sedge	0.50	
Carex Iurida	Bottlebrush Sedge	3.00	
Carex vulpinoidea	Brown Fox Sedge	2.00	
Elymus virginicus	Virginia Wild Rye	24.00	
Glyceria striata	Fowl Manna Grass	1.00	
Juncus effusus	Common Rush	1.00	
Leersia oryzoides	Rice Cut Grass	1.00	
Panicum virgatum	Switch Grass	2.00	
Schoenoplectus tabernaemontani	Great Bulrush	3.00	
Scirpus atrovirens	Dark Green Rush	2.00	41
Scirpus cyperinus	Wool Grass	1.00	
	Total	41.50	
Temporary Cover:	And And		
Avena sativa	Common Oat	360.00	
Lolium multiflorum	Annual Rye	100.00	
	Total	460.00	
Forbs & Shrubs:			
Alisma subcordatum	Common Water Plantain	2.50	
Asclepias incarnata	Swamp Milkweed	2.00	
Bidens spp.	Bidens Species	2.00	
Eupatorium perfoliatum	Common Boneset	1.00	
Helenium autumnale	Sneezeweed	2.00	
Iris virginica v. shrevei	Blue Flag	4.00	
Lycopus americanus	Common Water Horehound	0.50	
Mimulus ringens	Monkey Flower	1.00	
Penthorum sedoides	Ditch Stonecrop	0.50	
Persicaria spp.	Pinkweed Species	2.00	
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	1.00	
Rudbeckia triloba	Brown-Eyed Susan	1.50	
Sagittaria latifolia	Common Arrowhead	1.00	
Senna hebecarpa	Wild Senna	2.00	
Symphyotrichum lanceolatum	Panicled Aster	0.50	
Symphyotrichum novae-angliae	New England Aster	0.50	
Thalictrum dasycarpum	Purple Meadow Rue	2.00	
	Total	26.00	

			1	
and A. Trebungal al	Mix Statistics		ora to the transfer	in the standard
Native Component	PLS lbs./Acre	PLS Seeds/Acre	PLS Seeds/Sq. Ft.	% of Native Mix
Forbs	1.63	1,334,949	30.65	32.19%
Grasses	2.5	9 2,812,650	64.57	67.81%
Total Natives	4.23	4,147,599	95.22	100.00%
Cover	28.7	5 4,343,800	99.72	
Totals	32.9	7 8,491,399	194.94	

Botanical Name	Common Name	PLS Ounces/Acre
Permanent Grasses/Sedges/Rushe	? S:	
Bolboschoenus fluviatilis	River Bulrush	1.00
Carex comosa	Bristly Sedge	2.50
Carex lacustris	Common Lake Sedge	0.50
Carex lurida	Bottlebrush Sedge	4.00
Carex stricta	Common Tussock Sedge	1.00
Carex vulpinoidea	Brown Fox Sedge	2.00
Eleocharis palustris	Great Spike Rush	1.00
Juncus effusus	Common Rush	1.00
Leersia oryzoides	Rice Cut Grass	3.00
Schoenoplectus acutus	Hard-Stemmed Bulrush	2.50
Schoenoplectus pungens	Chairmaker's Rush	1.50
Schoenoplectus tabemaemontani	Great Bulrush	6.00
	Total	26.00
Temporary Cover:		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
	Total	460.00
Forbs:		
Acorus americanus	Sweet Flag	1.00
Alisma subcordatum	Common Water Plantain	2.00
Asclepias incarnata	Swamp Milkweed	1.00
Boehmeria cylindrica	False Nettle	1.00
Cephalanthus occidentalis	Buttonbush	6.00
Decodon verticillatus	Swamp Loosestrife	0.50
Eutrochium maculatum	Spotted Joe-Pye Weed	0.50
Hibiscus spp.	Rose Mallow Species	4.00
Iris virginica v. shrevei	Blue Flag	6.00
Lobelia cardinalis	Cardinal Flower	0.25
Lobelia siphilitica	Great Blue Lobelia	0.25
Lycopus americanus	Common Water Horehound	1.00
Mimulus ringens	Monkey Flower	1.00
Peltandra virginica	Arrow Arum	16.00
Penthorum sedoides	Ditch Stonecrop	0.50
Persicaria spp.	Pinkweed Species	2.00
Pontederia cordata	Pickerel Weed	4.00
Sagittaria latifolia	Common Arrowhead	2.00
Sparganium eurycarpum	Common Bur Reed	6.00
Verbena hastata	Blue Vervain	1.00
	Total	56.00

Mix Statistics						
Native Component	PLS lbs./Acre		PLS Seeds/Acre	PLS Seeds/Sq. Ft.	% of Native Mix	
Forbs		3,50	1,354,097	31.09	34.63%	
Grasses		1.63	2,556,083	58.68	65.37%	
Total Natives		5.13	3,910,179	89.77	100.00%	
Cover		28.75	4,343,800	99.72		
Totals		33.88	8,253,979	189,49		

Detention Pond Seeding Summary

Pond Zone - Elev. 659-661

4,753 s.f.

Application Rate: 39.8 lbs. / Ac. 4.34 lbs. of Emergent Wetland Seed Mix 3"-6" of Topsoil or Wetland Mulch Shall be Placed in this Area. Use Seed Mat.

Edge Zone - Elev. 661/664-663/664

27,858 s.f.

Application Rate: 32.6 lbs. / Ac. 20.85 lbs. of Stormwater Seed Mix 3"-6" of Topsoil or Wetland Mulch Shall be Placed in this Area. Use Seed Mat.

Upland Zone - Elev. 663/664-665

16,876 s.f. Application Rate: 37.7 lbs. / Ac. 14.61 lbs. of Low Profile Prairie Mix 3"-6" of Topsoil Shall be Placed in this Area.

Common Name

Side-Oats Grama

Canada Wild Rye

Little Bluestem

Common Oat

Annual Rye

Lead Plant

Common Milkweed

White Wild Indigo

Butterfly Weed

Partridge Pea

Sand Coreopsis Prairie Coreopsis

White Prairie Clover

Purple Prairie Clover

Rattlesnake Master

Rough Blazing Star

Foxglove Beard Tongue

Hairy Beard Tongue

Yellow Coneflower

Black-Eyed Susan

Showy Goldenrod

Smooth Blue Aster New England Aster

Common Spiderwort

Smooth Tall Ironweed

Hoary Vervain

Prairie Dock

Heath Aster

Sweet Black-Eyed Susan

Wild Lupine

Wild Bergamot

Stiff Goldenrod Wild Quinine

Illinois Sensitive Plant

Broad-Leaved Purple Coneflower

Round-Headed Bush Clover

June Grass Switch Grass

Prairie Sedge Species

Seed Mixes available from Cardno JFNew - www.cardnonativeplantnursery.com - 574.586.2412 All Seed shall be protected with mulch blanket

Low-profile Prairie Seed Mix - Upland Zone

Botanical Name

Carex spp.

Permanent Grasses: Bouteloua curtipendula

Elymus canadensis

Koeleria macrantha

Panicum virgatum

Temporary Cover:

Lolium multiflorum

Amorpha canescens

Asclepias syriaca

Baptisia alba

Asclepias tuberosa

Chamaecrista fasciculata

Coreopsis lanceolata

Desmanthus illinoensis

Echinacea purpurea

Eryngium yuccifolium

Lupinus perennis v. occidentalis

Lespedeza capitata

Monarda fistulosa

Oligoneuron rigidum

Penstemon hirsutus

Solidago speciosa

Ratibida pinnata

Rudbeckia hirta

Parthenium integrifolium Penstemon digitalis

Rudbeckia subtomentosa

Silphium terebinthinaceum

Symphyotrichum ericoides

Symphyotrichum novae-angliae

Symphyotrichum laeve

Tradescantia ohiensis

Veronicastrum virginicum

Verbena stricta

Vernonia gigantea

Native Component

Grasses

Totals

Total Natives

Liatris aspera

Coreopsis palmata Dalea candida

Dalea purpurea

Avena sativa

Schizachyrium scoparium

Native Seeding Maintenance

During the first growing season, native areas should be mowed two to four times to a height of about 4"-6" when the growth reaches 10"-12". Selective herbicide applications or hand pulling may be needed to control unwanted weed populations. If a mower cannot be set high enough, a string trimmer can be used.

During the second growing season, native areas should be mowed a few times to a height of about 8" when the growth reaches 10"-18". Selective herbicide applications or hand pulling may be needed to control unwanted weed populations.

By the second growing season it should be apparent if some areas need reseeding. Reseed or overseed as needed.

Long term management may include prescribed burning, mowing, hand pulling, and selective herbicide applications. If burning is not allowed or feasible, the planting may be mowed to a short height and the clippings

removed in the early spring before ground-nesting birds begin nesting.

PLS

360.00

100.00

460.00

2.00

10.00

2,623,230

4,343,800

6,967,030

28.75

38.50

Ounces/Acre



design studio

landscape architecture / land planning

750 Forest Ave. - Suite 101

Birmingham, MI 48009

T:: 248.594.3220

LEGEND

sheet title:

Detention Pond Seeding Plan

project title:

Meadows of Troy

City of Troy, Michigan

prepared for:

■ job number:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.657.4968

18028	07.28.2020		
■ drawn by:	■ checked by:		
EMJ	WTK		

■ date:

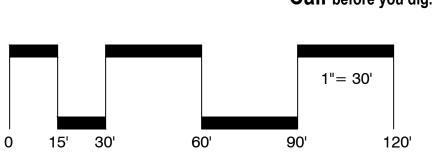
Culver's Root 66.00 Know what's below. Mix Statistics PLS lbs./Acre PLS Seeds/Acre PLS Seeds/Sq. Ft. % of Native Mix 1,731,814 39.76 66.02% 5.63 33.98% 891,416 20.46

100.00%

60.22

99.72

159.94





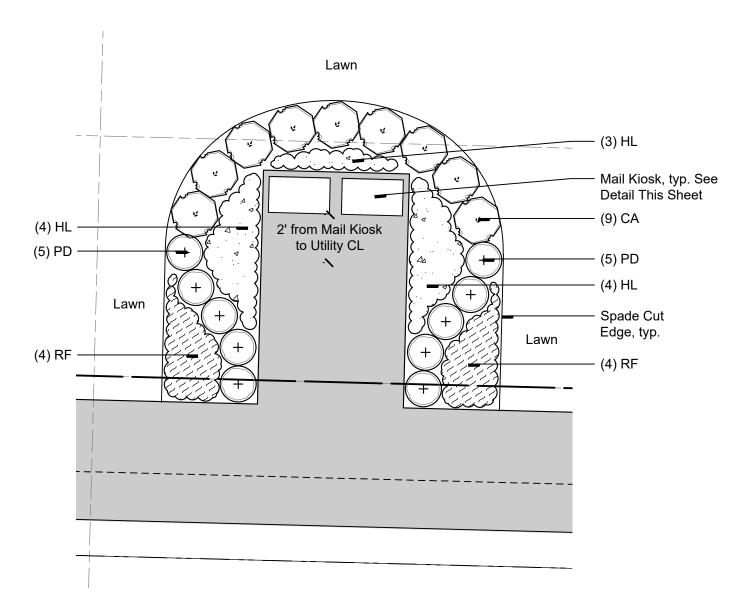


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09.21.2020 Per Engineering Revisions 02.22.2021 Per Municipal Review

■ revisions:



Mail Kiosk Landscape Enlargement Plan

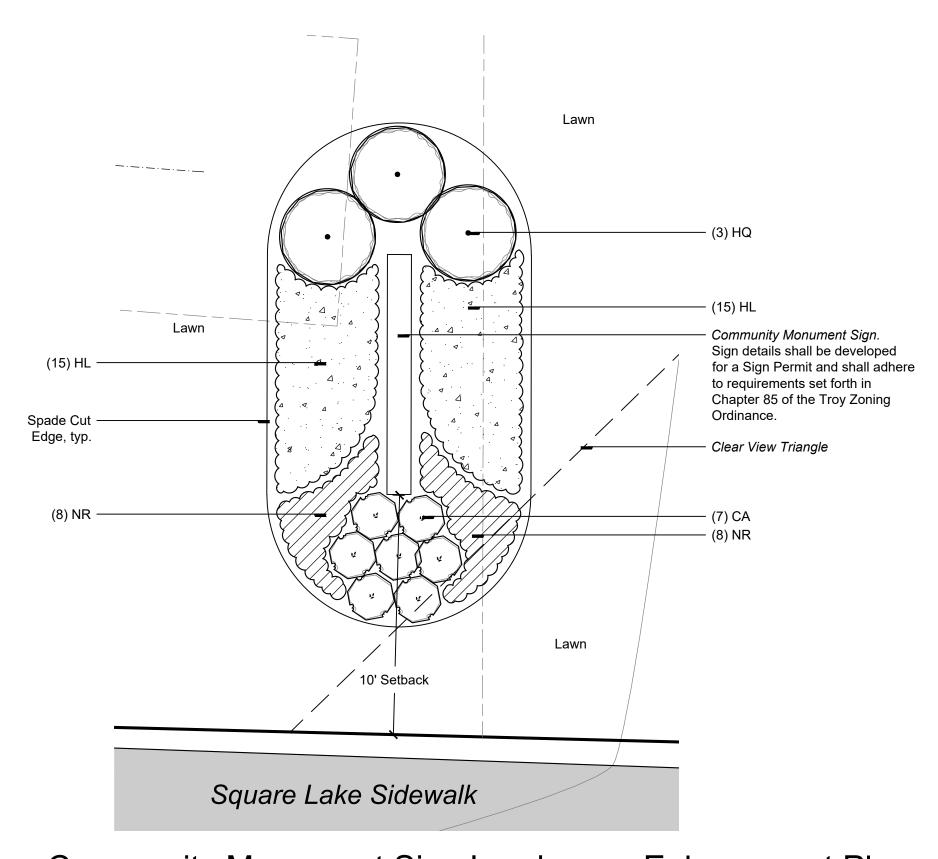
Scale: ¹/₄" = 1'



Decorative Mailbox - 16 Gang CBU

Quantity:

Manufacturer: Salsbury Industries 1010 E. 62nd St. Los Angeles, CA 90001 www.mailboxes.com Regency Decorative CBU #3316R Black



Community Monument Sign Landscape Enlargement Plan

*Note: This landscape is conceptual and subject to change as the monument sign details are developed.

Scale: $\frac{1}{4}$ " = 1'

size spacing root native*

Plant Schedule This Sheet

interpreted to include "nearly native" cultivars which possess

beneficial improvements over the species.

botanical name

sym.

HQ	3	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	#3	48" o.c.	cont.	ye
rnamen	tal Gras	sses, Perennials & Bulbs					_
sym.	qty.	botanical name	common name	size	spacing	root	
CA	16	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2	24" o.c.	cont.	
HL	41	Hemerocallis 'Little Business'	Little Business Daylily	#1	18" o.c.	cont.	
NR	16	Nepeta racemosa 'Blue Wonder'	Blue Wonder Catmint	#1	15" o.c.	cont.	
PD	10	Penstemon 'Dark Tower'	Dark Tower Beardtongue	#1	18" o.c.	cont.	
RF	8	Rudbeckia fulqida 'Goldsturm'	Goldsturm Black-Eyed Susan	#1	18" o.c.	cont.	

common name



750 Forest Ave. - Suite 101 Birmingham, MI 48009 T:: 248.594.3220

LEGEND



Landscape Enlargement Plans

project title:

Meadows of Troy

City of Troy, Michigan

prepared for:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.657.4968

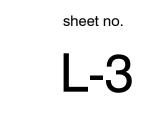
■ job number: ■ date: 18028 07.28.2020 ■ drawn by: ■ checked by: EMJ WTK

revisions:

09.21.2020 Per Engineering Revisions 02.22.2021 Per Municipal Review









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LEGEND

= Existing Trees, To Remain



= Existing Trees, To Remove



= Tree Protection Fencing



Tree Preservation Notes:

- Tree Survey was prepared by PEA Group
 See Sheets L-5 through L-8 for Tree Survey List with save/remove designations
 See Sheet L-8 for Tree Fence Details & Notes

Tree Preservation Plan

■ project title:

Meadows of Troy

City of Troy, Michigan

prepared for:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:	■ date:
18028	07.28.2020

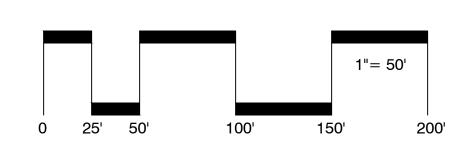
■ drawn by: ■ checked by: WTK



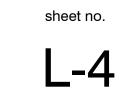
■ revisions:

09.21.2020 Per Engineering Revisions

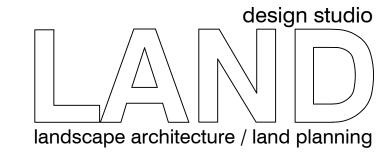
02.22.2021 Per Municipal Review







TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	SAVE / LANDMARK REMOVE COMM	FNTS	TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	SAVE / LANDMARK REMOVE COMMENTS	TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	SAVE / LANDMARK REMOVE COMMENTS
1	CT	23	Cottonwood	Populus deltoides	Good	Remove	LIVIO	100	CT	14	Cottonwood	Populus deltoides	Good	Remove	199	GA	8		Fraxinus pennsylvanica	Fair	Save
2	SM	8	Silver Maple	Acer saccharinum	Fair	Remove		101	CT	13	Cottonwood	Populus deltoides	Fair	Remove	200	SWO	11	Swamp White Oak	Quercus bicolor	Fair	Remove
3	CT	7	Cottonwood	Populus deltoides	Fair	Remove		102	CT	9	Cottonwood	Populus deltoides	Very Poor	Remove	201	BE	6	American Beech	Fragus grandifolia	Fair	Remove
4 5	CT	19 18	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Good Fair	Remove Remove		103 104	BE CT	9 19	American Beech Cottonwood	Fragus grandifolia Populus deltoides	Good Good	Remove Remove	202 203	RM GA	6 6	Red Maple Green Ash	Acer rubrum Fraxinus pennsylvanica	Good Fair	Remove Save x2
6	CT	16	Cottonwood	Populus deltoides	Fair	Remove		105	CT	15	Cottonwood	Populus deltoides	Good	Remove	204	SWO	9	Swamp White Oak	Quercus bicolor	Good	Remove
7	СТ	18	Cottonwood	Populus deltoides	Fair	Remove x	1	106	СТ	14	Cottonwood	Populus deltoides	Good	Remove	205	RM	6	Red Maple	Acer rubrum	Fair	Remove
8	GA	10	Green Ash	Fraxinus pennsylvanica	Fair	Remove x	1	107	СТ	13	Cottonwood	Populus deltoides	Good	Remove	206	RM	7	Red Maple	Acer rubrum	Good	Remove
9	CT	24	Cottonwood	Populus deltoides	Fair	Remove		108	CT	8	Cottonwood	Populus deltoides	Good	Remove	207	RM	6	Red Maple	Acer rubrum	Fair	Remove x2
10	GA CT	/ 7	Green Ash Cottonwood	Fraxinus pennsylvanica Populus deltoides	Fair Fair	Remove Remove		109 110	CT SWO	8 13	Cottonwood Swamp White Oak	Populus deltoides Quercus bicolor	Good Poor	Remove Remove	208 209	RM SWO	/ 7	Red Maple Swamp White Oak	Acer rubrum Quercus bicolor	Fair Fair	Remove Remove
12	CT	, 14	Cottonwood	Populus deltoides	Fair	Remove		111	CT	9	Cottonwood	Populus deltoides	Good	Remove	210	RM	8	Red Maple	Acer rubrum	Good	Remove
13	E	10	American Elm	Ulmus americana	Fair	Remove		112	CT	22	Cottonwood	Populus deltoides	Good	Remove	211	SWO	9	Swamp White Oak	Quercus bicolor	Good	Save
14	СТ	13	Cottonwood	Populus deltoides	Fair	Remove		113	СТ	11	Cottonwood	Populus deltoides	Good	Remove x1	212	RM	8	Red Maple	Acer rubrum	Fair	Remove
15 40	CT	21	Cottonwood	Populus deltoides	Good	Remove		114	BE	12	American Beech	Fragus grandifolia	Good	Remove	213	SWO	12	Swamp White Oak	Quercus bicolor	Fair	Remove
16 17	CT	19 18	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair	Remove Remove		115 116	BE BE	10 6	American Beech American Beech	Fragus grandifolia Fragus grandifolia	Good Good	Remove Remove	214 215	SWO RM	9 7	Swamp White Oak Red Maple	Quercus bicolor Acer rubrum	Fair Fair	Remove Remove
18	CT	21	Cottonwood	Populus deltoides	Fair	Remove		117	BX	35	Box elder	Acer negundo	Poor	Remove	216	SWO	8	Swamp White Oak	Quercus bicolor	Fair	Remove
19	СТ	19	Cottonwood	Populus deltoides	Fair	Remove		118	вх	9	Box elder	Acer negundo	Poor	Remove	217	RM	7	Red Maple	Acer rubrum	Good	Remove
20	СТ	14	Cottonwood	Populus deltoides	Fair	Remove		119	PW	8	White Poplar	Populus alba	Good	Remove	218	SWO	9	Swamp White Oak	Quercus bicolor	Fair	Remove
21	CT	7	Cottonwood	Populus deltoides	Fair	Remove		120	E	10	American Elm	Ulmus americana	Good	Remove	219	CT	20	Cottonwood	Populus deltoides	Good	Remove
22	CT	8 24	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair	Remove Remove		121 122	BX BX	8 13	Box elder Box elder	Acer negundo Acer negundo	Poor Fair	Remove Remove	220 221	CT CT	19 8	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair	Remove Remove
24	CT	16	Cottonwood	Populus deltoides	Fair	Remove		123	BX	15	Box elder	Acer negundo	Poor	Remove	222	SM	11	Silver Maple	Acer saccharinum	Fair	Save
25	СТ	19	Cottonwood	Populus deltoides	Fair	Remove		124	BE	11	American Beech	Fragus grandifolia	Fair	Remove x2	223	SM	9	Silver Maple	Acer saccharinum	Fair	Save
26	SM	9	Silver Maple	Acer saccharinum	Poor	Remove		125	Е	8	American Elm	Ulmus americana	Poor	Remove	224	RM	10	Red Maple	Acer rubrum	Good	Save 1
27	CT	14	Cottonwood	Populus deltoides	Fair	Remove		126	BE	6	American Beech	Fragus grandifolia	Good	Remove	225	SM	16	Silver Maple	Acer saccharinum	Good	Save
28 29	CT	7 21	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Good	Remove Remove		127 128	BC BE	9 6	Wild Black Cherry American Beech	Prunus serotina Fragus grandifolia	Fair Fair	Remove Remove	226 227	PW RM	13 8	White Poplar Red Maple	Populus alba Acer rubrum	Fair Poor	Save Save
30	CT	14	Cottonwood	Populus deltoides	Good	Remove		129	BE	13	American Beech	Fragus grandifolia	Fair	Remove	228	WA	8	White Ash	Fraxinus americana	Fair	Save 3
31	СТ	26	Cottonwood	Populus deltoides	Fair	Remove		130	SM	13	Silver Maple	Acer saccharinum	Good	Remove	229	SM	10	Silver Maple	Acer saccharinum	Good	Save
32	СТ	16	Cottonwood	Populus deltoides	Fair	Remove		131	SWO	14	Swamp White Oak	Quercus bicolor	Good	Remove	230	RM	6	Red Maple	Acer rubrum	Fair	Save
33	CT	20	Cottonwood	Populus deltoides	Good	Remove		132	BE	7	American Beech	Fragus grandifolia	Fair	Remove x1	231	SM	6	Silver Maple	Acer saccharinum	Good	Save
34 35	CT	21 14	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Good Good	Remove Remove		133 134	RM RM	10 12	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Good	Remove Remove	232 233	RP SM	18 10	Red Pine Silver Maple	Pinus resinosa Acer saccharinum	Poor Good	Save Save
36	CT	21	Cottonwood	Populus deltoides	Good	Remove		135	RM	7	Red Maple	Acer rubrum	Good	Remove	234	BC	9	Wild Black Cherry	Prunus serotina	Fair	Save
37	RM	7	Red Maple	Acer rubrum	Fair	Remove		136	BE	8	American Beech	Fragus grandifolia	Good	Remove	235	SM	10	Silver Maple	Acer saccharinum	Good	Save
38	RM	8	Red Maple	Acer rubrum	Good	Remove		137	RM	19	Red Maple	Acer rubrum	Good	Yes Remove	236	SM	12	Silver Maple	Acer saccharinum	Fair	Save
39	CT	23	Cottonwood	Populus deltoides	Good	Remove		138	BE	10	American Beech	Fragus grandifolia	Fair	Remove x1	237	SM	26	Silver Maple	Acer saccharinum	Good	Remove
40 41	BX	16 12	Cottonwood Box elder	Populus deltoides Acer negundo	Fair Fair	Remove Remove		139 140	BE SM	7 16	American Beech Silver Maple	Fragus grandifolia Acer saccharinum	Good Good	Remove x1 Remove	238 239	SM SM	20 12	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Good Fair	Remove Remove
42	BX	9	Box elder	Acer negundo	Fair	Remove		141	BE	6	American Beech	Fragus grandifolia	Good	Remove	240	RM	12	Red Maple	Acer rubrum	Good	Remove
43	ВХ	9	Box elder	Acer negundo	Fair	Remove		142	RM	10	Red Maple	Acer rubrum	Good	Remove	241	SM	7	Silver Maple	Acer saccharinum	Poor	Remove
44	СТ	9	Cottonwood	Populus deltoides	Good	Remove		143	SM	12	Silver Maple	Acer saccharinum	Good	Remove	242	RM	12	Red Maple	Acer rubrum	Fair	Remove
45 46	CT	6	Cottonwood	Populus deltoides	Fair	Remove		144	RM	7	Red Maple	Acer rubrum	Fair	Remove	243	SM	8	Silver Maple	Acer saccharinum	Fair - ·	Remove
46 47	BX BX	12 7	Box elder Box elder	Acer negundo Acer negundo	Fair Poor	Remove Remove		145 146	RM RM	13 6	Red Maple Red Maple	Acer rubrum Acer rubrum	Good Good	Remove x1 Remove	244 245	SM RM	12 6	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Good	Remove Remove
48	CT	, 32	Cottonwood	Populus deltoides	Fair	Remove		147	RM	7	Red Maple	Acer rubrum	Good	Remove	245	SM	10	Silver Maple	Acer saccharinum	Fair	Remove
49	СТ	12	Cottonwood	Populus deltoides	Fair	Remove		148	RM	8	Red Maple	Acer rubrum	Fair	Remove	247	SM	13	Silver Maple	Acer saccharinum	Fair	Remove 2
50	ВХ	6	Box elder	Acer negundo	Poor	Remove		149	RM	8	Red Maple	Acer rubrum	Fair	Remove	248	SM	9	Silver Maple	Acer saccharinum	Fair	Remove
51 52	CT	25	Cottonwood	Populus deltoides	Good	Remove		150	SM	9	Silver Maple	Acer saccharinum	Fair	Remove	249	SM	11	Silver Maple	Acer saccharinum	Fair	Remove
52 53	CT CT	6 17	Box elder Cottonwood	Acer negundo Populus deltoides	Fair Good	Remove Remove		151 152	RM SM	, 19	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Fair Fair	Remove Remove	250 251	SM SM	6 7	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Poor Fair	Remove Remove
54	СТ	12	Cottonwood	Populus deltoides	Fair	Remove		153	RM	10	Red Maple	Acer rubrum	Fair	Remove x3	252	SM	, 10	Silver Maple	Acer saccharinum	Fair	Remove
55	СТ	18	Cottonwood	Populus deltoides	Good	Remove		154	RM	12	Red Maple	Acer rubrum	Fair	Remove	253	RM	6	Red Maple	Acer rubrum	Poor	Remove 2
56 	CT	18	Cottonwood	Populus deltoides	Good	Remove		155	RC	6	Red Cedar	Juniperus virginiana	Fair - ·	Remove	254	RM	11	Red Maple	Acer rubrum	Fair	Remove
57 58	CT	28 15	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Good Fair	Remove Remove		156 157	RM RM	9 12	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Good	Remove Remove	255 256	SM RM	13 14	Silver Maple Red Maple	Acer saccharinum	Fair Good	Remove Remove
59	SM	7	Silver Maple	Acer saccharinum	Good	Remove		158	RM	12	Red Maple	Acer rubrum	Fair	Remove	256 257	SM	13	Silver Maple	Acer rubrum Acer saccharinum	Good Good	Remove
60	СТ	18	Cottonwood	Populus deltoides	Good	Save		159	RM	6	Red Maple	Acer rubrum	Good	Remove	258	SM	8	Silver Maple	Acer saccharinum	Poor	Remove
61	AP	6	Domestic Apple	Malus sylvestris	Fair	Save		160	СТ	18	Cottonwood	Populus deltoides	Good	Remove	259	RM	6	Red Maple	Acer rubrum	Good	Remove 2
62 62	BX	28	Box elder	Acer negundo	Poor	Remove		161	RM	9	Red Maple	Acer rubrum	Fair	Remove	260	WA	8	White Ash	Fraxinus americana	Poor	Remove
63 64	SM SM	17 18	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Good Good	Save x´ Save	l	162 163	CT CT	24 21	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Good Good	Remove x2 Remove	261 262	RM SM	6 10	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Fair Fair	Remove Remove
65	CT	42	Cottonwood	Populus deltoides	Good	Save		164	CT	26	Cottonwood	Populus deltoides	Good	Remove	263	BW	8	Black Walnut	Juglans nigra	Fair	Remove
66	вх	7	Box elder	Acer negundo	Fair	Save		165	RM	13	Red Maple	Acer rubrum	Good	Remove	264	RM	6	Red Maple	Acer rubrum	Fair	Remove
67	RM	13	Red Maple	Acer rubrum	Good	Save x	1	166	CT	13	Cottonwood	Populus deltoides	Good	Remove x4	265	RM	8	Red Maple	Acer rubrum	Fair	Remove 1
68	RM	9	Red Maple	Acer rubrum	Good	Save		167	CT	22	Cottonwood	Populus deltoides	Good	Remove	266	ВС	7	Wild Black Cherry	Prunus serotina	Fair - ·	Remove 2
69 70	SM SM	9	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Fair Good	Save Save		168 169	SM F	18 12	Silver Maple American Elm	Acer saccharinum Ulmus americana	Good Fair	Remove x1 Remove	267 268	SM SS	ნ 12	Silver Maple Sassafras	Acer saccharinum Sassafras albidum	Fair Good	Save Yes Save
71	SM	12	Silver Maple	Acer saccharinum	Good	Save		170	E	8	American Elm	Ulmus americana	Poor	Remove	269	SM	8	Silver Maple	Acer saccharinum	Fair	Save
72	SM	17	Silver Maple	Acer saccharinum	Good	Save		171	E	8	American Elm	Ulmus americana	Fair	Remove	270	RM	6	Red Maple	Acer rubrum	Fair	Save
73	SM	23	Silver Maple	Acer saccharinum	Good	Save x2	2	172	E	8	American Elm	Ulmus americana	Fair	Remove	271	RM	8	Red Maple	Acer rubrum	Fair	Save
74 75	SM	14	Silver Maple	Acer saccharinum	Good	Save		173	E	10	American Elm	Ulmus americana	Good	Remove	272	RM	7	Red Maple	Acer rubrum	Fair	Save
75 76	SM SM	13 14	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Good Fair	Save Save		174 175	CT CT	30 10	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Good	Remove Save	273 274	RM RM	8	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair	Save Save 1
77	SM	7	Silver Maple	Acer saccharinum	Good	Save		176	СТ	28	Cottonwood	Populus deltoides	Good	Save	275	SM	7	Silver Maple	Acer saccharinum	Poor	Save
78	RM	17	Red Maple	Acer rubrum	Good	Yes Save		177	CT	15	Cottonwood	Populus deltoides	Good	Save	276	SM	8	Silver Maple	Acer saccharinum	Fair	Remove
79	RM	8	Red Maple	Acer rubrum	Good	Save x4	1	178	CT	14	Cottonwood	Populus deltoides	Fair	Save	277	ВС	9	Wild Black Cherry	Prunus serotina	Fair	Remove
80 81	RM AB	15 7	Red Maple	Acer rubrum Malus sylvestris	Good Fair	Save		179 180	CT AP	9	Cottonwood	Populus deltoides	Fair	Save	278	RM	7	Red Maple	Acer rubrum	Good	Save
82	WS	, 10	Domestic Apple White Spruce	Picea glauca	Good	Save Save		181	CT	, 18	Domestic Apple Cottonwood	Malus sylvestris Populus deltoides	Fair Good	Save Save	279 280	SM SM	10 6	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Good Fair	Save Save
83	СТ	10	Cottonwood	Populus deltoides	Good	Save		182	E	14	American Elm	Ulmus americana	Fair	Save	281	RM	8	Red Maple	Acer rubrum	Good	Save
84	СТ	13	Cottonwood	Populus deltoides	Good	Save		183	CT	43	Cottonwood	Populus deltoides	Good	Save	282	SM	7	Silver Maple	Acer saccharinum	Fair	Save
85 2.5	CT	10	Cottonwood	Populus deltoides	Good	Save		184	E	9	American Elm	Ulmus americana	Fair	Save	283	RM	11	Red Maple	Acer rubrum	Good	Save
86 87	CT	31 13	Cottonwood	Populus deltoides	Good	Save		185 186	E PM	15 7	American Elm	Ulmus americana	Fair Fair	Remove	284	SM	7	Silver Maple	Acer saccharinum	Good	Save
o <i>t</i> 88	CT	13 15	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Good Good	Save Save		186 187	RM RM	, 9	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair	Remove Remove	285 286	RM RM	ь Б	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Good	Remove Save
89	SM	13	Silver Maple	Acer saccharinum	Good	Save		188	GA	6	•	Fraxinus pennsylvanica		Remove	287	SM	10	Silver Maple	Acer saccharinum	Fair	Remove
90	СТ	19	Cottonwood	Populus deltoides	Good	Save		189	RM	13	Red Maple	Acer rubrum	Fair	Save	288	PW	12	White Poplar	Populus alba	Fair	Remove
91 	CT	9	Cottonwood	Populus deltoides	Good	Remove		190	CT	9	Cottonwood	Populus deltoides	Good	Save	289	RM	10	Red Maple	Acer rubrum	Good	Remove
92 92	CT CT	25 12	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Good	Remove Remove		191 192	CT CT	8 26	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Good	Save	290 291	RM BM	10	Red Maple	Acer rubrum	Good	Remove
93 94	CT	12 27	Cottonwood	Populus deltoides Populus deltoides	Good Fair	Remove Remove		192	CT	20 9	Cottonwood	Populus deltoides Populus deltoides	Good Fair	Save Save	291 292	RM SM	9	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Good Good	Remove 3
95	СТ	8	Cottonwood	Populus deltoides	Good	Remove		194	RM	7	Red Maple	Acer rubrum	Fair	Save	293	RM	8	Red Maple	Acer rubrum	Good	Save 1
96	СТ	9	Cottonwood	Populus deltoides	Good	Remove		195	swo	14	Swamp White Oak	Quercus bicolor	Good	Save	294	SM	6	Silver Maple	Acer saccharinum	Poor	Save
97	СТ	32	Cottonwood	Populus deltoides	Fair	Remove		196	SWO	7	Swamp White Oak	Quercus bicolor	Good	Save	295	SM	9	Silver Maple	Acer saccharinum	Good	Save 1
98	CT SM	17 7	Cottonwood	Populus deltoides Acer saccharinum	Good Good	Remove		197 198	RM BC	6	Red Maple Wild Black Cherry	Acer rubrum	Fair Fair	Save	296 307	SM	20	Silver Maple	Acer saccharinum	Fair	Save 1
99	OIVI	1	Silver Maple	, www. saccitatiffulff	J000	Remove		190	20	14	TAILE DISCUSSION	Prunus serotina	ıaıı	Save	297	SM	IU	Silver Maple	Acer saccharinum	Fair	Save



750 Forest Ave. - Suite 101 Birmingham, MI 48009 T:: 248.594.3220



■ sheet tit

Tree Survey (1 of 4)

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

18028	07.28.2020
■ drawn by:	■ checked by:
EMJ	WTK

■ date:



■ revisions:

09.21.2020 Per Engineering Revisions

02.22.2021 Per Municipal Review

sheet no.

L-5

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS	TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
298	RM	10	Red Maple	Acer rubrum	Good		Save		397	RM	8	Red Maple	Acer rubrum	Fair		Remove	
299 300	RM RM	11 8	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Good		Save Save	1	398 399	SM RM	12 7	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Fair		Remove Remove	
301	TP	14	Tulip-Poplar	Liriodendron tulipifera	Fair		Save	·	400	SM	9	Silver Maple	Acer saccharinum	Good		Remove	
302	SM	9	Silver Maple	Acer saccharinum	Poor		Save		401	SM	12	Silver Maple	Acer saccharinum	Fair		Save	
303 304	PW SM	16 12	White Poplar Silver Maple	Populus alba Acer saccharinum	Good Fair		Save Save		402 403	RM RO	32 10	Red Maple Red Oak	Acer rubrum Quercus rubra	Good Fair	Yes	Save Save	1
304	SM	11	Silver Maple	Acer saccharinum	Fair		Remove	1	404	RM	12	Red Maple	Acer rubrum	Good		Save Save	
306	SM	13	Silver Maple	Acer saccharinum	Good		Remove		405	RM	6	Red Maple	Acer rubrum	Fair		Remove	
307	SS	14	Sassafras	Sassafras albidum	Fair - :	Yes	Save		406	SS	9	Sassafras	Sassafras albidum	Fair -		Save	
308 309	RM RM	6 8	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair		Remove Remove	1	407 408	SS SS	9 7	Sassafras Sassafras	Sassafras albidum Sassafras albidum	Poor Poor		Save Remove	
310	SM	10	Silver Maple	Acer saccharinum	Good		Remove		409	SS	6	Sassafras	Sassafras albidum	Poor		Remove	
311	SM	6	Silver Maple	Acer saccharinum	Good		Remove		410	SS	10	Sassafras	Sassafras albidum	Poor		Remove	
312	SM	14	Silver Maple	Acer saccharinum	Fair		Remove		411	SS	10	Sassafras	Sassafras albidum	Poor		Remove	
313 314	SM SM	12 12	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Good Good		Remove Remove	2	412 413	SS SS	10 13	Sassafras Sassafras	Sassafras albidum Sassafras albidum	Fair Fair	Yes	Remove Remove	
315	SM	13	Silver Maple	Acer saccharinum	Fair		Remove	1	414	SS	28	Sassafras	Sassafras albidum	Poor	103	Remove	
316	BL	11	Black Locust	Robinia pseudoacacia	Fair		Save		415	вс	9	Wild Black Cherry	Prunus serotina	Poor		Remove	
317	SM	9	Silver Maple	Acer saccharinum	Fair - ·		Save		416	SS	10	Sassafras	Sassafras albidum	Fair		Remove	
318 319	RM RM	10 11	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair		Save Save		417 418	SM RM	9 6	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Good Fair		Remove Remove	
320	RM	13	Red Maple	Acer rubrum	Fair		Offsite		419	RM	11	Red Maple	Acer rubrum	Good		Remove	
321	RM	6	Red Maple	Acer rubrum	Fair		Save		420	ВС	32	Wild Black Cherry	Prunus serotina	Poor		Remove	
322	SM	12	Silver Maple	Acer saccharinum	Fair		Save		421	RM	9	Red Maple	Acer rubrum	Good		Remove	
323	RM	14 7	Red Maple	Acer rubrum	Fair		Remove	1	422	PW	11 10	White Poplar	Populus alba	Fair		Remove	
324 325	SM SM	7 9	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Poor Poor		Remove Remove	2	423 424	BC TP	10 15	Wild Black Cherry Tulip-Poplar	Prunus serotina Liriodendron tulipifera	Poor Good		Remove Remove	
325 326	SIVI RM	9 6	Red Maple	Acer saccnannum Acer rubrum	Poor		Remove		424 425	PO	9	Pin Oak	Quercus palustris	Good Poor		Remove	
327	SM	11	Silver Maple	Acer saccharinum	Fair		Remove		426	PO	10	Pin Oak	Quercus palustris	Fair		Remove	
328	RM	6	Red Maple	Acer rubrum	Fair		Remove		427	SM	8	Silver Maple	Acer saccharinum	Poor		Remove	
329	RM	7	Red Maple	Acer rubrum	Poor		Remove	1	428	SM	10	Silver Maple	Acer saccharinum	Poor		Remove	
330 331	SM SS	13 6	Silver Maple Sassafras	Acer saccharinum Sassafras albidum	Fair Fair		Offsite Offsite		429 430	SM SS	10 11	Silver Maple Sassafras	Acer saccharinum Sassafras albidum	Fair Fair		Remove Remove	
332	SS	9	Sassafras	Sassafras albidum	Good		Offsite		431	SS	12	Sassafras	Sassafras albidum	Fair	Yes	Remove	
333	SS	8	Sassafras	Sassafras albidum	Fair		Offsite		432	СТ	13	Cottonwood	Populus deltoides	Good		Remove	
334	SS	11	Sassafras	Sassafras albidum	Very Poor		Offsite		433	RM	9	Red Maple	Acer rubrum	Poor		Remove	
335	SS	13	Sassafras	Sassafras albidum	Good	Yes	Offsite		434	CT	28	Cottonwood	Populus deltoides	Fair		Remove	
336 337	SS SS	14 10	Sassafras Sassafras	Sassafras albidum Sassafras albidum	Good Poor	Yes	Offsite Offsite		435 436	RM BC	10 15	Red Maple Wild Black Cherry	Acer rubrum Prunus serotina	Fair Poor		Remove Save	
338	SS	17	Sassafras	Sassafras albidum	Fair	Yes	Offsite		437	SS	20	Sassafras	Sassafras albidum	Poor		Save	
339	вс	8	Wild Black Cherry	Prunus serotina	Very Poor		Offsite		438	E	11	American Elm	Ulmus americana	Poor		Remove	
340	BC	22	Wild Black Cherry	Prunus serotina	Poor		Offsite		439	RO	10	Red Oak	Quercus rubra	Fair		Remove	
341 342	BC SS	14 7	Wild Black Cherry Sassafras	Prunus serotina Sassafras albidum	Fair Fair		Offsite Offsite	2	440 441	RM RM	7	Red Maple Red Maple	Acer rubrum Acer rubrum	Good Poor		Remove Remove	
343	RO	, 12	Red Oak	Quercus rubra	Poor		Remove	2	442	RM	7	Red Maple	Acer rubrum	Poor		Remove	
344	SS	6	Sassafras	Sassafras albidum	Fair		Remove		443	SM	9	Silver Maple	Acer saccharinum	Fair		Remove	
345	RM	7	Red Maple	Acer rubrum	Poor		Remove		444	RM	10	Red Maple	Acer rubrum	Fair		Remove	
346	RM	8	Red Maple	Acer rubrum	Fair		Save		445	RO	16	Red Oak	Quercus rubra	Good	Yes	Remove	
347 348	SM SS	6 11	Silver Maple Sassafras	Acer saccharinum Sassafras albidum	Fair Fair		Save Save		446 447	BC WO	9 6	Wild Black Cherry White Oak	Prunus serotina Quercus alba	Poor Fair		Remove Remove	
349	SS	9	Sassafras	Sassafras albidum	Fair		Save		448	WO	8	White Oak	Quercus alba	Fair		Remove	
350	SS	7	Sassafras	Sassafras albidum	Fair		Offsite		449	SM	11	Silver Maple	Acer saccharinum	Good		Remove	
351 353	SM	13	Silver Maple	Acer saccharinum	Good		Remove		450	CT	35 7	Cottonwood	Populus deltoides	Fair		Remove	
352 353	RM PW	6 11	Red Maple White Poplar	Acer rubrum Populus alba	Poor Poor		Remove Remove		451 452	RM WO	, 11	Red Maple White Oak	Acer rubrum Quercus alba	Good Fair		Remove Remove	
354	SM	15	Silver Maple	Acer saccharinum	Fair		Remove		453	RO	6	Red Oak	Quercus rubra	Fair		Remove	
355	RO	9	Red Oak	Quercus rubra	Poor		Remove		454	RM	8	Red Maple	Acer rubrum	Fair		Remove	
356	PW	12	White Poplar	Populus alba	Poor		Remove		455	PW	10	White Poplar	Populus alba	Very Poor		Remove	
357 358	PW BE	14 15	White Poplar American Beech	Populus alba Fragus grandifolia	Poor Good		Remove Remove		456 457	SM WO	10 11	Silver Maple White Oak	Acer saccharinum Quercus alba	Fair Poor		Remove Remove	
359	SWO	6	Swamp White Oak	Quercus bicolor	Fair		Remove		458	SM	9	Silver Maple	Acer saccharinum	Good		Remove	
360	E	6	American Elm	Ulmus americana	Fair		Remove		459	RM	8	Red Maple	Acer rubrum	Fair		Remove	
361	RM	6	Red Maple	Acer rubrum	Fair		Remove		460	WO	6	White Oak	Quercus alba	Poor		Remove	
362 363	PO	16 11	Pin Oak	Quercus palustris	Fair Fair	Yes	Remove		461 463	PW	10 15	White Poplar	Populus alba	Very Poor		Remove	
363 364	WO BC	11 19	White Oak Wild Black Cherry	Quercus alba Prunus serotina	Fair Fair	Yes	Remove Remove		462 463	SM PO	15 7	Silver Maple Pin Oak	Acer saccharinum Quercus palustris	Good Poor		Remove Remove	
365	RO	10	Red Oak	Quercus rubra	Poor	. 2-5	Remove	1	464	SM	6	Silver Maple	Acer saccharinum	Good		Remove	
366	RO	8	Red Oak	Quercus rubra	Poor		Remove		465	PW	14	White Poplar	Populus alba	Very Poor		Remove	
367	BO	17 7	Black Oak	Quercus velutina	Poor		Remove		466	RM	6	Red Maple	Acer rubrum	Poor		Remove	•
368 369	SM BO	7 10	Silver Maple Black Oak	Acer saccharinum Quercus velutina	Fair Fair		Remove Remove		467 468	SM SS	10 6	Silver Maple Sassafras	Acer saccharinum Sassafras albidum	Fair Good		Remove Remove	3
370	RM	6	Red Maple	Acer rubrum	Fair		Remove		469	RM	10	Red Maple	Acer rubrum	Fair		Remove	
371	PW	13	White Poplar	Populus alba	Poor		Remove	3	470	SM	10	Silver Maple	Acer saccharinum	Good		Offsite	
372	PW	13	White Poplar	Populus alba	Fair		Remove		471	СТ	15	Cottonwood	Populus deltoides	Poor		Offsite	
373 374	SS	6 9	Sassafras	Sassafras albidum	Fair Fair		Remove		472 473	CT	20 15	Cottonwood	Populus deltoides	Very Poor		Offsite	
374 375	SS PW	9 10	Sassafras White Poplar	Sassafras albidum Populus alba	Fair Fair		Remove Remove		473 474	CT BX	15 26	Cottonwood Box elder	Populus deltoides Acer negundo	Very Poor Fair		Offsite Remove	
376	PW	9	White Poplar	Populus alba	Fair		Remove		475	BX	6	Box elder	Acer negundo	Poor		Remove	1
377	RM	10	Red Maple	Acer rubrum	Fair		Remove		476	вх	13	Box elder	Acer negundo	Fair		Remove	
378 370	SM	10 7	Silver Maple	Acer saccharinum	Fair		Remove	1	477 479	BX	6	Box elder	Acer negundo	Poor		Remove	
379 380	E SM	7 11	American Elm Silver Maple	Ulmus americana Acer saccharinum	Fair Fair		Remove Remove		478 479	BX E	6 21	Box elder American Elm	Acer negundo Ulmus americana	Fair Good		Remove Remove	
381	SM	11 15	Silver Maple	Acer saccharinum Acer saccharinum	Good		Remove		479 480	ВX	7	Box elder	Acer negundo	Fair		Remove	
382	SM	16	Silver Maple	Acer saccharinum	Fair		Save		481	E	9	American Elm	Ulmus americana	Fair		Remove	
383	SM	8	Silver Maple	Acer saccharinum	Fair		Remove		482	вх	7	Box elder	Acer negundo	Fair		Remove	
384	RM	8	Red Maple	Acer rubrum	Poor		Remove		483	BX	7	Box elder	Acer negundo	Fair		Remove	
385 386	SM SM	10 8	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Fair Fair		Save Remove		484 485	AU PW	14 8	Austrian Pine White Poplar	Pinus nigra Populus alba	Fair Fair		Remove Remove	
387	SS	9	Sassafras	Sassafras albidum	Fair		Remove		485 486	AU	8 13	Austrian Pine	Populus alba Pinus nigra	Fair Fair		Remove	
388	RM	10	Red Maple	Acer rubrum	Good		Remove		487	вх	9	Box elder	Acer negundo	Fair		Remove	
389	SM	9	Silver Maple	Acer saccharinum	Fair		Remove		488	вх	9	Box elder	Acer negundo	Fair		Remove	
390	SM	14	Silver Maple	Acer saccharinum	Good		Remove		489	RM	18	Red Maple	Acer rubrum	Fair	Yes	Remove	
391 392	SM RM	7 7	Silver Maple Red Maple	Acer saccharinum	Good		Remove		490 491	SM SM	15 31	Silver Maple	Acer saccharinum	Good Fair		Remove	
392 393	RM RM	<i>'</i> 7	Red Maple Red Maple	Acer rubrum Acer rubrum	Good Fair		Remove Remove		491 492	SM SM	31 32	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Fair Good		Remove Remove	
394	SM	9	Silver Maple	Acer saccharinum	Fair		Remove		493	WS	8	White Spruce	Picea glauca	Fair		Remove	

White Spruce

Silver Maple

Picea glauca

Acer saccharinum

Acer saccharinum

Good

Remove

Remove

Remove

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK REM		COMMENTS
496 497	SM SM	26 26	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Good Good		site nove	
498	WS	7	White Spruce	Picea glauca	Fair	Ren	nove	
499 500	SM BX	36 。	Silver Maple Box elder	Acer saccharinum	Good Fair		nove nove	
500 501	RM	8 8	Red Maple	Acer negundo Acer rubrum	Good		nove	x3
502	SM	28	Silver Maple	Acer saccharinum	Good	Ren	nove	
503	SM	19 47	Silver Maple	Acer saccharinum	Fair		nove	v.4
504 505	SM WS	17 7	Silver Maple White Spruce	Acer saccharinum Picea glauca	Good Fair		nove nove	x 1
506	WS	7	White Spruce	Picea glauca	Fair		nove	
507	WS	7	White Spruce	Picea glauca	Fair		nove	
508 509	CT CT	30 31	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Good Good		nove nove	
509 510	RM	21	Red Maple	Acer rubrum	Fair		nove	
511	WS	9	White Spruce	Picea glauca	Fair	Ren	nove	
512	WS	10	White Spruce	Picea glauca	Fair		nove	
513 514	BW BW	9 10	Black Walnut Black Walnut	Juglans nigra Juglans nigra	Good Good		nove nove	
515	BW	14	Black Walnut	Juglans nigra	Fair		nove	x 1
516	BW	13	Black Walnut	Juglans nigra	Fair		nove	x 1
517 518	BW BW	16 13	Black Walnut Black Walnut	Juglans nigra Juglans nigra	Fair Fair		site site	
519	BW	13	Black Walnut	Jugians nigra Jugians nigra	Fair		nove	
520	WS	12	White Spruce	Picea glauca	Fair	Ren	nove	
521	BW	9	Black Walnut	Juglans nigra	Fair - ·		nove	
522 523	WS BW	15 14	White Spruce Black Walnut	Picea glauca Juglans nigra	Fair Fair		nove nove	
524	WS	8	White Spruce	Picea glauca	Fair		nove	
525	Е	14	American Elm	Ulmus americana	Fair	Off	site	
526 527	CT	18 16	Cottonwood	Populus deltoides	Good		site	
527 528	CT CT	16 14	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Good		site site	
529	СТ	8	Cottonwood	Populus deltoides	Fair		site	
530	CT	14	Cottonwood	Populus deltoides	Fair		ave	
531 532	CT SM	23 36	Cottonwood Silver Maple	Populus deltoides Acer saccharinum	Good Fair		ave nove	
533	CT	10	Cottonwood	Populus deltoides	Fair		ave	
534	СТ	11	Cottonwood	Populus deltoides	Fair	Sa	ave	x4
535	RO	9	Red Oak	Quercus rubra	Fair		nove	
536 537	BC CT	10 13	Wild Black Cherry Cottonwood	Prunus serotina Populus deltoides	Fair Fair		ave ave	
538	СТ	8	Cottonwood	Populus deltoides	Fair		ave	
539	RM	9	Red Maple	Acer rubrum	Good		ave	
540 541	RM	10 10	Red Maple	Acer rubrum	Fair		ave	
541 542	CT CT	10 14	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair		ave ave	
543	СТ	8	Cottonwood	Populus deltoides	Good		ave	
544	SM	6	Silver Maple	Acer saccharinum	Fair - ·		ave	
545 546	CT E	16 8	Cottonwood American Elm	Populus deltoides Ulmus americana	Fair Fair		ave ave	
547	E	6	American Elm	Ulmus americana	Fair		ave	
548	СТ	18	Cottonwood	Populus deltoides	Good		ave	
549 550	SM CT	7 13	Silver Maple Cottonwood	Acer saccharinum Populus deltoides	Fair Very Poor		ave ave	
551	СТ	12	Cottonwood	Populus deltoides	Fair		ave	
552	СТ	9	Cottonwood	Populus deltoides	Fair		ave	
553 554	CT E	14 6	Cottonwood American Elm	Populus deltoides Ulmus americana	Good Good		ave ave	
555	CT	7	Cottonwood	Populus deltoides	Good		ave ave	
556	E	9	American Elm	Ulmus americana	Fair		ave	
557 559	SM	8	Silver Maple	Acer saccharinum	Fair		ave	
558 559	CT CT	25 8	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair		ave ave	
560	СТ	13	Cottonwood	Populus deltoides	Fair		ave	
561	SM	13	Silver Maple	Acer saccharinum	Fair		ave	
562 563	SM CT	7 17	Silver Maple Cottonwood	Acer saccharinum Populus deltoides	Fair Fair		ave ave	
563 564	CT	9	Cottonwood	Populus deltoides Populus deltoides	Fair		ave ave	
565	СТ	13	Cottonwood	Populus deltoides	Fair	Sa	ave	
566 567	CT CT	12 16	Cottonwood Cottonwood	Populus deltoides	Fair Fair		ave ave	
56 <i>7</i> 568	CT	14	Cottonwood	Populus deltoides Populus deltoides	Fair Fair		ave ave	
569	СТ	15	Cottonwood	Populus deltoides	Fair		ave	
570	СТ	14	Cottonwood	Populus deltoides	Good		ave	
571 572	E CT	7 11	American Elm Cottonwood	Ulmus americana Populus deltoides	Fair Fair		ave ave	
572 573	SM	7	Silver Maple	Acer saccharinum	Good		ave ave	
574	СТ	8	Cottonwood	Populus deltoides	Fair	Sa	ave	
575	CT	8	Cottonwood	Populus deltoides	Good		ave	x2
576 577	CT SM	17 11	Cottonwood Silver Maple	Populus deltoides Acer saccharinum	Fair Good		ave ave	
578	CT	13	Cottonwood	Populus deltoides	Good		ave	
579	E	7	American Elm	Ulmus americana	Fair		ave	
580 581	E CT	8 12	American Elm Cottonwood	Ulmus americana Populus deltoides	Fair Good		ave ave	
581 582	CT	6	Cottonwood	Populus deltoides Populus deltoides	Good Fair		ave ave	
583	СТ	7	Cottonwood	Populus deltoides	Fair	Sa	ave	
584 585	CT	28	Cottonwood	Populus deltoides	Fair		ave	
585 586	CT CT	9 27	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair		ave ave	
587	E	6	American Elm	Ulmus americana	Fair		ave ave	
588	СТ	7	Cottonwood	Populus deltoides	Fair	Sa	ave	
589 500	E	7	American Elm	Ulmus americana	Good		ave	
590	CT SM	13 28	Cottonwood Silver Maple	Populus deltoides Acer saccharinum	Fair Good		ave ave	
591		20 7	Black Oak	Quercus velutina	Good		ave ave	
591 592	во	,	Black Oak	-,				
	BO WO SM	12 7	White Oak Silver Maple	Quercus alba Acer saccharinum	Fair Fair		nove nove	x2



750 Forest Ave. - Suite 101 Birmingham, MI 48009 T:: 248.594.3220



■ sheet ti

Tree Survey (2 of 4)

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

18028	07.28.2020
■ drawn by:	■ checked by:
EMJ	WTK

■ date:



■ revisions:09.21.2020 Per Engineering Revisions02.22.2021 Per Municipal Review

sheet no.

L-6

Silver Maple

Acer saccharinum

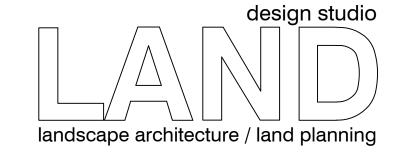
Acer saccharinum

Acer saccharinum

Fair

Remove

				I	1	CAVE /						_	1	SAVE /			<u> </u>				T	CAVE /
TAG NO	. CODE	E DB	H COMMON NAME	LATIN NAME	COND	SAVE / LANDMARK REMOVE COMMENTS	TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	1		COMMENTS	TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	SAVE / LANDMARK REMOVE COMMENTS
595 596	E CT	8 42	American Elm Cottonwood	Ulmus americana Populus deltoides	Fair Fair	Remove Save	694 695	G BX	9 9	Ginkgo Box elder	Ginkgo biloba Acer negundo	Fair Fair		Remove Remove		793 794	RM RM	8 12	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair	Remove Remove
597	SS	8	Sassafras	Sassafras albidum	Fair	Remove	696	BX	8	Box elder	Acer negundo	Fair		Remove		795	В	7	Basswood	Tilia americana	Fair	Remove
598 599	BX BW	16	Box elder Black Walnut	Acer negundo	Fair Fair	Remove x1	697 698	BX BX	8 10	Box elder Box elder	Acer negundo	Fair Fair		Remove Remove		796 797	AP B	8	Domestic Apple	Malus sylvestris	Fair Fair	Remove x1
600	BW	8	Black Walnut	Juglans nigra Juglans nigra	Fair Fair	Remove	699	BC	7	Wild Black Cherry	Acer negundo Prunus serotina	Fair		Remove	x 1	797 798	В	8	Basswood Basswood	Tilia americana Tilia americana	Fair Fair	Remove Remove
601	BX	7	Box elder	Acer negundo	Fair	Remove	700 701	BX	31	Box elder	Acer negundo	Fair		Remove		799	В	13	Basswood	Tilia americana	Fair	Remove x1
602 603	BX BX	14 13	Box elder Box elder	Acer negundo Acer negundo	Fair Fair	Remove Remove	701 702	BC E	6 7	Wild Black Cherry American Elm	Prunus serotina Ulmus americana	Fair Fair		Remove Remove		800 801	RM RM	9 8	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Good	Remove Remove
604	E	6	American Elm	Ulmus americana	Fair	Remove	703	вс	9	Wild Black Cherry	Prunus serotina	Fair		Remove		802	RM	7	Red Maple	Acer rubrum	Good	Remove
605 606	E	8	American Elm American Elm	Ulmus americana Ulmus americana	Fair Fair	Remove Remove	704 705	BC BC	8 1 <i>4</i>	Wild Black Cherry Wild Black Cherry	Prunus serotina Prunus serotina	Fair Good		Remove Remove		803 804	RM SM	9 12	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Good Good	Remove Remove
607	BX	10	Box elder	Acer negundo	Fair	Remove	706	GA	7		Fraxinus pennsylvanica	Fair		Remove		805	RM	8	Red Maple	Acer rubrum	Fair	Remove
608	ВХ	7	Box elder	Acer negundo	Fair	Remove	707	E	8	American Elm	Ulmus americana	Fair		Remove		806	В	7	Basswood	Tilia americana	Fair	Remove
609 610	E	13 6	Basswood American Elm	Tilia americana Ulmus americana	Good Fair	Remove Remove	708 709	BX BX	<i>1</i>	Box elder Box elder	Acer negundo Acer negundo	Fair Fair		Remove Remove		807 808	RM	8	Wild Black Cherry Red Maple	Prunus serotina Acer rubrum	Fair Fair	Remove Remove
611	Е	12	American Elm	Ulmus americana	Good	Remove	710	ВС	7	Wild Black Cherry	Prunus serotina	Fair		Remove		809	SM	12	Silver Maple	Acer saccharinum	Fair	Remove
612 613	RM BC	11 6	Red Maple Wild Black Cherry	Acer rubrum Prunus serotina	Good Good	Remove Remove	711 712	RO AP	17 6	Red Oak Domestic Apple	Quercus rubra Malus sylvestris	Good Fair		Remove Remove		810 811	RM SM	9 8	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Good Fair	Remove Remove
614	ВС	10	Wild Black Cherry	Prunus serotina	Fair	Remove	713	СТ	33	Cottonwood	Populus deltoides	Good		Remove		812	SM	14	Silver Maple	Acer saccharinum	Fair	Remove
615 616	BC RM	6 8	Wild Black Cherry Red Maple	Prunus serotina Acer rubrum	Fair Good	Remove Remove	714 715	SM CT	14 27	Silver Maple Cottonwood	Acer saccharinum Populus deltoides	Good Good		Remove Remove		813 814	RM RM	6 11	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair	Remove Remove
617	SM	7	Silver Maple	Acer saccharinum	Good	Remove	716	СТ	10	Cottonwood	Populus deltoides	Good		Remove		815	SM	16	Silver Maple	Acer saccharinum	Good	Remove
618 610	CT	18	Cottonwood	Populus deltoides	Good	Remove	717 718	CT B	13 7	Cottonwood	Populus deltoides	Good		Remove Remove		816 817	PW	7	White Poplar	Populus alba	Poor	Remove
619 620	BC BC	8	Wild Black Cherry Wild Black Cherry	Prunus serotina Prunus serotina	Fair Fair	Remove Remove	718 719	CT	7 24	Basswood Cottonwood	Tilia americana Populus deltoides	Good Good		Remove		817 818	SM PW	12 10	Silver Maple White Poplar	Acer saccharinum Populus alba	Good Fair	Remove Remove
621	ВС	9	Wild Black Cherry	Prunus serotina	Fair	Remove	720	СТ	24	Cottonwood	Populus deltoides	Good		Remove		819	SM	7	Silver Maple	Acer saccharinum	Fair	Remove x1
622 623	SM BC	15 12	Silver Maple Wild Black Cherry	Acer saccharinum Prunus serotina	Good Good	Remove Remove	721 722	CT CT	8 18	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair		Remove Remove		820 821	B SM	8 6	Basswood Silver Maple	Tilia americana Acer saccharinum	Fair Fair	Remove Remove
624	BW	7	Black Walnut	Juglans nigra	Fair	Remove	723	СТ	31	Cottonwood	Populus deltoides	Fair		Remove		822	PW	9	White Poplar	Populus alba	Fair	Remove
625 626	BX BX	8 12	Box elder Box elder	Acer negundo	Poor	Remove Remove	724 725	SM CT	19 12	Silver Maple Cottonwood	Acer saccharinum Populus deltoides	Fair Fair		Remove Remove		823 824	RM RM	8 13	Red Maple Red Maple	Acer rubrum Acer rubrum	Good Fair	Remove Remove
626 627	BX	6	Box elder	Acer negundo Acer negundo	Fair Fair	Remove	726	СТ	21	Cottonwood	Populus deltoides	Fair		Remove		825	SM	14	Silver Maple	Acer rabram Acer saccharinum	Fair	Remove
628	BX	11	Box elder	Acer negundo	Fair	Remove	727	E	11	American Elm	Ulmus americana	Fair		Remove		826	SM	12	Silver Maple	Acer saccharinum	Fair	Remove
629 630	BX BX	14 8	Box elder Box elder	Acer negundo Acer negundo	Poor Fair	Remove Remove	728 729	CT T	26 24	Cottonwood Tamarack	Populus deltoides Larix laricina	Good Good		Remove Remove		827 828	SM RM	27 9	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Good Good	Remove x3 Remove
631	ВХ	8	Box elder	Acer negundo	Fair	Remove	730	RM	12	Red Maple	Acer rubrum	Fair		Remove		829	RM	8	Red Maple	Acer rubrum	Fair	Remove
632 633	BX BX	16 19	Box elder Box elder	Acer negundo Acer negundo	Fair Fair	Remove Remove	731 732	SM AP	10 7	Silver Maple Domestic Apple	Acer saccharinum Malus sylvestris	Fair Fair		Remove Remove		830 831	SM RM	10 7	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Good	Remove Remove
634	TP	7	Tulip-Poplar	Liriodendron tulipifera		Remove x1	733	SM	7	Silver Maple	Acer saccharinum	Good		Remove		832	RM	6	Red Maple	Acer rubrum	Fair	Remove
635	BC	14	Wild Black Cherry	Prunus serotina	Fair	Remove x2	734 735	SM	10 12	Silver Maple American Elm	Acer saccharinum	Fair Fair		Remove Remove		833	SM	14	Silver Maple	Acer saccharinum	Good	Remove
636 637	BO E	6 7	Black Oak American Elm	Quercus velutina Ulmus americana	Fair Fair	Remove Remove	735 736	RO	14	Red Oak	Ulmus americana Quercus rubra	Good		Remove		834 835	PW PW	<i>7</i> 6	White Poplar White Poplar	Populus alba Populus alba	Fair Fair	Remove Remove
638	ВС	8	Wild Black Cherry	Prunus serotina	Fair	Remove	737	SM	9	Silver Maple	Acer saccharinum	Fair		Save		836	PW	13	White Poplar	Populus alba	Fair	Remove
639 640	RO BC	7 13	Red Oak Wild Black Cherry	Quercus rubra Prunus serotina	Fair Fair	Remove Remove	738 739	SM RM	9	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Good Good		Save Save		837 838	BP RM	6 10	Bradford Pear Red Maple	Pyrus calleryanna Acer rubrum	Fair Fair	Remove Save
641	ВС	7	Wild Black Cherry	Prunus serotina	Fair	Remove	740	SM	40	Silver Maple	Acer saccharinum	Good		Remove		839	SM	12	Silver Maple	Acer saccharinum	Fair	Remove
642 643	B RO	13	Basswood Red Oak	Tilia americana Quercus rubra	Fair Good	Remove Remove	741 742	RM SM	9 6	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Fair Good		Save Save		840 841	SM E	12 13	Silver Maple American Elm	Acer saccharinum Ulmus americana	Fair Fair	Remove Save
644	BC	14	Wild Black Cherry	Prunus serotina	Fair	Remove	743	CT	15	Cottonwood	Populus deltoides	Good		Save		842	PW	12	White Poplar	Populus alba	Fair	Save
645	SWO	9	Swamp White Oak	Quercus bicolor	Fair - :	Remove	744 745	RM SM	6	Red Maple	Acer rubrum	Good		Save		843	SM	30	Silver Maple	Acer saccharinum	Fair	Save
646 647	BC BC	8 7	Wild Black Cherry Wild Black Cherry	Prunus serotina Prunus serotina	Fair Fair	Remove Remove	745 746	SM	o 28	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Fair Good		Save Save		844 845	CW CT	45 15	Crack Willow Cottonwood	Salix fragilis Populus deltoides	Good Fair	Save Save
648	ВС	14	Wild Black Cherry	Prunus serotina	Fair	Remove	747	SM	6	Silver Maple	Acer saccharinum	Good		Save		846	СТ	21	Cottonwood	Populus deltoides	Fair	Save
649 650	PW PW	16 9	White Poplar White Poplar	Populus alba Populus alba	Fair Fair	Remove Remove	748 749	SM SM	12 13	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Fair Good		Save Save		847 848	CT CT	14 24	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair	Save Save
651	ВС	12	Wild Black Cherry	Prunus serotina	Fair	Remove	750	СТ	35	Cottonwood	Populus deltoides	Good		Remove		849	СТ	36	Cottonwood	Populus deltoides	Good	Save
652 653	CT	13	Cottonwood	Populus deltoides	Good	Remove	751 752	RM BC	7 6	Red Maple Wild Black Cherry	Acer rubrum Prunus serotina	Good Good		Save Save		850 851	CT CT	14 38	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Poor Fair	Save Save
653 654	CT CT	14 27	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair	Remove Remove	753	SM	7	Silver Maple	Acer saccharinum	Good		Save		852	СТ	14	Cottonwood	Populus deltoides	Very Poor	Save
655	CT	17	Cottonwood	Populus deltoides	Fair	Remove	754	RM BP	9	Red Maple	Acer rubrum	Good		Save		853	CT	17	Cottonwood	Populus deltoides	Fair	Save
656 657	SM CT	8 28	Silver Maple Cottonwood	Acer saccharinum Populus deltoides	Fair Fair	Remove Remove	755 756	E	o 19	Bradford Pear American Elm	Pyrus calleryanna Ulmus americana	Fair Poor		Remove Save		854 855	CT CT	20 12	Cottonwood Cottonwood	Populus deltoides Populus deltoides	Fair Fair	Save Save
658	CT	18	Cottonwood	Populus deltoides	Fair	Remove	757 	RO	13	Red Oak	Quercus rubra	Fair - ·		Save		856	СТ	22	Cottonwood	Populus deltoides	Fair	Save
659 660	SM PW	8 17	Silver Maple White Poplar	Acer saccharinum Populus alba	Fair Fair	Remove Remove	758 759	CT RM	14 9	Cottonwood Red Maple	Populus deltoides Acer rubrum	Fair Fair		Remove Remove		857 858	SM F	11 12	Silver Maple American Elm	Acer saccharinum Ulmus americana	Fair Fair	Save Save
661	SM	9	Silver Maple	Acer saccharinum	Fair	Remove	760	SM	11	Silver Maple	Acer saccharinum	Good		Remove		859	SM	12	Silver Maple	Acer saccharinum	Good	Save x13
662	RM	15	Red Maple	Acer rubrum	Fair	Remove	761 762	RO BC	8 12	Red Oak Wild Black Cherry	Quercus rubra Prunus serotina	Fair Fair		Remove Remove	x 2	860 861	E CT	7 4 5	American Elm Cottonwood	Ulmus americana Populus deltoides	Fair Fair	Save Save
663 664	SM BX	12	Silver Maple Box elder	Acer saccharinum Acer negundo	Fair Poor	Remove Remove	763	ВС	10	Wild Black Cherry	Prunus serotina	Poor		Remove	x1	862	СТ	31	Cottonwood	Populus deltoides	Fair	Save
665	ВХ	8	Box elder	Acer negundo	Very Poor		764 765	AP WO	6	Domestic Apple White Oak	Malus sylvestris	Fair Fair		Remove		863 864	CT	31	Cottonwood	Populus deltoides	Fair	Save
666 667	BX BX	8 10	Box elder Box elder	Acer negundo Acer negundo	Fair Very Poor	Remove Remove	765 766	WO RM	9	White Oak Red Maple	Quercus alba Acer rubrum	Fair Good		Remove Remove		864 865	CT RO	14 9	Cottonwood Red Oak	Populus deltoides Quercus rubra	Fair Fair	Remove Remove
668	Е	8	American Elm	Ulmus americana	Poor	Remove	767	ВС	12	Wild Black Cherry	Prunus serotina	Fair		Remove		866	CT	44	Cottonwood	Populus deltoides	Good	Remove
669 670	SM F	7	Silver Maple American Elm	Acer saccharinum Ulmus americana	Good Fair	Remove Remove	768 769	RM BW	6 10	Red Maple Black Walnut	Acer rubrum Juglans nigra	Good Good		Save Remove		867 868	E F	8 6	American Elm American Elm	Ulmus americana Ulmus americana	Poor Poor	Save Save
671	BC	7	Wild Black Cherry	Prunus serotina	Fair	Remove	770	SM	10	Silver Maple	Acer saccharinum	Good		Remove		869	E	9	American Elm	Ulmus americana	Fair	Save
672	CT	10	Cottonwood	Populus deltoides	Fair	Remove	771 772	RM SM	14 8	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Good Good		Remove Remove		870 871	SM	12	Silver Maple American Elm	Acer saccharinum	Fair Fair	Save
673 674	SM BC	1 <i>7</i>	Silver Maple Wild Black Cherry	Acer saccharinum Prunus serotina	Fair Fair	Remove Remove	773	WO	8	White Oak	Quercus alba	Poor		Remove		872	E	10	American Elm	Ulmus americana Ulmus americana	Fair	Save Remove
675	ВС	7	Wild Black Cherry	Prunus serotina	Fair	Remove	774 775	RM WO	12	Red Maple	Acer rubrum	Good		Remove		873	AP	6	Domestic Apple	Malus sylvestris	Fair - :	Remove
676 677	l BX	9	lronwood Box elder	Ostrya virginiana Acer negundo	Fair Fair	Yes Remove Remove	775 776	WO PW	9	White Oak White Poplar	Quercus alba Populus alba	Fair Good		Remove Remove		874 875	SM RM	12 15	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Good	Remove Remove
678	SWO	6	Swamp White Oak	Quercus bicolor	Fair	Remove	777	PW	10	White Poplar	Populus alba	Good		Remove		876	В	9	Basswood	Tilia americana	Fair	Remove
679 680	BX BX	12	Box elder Box elder	Acer negundo Acer negundo	Fair Fair	Remove Remove	778 779	PW RM	8 6	White Poplar Red Maple	Populus alba Acer rubrum	Fair Good		Remove Remove		877 878	CT RM	35 6	Cottonwood Red Maple	Populus deltoides Acer rubrum	Fair Fair	Save Save
681	BC	7	Wild Black Cherry	Prunus serotina	Fair	Remove	780	SM	9	Silver Maple	Acer saccharinum	Fair		Remove		879	RM	13	Red Maple	Acer rubrum	Fair	Save
682	CT	14	Cottonwood	Populus deltoides	Fair	Remove	781 782	SM SM	8 13	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Fair Good		Remove Remove		880 881	RM RM	8 12	Red Maple	Acer rubrum	Fair Fair	Save
683 684	PW BC	9 9	White Poplar Wild Black Cherry	Populus alba Prunus serotina	Fair Fair	Remove Remove	783	BC	8	Wild Black Cherry	Prunus serotina	Fair		Remove		881 882	RM SM	12 11	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Fair Fair	Save Save
685	вс	7	Wild Black Cherry	Prunus serotina	Fair	Remove	784 785	PW	10 12	White Poplar	Populus alba	Fair Good		Remove		883	RM	6	Red Maple	Acer rubrum	Fair	Remove
686 687	BC BC	8 s	Wild Black Cherry Wild Black Cherry	Prunus serotina Prunus serotina	Fair Fair	Remove Remove	785 786	RO RO	12 9	Red Oak Red Oak	Quercus rubra Quercus rubra	Good Fair		Remove Remove		884 885	SM RM	11 9	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Good	Remove Save
688	BX	7	Box elder	Acer negundo	Fair	Remove	787	SM	11	Silver Maple	Acer saccharinum	Fair		Remove	_	886	RM	10	Red Maple	Acer rubrum	Fair	Remove
689 690	BX BX	16	Box elder	Acer negundo	Fair Fair	Remove Remove	788 789	SM RM	10 16	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Fair		Remove Remove	x1 x1	887 888	SM PW	11 8	Silver Maple White Poplar	Acer saccharinum Populus alba	Fair Poor	Remove Save
690 691	BX	7	Box elder Box elder	Acer negundo Acer negundo	Fair Fair	Remove	790	E	13	American Elm	Ulmus americana	Fair		Remove		889	RM	10	Red Maple	Acer rubrum	Fair	Save
692 693	BX	10	Box elder Box elder	Acer negundo Acer negundo	Fair Fair	Remove	791 792	SM RM	14 6	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Fair		Remove Remove	x 1	890 891	SM RM	7 1 <i>1</i>	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Good	Remove Remove



750 Forest Ave. - Suite 101 Birmingham, MI 48009 T:: 248.594.3220

Red Maple

Acer rubrum

Good



sheet title:

Tree Survey (3 of 4)

■ project title:

Meadows of Troy

City of Troy, Michigan

prepared for:

■ job number:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.657.4968

18028	07.28.2020
■ drawn by:	■ checked by:
EMJ	WTK

■ date:



■ revisions: 09.21.2020 Per Engineering Revisions
02.22.2021 Per Municipal Review

sheet no.

L-7

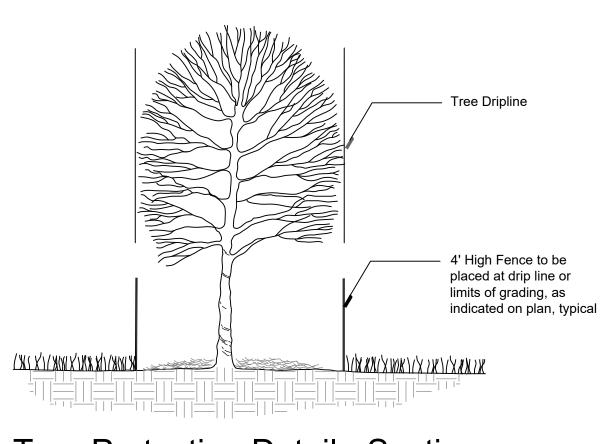
Acer negundo

Fair

Remove

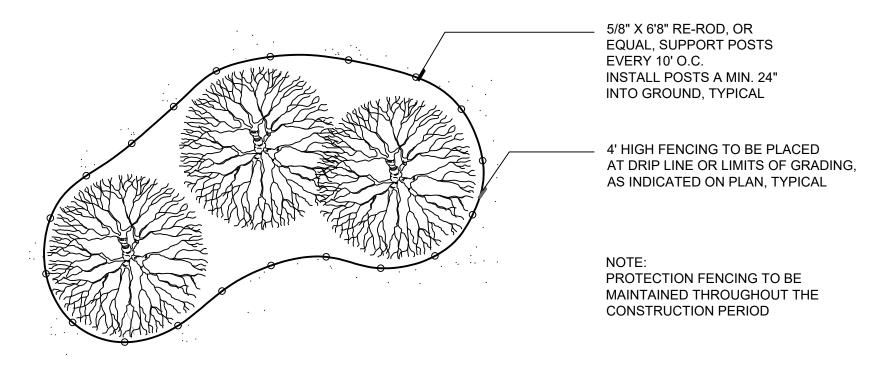
							SAVE /	
TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK		COMMENTS
892	RM	9	Red Maple	Acer rubrum	Fair		Remove	x1
893	SM	15	Silver Maple	Acer saccharinum	Fair		Remove	
894 895	RM RM	8 6	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair		Remove Remove	
896	SM	10	Silver Maple	Acer saccharinum	Fair		Remove	x 1
897	ВС	6	Wild Black Cherry	Prunus serotina	Fair		Remove	
898	BC	7	Wild Black Cherry	Prunus serotina	Fair - :		Remove	
899 900	BC RM	10 12	Wild Black Cherry Red Maple	Prunus serotina Acer rubrum	Fair Good		Remove Remove	
901	BC	11	Wild Black Cherry	Prunus serotina	Fair		Remove	
902	RM	7	Red Maple	Acer rubrum	Fair		Remove	
903	RO	7	Red Oak	Quercus rubra	Fair		Remove	
904 905	RM RM	13 15	Red Maple Red Maple	Acer rubrum Acer rubrum	Good Fair		Remove Remove	x 1
906	RM	12	Red Maple	Acer rubrum	Fair		Remove	X I
907	RM	13	Red Maple	Acer rubrum	Fair		Remove	
908	SM	14	Silver Maple	Acer saccharinum	Fair		Remove	
909 910	RM RM	20 9	Red Maple Red Maple	Acer rubrum Acer rubrum	Good Fair	Yes	Remove Remove	
911	RM	12	Red Maple	Acer rubrum	Fair		Remove	
912	SM	7	Silver Maple	Acer saccharinum	Fair		Remove	
913	GA	6	Green Ash	Fraxinus pennsylvanica	Fair		Remove	
914 915	RM B	7 9	Red Maple Basswood	Acer rubrum Tilia americana	Fair Fair		Remove Remove	
916	RM	12	Red Maple	Acer rubrum	Fair		Remove	
917	RM	7	Red Maple	Acer rubrum	Fair		Remove	
918	RM	8	Red Maple	Acer rubrum	Good		Remove	
919 920	RM RM	9	Red Maple	Acer rubrum	Fair		Remove Remove	
920 921	RM	11 10	Red Maple Red Maple	Acer rubrum Acer rubrum	Good Fair		Remove	
922	RM	13	Red Maple	Acer rubrum	Fair		Remove	
923	SM	8	Silver Maple	Acer saccharinum	Fair		Remove	
924	RM	6	Red Maple	Acer rubrum	Fair		Remove	
925 926	RM RM	9 8	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair		Remove Remove	x 1
927	RM	14	Red Maple	Acer rubrum	Fair		Remove	X I
928	RM	8	Red Maple	Acer rubrum	Fair		Remove	
929	RM	6	Red Maple	Acer rubrum	Fair		Remove	
930 931	RM RM	8 7	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair		Remove Remove	
932	RM	, 11	Red Maple	Acer rubrum	Good		Remove	x 1
933	RM	8	Red Maple	Acer rubrum	Fair		Remove	
934	RM	11	Red Maple	Acer rubrum	Fair		Remove	х3
935 936	SM SM	14 11	Silver Maple Silver Maple	Acer saccharinum Acer saccharinum	Fair Fair		Remove Remove	
937	RM	10	Red Maple	Acer rubrum	Fair		Remove	
938	SM	11	Silver Maple	Acer saccharinum	Fair		Remove	
939	CT	24	Cottonwood	Populus deltoides	Fair		Remove	
940 941	SM RM	9 8	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Good		Remove Remove	
942	RM	7	Red Maple	Acer rubrum	Good		Remove	
943	RM	14	Red Maple	Acer rubrum	Fair		Remove	
944	SM	8	Silver Maple	Acer saccharinum	Fair		Remove	x 1
945 946	SM RM	17 6	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Fair		Remove Remove	
947	RM	6	Red Maple	Acer rubrum	Fair		Remove	
948	SM	9	Silver Maple	Acer saccharinum	Fair		Remove	
949	SM	13	Silver Maple	Acer saccharinum	Good		Remove	
950 951	SM RM	11 8	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Fair		Remove Remove	x 3
952	RM	8	Red Maple	Acer rubrum	Good		Remove	,,,
953	SM	14	Silver Maple	Acer saccharinum	Fair		Remove	
954	SM	10	Silver Maple	Acer saccharinum	Fair		Remove	
955 956	AP RM	7 12	Domestic Apple Red Maple	Malus sylvestris Acer rubrum	Fair Fair		Remove Remove	
957	RM	7	Red Maple	Acer rubrum	Fair		Remove	
958	RM	7	Red Maple	Acer rubrum	Fair		Remove	
959	CT	18	Cottonwood	Populus deltoides	Fair		Remove	
960 961	CT SM	11 15	Cottonwood Silver Maple	Populus deltoides Acer saccharinum	Fair Fair		Remove Remove	
962	RM	10	Red Maple	Acer rubrum	Good		Remove	
963	RM	6	Red Maple	Acer rubrum	Good		Remove	
964 065	RM	8	Red Maple	Acer rubrum	Good		Remove	
965 966	RM RM	13 6	Red Maple Red Maple	Acer rubrum Acer rubrum	Fair Fair		Remove Remove	
967	PW	15	White Poplar	Populus alba	Good		Remove	
968	RM	13	Red Maple	Acer rubrum	Good		Remove	
969 970	RM RO	8 15	Red Maple Red Oak	Acer rubrum Quercus rubra	Good Good		Remove Remove	
970 971	RM	7	Red Maple	Acer rubrum	Good		Remove	
972	WO	9	White Oak	Quercus alba	Fair		Remove	
973	RM	7	Red Maple	Acer rubrum	Fair		Remove	
974 975	RM RM	10 6	Red Maple	Acer rubrum	Fair Good		Remove	
975 976	KIVI SM	6 11	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Good Fair		Remove Remove	
977	RM	12	Red Maple	Acer rubrum	Fair		Remove	
978	RM	14	Red Maple	Acer rubrum	Fair		Remove	x2
979 980	SM SM	10 14	Silver Maple	Acer saccharinum	Fair Fair		Remove	v.4
980 981	SM RM	14 6	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Fair		Remove Remove	x 1
982	RM	9	Red Maple	Acer rubrum	Fair		Remove	
983	SM	11	Silver Maple	Acer saccharinum	Fair		Remove	
984 985	RM SM	9 15	Red Maple	Acer rubrum	Fair Fair		Remove	~ 0
985 986	SM RM	15 7	Silver Maple Red Maple	Acer saccharinum Acer rubrum	Fair Fair		Remove Remove	x2
987	RM	13	Red Maple	Acer rubrum	Fair		Remove	
988	RM	6	Red Maple	Acer rubrum	Fair - ·		Remove	
989 990	RM SM	12 7	Red Maple Silver Maple	Acer rubrum Acer saccharinum	Fair Fair		Remove Remove	

						SAVE /	
TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK REMOVE	COMMENTS
991	RM	12	Red Maple	Acer rubrum	Good	Remove	
992	SM	8	Silver Maple	Acer saccharinum	Fair	Remove	
993	WS	8	White Spruce	Picea glauca	Fair	Remove	x 1
994	SM	12	Silver Maple	Acer saccharinum	Good	Remove	
995	SM	13	Silver Maple	Acer saccharinum	Fair	Remove	
996	RM	8	Red Maple	Acer rubrum	Fair	Remove	
997	RM	10	Red Maple	Acer rubrum	Good	Remove	
998	SM	12	Silver Maple	Acer saccharinum	Good	Remove	
999	SM	10	Silver Maple	Acer saccharinum	Fair	Remove	
1000	В	7	Basswood	Tilia americana	Fair	Remove	
1001	RM	8	Red Maple	Acer rubrum	Good	Remove	x1
1002	SM	14	Silver Maple	Acer saccharinum	Fair	Remove	
1003	WS	12	White Spruce	Picea glauca	Fair	Remove	
1004	WS	14	White Spruce	Picea glauca	Fair	Remove	
1005	RM	8	Red Maple	Acer rubrum	Fair	Remove	
1006	RM	6	Red Maple	Acer rubrum	Good	Remove	
1007	SM	12	Silver Maple	Acer saccharinum	Fair	Remove	
1008	В	12	Basswood	Tilia americana	Fair	Remove	
1009	SM	11	Silver Maple	Acer saccharinum	Fair	Remove	
1010	SM	6	Silver Maple	Acer saccharinum	Fair	Remove	
1011	RM	8	Red Maple	Acer rubrum	Fair	Remove	
1012	PW	12	White Poplar	Populus alba	Fair	Remove	
1013	RM	8	Red Maple	Acer rubrum	Fair	Remove	
1014	RM	10	Red Maple	Acer rubrum	Good	Remove	
1015	RM	9	Red Maple	Acer rubrum	Fair	Remove	
1016	SM	13	Silver Maple	Acer saccharinum	Fair	Remove	
1017	SM	10	Silver Maple	Acer saccharinum	Fair	Remove	x 1
1018	SM	13	Silver Maple	Acer saccharinum	Fair	Remove	x 1
1019	RM	6	Red Maple	Acer rubrum	Poor	Remove	



Tree Protection Detail - Section

Scale: NTS



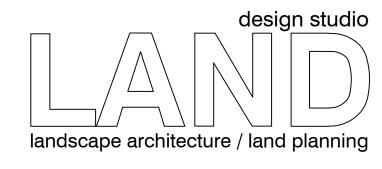
Tree Protection Detail - Plan

Scale: NTS

Tree Protection Notes

- 1. Approved tree protection shall be erected prior to the start of construction activities, and shall remain in place until construction is complete. 2. No person may conduct any activity within the drip line, or protected area, of any designated tree to remain, including, but not limited to, placing solvents, building materials, construction equipment, etc.
- 3. Grade changes may not occur within the drip line of protected trees. 4. During construction, no person shall attach any device or wire to any remaining tree.
- 5. All utility service requests must include notification to the installer that protected trees must be avoided. All trenching shall occur outside of the protective fencing.
- 6. Swales shall be routed to avoid the area within the drip lines of protected trees. 7. Trees located on adjacent properties that may be affected by construction activities must be protected.
- 8. Trees to be removed shall be flagged by the Owner Representative prior to site grading.9. Root zones of protected trees should be well marked with bright colors and surrounded
- with rigidly staked fencing.
- The parking of idle and running equipment shall be prohibited under the drip line of protected trees.
- 11. The stripping of topsoil from around protected trees shall be prohibited.
- 12. Trees to be removed shall be fell away from trees to be saved.
- 13. Grubbing of understory vegetation in construction areas should be cleared by cutting
- vegetation at ground level with a chain saw or minimally with a hydro-axe.

 14. The Landscape Architect shall be notified immediately if any protected tree is damaged



750 Forest Ave. - Suite 101 Birmingham, MI 48009 T:: 248.594.3220



Tree Survey (4 of 4) & Landscape Details

project title:

Meadows of Troy

City of Troy, Michigan

prepared for:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:	■ date:
18028	07.28.2020
■ drawn by:	■ checked by:
EMI	\/\TK



09.21.2020 Per Engineering Revisions 02.22.2021 Per Municipal Review

sheet no.

Landscape Maintenance Notes

All Landscape Maintenance shall be performed by Owner or Owner's desired Landscape Contractor or Landscape Maintenance Company.

Overall

• All diseased, damaged, or dead materials shall be replaced in accordance with the standards of the City of Troy Zoning Ordinance.

Lawn & Turf

- Lawn shall not be irrigated the prior to scheduled mowing
- Maintain a lawn height or 2-1/2" to 3-1/2"
- Lawn shall be mowed with a mulching mower or mower affixed with a mulching blade. Grass clippings shall be left on the lawn to decompose and release nutrients back into the soil
- Inspect Irrigation system after moving to ensure no damage has been done to the components
- Maintenance Contractor shall maintain clean equipment to prevent potential spread of unwanted seeds, pests, and pathogens

- Prune shrubs on an as-needed basis and only to maintain the plant's natural appearance
- Allow shrubs to mature and fill planting areas as designed
- Allow designed hedges to grow together prior to pruning into a uniform shape

Groundcovers

- Keep free of weeds, grass, and refuse
- Prune lightly to maintain natural appearance
- Allow groundcovers to fill the intended planting area

Perennials

- Prune dead flower stalks that emerge during the summer to encourage foliage growth
- Perform seasonal pruning, weeding, and dead-heading as necessary to maintain a neat appearance and encourage flowering

- Remove weeds and suckers from around the base of trees
- Prune trees for safety, health, or structural clearance. Remove crossing and damaged branches
- Do not top trees for any reason
- Check on tree staking on a regular basis to ensure that ties and stakes are not damaging the trees. Maintain tree stakes until the tree can stand on its own. Upon reaching this point, remove and properly dispose of all tree stakes, ties, and wiring

- Maintain hardwood mulch at a 3" depth and replenish as needed
- Keep mulch at least 3" away from plant stems and tree trunks
- Maintain clean-cut mulch edges and tree rings that match the designed edges

Weed Management

 Remove and properly dispose of any weeds and tree suckers that appear in planting beds. Use the least destructive methods possible

Fertilization

When fertilizing, use organic or non-chemical alternatives whenever possible to reduce the runoff into the Paint Creek

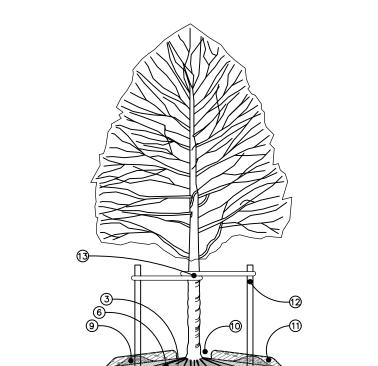
Pest Control

• When using pesticides, use organic or non-chemical alternatives whenever possible to reduce the runoff into the Paint Creek

Maintain Spade Cut Edges as designed, as necessary

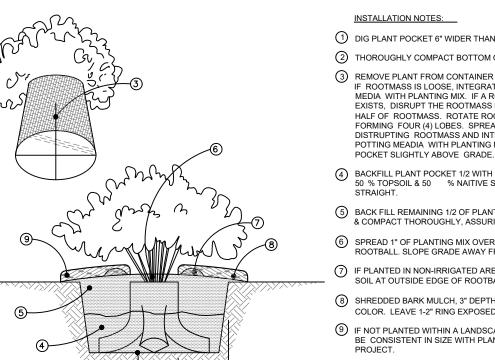
Landscape Notes

- 1. All plant material shall be true to name and free from physical damage
- Plants shall be full, well-branched, and in a healthy, vigorous growing
- Plants shall be watered before and after planting is complete. All trees must be staked, fertilized, and mulched and shall be guaranteed to exhibit a normal growth cycle for at least one (1) full year following
- 5. All material shall conform to the guidelines established in the most
- recent edition of the American Standard for Nursery Stock. Provide clean backfill soil, using material stockpiled on site. Soil shall
- be screened and free of any debris, foreign material, or stone. "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand,
- 9. All plantings shall be mulched with shredded hardwood bark, spread to a minimum depth of 3". Mulch is to be free from debris and foreign
- material and shall contain no pieces of inconsistent size. 10. The Landscape Contractor shall be responsible for all work shown on
- the landscape drawings and specifications. 11. No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect or Owner's
- 12. The Landscape Architect shall be notified of any discrepancies between
- the plans and field conditions prior to installation. 13. The Landscape Contractor shall be responsible for maintaining all plant
- material in a vertical condition throughout the guaranteed period. 14. The Landscape Architect shall have the right at any stage of the
- installation to reject any work or material that does not meet the requirements of the plane and specifications, if requested by the owner. 15. The Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event
- of a discrepancy, the quantities on the plans shall prevail. 16. The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract
- 17. A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly to all planting beds prior to mulching.
- All lawn areas to be irrigated.
- The Developer and Landscape Architect reserve the right to change location of plant material and alter plant species/variety at the time of installation based upon availability and quantity of material as well as site conditions. Materials will be of similar size, appearance and growth
- 20. All Lawn areas shall be Seeded or Sodded
- All Landscape Areas shall be irrigated by an automatic irrigation system with separate zones for Lawn and Plants.



- INSTALLATION NOTES:
- 1) DIG PLANT POCKET 12" WIDER THAN EDGE OF
- (2) THOROUGHLY COMPACT BOTTOM OF PLANT POCKET. (3) REMOVE ALL TWINE FROM TOP OF ROOTBALL. EXAMINE SYSTEM. SET ROOTBALL WITH TOP 1/8 OF BALL ABOVE
- 4 PLACE BACKFILL UNDER & ALONGSIDE BASE OF BALL TO STRAIGHTEN TREE. THOROUGHLY COMPACT TO FILL
- (5) BACKFILL PLANT POCKET 1/3 WITH PLANTING MIX CONSISTING OF 50 % TOPSOIL & 50 % NATIVE SOIL & COMPACT THOROUGHLY, ASSURING TREE IS STILL
- (6) BEFORE CONTINUING WITH BACKFILL, REMOVE TOP WIRE LOOPS, OR BEND DOWN UNTIL THEY TOUCH SIDE OF BALL. REMOVE EXCESS BURLAP.
- 7 BACKFILL PLANT POCKET SECOND 1/3 WITH PLANTING MIX & COMPACT THOROUGHLY, ASSURING TREE IS STILL
- (8) BACKFILL PLANT POCKET LAST 1/3 WITH PLANTING MIX & COMPACT THOROUGHLY, ASSURING TREE IS STILL STRAIGHT. SLOPE GRADE AWAY FROM TREE.
- 9) IF PLANTED IN NON-IRRIGATED AREAS, FORM A AUCER WITH SOIL AT OUTSIDE EDGE OF ROOTBALL
- (10) SHREDDED BARK MULCH, 3" DEPTH, MULCH TO BE NATURAL IN COLOR. LEAVE 2-3" RING EXPOSED A
- (1) MULCH RINGS TO BE CONSISTENT WITH PLANT TYPE/SIZE THROUGHOUT PROJECT & SHOULD NOT EXTEND BEYOND PLANT POCKET.
- (12) MINIMUM 2"x2"x60" HARDWOOD STAKES TO EXTEND INTO UNDISTURBED SOIL UNDER PLANT POCKET. STAKE LOCATIONS PER TREE TO BE CONSISTENT THROUGHOUT
- 1" WIDE BELT LIKE NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL, NO WIRE OR HOSE TO BE USE TO GUY TREES. TWO (2) GUYS PER TREE.

Deciduous Tree Planting Detail - 4" Cal. and Under

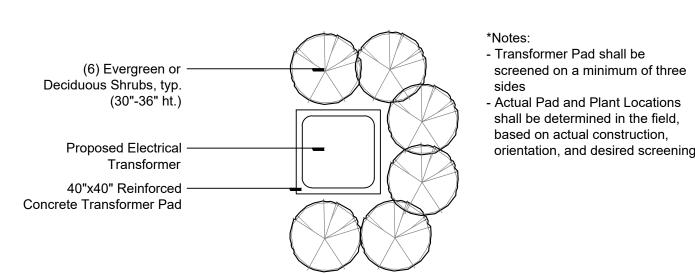


DIG PLANT POCKET 6" WIDER THAN EDGE OF ROOTBALL. (2) THOROUGHLY COMPACT BOTTOM OF PLANT POCKET. 3 REMOVE PLANT FROM CONTAINER AND EXAMINE ROOTMASS IF ROOTMASS IS LOOSE, INTEGRATE PLANT ROOTS & POTTING MEDIA WITH PLANTING MIX. IF A ROOTBOUND CONDITIONS EXISTS, DISRUPT THE ROOTMASS BY CUTTING THROUGH BOTTOM HALF OF ROOTMASS. ROTATE ROOTMASS 90° AND CUT AGAIN, FORMING FOUR (4) LOBES. SPREAD THE FOUR LOBES DISTRUPTING ROOTMASS AND INTEGRATE PLANT ROOTS & POTTING MEADIA WITH PLANTING MIX. PLACE PLANT IN

- (4) BACKFILL PLANT POCKET 1/2 WITH PLANTING MIX CONSISTING OF 0 % TOPSOIL & 50 % NAITIVE SOIL, ASSURING SHRUB IS
- 5 BACK FILL REMAINING 1/2 OF PLANT POCKET WITH PLANTING MIX COMPACT THOROUGHLY, ASSURING SHRUB IS STILL STRAIGH 6) SPREAD 1" OF PLANTING MIX OVER TOP OF CONTAINER
- (7) IF PLANTED IN NON-IRRIGATED AREAS, FORM A SAUCER WITH SOIL AT OUTSIDE EDGE OF ROOTBALL.
- 8) SHREDDED BARK MULCH, 3" DEPTH. MULCH TO BE NATURAL IN COLOR. LEAVE 1-2" RING EXPOSED AT BASE OF PLANT.
- (9) IF NOT PLANTED WITHIN A LANDSCAPE BED, MULCH RINGS TO

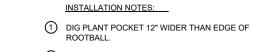
Shrub Planting Detail - Container

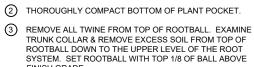
Scale: NTS



Optional Transformer Screening Detail

Scale: $\frac{1}{4}$ " = 1'





- 4) PLACE BACKFILL UNDER & ALONGSIDE BASE OF BALL
- (5) BACKFILL PLANT POCKET 1/3 WITH PLANTING MIX CONSISTING OF 50 % TOPSOIL & 50 % NATIVE SOIL & COMPACT THOROUGHLY, ASSURING TREE IS STILL
- 6) BEFORE CONTINUING WITH BACKFILL, REMOVE TOP WIRE BALL. REMOVE EXCESS BURLAP.
- (7) BACKFILL PLANT POCKET SECOND 1/3 WITH PLANTING MIX & COMPACT THOROUGHLY, ASSURING TREE IS STILL
- 8) BACKFILL PLANT POCKET LAST 1/3 WITH PLANTING MIX &
- STRAIGHT. SLOPE GRADE AWAY FROM TREE. (9) IF PLANTED IN NON-IRRIGATED AREAS, FORM A SAUCER WITH SOIL AT OUTSIDE EDGE OF ROOTBALI
- ① SHREDDED BARK MULCH, 3" DEPTH. MULCH TO BE NATURAL IN COLOR. LEAVE 2-3" RING EXPOSED AT
- THROUGHOUT PROJECT & SHOULD EXTEND 6" BEYOND LOWEST BRANCH OF EVERGREEN TREES. (12) MINIMUM 2"x2"x60" HARDWOOD STAKES TO EXTEND INTO UNDISTURBED SOIL UNDER PLANT POCKET. STAKE

LOCATIONS PER TREE TO BE CONSISTENT THROUGHOUT

(11) MULCH RINGS TO BE CONSISTENT WITH PLANT TYPE/SIZE

1" WIDE BELT LIKE NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL, NO WIRE OR HOSE TO BE USE TO GUY TREES. TWO (2) GUYS PER TREE.

Evergreen Tree Planting Detail - 10' Ht. and Under

Perennial plants spaced

according to planting plan

3" Hardwood mulch as specified

Remove container from rootball

Planting Soil Mix.

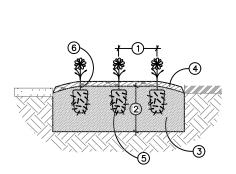
See Specifications

Undisturbed soil

Install to a depth of 18".

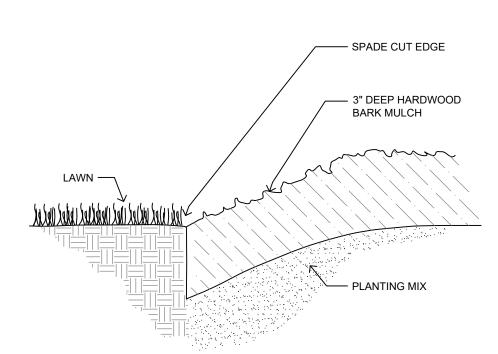


Perennial Planting Detail



- INSTALLATION NOTES: 1 SEE DRAWING FOR PLANT
- (2) EXCAVATE BED TO A MINIMUM 6" DEPTH. BACKFILL WITH PREPARED PLANTING MIX.
- (3) PLANTING MIX TO CONSIST OF 50% TOPSOIL & 50% LEAF COMPOST SHREDDED BARK MULCH, 1" DEPTH. MULCH TO BE NATURAL
- 5 REMOVE ALL CONTAINERS. IF ROOTBOUND, DISRUPT ROOT PLUG 6 PLANT THE ANNUAL OR GROUND
- MULCH INTO THE PLANTING MIX ASSURING THAT PLANTING MIX COVERS ENTIRE ROOT MASS OF

Annual & Ground Cover Planting Detail



Spade Cut Edging Detail



design studio

landscape architecture / land planning

750 Forest Ave. - Suite 101

Birmingham, MI 48009

T:: 248.594.3220

sheet title:

Landscape Details & Notes

project title:

Meadows of Troy

City of Troy, Michigan

■ drawn by

EMJ

prepared for: Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200

Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number ■ date: 18028 07.28.2020



checked by

WTK

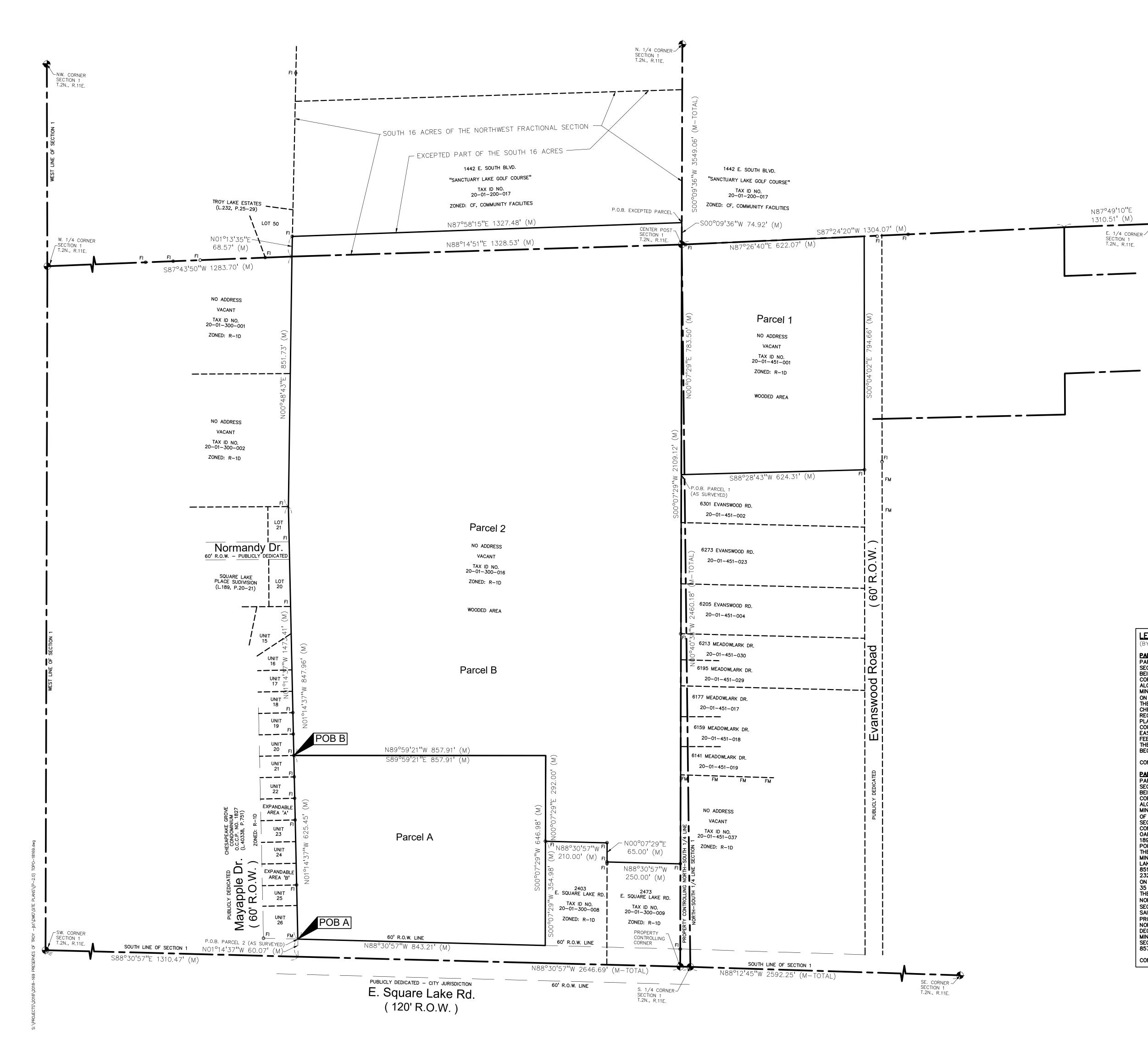
revisions: 09.21.2020 Per Engineering Revisions 02.22.2021 Per Municipal Review

sheet no.

L-9

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LEGAL DESCRIPTION

PER SURVEY PROVIDED BY STANTEC CONSULTING, PROJECT NO. 2075105700, DATED JUNE 25, 2007)

PART OF THE SOUTHEAST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1: THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 2612.25 FEET TO THE PROPERTY CONTROLLING CORNER; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST ALONG THE NORTH-SOUTH PROPERTY CONTROLLING LINE OF SAID SECTION 1 1675.62 FEET TO THE POINT OF BEGINNING: THENCE CONTINUING ALONG SAID PROPERTY CONTROLLING LINE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 783.50 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE NORTH 87 DEGREES 26 MINUTES 40 SECONDS EAST ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 1, 622.07 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF EVANSWOOD ROAD (60 FEET WIDE); THENCE SOUTH 00 DEGREES 04 MINUTES 02 SECONDS EAST ALONG SAID WEST LINE OF EVANSWOOD ROAD, 794.66 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 43 SECONDS WEST, 624.31 FEET TO THE POINT OF BEGINNING.

TAX ID NO. 20-01-451-001

ADDRESS: NONE (VACANT)

CONTAINING: 491,407.07 SQUARE FEET OR 11.281 ACRES

PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WIDE); THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 1473.41 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 29, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, 354.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID E. SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF BEGINNING

TAX ID NO. 20-01-300-016

ADDRESS: NONE (VACANT)

CONTAINING: 3,077,405.52 SQUARE FEET OR 70.647 ACRES

TROY ■ WASHINGTON TWP BRIGHTON ■ DETROIT t: 844.813.2949

www.peagroup.com



SCALE: 1" = 150'

CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

LEGAL DESCRIPTION

PARCEL A
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WIDE);
THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF
CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS
RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 625.45 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 21 SECONDS EAST, 857.91 FEET; THENCE SOUTH OO DEGREES OF MINUTES 29 SECONDS WEST, 646.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID E. SQUARE LAKE ROAD;

THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF

CONTAINING: 540,917.85 SQUARE FEET OR 12.42 ACRES

PARCEL B

PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WIDE) AND CONTINUING NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 625.45 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST LINE OF CHESAPEAKE GROVE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST, 847.96 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH OO DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 29, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 292.00 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 21 SECONDS WEST, 857.91 FEET TO THE POINT OF BEGINNING.

CONTAINING: 2,536,487.73 SQUARE FEET OR 58.23 ACRES

PROJECT TITLE

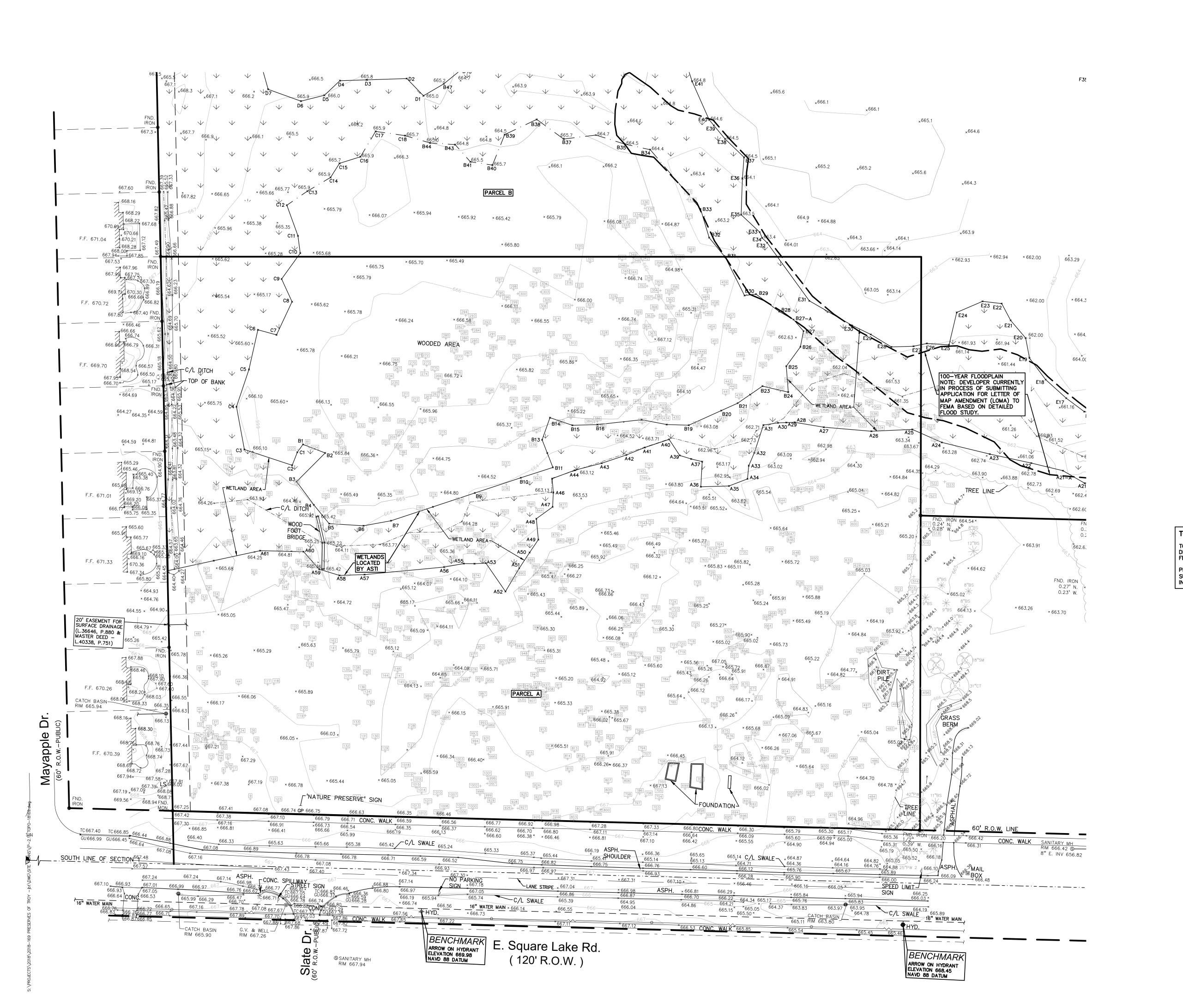
MEADOWS OF TROY

REVISIONS

ORIGINAL ISSUE DATE: JULY 30, 2020

DRAWING TITLE **PARCEL MAP**

PEA JOB NO. 2018-169 TMK DES. TMK DRAWING NUMBER:



LEGEND

IRON FOUND RASS PLUG SET MONUMENT FOUND MAIL FOUND MONUMENT SET Ø NAIL & CAP SET

SEC. CORNER FOUND R RECORDED M MEASURED C CALCULATED

-OH-ELEC-W-O- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL

-⊠-UG-PHONE-①--- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE -UG-ELEC-E-E-E-ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE — _ GAS MAIN, VALVE & GAS LINE MARKER WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE SANITARY SEWER, CLEANOUT & MANHOLE — - - STORM SEWER, CLEANOUT & MANHOLE COMBINED SEWER & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE

WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF UNIDENTIFIED STRUCTURE SPOT ELEVATION _____670 _____ CONTOUR LINE **-X---X-** FENCE

☆ STREET LIGHT SIGN ∠ CONC. ✓

ASPH. I ASPHALT

GRAVEL SHOULDER __GRAVEL___ nar nar METLAND

ÞΞΛ GROUP TROY ■ WASHINGTON TWP BRIGHTON ■ DETROIT t: 844.813.2949

www.peagroup.com



SCALE: 1" = 50'



CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

LEGAL DESCRIPTION

REFER TO SHEET P-2.0 FOR LEGAL DESCRIPTIONS

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY NF ENGINEERS.

PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING ONLY, A PORTION OF THE PROPERTY
DESCRIBED ON THIS SURVEY LIES WITHIN A SPECIAL FLOOD HAZARD
AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE(S) 'A' AND 'X' OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 26125C0553G, DATED SEPTEMBER 29, 2006.

CLIENT

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI

PROJECT TITLE

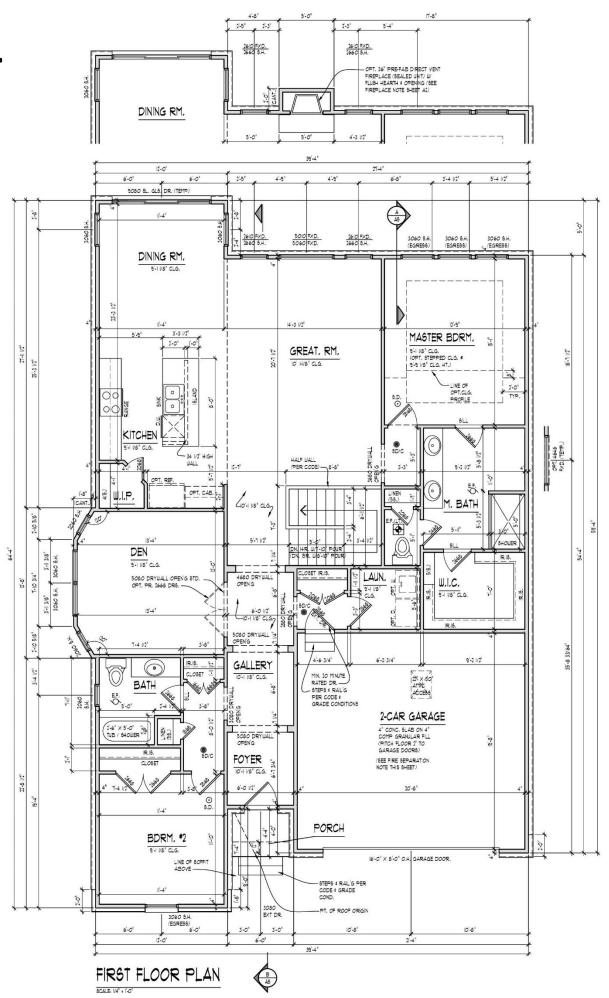
MEADOWS OF TROY E. SQUARE LAKE ROAD

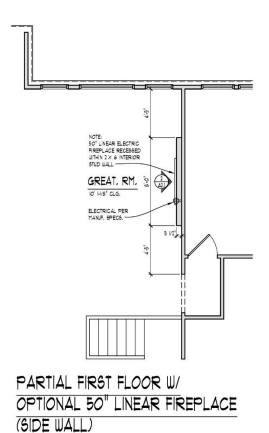
REVISIONS

ORIGINAL ISSUE DATE: JULY 30, 2020

DRAWING TITLE **TOPOGRAPHIC SURVEY**

2018-169 PEA JOB NO. TMK TMK DES. DRAWING NUMBER:





OPT, MASTER BATH



PROPOSED TRADITIONAL ELEVATION

EXTERIOR MATERIAL LEGEND

1 ASPHALT SHINGLE 2 BRICK

3 HARDIE LAP SIDING

TRADITIONAL ELEVATION



LEFT ELEVATION

REAR ELEVATION

RIGHT ELEVATION

EXTERIOR MATERIAL LEGEND

1 ASPHALT SHINGLE

2 HARDIE LAP SIDING

BRICK



PROPOSED FARMHOUSE ELEVATION

EXTERIOR MATERIAL LEGEND

1 ASPHALT SHINGLE

2 STONE

HARDIE BOARD & BATTEN

SIDING

METAL ROOF



PROPOSED EUROPEAN ELEVATION

EXTERIOR MATERIAL LEGEND

1 ASP

ASPHALT SHINGLE

BRICK





STATE OF MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY

LANSING



January 9, 2018

Mr. Rick West Assistant Superintendent for Business Services Troy School District 4400 Livernois Road Troy, Michigan 48098-4799

Dear Mr. West:

SUBJECT: Wetland Identification Report

Wetland Identification Site Name: 63-East Square Lake Road-Troy

MiWaters Submission Number: HN7-FPES-HQGW4

The Department of Environmental Quality (DEQ) conducted a Level 3 Wetland Identification Review of approximately 80 acres on property (Property Tax Identification Numbers 20-01-300-016 and 20-01-451-001) located in Town 02 North, Range 11 East, Section 01, city of Troy, Oakland County on November 8, 2017. The wetland identification was conducted in accordance with Part 303, Wetlands Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA), and Rule 4 (1), Wetland Identification and Assessment (R 281.924), of the Administrative Rules for Part 303. This is a report of our findings in response to your Wetland Identification Program (WIP) application.

Based on our on-site investigation which included a review of plants, hydrology, and soils, the DEQ confirms, in part, the wetland boundary lines flagged by your consultant. The DEQ also reviewed other pertinent information such as aerial imagery, soil survey data, topographic mapping data, and surface hydrology data.

One wetland area was overlooked and omitted by the consultant. The DEQ extended the consultant's wetland delineation boundaries in one location within the central portion of the WIP Review Area to encompass additional wetland area. This additional portion of Wetland A showed evidence of sustained surface (or near-surface) hydrology occurring during the growing season and was associated with hydrophytic plant species and hydric soil.

Modified wetland boundaries were documented on the enclosed site map (Figure 2). The site map of the review area was created by combining information from your consultant and the DEQ. The new map identifies areas containing regulated wetland, unregulated wetland, and non-wetland (upland).

Mr. Rick West Page 2 January 9, 2018

Approximately 43.59 acres (98 percent) of the wetland within the WIP Review Area are regulated by the DEQ because of wetland size and/or proximity to a pond, lake, or stream/drain. For those areas identified as regulated wetland on the site map, please be advised that any of the following activities require a permit under Part 303:

- a) Deposit or permit the placing of fill material in a regulated wetland.
- b) Dredge, remove, or permit the removal of soil or minerals from regulated wetland.
- c) Construct, operate, or maintain any use or development in a regulated wetland.
- d) Drain surface water from a regulated wetland.

For the areas identified as non-wetland (upland) and unregulated wetland on the site map, the DEQ lacks jurisdiction under Part 303 for activities occurring in those areas.

This Wetland Identification Report is limited to findings pursuant to Part 303 and does not constitute a determination of jurisdiction under other DEQ-administered programs. Any land use activities undertaken within the review area may be subject to regulation pursuant to the NREPA under the following programs:

Part 91, Soil Erosion and Sedimentation Control Part 301, Inland Lakes and Streams

Please be aware that this wetland identification report does not constitute a determination of the jurisdiction under local ordinances or federal law. The United States Army Corps of Engineers (USACE) retains regulatory authority over certain wetlands pursuant to Section 404 of the Clean Water Act (CWA), and specifically those wetlands associated with traditionally navigable waters of the state. Navigable waters are generally the Great Lakes, their connecting waters, and river systems and lakes connected to these waters. In other areas of the state, the DEQ is responsible for identification of wetland boundaries for purposes of compliance with the CWA under an agreement with the United States Environmental Protection Agency. Your WIP Review Area is not likely to be within those areas also regulated by the USACE. Additional information may be obtained by contacting the USACE at 313-226-2218.

Mr. Rick West Page 3 January 9, 2018

You may request the DEQ reassess the wetland boundaries and regulatory status of wetlands within any portion of the review area, should you disagree with the findings, within 60 days of the date of this report. A written request to reassess the Wetland Identification review area must be accompanied by supporting evidence with regard to wetland vegetation, soils or hydrology different from, or in addition to, the information relied upon by DEQ staff in preparing this report. The request should be submitted to:

Wetland Identification Program
Department of Environmental Quality
Water Resources Division
P.O. Box 30458
Lansing, Michigan 48909-7958

The findings contained in this report do not convey, provide, or otherwise imply approval of any governing act, ordinance, or regulation, nor does it waive the obligation to acquire any applicable federal, state, county, or local approvals. This Wetland Identification Report is not a permit for any activity that requires a permit from the DEQ.

Should you need to apply for a permit for future work within this site, please use the same site name listed within the subject line of this letter when you are listing the site location within the MiWaters online permit application.

The findings contained in this report are binding on the DEQ until January 9, 2021, a period of three years from the date of this Wetland Identification Report unless a reassessment has been conducted. Please contact me at 517-243-5002; gyekisk@michigan.gov; or DEQ, P.O. Box 30458, Lansing, Michigan 48909-7958, if you have any questions regarding this report.

Sincerely,

Keto Gyekis

Kito Hyckin

Wetland Identification Program Coordinator Water Resources Division

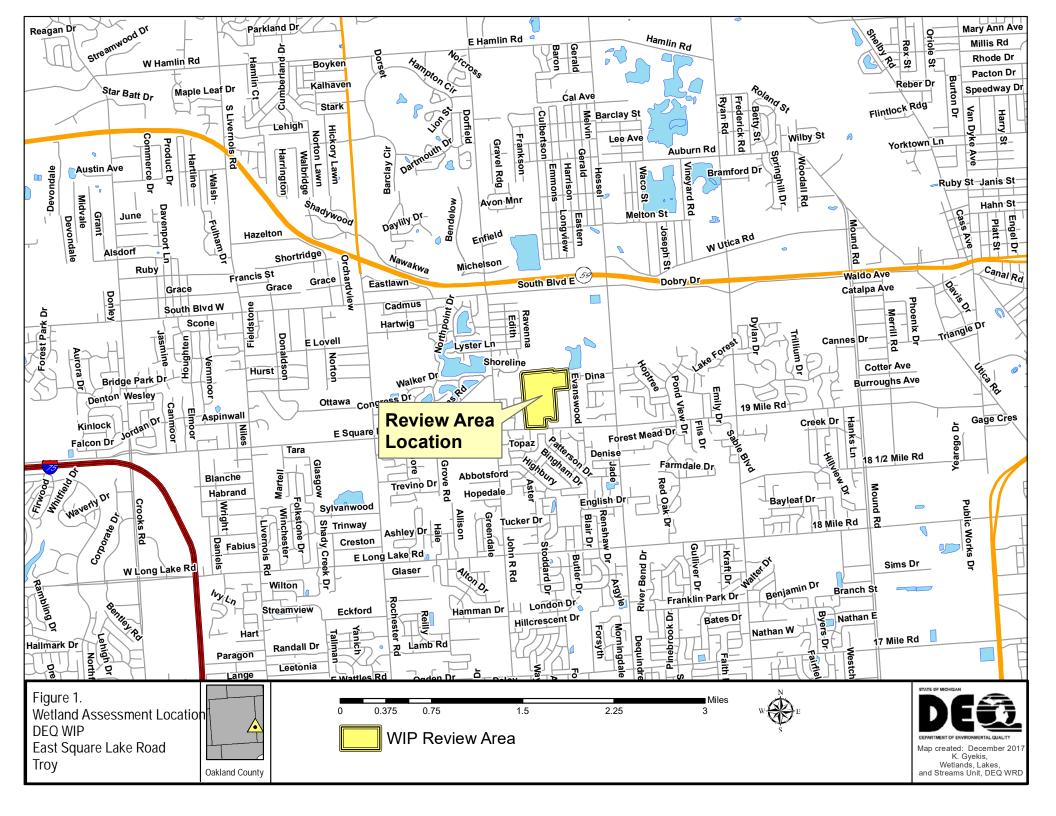
Enclosures

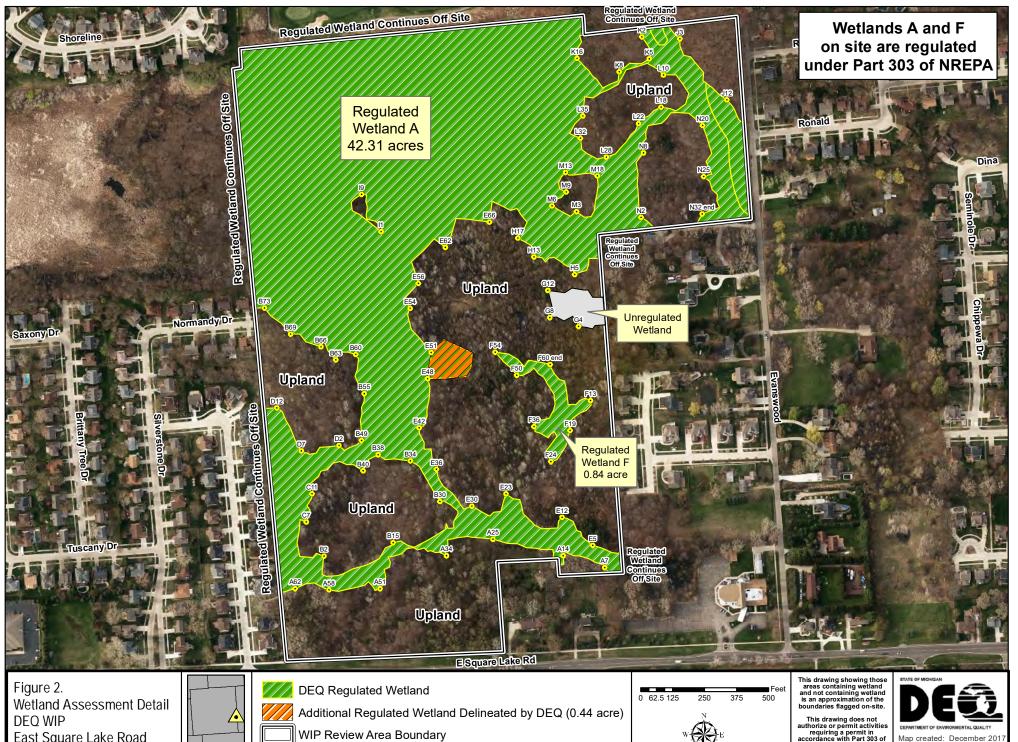
cc: Oakland County Soil Erosion Enforcement Agent (CEA)
Oakland County Health Division

City of Troy Clerk

Ms. Dana Knox, ASTI Environmental

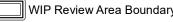
Mr. Andrew Hartz, DEQ Ms. Susan Tepatti, DEQ



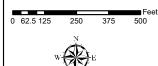


East Square Lake Road Troy





Wetland Boundary Flag



This drawing does not authorize or permit activities requiring a permit in accordance with Part 303 of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended.

K. Gyekis, Wetlands, Lakes,

and Streams Unit, DEQ WRD



MEMO

To: Mr. Tim Loughrin

Robertson Brothers Homes

Julie M. Kroll, PE, PTOE

From: Jacob Swanson, EIT

Fleis & VandenBrink

Date: July 20, 2020

"The Preserves" Proposed Residential Development

Re: Troy, Michigan

Trip Generation Study

INTRODUCTION

This memorandum presents the results of the trip generation comparison for the proposed "The Preserves" development in Troy, Michigan. The project site is located adjacent to the north side of Square Lake Road, approximately ¼ mile east of John R. Road; the site is currently undeveloped land, as shown in **Figure 1**. The proposed development plans include 30 detached condominium units within an active adult, age targeted community. The proposed access for this development includes constructing two (2) full access driveways on Square Lake Road. The study section of Square Lake Road is under the jurisdiction of the City of Troy. The project site was previously approved with a site plan consisting of 23 single-family homes. The purpose of this study is to provide a comparison of the proposed development plan to the previously approved site plan.

Site Location Square Lake Road

FIGURE 1: SITE LOCATION MAP

TRIP GENERATION

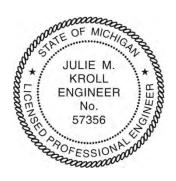
The number of Weekday peak hour (AM and PM) and daily vehicle trips were generated using the equations and rates published by the Institute of Transportation Engineers (ITE) in *Trip Generation*, 10th Edition. The trip generation of the subject site was forecast for the previously approved 23 single-family home site plan and was compared to the projected trips generated by the proposed 30 detached condominium units in the active adult, age targeted community. The trip generation forecasts are summarized in **Table 1**.

TABLE 1: TRIP GENERATION SUMMARY

Scenario	Land Use		Amount	Units	Average Daily	AM	Peak	Hour	PM Peak Hour		
Comano					Traffic	ln	Out	Total	ln	Out	Total
Previously Approved	Single-Family Detached	210	23	DU	269	5	16	21	16	9	25
Proposed Development	Senior Adult Housing-Detached	251	30	DU	195	5	11	16	12	7	19
	Potential Change in New Trips				-74	0	-5	-5	-4	-2	-6

The results of the trip generation comparison indicate the project trips generated by the proposed development will be less than the previously approved single-family development plan for this site. This is due to the trip generation characteristics of active adult communities which include residents that are retired and/or empty nesters, which differs from traditional single-family households. Additional information regarding Senior Adult Housing-Detached (LUC 251) is attached.

Any questions related to this memorandum should be addressed to Fleis & VandenBrink Engineering.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

Attached: Site Plan

ITE LUC 251 Description

JJS2:jmk





Site Data:
Overall Site Area: 81.83 Ac. Proposed Site Area: 6.12 Ac. Proposed Units: Overall Density: 0.38 Du./Ac.

Building Setbacks:

Proposed Density:

20' min. from Road or Sidewalk - Front Yard:

5.07 Du./Ac.

- Rear Yard: 22.58' min. - Building Separation: 10' min.

Road Width: 1,295 LF Road Length: Road Length per Unit: 41.77 LF/Du.

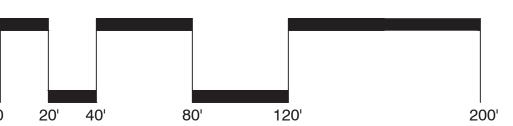
John R & Square Lake

Illustrative Concept Plan Troy, Michigan

March 2020











February 22, 2021

City of Troy Planning Department

Re: Site Plan Resubmittal Project Narrative

Meadows of Troy

Vacant Square Lake Road Road Properties

Troy, MI

Robertson Brothers Homes is pleased to resubmit a Site Plan application for a portion of the vacant property on Square Lake Road, just east of John R. The site plan has been redesigned to address the second review comments relating to overall acreage and density calculations, fire access, sidewalk connections, landscape planting requirements, and elevations and floorplans. More specifically, the plans have been revised to address the following comments from the January 22, 2021 review comments:

1. Indicate common open space acreage minus area for stormwater pond.

This is reflected on Sheet P-3.2 which is 42% open space excluding the pond.

2. Show site grading in the six acres to ensure preservation of natural area.

This is now reflected on Sheet P-4.0.

3. Where does the applicant propose trails. Will trails be entirely on the 6 acres they are preserving?

There are existing trails shown on the plan as well as a new natural trail connection to connect to the trailhead area. Refer to Sheet P-3.1



4. Extend Edmunds Drive to provide a turnaround (Tee- or cul-de-sac) beyond the last driveway.

Edmunds Drive has been shortened significantly and replaced with a long driveway for Unit 5. Therefore, a turnaround is not necessary. Refer to Sheet P-3.1

5. Amend plans to address engineering pedestrian concerns.

The plans have been revised to include more appropriate pedestrian crossing locations. Refer to Sheet P-3.1

6. Provide adequate fire apparatus turn around at the end of Turtle Woods.

The plans have been adjusted to remove a parking space to allow for a full T-turnaround within the trailhead area. Refer to Sheet P-3.1

7. Provide required landscaping.

The landscape plans have been revised to include all of the minimum planting requirements along Square Lake Road. A berm has also been added to the plans. Refer to Sheet L-1.

8. Provide elevations of all sides.

Elevation drawings (3) including side elevations have been provided.

9. Provide floor plans.

One floor plan is proposed (Raleigh), which has been provided including typical side elevations.



The Meadows of Troy project proposes 31 new detached residential condominiums that will add a quality housing product that is sorely lacking in the area. Meadows of Troy will cater to those that are looking to downsize but stay in the community and enjoy all that Troy has to offer. All of the homes will be 1,834 square feet in size and will feature a first-floor master bedroom design. Over the past decades, Robertson Brothers has had success with this housing product and is confident the project will be well received in Troy. All homes built in the development will be offered for-sale to prospective homebuyers, and our experience tells us that the product is a home plan that residents in Troy have been looking to purchase but have been unable to find.

The development consists of only a portion (12.42 acres) of a larger parcel of land (80.13 acres), which will remain as open space. There will be a pond constructed within the limits of the development, along with a parking trailhead for a future preserve. There will be an established homeowner's association which will be responsible for open space and pond maintenance. A 40' wide roadway easement with 28' of pavement width to allow for parking along one side of the street is proposed.

The School District plans to place the remainder of the land (65+ acres) under a conservancy which will remain undeveloped. Onsite wetlands have been analyzed by ASTI as previously approved, and Robertson is proposing to continue the same minor wetland mitigation process per the previous approved project, as no additional impacts are proposed. As such, the proposed wetland impact consists of only 0.09 acres of forested wetlands that will require offsetting mitigation credits.

The proposed use of the land will provide for an appropriate and logical land use adjacent to existing residential homes and along an arterial street.

The site is proposed under the One-Family Cluster Option. The purpose of the Cluster Option is intended to establish set criteria for a given property based on the unique characteristics of the land. Per the Troy Zoning Ordinance (Section 10.04), *The Cluster Option is an alternative to traditional residential development. The Cluster Option is intended to:*

1. Encourage the use of property in accordance with its natural character.



- 2. Assure the permanent preservation of open space and other natural features.
- 3. Provide recreational facilities and/or open space within a reasonable distance of all residents of the Cluster development.
- 4. Allow innovation and greater flexibility in the design of residential developments.
- 5. Facilitate the construction and maintenance of streets, utilities, and public services in a more economical and efficient manner.
- 6. Ensure compatibility of design and use between neighboring property.
- 7. Encourage a less sprawling form of development, thus preserving open space as undeveloped land.
- 8. Allow for design innovation to provide flexibility for land development where the normal development approach would otherwise be unnecessarily restrictive or contrary to other City goals.

Meadows of Troy meets the intent of the Cluster Option provisions as it allows for an efficient use of land and a land plan that provides for an extraordinary amount of quality natural open space for the City, with a housing product that is in high demand in the area. Meadows of Troy will provide innovative yet traditional design elements that enhance its building character. This development concept has been extremely well received in several Southeastern Michigan communities. Robertson Brothers Homes will be the sole builder in the project.

Section 10.04.I.2 of the Zoning Ordinance sets certain criteria for qualification of a One-Family Cluster Option plan, as described below:

a. Long-term protection and preservation of natural resources, natural features, and open space of a significant quantity and/or quality in need of protection or preservation, and which would otherwise be unfeasible or unlikely to be achieved absent these regulations.



Robertson Response: A major tenet of the proposed development is the massive amount of open space that will be dedicated as part of the approval. This open space is an important watershed and the school district will retain the remainder of the property in an undeveloped state with the ultimate condition being the dedication to a conservancy for perpetual maintenance.

b. Innovative and creative site design through flexibility in the siting of dwellings and other development features that would otherwise be unfeasible or unlikely to be achieved absent these regulations.

Robertson Response: The current regulations would allow for far more homes if the entire 80.13 acres were to be developed, as a prior PEA plan indicated **102 single family home sites** could be sited under the underlying R1-D zoning district. However, it is the intent of the school district and the developer to only build upon the front 12.42 acres of land through a cluster type of development. This can only be achieved through a Cluster development with reduced setbacks and building separations than what would normally be permitted in the R1-D district.

c. Appropriate buffer and/or land use transitions between the Cluster development and surrounding properties.

Robertson Response: The plan provides for residential to residential land uses, with no adverse impacts accordingly. The project will consist of detached condominium units, whereby an established homeowner's association will own and maintain all of the common areas. What this means for adjacent property owners is that there will be no pools, playsets, etc. at the rear of the homes. Further, the grounds will be professionally managed and maintained to provide for a high level of upkeep.

d. A compatible mixture of open space, landscaped areas, and/or pedestrian amenities.



Robertson Response: As mentioned previously, there will be an extraordinary amount of open space saved in conjunction with the approval of the development. Additionally, there will be a significant amount of common area landscaping in between and behind the homes screening Square Lake Road, all of which will be professionally maintained by the HOA. Further, there will be trailhead parking for pedestrian access to the open space, as shown and approved on previous plans.

Due to the intense planting shown along Square Lake Road, Robertson would be amenable to moving some of these trees to use as a buffer to neighbors to the east and west, if the City prefers. Our experience is that typically 10' is not sufficient for full growth of these trees.

e. Sustainable design features and techniques, such as green building, stormwater management best practices, and low impact design, which will promote and encourage energy conservation and sustainable development.

Robertson Response: The development will provide for the required County stormwater measures, and the preponderance of wetlands on the overall property will remain in their vegetative state as a result of the development.

f. A means for owning common open space and for protecting it from development in perpetuity.

Robertson Response: There will be an established Homeowner's Association that will be responsible for maintenance of all 12.42 acres, including the open space areas and storm pond. As mentioned above, the School District is planning to place the remaining property under a conservancy for the conservation of the land in perpetuity.

g. Any density bonus is commensurate with the benefit offered to achieve such bonus.



Robertson Response: The modest increase of density allows for the large amount of open space to become preserved as well as providing for future pedestrian access to the preserved area. Additionally, the proposed first-floor master bedroom designs are commensurate with filling a clear need in the community as identified by the City as included in the Open Space Cluster language.

h. The cluster development shall be adequately served by essential Public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.

Robertson Response: The development can be fully serviced by City Services and the roads, water, sewer and storm system will be installed by Robertson during land development activities.

i. The architectural form, scale, and massing shall ensure buildings are in proportion and complementary to those of adjacent properties and the selected building materials are of high, durable quality. The garage shall not be the dominant feature of a residential building.

Robertson Response: Due to the fact that every home will be a single story, the scale and massing as compared to adjacent homes is greatly minimized. As shown on the attached perspective drawing, the architectural form allows for a very low impact to viewsheds and is completely complementary to adjacent properties.

Additionally, the use of high-quality materials such as hardieboard, brick and stone ensure that the project will be a very high-quality development for the City of Troy, and the HOA will be required to maintain all ongoing exterior maintenance.



The development seeks a One-Family Cluster Option designation in order to provide for the most efficient and highest quality development for the property. As such, modifications from the underlying R1-D zoning category are shown below. Section 10.04.E.5 provides that "the City Council, based upon a recommendation from the Planning Commission, may waive the front, side, rear, and perimeter setback provisions as set forth in 10.4.E.2 provided that the applicant has demonstrated innovative and creative site and building designs and solutions, which would otherwise be unfeasible or unlikely to be achieved absent this provision."

Schedule of Regulations and Modifications Compared to R1-D Meadows of Troy												
	R1-D	Proposed Meadows of Troy	Deviations From R1-D									
Max. Density	25 Units (35 Allowed Per Bonuses)	31 Units	6 units									
Min. Building Setbacks		1										
Front Setback (Bldg)	20'	20'	In Compliance									
Front Setback (Garage)	25'	25'	In Compliance									
Side Min. Principal	7.5′	N/A	N/A									
Side Total Principal	15'	10' Between Units	5′									
Rear Setback Principal	25′	40'	In Compliance									
Perimeter Setback Principal	40′	40′	In Compliance									
Principal Building Height to Midpoint	2.5 stories/30 feet	1 story/30 feet	In Compliance									

The City's One-Family Cluster Option allows for the discretion of the Planning Commission and City Council for density bonuses in order to encourage both significant open space conservation and housing diversity options. The 12.42 acres of land as shown within the project allows for up to 35 units based on the calculation for a density bonus as a result of additional open space. Specifically, this requirement allows for the following:



Open Space. For every ten percent (10%) additional open space above the minimum required amount that is not encumbered by rights-of-way or utility easements, a ten percent (10%) bonus density may be applied, or fraction thereof above the base yield number of units as established in 10.04.C.1.

Additionally, the Ordinance encourages an additional bonus in density for home plans that utilize a master first floor bedroom design, which is the only housing product typology that the Meadows of Troy development will provide. While currently the verbiage in the Ordinance limits this density bonus to units that are 1,500 square feet in size or smaller, the Planning Commission recently recommended for approval an amendment that increases the minimum square footage to 1,900, which would include all of the homes proposed for the Meadows of Troy. Due to COVID related challenges, this amendment has yet to proceed to the City Council. While this additional density bonus is not necessary in light of the significant open space that will be conserved as a result of this project, it does demonstrate that the proposed development meets a clearly identified need and desire from City leaders to provide for this important type of housing. We believe that the impact of providing for a high quality, downsizing product for those Troy residents that desire to stay within the City boundaries will be a very positive result of the Meadows of Troy community. The elevations of the homes are intended to provide visual interest and variety

with traditional and modern elements. Materials include high quality brick with hardieboard elements. The plan has been designed with a 5' stepback for the garage, in order to break up the emphasis of the front garage doors.



Meadows of Troy/Site Plan Resubmittal 2.22.2021

11 11 11







Due to the fact that the target buyers are typically downsizing from a larger colonial home, and consist mostly of singles or couples, the impact on infrastructure and traffic will be less than the previously approved single family development. The reduction in traffic is reflected in the attached Trip Generation Study that was prepared by Fleis & Vandenbrink, and is attached to this submittal.

There are several public benefits to the project overall, such as:

- Preservation of a significant amount of open space for the overall benefit of Troy residents
- Meeting the intent of the City's Master Plan
- Reduction of traffic as compared to a single-family development with fewer homes



- Inclusion of ADA accessible sidewalks to provide for community connection
- Housing option for residents that are currently underserved
- Quality architecture and design that will complement and further the enhance the area
- Access to the future preserve area

Robertson Brothers Homes is pleased to present the Meadows of Troy site plan for One-Family Cluster Option consideration by the City. We believe the development will ultimately become a point of pride for responsible development in a solid area and will provide for a housing need in the community.

Please let me know if any additional information is required at this time.

Thank you.

Respectfully,

Tim Loughrin | Director of Land Acquisition

Robertson Brothers Homes 6905 Telegraph Rd, Suite 200, Bloomfield Hills, MI 48301

Direct Dial: 248.282.1428 | Mobile: 248.752.7402

tloughrin@robertsonhomes.com

Land Use: 251 Senior Adult Housing—Detached

Description

Senior adult housing consists of detached independent living developments, including retirement communities, age-restricted housing, and active adult communities. These developments may include amenities such as golf courses, swimming pools, 24-hour security, transportation, and common recreational facilities. However, they generally lack centralized dining and on-site health facilities. Detached senior adult housing communities may or may not be gated. Residents in these communities are typically active (requiring little to no medical supervision). The percentage of retired residents varies by development. Senior adult housing—attached (Land Use 252), congregate care facility (Land Use 253), assisted living (Land Use 254), and continuing care retirement community (Land Use 255) are related land uses.

Additional Data

Caution should be used when applying trip rates for this land use as it may contain a wide variety of studies ranging from communities with very active, working residents to communities with older, retired residents. As more data becomes available, consideration will be given to future stratification of this land use.

Many factors affected the trip rates for detached senior adult housing. Factors such as the average age of residents, development location and size, affluence of residents, employment status, and vehicular access should be taken into consideration when conducting an analysis. Some developments were located within close proximity to medical facilities, restaurants, shopping centers, banks, and recreational activities.

For the six sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 98.5 percent of the total dwelling units were occupied.

Time-of-day distribution data for this land use are presented in Appendix A. For the six general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 11:45 a.m. and 12:45 p.m. and 5:00 and 6:00 p.m., respectively.

For the six sites for which data were provided for both occupied dwelling units and total dwelling units, an average of 98.5 percent of the units were occupied.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), California, Delaware, Florida, New Hampshire, New Jersey, and Pennsylvania.

Source Numbers

221, 289, 398, 421, 500, 550, 598, 601, 629, 734, 930



DATE: April 6, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW

(<u>File Number SP2021-0014</u>) – Proposed St. Marks Coptic Church gymnasium and classroom addition, West side of Livernois, South of Wattles (Parcel 88-20-21-277-036), Section 21, Currently Zoned R-1B (One Family Residential) District.

The petitioner Design Team Plus submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for an addition to St. Marks Coptic Church. The first floor includes includes seven (7) classrooms, a kitchen, and a gymnasium with bleachers and an equipment storage area. The second floor includes five (5) classrooms, a multi-purpose room, two (2) offices, men's and women's restroom, and a storage room. The Planning Commission has approval authority for this item.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

- 1. Maps
- 2. Report prepared by Carlisle/Wortman Associates, Inc.
- 3. Public Comment.
- 4. Application.

G:\SITE PLANS\SP JPLN2020-0014 ST MARKS CHURCH\PC Memo 04 13 2021.docx

PROPOSED RESOLUTION

<u>PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0014)</u> – Proposed St. Marks Coptic Church gymnasium and classroom addition, West side of Livernois, South of Wattles (Parcel 88-20-21-277-036), Section 21, Currently Zoned R-1B (One Family Residential) District.

Resolution # PC-2021-04-

Moved by: Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed St. Marks Coptic Church gymnasium and classroom addition, West side of Livernois, south of Wattles (Parcel 88-20-21-277-036), Section 21, Zoned R-1B (One Family Residential) District, be (granted, subject to the following conditions):

- 1. Applicant agrees that there will be no concurrent use of site facilities that should require parking to exceed 322 spaces. Events or uses that draws users to the facility, such as basketball tournaments or other large gathering events, shall not be held concurrently with regularly scheduled church activities such as mass.
- 2. Applicant provides a detailed landscape review as a part of the final site plan.

) or
(denied, for the following reasons:) or
(postponed, for the following reasons:)
Yes: No: Absent:	

MOTION CARRIED / FAILED

G:\SITE PLANS\SP JPLN2020-0014 ST MARKS CHURCH\Proposed Resolution 2021 04 13.doc



GIS Online



953 0 477 953 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

TROY

GIS Online



953 0 477 953 Feet





117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: March 25, 2021

Preliminary Site Plan Review and Speical Use Review For City of Troy, Michigan

Applicant: Harold Remilinger

Project Name: Troy – St. Marks

Plan Date: September 14, 2020

Location: 3603 Livernois

Zoning: R-1 B, Single Family Residential

Action Requested: Preliminary Site Plan / Special Use Approval

PROJECT AND SITE DESCRIPTION

The applicant is requesting preliminary site plan approval to construct an addition to an existing church. The addition will also include a second floor and a basement. The first floor includes seven (7) classrooms, a kitchen, and a gymnasium with bleachers and an equipment storage area. The second floor includes five (5) classrooms, a multi-purpose room, two (2) offices, men's and women's restroom, and a storage room. Classroom use will take place during Mass times and the gymnasium will be utilized as a pre-Mass gathering space, as well as for basketball tournaments when Masses are not being held. The site is located at 3603 Livernois Road, north of Big Beaver Road. The site is zoned R-1 B, and the proposed addition to a Place of Worship requires a Special Use Permit.

As part of the discussion with the Planning Commission, the applicant shall provide detailed use of the new space, particularly on evenings, to confirm there will be no negative impact upon

adjacent residential properties to the north and south. Of particular interest is potential lighting and noise.



Figure 1. Location of Subject Site

Table 1. Zoning of Adjacent Properties

	Zoning	Use
North	R-1B, One-Family Residential	Single Family Residential
South	R-1B, One-Family Residential	Single Family Residential
East	R-1C, One-Family Residential	Instiutional (Church/School)
West	EP, Environmental Protection	Environmentally Protected Area

AREA, WIDTH, HEIGHT, SETBACKS

As set forth in Section 6.21, there are specific bulk requirement for Places of Worship. The applicant shall meet the more restrictive requirements of the R-1B Zoning District or specific use provisions for Places of Worship.

	<u>Required</u>			
	Places of Worship (6.21)	R1-B	<u>Provided</u>	<u>Compliance</u>
Max. Building Height				
Stories		2 ½	2	Complies
Feet		30 ft	30 ft	Complies

Setbacks				
Front	50 ft	40 ft	853.4 ft	Complies
Rear	50 ft	45 ft	476.5 ft	Complies
Side	50 ft	15 ft	118 ft	Complies
Side	50 ft	15 ft	39.4 ft (118 ft	Complies
			combined	Complies
Max. Lot Coverage		30%	13%	Complies

The site meets all required standards set forth in Section 6.21.

Items to be Addressed: None

NATURAL RESOURCES

The applicant is constructing the new building on an existing grass area on site. The addition does not affect any natural resource.

Items to be Addressed: None.

BUILDING LOCATION AND SITE ARRANGEMENT

The subject site currently contains a place of worship. As noted the building addition will be located on an existing grass area at the rear on the site. The addition does not require any configuration to site access, circulation, or parking lot.

Items to be Addressed: None.

PARKING, LOADING

According to the City of Troy Zoning Ordinance for Places of Worship, parking is based on the number of seats at worship. The church currently has 332 parking spaces.

Table
Off-Street Parking Requirements

		No. of Spaces	No. Spaces	Compliance
	Requirement	Required	Provided	
Off-Street	1 space per 3 seats or 6 ft. of	827 occupants / 3	332 spaces	Complies.
Existing / Proposed	pews (Sanctuary Area)	276 required spaces		

^{*}Based on applicant's parking calculation.

Based on discussions with the applicant, the current use of the classrooms and gymnasiums and the main sanctuary area will only occur during mass, i.e. children are in Sunday school and

St. Mark's Gymnasium March 25, 2021

parents in mass. Concurrent use of the facility by members should not create additional parking demand outside normal church activities. However, events or uses that draws users to the facility, such as basketball tournaments, shall not be held concurrently with regularly scheduled mass.

Items to be Addressed: Applicant agrees that there will be no concurrent use of site facilities that should require parking to exceed 322 spaces. Events or uses that draws users to the facility, such as basketball tournaments or other large gathering events, shall not be held concurrently with regularly scheduled church activities such as mass.

SITE ACCESS AND CIRCULATION

The proposed new building will not affect current site access and circulation.

Items to be Addressed: None.

LANDSCAPING

Applicant has not submitted a landscape plan. According to submitted renderings, building landscaping is planned for the proposed building. A detailed landscape review shall be completed at the final stage of site plan review.

Items to be Addressed: Detailed landscape review as a part of the final site plan.

LIGHTING

The applicant has provided a lighting (photometric) plan and lighting fixture details. The applicant is proposing two (2) lamps with two different light fixtures. Both are down directed and meet ordinance requirements.

It appears that the applicant has designed the building so that the highest window are about 20 feet above grade, and any light emitting from them would be screened by adjacent mature landscaping.

Items to be Addressed: Confirm lighting impact.

FLOOR PLAN AND ELEVATIONS

Floor plans, elevations, and dimensions have been submitted. Materials will include brick and metal. The materials match the existing building.

Items to be Addressed: None

STANDARDS FOR APPROVAL

Places of Worship, and associated uses, are permitted subject to special use approval. For any special use, according to Section 9.02.D, the Planning Commission shall "...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department's report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions."

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

- 1. Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.
- 2. Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.
- 3. Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.
- 4. Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.
- 5. Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.
- 6. Impact on the Overall Environment. The proposed Special Use shall not unreasonably impact the quality of natural features and the environment in comparison to the impacts associated with typical permitted uses.
- 7. Special Use Approval Specific Requirements. The general standards and requirements of this Section are basic to all uses authorized by Special Use Approval. The specific and detailed

requirements relating to particular uses and area requirements must be also satisfied for those uses.

Provided that the applicant can explain to the satisfaction of the Planning Commission that the use of the building, particularly on evenings, won't impact adjacent residential properties to the north and south, we find that all special use standards have been met:

- 1. The primary use of and building on the site will remain a place of worship.
- 2. There is an existing dense screening to the south and north that should screen the proposed addition.
- 3. With limitations on the co-occupancy of the main sanctuary and the new accessory facility, the addition of the accessory use to the site shall not impact traffic to the site outside of normal operations of the site as a place of worship.
- 4. The addition of the accessory building will not impact upon public services.
- 5. The accessory building does not impact the overall environment.

Items to be Addressed: None.

RECOMMENDATIONS

Provided that the applicant can explain to the satisfaction of the Planning Commission that the use of the building, particularly on evenings, won't impact adjacent residential properties to the north and South, we recommend approval of the proposed with the following conditions:

- 1. Applicant agrees that there will be no concurrent use of site facilities that should require parking to exceed 322 spaces. Events or uses that draws users to the facility, such as basketball tournaments or other large gathering events, shall not be held concurrently with regularly scheduled church activities such as mass.
- Applicant provides a detailed landscape review as a part of the final site plan.

CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, AICP, LEED AP

Principal

CARLISLE/WORTMAN ASSOC., INC.

Kristoffer Canty

Planner

From: <u>david bemis</u>

To: <u>Planning</u>; <u>City Council Email</u>

Subject: Opposition to Aoning Variance For Church on Livernois

Date: Sunday, April 4, 2021 9:43:45 AM

Planning@troymi.gov, CityCouncilEmail@TroyMI.Gov

I am opposed to all additional building and /or parking surface at St. Marks Egyptian church on Livernois

They are a private social club, existing to benefit their members only. The organization enjoys a tax free status, while consuming city resources. Other organizations like the Shriners (with their hospitals) do much more for the general population without a tax free status. The organization's signage says nothing about other religions or ethnicities being welcome. My wife and her nephew, both Western European Orthodox Christians, attended once. They were not greeted, acknowledged, or even smiled at. At the protestant church that I use to attend, there were greeters at all exterior doors and at the sanctuary entrance, and a coffee hour for mingling. A visitor could not attend without being greeted, both entering and exiting, and acknowledged. This may also be discrimination on the part of this private social club.

They are polluters. I personally found where they dumped used engine oil, and an oil filter, and other junk, in the woods and buried the oil before I could get an ordinance officer there (about 15 minutes)

They do not maintain their properties. The original building looks to be in disrepair. Is it even usable? The organization owns several Residential properties on the South side of Kirk Lane Drive. These homes are eyesores, detracting from the neighborhood. The last time I was on their property, before their 'no trespassing' sign, the house looked to be a mess. They have not maintained the plantings on the North or South side of their properties.

They falsely said they would plant an evergreen screen on the berm on the North side of their property and did not.

I am sure a building as tall as a gymnasium will be an eyesore in a residential neighborhood.

If allowed to add buildings, the organization is likely to come back saying they need more parking because of increased attendance. Added water runoff, from these and added buildings and parking, from precipitation, may overwhelm storm drains, causing pollution and flooding. This could also cause water damage to the city park.

I have been told by neighbors, whose property, abuts the organization properties, of infringement on property line setbacks, of noise, trespassing on their yard by persons from the organization, dumping engine oil on the ground, and being disrespectful of the neighbors (giving them the middle finger salute).

In summary; the "Coptic church" may be discriminatory, they have demonstrated their lack of property maintenance, they are polluters, their proposed building will not fit the neighborhood, they are not good neighbors, and their additions may cause water damage to the infrastructure and surrounding areas. They have, more or less, given the middle finger salute to the city of Troy and to the neighborhoods.

CITY OF TROY PRELIMINARY SITE PLAN APPLICATION

CITY OF TROY PLANNING DEPARTMENT 500 W. BIG BEAVER TROY, MICHIGAN 48084 248-524-3364 FAX: 248-524-3382 E-MAIL: planning @ troymi.gov



PRELIMINARY SITE PLAN REVIEW FEE
\$1,000.00
ESCROW FEE
\$1,500.00
ADMINISTRATIVE SITE PLAN REVIEW FEE
\$300.00

1. NAME OF THE PROPOSED DEVELOPMENT: Gymnasic	m and Classroom Expansion	
2. ADDRESS OF THE SUBJECT PROPERTY: 3603 Liverno		
3. ZONING CLASSIFICATION OF THE SUBJECT PROPERT		tial
4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPE		_
5. DESCRIPTION OF PROPOSED USE: Recreation and E		
6. APPLICANT:	PROPERTY OWNER:	
NAME Harold Remilinger	NAME Father Maximus Habib	THE CONTRACTOR OF THE
COMPANY Design Team Plus	COMPANY St. Mary & St. Philopa	ater Coptic Orthodox Church
ADDRESS 975 East Maple Rd., Suite 210	ADDRESS 3603 Livernois	1.00
CITY Birmingham STATE MI ZIP 48009 TELEPHONE 248-559-1000		STATE MI ZIP 48083
TELEPHONE 246-559-1000	TELEPHONE 248-835-9238 E-MAIL fr.maximus@gmail.com	
harold@designteamplus.com	E-MAIL MATTANATION GITTAINS	om.
E-MAIL harold@designteamplus.com		
E-MAIL harold@designteamplus.com 7. THE APPLICANT BEARS THE FOLLOWING RELATIONSH		BJECT PROPERTY:
E-MAIL harold@designteamplus.com 7. THE APPLICANT BEARS THE FOLLOWING RELATIONSH		BJECT PROPERTY:
E-MAIL harold@designteamplus.com 7. THE APPLICANT BEARS THE FOLLOWING RELATIONSH Architect		DATE 09-14-2020
E-MAIL harold@designteamplus.com 7. THE APPLICANT BEARS THE FOLLOWING RELATIONSH	IP TO THE OWNER OF THE SUI	

APPLICANT: NAME Harold Remlinger	PROPERTY OWNER: NAME Father Maximus Habib		
COMPANY Design Team Plus	COMPANY St. Mary & St. Philopater Coptic Orthodox Church ADDRESS 3603 Livernois		
ADDRESS 975 East Maple Rd., Suite 210			
CITY Birmingham STATE MI ZIP 48009	CITY Troy STATE MI ZIP 48083		
TELEPHONE 248-559-1000 E-MAIL harold@designteamplus.com	TELEPHONE 248-835-9238 E-MAIL fr.maximus@gmail.com		
8. THE APPLICANT BEARS THE FOLLOWING RELATION Architect	NSHIP TO THE OWNER OF THE SUBJECT PROPERTY:		
9. SIGNATURE OF APPLICANT Harold J Remling	ger, AIA DATE 09-14-2020		
10. SIGNATURE OF PROPERTY OWNER	DATE 9/16/902		
BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES THE OF THE REQUEST FOR SPECIAL USE APPROVAL.	E PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC		







September 14, 2020

Ladies and Gentlemen,

As some of you may know, St. Mark Coptic Orthodox Church ("St. Mark COC") has been a member of the City of Troy since the 1970s. It began as a small church serving a handful of families and, with the growth of the City as a whole, St. Mark COC has seen its own congregation grow as well. We are excited to put forward this plan for your review and consideration and offer the following as additional background context.

St. Mark COC's campus consists of two separate church buildings. The first structure (directly west of Livernois) is the original church building and was constructed beginning in the late 1970s. The building is still used multiple times per week for various services and holds approximately 200 to 250 parishioners. Due to the growth of St. Mark COC's parishioners in and around Troy, a second, significantly larger building was constructed and was opened for use in the early 2000s. The second building can serve between 800 and 825 parishioners per service. The building truly is a hidden gem within the City. It's architectural design, structure, and interior finishes have been honored by industry organizations.

Now, as first- and second-generation parishioners have grown and started their own families (many of whom currently reside in Troy), the need for expanded facilities to house Sunday school rooms and multi-purpose gatherings has become necessary. A few years ago, in 2017, church representatives met with City officials to discuss preliminary thoughts for this expansion project. At that time, it was determined necessary that overflow parking be finalized. This was done to provide adequate parking for all parishioners at maximum service levels. The parking expansion project was completed in 2018 and we are happy to report that with the expanded parking, week-over-week services have had no issues with parking.

However, the additional parking did not alleviate the dire need for expanded space within the building following services. It is customary in the Coptic Orthodox Church to have Sunday school directly following services every Sunday. As indicated, with the expanded growth of the church and its families, there is presently insufficient capacity to house Sunday school and other activities on a weekly basis. St. Mark COC's clergy members, board, planning committee, and design team worked hard to establish a viable plan that will not only support the expanded growth into the future at St. Mark COC, but also serve as a catalyst for a strategic community inreach and outreach initiative that St. Mark COC is presently undertaking.

As you will see, the plan as presented consists of a multi-use space with a significant footprint that can be used for activities both by parishioners within St. Mark COC, as well as those in need within our community. Much like many of the other flourishing churches in Troy, we envision and hope that one day we can provide space for voting, blood drives, in-person workshops, job fairs and the like. Finally, in response to potential inquiries concerning when and by whom the multi-use space will be used, the plan is to keep the space locked at all times, except for permitted entry (which will be monitored at all times with motion-sensing cameras and entry/exit access codes). No children will be permitted within the space without adult supervision, and no loud activities will be permitted in the space after 8:00 p.m.

We look forward to working with the City on this project. Your time and attention are very much appreciated.

St. Mark Coptic Orthodox Church Construction Committee

ST. MARY & ST. PHILOPATER COPTIC ORTHODOX CHURCH

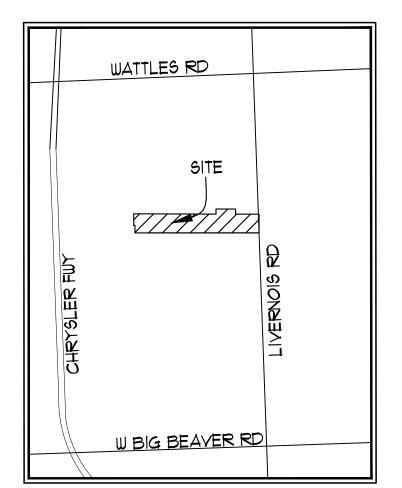
3603 LIVERNOIS TROY, MI 48083





CONCEPTUAL EXTERIOR RENDERING

NOT TO SCALE





BUILDING DAT	A :			
ZONED: R-IB O	NE FAMILY RESIDENTIAL	REQUIRED PARKING SPACES:		
FOTAL SITE AREA: BUILDING COVERAGE: ST. MARY ST. PHILOPATER: ST. MARKS: RECTORY: ACCESSORY STRUCTURE: GROSS TOTAL SQ FT: ALLOWABLE LOT COVERAGE	9.527 ACRES = 415 Ø18.17 SQ. FT. 41,201.00 SQ. FT. (INCLUDING PROPOSED ADDITION) 10,010.00 SQ. FT. 2,305.00 SQ. FT. 1,3200.00 SQ. FT. 54,866 SQ FT = 13% OF TOTAL SITE AREA E: PER ZONING ORDINANCE, 30% ALLOWED	EXISTING CHURCH: PROPOSED ADDITION: TOTAL PARKING SPACES:	NO INCREASE NOTE: CLASSE DURING MASS UTILIZED AS A SPACE, AS WE BASKETBALL MASSES ARE N	TOURNAMENTS WHEN NOT BEING HELD NO ADDITIONAL SPACES 332 SPACES
		SETBACK REQUIREMENTS:		
PROPOSED ADDITION:		SIDE	REQUIRED	PROVIDED
GROSS SQUARE FOOTAGE:		FRONT	40'	±853.4'
BASEMENT:	8,221,600 SQ. FT.	SIDE	15' MIN 30' COMBINED	39.4' MIN 118' COMBINED
CLASSROOM: GYMNASIUM:	9,558.7Ø SQ. FT. 8,968.Ø SQ. FT.	REAR	45'	476.5'
SECOND FLOOR:	8,980.80 SQ. FT.	HEIGHT	2 ½ STORIES	2 STORIES

DIRECTORY				
CLIENT	FATHER MAXIMUS HABIB ST. MARK COPTIC ORTHODOX CHURCH	3603 LIVERNOIS TROY, MI 48083	(248) 835-9238	
ARCHITECT	HAROLD J REMLINGER AIA, LEED AP DESIGNTEAM PLUS, LLC	975 E. MAPLE RD, SUITE 210 BIRMINGHAM, MI 48009	(248) 559-lØØØ	
CIVIL ENGINEER	TIM 5. STOREY, PE STOREY ENGINEERING GROUP, LLC	48264 MANCHESTER MACOMB, MI 48044	(586) 216-1043	
STRUCTURAL ENGINEER	DR. ATHANACIOS NASR, PRINCIPAL DESAI/NASR NOW IMEG. CONSULTING ENGINEERS	6765 DALY ROAD WEST BLOOMFIELD, MI 48322	(248) 847-3233	

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DesignTeam +
975 E. Maple Road, Suite 210
Birmingham, Michigan 48009

info@designteamplus.com

St. Mary & St. Philopater Coptic

Orthodox Church 3603 Livernois Troy, MI 48083

St. Mary & St. Philopater Coptic Orthodox Church 3603 Livernois Troy, MI 48083

Designed/Drawn

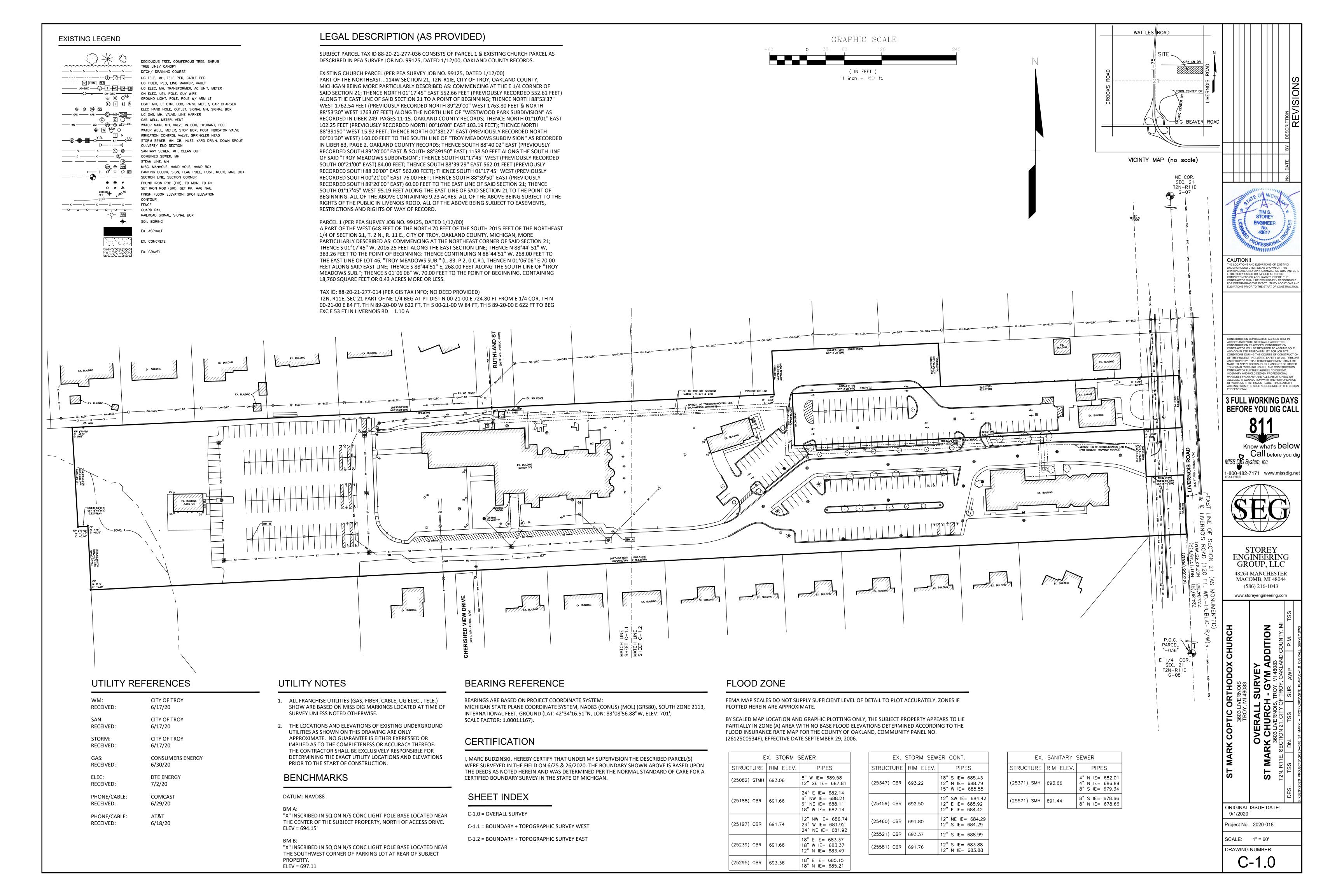
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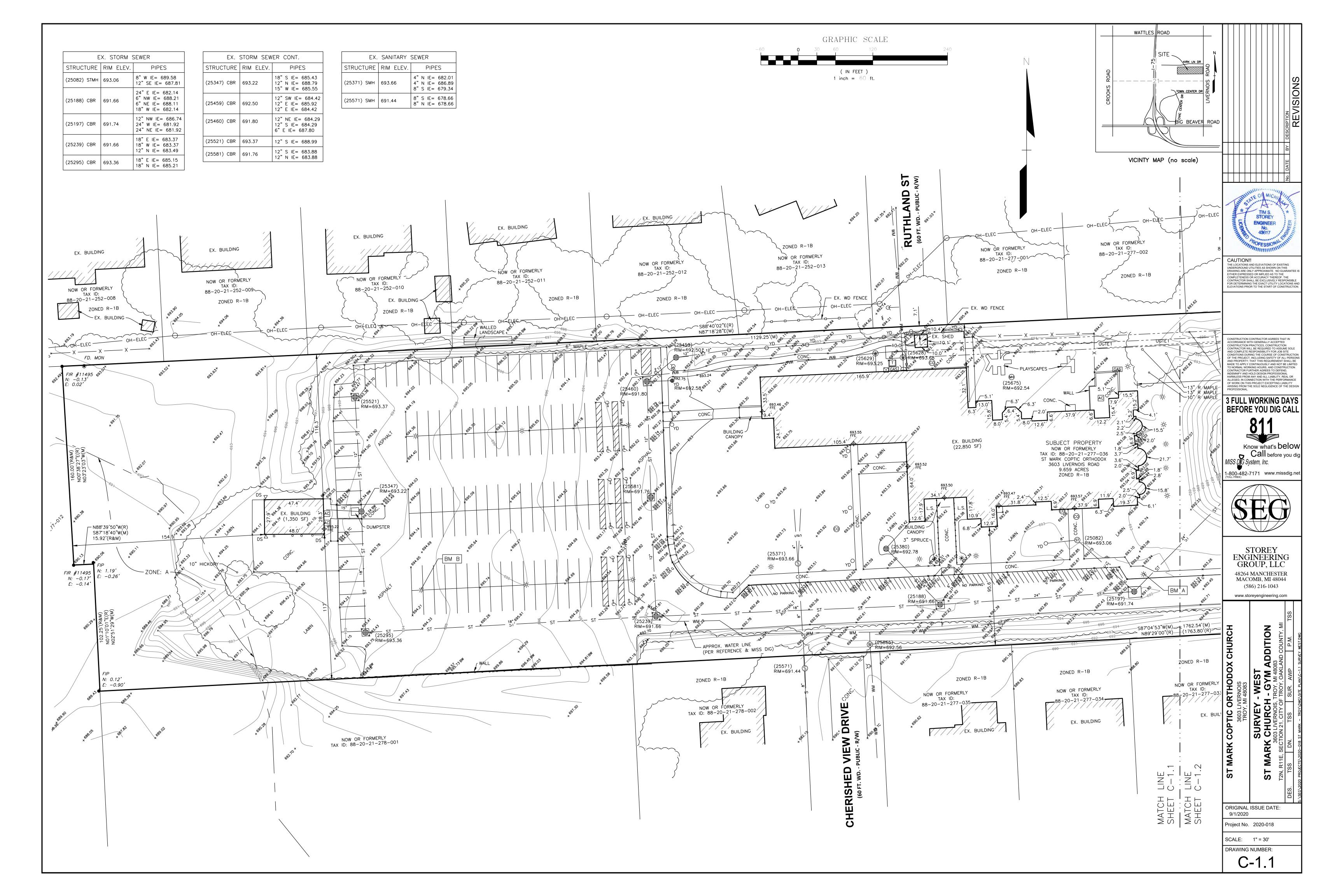
Job #	322-2019
File: SPA_	_ST MARKS GYMNSAIUM AND
Date/Revisions	Issue for
12/18/19	CLIENT REVIEW
01/14/2020	CLIENT REVIEW
05/01/2020	ENGINEERING REVIEW
09/14/2020	SPA + SPECIAL LAND USE

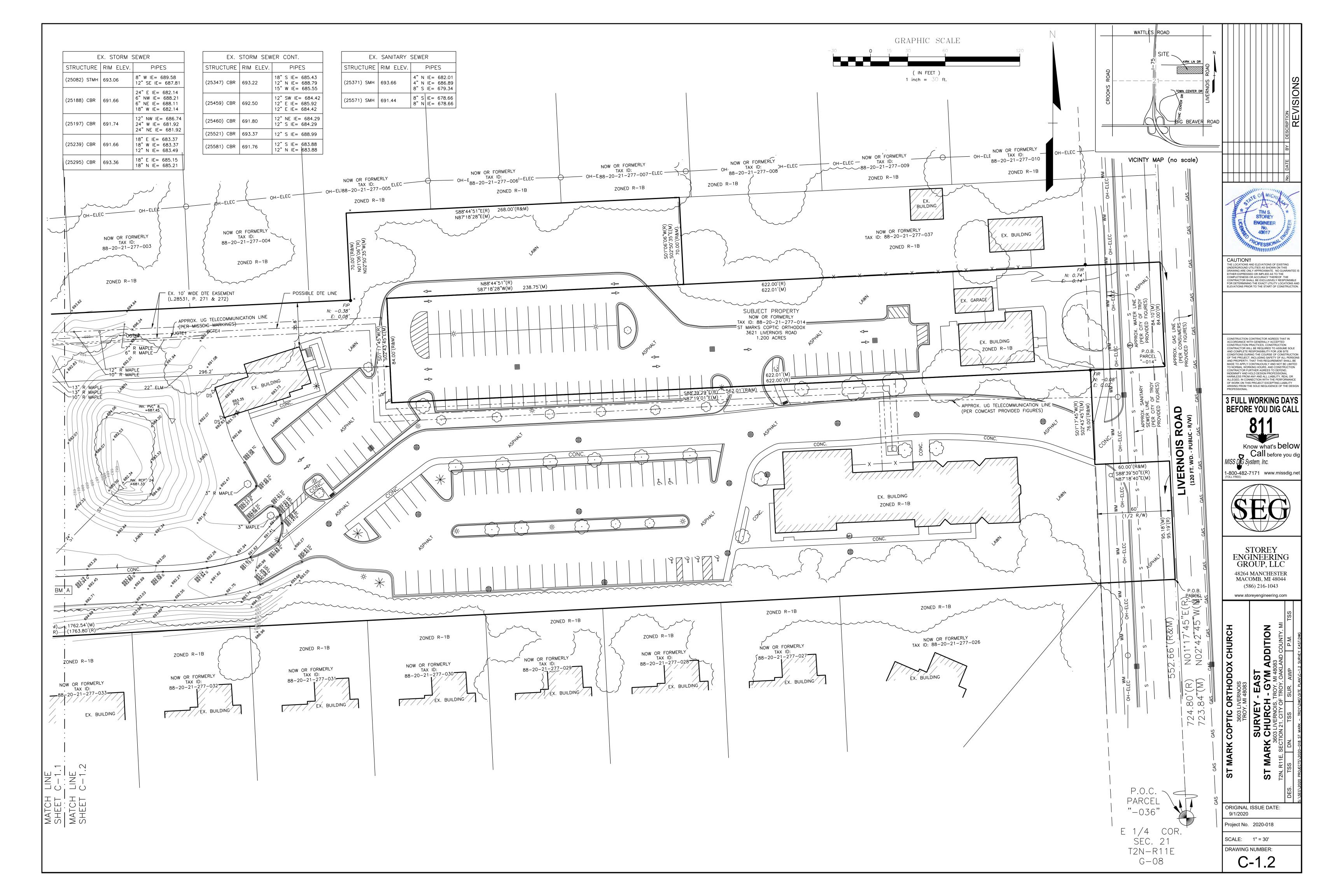
HJR/JA/JT/TD

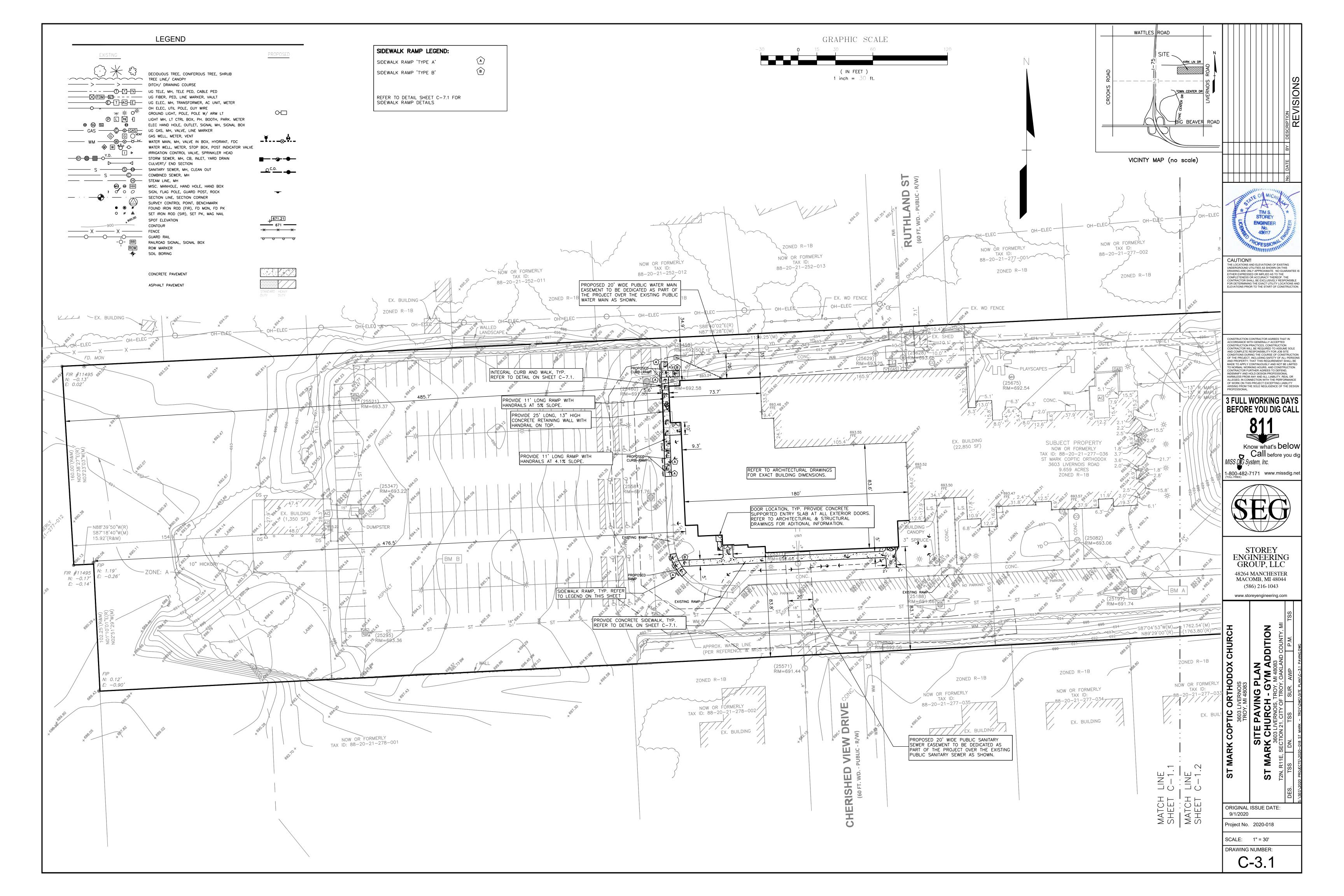
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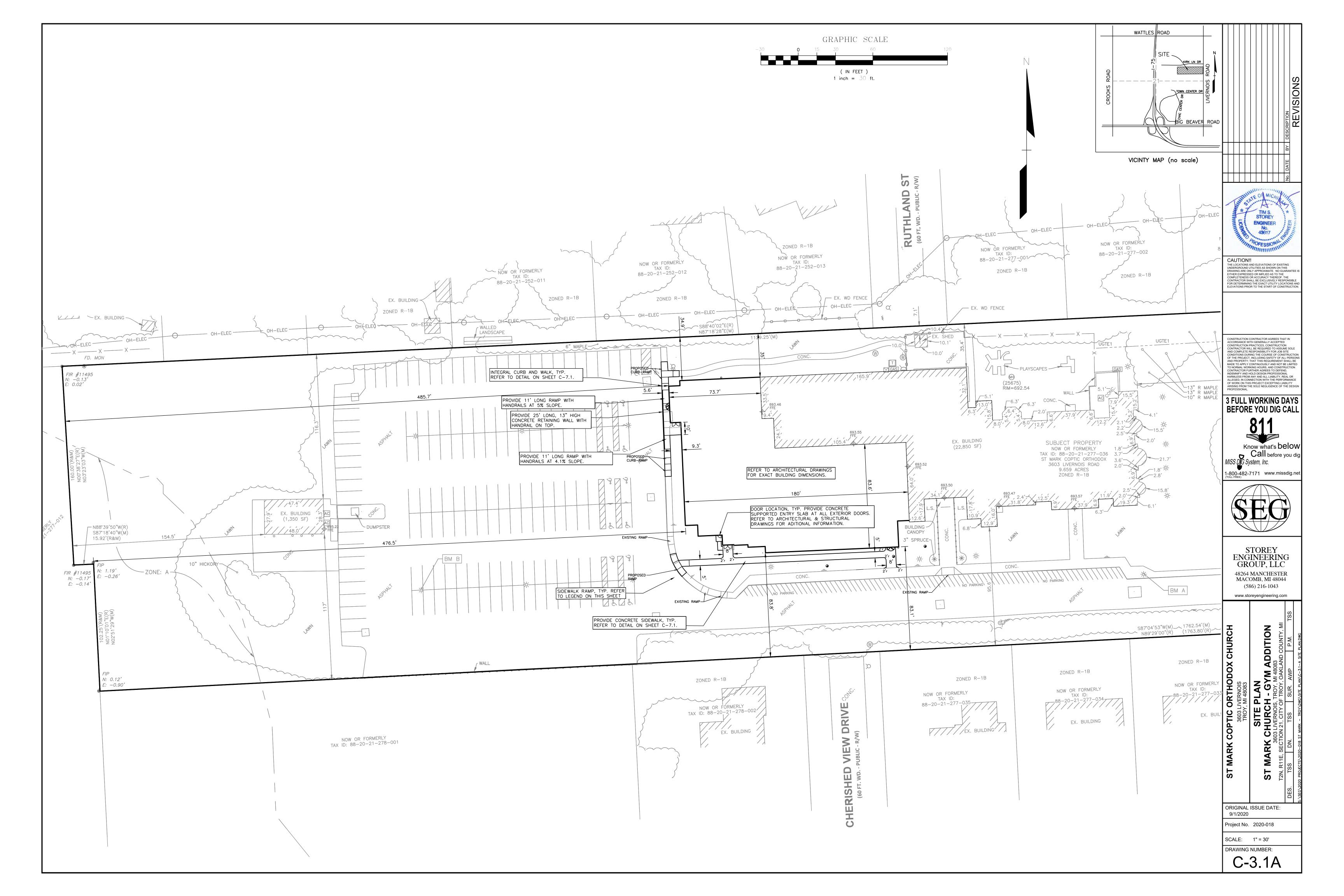
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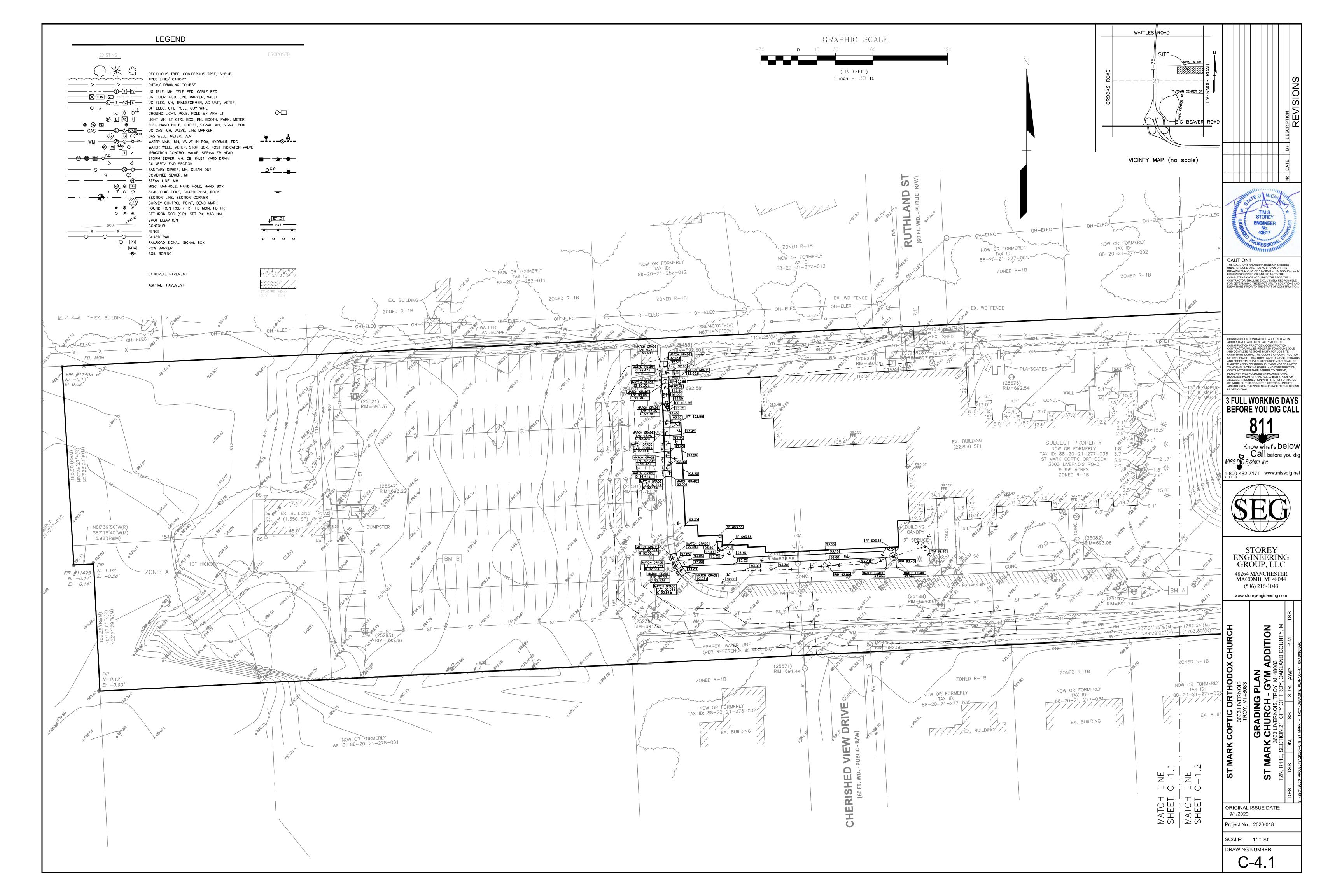


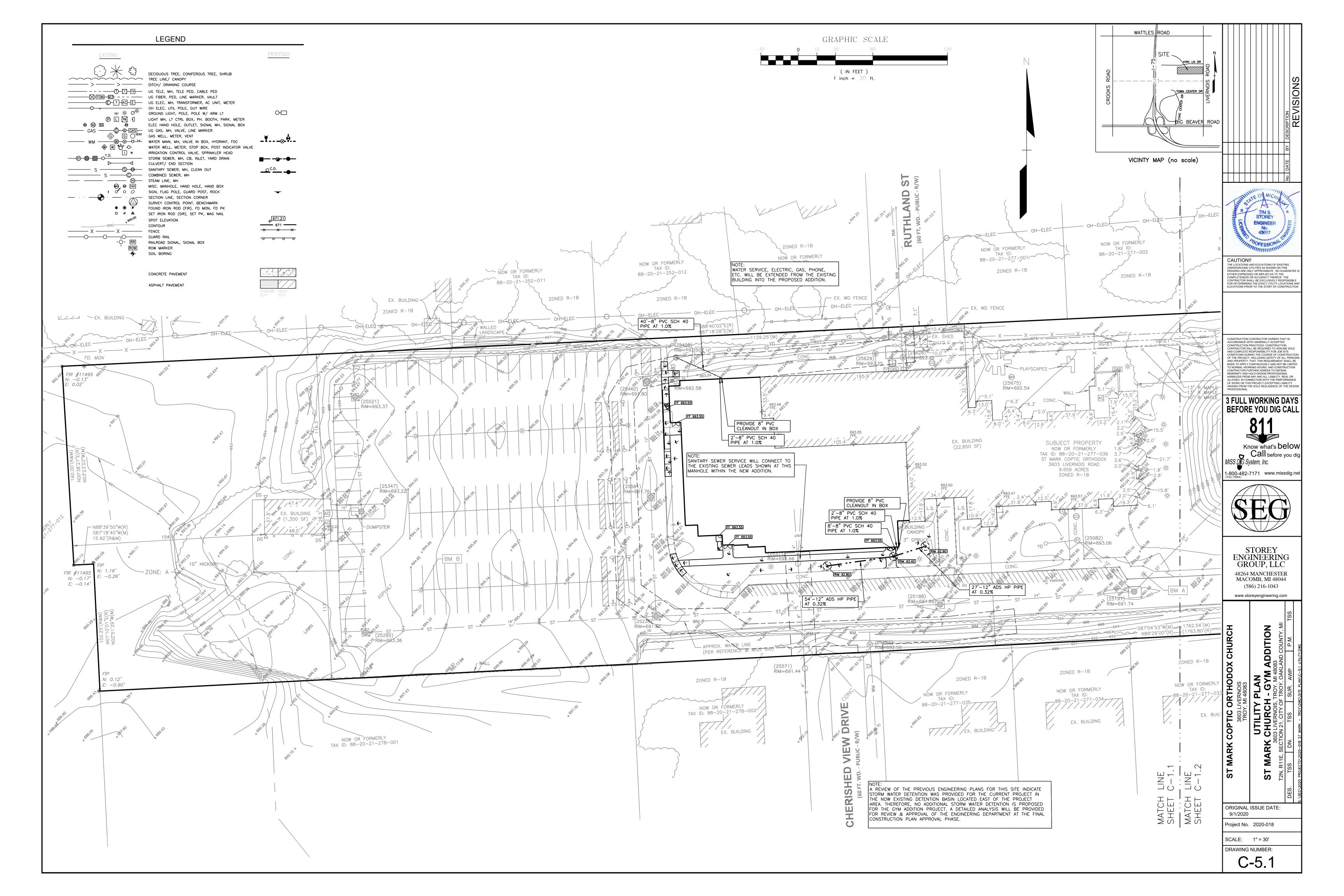




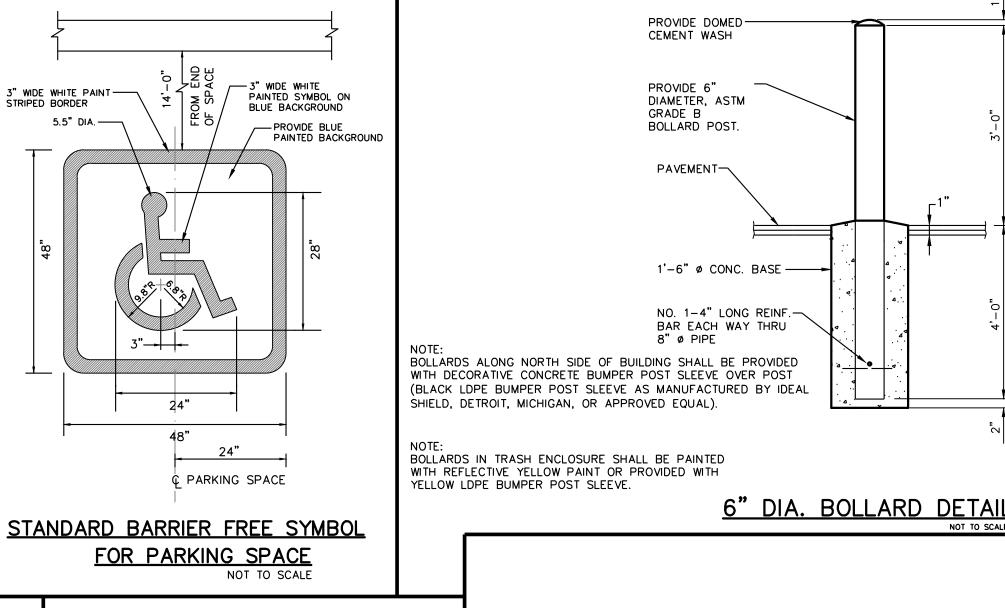


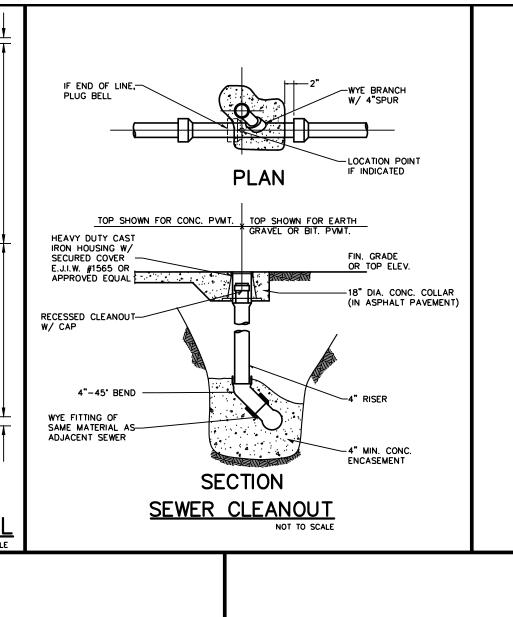






GENERAL NOTES: ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, MDOT AND OAKLAND COUNTY. ALL NECESSARY PERMITS, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE SHAPE AND SIZE VARIES CONTRACTOR. THE OWNER SHALL PAY FOR ALL MUNICIPAL INSPECTION FEES. " WIDE WHITE PAINT ---STRIPED BORDER THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB. 5/16" BOLTS IN 3/8" DRILLED HOLES PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (1-800-482-7171) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND ÙTILITIES AND SHALL NOTIFY OTHER REPRESENTATIVES OF OTHER UTILITIES IN THE SIGN POST GALVANIZED STEEL CHANNEL POST . ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OF OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FINISHED - TOP OF CURB FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED. GRADE THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTAIN TRAFFIC IN ACCORDANCE WITH "MMUTCD" ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA 3.5' MIN. REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND. 10. ALL REFERENCES TO M.D.O.T. SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. SIGN AND POST INSTALLATION PAVING NOTES: IN LANDSCAPED AREAS ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, MDOT AND OAKLAND COUNTY, WHERE APPLICABLE. . IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL R7-8 (12"x18") BE CLASSIFIED AS SUBGRADE UNDERCUTTING. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE BORDER - GREEN -5. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS. 5. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB. BACKGROUND - WHITE-REFLECTORIZED GENERAL UTILITY NOTES: ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, MDOT AND OAKLAND COUNTY. 2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS 3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER. ACCESSIBLE 4. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL A CLEAN HOLE WITH A HOLE SAW AND USE AN INSERTA TEE TO MAKE THE CONNECTION. 5. EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD GREEN LETTERING & BORDER -ON WHITE REFLECTORIZED BACKGROUND ENGINEER PRIOR TO INSTALLATION. (7'-0" MOUNTING HEIGHT) STORM SEWER NOTES: BARRIER FREE PARKING . ALL STORM SEWER SHALL BE INSTALLED ON STANDARD BEDDING OR BETTER. SIGN DETAIL 2. JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE PREMIUM JOINT TONGUE AND GROOVE WITH RUBBER GASKETS, UNLESS SPECIFIED OTHERWISE. NOT TO SCALE 3. ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV OR HDPE ADS HP OR APPROVED EQUAL, UNLESS OTHERWISE NOTED. PROVIDE FORMED CURB AT EDGE -4. CULVERTS SHALL BE ALUMINIZED TYPE II CSP (OR HDPE ADS HP) WITH BANDED OR PUSH-ON OF WALK TO MAINTAIN ELEVATION JOINTS MEETING MANUFACTURERS SPECS ACROSS LANDSCAPE AREA. 5. STORM LEADS 6" AND SMALLER SHALL BE PVC SCH 40 WITH GLUED JOINTS BEDDED ON SAND OR STONE AGGREGATE. 6. STORM LINES 8" TO 10" SHALL BE PVC SDR-26 WITH PREMIUM GASKET JOINTS BEDDED ON JOINT AT BUILDING SAND OR STONE AGGREGATE. INTERFACE, TYP. WATER MAIN NOTES: ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH PROVIDE ISOLATION GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY JOINT AT TOP OF -SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5°) DEGREE BENDS, PROPERLY ANCHORED. MAINTAIN MIN. 18" VERTICAL SEPARATION BETWEEN WATER AND





NOTE: ALTERNATE REVERSE

CURB SECTION TO BE USED

ONLY WHEN DRAINING AWAY

5-1/2"

12-1/2"

SLOPE 1" PER/ H

#4 BARS -

—3500 P.S.I. CONC.

CONTRACTION JOINT CONT.

STANDARD CONCRETE CURB AND GUTTER

(NOTE: REBAR SHALL BE

AS INDICATED ON PLANS

EPOXY COATED WITHIN

CITY RIGHT OF WAY)

NOT TO SCALE

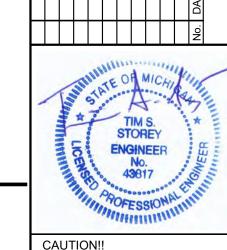
INTEGRAL CURB AND WALK

FROM CURB.

SUBGRADE OR ENGINEERED -

FILL COMPACTED TO 95% OF

MAX. DENSITY ASTM D-1557.



CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EYACT LITLY LOCATIONS A OR DETERMINING THE EXACT UTILITY LOCATIONS LEVATIONS PRIOR TO THE START OF CONSTRUCT

STRUCTION CONTRACTOR AGREES THAT IN CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL

3 FULL WORKING DAYS **BEFORE YOU DIG CALL**

Know what's **below** Call before you dig

- STANDARD SECTION

ALT. REVERSE CURB SECTION

NOTE: ALL CURBS TO HAVE 1/4"

EXPANSION JOINTS AT MAX. 100 FEET

JOINTS AT MAX. 20 FEET INTERVALS.

INTERVALS WITH DOWELS AND CONTROL

CONCRETE MIX.

ASPHALT PAVING

∵¢.0.ç∴

1-800-482-7171 www.missdig.ne

STOREY ENGINEERING GROUP, LLC 48264 MANCHESTER MACOMB, MI 48044

(586) 216-1043 www.storeyengineering.com

DET, H - G S ၂ဝ ပ

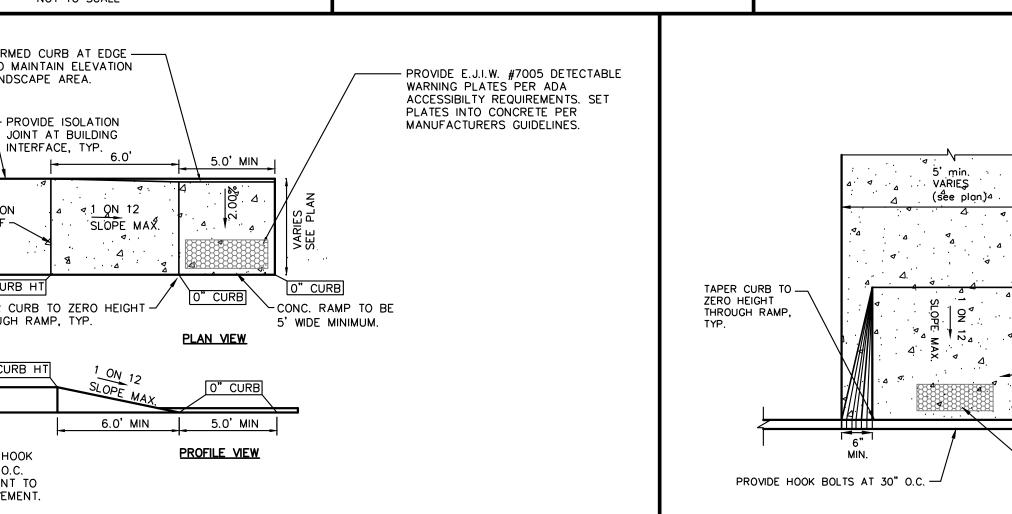
> ORIGINAL ISSUE DATE: 9/1/2020 Project No. 2020-018

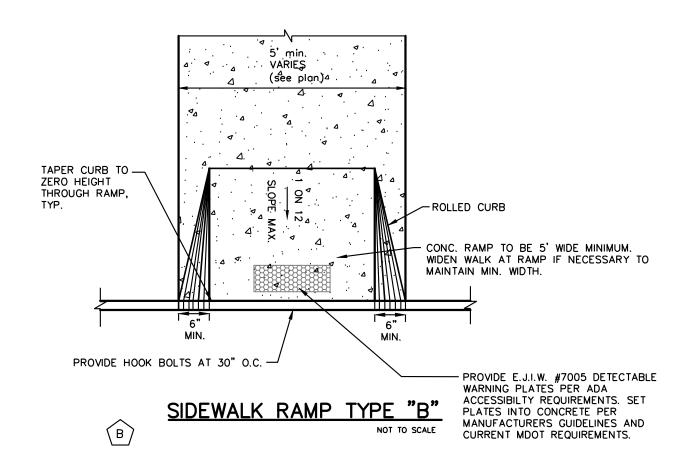
SCALE: 1" = 30'

DRAWING NUMBER: C-7.1

TEXT - RED -BACKGROUND - WHITE ---RED ON WHITE REFLECTORIZED 7'-0" MOUNTING HEIGHT R7-2 (MODIFIED) 2 NO PARKING SIGN DETAIL PROVIDE E.J.I.W. #7005 DETECTABLE WARNING PLATES PER ADA ACCESSIBILTY REQUIREMENTS. SET PLATES INTO CONCRETE PER MANUFACTURERS GUIDELINES.

BORDER - RED-





2.0" M.D.O.T. #13A

2.0" M.D.O.T. #13C

BOND COAT -

COMPACT UPPER 10" OF ──

EXIST. SUBGRADE OR FILL TO MIN 95% DRY DENSITY

(ASTM D-1557)

8" MDOT 21AA AGGREGATE BASE

95% MAX DENSITY (ASTM D-1557)

COURSE COMPACTED IN TWO (2) LIFTS.

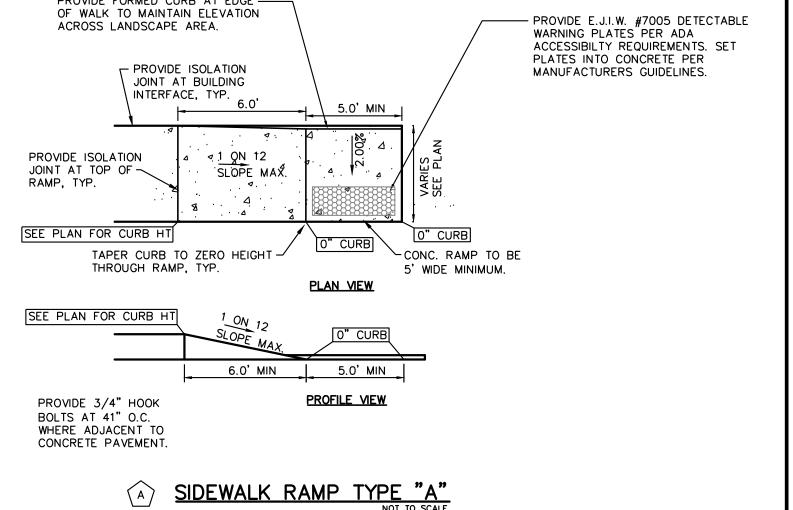
BASE COURSE SHALL BE COMPACTED TO ---

BITUMINOUS WEARING COURSE

BITUMINOUS LÉVELING COURSE

STANDARD DUTY ASPHALT

PAVEMENT SECTION



SANITARY SEWER NOTES:

SANITARY SEWER OR STRUCTURE.

COPPER OR APPROVED EQUAL.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY AND OAKLAND COUNTY.

8. REFER TO CITY OF TROY STANDARD SPECIFICATIONS AND DETAILS FOR WATER MAIN

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT

3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE

NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER

5. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS

MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY

ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54. WATER SERVICES SHALL BE TYPE K

DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST

4. ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.

TRENCHES TO BE COMPACTED TO 90% OR BETTER.

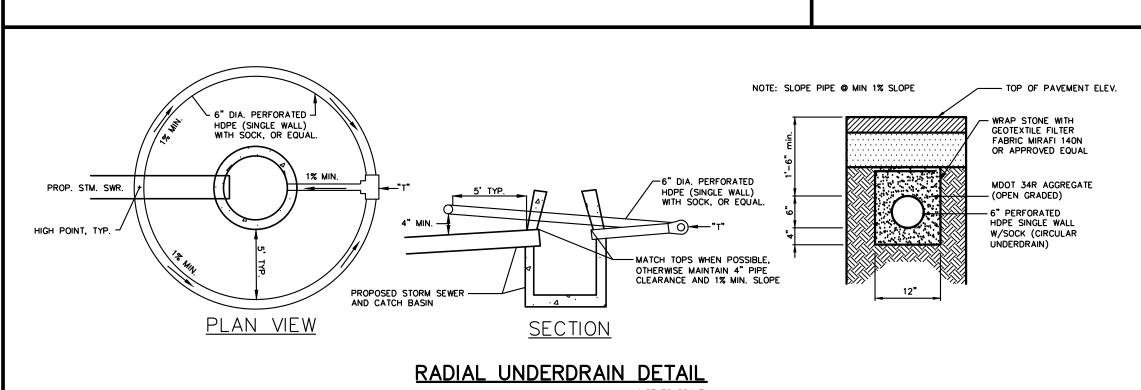
UNTIL TESTING IS SATISFACTORILY COMPLETED.

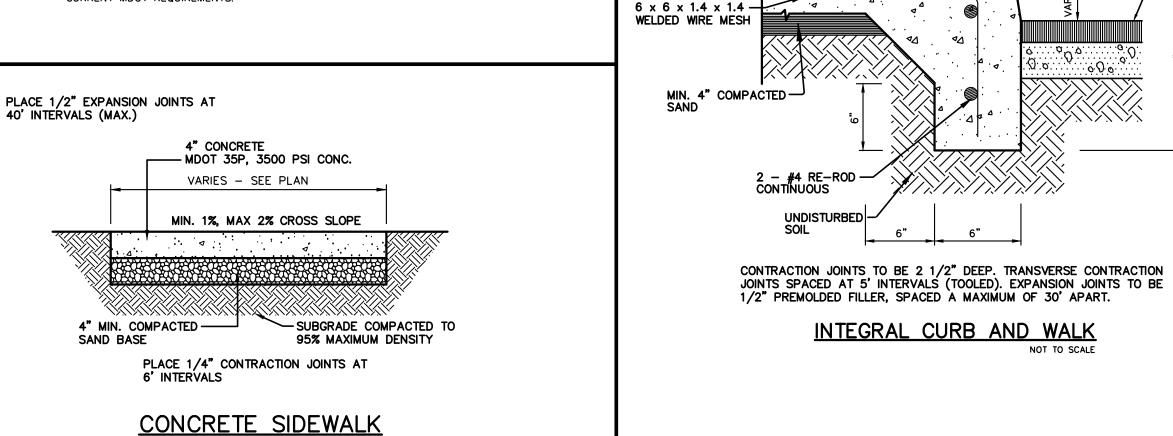
CONSTRUCTION FOR ADDITIONAL INFORMATION.

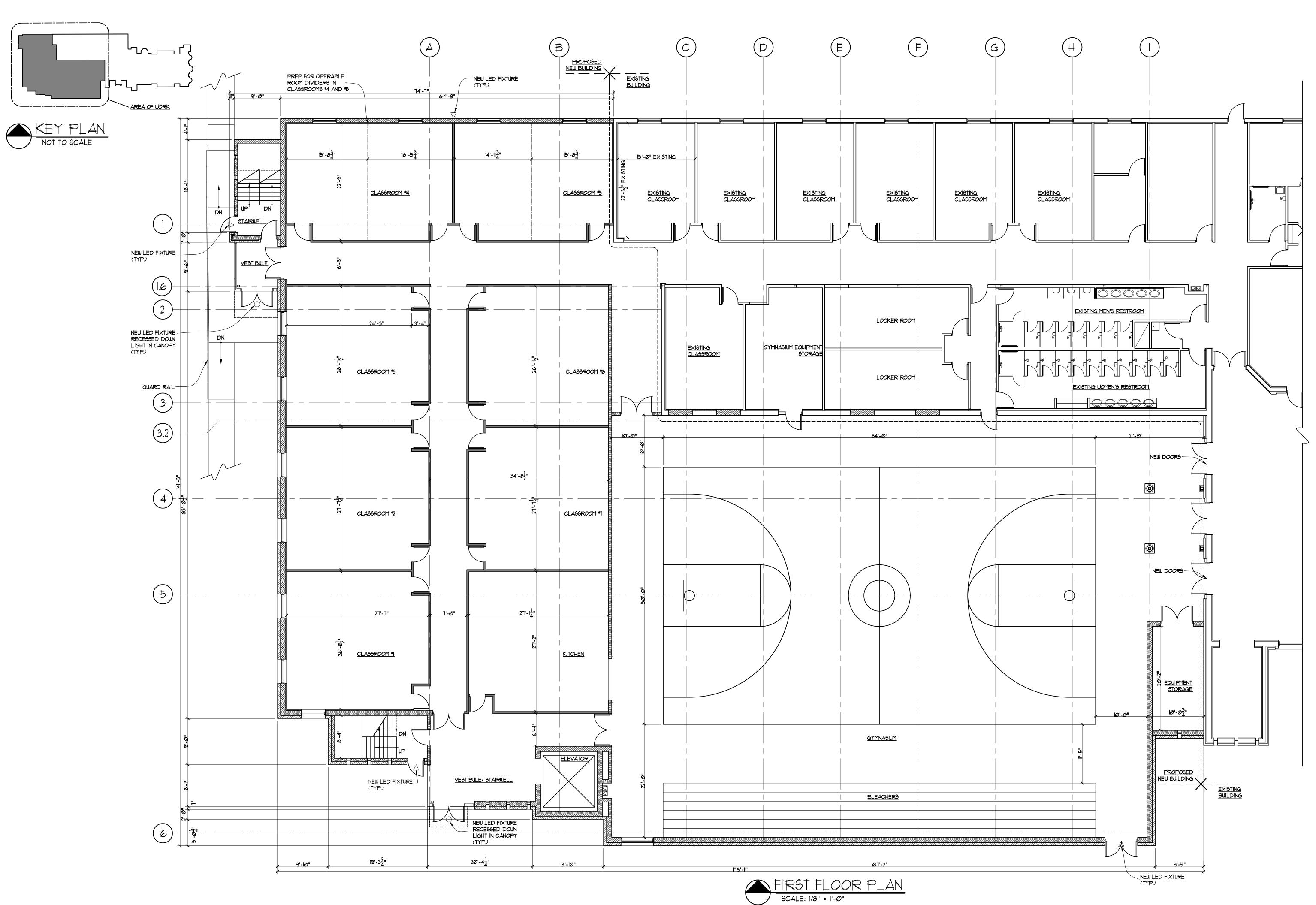
STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, OAKLAND COUNTY AND MDEQ.

ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR

- 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- 3. ALL TRENCHES UNDER OR WITHIN THE 45° ZONE OF INFLUENCE LINE OR 5 FEET OF EXISTING AND/OR PROPOSED PAVEMENT SHALL BE BACKFILLED WITH SAND AND COMPACTED TO 95% OF MAXIMUM DENSITY PER ASTM D-1557.
- 4. ALL SEWERS SHALL BE PLACED ON MIN. 4" SAND OR GRAVEL BEDDING WHICH SHALL EXTEND TO MIN. 12" OVER TOP OF THE PIPE AND SHALL BE COMPACTED IN MIN. 6"
- 5. A MINIMUM OF 18" OF CLEARANCE MUST BE MAINTAINED AT ALL CROSSINGS BETWEEN SANITARY, WATER MAIN AND STORM SEWER, UNLESS PROVIDED WITH A CONCRETE CRADLE.
- 6. NO SANITARY SEWER INSTALLATION OR PORTION THEREOF SHALL HAVE INFILTRATION EXCEEDING 200 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER 24 HOUR PERIOD. JOINTS FOR P.V.C. SOLID WALL OR TRUSS PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) MEETING A.S.T.M. D-3212.
- 7. SANITARY SEWER MAIN AND LEADS 8" DIAMETER & SMALLER SHALL BE CONSTRUCTED OF P.V.C. SOLID WALL PIPE CONFORMING TO ASTM D-3034, SDR 26.
- 8. SEE CITY OF TROY STANDARD SPECIFICATIONS & DETAILS FOR ADDITIONAL INFORMATION.









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Birmingham, Michigan 48009

info@designteamplus.com

P: 248. 559. 1000

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Orthodox Church
3603 Livernois
Troy, MI 48083

Project

St. Mary & St.
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Orthodox Church
3603 Livernois
Troy, MI 48083

Designed/Drawn HJR/JA/JT/TD
Checked/Approved HJR
Job # 322-2019
File: SPA_ST MARKS GYMNSAIUM AND

Date/Revisions Issue for

12/18/19 CLIENT REVIEW

01/14/2020 CLIENT REVIEW

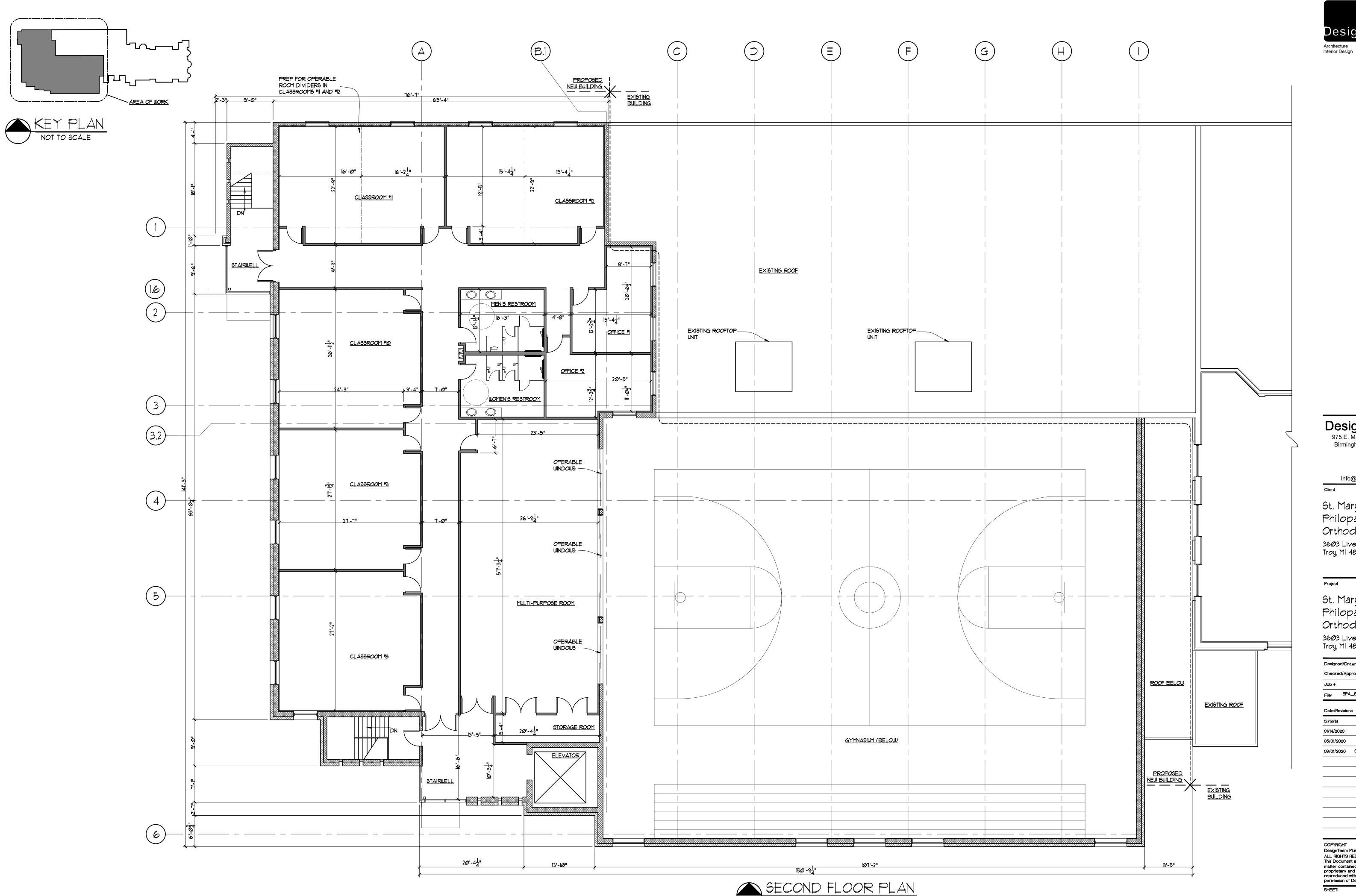
05/01/2020 ENGINEERING REVIEW

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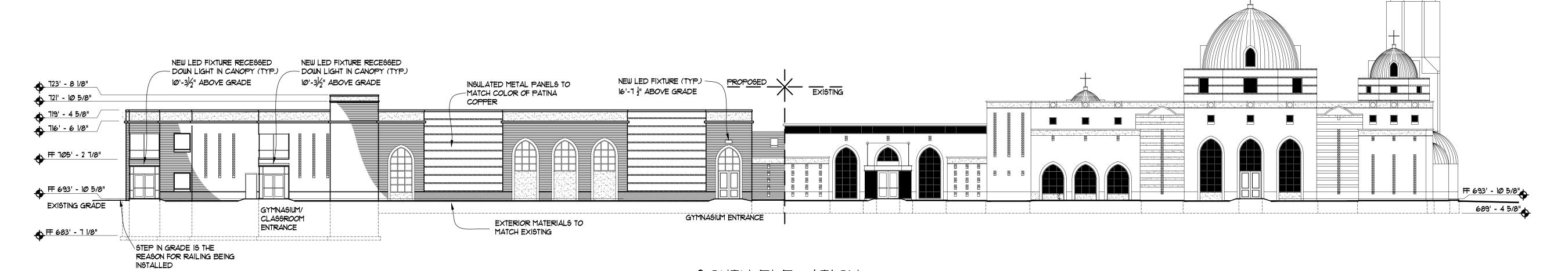
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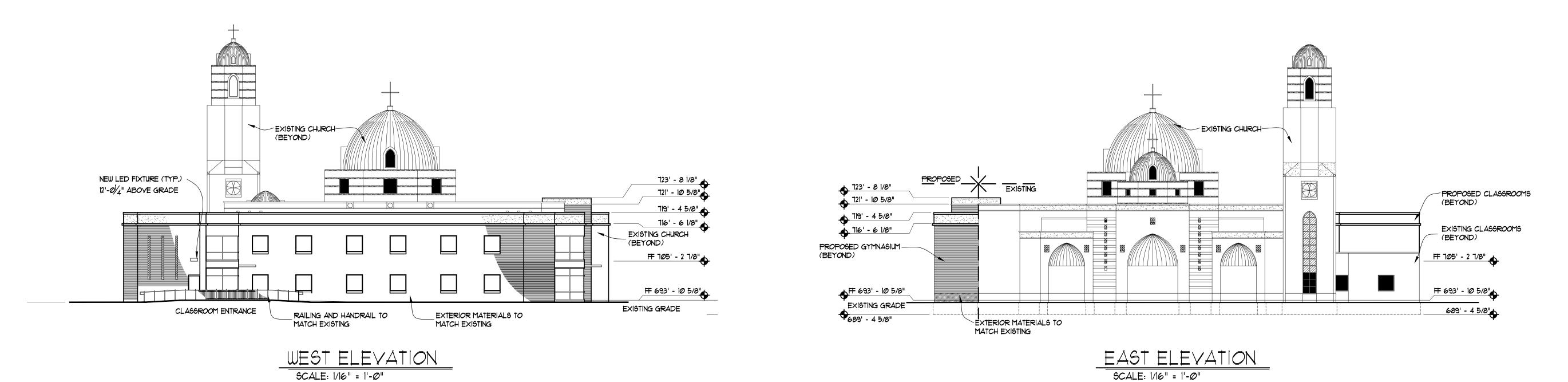
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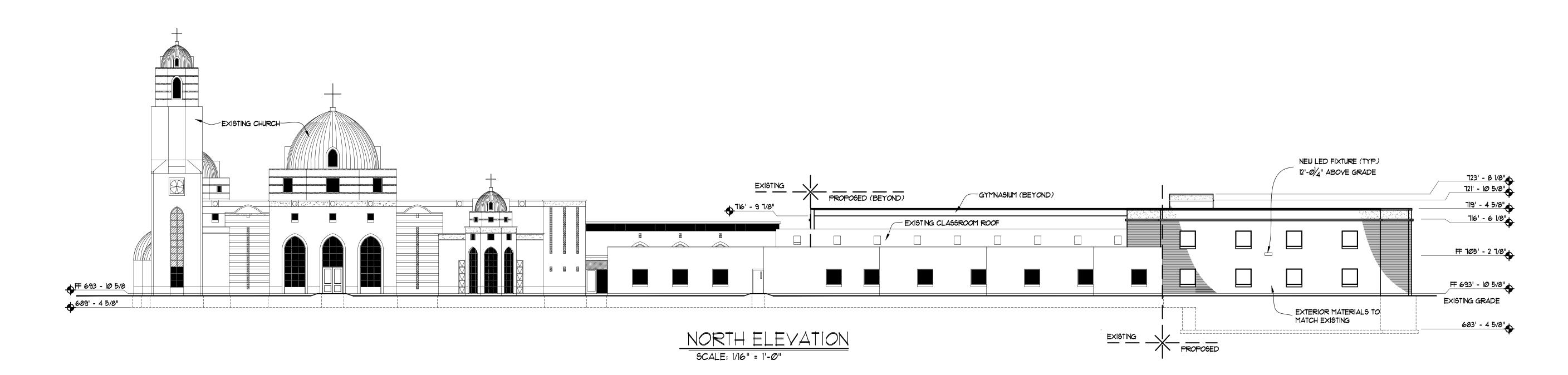
A-201





SOUTH ELEVATION SCALE: 1/16" = 1'-0"





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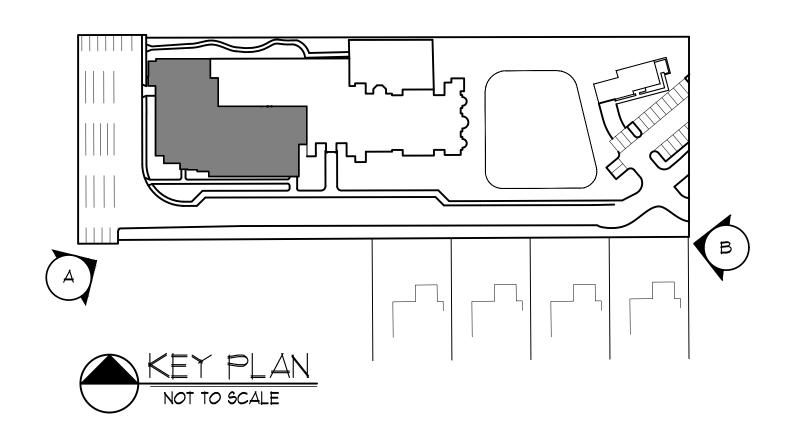
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Troy, MI 48083

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CONCEPTUAL EXTERIOR RENDERING A NOT TO SCALE



CONCEPTUAL EXTERIOR RENDERING B
NOT TO SCALE



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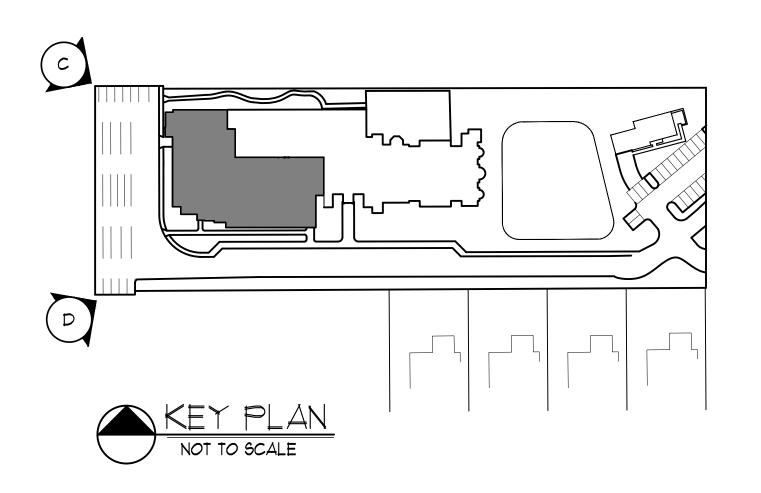
St. Mary & St. Philopater Coptic Orthodox Church 3603 Livernois Troy, MI 48083

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CONCEPTUAL EXTERIOR RENDERING C NOT TO SCALE



CONCEPTUAL EXTERIOR RENDERING D
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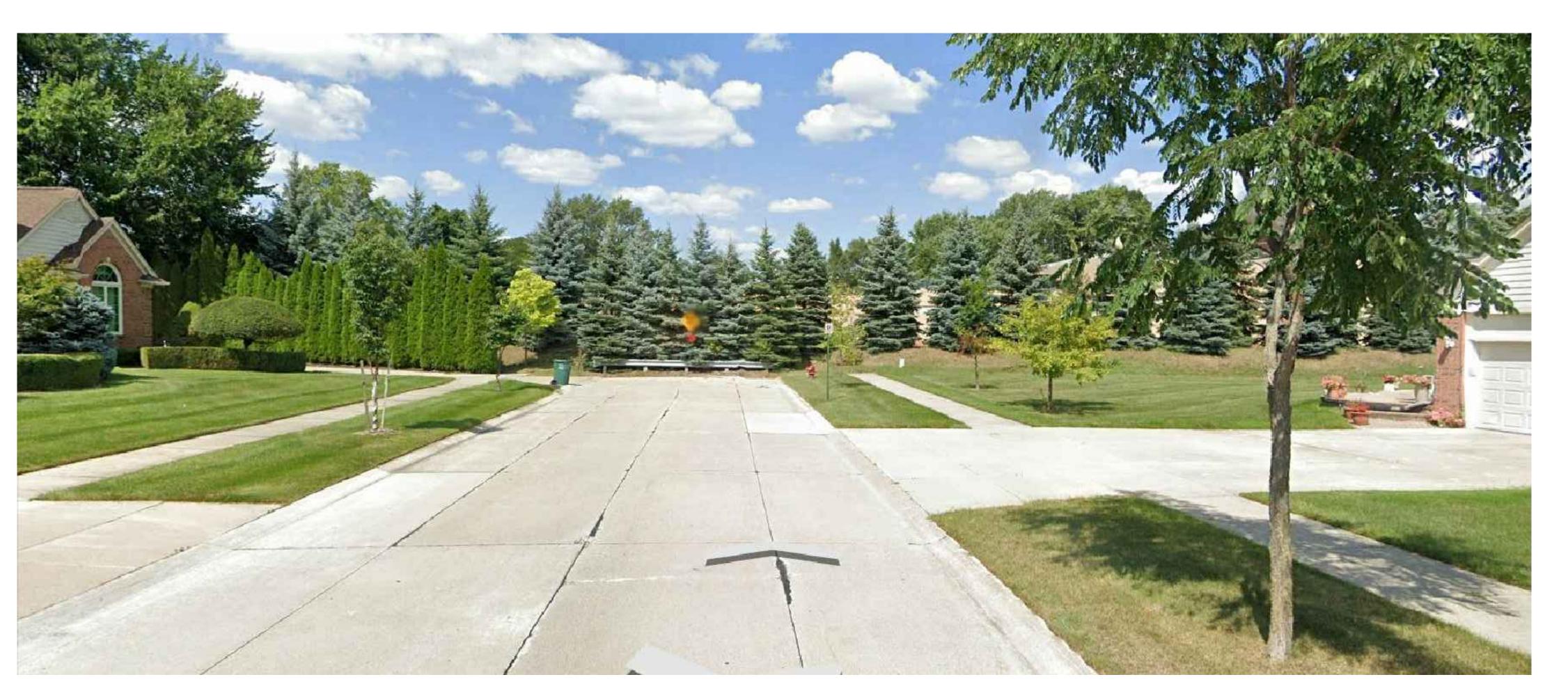




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SITE VIEW A AT RUTHLAND DR NOT TO SCALE



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Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC MOUNTING HEIGHT IS MEASURED FROM GRADE TO IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

General Note

6705.

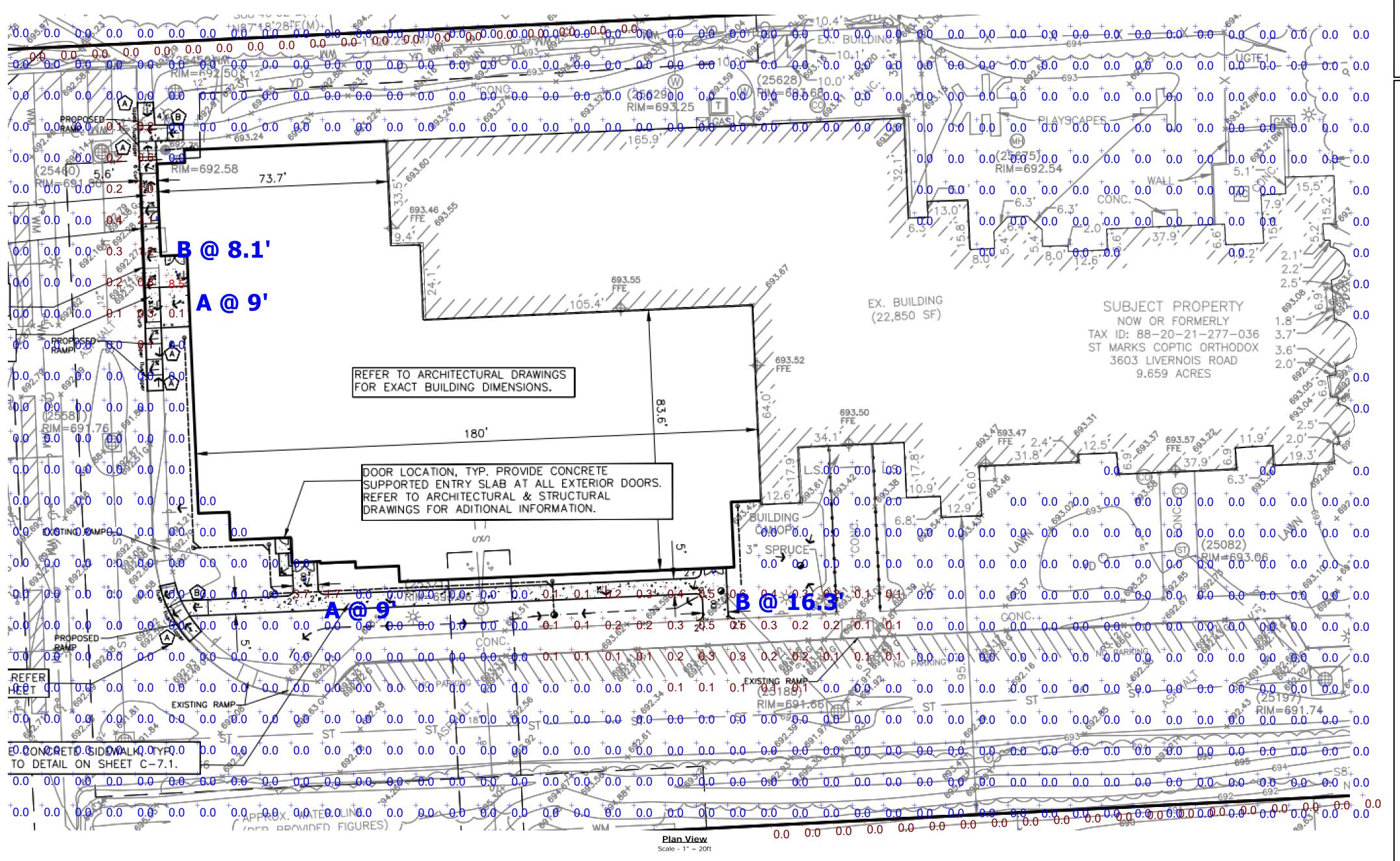
- 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-





Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PL NORTH	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
PL SOUTH	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
SITE	+	0.0 fc	8.5 fc	0.0 fc	N/A	N/A	0.0:1

Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	A	2	SP8ES-11L-35K-DX / AR8ES-SG-xF	Nom. 8" Aperture, LED Downlight	LED	1	946	0.9	11
	В	2	DSXW1 LED 10C 350 30K T2M MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 3000K, @ 350mA.	LED	1	1349	0.9	13.3

Designer Date 8/19/2020 Scale Not to Scale Drawing No. #20-52998 V1

1 of 1

DATE: March 31, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - STREET VACATION REQUEST (SV2020-001) - Public

walkway east of John R and north of Big Beaver, Abutting 3512 Euclid on the north and 3506 Euclid on the south, Section 24, Currently Zoned R-1C (One

Family Residential) District (abutting properties)

GENERAL INFORMATION

Name of applicant(s):

The applicants are Charles and Rebecca Snell of 3512 Euclid and Theresa Brown of 3506 Euclid.

History of Right of Way:

Beaver Creek Subdivision was platted in 1992. There was a 15-foot wide public walkway provided between 3512 Euclid and 3506 Euclid. The pathway was never constructed. At the time, the property to the east was undeveloped. Preliminary Site Plan Approval was granted for Tuscany Estates Site Condominium on April 10, 2012 and the 11-unit project has been constructed. A detention basin was constructed to the east of the platted pathway but a pathway was not provided in the abutting development. The existing public walkway has become unnecessary.

Length and width of right of way.

The platted public walkway is 15 feet wide and approximately 125 feet in length. The applicants propose to vacate the public walkway in its entirety.

ANALYSIS

Reason for street vacation (as stated on the Street/Alley Vacation Application):

The application states the following: "Access to detention pond is available via Sienna and access from Euclid is no longer needed"

Impact on access to existing lots or buildings (including emergency service vehicles):

Access to abutting properties will not be affected by vacation of this portion of the alley.

Impact on Utilities

There is a 12-inch underground sanitary sewer line within the platted pathway, as well as a 24-inch underground stormwater line within an easement just to the north of the platted pathway. Easements must be maintained for underground utilities. Furthermore, no buildings or structures may be constructed within these easements.

Future Land Use Designation:

The area is designated on the Future Land Use Plan as Single Family Residential.

PLANNING DEPARTMENT RECOMMENDATION

The Planning Department recommends approval of the street vacation request as submitted, subject to the following:

- 1. City shall retain an easement for underground utilities.
- 2. No structures or buildings shall be constructed within the easement.

Attachments:

- 1. Maps
- 2. Plat drawing of Beaver Creek Subdivision
- 3. Application
- 4. Letter of support

G:\STREET VACATION\SV2020-001 3512 EUCLID\SV 192 PC Memo.doc

PROPOSED RESOLUTION

<u>PUBLIC HEARING - STREET VACATION REQUEST (SV2020-001)</u> – Public walkway west of John R and north of Big Beaver, Abutting 3512 Euclid on the north and 3506 Euclid on the south, Section 24, Currently Zoned R-1C (One Family Residential) District (abutting properties)

Resolution # PC-2020-??-

Moved by: Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the street vacation request, as submitted, for a public walkway located west of John R and north of Big Beaver, approximately 15 feet wide by 125 feet in length, abutting lots 12 and 13 of Beaver Creek Subdivision, Section 24, be approved, subject to the following:

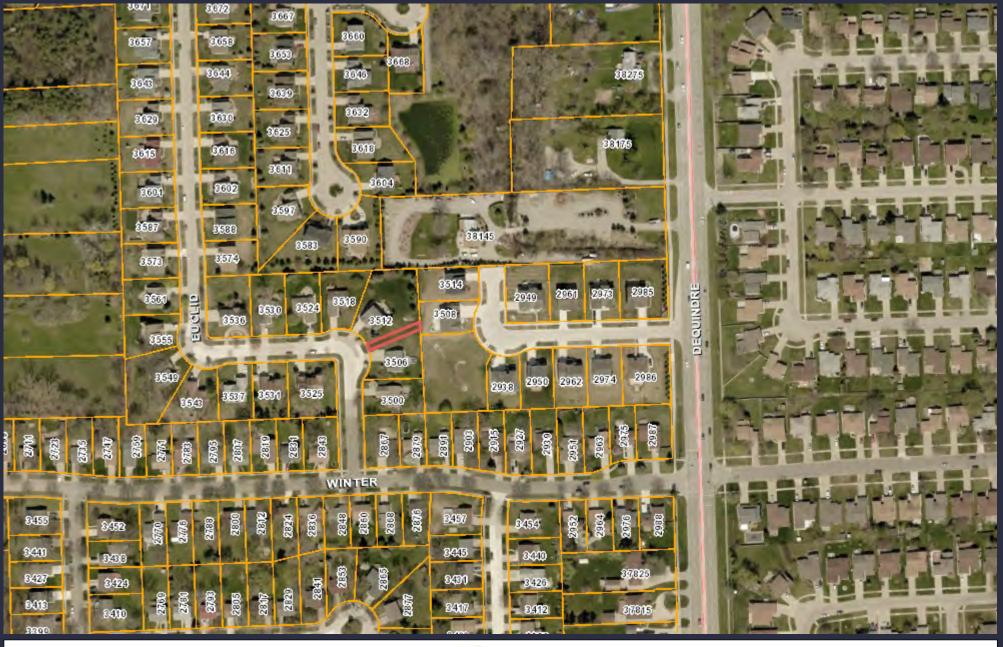
1. An easement shall be maintained for underground utilities.

Yes: Absent:

MOTION CARRIED / FAILED



GIS Online



595 0 297 595 Feet

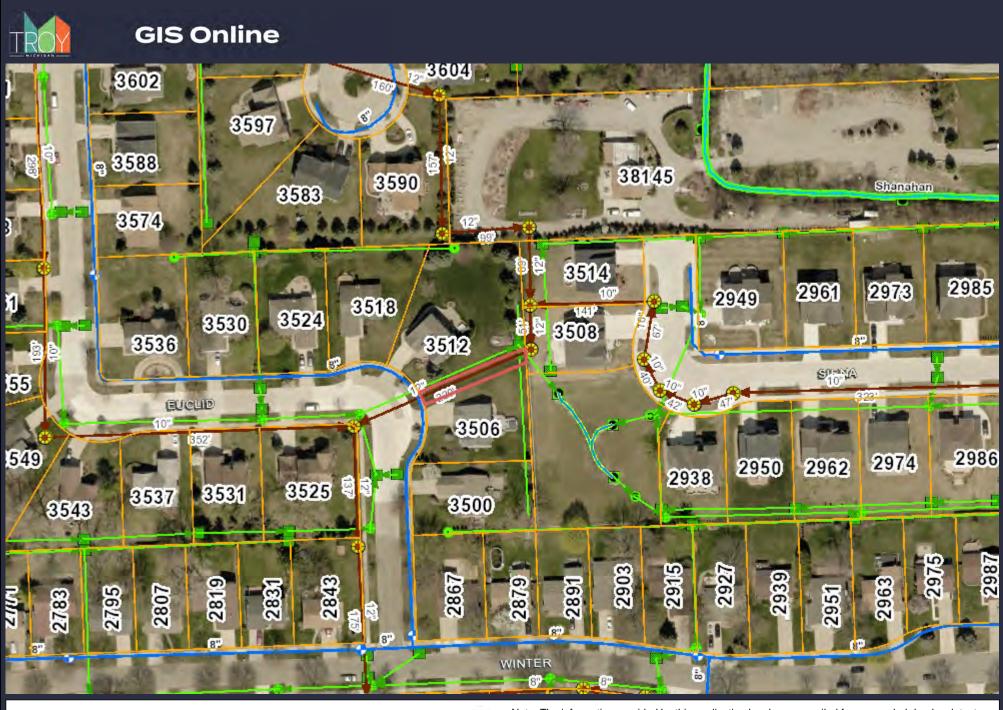


GIS Online



297 0 149 297 Feet



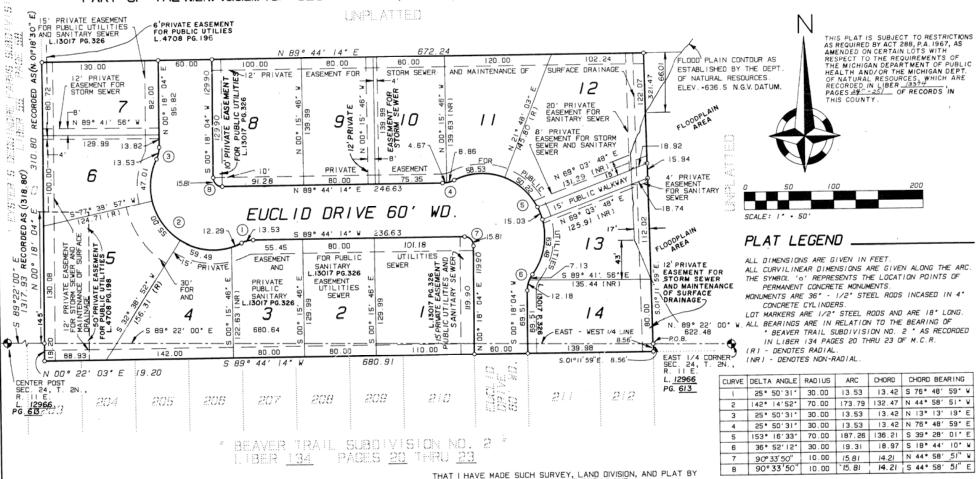






BEAVER CREEK SUBDIVISION

PART OF THE N.E. 1/48.S.E.1/40F SECTION 24 ,T. 2N. ,R. IIE. , CITY OF TROY, OAKLAND COUNTY, MICHIGAN



SURVEYORS CERTIFICATE

I GERALD J. LANDWEHR, SURVEYOR, CERTIFY: THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE LAND SHOWN ON THIS PLAT DESCRIBED AS FOLLOWS:

"BEAVER CREEK SUBDIVISION "PART OF THE N.E. I/4 & S.E. I/4

OF SECTION 24, T.2N., R.IIE., CITY OF TROY, OAKLAND COUNTY,

MICHIGAN, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE EAST-WEST I/4 LINE OF SAID

SECTION 24 622.48 FEET N. 89' 22' 00" W. OF THE EAST I/4

CORNER OF SAID SECTION 24; THENCE EXTENDING S. OI! II' 59" W.

8.56 FEET "G A POINT ON THE NORTH LINE OF "BEAVER TRAIL

SUBDIVISION NO. 2" AS RECORDED IN LIBER 134 OF PLATS PAGES

20 THRU 23 OF THE OAKLAND COUNTY RECORDS; THENCE ALONG THE

BOUNDARY OF "BEAVER TRAIL SUBDIVISION NO. 2" S. 89' 44"

If "W. 680.91 FEET; THENCE N. 00' 22' 03" E. 19.20 FEET TO

THE SOUTHEAST CORNER OF "EYSTERS DEQUINDRE FARMS SUBDIVISION

NO. 5" AS RECORDED IN LIBER 55 OF PLATS PAGE 58 OF THE

OAKLAND COUNTY RECORDS; THENCE ALONG THE BOUNDARY OF SAID "

EYSTERS DEQUINDRE FARMS SUBDIVISION NO. 5" N. 00' 18' 04" E.

310.80 FEET, THENCE N. 89' 44' 14" E. 672.24 FEET, THENCE S.

OI' II' 59" E. 321.47 FEET TO THE POINT OF BEGINNING.

CONTAINING IA. 100TS NUMBERED I THRU 14 INCLUSIVE IN 5.125 DESCRIBED AS FOLLOWS: CONTAINING 14 LOTS NUMBERED I THRU 14 INCLUSIVE IN 5.125 ACRES OF LAND.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION, AND PLAT BY THE DIRECTION OF THE OWNERS OF SUCH LAND.

THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION

THAT THE REQUIRED MONUMENTS AND LOT MARKERS HAVE BEEN LOCATED IN THE GROUND OR THAT SURETY HAS BEEN DEPOSITED WITH THE MUNICIPALITY, AS REQUIRED BY SECTION 125 OF THE ACT.

THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY SECTION 126 OF THE ACT.

THAT THE BEARINGS SHOWN ON THE PLAT ARE EXPRESSED AS REQUIRED BY SECTION 126, (3) OF THE ACT AND AS EXPLAINED IN THE LEGEND.

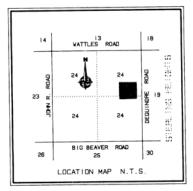
LANDWEHR AND ASSOCIATES 30050 MOULIN WARREN, MICHIGAN 48093

JUNE 25, 1992

GERALD J.

LANDVEHR

GERALD J. LANDWEHR R.L.S. NO. 10065 PRINCIPAL



//

SHEET I OF 2

CITY OF TROY STREET / ALLEY VACATION APPLICATION

CITY OF TROY PLANNING DEPARTMENT 500 W. BIG BEAVER TROY, MICHIGAN 48084 248-524-3364

E-MAIL: planning@troymi.gov



VACATION APPLICATION FEE \$500.00

ESCROW FEE \$1,500.00

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION EACH MONTH AT 7:00 P.M. AT CITY HALL.	ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF
PLEASE COMPLETE AND FILE TWO (2) SIGNED ORIGINAL APPLESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT ME	LICATIONS, TOGETHER WITH THE APPROPRIATE FEE, NOT EETING.
TO THE CITY COUNCIL:	
I (WE), THE UNDERSIGNED, DO HEREBY RESPECTFULLY PETIT	FION AND MAKE APPLICATION TO THE TROY CITY COUNCIL
FOR VACATION OF THE RIGHT-OF-WAY OR EASEMENT WHICH I	
Easement/ROW between 3512 Euch	lid (20-24-276-005) and 3506
Euclid (20-24-278-001),	
APPLICANT(S) FOR VACATION:	
NAME Charles Snell / Rebecca Snell	NAME Theresa Brown
COMPANY	COMPANY
ADDRESS=3512 Euclid	ADDRESS 3506 Euclid DR
CITY Troy STATE MI ZIP 48083	
TELEPHONE 248.854.6590	TELEPHONE (248) 619-9250
E-MAIL charles. 4. Snellogmail. com	E-MAIL theresA. brown 2@ SBeglobal NET
ADDRESS(S) AND/OR PARCEL NUMBER(S) OF PROPEINCLUDES THE AREA FOR WHICH VACATION IS REQUEST	RTY OWNED BY APPLICANT(S) WHICH ABUTS OF
88-20-24-276-005/88-20	7-24-278-001
THIS REQUEST FOR VACATION IS MADE FOR THE FOLLOW	WING REASON(S): Access to dentention
Pond is available viu Siena and acceptated additional informational pages if necessary. Needed,	
ATTACH A MAP INDICATING THE AREA FOR WHICH VAPPLICANT(S) PROPERTY AND OTHER ABUTTING PROPE	ACATION IS REQUESTED, THE LOCATION OF THE RTIES. (1"=200' minimum scale)
SIGNATURE OF APPLICANT(S):	
Chih h M Rebecca Diel	DATE 9-23-20
Jan Brown	DATE 9/25-12027



RECEIVED

ART G 1 2021

PLANNING.

RECEIVED

APR 0 1 2021

PLANNING

To the members of the Troy Planning Commission,

My wife, Patti and I have no objection to the vacation of the easement between 3512 and 3506 Euclid.

It is not necessary to provide either a fire route or an access point for maintaining the drainage basin at its eastern end. Furthermore it serves no legitimate use as a public walkway as at its eastern end people would be encouraged to trespass on either private property or a dry reservoir which is not an appropriate place to walk around: wet or dry.

As a right of way this property represents both a cost and potential liability without conferring a tangible benefit to the citizens of Troy.

Thank You for considering our perspective,

Matt and Patti Pryor

38145 Dequindre (2 lots SE of the right of way)

Matt Jugor. Pahrof Pryor.

Troy, Mi 48083 (248)709-0383

PS Your Public Notice states this location as being west of John R. I am assuming you are referring the houses at 3512 and 3506 Euclid west of Dequindre (therefore east of John R).

DATE: April 6, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PROPOSED TEXT AMENDMENT - Submitted by Planning Commissioner

Gerald Rauch

This item was placed on the Planning Commission agenda at the request of Planning Commissioner Gerald Rauch, who prepared the attached revised language. Mr. Rauch will summarize the proposed text amendment and solicit feedback from the Planning Commission. It is Mr. Rauch's intent to solicit support from the Planning Commission to amend the Zoning Ordinance as indicated in the proposed language.

Please be prepared to discuss this item at the April 13, 2021 Planning Commission Regular meeting.

Attachments:

1. Proposed text amendment language (prepared by Planning Commissioner Rauch)

G:\ZOTAs\PC Memo Potential NN Revision 04 13 2021.doc

March 29, 2021

To: Troy Planning Commissioners

From: Jerry Rauch

Re: Zoning Ordinance Amendment - Neighborhood Nodes

In accordance with our discussion of March 23rd I respectfully request we ask staff to provide input on the impact to surrounding neighborhoods and developers, both beneficial or otherwise of changing section 5.06 E. 1. a. in the zoning ordinance from:

- E. Design Standards. In addition to standards set forth in this Ordinance, all proposed development shall comply with the standards set forth herein.
 - Building Orientation and Entrance.
 - a. Primary Entrance. The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street.

as follows:

Primary Entrance. The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street public or private street in residential developments that abut a residential district.

Consistent with our discussion this request will be on the agenda for our first meeting in April.

Respectfully submitted,

Jerry Rauch