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PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Tom Krent, Chairman, David Lambert, Vice Chairman
Carlton Faison, Michael W. Hutson, Lakshmi Malalahalli,
Marianna Perakis, Sadek Rahman, Jerry Rauch and John J. Tagle

April 27, 2021

7:00 P.M.

REMOTE MEETING

Public Comment may be communicated to the Planning Commission via telephone voice mail by calling 248.524.1305 or by sending an email to planning@troymi.gov. All comments will be provided to the Planning Commission.

1. ROLL CALL
2. SUSPENSION OF PLANNING COMMISSION BYLAWS
3. APPROVAL OF AGENDA
4. APPROVAL OF MINUTES – April 13, 2021
5. PUBLIC COMMENT – For Items Submitted via Email or Telephone Message

PRELIMINARY SITE PLAN REVIEW

6. PUBLIC HEARING - PRELIMINARY SITE PLAN REVIEW (File Number SP2020-0013) - Proposed Meadows of Troy, East of John R, North of Square Lake Road, Section 01 (Parcel 88-20-01-300-016), Currently Zoned R-1D (One Family Residential).
THE PRESENTATIONS FOR THIS ITEM WERE MADE DURING THE APRIL 13, 2021 PLANNING COMMISSION MEETING (ITEM #6) AND ARE AVAILABLE TO VIEW ON THE CITY OF TROY YOUTUBE CHANNEL [LINK HERE](#)

SPECIAL USE

7. PUBLIC HEARING - SPECIAL USE and PRELIMINARY SITE PLAN REVIEW (File Number SP2020-0014) - Proposed St. Marks Coptic Church, West of Livernois, South of Wattles (3603 Livernois), Section 21, Currently Zoned R-1B (One Family Residential) District.
THE PRESENTATIONS FOR THIS ITEM WERE MADE DURING THE APRIL 13, 2021 PLANNING COMMISSION MEETING (ITEM #7) AND ARE AVAILABLE TO VIEW ON THE CITY OF TROY YOUTUBE CHANNEL [LINK HERE](#)

CONDITIONAL REZONING

8. PUBLIC HEARING - CONDITIONAL REZONING- (CR JPLN2019-003) – Proposed Livernois Court, East side of Livernois, North of Big Beaver, (88-20-22-301-007, 88-20-22-301-008 and 88-20-22-301-009), Section 22, From R-1C (One Family Residential) to BB (Big Beaver Road).

REZONING

9. PUBLIC HEARING - REZONING (Z JPLN2021-0001) – Proposed Lindsey Center Rezoning, East side of Crooks, South of Big Beaver (2690 Crooks, Parcel 88-20-28-101-003), Section 28, From O (Office) to UR (Urban Residential).

APPLICANT HAS REQUESTED TO BE REMOVED FROM 4/27/21 PLANNING COMMISSION AGENDA

OTHER ITEMS

8. PLANNING COMMISSION COMMENT
9. ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Krent called the virtual Regular meeting of the Troy City Planning Commission to order at 7:02 p.m. on April 13, 2021. Chair Krent introduced the procedure to be followed for a remote meeting.

1. ROLL CALL

Present:

Carlton M. Faison
Michael W. Hutson
Tom Krent
David Lambert
Lakshmi Malalahalli
Marianna Perakis
Sadek Rahman
Jerry Rauch
John J. Tagle

Also Present:

R. Brent Savidant, Community Development Director
Ben Carlisle, Carlisle Wortman Associates
Julie Quinlan Dufrane, Assistant City Attorney
Jackie Ferencz, Planning Department Administrative Assistant
Kathy L. Czarnecki, Recording Secretary

2. SUSPENSION OF PLANNING COMMISSION BYLAWS

Resolution # PC-2021-04-020

Moved by: Rahman

Support by: Lambert

WHEREAS Public Act 228 of 2020, MCL 15.263a(1)(b), permits public meetings to be held by electronic means where a local state of emergency has been declared,

WHEREAS the Troy City Council declared a local state of emergency through Resolution 2021-04-048 because it determined that an in-person meeting could detrimentally increase exposure of board members and the general public to COVID-19,

THEREFORE, BE IT RESOLVED, That as allowed by Planning Commission Rules of Procedure Article IV, Section 6, the Troy Planning Commission hereby **TEMPORARILY SUSPENDS** the requirement of holding a meeting at the Troy City Hall and **ALLOWS** all Troy Planning Commission Members to electronically participate in any Planning Commission meeting until the Troy City Council lifts the local state of emergency or through December 31, 2021 whichever is earlier.

Members participating electronically will be considered present and in attendance at the meeting and may participate in the meeting as if physically present. However, members must avoid using email, texting, instant messaging, and other such electronic forms of communication to make a decision or deliberate toward a decision.

RESOLVED, As allowed by Planning Commission By-laws and Rules of Procedure Article X, the Troy Planning Commission hereby **TEMPORARILY SUSPENDS AND ALLOWS** two methods of receiving Public Comment for virtual meetings. (1) Public comments can be submitted for the Planning Commission meeting by sending an email to: planning@troymi.gov. Timely received emails will be incorporated into the record by reference and will be distributed to Planning Commission members for review and consideration. Emails will be considered timely if received prior to 4:00 pm on the day of the meeting. (2) Public comments can also be submitted by calling the following phone number and leaving a voicemail message: (248) 524-1305. Timely received voicemail messages will be played during the meeting. Recorded voicemail messages will be considered timely if received prior to 4:00 pm on the day of the meeting. Recorded voicemail messages will be limited to three minutes each.

Discussion on the motion on the floor.

Because this evening's meeting was originally scheduled to be conducted in-person, there was discussion whether the public had enough opportunity to comment on the scheduled public hearings.

Mr. Savidant suggested to proceed with tonight's meeting as follows:

- Review of application by Planning Consultant and administration.
- Presentation of application by applicant.
- Discussion on application.
- Open public hearing for public comment received to date.
- Take no action on item and table item to the April 27, 2021 meeting.
- Public hearing remains open.
- Additional public comment provided and/or heard at April 27, 2021 meeting.

Mr. Savidant said this procedure would provide opportunity for the public who planned to attend this evening's meeting in person to provide public comment either by email, voicemail or attending the virtual April 27, 2021 meeting. Mr. Savidant announced that the administration is going to a Zoom meeting platform which offers additional tools to manage public hearings. He said a brief presentation would be given on each application at the April 27, 2021 meeting. As well, this evening's meeting is available to be viewed on YouTube.

Ms. Dufrane said that since City Council has declared a State of Emergency, no "hybrid" meetings would be scheduled.

The Board was in consensus to the meeting procedure as suggested.

Vote on the motion on the floor.

Yes: All present (9)

MOTION CARRIED

(Pause in meeting to allow Chair Krent to reboot and rejoin meeting from 7:20 p.m. to 7:22 p.m.)

3. APPROVAL OF AGENDA

Resolution # PC-2021-04-021

Moved by: Faison

Support by: Perakis

RESOLVED, To approve the Agenda as prepared.

Yes: All present (9)

MOTION CARRIED

4. APPROVAL OF MINUTES

Resolution # PC-2021-04-022

Moved by: Lambert

Support by: Tagle

RESOLVED, To approve the minutes of the March 23, 2021 Regular meeting as submitted.

Yes: All present (9)

MOTION CARRIED

5. PUBLIC COMMENT – For Items Submitted via Email or Telephone Message

Public comment will be announced during public hearing of each agenda item.

PRELIMINARY SITE PLAN REVIEW

6. PUBLIC HEARING - PRELIMINARY SITE PLAN REVIEW (File Number SP2020-0013)
– Proposed The Meadows of Troy (One Family Residential Cluster), East of John R,
North of Square Lake (Parcel 88-20-01-300-016), Section 1, Currently Zoned R-1D
(One Family Residential) District

Mr. Carlisle reviewed the Preliminary Site Plan application. He compared the proposed cluster plan with the parallel plan. Mr. Carlisle addressed the number of units, percentage of open space, proposed location of the trailhead and public parking area, style of homes, acreage to be purchased from Troy School District and remaining acreage. Mr. Carlisle said the layout is similar to a previously approved application by Mondrian Properties, and he briefly addressed the differences between the two proposals.

Mr. Carlisle reported the applicant is seeking a maximum 5-foot deviation to the side yard setbacks. He noted there is no concern about towering or a tunnel affect because the low roof pitch to the single story home allows light and air between

units. Mr. Carlisle complimented the applicant in constructing a housing product that is much desired in the City.

Mr. Carlisle reviewed the benefits of the proposed cluster development and recommended approval to the City Council with the conditions as identified in his report dated March 26, 2021.

Discussion among members and administration:

- Intent of Troy School District for remaining 68 acres.
- Reason of default on previously approved application.
- Common ownership of acreage, if any.
- Access to trail system and parking area.
- Applicant's request to deviate from side yard setback requirements.

Present were Tim Loughrin and James Clarke of Robertson Brothers, project engineer John Thompson of Professional Engineering Associates and Rick West, Superintendent for Business Services, Troy School District.

Mr. Loughrin gave a PowerPoint presentation that addressed housing style, open space, trailhead that ties into existing trails, buffer along Square Lake and side yard setbacks. He stated the homes are one-story, ranch-style and the open space correlates to 42%, a clarification to the Planning Consultant report.

There was discussion on:

- Desired housing product.
- Street named for former Planning Commissioner/school district member, Don Edmunds.
- Base price point; \$400,000.
- Locations of similar housing developments by Robertson Brothers.
- Deviation of side yard setbacks; interpretation of bulk regulations.
- Public access to trailhead.
- Stormwater management.
- Maintenance of parking lot; conveyance to homeowners' association.
- Reason previously approved application not developed.

Mr. Thompson briefly addressed stormwater management.

Mr. West said the Troy School Board, through a Resolution, is committed to preserve to perpetuity the natural features of the site and are currently working with Six Rivers Land Conservancy and Michigan Natural Resources. He confirmed there is no co-ownership of property; that the 12 acres is being purchased outright by Robertson Brothers.

Mr. Clarke addressed the benefits of the cluster development. He expressed no concerns in selling the homes with reduced side yard setbacks.

PUBLIC HEARING OPENED

Mr. Savidant reported the following email messages were received and provided to Board members in their agenda packet.

- Dorene (no last name/address); in opposition
- Ellen B (no last name/address); in opposition
- Camille Bedford (2 emails, no address); in opposition
- Koshy and Esther George, 2212 Lakeside; in opposition
- Linda and Don Gottschalk, 6270 Silverstone; in opposition

Ms. Ferencz reported no voicemail messages were received.

(Public Hearing remains opened)

Resolution # PC-2021-04-023

Moved by: Malalahalli

Support by: Lambert

RESOLVED, To table The Meadows of Troy Site Condominium application to the April 27, 2021 Planning Commission meeting.

Yes: All present (9)

MOTION CARRIED**SPECIAL USE APPROVAL**

7. **PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0014)** – Proposed St. Mark Coptic Church Gymnasium and Classroom Addition, West side of Livernois, South of Wattles (Parcel 88-20-21-277-036), Section 21, Currently Zoned R-1B (One Family Residential) District

Mr. Carlisle reviewed the Special Use and Preliminary Site Plan application. He reported the two story addition would include additional classrooms, a kitchen, a gymnasium, offices, multi-purpose room, storage rooms and bathrooms. Mr. Carlisle said the applicant indicated operation of any activities in the addition would not coincide with church services. He noted the required landscape plan has not been provided. Mr. Carlisle addressed screening and buffering from neighboring properties.

Mr. Carlisle said if the applicant can satisfy the Planning Commission that the use of the addition, particularly during evening hours, would not impact adjacent residential properties to the north and south, that all Special Use standards have been met, and he recommends approval of the application with the conditions as identified in his report dated March 25, 2021.

Present were project architect Harold Remlinger of DesignTeam Plus and Father Maximus Habib and Mark Nasr of St. Mark Optic Church.

Mr. Nasr said it has been a long-time vision of the church to provide additional classrooms and a multi-purpose room, noting the need for more space because of a growing congregation and active parishioners. Mr. Nasr said worship services would be held only when no other function is going on and the church is willing to put that in writing. He said access to the addition would be by an access security card or appointment only. Mr. Nasr said they would provide a landscape plan as required. Mr. Nasr explained the various functions of the church sections. He addressed parking and the use of the gymnasium and multi-purpose room.

Mr. Remlinger addressed the history and architectural design of the church. He said the proposed addition would be seamless with the existing building. Mr. Remlinger addressed the function of the multi-purpose room, lighting, building height, building entrances, building materials, security, existing landscaping and buffering and existing and additional parking.

There was discussion on:

- Church layout, sanctuary, use of different worship and building areas.
- Day care operation; open to public and limited to pre-kindergarten children.
- Mitigation of potential noise; insulation, triple pane windows, gymnasium bleachers.
- A condition that no church worship services are held simultaneously with activities scheduled in the addition could be placed on approval of special use.

PUBLIC HEARING OPENED

Mr. Savidant reported the following email messages were received and provided to Board members in their agenda packet.

- Suzanne Conover, 73 Kirk Lane; in opposition
- David Bemis (no address); in opposition
- Joseph and Mary Ann Howell (no address); in opposition

Ms. Ferencz reported no voicemail messages were received.

(Public Hearing remains opened)

Resolution # PC-2021-04-024

Moved by: Rauch

Support by: Tagle

RESOLVED, To table St. Mark Coptic Church application to the April 27, 2021 Planning Commission meeting.

Yes: All present (9)

MOTION CARRIED

STREET VACATION

8. PUBLIC HEARING - STREET VACATION REQUEST (File Number SV2020-001) – Public walkway East of John R and North of Big Beaver, Abutting 3512 Euclid on the North and 3506 Euclid on the South, Section 24, Currently Zoned R-1C (One Family Residential) District (abutting properties)

Mr. Savidant reviewed the street vacation application and referenced aerial photos within the agenda packet. He explained why the existing public walkway has become unnecessary between 3512 Euclid and 3506 Euclid, and access to the detention area is available via Sienna.

Mr. Savidant said the Planning Department recommends approval of the street vacation request as submitted with conditions that the City shall retain an easement for underground utilities and no structures or buildings shall be constructed within the easement.

Applicant Charles Snell was present. Mr. Snell asked the Board's support in granting the street vacation. He said there is frequent pedestrian traffic along the pathway and *Private Property, No Trespassing* signs are in place to mitigate the nuisance.

After a brief discussion and a show of hands, it was the consensus of the Board to act upon the street vacation request this evening.

PUBLIC HEARING OPENED

Mr. Savidant reported the following email message was received and provided to Board members in their agenda packet.

- Matt and Patti Pryor, 38145 Dequindre; in support.

Ms. Ferencz reported no voicemail messages were received.

PUBLIC HEARING CLOSED

Resolution # PC-2021-04-025

Moved by: Rauch
Support by: Lambert

RESOLVED, That the Planning Commission hereby recommends to the City Council that the street vacation request, as submitted, for a public walkway located west of John R and north of Big Beaver, approximately 15 feet wide by 125 feet in length, abutting

lots 12 and 13 of Beaver Creek Subdivision, Section 24, be approved, subject to the following:

1. An easement shall be maintained for underground utilities.
2. No buildings or structures may be constructed over the easements.

Yes: All present (9)

MOTION CARRIED

OTHER ITEMS

9. **PROPOSED TEXT AMENDMENT** – Submitted by Planning Commissioner Gerald Rauch

Mr. Rauch introduced a proposed text amendment relating to Neighborhood Nodes Design Standards, specifically Section 5.06 E.1.a., and asked support from the Planning Commission to request that staff research the benefits or disadvantages of the proposed amendment. He gave a couple of examples of existing developments that relate to the primary building entrance design standard.

Discussion followed on:

- Interpretation of Zoning Ordinance text.
- Clarification of intent and/or objective of the proposed text amendment.
- Whether proposed text amendment should be considered during Master Plan review and update, or if proposed text amendment is of urgency to act upon immediately.

Moved by: Rauch

Support by: Hutson

RESOLVED, That the Planning Commission direct staff to review the proposed Zoning Ordinance Text Amendment presented by Mr. Rauch in his March 29, 2021 memorandum and advise of the impact of those changes to the existing Zoning Ordinance.

Discussion on the motion on the floor.

Mr. Tagle asked if the extent of the Resolution is only for staff to review the text amendment and come back with pros and cons.

Mr. Rauch replied in the affirmative.

Vote on the motion on the floor.

Yes: All present (9)

MOTION CARRIED

10. PLANNING COMMISSION COMMENT

There were general Planning Commission comments.

The virtual Regular meeting of the Planning Commission adjourned at 9:58 p.m.

Respectfully submitted,

Tom Krent, Chair

Kathy L. Czarnecki, Recording Secretary

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DATE: April 22, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - PRELIMINARY SITE PLAN REVIEW (File Number SP2020-0013) – Proposed The Meadows of Troy (One Family Residential Cluster), East of John R, North of Square Lake Road (Parcel 88-20-01-300-016), Section 01, Currently Zoned R-1D (One Family Residential) District.

The petitioner Robertson Brothers Co. submitted the above referenced Preliminary Site Plan application for a 31-unit One Family Residential Cluster. The Planning Commission is responsible for providing a recommendation to City Council for this item.

The applicant has acquired and proposes to develop approximately 12 acres from the 80-acre Troy School District parcel. Thirty percent of the 12-acre site will be preserved in common ownership. The remaining 68 acres will remain under control of the Troy School District. A housing product with first floor master bedroom, suitable for empty nesters and retirees, is proposed.

The Planning Commission considered this item at the April 13, 2021 Regular meeting but postponed the item until April 27, 2021. The public hearing was opened and was kept open. Public comment will be taken during the public hearing at the April 27, 2021 Regular meeting.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Anticipated Traffic Impacts – Memo prepared by OHM, dated August 27, 2020
4. Public comment
5. Preliminary Site Plan Application

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PROPOSED RESOLUTION

PUBLIC HEARING - PRELIMINARY SITE PLAN REVIEW (File Number SP2020-0013)
– Proposed The Meadows of Troy (One Family Residential Cluster), East of John R, North of Square Lake Road (Parcel 88-20-01-300-016), Section 1, Currently Zoned R-1D (One Family Residential) District.

Resolution # PC-2021-04-

Moved by:

Support by:

RESOLVED, The Planning Commission hereby recommends to the City Council that the proposed The Meadows of Troy Site Condominium (One Family Residential Cluster), 31 units/lots, East of John R, North of Square Lake Road (parcel 88-20-01-300-016), Section 1, approximately 12 acres in size, Currently Zoned R-1D (One Family Residential) District, be approved for the following reasons:

1. The cluster development better protects the sites natural resources than if the site were not developed as a cluster.
2. The cluster development better protects the adjacent properties than if the site were not developed as a cluster.
3. The cluster development is compatible with adjacent properties.
4. The site can be adequately served with municipal water and sewer.
5. The applicant is providing a public parking lot and trail head to preserved trails.
6. The applicant is providing a housing product with first floor master bedroom and bath desired by the community.

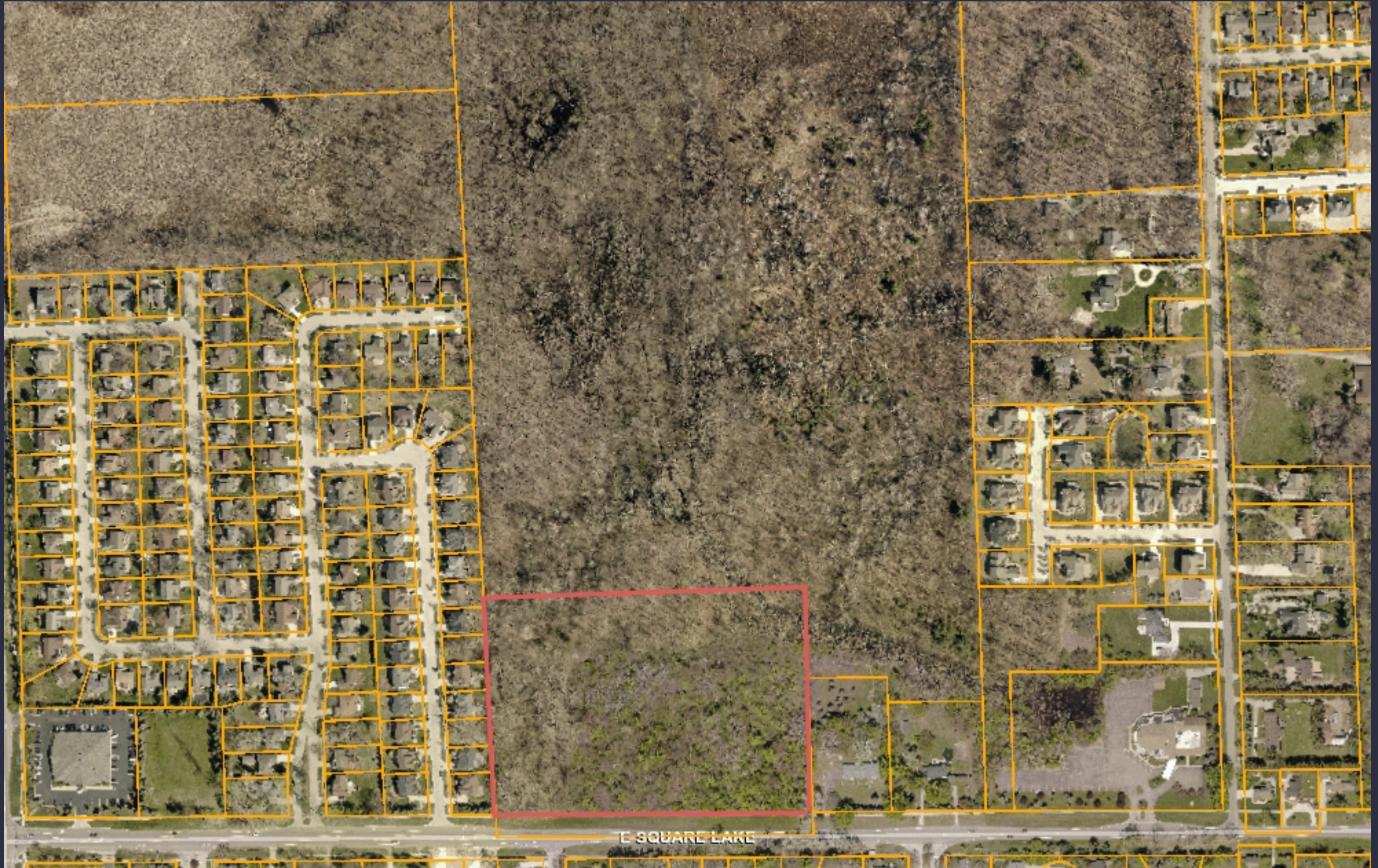
BE IT FINALLY RESOLVED, The Planning Commission recommends the following design considerations:

1. Provide a new wetland assessment or extension from EGLE
2. Provide maintenance agreement for the public parking lot.
3. Provide easement over Turtle Woods for access to the public lot.

Yes:

Absent:

MOTION CARRIED



953 0 477 953Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



953 0 477 953Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: January 22, 2021
March 26, 2021

Preliminary Site Condominium Cluster Review For City of Troy, Michigan

Project Name:	Meadows of Troy
Plan Date:	February 19, 2021
Location:	North side of Square Lake Road, between John R and Dequindre Roads
Zoning:	R-1D, One-family Residential District
Action Requested:	Preliminary Site Condominium Cluster Approval
Required Information:	Deficiencies noted

PROJECT AND SITE DESCRIPTION

We are in receipt of a preliminary site plan application for a thirty-one (31) unit detached single-family condominium cluster development. The thirty-one (31) new lots will be accessed from a new private road that is located off Long Lake Road. The applicant is purchasing +/- 12 acres of an +/-80 acre site from the Troy School District. Within the protected open space area of the development there is a regulated wetland. The wetland assessment has expired. A new assessment or extension from EGLE is required.

Thirty percent (30%) of the twelve (12) acres will be preserved in common ownership. Once the property is split, the remaining +/- 68 acres will remain under control of the School District. The future of those 68 acres is unknown.

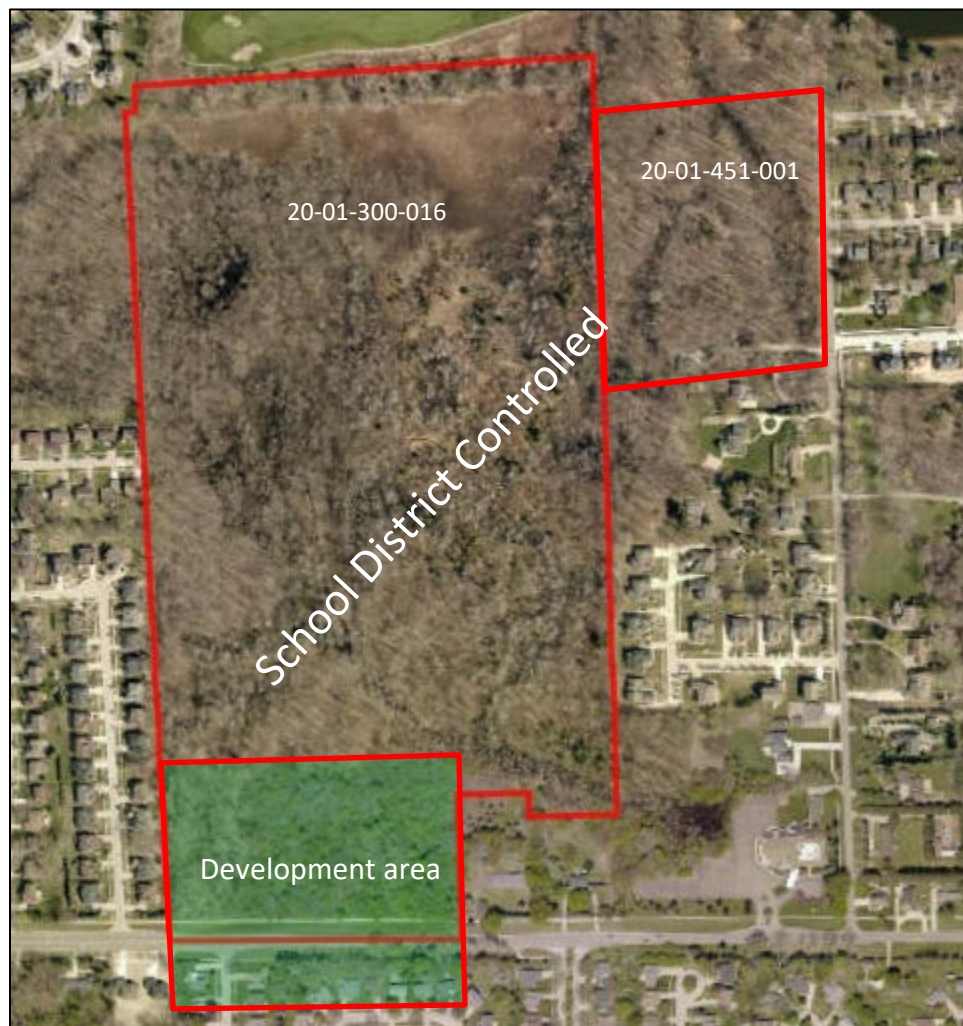
The applicant is providing a desired housing product with first floor master bedroom and bathroom. In addition, the applicant is proposing the construction of a 13-space gravel parking

lot and trailhead. The applicant notes that the trails will be determined after a conservation easement has been established. What is not clear is if those 68 acres are not preserved in perpetuity, where does the applicant propose trails. Will trails be entirely on the 6 acres they are preserving?

The property is surrounded on three sides by R-1D one-family residential zoning district, and a golf course to the north. The applicant proposes a cluster development. The density base of R-1D based on the parallel plan shows 25 lots. Through the cluster option the applicant is seeking 6 additional units by providing over 30% open space.

All of the homes will be 1,830 square feet in size and will feature a first-floor master bedroom design, with three different elevation types. As part of the development the applicant is proposing to construct a 13-space lot to provide parking and access to the trailhead.

Figure 1. - Location and Aerial Image of Subject Site



Square Lake Road

Meadows of Troy

March 26, 2021

Size of Subject Property:

12.42 acres

Proposed Uses of Subject Parcel:

Thirty-one (31) detached single family condominium cluster development.

Current Use of Subject Property:

The subject parcels are undeveloped.

Current Zoning:

The property is currently zoned R-1D, One-family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	CF, Community Facilities	Golf Course
South	R-1D, One-family Residential District	Single-family homes
East	R-1D, One-family Residential District	Single-family homes
West	R-1D, One-family Residential District	Single-family homes

Items to be addressed: None

PREVIOUS APPROVAL

Robertson Brothers recently submitted a revised plan for the Section 1 Troy School District property. The site was previously approved by the City Council for Mondrian Homes. In that proposal Mondrian Homes was to purchase the entire 81 acres from the School District. They were going to build a 23-unit cluster development on six-acres, and preserve +/-75 acres of property. The property is now under the control of Robertson Brothers. Robertson Brothers plans to purchase a total of 12 of the 81 acres from the school district. On that 12 acres, the applicant proposes to construct a 31-unit cluster development, and preserve 6.29 acres. In addition, the applicant is proposing the construction of a 14-space gravel parking lot and trailhead.



Approved Mondrian Plan



Proposed Robertson Brothers Plan

SITE ARRANGEMENT

The proposed one-family cluster development consists of thirty-one (31) units. All new lots will be accessed via two driveways to the new private road off Square Lake Road.

The applicant has submitted a parallel plan to establish a base density and portray the visual difference between traditional site design versus a cluster development. The cluster option is offered as an alternative to traditional residential development. The cluster option is intended to:

1. Encourage the use of property in accordance with its natural character.
2. Assure the permanent preservation of open space and other natural features.
3. Provide recreational facilities and/or open space within a reasonable distance of all residents of the Cluster development.
4. Allow innovation and greater flexibility in the design of residential developments.
5. Facilitate the construction and maintenance of streets, utilities, and public services in a more economical and efficient manner.
6. Ensure compatibility of design and use between neighboring property.
7. Encourage a less sprawling form of development, thus preserving open space as undeveloped land.
8. Allow for design innovation to provide flexibility for land development where the normal development approach would otherwise be unnecessarily restrictive or contrary to other City goals

Items to be addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS and REGULATORY FLEXIBILITY

The intent of the cluster development provisions is to relax the typical R-1D district bulk requirements in order to encourage a less sprawling form of development that preserves open space and natural resources. Although proposed setback dimensions are generally in compliance, as set forth in 10.04.E the applicant is able to seek specific departures from the dimensional requirements of the Zoning Ordinance for yards and perimeter setback as a part of the approval process.

The table below outlines the bulk requirements for cluster development.

Table 1. – Bulk Requirements

	Required/Allowed	Provided	Compliance
Density	Overall density shall not exceed the number of residential cluster units as developed under a conventional site condominium, unless a density bonus has been granted by City Council.	The applicant is seeking 31 units.	The applicant shows 25 units in parallel plan + 20% open space + 10% for additional 10% open space = 32 units The applicant is eligible to up to 32 units. Seeks approval of 31. Complies
Perimeter Setback	Equal to the rear yard setback requirement for the underlying zoning district of the property directly adjacent to each border = 40 feet perimeter setback	The plan shows a minimum 40 ft. setback on all property lines.	Complies
Lot Size	10,500 sq. ft.	Not Applicable	Not Applicable
Front Setback (building)	20 feet	20 feet	Complies
Front Setback (garage)	25 feet	25 feet	Complies
Rear Setback (building)	25-foot setback	25-foot minimum	Complies
Side Setback (building)	7.5-foot setback	5-foot minimum	Seeks a maximum 5-foot deviation
Open Space Requirements: Minimum Percentage	20%	30%	Complies. Applicant must submit open space preservation covenant.

Applicant is seeking the following deviations from the Cluster Ordinance:

- Side Setback:
 - Units 1-5: Providing 10-foot building separation rather than 15 feet.
 - Units 6-12 and 16-22 and 23-25: Providing 11-foot building separation rather than 15 feet.
 - Units 13-15, 25-31: Providing 12-foot building separation rather than 15 feet.

Based on the proposed one-and-a-half story homes, we support the requested sideyard deviations.

Items to be addressed: Planning Commission is to review the requested deviations as part of the site plan in light of attempt to provide for design innovation to provide flexibility for land development.

OPEN SPACE REQUIREMENTS

A requirement of the Cluster Option is to provide at least one (1) of the following open space benefits:

- a. Significant Natural Features. Preservation of significant natural features contained on the site, as long as it is in the best interest of the City to preserve the natural features that might be negatively impacted by conventional residential development. The determination of whether the site has significant natural features shall be made by the City Council, after review of a Natural Features Analysis, prepared by the applicant, that inventories these features; or
- b. Recreation Facilities. If the site lacks significant natural features, it can qualify with the provision of usable recreation facilities to which all residents of the development shall have reasonable access. Such recreation facilities include areas such as a neighborhood park, passive recreational facilities, soccer fields, ball fields, bike paths, or similar facilities that provide a feature of community-wide significance and enhance residential development. Recreational facilities that are less pervious than natural landscape shall not comprise more than fifty (50) percent of the open space. The determination of whether the site has significant natural features shall be made by the City Council after review of a Site Analysis Plan, prepared by the applicant, that inventories these features; or
- c. Preservation of Common Open Space or Creation of Natural Features. If the site lacks significant natural features, a proposed development may also qualify if the development will preserve common open space or create significant natural features such as wetlands. The determination of whether the site has significant natural features shall be made by the City Council after review of a Site Analysis Plan, prepared by the applicant, which inventories these features.

The applicant is preserving 30% of the site as open space. As requested, the applicant has shown the limits of grading disturbance on the grading plan.

In addition, the applicant is proposing the construction of a 14-space gravel parking lot and trailhead. The applicant notes that the trails will be determined after a conservation easement has been established. The School Districts notes that they will be preserving the balance of the remaining 69-acres and the trail head and parking area is a negotiated agreement between Robertson Brother and the school district that will serve that preserved land.

A tree survey has been provided to inventory the natural features that exist onsite and to calculate the requirements for tree replacement. The site is heavily wooded. The survey examined the existing tree list of approximately twelve (12) acres at the south of the site, where the proposed development will occur. Full replacement and preservation details are shown in **Table 2**.

Table 2. – Tree Replacement Details

Protected Tree	Inches Removed	Replacement Required
Landmark	220 inches	220 inches
Woodland	2889 inches	1445 inches
Preservation/Mitigation	Inches Preserved	Credit
Landmark	10752 inches	10752 inches
Woodland	1536 inches	3072 inches
Protected Replacement Required	1665 inches	
Preservation Credit	13824 inches	
Total	+ 12,159 inch Credit	
Total Tree Mitigation	Zero. The number of inches preserved and credited exceed the mitigation required.	

Guarantee of Open Space and Tree Preservation:

The submitted site plan references a tree protection fence that separates land to be developed from land to be preserved and the trees that exist in these areas.

Items to be addressed: *Planning Commission is to consider and make a recommendation to City Council if the layout and natural features preservation meets the intent of the Cluster provision and has the applicant creatively designed the site to either preserve significant natural resources.*

SITE ACCESS AND CIRCULATION

Vehicular

Access to the site will be from two driveways off of Square Lake Road. The development will be served by an internal twenty-eight (28) foot wide private road, located inside of a forty (40) foot roadway easement.

Pedestrian

The applicant proposes a five (5) foot wide concrete sidewalk along the perimeter of the private roads. The internal sidewalk will connect to existing sidewalk on Square Lake Road. The engineering department has reviewed the pedestrian plan and notes:

Fire

The fire department has reviewed the plan and supports the fire circulation plan.

Items to be Addressed: None

STORMWATER

Stormwater management has been shown on the submitted plans with a detention pond within the preserved 6 acres.

Items to be Addressed: None

LANDSCAPING

One-Family Cluster development landscaping requirements are regulated by Section 13.02.F.2.

Table 2. – Landscaping Requirements

Frontage	Required	Provided	Compliance
Proposed Private Rd.	One (1) deciduous tree for every 50 lineal feet.	50 Trees	Compliant
Square Lake Road 120-foot ROW	One (1) large evergreen tree per ten (10) lineal feet. 843 lf./10 lf=84 evergreen trees	84 Trees	Compliant

The applicant is deficient in right-of-way and private road landscaping in the submitted plan.

Items to be Addressed: None

ELEVATIONS AND FLOOR PLANS

The applicant has submitted proposed housing elevations with three elevation options. The types of housing include a ranch home and two, two-story colonials. The indicated square footage for all three elevations is 1,830 sq/ft.

Items to be Addressed: None

CLUSTER STANDARDS

As set forth in section 10.04.I, the applicant shall demonstrate that through the use of the Cluster option, the development will accomplish a sufficient number of the following objectives, as are reasonably applicable to the site, providing:

- a. Long-term protection and preservation of natural resources, natural features, and open space of a significant quantity and/or quality in need of protection or preservation, and which would otherwise be unfeasible or unlikely to be achieved absent these regulations.
- b. Innovative and creative site design through flexibility in the siting of dwellings and other development features that would otherwise be unfeasible or unlikely to be achieved absent these regulations.
- c. Appropriate buffer and/or land use transitions between the Cluster development and surrounding properties.
- d. A compatible mixture of open space, landscaped areas, and/or pedestrian amenities.
- e. Sustainable design features and techniques, such as green building, stormwater management best practices, and low impact design, which will promote and encourage energy conservation and sustainable development.
- f. A means for owning common open space and for protecting it from development in perpetuity.
- g. Any density bonus is commensurate with the benefit offered to achieve such bonus.
- h. The cluster development shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.
- i. The architectural form, scale, and massing shall ensure buildings are in proportion and complementary to those of adjacent properties and the selected building materials are of high, durable quality. The garage shall not be the dominant feature of a residential building.

The applicant is seeking approval for six (6) additional units than permitted in parallel plan in exchange for the following benefits:

- A. 30% overall site open space, which allows for the preservation of natural resources and inclusion of site amenities.
- B. Allows for private road which provides an additional buffer than a public road to adjacent properties.
- C. Open space collar around perimeter to adjacent properties.
- D. Long-term protection and preservation of natural features, and open space.
- E. Preservation of 227 regulated trees and a regulated wetland.
- F. Adequately served by public services.
- G. Provides an architectural form, scale, and massing that are in proportion and complementary to those of adjacent properties and the selected building materials are of high, durable quality.
- H. Provides a public parking lot and trail head to preserved trails.
- I. Provides a housing product with first floor master bedroom and bath desired by the community.

RECOMMENDATIONS

The applicant is seeking to develop this site as a cluster in order to provide 30% common open space, allow for tree preservation, preserve the regulated wetland. Many of the benefits of this development would not be achievable without a cluster type development. Overall we find:

- 1) The cluster development better protects the sites natural resources than if the site were not developed as a cluster.
- 2) The cluster development better protects the adjacent properties than if the site were not developed as a cluster.
- 3) The cluster development is compatible with adjacent properties.
- 4) The site can be adequately served with municipal water and sewer.
- 5) The applicant is providing a public parking lot and trail head to preserved trails.
- 6) The applicant is providing a housing product with first floor master bedroom and bath desired by the community.

Overall we recommend that the Planning Commission recommend approval of the Cluster Plan to the City Council with the following conditions:

1. Provide a new assessment or extension from EGLE
2. Provide maintenance agreement for the parking lot
3. Provide easement over Turtle Woods for access to the public lot.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

memorandum



Date: August 27, 2020

To: Bill Huotari, PE
From: Sara Merrill, PE, PTOE

Re: Meadows of Troy
Anticipated Traffic Impacts

The purpose of this memorandum is to provide an overview of anticipated traffic impacts resulting from Meadows of Troy, a proposed site condominium development consisting of 31 detached single-family homes. The development is located on the north side of Square Lake Road, east of John R Road. In the immediate vicinity of the site, Square Lake Road is a 2-lane roadway, with one through lane in each direction.

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition, provides trip generation rates for numerous land uses, based on thousands of studies throughout the United States and Canada. This data can then be used to estimate the number of vehicle trips generated by a development. For residential housing, traffic impacts are usually most noticeable during the peak hour of adjacent street traffic – that is, during morning and evening “rush hour”, when traffic on the roads is most congested. In most areas, the morning (AM) peak is a one hour period that occurs between 7 am – 9 am, and the evening (PM) peak is a one hour period usually between 4 pm – 6 pm.

The table below provides the calculated number of trips generated for the proposed Meadows of Troy, based on the ITE Trip Generation Manual for Single-Family Detached Housing (ITE Land Use Code #210).

Number of Dwelling Units	Number of Site-Generated Trips								
	AM Peak Hour			PM Peak Hour			Daily		
	In	Out	Total	In	Out	Total	In	Out	Total
31 Units	7	20	27	21	12	33	177	177	354

During the morning (AM) peak hour, the proposed Meadows of Troy development is expected to generate 27 new trips: 7 inbound (entering the site), and 20 outbound (exiting the site). During the evening (PM) peak hour, the proposed site is expected to generate 33 new vehicle trips: 21 inbound (entering the site) trips, and 12 outbound (exiting the site). This pattern coincides with residents typically leaving in the morning for work, and returning home in the evening.

The traffic generated by the proposed development is minimal, adding just a few dozen vehicle trips during the peak (“busiest”) hour. The traffic impact of this site on the adjacent road network is negligible and would be imperceptible to the majority of road users.

As a point of comparison, Square Lake Road (between John R Road and Dequindre Road) carries close to 1,000 vehicles during the PM peak hour, and averages over 11,000 vehicles per day. Even amongst typical weekdays, traffic volumes during the peak hours alone often vary by 10%+ from one day to the next. The day-to-day fluctuations result in peak hour traffic volumes that vary by upwards of a hundred vehicles. The proposed homes in Meadows of Troy are expected to generate fewer than 35 new vehicle trips during the peak hour.

From: [Dorene](#)
To: [Planning](#)
Subject: Re parcel 88-20-01-300-016; 12.42 acres
Date: Thursday, April 1, 2021 12:32:21 PM

This email is in regards to the above property.

This city cannot leave one parcel untouched in the City of Troy. Once again, the TSD is greedy for its money and has no good conscience to leave any plot of land alone. This land, like all the others the TSD sold, is a wildlife sanctuary. But money gets in the way of a good conscience in this city. We don't need 31 more units anywhere in this city.

It is sad and sickening that everyone involved doesn't look past the greed. The land and its trees are desperately needed for climate change. The wildlife sanctuary is not only a gem in this city, but the preservation of wildlife is so very important in a thriving municipality. It is appalling that no one in this city has a conscience, most of all the TSD, who are educators.

That is precisely why this city looks like every other built up city now. Green space is a must where families and children grow up, but this city has no plans for that. The master plan is poor because it has no balance. Building in this city should have ceased 10 years ago. You can't get any more land once it's gone.

Residents are sad and fed up.

Truly,

Another fed up resident

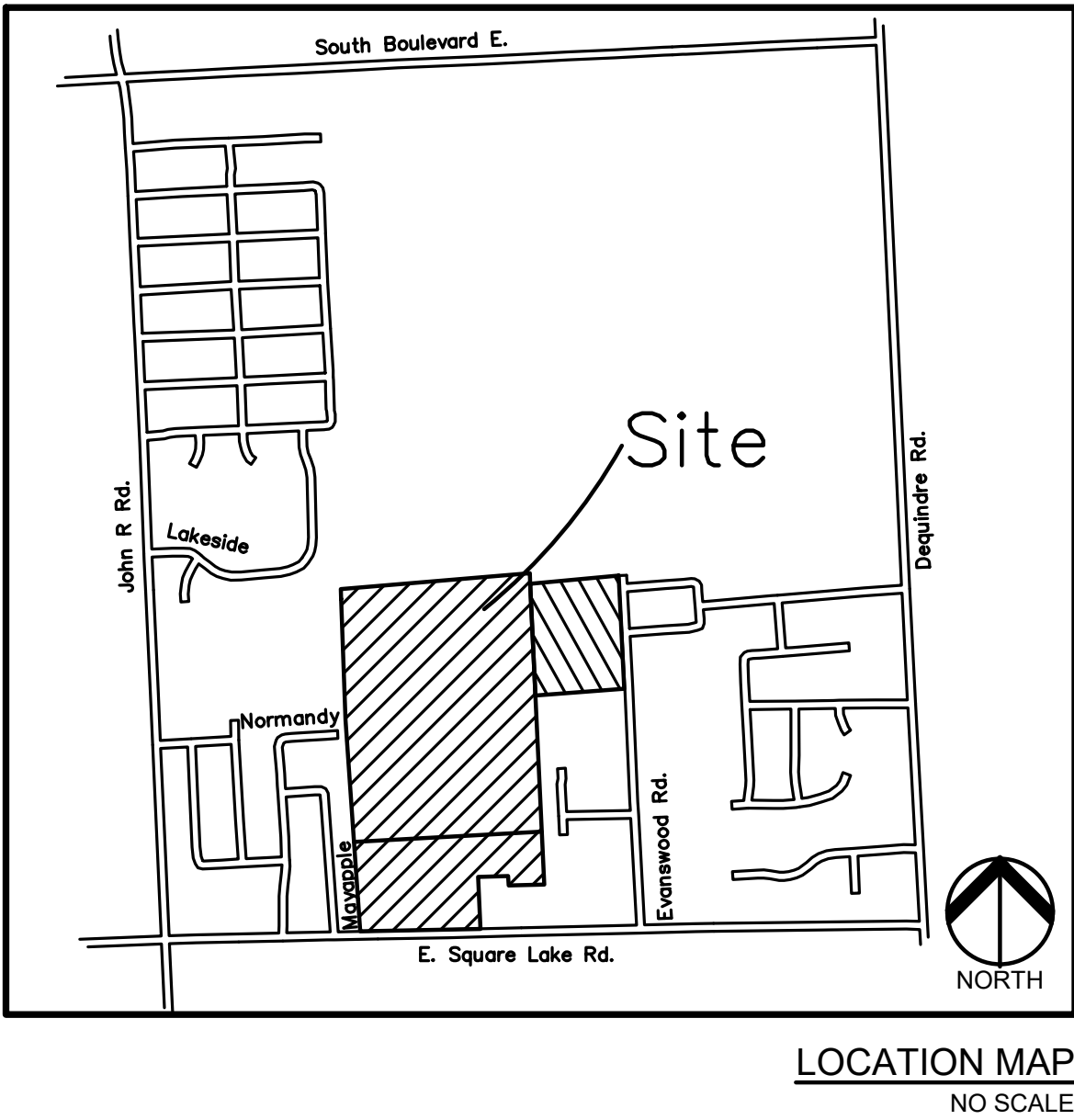
Sent from XFINITY Connect App

PRELIMINARY SITE PLANS

MEADOWS OF TROY

PART OF THE SW 1/4 OF SECTION 1, T.2N., R.11E.
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
P-2.0	PARCEL MAP
P-2.1	TOPOGRAPHIC SURVEY
P-3.0	OVERALL SITE PLAN
P-3.1	PRELIMINARY SITE PLAN
P-3.2	PRELIMINARY OPEN SPACE PLAN
P-4.0	PRELIMINARY GRADING PLAN
P-5.0	PRELIMINARY UTILITY PLAN
P-6.0	PARALLEL PLAN
L-1	OVERALL LANDSCAPE PLAN
L-2	DETENTION POND SEEDING PLAN
L-3	LANDSCAPE ENLARGEMENT PLANS
L-4	TREE PRESERVATION PLAN
L-5	TREE SURVEY (1 OF 4)
L-6	TREE SURVEY (2 OF 4)
L-7	TREE SURVEY (3 OF 4)
L-8	TREE SURVEY (4 OF 4) & LANDSCAPE DETAILS
L-9	LANDSCAPE DETAILS & NOTES

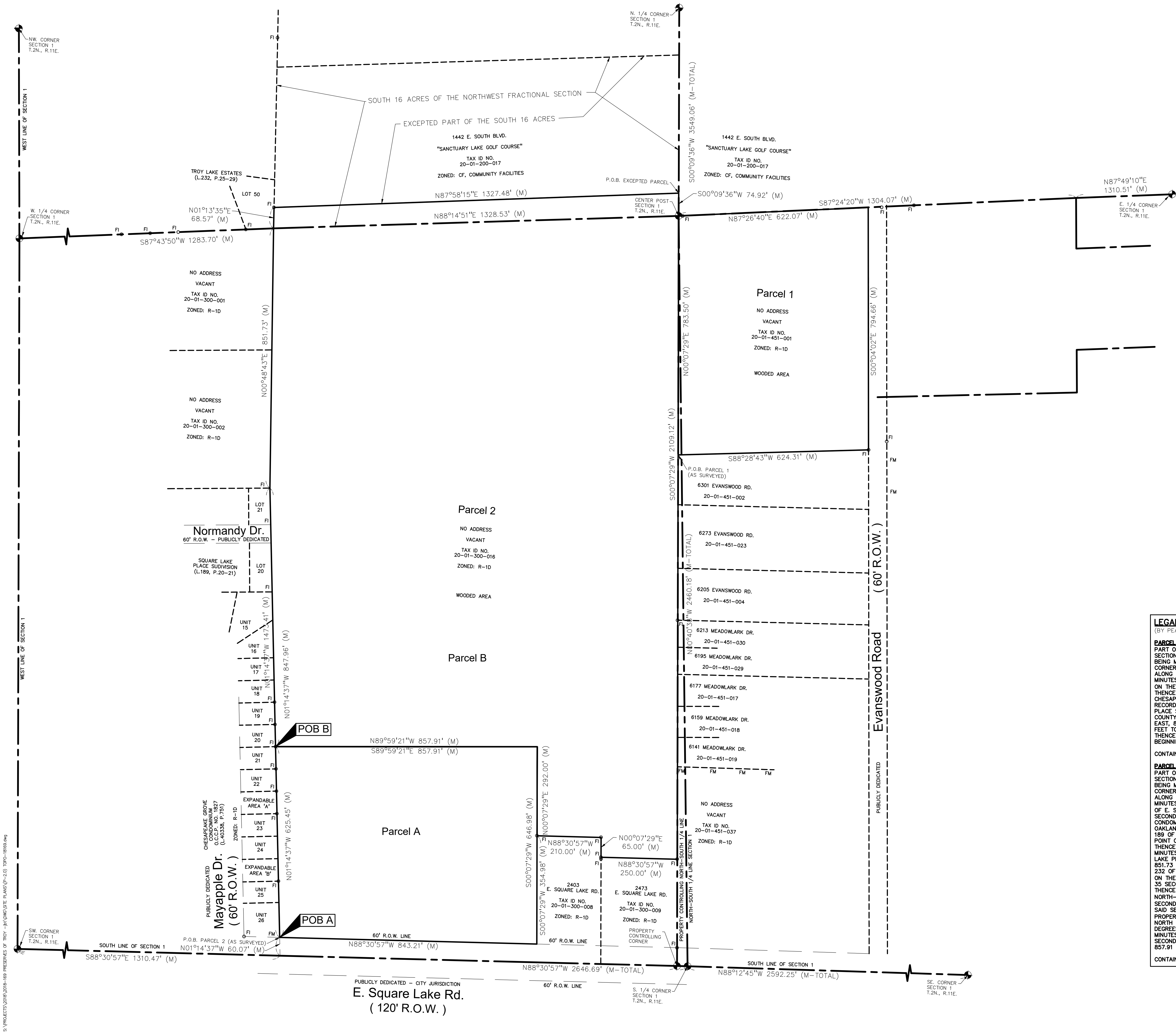
DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD, SUITE 200 BLOOMFIELD HILLS, MI 48301 CONTACT: TIM LOUGHRIN PHONE: 248.282.1428 EMAIL: TLOUGHRIN@ROBERTSONHOMES.COM	PEA GROUP 2430 ROCHESTER COURT, STE. 100 TROY, MI 48063-1872 CONTACT: JOHN B. THOMPSON, PE PHONE: 844.813.2949 EMAIL: JTHOMPSON@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
TK DESIGN & ASSOCIATES, INC. 26030 PONTIAC TRAIL SOUTH LYON, MI 48178 CONTACT: TODD HALLETT PHONE: 248.446.1960 EMAIL: THALLETT@TKHOMEDSIGN.COM	LAND DESIGN STUDIO, PLLC 1816 W. THIRTEEN MILE ROAD, SUITE B-4 SOUTHFIELD, MI 48076 CONTACT: TAD KREAR, R.L.A. PHONE: 248.594.3220 EMAIL: TAD@LDSRO.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	7/30/2020
REVISED LAYOUT	9/22/2020
PLANNER REVIEW COMMENTS	2/19/2021





LEGAL DESCRIPTION
(PER SURVEY PROVIDED BY STANTEC CONSULTING, PROJECT NO. 2075105700, DATED JUNE 25, 2007)

PARCEL 1
PART OF THE SOUTHEAST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 2612.25 FEET TO THE PROPERTY CONTROLLING CORNER; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST ALONG THE NORTH-SOUTH PROPERTY CONTROLLING LINE OF SAID SECTION 1, 1675.82 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID PROPERTY CONTROLLING LINE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 783.50 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE NORTH 87 DEGREES 26 MINUTES 40 SECONDS EAST ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 1, 622.07 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF EVANSWOOD ROAD (60 FEET WIDE); THENCE SOUTH 00 DEGREES 04 MINUTES 02 SECONDS EAST ALONG SAID WEST LINE OF EVANSWOOD ROAD, 794.66 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 43 SECONDS WEST, 624.31 FEET TO THE POINT OF BEGINNING.

TAX ID NO. 20-01-451-001
ADDRESS: NONE (VACANT)
CONTAINING: 491,407.07 SQUARE FEET OR 11.281 ACRES

PARCEL 2
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WDE); THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 1473.41 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 28, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, 354.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF BEGINNING.

TAX ID NO. 20-01-300-016
ADDRESS: NONE (VACANT)
CONTAINING: 3,077,405.52 SQUARE FEET OR 70.647 ACRES

LEGAL DESCRIPTION
(BY PEA GROUP)

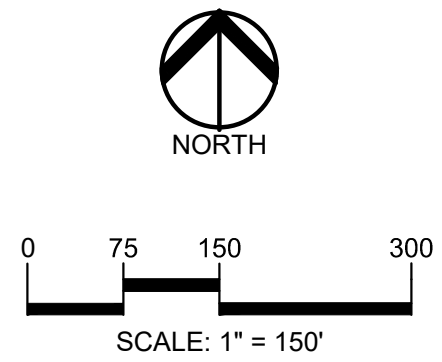
PARCEL A
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WDE); THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 1473.41 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 28, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, 354.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF BEGINNING.

CONTAINING: 540,917.85 SQUARE FEET OR 12.42 ACRES

PARCEL B
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WDE); THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 1473.41 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 28, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, 354.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF BEGINNING.

CONTAINING: 2,536,487.73 SQUARE FEET OR 58.23 ACRES

PEA GROUP
TROY • WASHINGTON TWP
BRIGHTON • DETROIT
t: 844.813.2949
www.peagroup.com



811 Know what's below. Call before you dig.
CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
ROBERTSON BROTHERS CO.
6905 TELEGRAPH ROAD, SUITE 200
BLOOMFIELD HILLS, MI

PROJECT TITLE
MEADOWS OF TROY
E. SQUARE LAKE ROAD
TROY, MICHIGAN

REVISIONS	
REVISED LAYOUT	09-22-20
PLANNER REVIEW COMMENTS	02-19-21

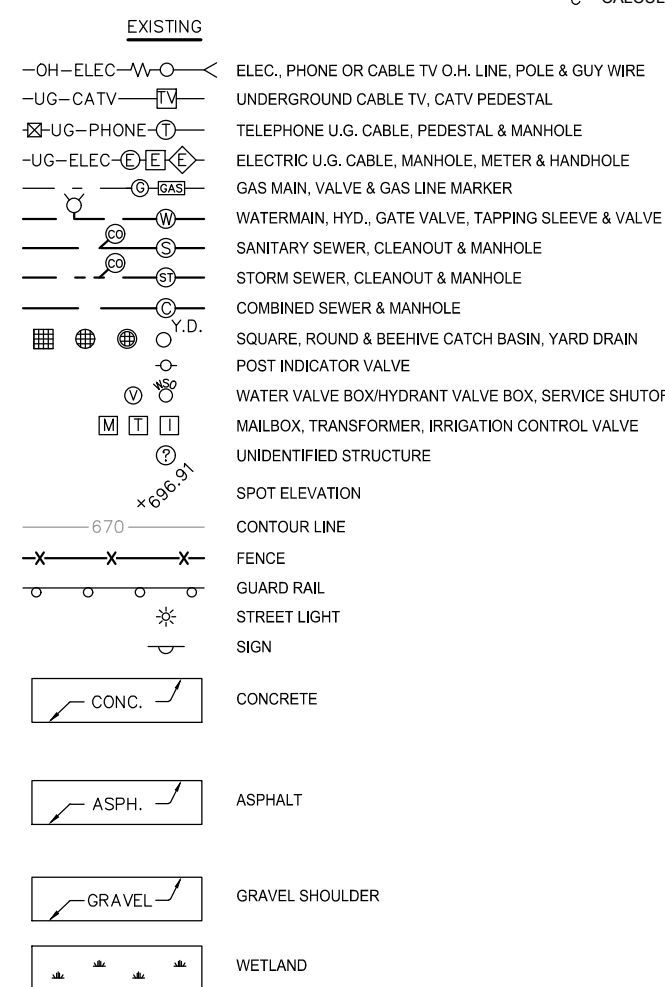
ORIGINAL ISSUE DATE:
JULY 30, 2020

DRAWING TITLE
PARCEL MAP

PEA JOB NO.	2018-169
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

P-2.0



LEGAL DESCRIPTION

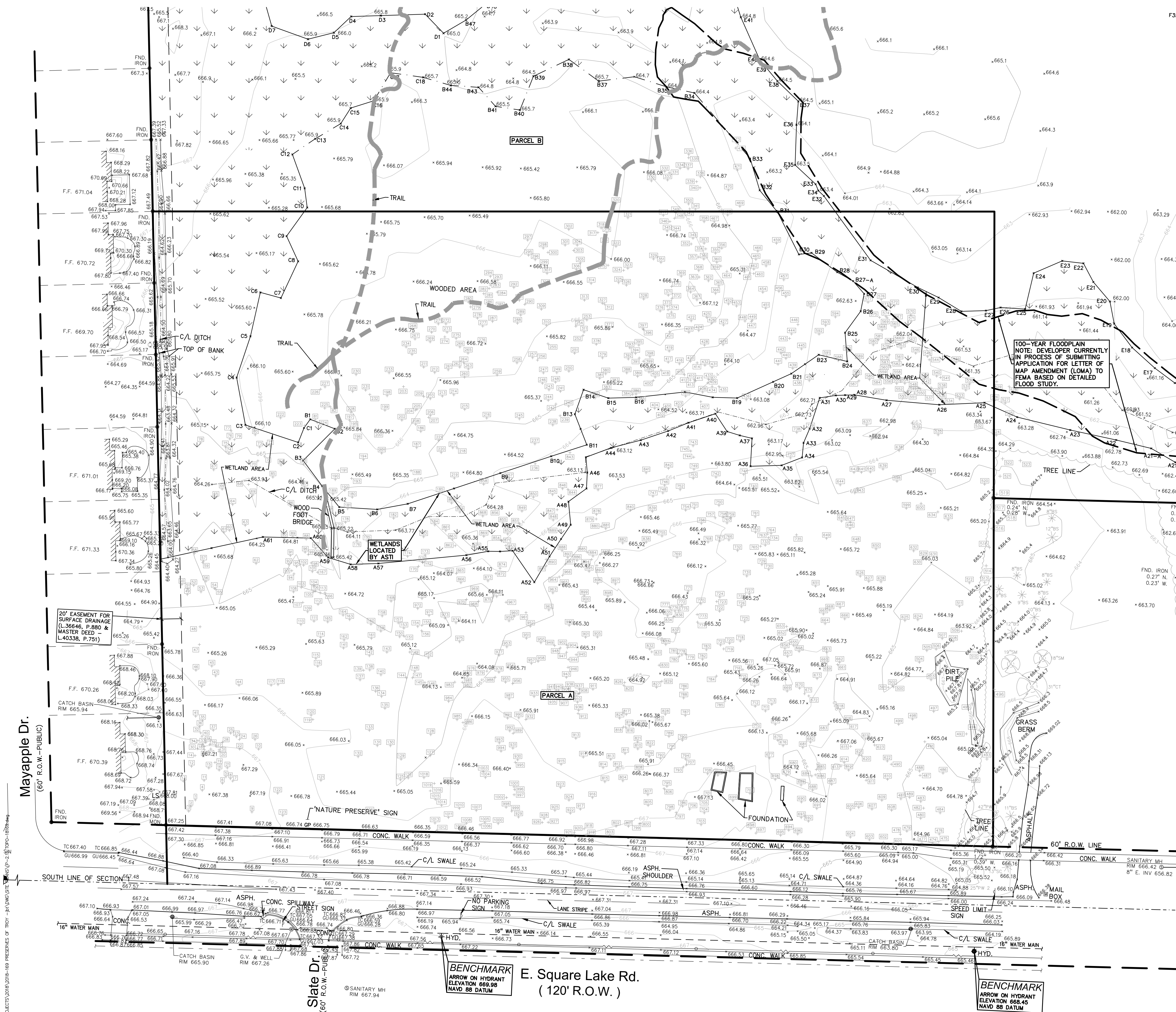
REFER TO SHEET P-2.0 FOR LEGAL DESCRIPTIONS

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

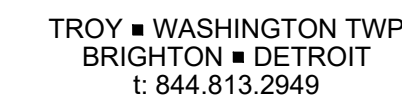
TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY NE ENGINEERS.

FLOODPLAIN NOTE:

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING ONLY, A PORTION OF THE PROPERTY DESCRIBED ON THIS SURVEY LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE(S) 'A' AND 'X' OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 26125C0553G, DATED SEPTEMBER 29, 2006.



NOT FOR CONSTRUCTION



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

**ROBERTSON
BROTHERS CO.**
6905 TELEGRAPH ROAD, SUITE 200
BLOOMFIELD HILLS, MI

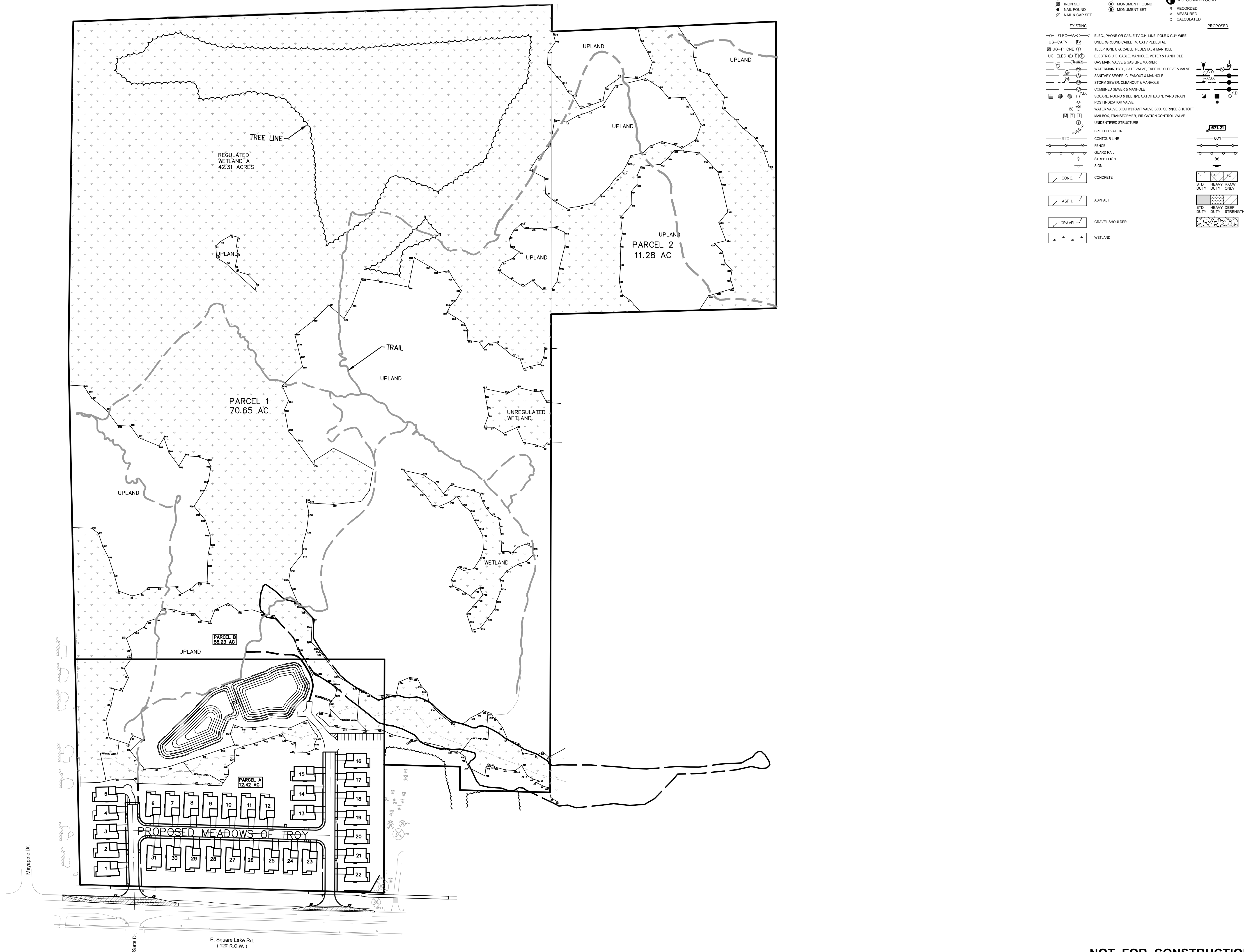
**MEADOWS
OF TROY**
E. SQUARE LAKE ROAD
TROY, MICHIGAN

DRAWING TITLE

**OVERALL
SITE PLAN**

DRAWING NUMBER:

P-3.0



S:\PROJECTS\2018\2018-169 PRESERVES OF TROY -bt\DWG\SITE PLANS\ (P-3.0) OVERALL-18169.dwg

S:\PROJECTS\2018\2018-169 PRESERVES OF TROY - b1\DWG\SITE PLANS\P-3.1 DIM-18169.dwg



SURROUNDING PROPERTY DETAILS:			
DIRECTION	ZONING		USE
NORTH	R-1D, ONE-FAMILY	RESIDENTIAL DISTRICT	CONSERVATION AREA
SOUTH	R-1C, ONE-FAMILY	RESIDENTIAL DISTRICT	SINGLE-FAMILY HOMES
EAST	R-1D, ONE-FAMILY	RESIDENTIAL DISTRICT	SINGLE-FAMILY HOMES
WEST	R-1D, ONE-FAMILY	RESIDENTIAL DISTRICT	SINGLE-FAMILY HOMES

CAUTION!!
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PROJECT TITLE
**MEADOWS
OF TROY**
E. SQUARE LAKE ROAD
TROY, MICHIGAN

ORIGINAL ISSUE DATE:
JULY 30, 2020

PEA JOB NO.	2018-16
P.M.	JB
DN.	TM
DES.	TM
DRAWING NUMBER:	

P-3.1

REVISIONS	
REVISED LAYOUT	09-22-20
PLANNER REVIEW COMMENTS	02-19-21

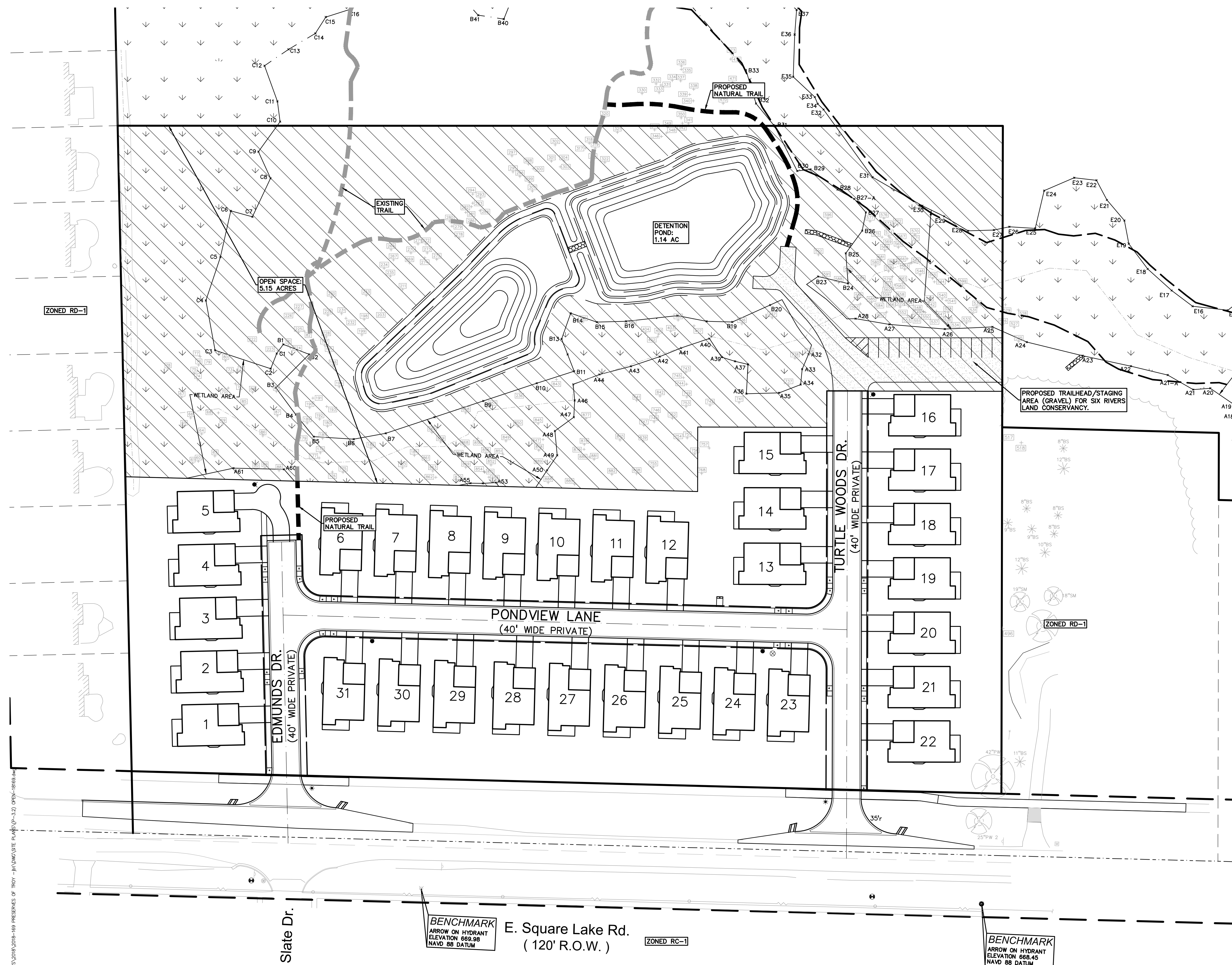
ORIGINAL ISSUE DATE:
JULY 30, 2020

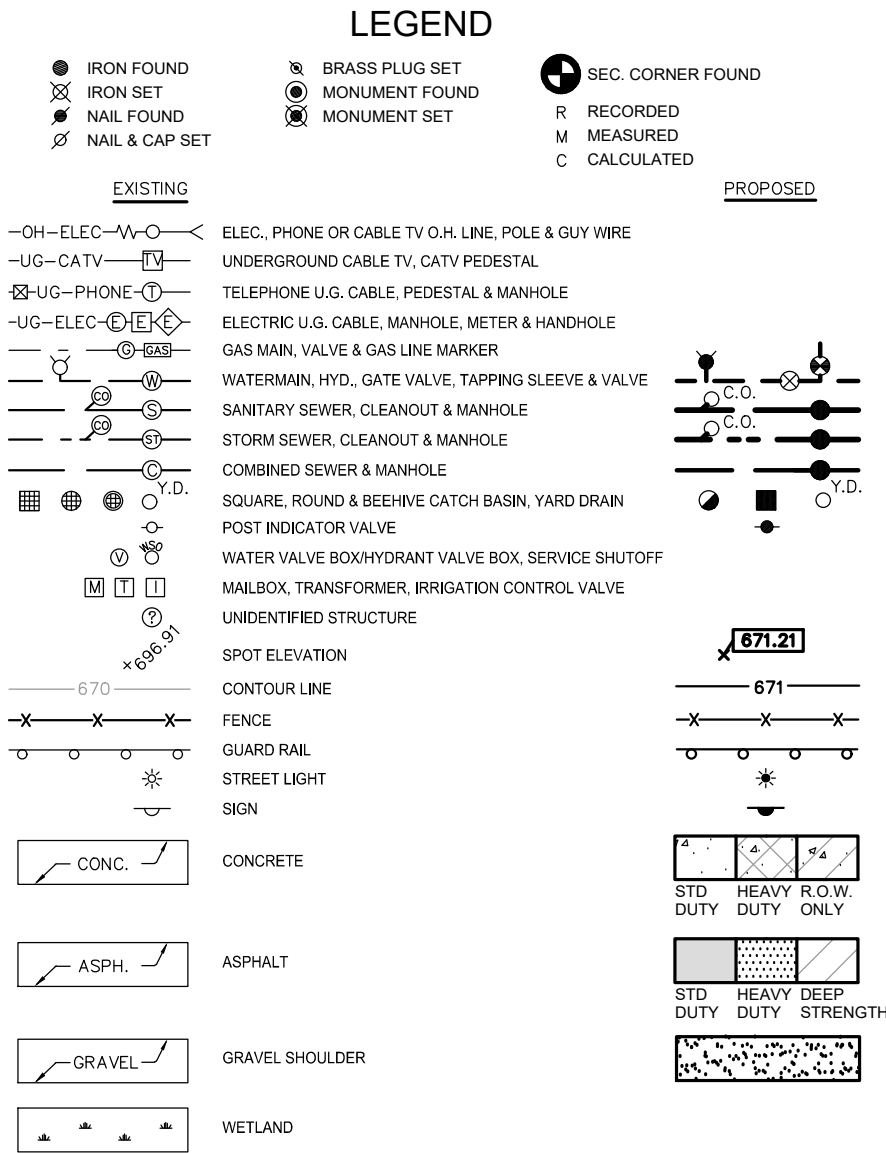
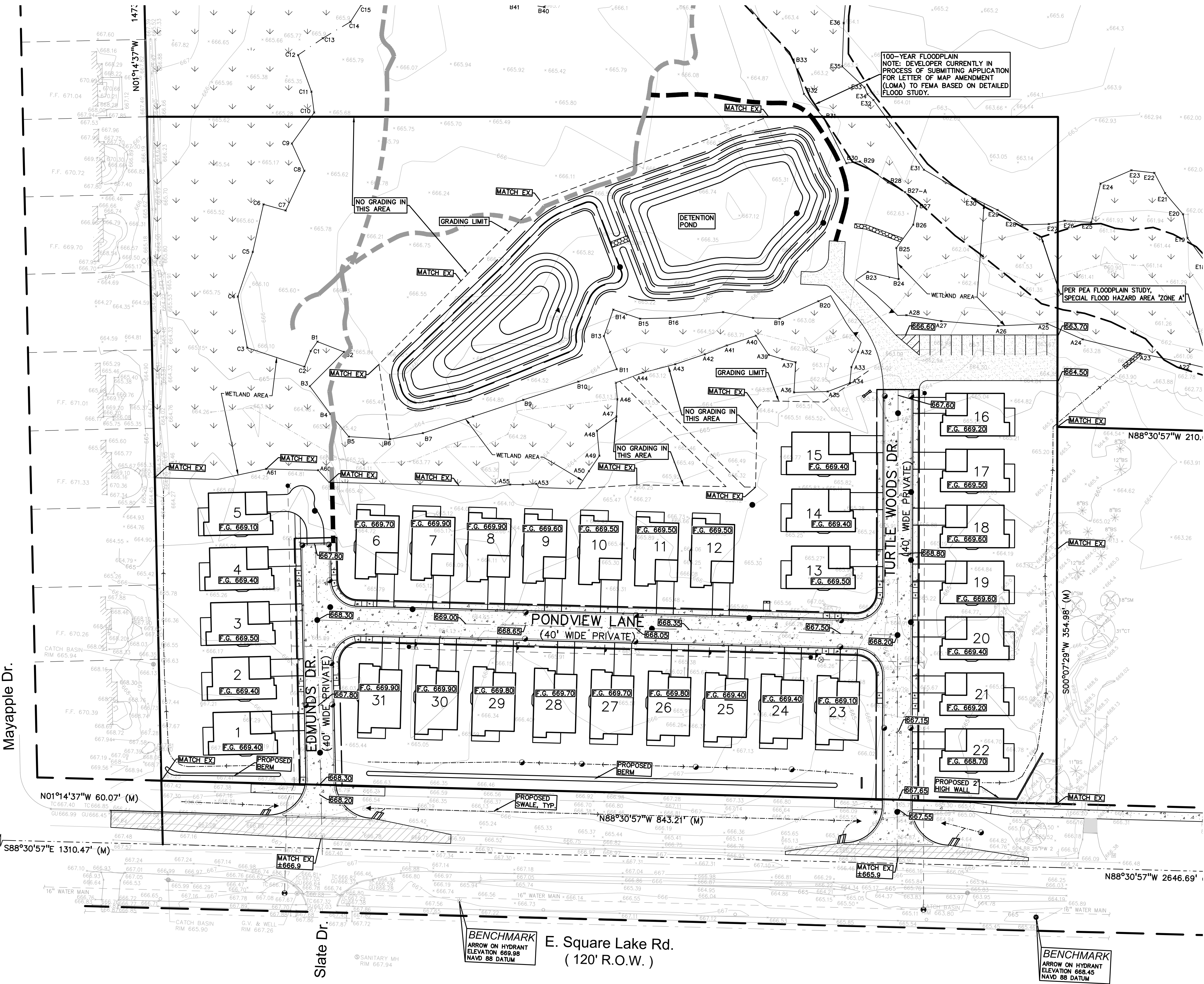
DRAWING TITLE

**PRELIMINARY
OPEN SPACE
PLAN**

PEA JOB NO.	2018-169
P.M.	JBT
DN.	TMK
DES.	TMK

DRAWING NUMBER:

[illegible]



NOTE:
STEPPED BRICK LEDGES EXPECTED AT THE REAR OF BUILDINGS 5-10 AND 16-22.

PEA GROUP

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www.peagroup.com

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CAUTION!!
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CLIENT
ROBERTSON BROTHERS CO.
6905 TELEGRAPH ROAD, SUITE 200
BLOOMFIELD HILLS, MI

PROJECT TITLE
MEADOWS OF TROY
E. SQUARE LAKE ROAD
TROY, MICHIGAN

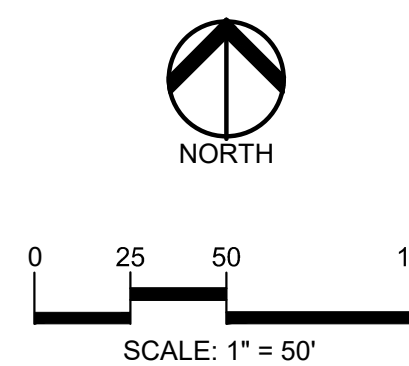
REVISIONS	
REVISED LAYOUT	09-22-20
PLANNER REVIEW COMMENTS	02-19-21

ORIGINAL ISSUE DATE:
JULY 30, 2020

DRAWING TITLE
PRELIMINARY GRADING PLAN

PEA JOB NO.	2018-169
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	P-4.0

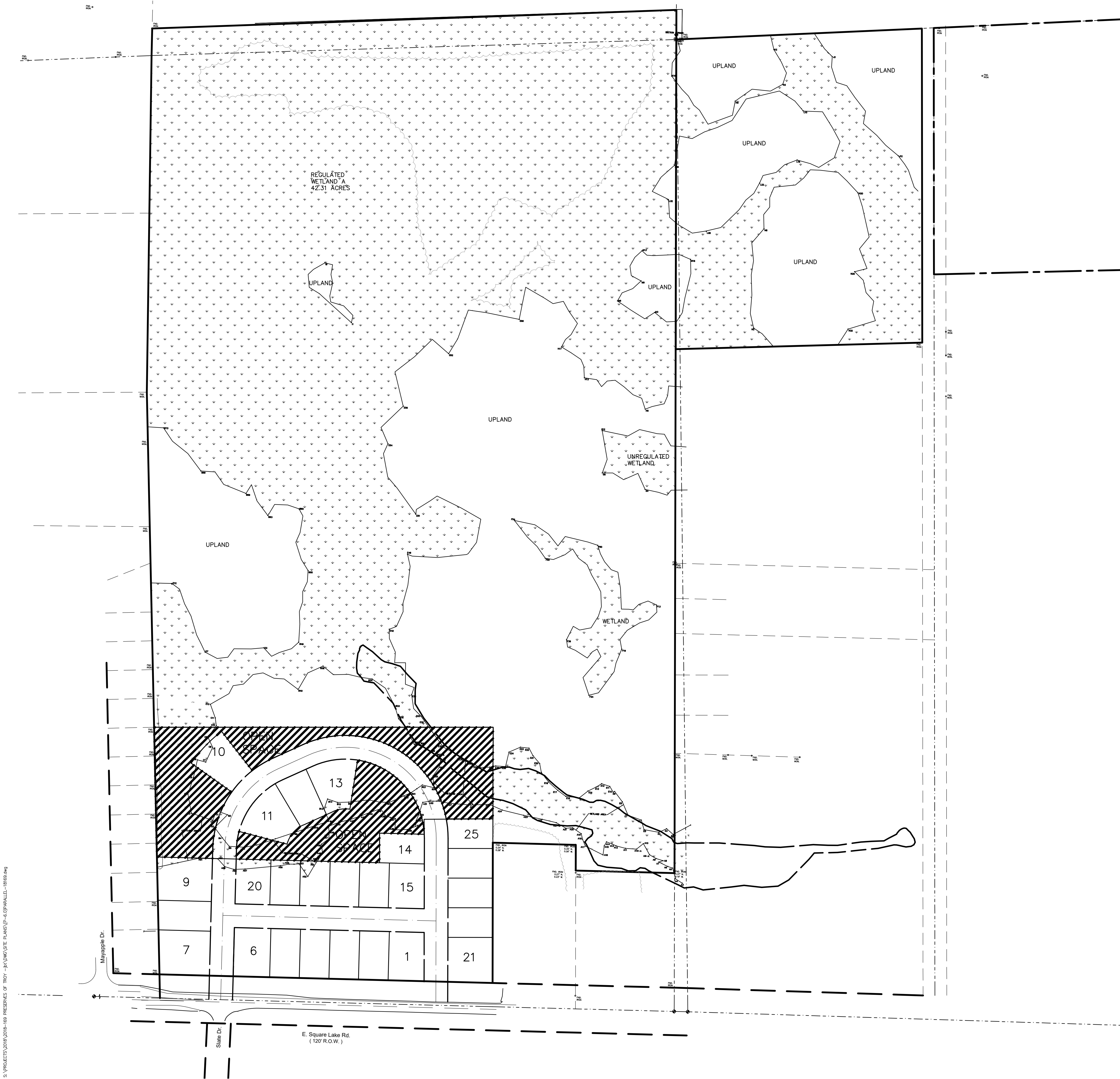
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ZONED: R-1D
LOT AVG. METHOD
LOTS: 25



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CLIENT
ROBERTSON BROTHERS CO.
6805 TELEGRAPH ROAD, SUITE 200
BLOOMFIELD HILLS, MI

PROJECT TITLE
MEADOWS OF TROY
E. SQUARE LAKE ROAD
TROY, MICHIGAN

REVISIONS	
REVISED LAYOUT	09-22-20
PLANNER REVIEW COMMENTS	02-19-21

ORIGINAL ISSUE DATE:
JULY 30, 2020

DRAWING TITLE
PARALLEL PLAN

PEA JOB NO.	2018-169
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	


NOT FOR CONSTRUCTION

P-6.0



750 Forest Ave. - Suite 101
Birmingham, MI 48009
T: 248.594.3220

LEGEND

 = Existing Trees, To Remain

Landscape Requirement Summary

Diversity of Plant Material

Required: Minimum 50% of the total proposed plantings are native tree and shrub species
Proposed: 94% native tree and shrubs species

Greenbelt Landscape

Required: Min. 10' width Greenbelt along Public Road R.O.W.
Proposed: 10' width Greenbelt along Square Lake R.O.W.
Required: 1 Deciduous Tree per 30 LF of Greenbelt
Greenbelt Length: 843.45 LF
Required: 84 Trees
Proposed: 84 Trees

Street Tree Landscape

Required: 1 Tree per 50 LF internal road frontage
Unit 1-5 Frontage: 269.83 LF
Required: 6 Trees
Proposed: 6 Trees
Unit 6 W. Frontage: 112.98 LF
Required: 3 Trees
Proposed: 3 Trees
Unit 6-13 S. Frontage: 520.75 LF
Required: 11 Trees
Proposed: 11 Trees
Unit 13-15 Frontage: 227.87 LF
Required: 5 Trees
Proposed: 5 Trees
Unit 16-22 Frontage: 386.58 LF
Required: 8 Trees
Proposed: 8 Trees
Unit 23 E. Frontage: 130.03 LF
Required: 3 Trees
Proposed: 3 Trees
Unit 23-31 Frontage: 520.08 LF
Required: 11 Trees
Proposed: 11 Trees
Unit 31 W. Frontage: 130.15 LF
Required: 3 Trees
Proposed: 3 Trees

Woodland Replacement Summary

Total Trees Surveyed: 1,019
- Total Trees Offsite: 27
Total Onsite Trees: 992

Total Trees Saved: 237

Total Trees Removed: 755
- Woodland Trees: 322
- Woodland Tree DBH: 2,889.00"
- Landmark Trees: 13
- Landmark Tree DBH: 220.00"
- Exempt Trees: 420"
*Exempt Trees include prohibited trees species, and Poor Quality Trees

Replacement Requirements:

Required: 50% of Woodland Tree DBH Removed
100% of Landmark Tree DBH Removed

Required: 1,664.50"

Provided: 6,028.00"

**6,028.00" provided from Existing Trees saved on site at a rate of 2x the inch for inch equivalent.

Additional Trees Preserved Onsite:

Additional Tree Preservation Area Onsite: 64,126.40 sf (1.47 Ac.)

*Trees within this Preservation Area are determined by Representative

Tree Plots at the following calculations

Representative Tree Plot: 100'x100' (1,000 sf)

- Woodland Trees: 21 at 8" average = 168" DBH

- Landmark Trees: 2 at 12" average = 24" DBH

- Invasive Trees: 14 (Exempt for Replacement)

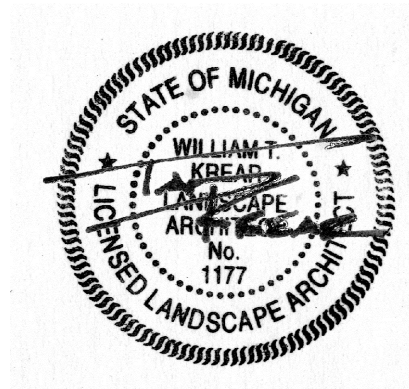
- Total DBH per Plot: 192"

Additional Tree Preservation

- Tree Plots per Area: 64,126.40 / 1,000 = 64.13

- Additional DBH Saved: 12,312.96"

Total Replacement Credit: 18,876.96"



■ sheet title:

Overall Landscape Plan

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

18028

■ date:

07.28.2020

■ drawn by:

EMJ

■ checked by:

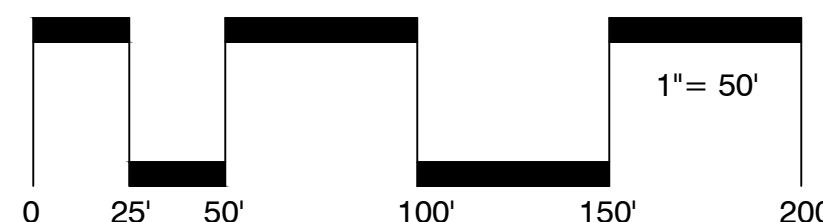
WTK

■ revisions:

09.21.2020 Per Engineering Revisions
02.22.2021 Per Municipal Review



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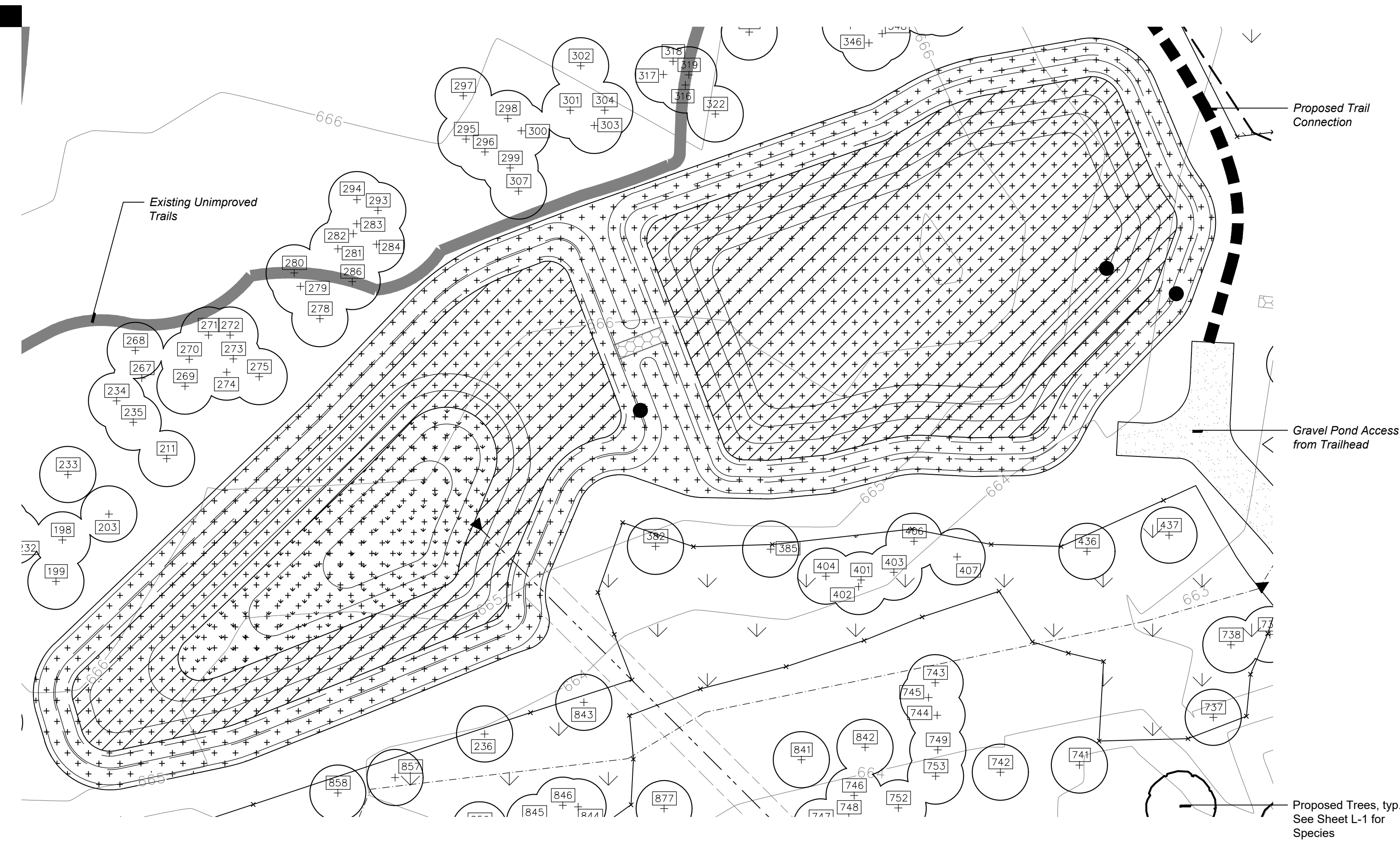
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L-1

Plant Schedule This Sheet

Trees						
sym.	qty.	botanical name	common name	size	spacing	root native*
AR	24	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	2.5" cal.	per plans	B&B yes
LT	3	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5" cal.	per plans	B&B yes
PG	40	<i>Picea glauca</i>	White Spruce	6' ht.	per plans	B&B yes
PS	44	<i>Pinus strobus</i>	White Pine	6' ht.	per plans	B&B yes
QR	23	<i>Quercus robur</i> 'Fastigiata'	Columnar English Oak	2.5" cal.	per plans	B&B yes
ZS	9	<i>Zelkova serrata</i>	Japanese Zelkova	2.5" cal.	per plans	B&B

* "Native" for the purposes of the Ordinance requirement is being interpreted to include "nearly native" cultivars which possess beneficial improvements over the species.



Stormwater Seed Mix - Edge Zone					
Botanical Name	Common Name	PLS Ounces/Acre			
Permanent Grasses/Sedges/Rushes:					
<i>Bolboschoenus fluviatilis</i>	River Bulrush	1.00			
<i>Carex cristatella</i>	Crested Oval Sedge	0.50			
<i>Carex lurida</i>	Bottlebrush Sedge	3.00			
<i>Carex vulpinoidea</i>	Brown Fox Sedge	2.00			
<i>Elymus virginicus</i>	Virginia Wild Rye	24.00			
<i>Glyceria striata</i>	Fowl Manna Grass	1.00			
<i>Juncus effusus</i>	Common Rush	1.00			
<i>Leersia oryzoides</i>	Rice Cut Grass	1.00			
<i>Panicum virgatum</i>	Switch Grass	2.00			
<i>Schoenoplectus tabernaemontani</i>	Great Bulrush	3.00			
<i>Scirpus atrovirens</i>	Dark Green Rush	2.00			
<i>Scirpus cyperinus</i>	Wool Grass	1.00			
	Total	41.50			
Temporary Cover:					
<i>Avena sativa</i>	Common Oat	360.00			
<i>Lolium multiflorum</i>	Annual Rye	100.00			
	Total	460.00			
Forbs & Shrubs:					
<i>Alisma subcordatum</i>	Common Water Plantain	2.50			
<i>Asclepias incarnata</i>	Swamp Milkweed	2.00			
<i>Bidens</i> spp.	Bidens Species	2.00			
<i>Eupatorium perfoliatum</i>	Common Boneset	1.00			
<i>Helenium autumnale</i>	Sneezeweed	2.00			
<i>Iris virginica v. shrevei</i>	Blue Flag	4.00			
<i>Lycopus americanus</i>	Common Water Horehound	0.50			
<i>Mimulus ringens</i>	Monkey Flower	1.00			
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50			
<i>Persicaria</i> spp.	Pinkweed Species	2.00			
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00			
<i>Rudbeckia triloba</i>	Brown-Eyed Susan	1.50			
<i>Sagittaria latifolia</i>	Common Arrowhead	1.00			
<i>Senna hebecarpa</i>	Wild Senna	2.00			
<i>Symphoricarum lanceolatum</i>	Panicled Aster	0.50			
<i>Symphoricarum novae-angliae</i>	New England Aster	0.50			
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	2.00			
	Total	26.00			
Mix Statistics					
Native Component	PLS lbs./Acre	PLS Seeds/Acre	PLS Seeds/Sq. Ft.	% of Native Mix	
Forbs	1.63	1,334,949	30.65	32.19%	
Grasses	2.59	2,812,650	64.57	67.81%	
Total Natives	4.22	4,147,599	95.22	100.00%	
Cover	28.75	4,343,800	99.72		
Totals	32.97	8,491,399	194.94		

Emergent Wetland Seed Mix - Pond Zone					
Botanical Name	Common Name	PLS Ounces/Acre			
Permanent Grasses/Sedges/Rushes:					
<i>Bolboschoenus fluviatilis</i>	River Bulrush	1.00			
<i>Carex comosa</i>	Bristly Sedge	2.50			
<i>Carex lacustris</i>	Common Lake Sedge	0.50			
<i>Carex lurida</i>	Bottlebrush Sedge	4.00			
<i>Carex stricta</i>	Common Tussock Sedge	1.00			
<i>Carex vulpinoidea</i>	Brown Fox Sedge	2.00			
<i>Eleocharis palustris</i>	Great Spike Rush	1.00			
<i>Juncus effusus</i>	Common Rush	1.00			
<i>Leersia oryzoides</i>	Rice Cut Grass	3.00			
<i>Schoenoplectus acutus</i>	Hard-Stemmed Bulrush	2.50			
<i>Schoenoplectus pungens</i>	Chaimaker's Rush	1.50			
<i>Schoenoplectus tabernaemontani</i>	Great Bulrush	6.00			
	Total	26.00			
Temporary Cover:					
<i>Avena sativa</i>	Common Oat	360.00			
<i>Lolium multiflorum</i>	Annual Rye	100.00			
	Total	460.00			
Forbs:					
<i>Acorus americanus</i>	Sweet Flag	1.00			
<i>Alisma subcordatum</i>	Common Water Plantain	2.00			
<i>Asclepias incarnata</i>	Swamp Milkweed	1.00			
<i>Boehmeria cylindrica</i>	False Nettle	1.00			
<i>Cephalanthus occidentalis</i>	Buttonbush	6.00			
<i>Decodon verticillatus</i>	Swamp Loosestrife	0.50			
<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed	0.50			
<i>Hibiscus</i> spp.	Rose Mallow Species	4.00			
<i>Iris virginica v. shrevei</i>	Blue Flag	6.00			
<i>Lobelia cardinalis</i>	Cardinal Flower	0.25			
<i>Lobelia siphilitica</i>	Great Blue Lobelia	0.25			
<i>Lycopus americanus</i>	Common Water Horehound	1.00			
<i>Mimulus ringens</i>	Monkey Flower	1.00			
<i>Peltandra virginica</i>	Arrow Arum	16.00			
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50			
<i>Persicaria</i> spp.	Pinkweed Species	2.00			
<i>Pontederia cordata</i>	Pickering Weed	4.00			
<i>Sagittaria latifolia</i>	Common Arrowhead	2.00			
<i>Sparganium eurycarpum</i>	Common Bur Reed	6.00			
<i>Verbena hastata</i>	Blue Vervain	1.00			
	Total	56.00			
Mix Statistics					
Native Component	PLS lbs./Acre	PLS Seeds/Acre	PLS Seeds/Sq. Ft.	% of Native Mix	
Forbs	3.50	1,354,097	31.09	34.63%	
Grasses	1.63	2,556,083	58.68	65.37%	
Total Natives	5.13	3,910,179	89.77	100.00%	
Cover	28.75	4,343,800	99.72		
Totals	33.88	8,253,979	189.49		

Detention Pond Seeding Summary

Pond Zone - Elev. 659-661

4,753 s.f.
Application Rate: 39.8 lbs. / Ac.
4.34 lbs. of Emergent Wetland Seed Mix
3"-6" of Topsoil or Wetland Mulch Shall be Placed in this Area. Use Seed Mat.

Edge Zone - Elev. 661/664-663/664

27,858 s.f.
Application Rate: 32.6 lbs. / Ac.
20.85 lbs. of Stormwater Seed Mix
3"-6" of Topsoil or Wetland Mulch Shall be Placed in this Area. Use Seed Mat.

Upland Zone - Elev. 663/664-665

16,876 s.f.
Application Rate: 37.7 lbs. / Ac.
14.61 lbs. of Low Profile Prairie Mix
3"-6" of Topsoil Shall be Placed in this Area.

Seed Mixes available from Cardno JFNW
- www.cardnonativeplantnursery.com
- 574.586.2412
All Seed shall be protected with mulch blanket

Native Seeding Maintenance

During the first growing season, native areas should be mowed two to four times to a height of about 4"-6" when the growth reaches 10"-12". Selective herbicide applications or hand pulling may be needed to control unwanted weed populations. If a mower cannot be set high enough, a string trimmer can be used.

During the second growing season, native areas should be mowed a few times to a height of about 8" when the growth reaches 10"-18". Selective herbicide applications or hand pulling may be needed to control unwanted weed populations.


By the second growing season it should be apparent if some areas need reseeding. Reseed or overseed as needed.

Long term management may include prescribed burning, mowing, hand pulling, and selective herbicide applications. If burning is not allowed or feasible, the planting may be mowed to a short height and the clippings removed in the early spring before ground-nesting birds begin nesting.

Low-profile Prairie Seed Mix - Upland Zone					
Botanical Name	Common Name	PLS Ounces/Acre			
Permanent Grasses:					
<i>Bouteloua curtipendula</i>	Side-Oats Grama	16.00			
<i>Carex</i> spp.	Prairie Sedge Species	4.00			
<i>Elymus canadensis</i>	Canada Wild Rye	32.00			
<i>Koeleria macrantha</i>	June Grass	1.00			
<i>Panicum virgatum</i>	Switch Grass	1.00			
<i>Schizachyrium scoparium</i>	Little Bluestem	36.00			
	Total	90.00			
Temporary Cover:					
<i>Avena sativa</i>	Common Oat	360.00			
<i>Lolium multiflorum</i>	Annual Rye	100.00			
	Total	460.00			
Forbs:					
<i>Amorpha canescens</i>	Lead Plant	0.50			
<i>Asclepias syriaca</i>	Common Milkweed	2.00			
<i>Asclepias tuberosa</i>	Butterfly Weed	2.00			
<i>Baptisia alba</i>	White Wild Indigo	2.00			
<i>Chamaecrista fasciculata</i>	Partridge Pea	10.00			
<i>Coreopsis lanceolata</i>	Sand Coreopsis	5.00			
<i>Coreopsis palmata</i>	Prairie Coreopsis	1.00			
<i>Dalea candida</i>	White Prairie Clover	1.50			
<i>Dalea purpurea</i>	Purple Prairie Clover	1.50			
<i>Desmanthus illinoensis</i>	Illinois Sensitive Plant	3.00			
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	8.00			
<i>Eryngium yuccifolium</i>	Rattlesnake Master	2.00			
<i>Lespedeza capitata</i>	Round-Headed Bush Clover	2.00			
<i>Liatris aspera</i>	Rough Blazing Star	0.50			
<i>Lupinus perennis v. occidentalis</i>	Wild Lupine	4.00			
<i>Monarda fistulosa</i>	Wild Bergamot	0.50			
<i>Oligoneuron rigidum</i>	Stiff Goldenrod	1.00			
<i>Parthenium integrifolium</i>	Wild Quinine	1.00			
<i>Penstemon digitalis</i>	Foxglove Beard Tongue	0.50			
<i>Penstemon hirsutus</i>	Hairy Beard Tongue	1.00			
<i>Ratibida pinnata</i>	Yellow Coneflower	4.00			
<i>Rudbeckia hirta</i>	Black-Eyed Susan	5.00			
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00			
<i>Silphium terebinthinaceum</i>	Prairie Dock	1.00			
<i>Solidago speciosa</i>	Showy Goldenrod	0.50			
<i>Symphoricarum ericoides</i>	Heath Aster	0.25			
<i>Symphoricarum laeve</i>	Smooth Blue Aster	1.00			
<i>Symphoricarum novae-angliae</i>	New England Aster	0.50			
<i>Tradescantia ohiensis</i>	Common Spiderwort	1.00			
<i>Verbena stricta</i>	Hoary Vervain	1.00			
<i>Vernonia gigantea</i>	Smooth Tall Ironweed	1.50			
<i>Veronicastrum virginicum</i>	Culver's Root	0.25			
	Total	66.00			
Mix Statistics					
Native Component	PLS lbs./Acre	PLS Seeds/Acre	PLS Seeds/Sq. Ft.	% of Native Mix	
Forbs	4.13	1,731,814	39.76	66.02%	
Grasses	5.63	891,416	20.46	33.98%	
Total Natives	9.75	2,623,230	60.22	100.00%	
Cover	28.75	4,343,800	99.72		
Totals	38.50	6,967,030	159.94		

750 Forest Ave. - Suite 101
Birmingham, MI 48009
T.: 248.594.3220

LEGEND

 = Existing Trees, To Remain



■ sheet title:

Detention Pond Seeding Plan

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

18028

■ date:

07.28.2020

■ drawn by:

EMJ

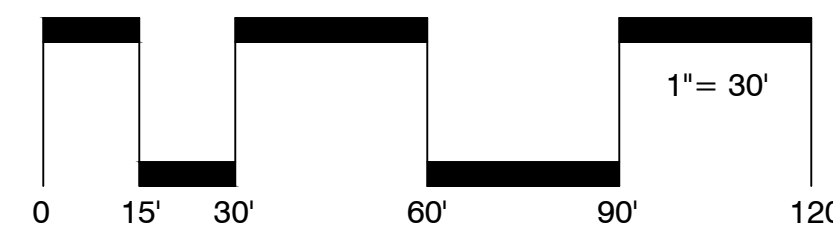
■ checked by:

WTK

■ revisions:

09.21.2020 Per Engineering Revisions

02.22.2021 Per Municipal Review

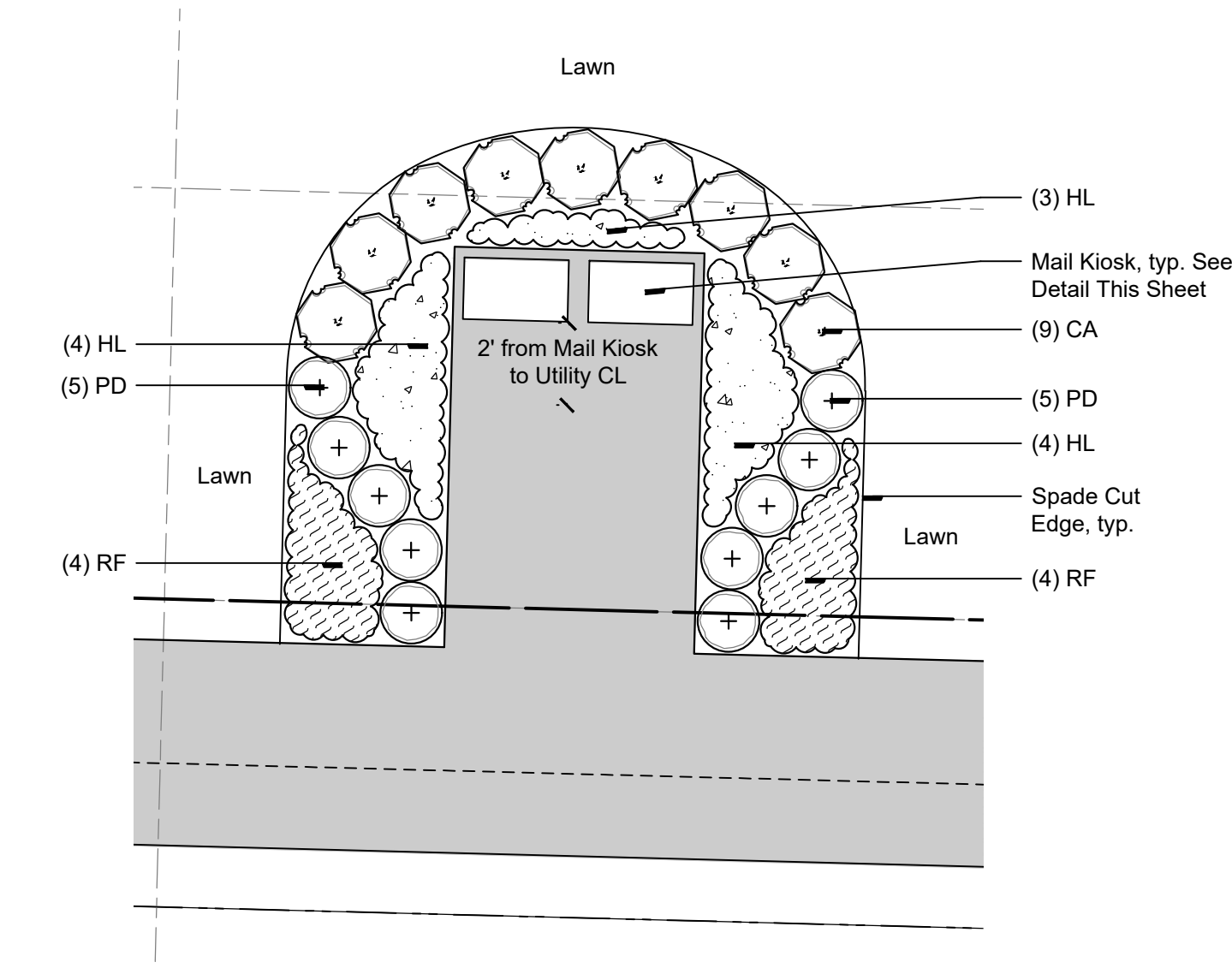


sheet no.

L-2

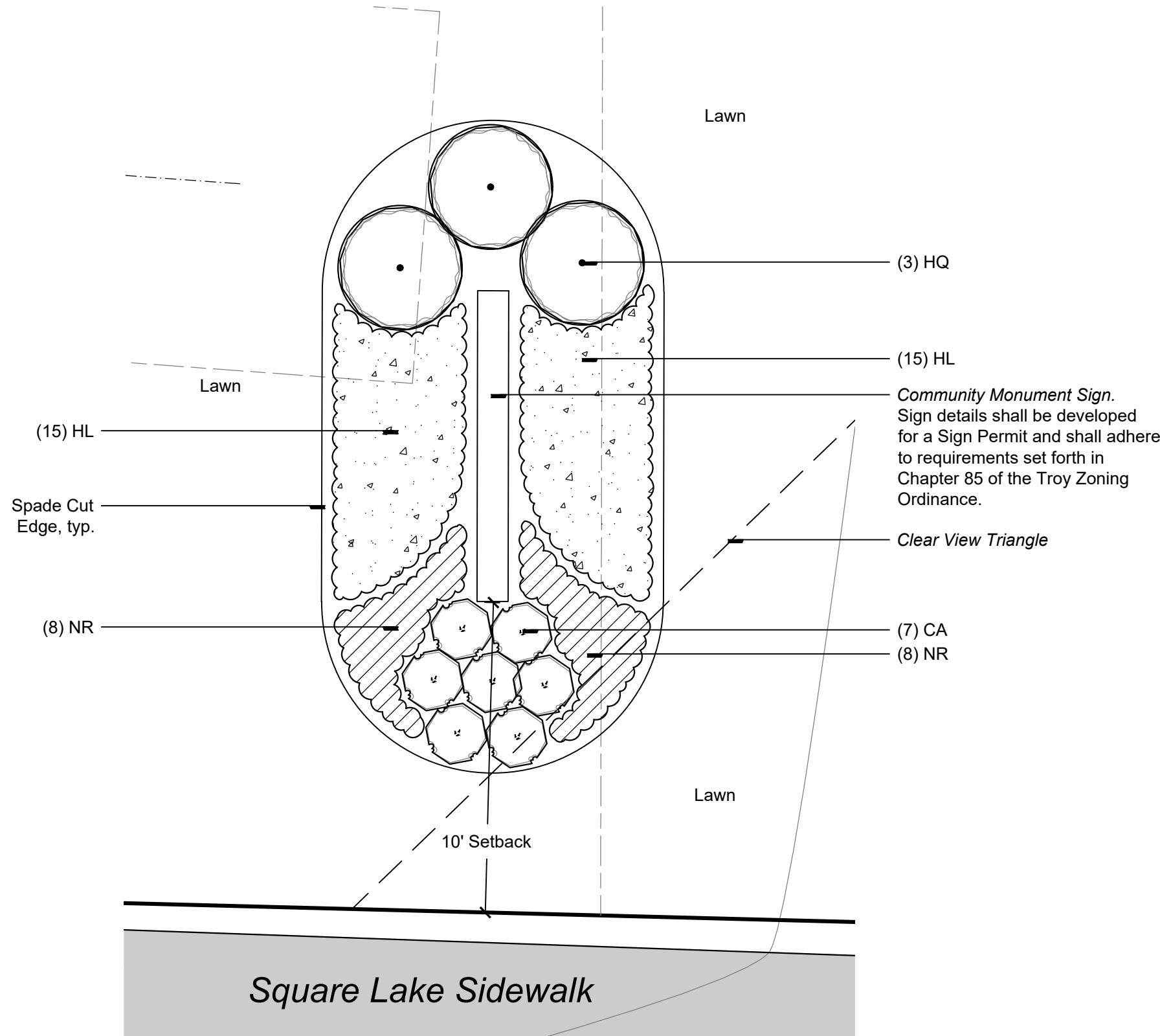


LEGEND



Mail Kiosk Landscape Enlargement Plan

Scale: 1/4" = 1'



Community Monument Sign Landscape Enlargement Plan

*Note: This landscape is conceptual and subject to change as the monument sign details are developed.

Scale: 1/4" = 1'

Plant Schedule This Sheet

Shrubs							
sym.	qty.	botanical name	common name	size	spacing	root	native*
HQ	3	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	#3	48" o.c.	cont.	yes

Ornamental Grasses, Perennials & Bulbs						
sym.	qty.	botanical name	common name	size	spacing	root
CA	16	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2	24" o.c.	cont.
HL	41	Hemerocallis 'Little Business'	Little Business Daylily	#1	18" o.c.	cont.
NR	16	Nepeta racemosa 'Blue Wonder'	Blue Wonder Catmint	#1	15" o.c.	cont.
PD	10	Penstemon 'Dark Tower'	Dark Tower Beardtongue	#1	18" o.c.	cont.
RF	8	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	#1	18" o.c.	cont.

* "Native" for the purposes of the Ordinance requirement is being interpreted to include "nearly native" cultivars which possess beneficial improvements over the species.



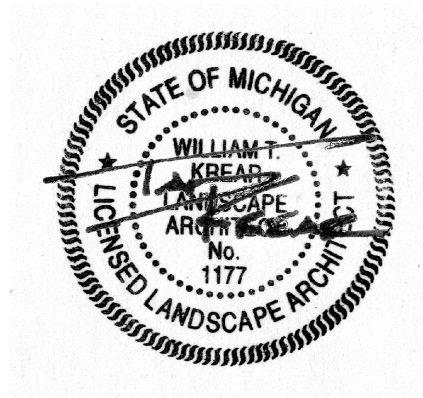
All Aluminum Construction



Decorative Mailbox - 16 Gang CBU

Manufacturer: Salsbury Industries
1010 E. 62nd St.
Los Angeles, CA 90001
www.mailboxes.com
Model: Regency Decorative CBU
#3316R
Black
Quantity: 2

Scale: NTS



■ sheet title:

Landscape
Enlargement Plans

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

18028

■ date:

07.28.2020

■ drawn by:

EMJ

■ checked by:

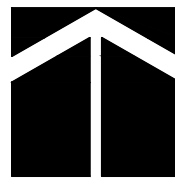
WTK

■ revisions:

09.21.2020 Per Engineering Revisions
02.22.2021 Per Municipal Review






Know what's below.
Call before you dig.



sheet no.

L-3

LEGEND

-  = Existing Trees, To Remain
 = Existing Trees, To Remove
 = Tree Protection Fencing



Tree Preservation Notes:

- Tree Survey was prepared by PEA Group
- See Sheets L-5 through L-8 for Tree Survey List with save/remove designations
- See Sheet L-8 for Tree Fence Details & Notes

■ sheet title:

Tree Preservation Plan

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

18028

■ date:

07.28.2020

■ drawn by:

EMJ

■ checked by:

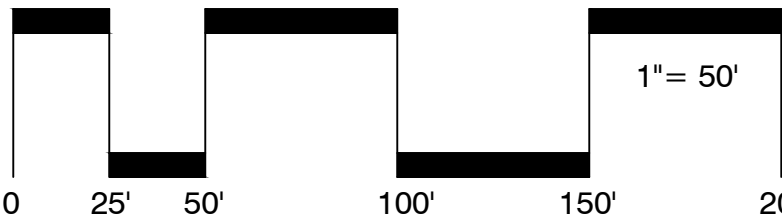
WTK

■ revisions:

09.21.2020 Per Engineering Revisions
02.22.2021 Per Municipal Review



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sheet no.

L-4

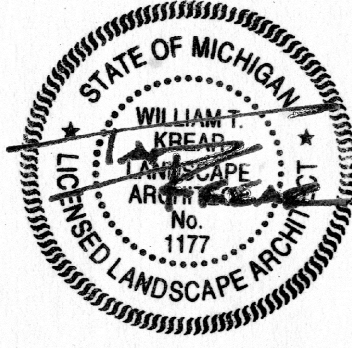


750 Forest Ave. - Suite 101
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TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
1	CT	23	Cottonwood	Populus deltoides	Good		Remove	
2	SM	8	Silver Maple	Acer saccharinum	Fair		Remove	
3	CT	7	Cottonwood	Populus deltoides	Fair		Remove	
4	CT	19	Cottonwood	Populus deltoides	Good		Remove	
5	CT	18	Cottonwood	Populus deltoides	Fair		Remove	
6	CT	16	Cottonwood	Populus deltoides	Fair		Remove	
7	CT	18	Cottonwood	Populus deltoides	Fair		Remove	x1
8	GA	10	Green Ash	Fraxinus pennsylvanica	Fair		Remove	x1
9	CT	24	Cottonwood	Populus deltoides	Fair		Remove	
10	GA	7	Green Ash	Fraxinus pennsylvanica	Fair		Remove	
11	CT	7	Cottonwood	Populus deltoides	Fair		Remove	
12	CT	14	Cottonwood	Populus deltoides	Fair		Remove	
13	E	10	American Elm	Ulmus americana	Fair		Remove	
14	CT	13	Cottonwood	Populus deltoides	Fair		Remove	
15	CT	21	Cottonwood	Populus deltoides	Good		Remove	
16	CT	19	Cottonwood	Populus deltoides	Fair		Remove	
17	CT	18	Cottonwood	Populus deltoides	Fair		Remove	
18	CT	21	Cottonwood	Populus deltoides	Fair		Remove	
19	CT	19	Cottonwood	Populus deltoides	Fair		Remove	
20	CT	14	Cottonwood	Populus deltoides	Fair		Remove	
21	CT	7	Cottonwood	Populus deltoides	Fair		Remove	
22	CT	8	Cottonwood	Populus deltoides	Fair		Remove	
23	CT	24	Cottonwood	Populus deltoides	Fair		Remove	
24	CT	16	Cottonwood	Populus deltoides	Fair		Remove	
25	CT	19	Cottonwood	Populus deltoides	Fair		Remove	
26	SM	9	Silver Maple	Acer saccharinum	Poor		Remove	
27	CT	14	Cottonwood	Populus deltoides	Fair		Remove	
28	CT	7	Cottonwood	Populus deltoides	Fair		Remove	
29	CT	21	Cottonwood	Populus deltoides	Good		Remove	
30	CT	14	Cottonwood	Populus deltoides	Good		Remove	
31	CT	26	Cottonwood	Populus deltoides	Fair		Remove	
32	CT	16	Cottonwood	Populus deltoides	Fair		Remove	
33	CT	20	Cottonwood	Populus deltoides	Good		Remove	
34	CT	21	Cottonwood	Populus deltoides	Good		Remove	
35	CT	14	Cottonwood	Populus deltoides	Good		Remove	
36	CT	21	Cottonwood	Populus deltoides	Good		Remove	
37	RM	7	Red Maple	Acer rubrum	Fair		Remove	
38	RM	8	Red Maple	Acer rubrum	Good		Remove	
39	CT	23	Cottonwood	Populus deltoides	Good		Remove	
40	CT	16	Cottonwood	Populus deltoides	Fair		Remove	
41	BX	12	Box elder	Acer negundo	Fair		Remove	
42	BX	9	Box elder	Acer negundo	Fair		Remove	
43	BX	9	Box elder	Acer negundo	Fair		Remove	
44	CT	9	Cottonwood	Populus deltoides	Good		Remove	
45	CT	6	Cottonwood	Populus deltoides	Fair		Remove	
46	BX	12	Box elder	Acer negundo	Fair		Remove	
47	BX	7	Box elder	Acer negundo	Poor		Remove	
48	CT	32	Cottonwood	Populus deltoides	Fair		Remove	
49	CT	12	Cottonwood	Populus deltoides	Fair		Remove	
50	BX	6	Box elder	Acer negundo	Poor		Remove	
51	CT	25	Cottonwood	Populus deltoides	Good		Remove	
52	BX	8	Box elder	Acer negundo	Fair		Remove	
53	CT	17	Cottonwood	Populus deltoides	Good		Remove	
54	CT	12	Cottonwood	Populus deltoides	Fair		Remove	
55	CT	18	Cottonwood	Populus deltoides	Good		Remove	
56	CT	18	Cottonwood	Populus deltoides	Good		Remove	
57	CT	28	Cottonwood	Populus deltoides	Good		Remove	
58	CT	15	Cottonwood	Populus deltoides	Fair		Remove	
59	SM	7	Silver Maple	Acer saccharinum	Good		Remove	
60	CT	18	Cottonwood	Populus deltoides	Good		Save	
61	AP	6	Domestic Apple	Malus sylvestris	Fair		Save	
62	BX	28	Box elder	Acer negundo	Poor		Remove	
63	SM	17	Silver Maple	Acer saccharinum	Good		Save	x1
64	SM	18	Silver Maple	Acer saccharinum	Good		Save	
65	CT	42	Cottonwood	Populus deltoides	Good		Save	
66	BX	7	Box elder	Acer negundo	Fair		Save	
67	RM	13	Red Maple	Acer rubrum	Good		Save	x1
68	RM	9	Red Maple	Acer rubrum	Good		Save	
69	SM	8	Silver Maple	Acer saccharinum	Fair		Save	
70	SM	9	Silver Maple	Acer saccharinum	Good		Save	
71	SM	12	Silver Maple	Acer saccharinum	Good		Save	
72	SM	17	Silver Maple	Acer saccharinum	Good		Save	
73	SM	23	Silver Maple	Acer saccharinum	Good		Save	x2
74	SM	14	Silver Maple	Acer saccharinum	Good		Save	
75	SM	13	Silver Maple	Acer saccharinum	Good		Save	
76	SM	14	Silver Maple	Acer saccharinum	Fair		Save	
77	SM	7	Silver Maple	Acer saccharinum	Good		Save	
78	RM	17	Red Maple	Acer rubrum	Good	Yes	Save	
79	RM	8	Red Maple	Acer rubrum	Good		Save	x4
80	RM	15	Red Maple	Acer rubrum	Good		Save	
81	AP	7	Domestic Apple	Malus sylvestris	Fair		Save	
82	WS	10	White Spruce	Picea glauca	Good		Save	
83	CT	10	Cottonwood	Populus deltoides	Good		Save	
84	CT	13	Cottonwood	Populus deltoides	Good		Save	
85	CT	10	Cottonwood	Populus deltoides	Good		Save	
86	CT	31	Cottonwood	Populus deltoides	Good		Save	
87	CT	13	Cottonwood	Populus deltoides	Good		Save	
88	CT	15	Cottonwood	Populus deltoides	Good		Save	
89	SM	13	Silver Maple	Acer saccharinum	Good		Save	
90	CT	19	Cottonwood	Populus deltoides	Good		Save	
91	CT	9	Cottonwood	Populus deltoides	Good		Remove	
92	CT	25	Cottonwood	Populus deltoides	Good		Remove	
93	CT	12	Cottonwood	Populus deltoides	Good		Remove	
94	CT	27	Cottonwood	Populus deltoides	Fair		Remove	
95	CT	8	Cottonwood	Populus deltoides	Good		Remove	
96	CT	9	Cottonwood	Populus deltoides	Good		Remove	
97	CT	32	Cottonwood	Populus deltoides	Fair		Remove	
98	CT	17	Cottonwood	Populus deltoides	Good		Remove	
99	SM	7	Silver Maple	Acer saccharinum	Good		Remove	

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
100	CT	14	Cottonwood	Populus deltoides	Good		Remove	
101	CT	13	Cottonwood	Populus deltoides	Fair		Remove	
102	CT	9	Cottonwood	Populus deltoides	Very Poor		Remove	
103	BE	9	American Beech	Fragus grandifolia	Good		Remove	
104	CT	19	Cottonwood	Populus deltoides	Good		Remove	
105	CT	15	Cottonwood	Populus deltoides	Good		Remove	
106	CT	14	Cottonwood	Populus deltoides	Good		Remove	
107	CT	13	Cottonwood	Populus deltoides	Good		Remove	
108	CT	8	Cottonwood	Populus deltoides	Good		Remove	
109	CT	8	Cottonwood	Populus deltoides	Good		Remove	
110	SWO	13	Swamp White Oak	Quercus bicolor	Poor		Remove	
111	CT	9	Cottonwood	Populus deltoides	Good		Remove	
112	CT	22	Cottonwood	Populus deltoides	Good		Remove	
113	CT	11	Cottonwood	Populus deltoides	Good		Remove	x1
114	BE	12	American Beech	Fragus grandifolia	Good		Remove	
115	BE	10	American Beech	Fragus grandifolia	Good		Remove	
116	BE	6	American Beech	Fragus grandifolia	Good		Remove	
117	BX	35	Box elder	Acer negundo	Poor		Remove	
118	BX	9	Box elder	Acer negundo	Poor		Remove	
119	PW	8	White Poplar	Populus alba	Good		Remove	
120	E	10	American Elm	Ulmus americana	Good		Remove	
121	BX	8	Box elder	Acer negundo	Poor		Remove	
122	BX	13	Box elder	Acer negundo	Fair		Remove	
123	BX	15	Box elder	Acer negundo	Poor		Remove	
124	BE	11	American Beech	Fragus grandifolia	Fair		Remove	x2
125	E	8	American Elm	Ulmus americana	Poor		Remove	
126	BE	6	American Beech	Fragus grandifolia	Good		Remove	
127	BC	9	Wild Black Cherry	Prunus serotina	Fair		Remove	
128	BE	6	American Beech	Fragus grandifolia	Fair		Remove	
129	BE	13	American Beech	Fragus grandifolia	Fair		Remove	
130	SM	13	Silver Maple	Acer saccharinum	Good		Remove	
131	SWO	14	Swamp White Oak	Quercus bicolor	Good		Remove	
132	BE	7	American Beech	Fragus grandifolia	Fair		Remove	x1
133	RM	10	Red Maple	Acer rubrum	Fair		Remove	
134	RM	12	Red Maple	Acer rubrum	Good		Remove	
135	RM	7	Red Maple	Acer rubrum	Good		Remove	
136	BE	8	American Beech	Fragus grandifolia	Good		Remove	
137	RM	19	Red Maple	Acer rubrum	Good	Yes	Remove	
138	BE	10	American Beech	Fragus grandifolia	Fair		Remove	x1
139	BE	7	American Beech	Fragus grandifolia	Good		Remove	x1
140	SM	16	Silver Maple	Acer saccharinum	Good		Remove	
141	BE	6	American Beech	Fragus grandifolia	Good		Remove	
142	RM	10	Red Maple	Acer rubrum	Good		Remove	
143	SM	12	Silver Maple	Acer saccharinum	Good		Remove	
144	RM	7	Red Maple	Acer rubrum	Fair		Remove	
145	RM	13	Red Maple	Acer rubrum	Good		Remove	x1
146	RM	6	Red Maple	Acer rubrum	Good		Remove	
147	RM	7	Red Maple	Acer rubrum	Good		Remove	
148	RM	8	Red Maple	Acer rubrum	Fair		Remove	
149	RM	8	Red Maple	Acer rubrum	Fair		Remove	
150	SM	9	Silver Maple	Acer saccharinum	Fair		Remove	
151	RM	7	Red Maple	Acer rubrum	Fair		Remove	
152	SM	19	Silver Maple	Acer saccharinum	Fair		Remove	
153	RM	10	Red Maple	Acer rubrum	Fair		Remove	x3
154	RM	12	Red Maple	Acer rubrum	Fair		Remove	
155	RC	6	Red Cedar	Juniperus virginiana	Fair		Remove	
156	RM	9	Red Maple	Acer rubrum	Fair		Remove	
157	RM	12	Red Maple	Acer rubrum	Good		Remove	
158	RM	12	Red Maple	Acer rubrum	Fair		Remove	
159	RM	6	Red Maple	Acer rubrum	Good		Remove	
160	CT	18	Cottonwood	Populus deltoides	Good		Remove	
161	RM	9	Red Maple	Acer rubrum	Fair		Remove	
162	CT	24	Cottonwood	Populus deltoides	Good		Remove	x2
163	CT	21	Cottonwood	Populus deltoides	Good		Remove	
164	CT	26	Cottonwood	Populus deltoides	Good		Remove	
165	RM	13	Red Maple	Acer rubrum	Good		Remove	
166	CT	13	Cottonwood	Populus deltoides	Good		Remove	x4
167	CT	22	Cottonwood	Populus deltoides	Good		Remove	
168	SM	18	Silver Maple	Acer saccharinum	Good		Remove	x1
169	E	12	American Elm	Ulmus americana	Fair		Remove	
170	E	8	American Elm	Ulmus americana	Poor		Remove	
171	E	8	American Elm	Ulmus americana	Fair		Remove	
172	E	8	American Elm	Ulmus americana	Fair		Remove	
173	E	10	American Elm	Ulmus americana	Good		Remove	
174	CT	30	Cottonwood	Populus deltoides	Fair		Remove	
175	CT	10	Cottonwood	Populus deltoides	Good		Save	
176	CT	28	Cottonwood	Populus deltoides	Good		Save	
177	CT	15	Cottonwood	Populus deltoides	Good		Save	
178	CT	14	Cottonwood	Populus deltoides	Fair		Save	
179	CT	9	Cottonwood	Populus deltoides	Fair		Save	
180	AP	7	Domestic Apple	Malus sylvestris	Fair		Save	
181	CT	18	Cottonwood	Populus deltoides	Good		Save	
182	E	14	American Elm	Ulmus americana	Fair		Save	
183	CT	43	Cottonwood	Populus deltoides	Good		Save	
184	E	9	American Elm	Ulmus americana	Fair		Save	
185	E	15	American Elm	Ulmus americana	Fair		Remove	
186	RM	7	Red Maple	Acer rubrum	Fair		Remove	
187	RM	9	Red Maple	Acer rubrum	Fair		Remove	
188	GA	6	Green Ash	Fraxinus pennsylvanica	Fair		Remove	
189	RM	13	Red Maple	Acer rubrum	Fair		Save	
190	CT	9	Cottonwood	Populus deltoides	Good		Save	
191	CT	8	Cottonwood	Populus deltoides	Fair		Save	
192	CT	26	Cottonwood	Populus deltoides	Good		Save	
193	CT	9	Cottonwood	Populus deltoides	Fair		Save	
194	RM	7	Red Maple	Acer rubrum	Fair		Save	
195	SWO	14	Swamp White Oak	Quercus bicolor	Good		Save	
196	SWO	7	Swamp White Oak	Quercus bicolor	Good		Save	
197	RM	6	Red Maple	Acer rubrum	Fair		Save	
198	BC	12	Wild Black Cherry	Prunus serotina	Fair		Save	



■ sheet title:

Tree Survey
(2 of 4)

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

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■ date:

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Know what's Below.
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■ revisions:

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sheet no.

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
298	RM	10	Red Maple	Acer rubrum	Good		Save	
299	RM	11	Red Maple	Acer rubrum	Fair		Save	
300	RM	8	Red Maple	Acer rubrum	Good		Save	1
301	TP	14	Tulip-Poplar	Liriodendron tulipifera	Fair		Save	
302	SM	9	Silver Maple	Acer saccharinum	Poor		Save	
303	PW	16	White Poplar	Populus alba	Good		Save	
304	SM	12	Silver Maple	Acer saccharinum	Fair		Save	
305	SM	11	Silver Maple	Acer saccharinum	Fair		Remove	1
306	SM	13	Silver Maple	Acer saccharinum	Good		Remove	
307	SS	14	Sassafras	Sassafras albidum	Fair	Yes	Save	
308	RM	6	Red Maple	Acer rubrum	Fair		Remove	1
309	RM	8	Red Maple	Acer rubrum	Fair		Remove	
310	SM	10	Silver Maple	Acer saccharinum	Good		Remove	
311	SM	6	Silver Maple	Acer saccharinum	Good		Remove	
312	SM	14	Silver Maple	Acer saccharinum	Fair		Remove	
313	SM	12	Silver Maple	Acer saccharinum	Good		Remove	
314	SM	12	Silver Maple	Acer saccharinum	Good		Remove	2
315	SM	13	Silver Maple	Acer saccharinum	Fair		Remove	1
316	BL	11	Black Locust	Robinia pseudoacacia	Fair		Save	
317	SM	9	Silver Maple	Acer saccharinum	Fair		Save	
318	RM	10	Red Maple	Acer rubrum	Fair		Save	
319	RM	11	Red Maple	Acer rubrum	Fair		Save	
320	RM	13	Red Maple	Acer rubrum	Fair		Offsite	
321	RM	6	Red Maple	Acer rubrum	Fair		Save	
322	SM	12	Silver Maple	Acer saccharinum	Fair		Save	
323	RM	14	Red Maple	Acer rubrum	Fair		Remove	1
324	SM	7	Silver Maple	Acer saccharinum	Poor		Remove	2
325	SM	9	Silver Maple	Acer saccharinum	Poor		Remove	
326	RM	6	Red Maple	Acer rubrum	Poor		Remove	
327	SM	11	Silver Maple	Acer saccharinum	Fair		Remove	
328	RM	6	Red Maple	Acer rubrum	Fair		Remove	
329	RM	7	Red Maple	Acer rubrum	Poor		Remove	1
330	SM	13	Silver Maple	Acer saccharinum	Fair		Offsite	
331	SS	6	Sassafras	Sassafras albidum	Fair		Offsite	
332	SS	9	Sassafras	Sassafras albidum	Good		Offsite	
333	SS	8	Sassafras	Sassafras albidum	Fair		Offsite	
334	SS	11	Sassafras	Sassafras albidum	Very Poor		Offsite	
335	SS	13	Sassafras	Sassafras albidum	Good	Yes	Offsite	
336	SS	14	Sassafras	Sassafras albidum	Good	Yes	Offsite	
337	SS	10	Sassafras	Sassafras albidum	Poor		Offsite	
338	SS	17	Sassafras	Sassafras albidum	Fair	Yes	Offsite	
339	BC	8	Wild Black Cherry	Prunus serotina	Very Poor		Offsite	
340	BC	22	Wild Black Cherry	Prunus serotina	Poor		Offsite	
341	BC	14	Wild Black Cherry	Prunus serotina	Fair		Offsite	
342	SS	7	Sassafras	Sassafras albidum	Fair		Offsite	2
343	RO	12	Red Oak	Quercus rubra	Poor		Remove	
344	SS	6	Sassafras	Sassafras albidum	Fair		Remove	
345	RM	7	Red Maple	Acer rubrum	Poor		Remove	
346	RM	8	Red Maple	Acer rubrum	Fair		Save	
347	SM	6	Silver Maple	Acer saccharinum	Fair		Save	
348	SS	11	Sassafras	Sassafras albidum	Fair		Save	
349	SS	9	Sassafras	Sassafras albidum	Fair		Save	
350	SS	7	Sassafras	Sassafras albidum	Fair		Offsite	
351	SM	13	Silver Maple	Acer saccharinum	Good		Remove	
352	RM	6	Red Maple	Acer rubrum	Poor		Remove	
353	PW	11	White Poplar	Populus alba	Poor		Remove	
354	SM	15	Silver Maple	Acer saccharinum	Fair		Remove	
355	RO	9	Red Oak	Quercus rubra	Poor		Remove	
356	PW	12	White Poplar	Populus alba	Poor		Remove	
357	PW	14	White Poplar	Populus alba	Poor		Remove	
358	BE	15	American Beech	Fragus grandifolia	Good		Remove	
359	SWO	6	Swamp White Oak	Quercus bicolor	Fair		Remove	
360	E	6	American Elm	Ulmus americana	Fair		Remove	
361	RM	6	Red Maple	Acer rubrum	Fair		Remove	
362	PO	16	Pin Oak	Quercus palustris	Fair	Yes	Remove	
363	WO	11	White Oak	Quercus alba	Fair		Remove	
364	BC	19	Wild Black Cherry	Prunus serotina	Fair	Yes	Remove	
365	RO	10	Red Oak	Quercus rubra	Poor		Remove	1
366	RO	8	Red Oak	Quercus rubra	Poor		Remove	
367	BO	17	Black Oak	Quercus velutina	Poor		Remove	
368	SM	7	Silver Maple	Acer saccharinum	Fair		Remove	
369	BO	10	Black Oak	Quercus velutina	Fair		Remove	
370	RM	6	Red Maple	Acer rubrum	Fair		Remove	
371	PW	13	White Poplar	Populus alba	Poor		Remove	3
372	PW	13	White Poplar	Populus alba	Fair		Remove	
373	SS	6	Sassafras	Sassafras albidum	Fair		Remove	
374	SS	9	Sassafras	Sassafras albidum	Fair		Remove	
375	PW	10	White Poplar	Populus alba	Fair		Remove	
376	PW	9	White Poplar	Populus alba	Fair		Remove	
377	RM	10	Red Maple	Acer rubrum	Fair		Remove	
378	SM	10	Silver Maple	Acer saccharinum	Fair		Remove	1
379	E	7	American Elm	Ulmus americana	Fair		Remove	
380	SM	11	Silver Maple	Acer saccharinum	Fair		Remove	
381	SM	15	Silver Maple	Acer saccharinum	Good		Remove	
382	SM	16	Silver Maple	Acer saccharinum	Fair		Save	
383	SM	8	Silver Maple	Acer saccharinum	Fair		Remove	
384	RM	8	Red Maple	Acer rubrum	Poor		Remove	
385	SM	10	Silver Maple	Acer saccharinum	Fair		Save	
386	SM	8	Silver Maple	Acer saccharinum	Fair		Remove	
387	SS	9	Sassafras	Sassafras albidum	Fair		Remove	
388	RM	10	Red Maple	Acer rubrum	Good		Remove	
389	SM	9	Silver Maple	Acer saccharinum	Fair		Remove	
390	SM	14	Silver Maple	Acer saccharinum	Good		Remove	
391	SM	7	Silver Maple	Acer saccharinum	Good		Remove	
392	RM	7	Red Maple	Acer rubrum	Good		Remove	
393	RM	7	Red Maple	Acer rubrum	Fair		Remove	
394	SM	9	Silver Maple	Acer saccharinum	Fair		Remove	
395	SM	6	Silver Maple	Acer saccharinum	Fair		Remove	
396	SM	13	Silver Maple	Acer saccharinum	Fair		Remove	

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
397	RM	8	Red Maple	Acer rubrum	Fair		Remove	
398	SM	12	Silver Maple	Acer saccharinum	Fair		Remove	
399	RM	7	Red Maple	Acer rubrum	Fair		Remove	
400	SM	9	Silver Maple	Acer saccharinum	Good		Remove	
401	SM	12	Silver Maple	Acer saccharinum	Fair		Save	
402	RM	32	Red Maple	Acer rubrum	Good	Yes	Save	1
403	RO	10	Red Oak	Quercus rubra	Fair		Save	
404	RM	12	Red Maple	Acer rubrum	Good		Save	
405	RM	6	Red Maple	Acer rubrum	Fair		Remove	
406	SS	9	Sassafras	Sassafras albidum	Fair		Save	
407	SS	9	Sassafras	Sassafras albidum	Poor		Save	
408	SS	7	Sassafras	Sassafras albidum	Poor		Remove	
409	SS	6	Sassafras	Sassafras albidum	Poor		Remove	
410	SS	10	Sassafras	Sassafras albidum	Poor		Remove	
411	SS	10	Sassafras	Sassafras albidum	Poor		Remove	
412	SS	10	Sassafras	Sassafras albidum	Fair		Remove	
413	SS	13	Sassafras	Sassafras albidum	Fair	Yes	Remove	
414	SS	28	Sassafras	Sassafras albidum	Poor		Remove	
415	BC	9	Wild Black Cherry	Prunus serotina	Poor		Remove	
416	SS	10	Sassafras	Sassafras albidum	Fair		Remove	
417	SM	9	Silver Maple	Acer saccharinum	Good		Remove	
418	RM	6	Red Maple	Acer rubrum	Fair		Remove	
419	RM	11	Red Maple	Acer rubrum	Good		Remove	
420	BC	32	Wild Black Cherry	Prunus serotina	Poor		Remove	
421	RM	9	Red Maple	Acer rubrum	Good		Remove	
422	PW	11	White Poplar	Populus alba	Fair		Remove	
423	BC	10	Wild Black Cherry	Prunus serotina	Poor		Remove	
424	TP	15	Tulip-Poplar	Liriodendron tulipifera	Good		Remove	
425	PO	9	Pin Oak	Quercus palustris	Poor		Remove	
426	PO	10	Pin Oak	Quercus palustris	Fair		Remove	
427	SM	8	Silver Maple	Acer saccharinum	Poor		Remove	
428	SM	10	Silver Maple	Acer saccharinum	Poor		Remove	
429	SM	10	Silver Maple	Acer saccharinum	Fair		Remove	
430	SS	11	Sassafras	Sassafras albidum	Fair		Remove	
431	SS	12	Sassafras	Sassafras albidum	Fair	Yes	Remove	
432	CT	13	Cottonwood	Populus deltoides	Good		Remove	
433	RM	9	Red Maple	Acer rubrum	Poor		Remove	
434	CT	28	Cottonwood	Populus deltoides	Fair		Remove	
435	RM	10	Red Maple	Acer rubrum	Fair		Remove	
436	BC	15	Wild Black Cherry	Prunus serotina	Poor		Save	
437	SS	20	Sassafras	Sassafras albidum	Poor		Save	
438	E	11	American Elm	Ulmus americana	Poor		Remove	
439	RO	10	Red Oak	Quercus rubra	Fair		Remove	
440	RM	7	Red Maple	Acer rubrum	Good		Remove	
441	RM	7	Red Maple	Acer rubrum	Poor		Remove	
442	RM	7	Red Maple	Acer rubrum	Poor		Remove	
443	SM	9	Silver Maple	Acer saccharinum	Fair		Remove	
444	RM	10	Red Maple	Acer rubrum	Fair		Remove	
445	RO	16	Red Oak	Quercus rubra	Good	Yes	Remove	
446	BC	9	Wild Black Cherry	Prunus serotina	Poor		Remove	
447	WO	6	White Oak	Quercus alba	Fair		Remove	
448	WO	8	White Oak	Quercus alba	Fair		Remove	
449	SM	11	Silver Maple	Acer saccharinum	Good		Remove	
450	CT	35	Cottonwood	Populus deltoides	Fair		Remove	
451	RM	7	Red Maple	Acer rubrum	Good		Remove	
452	WO	11	White Oak	Quercus alba	Fair		Remove	
453	RO	6	Red Oak	Quercus rubra	Fair		Remove	
454	RM	8	Red Maple	Acer rubrum	Fair		Remove	
455	PW	10	White Poplar	Populus alba	Very Poor		Remove	
456	SM	10	Silver Maple	Acer saccharinum	Fair		Remove	
457	WO	11	White Oak	Quercus alba	Poor		Remove	
458	SM	9	Silver Maple	Acer saccharinum	Good		Remove	
459	RM	8	Red Maple	Acer rubrum	Fair		Remove	
460	WO	6	White Oak	Quercus alba	Poor		Remove	
461	PW	10	White Poplar	Populus alba	Very Poor		Remove	
462	SM	15	Silver Maple	Acer saccharinum	Good		Remove	
463	PO	7	Pin Oak	Quercus palustris	Poor		Remove	
464	SM	6	Silver Maple	Acer saccharinum	Good		Remove	
465	PW	14	White Poplar	Populus alba	Very Poor		Remove	
466	RM	6	Red Maple	Acer rubrum	Poor		Remove	
467	SM	10	Silver Maple	Acer saccharinum	Fair		Remove	
468	SS	6	Sassafras	Sassafras albidum	Good		Remove	
469	RM	10	Red Maple	Acer rubrum	Fair		Remove	
470	SM	10	Silver Maple	Acer saccharinum	Good		Offsite	
471	CT	15	Cottonwood	Populus deltoides	Poor		Offsite	
472	CT	20	Cottonwood	Populus deltoides	Very Poor		Offsite	
473	CT	15	Cottonwood	Populus deltoides	Very Poor		Offsite	
474	BX	26	Box elder	Acer negundo	Fair		Remove	
475	BX	6	Box elder	Acer negundo	Poor		Remove	1
476	BX	13	Box elder	Acer negundo	Fair		Remove	
477	BX	6	Box elder	Acer negundo	Poor		Remove	
478	BX	6	Box elder	Acer negundo	Fair		Remove	
479	E	21	American Elm	Ulmus americana	Good		Remove	
480	BX	7	Box elder	Acer negundo	Fair		Remove	
481	E	9	American Elm	Ulmus americana	Fair		Remove	
482	BX	7	Box elder	Acer negundo	Fair		Remove	
483	BX	7	Box elder	Acer negundo	Fair		Remove	
484	AU	14	Austrian Pine	Pinus nigra	Fair		Remove	
485	PW	8	White Poplar	Populus alba	Fair		Remove	
486	AU	13	Austrian Pine	Pinus nigra	Fair		Remove	
487	BX	9	Box elder	Acer negundo	Fair		Remove	
488	BX	9	Box elder	Acer negundo	Fair		Remove	
489	RM	18	Red Maple	Acer rubrum	Fair	Yes	Remove	
490	SM	15	Silver Maple	Acer saccharinum	Good		Remove	
491	SM	31	Silver Maple	Acer saccharinum	Fair		Remove	
492	SM	32	Silver Maple	Acer saccharinum	Good		Remove	
493	WS	8	White Spruce	Picea glauca	Fair		Remove	
494	SM	36	Silver Maple	Acer saccharinum	Good		Remove	
495	SM	17	Silver Maple	Acer saccharinum	Fair		Remove	



750 Forest Ave. - Suite 101
Birmingham, MI 48009
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■ sheet title:

Tree Survey (3 of 4)

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

18028

■ date:

07.28.2020

■ drawn by:

EMJ

■ checked by:

WTK



Know what's Below.
Call before you dig.

■ revisions:

09.21.2020 Per Engineering Revisions
02.22.2021 Per Municipal Review

sheet no.

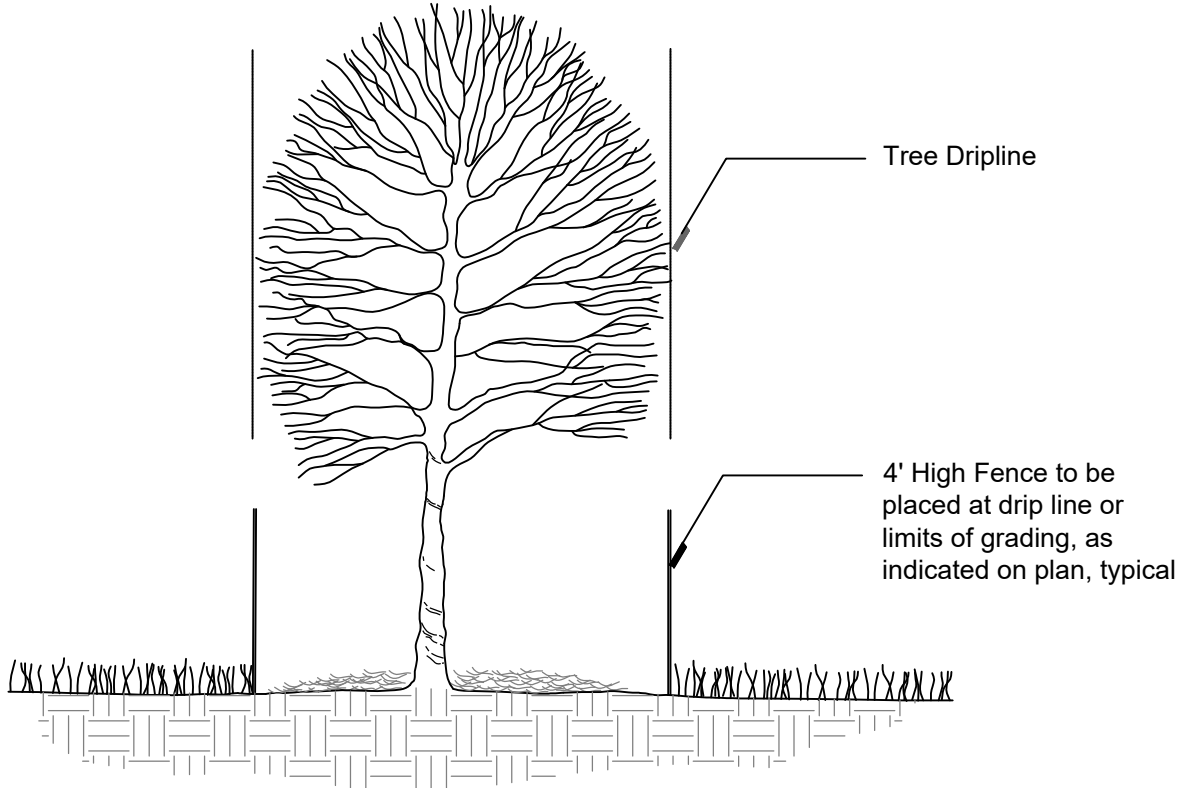
TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
595	E	8	American Elm	<i>Ulmus americana</i>	Fair		Remove	
596	CT	42	Cottonwood	<i>Populus deltoides</i>	Fair		Save	
597	SS	8	Sassafras	<i>Sassafras albidum</i>	Fair		Remove	
598	BX	16	Box elder	<i>Acer negundo</i>	Fair		Remove	
599	BW	7	Black Walnut	<i>Juglans nigra</i>	Fair		Remove	x1
600	BW	8	Black Walnut	<i>Juglans nigra</i>	Fair		Remove	
601	BX	7	Box elder	<i>Acer negundo</i>	Fair		Remove	
602	BX	14	Box elder	<i>Acer negundo</i>	Fair		Remove	
603	BX	13	Box elder	<i>Acer negundo</i>	Fair		Remove	
604	E	6	American Elm	<i>Ulmus americana</i>	Fair		Remove	
605	E	8	American Elm	<i>Ulmus americana</i>	Fair		Remove	
606	E	7	American Elm	<i>Ulmus americana</i>	Fair		Remove	
607	BX	10	Box elder	<i>Acer negundo</i>	Fair		Remove	
608	BX	7	Box elder	<i>Acer negundo</i>	Fair		Remove	
609	B	13	Basswood	<i>Tilia americana</i>	Good		Remove	
610	E	6	American Elm	<i>Ulmus americana</i>	Fair		Remove	
611	E	12	American Elm	<i>Ulmus americana</i>	Good		Remove	
612	RM	11	Red Maple	<i>Acer rubrum</i>	Good		Remove	
613	BC	6	Wild Black Cherry	<i>Prunus serotina</i>	Good		Remove	
614	BC	10	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
615	BC	6	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
616	RM	8	Red Maple	<i>Acer rubrum</i>	Good		Remove	
617	SM	7	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
618	CT	18	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
619	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
620	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
621	BC	9	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
622	SM	15	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
623	BC	12	Wild Black Cherry	<i>Prunus serotina</i>	Good		Remove	
624	BW	7	Black Walnut	<i>Juglans nigra</i>	Fair		Remove	
625	BX	8	Box elder	<i>Acer negundo</i>	Poor		Remove	
626	BX	12	Box elder	<i>Acer negundo</i>	Fair		Remove	
627	BX	6	Box elder	<i>Acer negundo</i>	Fair		Remove	
628	BX	11	Box elder	<i>Acer negundo</i>	Fair		Remove	
629	BX	14	Box elder	<i>Acer negundo</i>	Poor		Remove	
630	BX	8	Box elder	<i>Acer negundo</i>	Fair		Remove	
631	BX	8	Box elder	<i>Acer negundo</i>	Fair		Remove	
632	BX	16	Box elder	<i>Acer negundo</i>	Fair		Remove	
633	BX	19	Box elder	<i>Acer negundo</i>	Fair		Remove	
634	TP	7	Tulip-Poplar	<i>Liriodendron tulipifera</i>	Fair		Remove	x1
635	BC	14	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	x2
636	BO	6	Black Oak	<i>Quercus velutina</i>	Fair		Remove	
637	E	7	American Elm	<i>Ulmus americana</i>	Fair		Remove	
638	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
639	RO	7	Red Oak	<i>Quercus rubra</i>	Fair		Remove	
640	BC	13	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
641	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
642	B	13	Basswood	<i>Tilia americana</i>	Fair		Remove	
643	RO	9	Red Oak	<i>Quercus rubra</i>	Good		Remove	
644	BC	14	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
645	SWO	9	Swamp White Oak	<i>Quercus bicolor</i>	Fair		Remove	
646	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
647	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
648	BC	14	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
649	PW	16	White Poplar	<i>Populus alba</i>	Fair		Remove	
650	PW	9	White Poplar	<i>Populus alba</i>	Fair		Remove	
651	BC	12	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
652	CT	13	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
653	CT	14	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
654	CT	27	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
655	CT	17	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
656	SM	8	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
657	CT	28	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
658	CT	18	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
659	SM	8	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
660	PW	17	White Poplar	<i>Populus alba</i>	Fair		Remove	
661	SM	9	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
662	RM	15	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
663	SM	7	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
664	BX	12	Box elder	<i>Acer negundo</i>	Poor		Remove	
665	BX	8	Box elder	<i>Acer negundo</i>	Very Poor		Remove	
666	BX	8	Box elder	<i>Acer negundo</i>	Fair		Remove	
667	BX	10	Box elder	<i>Acer negundo</i>	Very Poor		Remove	
668	E	8	American Elm	<i>Ulmus americana</i>	Poor		Remove	
669	SM	7	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
670	E	7	American Elm	<i>Ulmus americana</i>	Fair		Remove	
671	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
672	CT	10	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
673	SM	17	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
674	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
675	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
676	I	9	Ironwood	<i>Ostrya virginiana</i>	Fair	Yes	Remove	
677	BX	10	Box elder	<i>Acer negundo</i>	Fair		Remove	
678	SWO	6	Swamp White Oak	<i>Quercus bicolor</i>	Fair		Remove	
679	BX	12	Box elder	<i>Acer negundo</i>	Fair		Remove	
680	BX	8	Box elder	<i>Acer negundo</i>	Fair		Remove	
681	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
682	CT	14	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
683	PW	9	White Poplar	<i>Populus alba</i>	Fair		Remove	
684	BC	9	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
685	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
686	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
687	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
688	BX	7	Box elder	<i>Acer negundo</i>	Fair		Remove	
689	BX	16	Box elder	<i>Acer negundo</i>	Fair		Remove	
690	BX	7	Box elder	<i>Acer negundo</i>	Fair		Remove	
691	BX	7	Box elder	<i>Acer negundo</i>	Fair		Remove	
692	BX	10	Box elder	<i>Acer negundo</i>	Fair		Remove	
693	BX	8	Box elder	<i>Acer negundo</i>	Fair		Remove	

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
694	G	9	Ginkgo	<i>Ginkgo biloba</i>	Fair		Remove	
695	BX	9	Box elder	<i>Acer negundo</i>	Fair		Remove	
696	BX	8	Box elder	<i>Acer negundo</i>	Fair		Remove	
697	BX	8	Box elder	<i>Acer negundo</i>	Fair		Remove	
698	BX	10	Box elder	<i>Acer negundo</i>	Fair		Remove	
699	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	x1
700	BX	31	Box elder	<i>Acer negundo</i>	Fair		Remove	
701	BC	6	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
702	E	7	American Elm	<i>Ulmus americana</i>	Fair		Remove	
703	BC	9	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
704	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
705	BC	14	Wild Black Cherry	<i>Prunus serotina</i>	Good		Remove	
706	GA	7	Green Ash	<i>Fraxinus pennsylvanica</i>	Fair		Remove	
707	E	8	American Elm	<i>Ulmus americana</i>	Fair		Remove	
708	BX	7	Box elder	<i>Acer negundo</i>	Fair		Remove	
709	BX	13	Box elder	<i>Acer negundo</i>	Fair		Remove	
710	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
711	RO	17	Red Oak	<i>Quercus rubra</i>	Good	Yes	Remove	
712	AP	6	Domestic Apple	<i>Malus sylvestris</i>	Fair		Remove	
713	CT	33	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
714	SM	14	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
715	CT	27	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
716	CT	10	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
717	CT	13	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
718	B	7	Basswood	<i>Tilia americana</i>	Good		Remove	
719	CT	24	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
720	CT	24	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
721	CT	8	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
722	CT	18	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
723	CT	31	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
724	SM	19	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
725	CT	12	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
726	CT	21	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
727	E	11	American Elm	<i>Ulmus americana</i>	Fair		Remove	
728	CT	26	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
729	T	24	Tamarack	<i>Larix laricina</i>	Good	Yes	Remove	
730	RM	12	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
731	SM	10	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
732	AP	7	Domestic Apple	<i>Malus sylvestris</i>	Fair		Remove	
733	SM	7	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
734	SM	10	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
735	E	12	American Elm	<i>Ulmus americana</i>	Fair		Remove	
736	RO	14	Red Oak	<i>Quercus rubra</i>	Good		Remove	
737	SM	9	Silver Maple	<i>Acer saccharinum</i>	Fair		Save	
738	SM	9	Silver Maple	<i>Acer saccharinum</i>	Good		Save	
739	RM	9	Red Maple	<i>Acer rubrum</i>	Good		Save	
740	SM	40	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
741	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Save	
742	SM	6	Silver Maple	<i>Acer saccharinum</i>	Good		Save	
743	CT	15	Cottonwood	<i>Populus deltoides</i>	Good		Save	
744	RM	6	Red Maple	<i>Acer rubrum</i>	Good		Save	
745	SM	8	Silver Maple	<i>Acer saccharinum</i>	Fair		Save	
746	SM	28	Silver Maple	<i>Acer saccharinum</i>	Good		Save	
747	SM	6	Silver Maple	<i>Acer saccharinum</i>	Good		Save	
748	SM	12	Silver Maple	<i>Acer saccharinum</i>	Fair		Save	
749	SM	13	Silver Maple	<i>Acer saccharinum</i>	Good		Save	
750	CT	35	Cottonwood	<i>Populus deltoides</i>	Good		Remove	
751	RM	7	Red Maple	<i>Acer rubrum</i>	Good		Save	
752	BC	6	Wild Black Cherry	<i>Prunus serotina</i>	Good		Save	
753	SM	7	Silver Maple	<i>Acer saccharinum</i>	Good		Save	
754	RM	9	Red Maple	<i>Acer rubrum</i>	Good		Save	
755	BP	8	Bradford Pear	<i>Pyrus calleryana</i>	Fair		Remove	
756	E	19	American Elm	<i>Ulmus americana</i>	Poor		Save	
757	RO	13	Red Oak	<i>Quercus rubra</i>	Fair		Save	
758	CT	14	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
759	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
760	SM	11	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
761	RO	8	Red Oak	<i>Quercus rubra</i>	Fair		Remove	
762	BC	12	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	x2
763	BC	10	Wild Black Cherry	<i>Prunus serotina</i>	Poor		Remove	
764	AP	6	Domestic Apple	<i>Malus sylvestris</i>	Fair		Remove	
765	WO	6	White Oak	<i>Quercus alba</i>	Fair		Remove	
766	RM	9	Red Maple	<i>Acer rubrum</i>	Good		Remove	
767	BC	12	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
768	RM	6	Red Maple	<i>Acer rubrum</i>	Good		Save	
769	BW	10	Black Walnut	<i>Juglans nigra</i>	Good		Remove	
770	SM	10	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
771	RM	14	Red Maple	<i>Acer rubrum</i>	Good		Remove	
772	SM	8	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
773	WO	8	White Oak	<i>Quercus alba</i>	Poor		Remove	
774	RM	12	Red Maple	<i>Acer rubrum</i>	Good		Remove	
775	WO	6	White Oak	<i>Quercus alba</i>	Fair		Remove	
776	PW	9	White Poplar	<i>Populus alba</i>	Good		Remove	
777	PW	10	White Poplar	<i>Populus alba</i>	Good		Remove	
778	PW	8	White Poplar	<i>Populus alba</i>	Fair		Remove	
779	RM	6	Red Maple	<i>Acer rubrum</i>	Good		Remove	
780	SM	9	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
781	SM	8	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
782	SM	13	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
783	BC	8	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
784	PW	10	White Poplar	<i>Populus alba</i>	Fair		Remove	
785	RO	12	Red Oak	<i>Quercus rubra</i>	Good		Remove	
786	RO	9	Red Oak	<i>Quercus rubra</i>	Fair		Remove	
787	SM	11	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
788	SM	10	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	x1
789	RM	16	Red Maple	<i>Acer rubrum</i>	Fair	Yes	Remove	
790	E	13	American Elm	<i>Ulmus americana</i>	Fair		Remove	
791	SM	14	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	x1
792	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	



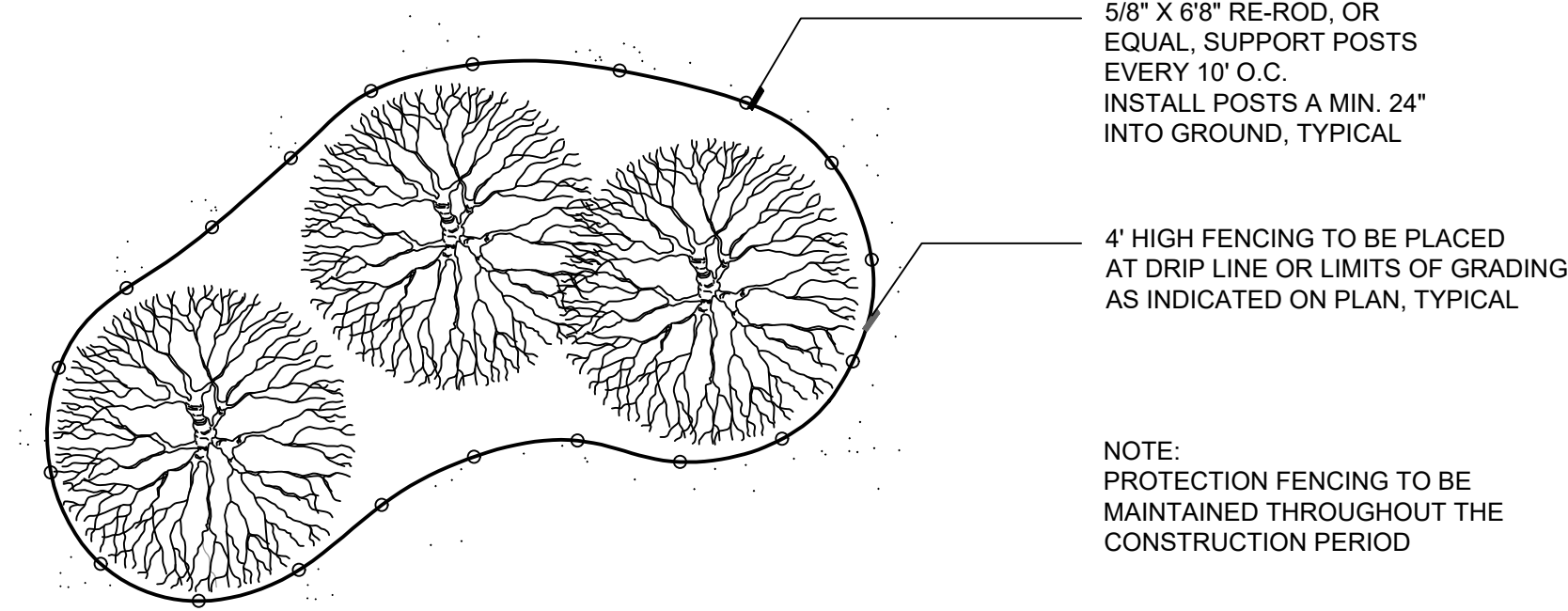
TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
892	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Remove	x1
893	SM	15	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
894	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
895	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
896	SM	10	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	x1
897	BC	6	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
898	BC	7	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
899	BC	10	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
900	RM	12	Red Maple	<i>Acer rubrum</i>	Good		Remove	
901	BC	11	Wild Black Cherry	<i>Prunus serotina</i>	Fair		Remove	
902	RM	7	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
903	RO	7	Red Oak	<i>Quercus rubra</i>	Fair		Remove	
904	RM	13	Red Maple	<i>Acer rubrum</i>	Good		Remove	
905	RM	15	Red Maple	<i>Acer rubrum</i>	Fair		Remove	x1
906	RM	12	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
907	RM	13	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
908	SM	14	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
909	RM	20	Red Maple	<i>Acer rubrum</i>	Good	Yes	Remove	
910	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
911	RM	12	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
912	SM	7	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
913	GA	6	Green Ash	<i>Fraxinus pennsylvanica</i>	Fair		Remove	
914	RM	7	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
915	B	9	Basswood	<i>Tilia americana</i>	Fair		Remove	
916	RM	12	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
917	RM	7	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
918	RM	8	Red Maple	<i>Acer rubrum</i>	Good		Remove	
919	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
920	RM	11	Red Maple	<i>Acer rubrum</i>	Good		Remove	
921	RM	10	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
922	RM	13	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
923	SM	8	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
924	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
925	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
926	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	x1
927	RM	14	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
928	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
929	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
930	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
931	RM	7	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
932	RM	11	Red Maple	<i>Acer rubrum</i>	Good		Remove	x1
933	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
934	RM	11	Red Maple	<i>Acer rubrum</i>	Fair		Remove	x3
935	SM	14	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
936	SM	11	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
937	RM	10	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
938	SM	11	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
939	CT	24	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
940	SM	9	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
941	RM	8	Red Maple	<i>Acer rubrum</i>	Good		Remove	
942	RM	7	Red Maple	<i>Acer rubrum</i>	Good		Remove	
943	RM	14	Red Maple	<i>Acer rubrum</i>	Fair		Remove	x1
944	SM	8	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
945	SM	17	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
946	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
947	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
948	SM	9	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
949	SM	13	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
950	SM	11	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
951	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	x3
952	RM	8	Red Maple	<i>Acer rubrum</i>	Good		Remove	
953	SM	14	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
954	SM	10	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
955	AP	7	Domestic Apple	<i>Malus sylvestris</i>	Fair		Remove	
956	RM	12	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
957	RM	7	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
958	RM	7	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
959	CT	18	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
960	CT	11	Cottonwood	<i>Populus deltoides</i>	Fair		Remove	
961	SM	15	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
962	RM	10	Red Maple	<i>Acer rubrum</i>	Good		Remove	
963	RM	6	Red Maple	<i>Acer rubrum</i>	Good		Remove	
964	RM	8	Red Maple	<i>Acer rubrum</i>	Good		Remove	
965	RM	13	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
966	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
967	PV	15	White Poplar	<i>Populus alba</i>	Good		Remove	
968	RM	13	Red Maple	<i>Acer rubrum</i>	Good		Remove	
969	RM	8	Red Maple	<i>Acer rubrum</i>	Good		Remove	
970	RO	15	Red Oak	<i>Quercus rubra</i>	Good		Remove	
971	RM	7	Red Maple	<i>Acer rubrum</i>	Good		Remove	
972	WO	9	White Oak	<i>Quercus alba</i>	Fair		Remove	
973	RM	7	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
974	RM	10	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
975	RM	6	Red Maple	<i>Acer rubrum</i>	Good		Remove	
976	SM	11	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
977	RM	12	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
978	RM	14	Red Maple	<i>Acer rubrum</i>	Fair		Remove	x2
979	SM	10	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
980	SM	14	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	x1
981	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
982	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
983	SM	11	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
984	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
985	SM	15	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	x2
986	RM	7	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
987	RM	13	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
988	RM	6	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
989	RM	12	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
990	SM	7	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	LANDMARK	SAVE / REMOVE	COMMENTS
991	RM	12	Red Maple	<i>Acer rubrum</i>	Good		Remove	
992	SM	8	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
993	WS	8	White Spruce	<i>Picea glauca</i>	Fair		Remove	x1
994	SM	12	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
995	SM	13	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
996	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
997	RM	10	Red Maple	<i>Acer rubrum</i>	Good		Remove	
998	SM	12	Silver Maple	<i>Acer saccharinum</i>	Good		Remove	
999	SM	10	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
1000	B	7	Basswood	<i>Tilia americana</i>	Fair		Remove	
1001	RM	8	Red Maple	<i>Acer rubrum</i>	Good		Remove	x1
1002	SM	14	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
1003	WS	12	White Spruce	<i>Picea glauca</i>	Fair		Remove	
1004	WS	14	White Spruce	<i>Picea glauca</i>	Fair		Remove	
1005	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
1006	RM	6	Red Maple	<i>Acer rubrum</i>	Good		Remove	
1007	SM	12	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
1008	B	12	Basswood	<i>Tilia americana</i>	Fair		Remove	
1009	SM	11	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
1010	SM	6	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
1011	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
1012	PW	12	White Poplar	<i>Populus alba</i>	Fair		Remove	
1013	RM	8	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
1014	RM	10	Red Maple	<i>Acer rubrum</i>	Good		Remove	
1015	RM	9	Red Maple	<i>Acer rubrum</i>	Fair		Remove	
1016	SM	13	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	
1017	SM	10	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	x1
1018	SM	13	Silver Maple	<i>Acer saccharinum</i>	Fair		Remove	x1
1019	RM	6	Red Maple	<i>Acer rubrum</i>	Poor		Remove	



Tree Protection Detail - Section

Scale: NTS



Tree Protection Detail - Plan

Scale: NTS

Tree Protection Notes

- Approved tree protection shall be erected prior to the start of construction activities, and shall remain in place until construction is complete.
- No person may conduct any activity within the drip line, or protected area, of any designated tree to remain, including, but not limited to, placing solvents, building materials, construction equipment, etc.
- Grade changes may not occur within the drip line of protected trees.
- During construction, no person shall attach any device or wire to any remaining tree.
- All utility service requests must include notification to the installer that protected trees must be avoided. All trenching shall occur outside of the protective fencing.
- Swales shall be routed to avoid the area within the drip lines of protected trees.
- Trees located on adjacent properties that may be affected by construction activities must be protected.
- Trees to be removed shall be flagged by the Owner Representative prior to site grading.
- Root zones of protected trees should be well marked with bright colors and surrounded with rigidly staked fencing.
- The parking of idle and running equipment shall be prohibited under the drip line of protected trees.
- The stripping of topsoil from around protected trees shall be prohibited.
- Trees to be removed shall be fell away from trees to be saved.
- Grubbing of understorey vegetation in construction areas should be cleared by cutting vegetation at ground level with a chain saw or minimally with a hydro-axe.
- The Landscape Architect shall be notified immediately if any protected tree is damaged or removed.



■ sheet title:

Tree Survey (4 of 4) & Landscape Details

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

■ job number:

18028

■ date:

07.28.2020

■ drawn by:

EMJ

■ checked by:

WTK



Know what's Below.
Call before you dig.

■ revisions:

09.21.2020 Per Engineering Revisions
02.22.2021 Per Municipal Review





Landscape Maintenance Notes

All Landscape Maintenance shall be performed by Owner or Owner's desired Landscape Contractor or Landscape Maintenance Company.

Overall

- All diseased, damaged, or dead materials shall be replaced in accordance with the standards of the City of Troy Zoning Ordinance.

Lawn & Turf

- Lawn shall not be irrigated the prior to scheduled mowing
- Maintain a lawn height or 2-1/2" to 3-1/2"
- Lawn shall be mowed with a mulching mower or mower affixed with a mulching blade. Grass clippings shall be left on the lawn to decompose and release nutrients back into the soil
- Inspect Irrigation system after mowing to ensure no damage has been done to the components
- Maintenance Contractor shall maintain clean equipment to prevent potential spread of unwanted seeds, pests, and pathogens

Shrubs

- Prune shrubs on an as-needed basis and only to maintain the plant's natural appearance
- Allow shrubs to mature and fill planting areas as designed
- Allow designed hedges to grow together prior to pruning into a uniform shape

Groundcovers

- Keep free of weeds, grass, and refuse
- Prune lightly to maintain natural appearance
- Allow groundcovers to fill the intended planting area

Perennials

- Prune dead flower stalks that emerge during the summer to encourage foliage growth
- Perform seasonal pruning, weeding, and dead-heading as necessary to maintain a neat appearance and encourage flowering

Trees

- Remove weeds and suckers from around the base of trees
- Prune trees for safety, health, or structural clearance. Remove crossing and damaged branches
- Do not top trees for any reason
- Check on tree staking on a regular basis to ensure that ties and stakes are not damaging the trees. Maintain tree stakes until the tree can stand on its own. Upon reaching this point, remove and properly dispose of all tree stakes, ties, and wiring

Mulch

- Maintain hardwood mulch at a 3" depth and replenish as needed
- Keep mulch at least 3" away from plant stems and tree trunks
- Maintain clean-cut mulch edges and tree rings that match the designed edges

Weed Management

- Remove and properly dispose of any weeds and tree suckers that appear in planting beds. Use the least destructive methods possible

Fertilization

When fertilizing, use organic or non-chemical alternatives whenever possible to reduce the runoff into the Paint Creek

Pest Control

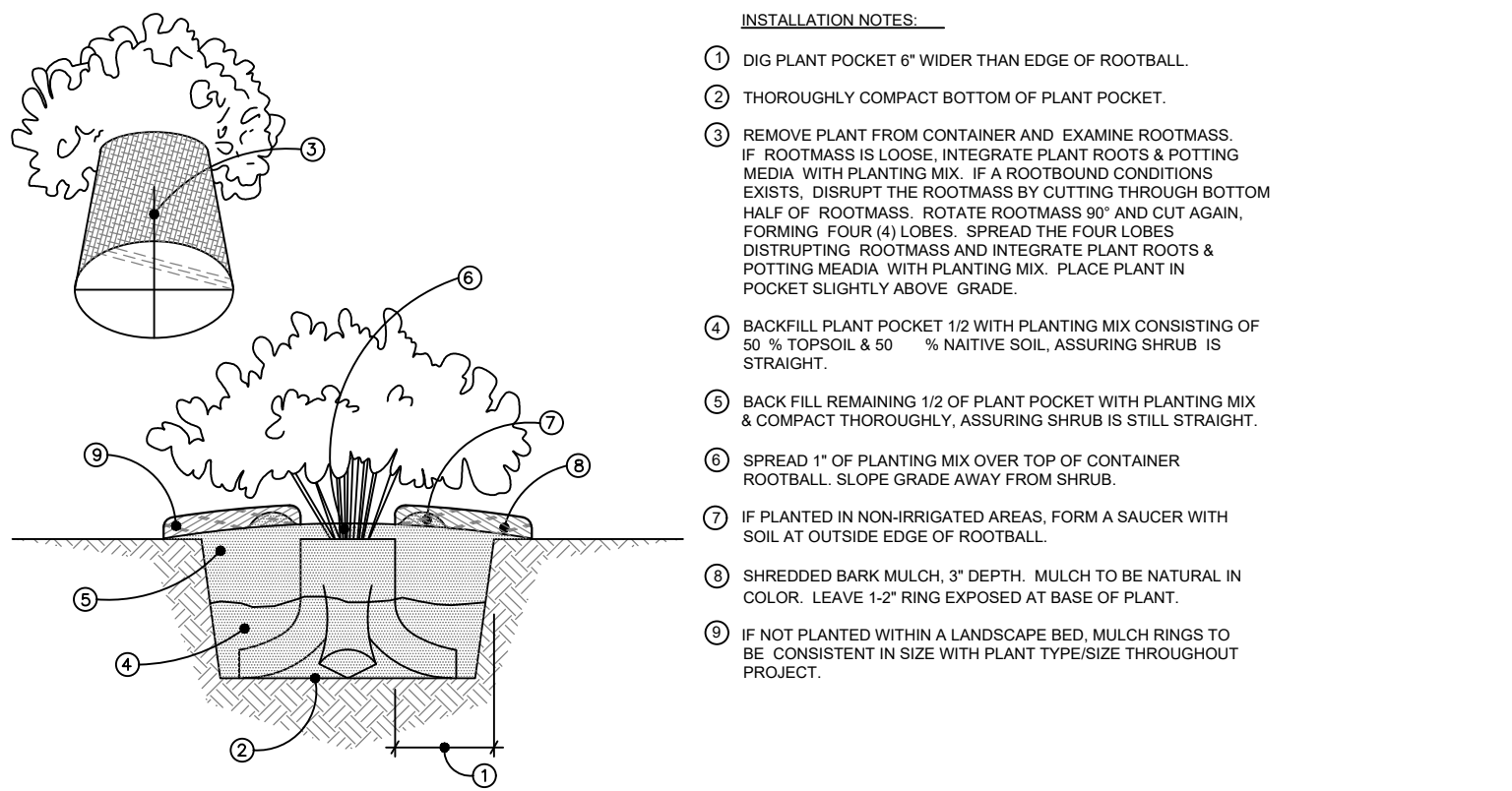
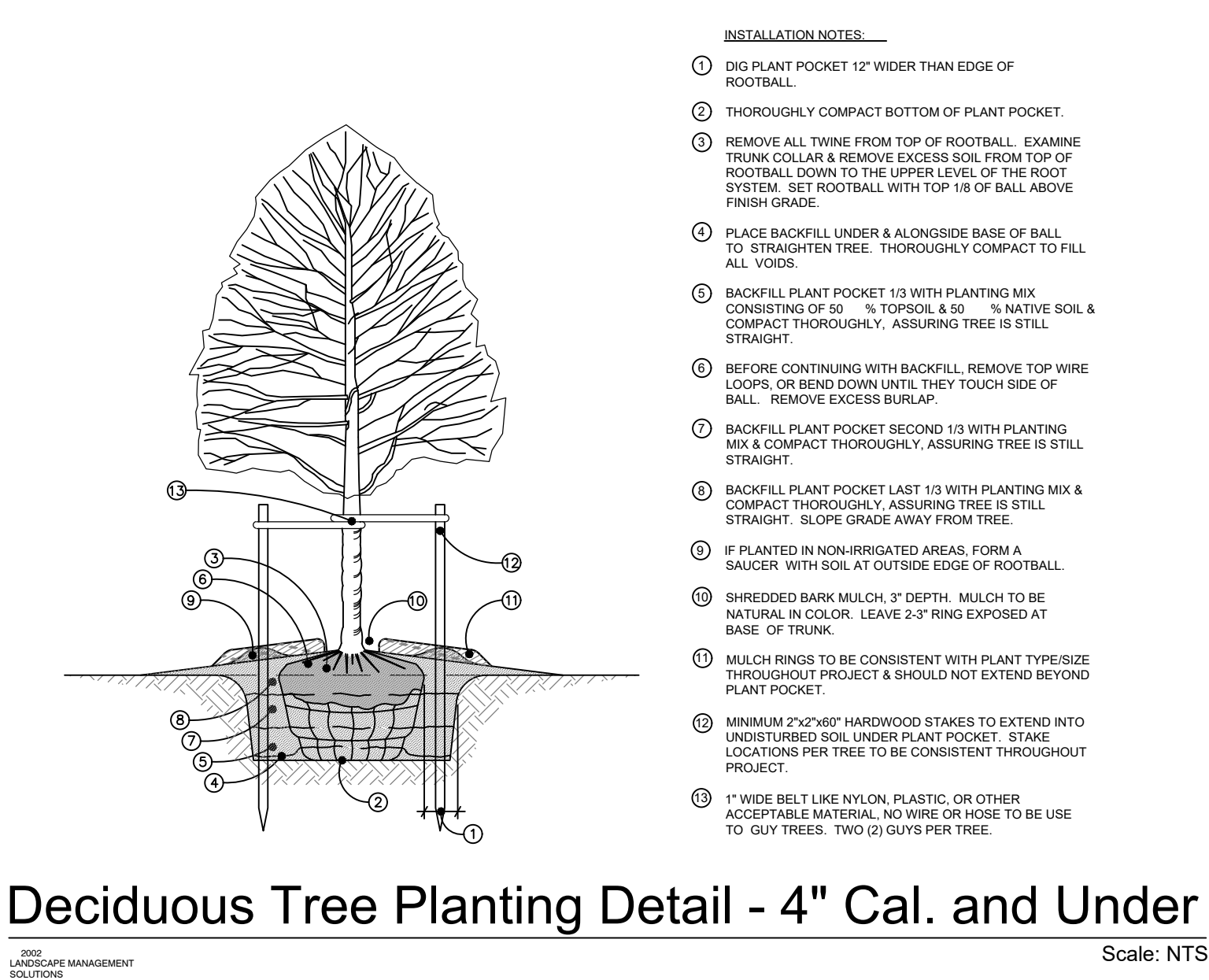
- When using pesticides, use organic or non-chemical alternatives whenever possible to reduce the runoff into the Paint Creek

Bed Edging

- Maintain Spade Cut Edges as designed, as necessary

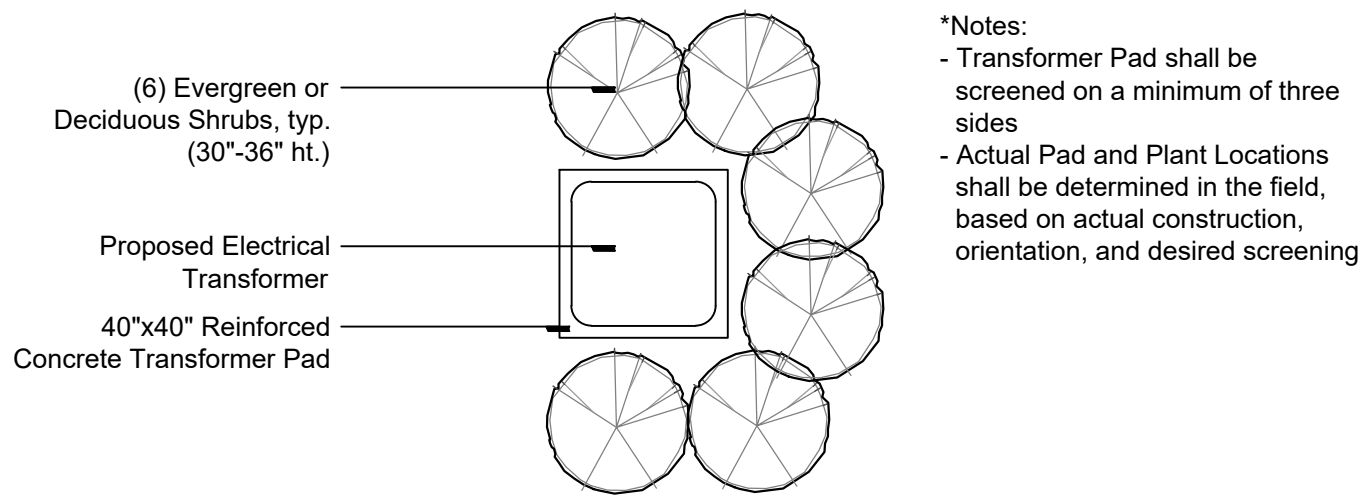
Landscape Notes

- All plant material shall be true to name and free from physical damage and wind burn.
- Plants shall be full, well-branched, and in a healthy, vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized, and mulched and shall be guaranteed to exhibit a normal growth cycle for at least one (1) full year following planting.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, or stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand, and 1/3 peat.
- All plantings shall be mulched with shredded hardwood bark, spread to a minimum depth of 3". Mulch is to be free from debris and foreign material and shall contain no pieces of inconsistent size.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect or Owner's representative.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right at any stage of the installation to reject any work or material that does not meet the requirements of the plans and specifications, if requested by the owner.
- The Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly to all planting beds prior to mulching.
- All lawn areas to be irrigated.
- The Developer and Landscape Architect reserve the right to change location of plant material and alter plant species/variety at the time of installation based upon availability and quantity of material as well as site conditions. Materials will be of similar size, appearance and growth habit.
- All Lawn areas shall be Seeded or Sodded
- All Landscape Areas shall be irrigated by an automatic irrigation system with separate zones for Lawn and Plants.



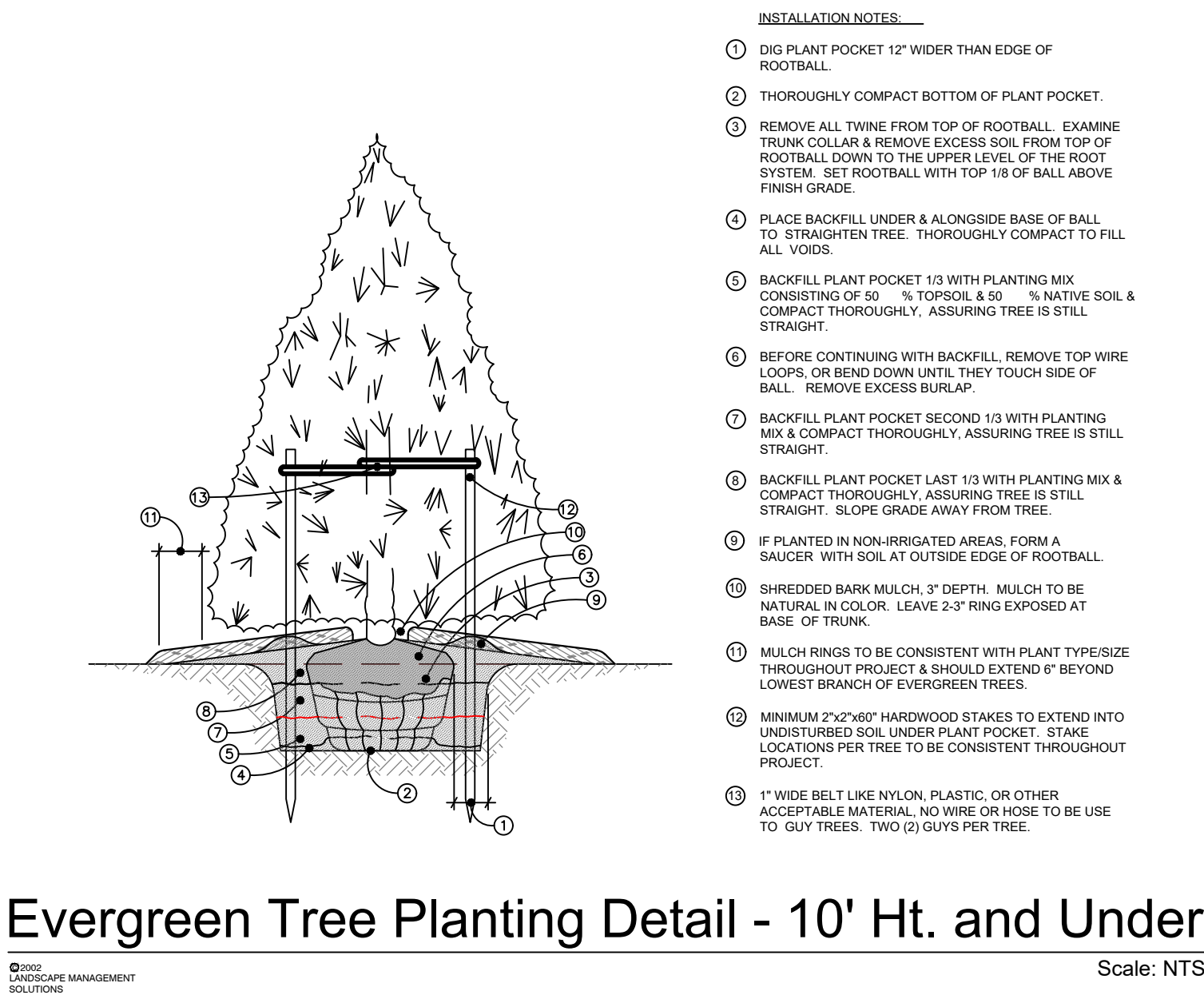
Shrub Planting Detail - Container

Scale: NTS



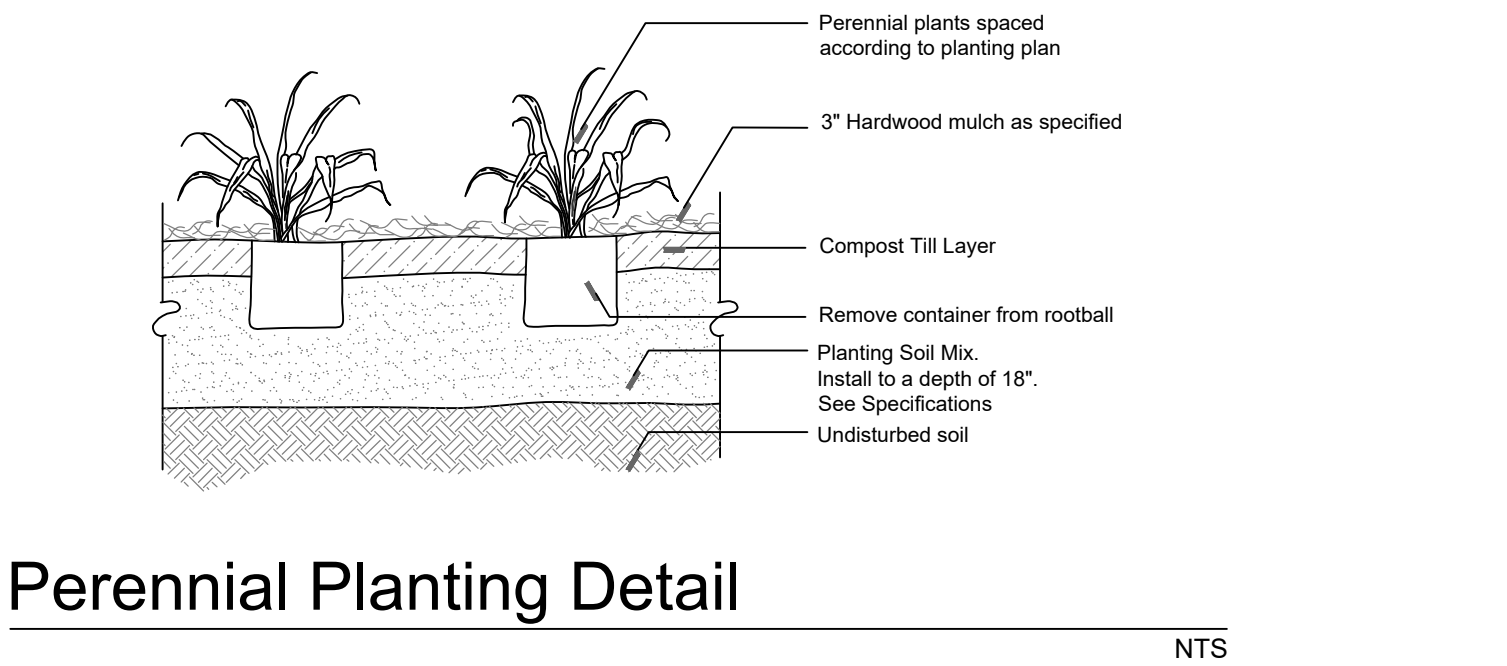
Optional Transformer Screening Detail

Scale: 1/4" = 1'



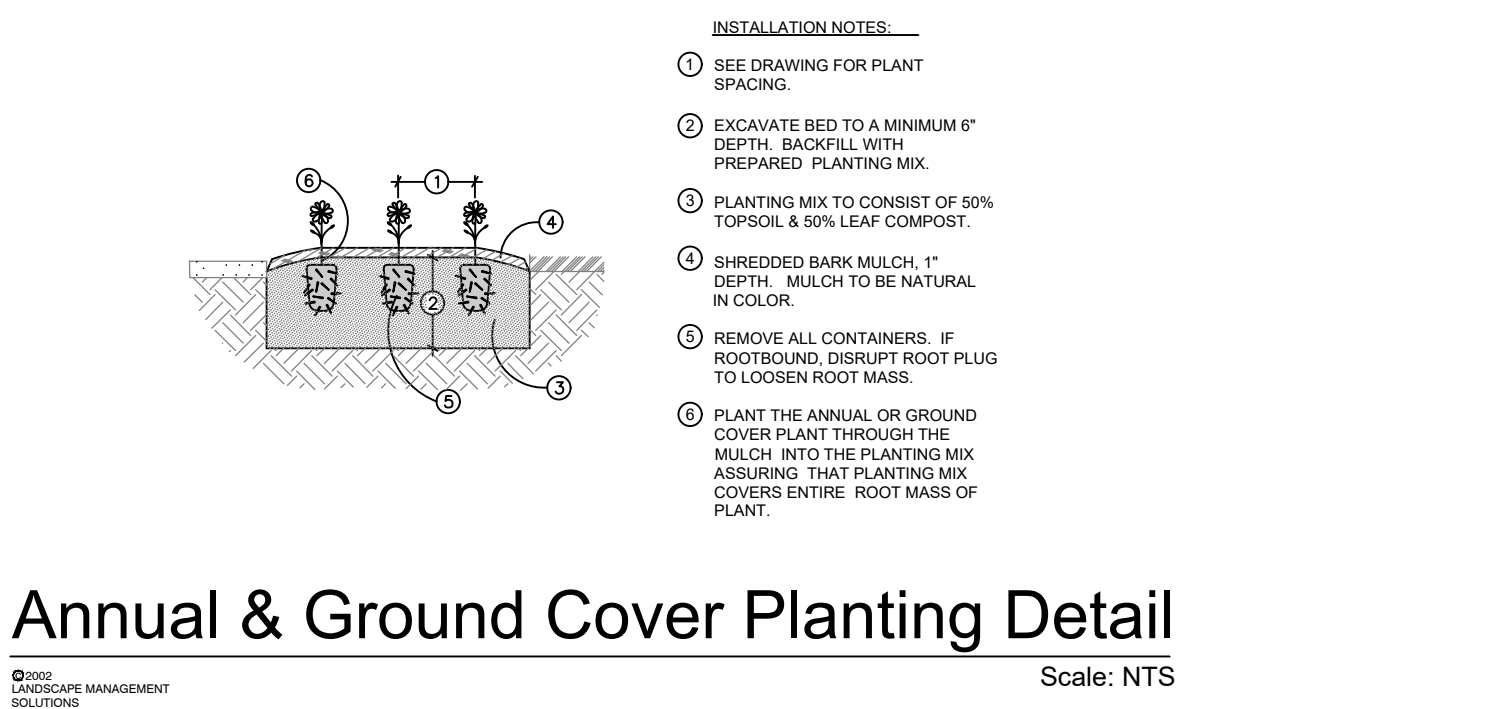
Evergreen Tree Planting Detail - 10' Ht. and Under

Scale: NTS



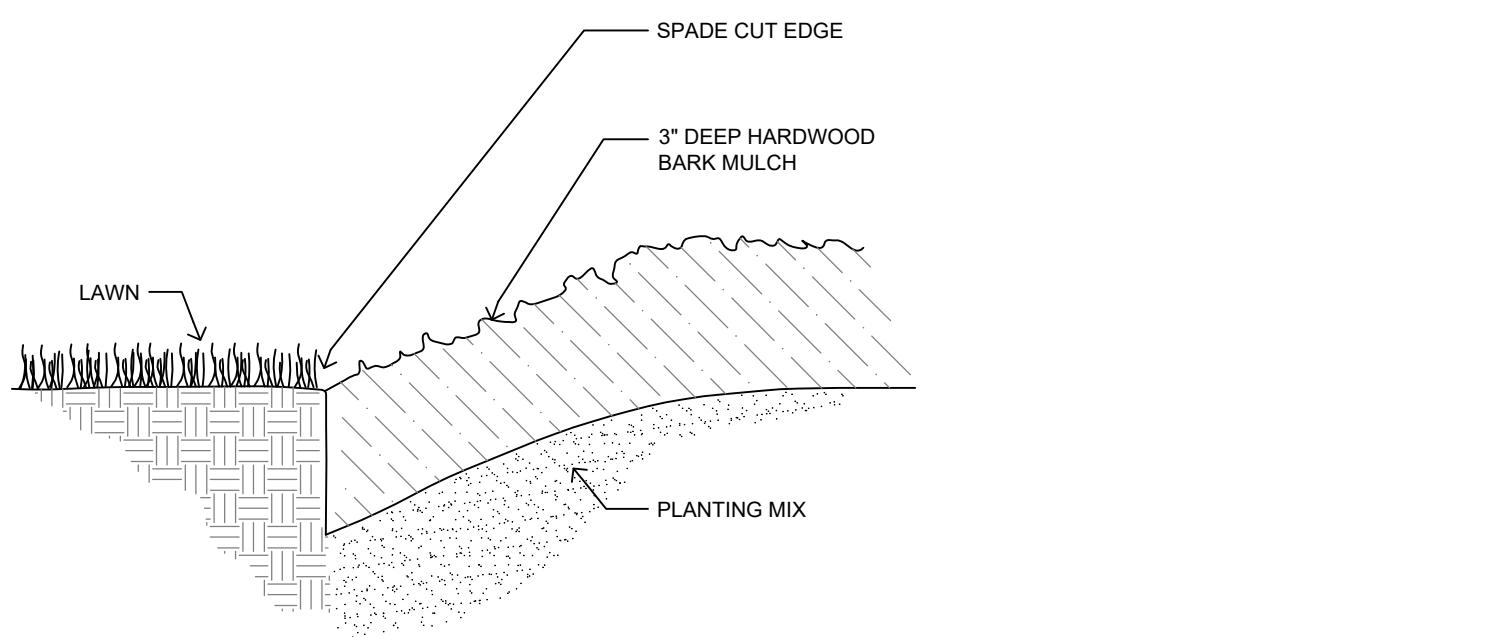
Perennial Planting Detail

NTS



Annual & Ground Cover Planting Detail

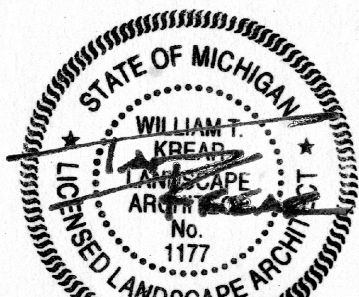
Scale: NTS



Spade Cut Edging Detail

NTS

750 Forest Ave. - Suite 101
Birmingham, MI 48009
T.: 248.594.3220



■ sheet title:

Landscape Details & Notes

■ project title:

Meadows of Troy

City of Troy, Michigan

■ prepared for:

Robertson Brothers Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.657.4968

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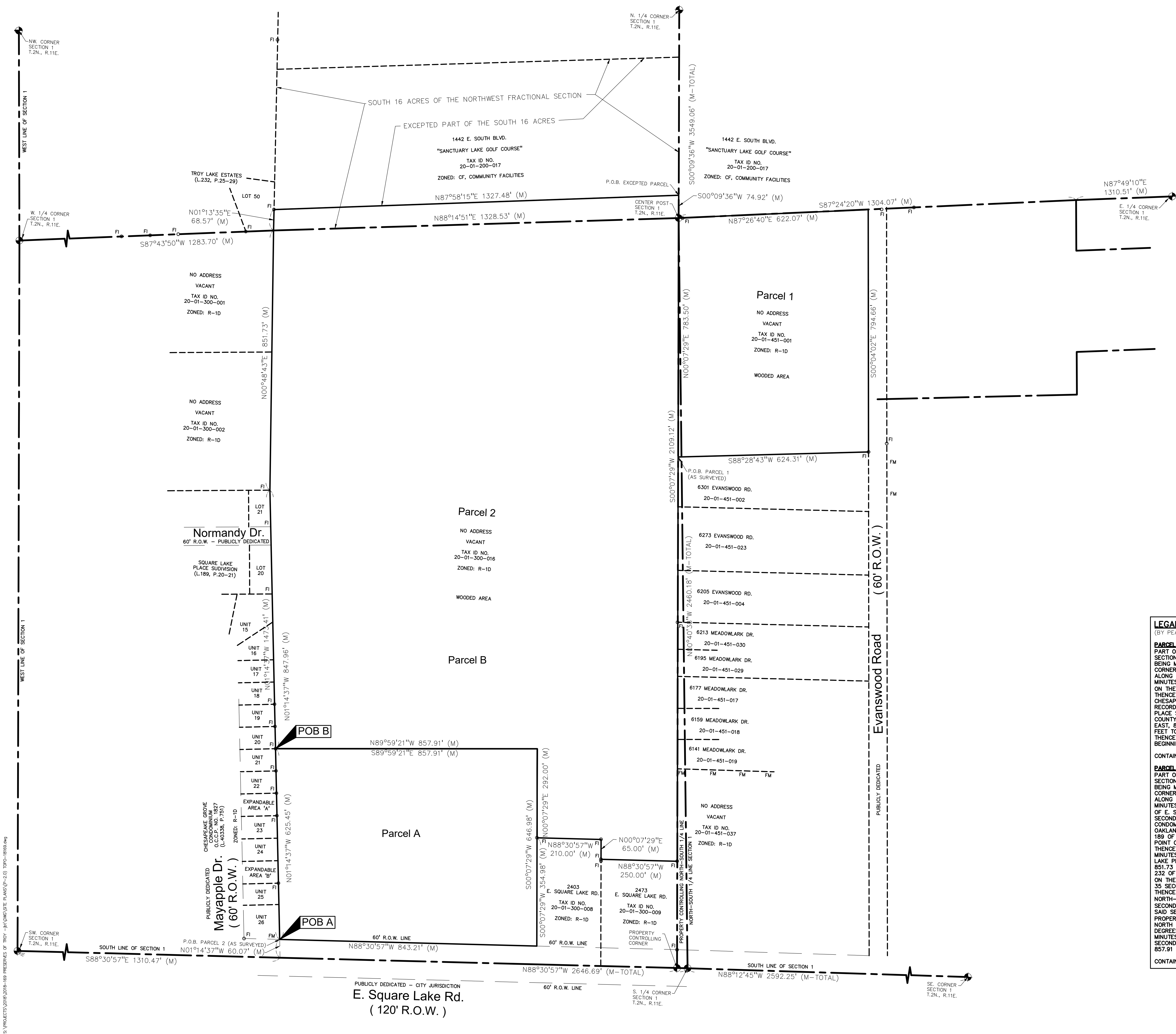


■ revisions:

09.21.2020 Per Engineering Revisions
02.22.2021 Per Municipal Review

sheet no.

L-9



LEGAL DESCRIPTION
(PER SURVEY PROVIDED BY STANTEC CONSULTING, PROJECT NO. 2075105700, DATED JUNE 25, 2007)

PARCEL 1
PART OF THE SOUTHEAST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 2612.25 FEET TO THE PROPERTY CONTROLLING CORNER; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST ALONG THE NORTH-SOUTH PROPERTY CONTROLLING LINE OF SAID SECTION 1, 1675.82 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID PROPERTY CONTROLLING LINE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 783.50 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE NORTH 87 DEGREES 26 MINUTES 40 SECONDS EAST ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 1, 622.07 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF EVANSWOOD ROAD (60 FEET WIDE); THENCE SOUTH 00 DEGREES 04 MINUTES 02 SECONDS EAST ALONG SAID WEST LINE OF EVANSWOOD ROAD, 794.66 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 43 SECONDS WEST, 624.31 FEET TO THE POINT OF BEGINNING.

TAX ID NO. 20-01-451-001
ADDRESS: NONE (VACANT)
CONTAINING: 491,407.07 SQUARE FEET OR 11.281 ACRES

PARCEL 2
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WDE); THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 1473.41 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 28, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, 354.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF BEGINNING.

TAX ID NO. 20-01-300-016
ADDRESS: NONE (VACANT)
CONTAINING: 3,077,405.52 SQUARE FEET OR 70.647 ACRES

LEGAL DESCRIPTION
(BY PEA GROUP)

PARCEL A
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WDE); THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 1473.41 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 28, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, 354.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF BEGINNING.

CONTAINING: 540,917.85 SQUARE FEET OR 12.42 ACRES

PARCEL B
PART OF THE NORTHWEST FRACTIONAL OF SECTION 1 AND PART OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE SOUTH 88 DEGREES 30 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 1, 1310.47 FEET AND NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST 60.07 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF E. SQUARE LAKE ROAD (120' WDE); THENCE NORTH 01 DEGREES 14 MINUTES 37 SECONDS WEST ALONG THE EAST LINE OF CHESAPEAKE GROVE, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. 1827, AS RECORDED IN LIBER 40338, PAGE 751, OAKLAND COUNTY RECORDS AND SQUARE LAKE PLACE SUBDIVISION, AS RECORDED IN LIBER 189 OF PLATS, ON PAGES 20 AND 21, OAKLAND COUNTY RECORDS, 1473.41 FEET TO THE NORTHEAST CORNER OF SAID SQUARE LAKE PLACE SUBDIVISION; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS EAST, 851.73 FEET TO THE SOUTHEAST CORNER OF TROY LAKE ESTATES, AS RECORDED IN LIBER 232 OF PLATS, ON PAGES 25 THRU 28, OAKLAND COUNTY RECORDS, ALSO BEING A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 1; THENCE NORTH 01 DEGREES 13 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID TROY LAKE ESTATES, 68.57 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS EAST, 1327.48 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 09 MINUTES 36 SECONDS WEST ALONG SAID NORTH-SOUTH 1/4 LINE, 74.92 FEET TO THE CENTER POST OF SAID SECTION 1; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG THE PROPERTY CONTROLLING NORTH-SOUTH 1/4 LINE OF SAID SECTION 1, 2109.12 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 250.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, 65.00 FEET; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 210.00 FEET; THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, 354.98 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SQUARE LAKE ROAD; THENCE NORTH 88 DEGREES 30 MINUTES 57 SECONDS WEST, 843.21 FEET TO THE POINT OF BEGINNING.

CONTAINING: 2,536,487.73 SQUARE FEET OR 58.23 ACRES

PEA GROUP
TROY • WASHINGTON TWP
BRIGHTON • DETROIT
t: 844.813.2949
www.peagroup.com

811 Know what's below. Call before you dig.
CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
ROBERTSON BROTHERS CO.
6905 TELEGRAPH ROAD, SUITE 200
BLOOMFIELD HILLS, MI

PROJECT TITLE
MEADOWS OF TROY
E. SQUARE LAKE ROAD
TROY, MICHIGAN

REVISIONS

DRAWING TITLE
PARCEL MAP

ORIGINAL ISSUE DATE:
JULY 30, 2020

DRAWING NUMBER:
P-2.0

NOT FOR CONSTRUCTION



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
ROBERTSON BROTHERS CO.
6905 TELEGRAPH ROAD, SUITE 200
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PROJECT TITLE
MEADOWS OF TROY
E. SQUARE LAKE ROAD
TROY, MICHIGAN

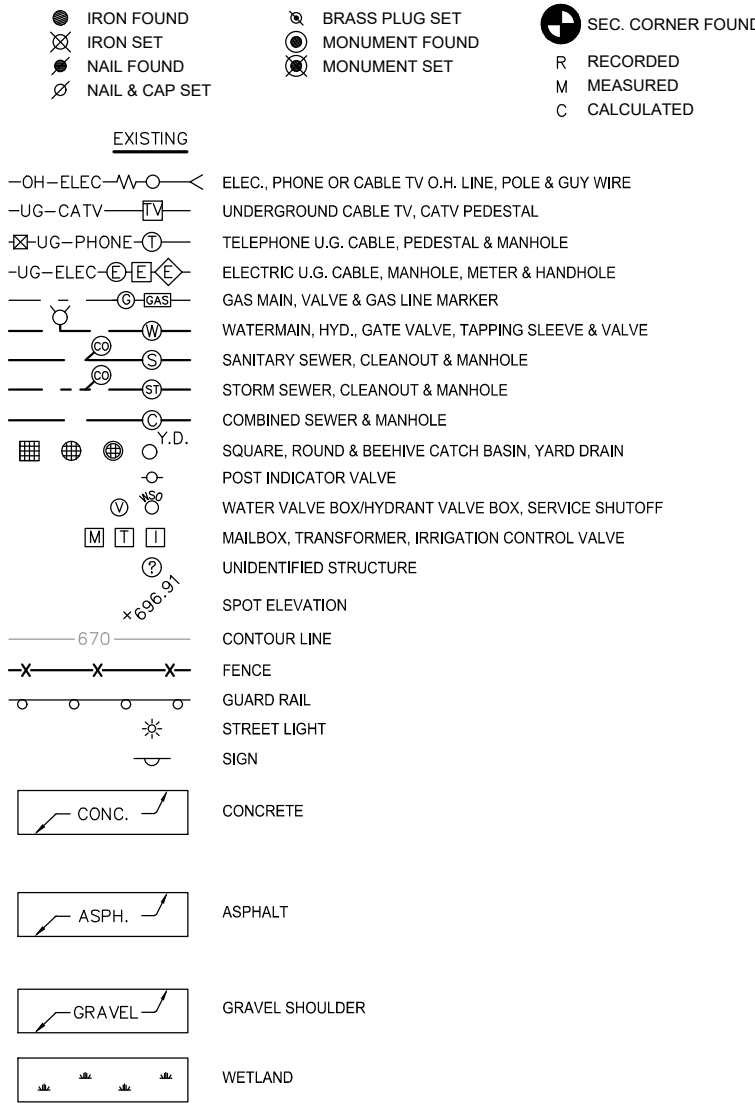
REVISIONS

ORIGINAL ISSUE DATE:
JULY 30, 2020

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO. 2018-169
P.M. JBT
DN. TMK
DES. TMK
DRAWING NUMBER:

LEGEND



LEGAL DESCRIPTION

REFER TO SHEET P-2.0 FOR LEGAL DESCRIPTIONS.

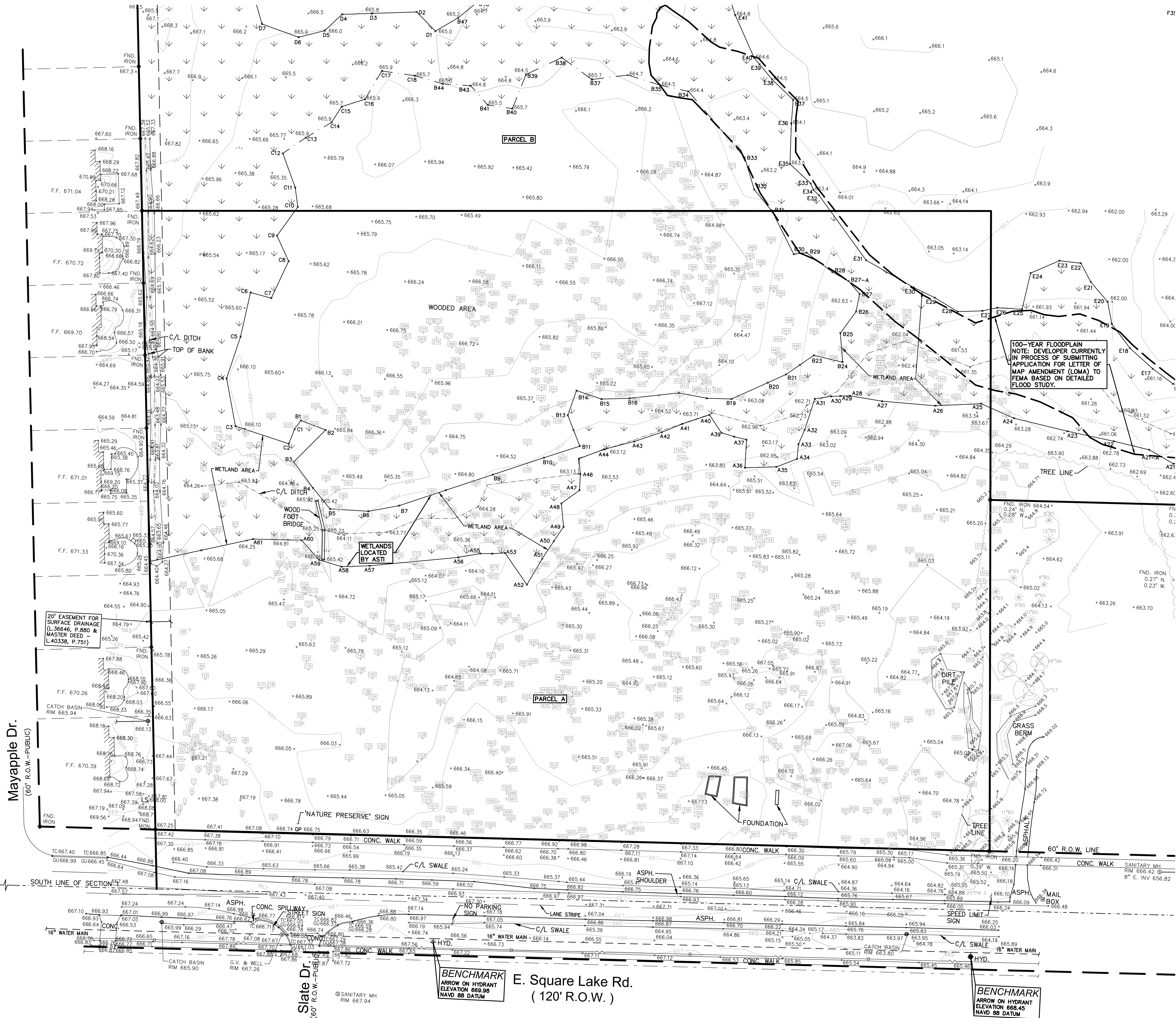
TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY NF ENGINEERS.

PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING ONLY. A PORTION OF THE PROPERTY DESCRIBED ON THIS SURVEY LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE(S) 'A' AND 'X' OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 26125C0553G, DATED SEPTEMBER 29, 2006.



NOT FOR CONSTRUCTION

P-2.1

PLAN # 1834



PLAN # 1834

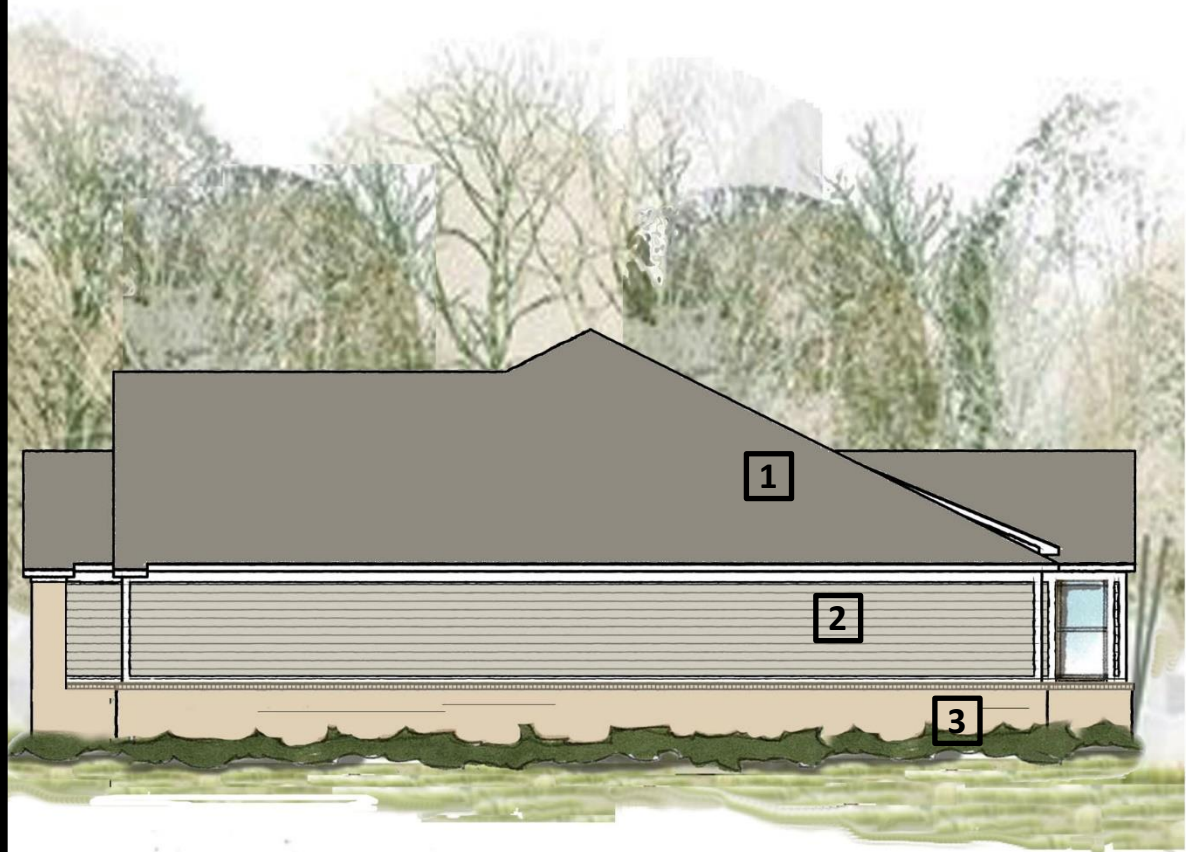


PROPOSED TRADITIONAL ELEVATION

EXTERIOR MATERIAL LEGEND

1	ASPHALT SHINGLE
2	BRICK
3	HARDIE LAP SIDING

PLAN # 1834
TRADITIONAL ELEVATION



LEFT ELEVATION



REAR ELEVATION

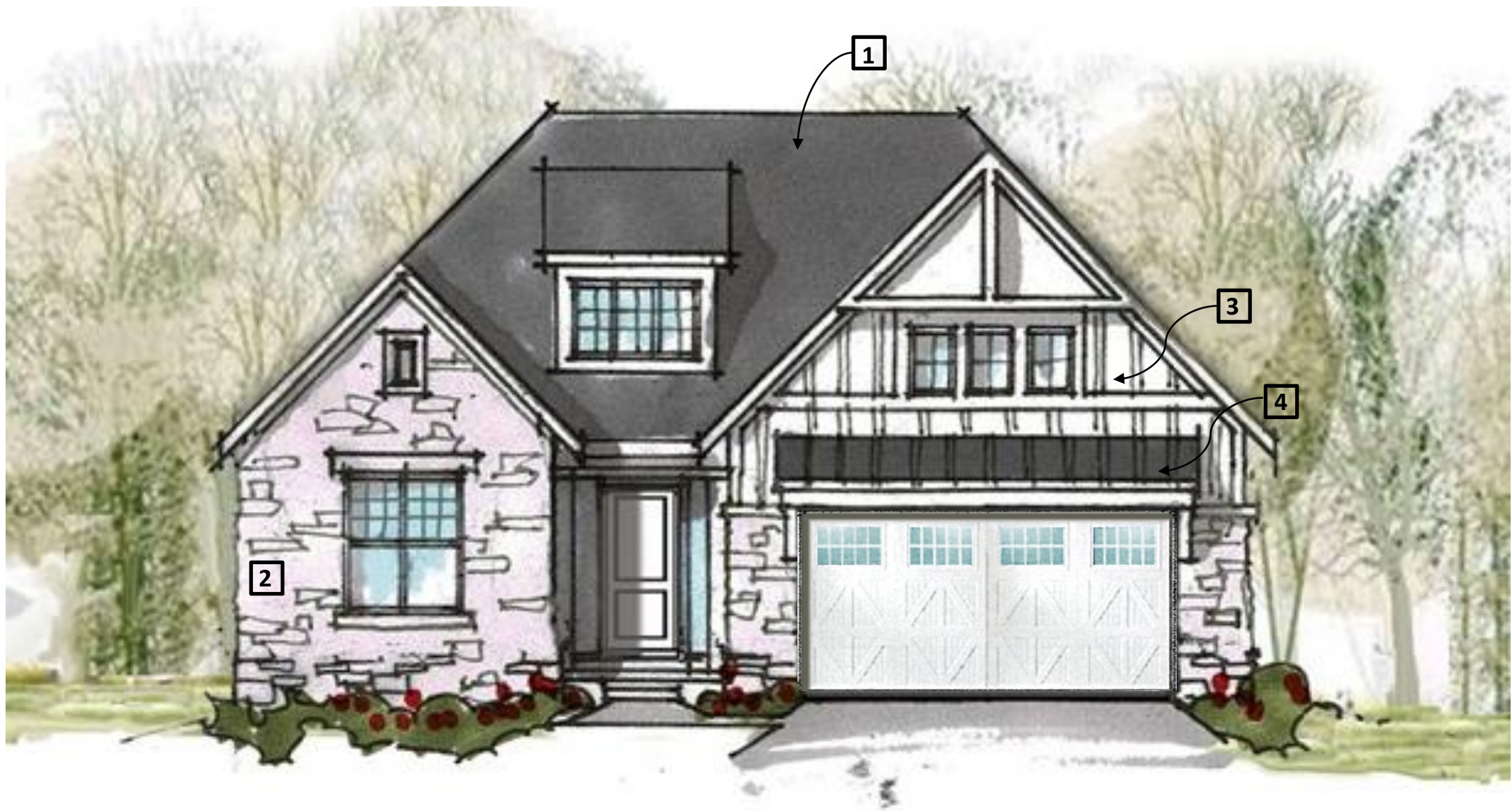


RIGHT ELEVATION

EXTERIOR MATERIAL LEGEND

1	ASPHALT SHINGLE
2	HARDIE LAP SIDING
3	BRICK

PLAN # 1834



PROPOSED FARMHOUSE ELEVATION

EXTERIOR MATERIAL LEGEND

1	ASPHALT SHINGLE
2	STONE
3	HARDIE BOARD & BATTEN SIDING
4	METAL ROOF

PLAN # 1834



PROPOSED EUROPEAN ELEVATION

EXTERIOR MATERIAL LEGEND

1	ASPHALT SHINGLE
2	BRICK





RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
LANSING



C. HEIDI GRETHUR
DIRECTOR

January 9, 2018

Mr. Rick West
Assistant Superintendent for Business Services
Troy School District
4400 Livernois Road
Troy, Michigan 48098-4799

Dear Mr. West:

SUBJECT: Wetland Identification Report
Wetland Identification Site Name: 63-East Square Lake Road-Troy
MiWaters Submission Number: HN7-FPES-HQGW4

The Department of Environmental Quality (DEQ) conducted a Level 3 Wetland Identification Review of approximately 80 acres on property (Property Tax Identification Numbers 20-01-300-016 and 20-01-451-001) located in Town 02 North, Range 11 East, Section 01, city of Troy, Oakland County on November 8, 2017. The wetland identification was conducted in accordance with Part 303, Wetlands Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA), and Rule 4 (1), Wetland Identification and Assessment (R 281.924), of the Administrative Rules for Part 303. This is a report of our findings in response to your Wetland Identification Program (WIP) application.

Based on our on-site investigation which included a review of plants, hydrology, and soils, the DEQ confirms, in part, the wetland boundary lines flagged by your consultant. The DEQ also reviewed other pertinent information such as aerial imagery, soil survey data, topographic mapping data, and surface hydrology data.

One wetland area was overlooked and omitted by the consultant. The DEQ extended the consultant's wetland delineation boundaries in one location within the central portion of the WIP Review Area to encompass additional wetland area. This additional portion of Wetland A showed evidence of sustained surface (or near-surface) hydrology occurring during the growing season and was associated with hydrophytic plant species and hydric soil.

Modified wetland boundaries were documented on the enclosed site map (Figure 2). The site map of the review area was created by combining information from your consultant and the DEQ. The new map identifies areas containing regulated wetland, unregulated wetland, and non-wetland (upland).

Approximately 43.59 acres (98 percent) of the wetland within the WIP Review Area are regulated by the DEQ because of wetland size and/or proximity to a pond, lake, or stream/drain. For those areas identified as regulated wetland on the site map, please be advised that any of the following activities require a permit under Part 303:

- a) Deposit or permit the placing of fill material in a regulated wetland.
- b) Dredge, remove, or permit the removal of soil or minerals from regulated wetland.
- c) Construct, operate, or maintain any use or development in a regulated wetland.
- d) Drain surface water from a regulated wetland.

For the areas identified as non-wetland (upland) and unregulated wetland on the site map, the DEQ lacks jurisdiction under Part 303 for activities occurring in those areas.

This Wetland Identification Report is limited to findings pursuant to Part 303 and does not constitute a determination of jurisdiction under other DEQ-administered programs. Any land use activities undertaken within the review area may be subject to regulation pursuant to the NREPA under the following programs:

Part 91, Soil Erosion and Sedimentation Control
Part 301, Inland Lakes and Streams

Please be aware that this wetland identification report does not constitute a determination of the jurisdiction under local ordinances or federal law. The United States Army Corps of Engineers (USACE) retains regulatory authority over certain wetlands pursuant to Section 404 of the Clean Water Act (CWA), and specifically those wetlands associated with traditionally navigable waters of the state. Navigable waters are generally the Great Lakes, their connecting waters, and river systems and lakes connected to these waters. In other areas of the state, the DEQ is responsible for identification of wetland boundaries for purposes of compliance with the CWA under an agreement with the United States Environmental Protection Agency. Your WIP Review Area is not likely to be within those areas also regulated by the USACE. Additional information may be obtained by contacting the USACE at 313-226-2218.

Mr. Rick West
Page 3
January 9, 2018

You may request the DEQ reassess the wetland boundaries and regulatory status of wetlands within any portion of the review area, should you disagree with the findings, within 60 days of the date of this report. A written request to reassess the Wetland Identification review area must be accompanied by supporting evidence with regard to wetland vegetation, soils or hydrology different from, or in addition to, the information relied upon by DEQ staff in preparing this report. The request should be submitted to:

Wetland Identification Program
Department of Environmental Quality
Water Resources Division
P.O. Box 30458
Lansing, Michigan 48909-7958

The findings contained in this report do not convey, provide, or otherwise imply approval of any governing act, ordinance, or regulation, nor does it waive the obligation to acquire any applicable federal, state, county, or local approvals. This Wetland Identification Report is not a permit for any activity that requires a permit from the DEQ.

Should you need to apply for a permit for future work within this site, please use the same site name listed within the subject line of this letter when you are listing the site location within the MiWaters online permit application.

The findings contained in this report are binding on the DEQ until January 9, 2021, a period of three years from the date of this Wetland Identification Report unless a reassessment has been conducted. Please contact me at 517-243-5002; gyekisk@michigan.gov; or DEQ, P.O. Box 30458, Lansing, Michigan 48909-7958, if you have any questions regarding this report.

Sincerely,



Keto Gyekis
Wetland Identification Program Coordinator
Water Resources Division

Enclosures

cc: Oakland County Soil Erosion Enforcement Agent (CEA)
Oakland County Health Division
City of Troy Clerk
Ms. Dana Knox, ASTI Environmental
Mr. Andrew Hartz, DEQ
Ms. Susan Tepatti, DEQ

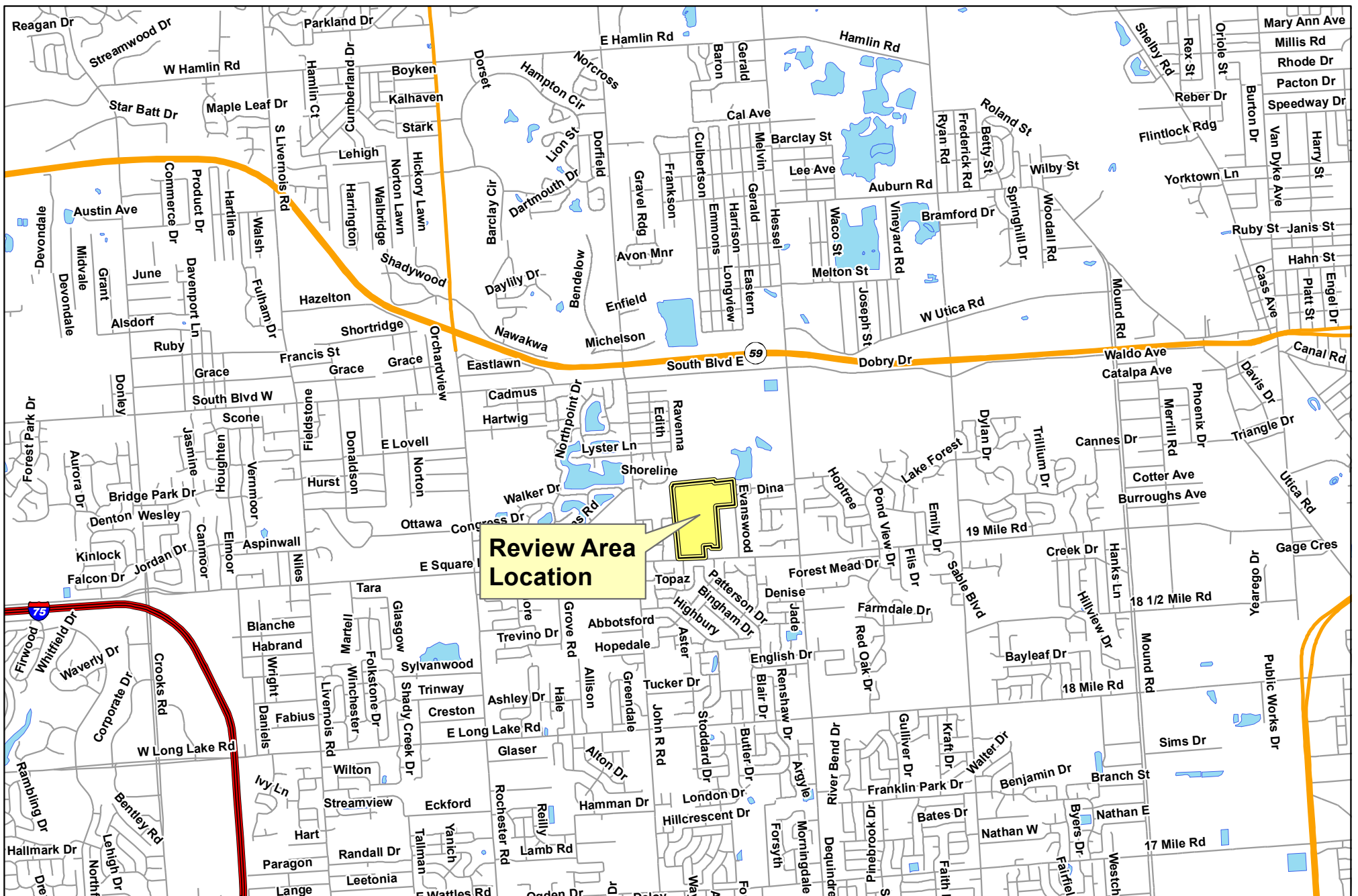
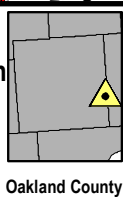


Figure 1.
Wetland Assessment Location
DEQ WIP
East Square Lake Road
Troy



Oakland County

0 0.375 0.75 1.5 2.25 3 Miles

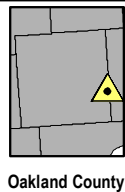


WIP Review Area

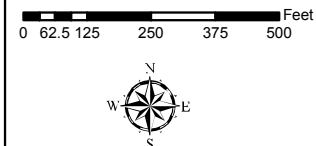




Figure 2.
Wetland Assessment Detail
DEQ WIP
East Square Lake Road
Troy



- DEQ Regulated Wetland
- Additional Regulated Wetland Delineated by DEQ (0.44 acre)
- WIP Review Area Boundary
- Wetland Boundary Flag



This drawing showing those areas containing wetland and not containing wetland is an approximation of the boundaries flagged on-site.

This drawing does not authorize or permit activities requiring a permit in accordance with Part 303 of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended.

MEMO

To: Mr. Tim Loughrin
Robertson Brothers Homes

From: Julie M. Kroll, PE, PTOE
Jacob Swanson, EIT
Fleis & VandenBrink

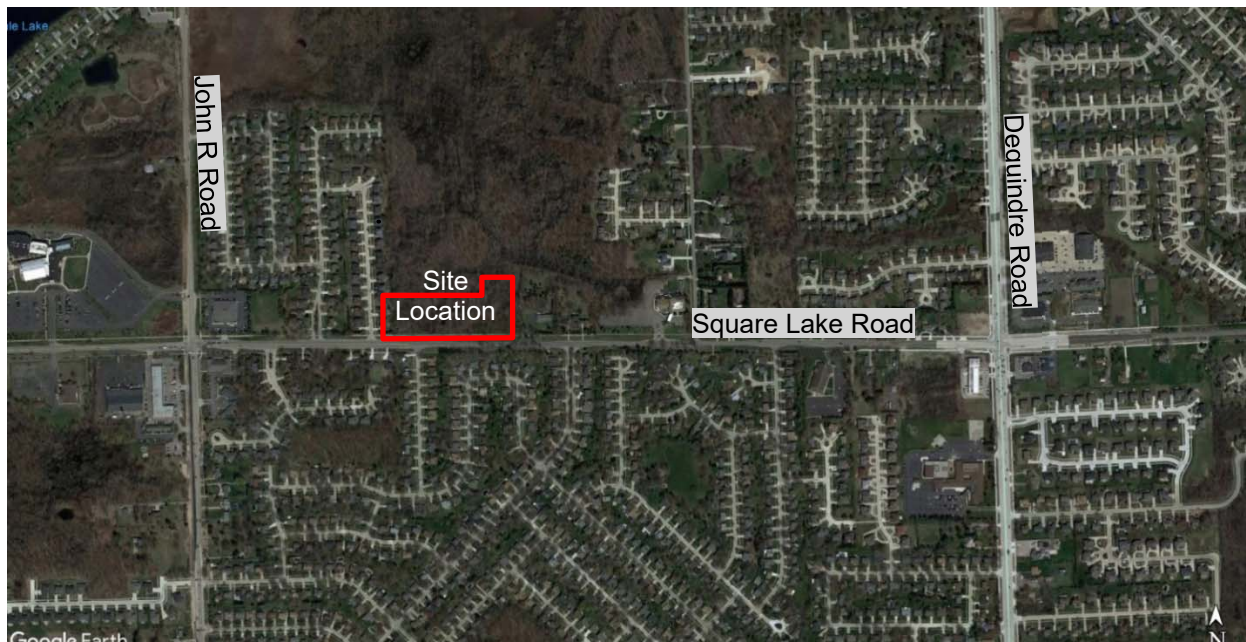
Date: July 20, 2020

Re: “The Preserves” Proposed Residential Development
Troy, Michigan
Trip Generation Study

INTRODUCTION

This memorandum presents the results of the trip generation comparison for the proposed “The Preserves” development in Troy, Michigan. The project site is located adjacent to the north side of Square Lake Road, approximately ¼ mile east of John R. Road; the site is currently undeveloped land, as shown in **Figure 1**. The proposed development plans include 30 detached condominium units within an active adult, age targeted community. The proposed access for this development includes constructing two (2) full access driveways on Square Lake Road. The study section of Square Lake Road is under the jurisdiction of the City of Troy. The project site was previously approved with a site plan consisting of 23 single-family homes. The purpose of this study is to provide a comparison of the proposed development plan to the previously approved site plan.

FIGURE 1: SITE LOCATION MAP



27725 Stansbury Boulevard, Suite 195
Farmington Hills, MI 48334

P: 248.536.0080

F: 248.536.0079

www.fveng.com

TRIP GENERATION

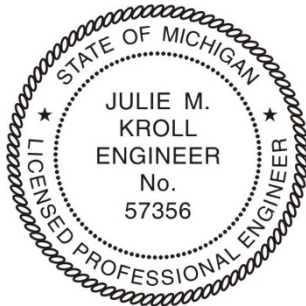
The number of Weekday peak hour (AM and PM) and daily vehicle trips were generated using the equations and rates published by the Institute of Transportation Engineers (ITE) in *Trip Generation, 10th Edition*. The trip generation of the subject site was forecast for the previously approved 23 single-family home site plan and was compared to the projected trips generated by the proposed 30 detached condominium units in the active adult, age targeted community. The trip generation forecasts are summarized in **Table 1**.

TABLE 1: TRIP GENERATION SUMMARY

Scenario	Land Use	ITE Code	Amount	Units	Average Daily Traffic	AM Peak Hour			PM Peak Hour		
						In	Out	Total	In	Out	Total
Previously Approved	Single-Family Detached	210	23	DU	269	5	16	21	16	9	25
Proposed Development	Senior Adult Housing-Detached	251	30	DU	195	5	11	16	12	7	19
Potential Change in New Trips					-74	0	-5	-5	-4	-2	-6

The results of the trip generation comparison indicate the project trips generated by the proposed development will be less than the previously approved single-family development plan for this site. This is due to the trip generation characteristics of active adult communities which include residents that are retired and/or empty nesters, which differs from traditional single-family households. Additional information regarding Senior Adult Housing-Detached (LUC 251) is attached.

Any questions related to this memorandum should be addressed to Fleis & VandenBrink Engineering.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

Attached: Site Plan
 ITE LUC 251 Description
 JJS2:jmk



Site Data:
 Overall Site Area: 81.83 Ac.
 Proposed Site Area: 6.12 Ac.
 Proposed Units: 31
 Overall Density: 0.38 Du./Ac.
 Proposed Density: 5.07 Du./Ac.

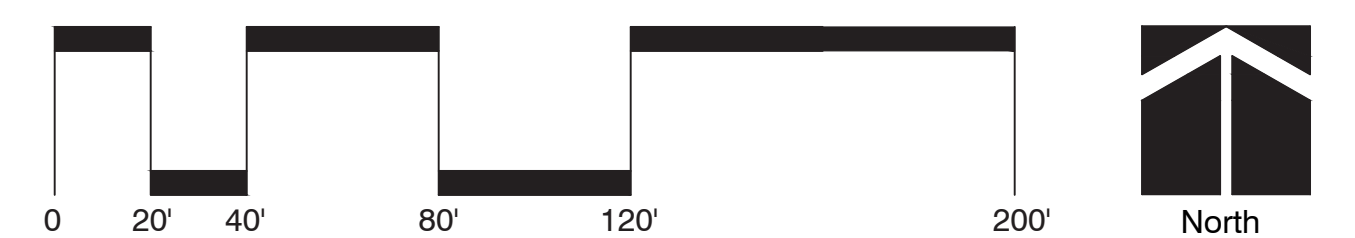
Building Setbacks:
 - Front Yard: 20' min. from Road or Sidewalk
 - Rear Yard: 22.58' min.
 - Building Separation: 10' min.

Road Width: 28'
 Road Length: 1,295 LF
 Road Length per Unit: 41.77 LF/Du.

John R & Square Lake

Illustrative Concept Plan
 Troy, Michigan

March 2020





February 22, 2021

City of Troy
Planning Department

Re: Site Plan Resubmittal Project Narrative
Meadows of Troy
Vacant Square Lake Road Road Properties
Troy, MI

Robertson Brothers Homes is pleased to resubmit a Site Plan application for a portion of the vacant property on Square Lake Road, just east of John R. The site plan has been redesigned to address the second review comments relating to overall acreage and density calculations, fire access, sidewalk connections, landscape planting requirements, and elevations and floorplans. More specifically, the plans have been revised to address the following comments from the January 22, 2021 review comments:

1. Indicate common open space acreage minus area for stormwater pond.

This is reflected on Sheet P-3.2 which is 42% open space excluding the pond.

2. Show site grading in the six acres to ensure preservation of natural area.

This is now reflected on Sheet P-4.0.

3. Where does the applicant propose trails. Will trails be entirely on the 6 acres they are preserving?

There are existing trails shown on the plan as well as a new natural trail connection to connect to the trailhead area. Refer to Sheet P-3.1



4. Extend Edmunds Drive to provide a turnaround (Tee- or cul-de-sac) beyond the last driveway.

Edmunds Drive has been shortened significantly and replaced with a long driveway for Unit 5. Therefore, a turnaround is not necessary. Refer to Sheet P-3.1

5. Amend plans to address engineering pedestrian concerns.

The plans have been revised to include more appropriate pedestrian crossing locations. Refer to Sheet P-3.1

6. Provide adequate fire apparatus turn around at the end of Turtle Woods.

The plans have been adjusted to remove a parking space to allow for a full T-turnaround within the trailhead area. Refer to Sheet P-3.1

7. Provide required landscaping.

The landscape plans have been revised to include all of the minimum planting requirements along Square Lake Road. A berm has also been added to the plans. Refer to Sheet L-1.

8. Provide elevations of all sides.

Elevation drawings (3) including side elevations have been provided.

9. Provide floor plans.

One floor plan is proposed (Raleigh), which has been provided including typical side elevations.



The Meadows of Troy project proposes 31 new detached residential condominiums that will add a quality housing product that is sorely lacking in the area. Meadows of Troy will cater to those that are looking to downsize but stay in the community and enjoy all that Troy has to offer. All of the homes will be 1,834 square feet in size and will feature a first-floor master bedroom design. Over the past decades, Robertson Brothers has had success with this housing product and is confident the project will be well received in Troy. All homes built in the development will be offered for-sale to prospective homebuyers, and our experience tells us that the product is a home plan that residents in Troy have been looking to purchase but have been unable to find.

The development consists of only a portion (12.42 acres) of a larger parcel of land (80.13 acres), which will remain as open space. There will be a pond constructed within the limits of the development, along with a parking trailhead for a future preserve. There will be an established homeowner's association which will be responsible for open space and pond maintenance. A 40' wide roadway easement with 28' of pavement width to allow for parking along one side of the street is proposed.

The School District plans to place the remainder of the land (65+ acres) under a conservancy which will remain undeveloped. Onsite wetlands have been analyzed by ASTI as previously approved, and Robertson is proposing to continue the same minor wetland mitigation process per the previous approved project, as no additional impacts are proposed. As such, the proposed wetland impact consists of only 0.09 acres of forested wetlands that will require offsetting mitigation credits.

The proposed use of the land will provide for an appropriate and logical land use adjacent to existing residential homes and along an arterial street.

The site is proposed under the One-Family Cluster Option. The purpose of the Cluster Option is intended to establish set criteria for a given property based on the unique characteristics of the land. Per the Troy Zoning Ordinance (Section 10.04), *The Cluster Option is an alternative to traditional residential development. The Cluster Option is intended to:*

1. *Encourage the use of property in accordance with its natural character.*



2. *Assure the permanent preservation of open space and other natural features.*
3. *Provide recreational facilities and/or open space within a reasonable distance of all residents of the Cluster development.*
4. *Allow innovation and greater flexibility in the design of residential developments.*
5. *Facilitate the construction and maintenance of streets, utilities, and public services in a more economical and efficient manner.*
6. *Ensure compatibility of design and use between neighboring property.*
7. *Encourage a less sprawling form of development, thus preserving open space as undeveloped land.*
8. *Allow for design innovation to provide flexibility for land development where the normal development approach would otherwise be unnecessarily restrictive or contrary to other City goals.*

Meadows of Troy meets the intent of the Cluster Option provisions as it allows for an efficient use of land and a land plan that provides for an extraordinary amount of quality natural open space for the City, with a housing product that is in high demand in the area. Meadows of Troy will provide innovative yet traditional design elements that enhance its building character. This development concept has been extremely well received in several Southeastern Michigan communities. Robertson Brothers Homes will be the sole builder in the project.

Section 10.04.I.2 of the Zoning Ordinance sets certain criteria for qualification of a One-Family Cluster Option plan, as described below:

- a. Long-term protection and preservation of natural resources, natural features, and open space of a significant quantity and/or quality in need of protection or preservation, and which would otherwise be unfeasible or unlikely to be achieved absent these regulations.



Robertson Response: A major tenet of the proposed development is the massive amount of open space that will be dedicated as part of the approval. This open space is an important watershed and the school district will retain the remainder of the property in an undeveloped state with the ultimate condition being the dedication to a conservancy for perpetual maintenance.

- b. Innovative and creative site design through flexibility in the siting of dwellings and other development features that would otherwise be unfeasible or unlikely to be achieved absent these regulations.

Robertson Response: The current regulations would allow for far more homes if the entire 80.13 acres were to be developed, as a prior PEA plan indicated **102 single family home sites** could be sited under the underlying R1-D zoning district. However, it is the intent of the school district and the developer to only build upon the front 12.42 acres of land through a cluster type of development. This can only be achieved through a Cluster development with reduced setbacks and building separations than what would normally be permitted in the R1-D district.

- c. Appropriate buffer and/or land use transitions between the Cluster development and surrounding properties.

Robertson Response: The plan provides for residential to residential land uses, with no adverse impacts accordingly. The project will consist of detached condominium units, whereby an established homeowner's association will own and maintain all of the common areas. What this means for adjacent property owners is that there will be no pools, playsets, etc. at the rear of the homes. Further, the grounds will be professionally managed and maintained to provide for a high level of upkeep.

- d. A compatible mixture of open space, landscaped areas, and/or pedestrian amenities.



Robertson Response: As mentioned previously, there will be an extraordinary amount of open space saved in conjunction with the approval of the development. Additionally, there will be a significant amount of common area landscaping in between and behind the homes screening Square Lake Road, all of which will be professionally maintained by the HOA. Further, there will be trailhead parking for pedestrian access to the open space, as shown and approved on previous plans.

Due to the intense planting shown along Square Lake Road, Robertson would be amenable to moving some of these trees to use as a buffer to neighbors to the east and west, if the City prefers. Our experience is that typically 10' is not sufficient for full growth of these trees.

- e. Sustainable design features and techniques, such as green building, stormwater management best practices, and low impact design, which will promote and encourage energy conservation and sustainable development.

Robertson Response: The development will provide for the required County stormwater measures, and the preponderance of wetlands on the overall property will remain in their vegetative state as a result of the development.

- f. A means for owning common open space and for protecting it from development in perpetuity.

Robertson Response: There will be an established Homeowner's Association that will be responsible for maintenance of all 12.42 acres, including the open space areas and storm pond. As mentioned above, the School District is planning to place the remaining property under a conservancy for the conservation of the land in perpetuity.

- g. Any density bonus is commensurate with the benefit offered to achieve such bonus.



Robertson Response: The modest increase of density allows for the large amount of open space to become preserved as well as providing for future pedestrian access to the preserved area. Additionally, the proposed first-floor master bedroom designs are commensurate with filling a clear need in the community as identified by the City as included in the Open Space Cluster language.

- h. The cluster development shall be adequately served by essential Public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.

Robertson Response: The development can be fully serviced by City Services and the roads, water, sewer and storm system will be installed by Robertson during land development activities.

- i. The architectural form, scale, and massing shall ensure buildings are in proportion and complementary to those of adjacent properties and the selected building materials are of high, durable quality. The garage shall not be the dominant feature of a residential building.

Robertson Response: Due to the fact that every home will be a single story, the scale and massing as compared to adjacent homes is greatly minimized. As shown on the attached perspective drawing, the architectural form allows for a very low impact to viewsheds and is completely complementary to adjacent properties.

Additionally, the use of high-quality materials such as hardieboard, brick and stone ensure that the project will be a very high-quality development for the City of Troy, and the HOA will be required to maintain all ongoing exterior maintenance.



The development seeks a One-Family Cluster Option designation in order to provide for the most efficient and highest quality development for the property. As such, modifications from the underlying R1-D zoning category are shown below. Section 10.04.E.5 provides that “the City Council, based upon a recommendation from the Planning Commission, may waive the front, side, rear, and perimeter setback provisions as set forth in 10.4.E.2 provided that the applicant has demonstrated innovative and creative site and building designs and solutions, which would otherwise be unfeasible or unlikely to be achieved absent this provision.”

Schedule of Regulations and Modifications Compared to R1-D Meadows of Troy			
	R1-D	Proposed Meadows of Troy	Deviations From R1-D
Max. Density	25 Units (35 Allowed Per Bonuses)	31 Units	6 units
Min. Building Setbacks			
Front Setback (Bldg)	20'	20'	In Compliance
Front Setback (Garage)	25'	25'	In Compliance
Side Min. Principal	7.5'	N/A	N/A
Side Total Principal	15'	10' Between Units	5'
Rear Setback Principal	25'	40'	In Compliance
Perimeter Setback Principal	40'	40'	In Compliance
Principal Building Height to Midpoint	2.5 stories/30 feet	1 story/30 feet	In Compliance

The City’s One-Family Cluster Option allows for the discretion of the Planning Commission and City Council for density bonuses in order to encourage both significant open space conservation and housing diversity options. The 12.42 acres of land as shown within the project allows for up to 35 units based on the calculation for a density bonus as a result of additional open space. Specifically, this requirement allows for the following:



Open Space. For every ten percent (10%) additional open space above the minimum required amount that is not encumbered by rights-of-way or utility easements, a ten percent (10%) bonus density may be applied, or fraction thereof above the base yield number of units as established in 10.04.C.1.

Additionally, the Ordinance encourages an additional bonus in density for home plans that utilize a master first floor bedroom design, which is the only housing product typology that the Meadows of Troy development will provide. While currently the verbiage in the Ordinance limits this density bonus to units that are 1,500 square feet in size or smaller, the Planning Commission recently recommended for approval an amendment that increases the minimum square footage to 1,900, which would include all of the homes proposed for the Meadows of Troy. Due to COVID related challenges, this amendment has yet to proceed to the City Council. While this additional density bonus is not necessary in light of the significant open space that will be conserved as a result of this project, it does demonstrate that the proposed development meets a clearly identified need and desire from City leaders to provide for this important type of housing. We believe that the impact of providing for a high quality, downsizing product for those Troy residents that desire to stay within the City boundaries will be a very positive result of the Meadows of Troy community. The elevations of the homes are intended to provide visual interest and variety with traditional and modern elements. Materials include high quality brick with hardieboard elements. The plan has been designed with a 5' stepback for the garage, in order to break up the emphasis of the front garage doors.



SAMPLE FLOOR PLAN AND INTERIOR PHOTOGRAPHS



Due to the fact that the target buyers are typically downsizing from a larger colonial home, and consist mostly of singles or couples, the impact on infrastructure and traffic will be less than the previously approved single family development. The reduction in traffic is reflected in the attached Trip Generation Study that was prepared by Fleis & Vandenbrink, and is attached to this submittal.

There are several public benefits to the project overall, such as:

- Preservation of a significant amount of open space for the overall benefit of Troy residents
- Meeting the intent of the City's Master Plan
- Reduction of traffic as compared to a single-family development with fewer homes



- Inclusion of ADA accessible sidewalks to provide for community connection
- Housing option for residents that are currently underserved
- Quality architecture and design that will complement and further the enhance the area
- Access to the future preserve area

Robertson Brothers Homes is pleased to present the Meadows of Troy site plan for One-Family Cluster Option consideration by the City. We believe the development will ultimately become a point of pride for responsible development in a solid area and will provide for a housing need in the community.

Please let me know if any additional information is required at this time.

Thank you.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Tim Loughrin'.

Tim Loughrin | Director of Land Acquisition

Robertson Brothers Homes

6905 Telegraph Rd, Suite 200, Bloomfield Hills, MI 48301

Direct Dial: 248.282.1428 | Mobile: 248.752.7402

tloughrin@robertsonhomes.com

Land Use: 251

Senior Adult Housing—Detached

Description

Senior adult housing consists of detached independent living developments, including retirement communities, age-restricted housing, and active adult communities. These developments may include amenities such as golf courses, swimming pools, 24-hour security, transportation, and common recreational facilities. However, they generally lack centralized dining and on-site health facilities. Detached senior adult housing communities may or may not be gated. Residents in these communities are typically active (requiring little to no medical supervision). The percentage of retired residents varies by development. Senior adult housing—attached (Land Use 252), congregate care facility (Land Use 253), assisted living (Land Use 254), and continuing care retirement community (Land Use 255) are related land uses.

Additional Data

Caution should be used when applying trip rates for this land use as it may contain a wide variety of studies ranging from communities with very active, working residents to communities with older, retired residents. As more data becomes available, consideration will be given to future stratification of this land use.

Many factors affected the trip rates for detached senior adult housing. Factors such as the average age of residents, development location and size, affluence of residents, employment status, and vehicular access should be taken into consideration when conducting an analysis. Some developments were located within close proximity to medical facilities, restaurants, shopping centers, banks, and recreational activities.

For the six sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 98.5 percent of the total dwelling units were occupied.

Time-of-day distribution data for this land use are presented in Appendix A. For the six general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 11:45 a.m. and 12:45 p.m. and 5:00 and 6:00 p.m., respectively.

For the six sites for which data were provided for both occupied dwelling units and total dwelling units, an average of 98.5 percent of the units were occupied.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), California, Delaware, Florida, New Hampshire, New Jersey, and Pennsylvania.

Source Numbers

221, 289, 398, 421, 500, 550, 598, 601, 629, 734, 930

From: [Dorene](#)
To: [Planning](#)
Subject: Re parcel 88-20-01-300-016; 12.42 acres
Date: Thursday, April 1, 2021 12:32:21 PM

This email is in regards to the above property.

This city cannot leave one parcel untouched in the City of Troy. Once again, the TSD is greedy for its money and has no good conscience to leave any plot of land alone. This land, like all the others the TSD sold, is a wildlife sanctuary. But money gets in the way of a good conscience in this city. We don't need 31 more units anywhere in this city.

It is sad and sickening that everyone involved doesn't look past the greed. The land and its trees are desperately needed for climate change. The wildlife sanctuary is not only a gem in this city, but the preservation of wildlife is so very important in a thriving municipality. It is appalling that no one in this city has a conscience, most of all the TSD, who are educators.

That is precisely why this city looks like every other built up city now. Green space is a must where families and children grow up, but this city has no plans for that. The master plan is poor because it has no balance. Building in this city should have ceased 10 years ago. You can't get any more land once it's gone.

Residents are sad and fed up.

Truly,

Another fed up resident

Sent from XFINITY Connect App

From: [Brent Savidant](#)
To: [Jackie Ferencz](#)
Subject: FW: Land Preservation
Date: Monday, April 12, 2021 8:47:28 PM

-----Original Message-----

From: Aileen Dickson
Sent: Monday, April 12, 2021 2:11 PM
To: Brent Savidant <SavidantB@troymi.gov>; Bob Bruner <Bob.Bruner@troymi.gov>; Mark F Miller <Mark.Miller@troymi.gov>
Subject: FW: Land Preservation

Public Comment for tonight's Council meeting.

M. Aileen Dickson, MMC, MiPMC II

City Clerk | City of Troy

O: 248-524-3331

F: 248-524-1770

-----Original Message-----

From: Bunny Blackwell <bunnyblackwellofficial@gmail.com>
Sent: Monday, April 12, 2021 11:45 AM
To: Public Comment <PublicComment2020@troymi.gov>
Subject: Land Preservation

To whom it may concern,

I've been a resident of the city of Troy for 23 years now, and have seen plenty of changes throughout the years, but nothing has been more disappointing than watching the destruction of green spaces in Troy, particularly close to 19 mile and Dequindre. The lack of nature will contribute to air and water pollution, as well as the displacement of local wildlife, the destruction of Michigan's natural beauty has been going on since its colonization, I urge you to look at Washtenaw county's land preservation plan of action, I admire their commitment to up-keeping the green spaces in their area.

Sincerely,

Natalie Chrisopoulos

From: [Brent Savidant](#)
To: [Jackie Ferencz](#)
Subject: FW: April 13, 2021, Troy City Council Meeting Postponement
Date: Monday, April 12, 2021 8:47:02 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

From: Aileen Dickson
Sent: Monday, April 12, 2021 8:16 PM
To: Brent Savidant <SavidantB@troymi.gov>; Mark F Miller <Mark.Miller@troymi.gov>
Subject: FW: April 13, 2021, Troy City Council Meeting Postponement

Public Comment from tonight's Council meeting



M. Aileen Dickson, MMC, MiPMC II
City Clerk | City of Troy
O: 248-524-3331
F: 248-524-1770

From: Maureen Bedford <mobedford@hotmail.com>
Sent: Monday, April 12, 2021 5:13 PM
To: Public Comment <PublicComment2020@troymi.gov>
Subject: April 13, 2021, Troy City Council Meeting Postponement

Hello,

Many Troy residents are concerned about the rising COVID infection rates in our area and would like a postponement of the April 13, 2021, City Council meeting.

A large group of us have concerns about the development of Turtle Woods. It was just brought to our attention and that the person (forgive me, but I can't recall their name) in charge of the presentation of the plans will not be present to address these concerns. They are not attending because of their fear of COVID. Many of us are concerned. Troy citizens should be heard at this meeting, and health concerns during an inflamed pandemic should be reason enough for postponement.

Thank you for your consideration on this matter.

Sincerely,
Maureen Bedford

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From: [Ellen B](#)
To: [Planning](#)
Subject: Turtle Preserve
Date: Monday, April 12, 2021 1:29:39 PM

Hello,

I'm emailing you today to express my utter outrage about the possible urban development that will take place on the Turtle Woods Preserve in Troy Michigan.

So, let me give you some background about myself: I am an 18 year old Freshman in college who graduated from Athens High School last year and am currently studying Environmental Studies. The passion for this field of study started with the injustices that I would see Troy do to the environment. Over the past 18 years of my life I have seen SO much urban development in Troy and its disgusting. Troy is the laughing stock of urban planning, and actions like this are only making it worst. Selling the land for money in order to build a preschool is unnecessary. There is no need for one, unified preschool when there are already preschools that provide a more than adequate place for children to grow and learn. What we do need, however, is more forest because you guys keep DESTROYING them.

Forests provide many ecosystem services, one of them being cultural services that they provide humans, it's a place for people to go and relax after a long days work.

My family and I are frequent visitors of the forest, going on a walk in them almost every single day; including holidays. There, we have met many others who love the forest and would hate to see it destroyed. By taking away 7 acres of land you would be doing the people an injustice.

But I know causing an injustice to people is probably not your biggest priority because the government likes to give the facade that they care about the people, but in actuality they don't because if they did they wouldn't be doing things like this. So, let me explain how you would also be doing the environment an injustice:

I know what your thinking, its only 7 acres of land out of the 80 that the Turtle Woods Preserve convers, what's the big deal? 7 acres of forest have a bigger effect then you would expect. Did you know that one acre of new forest can sequester about 2.5 tons of carbon annually? By destroying the 7 acres you plan to, that is potentially 17.5 tons of carbon that will no longer be absorbed, and this is not taking in account the added carbon that would result from building the homes themselves. These sort of actions can not occur in the middle of a climate crisis.

However, not only would there be an increase of carbon in the air but there would be a direct impact on the surrounding environment. New development results in more litter and less biodiversity. Less biodiversity directly equals less diversity of different organisms, further resulting in possible ecosystem collapse. In a place such as Turtle Woods that is home ancient amphibians and endangered turtles, this development could be detrimental.

Here's a petition I started:

https://www.change.org/p/city-of-troy-planning-commisson-stop-the-destruction-of-turtle-woods-preserve-in-michigan?recruiter=1057570861&utm_source=share_petition&utm_medium=facebook&utm_campaign=share

[e_petition&utm_term=d2fe1043422d44349feb4a3851fcd3be&recruited_by_id=e206d240-6aee-11ea-98ec-7517f776a9a9&utm_content=fht-28335453-en-us%3A2](#)

I hope you guys reconsider your position on this, and instead of adding more money to the pockets of those around you, you add more oxygen to the air.

Sincerely,

A college student who could have been doing more productive things with her time instead of saying something that shouldn't even have to be said.

From: [Maureen Bedford](#)
To: planning@troymi.gi
Subject: Fwd: April 13th Meeting Public Comment
Date: Tuesday, April 13, 2021 9:11:58 PM

Hello,

Tonight I listened to the City Council meeting and it appears that they did not receive my written statement, that was submitted on Monday, April 12, 2021, to you. Can you please make sure they receive this copy before the next meeting.

Thank you.

Sincerely,
Maureen Bedford

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From: Maureen Bedford
Sent: Monday, April 12, 2021 10:15:16 AM
To: planning@troymi.gov <planning@troymi.gov>
Subject: April 13th Meeting Public Comment

Hello,

Thank you for giving me this opportunity to speak on behalf of the development going on at the Turtle Woods Nature Preserve and Trail.

I find it disturbing the rapid rate in which the City of Troy is losing its green space. Dilapidated spaces are not being reused, but remain blemishes within the city. And beautiful natural green spaces are being destroyed and over developed. There should be incentives given to developers to reuse vacant, already developed properties, and pride taken in preserving what little is left of natural environments within Troy. Look at the city's that surround ours and the pride they take in their natural spaces. Their citizens are proud to show them off. Troy didn't plan well, early on, in preserving natural spaces for long trails, etc., but we have pockets of green spaces that we enjoy. We take pride that we have wildlife such as eagles, owls, coyote, deer, turtles and frogs that still find a home in our community. That we have environments that can sustain these fragile creatures who depend on stable, clean waters and land to hunt and live on.

In regards to Turtle Woods Nature Preserve, I hate the thought of it being touched for development. At what point will we lose the residents that currently live there with the building encroachment and destruction of habitat? People see dollar signs and lose sight of what is truly the greater value.

Minimally I ask of this development proposal to keep the current nature trail system that is plainly mapped out at the south entrance off of Square Lake Road, intact. The southern portion of land that the current trails reside on is critical to the year round enjoyment of the Nature Preserve. From mid-April to October, most of this trail is under water because of the wetland. This is nature's natural process which people can respect. The south and eastern portion of the trail is the only portions you can walk during these months. The current plans of destruction and development would remove a large portion of this dry trail that can currently be enjoyed year round. If it could be redrafted to leave the trail intact, and share access to the nature trail from Square Lake Road, it would be so much easier for the people of Troy to continue to access and enjoy this land year round. Please consider this request. Walk the trails and see what I am talking about. Some of them are already under water but what's remaining makes for a nice walk.

Thank you to all that are helping to preserve this precious parcel of land. The City of Troy once prided itself on the preservation of trees. It's nice to know we have good people that put up a great fight to stay true to that motto and help to create a city that sustains all residents, great and small.

Sincerely,

Maureen Bedford

Troy Resident of 24 Years

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From: [Laury Shah](#)
To: [Planning](#)
Subject: Meadows of Troy development- Proposed Robertson Brothers plan -
Date: Tuesday, April 13, 2021 4:35:20 PM

With the Mondrian plan in comparison to the Robertson Brothers Plan, a large acreage is listed as "donation to six rivers land conservancy" with the previous Mondrian plan.

1. So, that is not the case anymore? I would love to see Six Rivers land conserve this acreage. I know this is listed as back in the ownership of Troy Schools. Will Six Rivers conserve the remaining acreage of Section 1 - 68 acres?

Also, I am worried about the use of mosquito control (chemicals that are toxic to aquatic vertebrae and other animal species) in the detention pond and the wetlands behind the Meadows of Troy proposal. I think the City of Troy should issue a mandate that will forbid use of any toxic chemicals in this land. Also, I am concerned about the use of pesticides and herbicides that residents use on their lawns near any wetland.

I have seen runoff from a residence (pesticide and herbicide use on a lawn) near the Sturgis Drain into a conserved wetland from the houses at the end of Tallman Drive in Troy (east of Livernois, north of Wattles).

I think the City of Troy needs to protect the wetlands in this area, and should consider mandating this as law or city ordinance that no toxic chemicals will be allowed to be applied in the detention pond or near the wetlands. The City should make this clear to all residents in the 31 unit cluster development.

I understand this might be new to Troy, but it is very important to our stewardship to conserve the wildlife on our very limited undeveloped lands.

Laury Shah
Resident of Troy for a long time

From: [Camille Bedford](#)
To: [Planning](#)
Subject: Re: April 13th Meeting Public Comment
Date: Monday, April 12, 2021 2:59:29 PM

I would additionally like to add that there is an ongoing petition on [change.org](#) (find it [here](#)) calling to stop *any* development of Turtle Woods. The destruction of any amount of forested area is a tragedy, especially in a city that has already experienced so much loss of natural wildlife. The promotion in support of a small gravel parking area, and only a small parking area, off of John R. to further allow more residents to enjoy the beauty Turtle Woods has to offer is one of the best options going forward with this matter. I implore you to reconsider any residential development proposed.

On Mon, Apr 12, 2021 at 1:10 AM Camille Bedford <camillebedford@gmail.com> wrote:

My heart is heavy and low at the thought of the proposed development into Turtle Woods off of Square Lake Rd. between John R Rd. and Dequindre Rd. I've lived all 22 years of my life in Troy near what is left of its wooded areas and have found great joy and pride for the small slice of heaven that is the Troy School District's nature preserve. Although I do understand the plans in tearing down the 7 front acres of the roughly 83-acre Turtle Woods has been in the works for years, I cannot help but be reminded the lengths that this city will go to for new development.

Being an Urban Planning student at Wayne State University, the City of Troy is often the example in my education of sprawl, new-age balloon frame housing, and putting development before its people. This narrative is proven true by the residential development in the past 10 years that can be seen in just a 1-mile radius around Turtle Woods (10-acre Oak Forest of Troy neighborhood, 25-acre Bridgewater Estates neighborhood and Hunters Park neighborhood). In looking at the zoning GIS map for what plots of land *are* protected, the "Environmental Protection District" zones are few and meek throughout this city. According to this map, roughly 22 square-mile neighborhoods in Troy have no environmentally protected zones (of which the entire Turtle Woods plot is zoned for R-1D residential housing). I, as many others in this city, find the continued abuse of Troy's natural history extremely disturbing and unnecessary.

On a secondary note, I applaud all of those who fought hard for the conservation of Turtle Woods- especially Six Rivers Land Conservancy and those from the Troy School District who voiced for protecting this beautiful area. Your efforts are essential in the preservation of our natural environment and absolutely do not go unnoticed. Again, I as a concerned resident of Troy implore the Planning Commission to reevaluate its continued and unrelenting development of this city's green spaces. Residents and wildlife alike are counting on it.

Camille Bedford

Wayne State University
Urban Planning | Global Studies
WSU Office of Campus Sustainability Intern

From: [Camille Bedford](#)
To: [Planning](#)
Subject: April 13th Meeting Public Comment
Date: Monday, April 12, 2021 1:10:42 AM

My heart is heavy and low at the thought of the proposed development into Turtle Woods off of Square Lake Rd. between John R Rd. and Dequindre Rd. I've lived all 22 years of my life in Troy near what is left of its wooded areas and have found great joy and pride for the small slice of heaven that is the Troy School District's nature preserve. Although I do understand the plans in tearing down the 7 front acres of the roughly 83-acre Turtle Woods has been in the works for years, I cannot help but be reminded the lengths that this city will go to for new development.

Being an Urban Planning student at Wayne State University, the City of Troy is often the example in my education of sprawl, new-age balloon frame housing, and putting development before its people. This narrative is proven true by the residential development in the past 10 years that can be seen in just a 1-mile radius around Turtle Woods (10-acre Oak Forest of Troy neighborhood, 25-acre Bridgewater Estates neighborhood and Hunters Park neighborhood). In looking at the zoning GIS map for what plots of land *are* protected, the "Environmental Protection District" zones are few and meek throughout this city. According to this map, roughly 22 square-mile neighborhoods in Troy have no environmentally protected zones (of which the entire Turtle Woods plot is zoned for R-1D residential housing). I, as many others in this city, find the continued abuse of Troy's natural history extremely disturbing and unnecessary.

On a secondary note, I applaud all of those who fought hard for the conservation of Turtle Woods- especially Six Rivers Land Conservancy and those from the Troy School District who voiced for protecting this beautiful area. Your efforts are essential in the preservation of our natural environment and absolutely do not go unnoticed. Again, I as a concerned resident of Troy implore the Planning Commission to reevaluate its continued and unrelenting development of this city's green spaces. Residents and wildlife alike are counting on it.

Camille Bedford

Wayne State University
Urban Planning | Global Studies
WSU Office of Campus Sustainability Intern

From: [KOSHY GEORGE](#)
To: [Planning](#)
Cc: [Koshy George](#)
Subject: The Meadows - Public Hearing
Date: Monday, April 12, 2021 10:35:41 AM

To, Planning Dept.,

A proposal by The Meadows to build a “cluster development” of 31 new homes located East of John R Road, North of Square Lake Road parcel is now in the hands of the Planning Commission.

This proposal is completely out of character with this part of Troy, a character that has been shaped by decades of thoughtful zoning enforcement. This intelligent land management has been based on the guidelines of the City Comprehensive Plan.

A cluster plan can, in some instances, be an effective means for conserving open space and protecting our environment. It has no validity in this particular project. It is an attempt to cram 31 homes in an area where infrastructure is non-existent. John R is one of the narrowest, least maintained roads to navigate and maintain in the city. The woods do provide a beautiful collection of streams, ponds, and the countless number of wildlife animals that are currently under attack by this developer. In short, this Cluster Plan serves only a developer who is using the concept to maximize profit. By definition, developers are not environmentally conscientious; it is the city's obligation to protect our lands.

The subject property area is currently characterized as a nature preserve, which is the lower portion of the “Troy Lake Estate” and it is fully loaded with wetlands, surrounded by tall grass, plants, trees, flowers, and many smaller water streams. This area provides a home for countless wild birds, wild animals, and plants.

With the existing water, the ground is not solid, and building a house will cause property damages in the future for the homeowners.

If the plan is approved, it will be the destruction of the environmental atmosphere for this area. So, we humbly request the planning committee not to approve the plan to build houses on the nature preserve so that the builders can profit.

We only want the change to be in keeping with what makes sense for the neighborhood and its environment. We believe that the land should be managed both in accordance with the environmental law and with the comprehensive plans set by the city.

Sincerely,
Koshy & Esther George
2212 Lakeside Dr.
Troy, MI 48085

From: [Don and Linda Gottschalk](#)
To: [Planning](#)
Subject: The Meadows
Date: Monday, April 12, 2021 2:55:00 PM

As a resident of Troy for the past 34 years I wish to register my concern about the new proposed residential development east of John R and north of Square Lake, known as The Meadows. The proposed site area as well as the surrounding area is currently known as Turtle Woods. It is a true gem, enjoyed by the residents of Troy as a place to walk, reflect and enjoy nature. It is a habitat by many wild and beautiful animals. A couple years back there was another residential development proposed with most of the woods being preserved. This was a smaller development and did not encroach on the natural terrain as much. In fact provision was made to preserve and enhance the natural environment for man and beast alike. From looking at the proposed plans on your web-site it is difficult to ascertain how much of the woods will be developed and how much will be preserved, if any. Before there can be a vote, the neighbors deserve to have a much better sense of what the builder, developer and City have planned for this site adjacent to our homes and so very primary to our lives.

Linda and Don Gottschalk
6270 Silverstone Dr.
Troy, MI. 48085
(248)840-7214

From: [Brent Savidant](#)
To: [Jackie Ferencz](#)
Subject: FW: Planning commission hearing for April 13, at 7.00 P.M.
Date: Monday, April 12, 2021 8:47:15 PM

-----Original Message-----

From: Aileen Dickson
Sent: Monday, April 12, 2021 8:15 PM
To: Brent Savidant <SavidantB@troymi.gov>; Mark F Miller <Mark.Miller@troymi.gov>
Subject: FW: Planning commission hearing for April 13, at 7.00 P.M.

Public Comment from Council tonight

M. Aileen Dickson, MMC, MiPMC II

City Clerk | City of Troy

O: 248-524-3331

F: 248-524-1770

-----Original Message-----

From: Don and Linda Gottschalk <harborcove7@hotmail.com>
Sent: Monday, April 12, 2021 2:35 PM
To: Public Comment <PublicComment2020@troymi.gov>
Subject: Planning commission hearing for April 13, at 7.00 P.M.

Many resident who were planning to attend have decided that they cannot because of the current health crises .We understand that members can make motion to vote and postpone . We think this would be the most prudent and transparent course as well as what our governor appears to be recommending due to the current level of Covid cases in the state.

Don and Linda Gottschalk
6270 Silverstone Dr.
Troy, MI. 48085
248-840-7214

DATE: April 22, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW
(File Number SP2021-0014) – Proposed St. Marks Coptic Church gymnasium and classroom addition, West side of Livernois, South of Wattles (Parcel 88-20-21-277-036), Section 21, Currently Zoned R-1B (One Family Residential) District.

The petitioner Design Team Plus submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for an addition to St. Marks Coptic Church. The first floor includes includes seven (7) classrooms, a kitchen, and a gymnasium with bleachers and an equipment storage area. The second floor includes five (5) classrooms, a multi-purpose room, two (2) offices, men's and women's restroom, and a storage room. The Planning Commission has approval authority for this item.

The Planning Commission considered this item at the April 13, 2021 Regular meeting but postponed the item until April 27, 2021. The public hearing was opened and was kept open. Public comment will be taken during the public hearing at the April 27, 2021 Regular meeting.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Public Comment.
4. Application.

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PROPOSED RESOLUTION

PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0014) – Proposed St. Marks Coptic Church gymnasium and classroom addition, West side of Livernois, South of Wattles (Parcel 88-20-21-277-036), Section 21, Currently Zoned R-1B (One Family Residential) District.

Resolution # PC-2021-04-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed St. Marks Coptic Church gymnasium and classroom addition, West side of Livernois, south of Wattles (Parcel 88-20-21-277-036), Section 21, Zoned R-1B (One Family Residential) District, be (granted, subject to the following conditions):

1. Applicant agrees that there will be no concurrent use of site facilities that should require parking to exceed 322 spaces. Events or uses that draws users to the facility, such as basketball tournaments or other large gathering events, shall not be held concurrently with regularly scheduled church activities such as mass.
2. Applicant provides a detailed landscape review as a part of the final site plan.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED

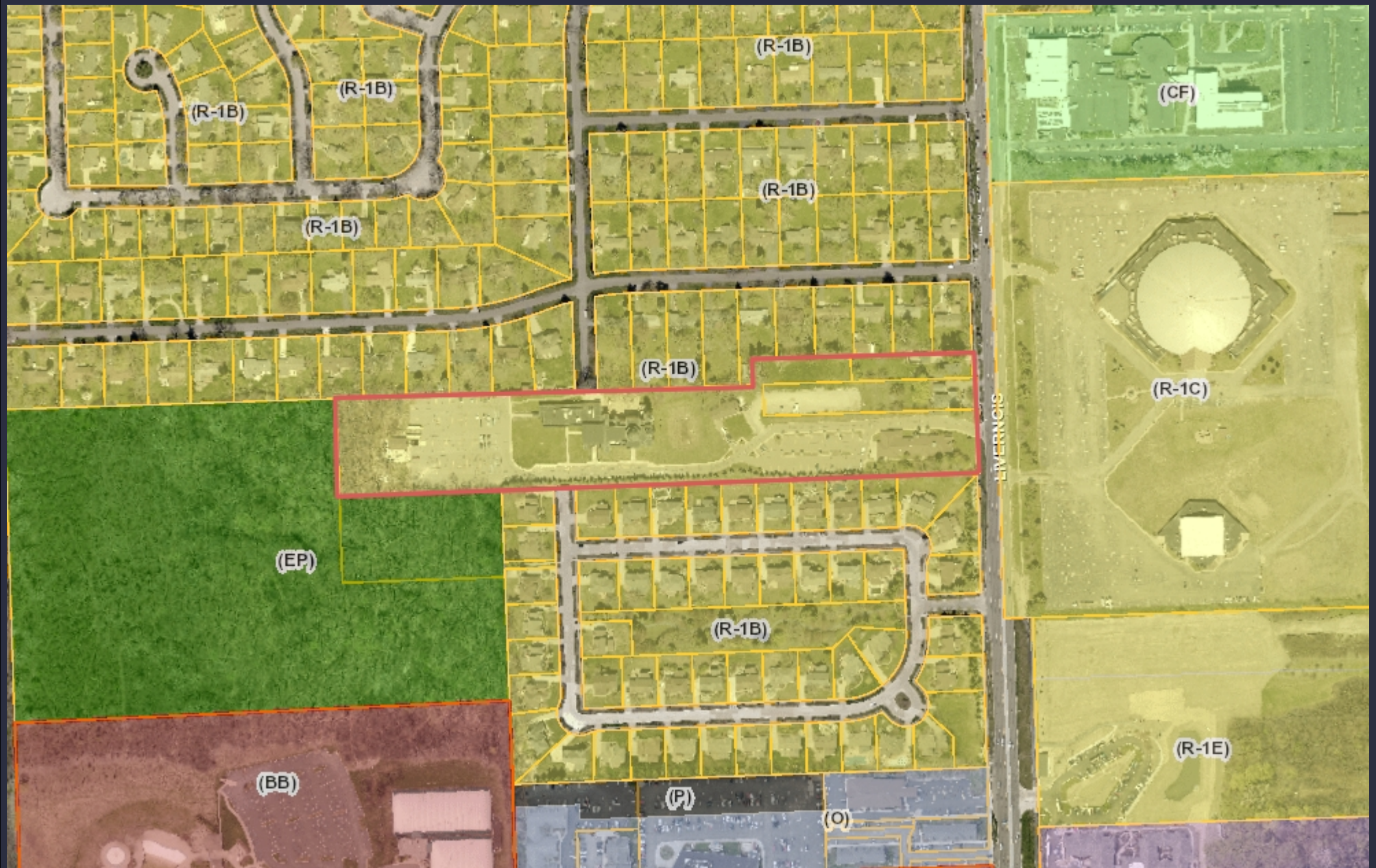
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953 0 477 953Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



953 0 477 953Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: March 25, 2021

**Preliminary Site Plan Review and Special Use Review
For
City of Troy, Michigan**

Applicant: Harold Remilinger

Project Name: Troy – St. Marks

Plan Date: September 14, 2020

Location: 3603 Livernois

Zoning: R-1 B, Single Family Residential

Action Requested: Preliminary Site Plan / Special Use Approval

PROJECT AND SITE DESCRIPTION

The applicant is requesting preliminary site plan approval to construct an addition to an existing church. The addition will also include a second floor and a basement. The first floor includes seven (7) classrooms, a kitchen, and a gymnasium with bleachers and an equipment storage area. The second floor includes five (5) classrooms, a multi-purpose room, two (2) offices, men's and women's restroom, and a storage room. Classroom use will take place during Mass times and the gymnasium will be utilized as a pre-Mass gathering space, as well as for basketball tournaments when Masses are not being held. The site is located at 3603 Livernois Road, north of Big Beaver Road. The site is zoned R-1 B, and the proposed addition to a Place of Worship requires a Special Use Permit.

As part of the discussion with the Planning Commission, the applicant shall provide detailed use of the new space, particularly on evenings, to confirm there will be no negative impact upon

adjacent residential properties to the north and south. Of particular interest is potential lighting and noise.

Figure 1. Location of Subject Site



Table 1. Zoning of Adjacent Properties

	Zoning	Use
North	R-1B, One-Family Residential	Single Family Residential
South	R-1B, One-Family Residential	Single Family Residential
East	R-1C, One-Family Residential	Institutional (Church/School)
West	EP, Environmental Protection	Environmentally Protected Area

AREA, WIDTH, HEIGHT, SETBACKS

As set forth in Section 6.21, there are specific bulk requirement for Places of Worship. The applicant shall meet the more restrictive requirements of the R-1B Zoning District or specific use provisions for Places of Worship.

	<u>Required</u>		<u>Provided</u>	<u>Compliance</u>
	Places of Worship (6.21)	R1-B		
Max. Building Height				
Stories		2 ½	2	Complies
Feet		30 ft	30 ft	Complies

Setbacks				
Front	50 ft	40 ft	853.4 ft	Complies
Rear	50 ft	45 ft	476.5 ft	Complies
Side	50 ft	15 ft	118 ft	Complies
Side	50 ft	15 ft	39.4 ft (118 ft combined)	Complies
Max. Lot Coverage		30%	13%	Complies

The site meets all required standards set forth in Section 6.21.

Items to be Addressed: None

NATURAL RESOURCES

The applicant is constructing the new building on an existing grass area on site. The addition does not affect any natural resource.

Items to be Addressed: None.

BUILDING LOCATION AND SITE ARRANGEMENT

The subject site currently contains a place of worship. As noted the building addition will be located on an existing grass area at the rear on the site. The addition does not require any configuration to site access, circulation, or parking lot.

Items to be Addressed: None.

PARKING, LOADING

According to the City of Troy Zoning Ordinance for Places of Worship, parking is based on the number of seats at worship. The church currently has 332 parking spaces.

**Table
Off-Street Parking Requirements**

	Requirement	No. of Spaces Required	No. Spaces Provided	Compliance
Off-Street Existing / Proposed	1 space per 3 seats or 6 ft. of pews (Sanctuary Area)	827 occupants / 3 276 required spaces	332 spaces	Complies.

**Based on applicant's parking calculation.*

Based on discussions with the applicant, the current use of the classrooms and gymnasiums and the main sanctuary area will only occur during mass, i.e. children are in Sunday school and

parents in mass. Concurrent use of the facility by members should not create additional parking demand outside normal church activities. However, events or uses that draws users to the facility, such as basketball tournaments, shall not be held concurrently with regularly scheduled mass.

Items to be Addressed: *Applicant agrees that there will be no concurrent use of site facilities that should require parking to exceed 322 spaces. Events or uses that draws users to the facility, such as basketball tournaments or other large gathering events, shall not be held concurrently with regularly scheduled church activities such as mass.*

SITE ACCESS AND CIRCULATION

The proposed new building will not affect current site access and circulation.

Items to be Addressed: *None.*

LANDSCAPING

Applicant has not submitted a landscape plan. According to submitted renderings, building landscaping is planned for the proposed building. A detailed landscape review shall be completed at the final stage of site plan review.

Items to be Addressed: *Detailed landscape review as a part of the final site plan.*

LIGHTING

The applicant has provided a lighting (photometric) plan and lighting fixture details. The applicant is proposing two (2) lamps with two different light fixtures. Both are down directed and meet ordinance requirements.

It appears that the applicant has designed the building so that the highest window are about 20 feet above grade, and any light emitting from them would be screened by adjacent mature landscaping.

Items to be Addressed: *Confirm lighting impact.*

FLOOR PLAN AND ELEVATIONS

Floor plans, elevations, and dimensions have been submitted. Materials will include brick and metal. The materials match the existing building.

Items to be Addressed: *None*

STANDARDS FOR APPROVAL

Places of Worship, and associated uses, are permitted subject to special use approval. For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.”

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. Compatibility with Adjacent Uses. *The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

2. Compatibility with the Master Plan. *The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*

3. Traffic Impact. *The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*

4. Impact on Public Services. *The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*

5. Compliance with Zoning Ordinance Standards. *The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*

6. Impact on the Overall Environment. *The proposed Special Use shall not unreasonably impact the quality of natural features and the environment in comparison to the impacts associated with typical permitted uses.*

7. Special Use Approval Specific Requirements. *The general standards and requirements of this Section are basic to all uses authorized by Special Use Approval. The specific and detailed*

requirements relating to particular uses and area requirements must be also satisfied for those uses.

Provided that the applicant can explain to the satisfaction of the Planning Commission that the use of the building, particularly on evenings, won't impact adjacent residential properties to the north and south, we find that all special use standards have been met:

1. The primary use of and building on the site will remain a place of worship.
2. There is an existing dense screening to the south and north that should screen the proposed addition.
3. With limitations on the co-occupancy of the main sanctuary and the new accessory facility, the addition of the accessory use to the site shall not impact traffic to the site outside of normal operations of the site as a place of worship.
4. The addition of the accessory building will not impact upon public services.
5. The accessory building does not impact the overall environment.

Items to be Addressed: None.

RECOMMENDATIONS

Provided that the applicant can explain to the satisfaction of the Planning Commission that the use of the building, particularly on evenings, won't impact adjacent residential properties to the north and South, we recommend approval of the proposed with the following conditions:

1. *Applicant agrees that there will be no concurrent use of site facilities that should require parking to exceed 322 spaces. Events or uses that draws users to the facility, such as basketball tournaments or other large gathering events, shall not be held concurrently with regularly scheduled church activities such as mass.*
2. *Applicant provides a detailed landscape review as a part of the final site plan.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Kristoffer Canty
Planner

From: [david bemis](#)
To: [Planning; City Council Email](#)
Subject: Opposition to Aoning Variance For Church on Livernois
Date: Sunday, April 4, 2021 9:43:45 AM

Planning@troymi.gov, CityCouncilEmail@TroyMI.Gov

I am opposed to all additional building and /or parking surface at St. Marks Egyptian church on Livernois

They are a private social club, existing to benefit their members only. The organization enjoys a tax free status, while consuming city resources. Other organizations like the Shriners (with their hospitals) do much more for the general population without a tax free status. The organization's signage says nothing about other religions or ethnicities being welcome. My wife and her nephew, both Western European Orthodox Christians, attended once. They were not greeted, acknowledged, or even smiled at. At the protestant church that I use to attend, there were greeters at all exterior doors and at the sanctuary entrance, and a coffee hour for mingling. A visitor could not attend without being greeted, both entering and exiting, and acknowledged. This may also be discrimination on the part of this private social club.

They are polluters. I personally found where they dumped used engine oil, and an oil filter, and other junk, in the woods and buried the oil before I could get an ordinance officer there (about 15 minutes)

They do not maintain their properties. The original building looks to be in disrepair. Is it even usable? The organization owns several Residential properties on the South side of Kirk Lane Drive. These homes are eyesores, detracting from the neighborhood. The last time I was on their property, before their 'no trespassing' sign, the house looked to be a mess. They have not maintained the plantings on the North or South side of their properties.

They falsely said they would plant an evergreen screen on the berm on the North side of their property and did not.

I am sure a building as tall as a gymnasium will be an eyesore in a residential neighborhood.

If allowed to add buildings, the organization is likely to come back saying they need more parking because of increased attendance. Added water runoff, from these and added buildings and parking, from precipitation, may overwhelm storm drains, causing pollution and flooding. This could also cause water damage to the city park.

I have been told by neighbors, whose property, abuts the organization properties, of infringement on property line setbacks, of noise, trespassing on their yard by persons from the organization, dumping engine oil on the ground, and being disrespectful of the neighbors (giving them the middle finger salute).

In summary; the "Coptic church" may be discriminatory, they have demonstrated their lack of property maintenance, they are polluters, their proposed building will not fit the neighborhood, they are not good neighbors, and their additions may cause water damage to the infrastructure and surrounding areas. They have, more or less, given the middle finger salute to the city of Troy and to the neighborhoods.

CITY OF TROY PRELIMINARY SITE PLAN APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
248- 524-3364
FAX: 248-524-3382
E-MAIL: [planning @ troymi.gov](mailto:planning@troymi.gov)



PRELIMINARY SITE PLAN REVIEW FEE
\$1,000.00
ESCROW FEE
\$1,500.00
ADMINISTRATIVE SITE PLAN REVIEW FEE
\$300.00

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE PRELIMINARY SITE PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

1. NAME OF THE PROPOSED DEVELOPMENT: Gymnasium and Classroom Expansion
2. ADDRESS OF THE SUBJECT PROPERTY: 3603 Livernois
3. ZONING CLASSIFICATION OF THE SUBJECT PROPERTY: R-1B Single Family Residential
4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-21-278-001
5. DESCRIPTION OF PROPOSED USE: Recreation and Educational Facility

- | | |
|---|---|
| 6. APPLICANT: | PROPERTY OWNER: |
| NAME <u>Harold Remlinger</u> | NAME <u>Father Maximus Habib</u> |
| COMPANY <u>Design Team Plus</u> | COMPANY <u>St. Mary & St. Philopater Coptic Orthodox Church</u> |
| ADDRESS <u>975 East Maple Rd., Suite 210</u> | ADDRESS <u>3603 Livernois</u> |
| CITY <u>Birmingham</u> STATE <u>MI</u> ZIP <u>48009</u> | CITY <u>Troy</u> STATE <u>MI</u> ZIP <u>48083</u> |
| TELEPHONE <u>248-559-1000</u> | TELEPHONE <u>248-835-9238</u> |
| E-MAIL <u>harold@designteamplus.com</u> | E-MAIL <u>fr.maximus@gmail.com</u> |

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:
Architect

8. SIGNATURE OF APPLICANT Harold Remlinger Digitally signed by Harold Remlinger
Date: 2020.09.14 13:14:30 -04'00' DATE 09-14-2020

9. SIGNATURE OF PROPERTY OWNER  DATE 9/16/2020

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PRELIMINARY SITE PLAN.

APPLICANT:

NAME Harold Remlinger
COMPANY Design Team Plus
ADDRESS 975 East Maple Rd., Suite 210
CITY Birmingham STATE MI ZIP 48009
TELEPHONE 248-559-1000
E-MAIL harold@designteamplus.com

PROPERTY OWNER:

NAME Father Maximus Habib
COMPANY St. Mary & St. Philopater Coptic Orthodox Church
ADDRESS 3603 Livernois
CITY Troy STATE MI ZIP 48083
TELEPHONE 248-835-9238
E-MAIL fr.maximus@gmail.com

8. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:

Architect

9. SIGNATURE OF APPLICANT Harold J Remlinger, AIA DATE 09-14-2020

10. SIGNATURE OF PROPERTY OWNER  DATE 9/16/2020

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES THE PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC OF THE REQUEST FOR SPECIAL USE APPROVAL.



September 14, 2020

Ladies and Gentlemen,

As some of you may know, St. Mark Coptic Orthodox Church (“St. Mark COC”) has been a member of the City of Troy since the 1970s. It began as a small church serving a handful of families and, with the growth of the City as a whole, St. Mark COC has seen its own congregation grow as well. We are excited to put forward this plan for your review and consideration and offer the following as additional background context.

St. Mark COC’s campus consists of two separate church buildings. The first structure (directly west of Livernois) is the original church building and was constructed beginning in the late 1970s. The building is still used multiple times per week for various services and holds approximately 200 to 250 parishioners. Due to the growth of St. Mark COC’s parishioners in and around Troy, a second, significantly larger building was constructed and was opened for use in the early 2000s. The second building can serve between 800 and 825 parishioners per service. The building truly is a hidden gem within the City. Its architectural design, structure, and interior finishes have been honored by industry organizations.

Now, as first- and second-generation parishioners have grown and started their own families (many of whom currently reside in Troy), the need for expanded facilities to house Sunday school rooms and multi-purpose gatherings has become necessary. A few years ago, in 2017, church representatives met with City officials to discuss preliminary thoughts for this expansion project. At that time, it was determined necessary that overflow parking be finalized. This was done to provide adequate parking for all parishioners at maximum service levels. The parking expansion project was completed in 2018 and we are happy to report that with the expanded parking, week-over-week services have had no issues with parking.

However, the additional parking did not alleviate the dire need for expanded space within the building following services. It is customary in the Coptic Orthodox Church to have Sunday school directly following services every Sunday. As indicated, with the expanded growth of the church and its families, there is presently insufficient capacity to house Sunday school and other activities on a weekly basis. St. Mark COC’s clergy members, board, planning committee, and design team worked hard to establish a viable plan that will not only support the expanded growth into the future at St. Mark COC, but also serve as a catalyst for a strategic community inreach and outreach initiative that St. Mark COC is presently undertaking.

As you will see, the plan as presented consists of a multi-use space with a significant footprint that can be used for activities both by parishioners within St. Mark COC, as well as those in need within our community. Much like many of the other flourishing churches in Troy, we envision and hope that one day we can provide space for voting, blood drives, in-person workshops, job fairs and the like. Finally, in response to potential inquiries concerning when and by whom the multi-use space will be used, the plan is to keep the space locked at all times, except for permitted entry (which will be monitored at all times with motion-sensing cameras and entry/exit access codes). No children will be permitted within the space without adult supervision, and no loud activities will be permitted in the space after 8:00 p.m.

We look forward to working with the City on this project. Your time and attention are very much appreciated.

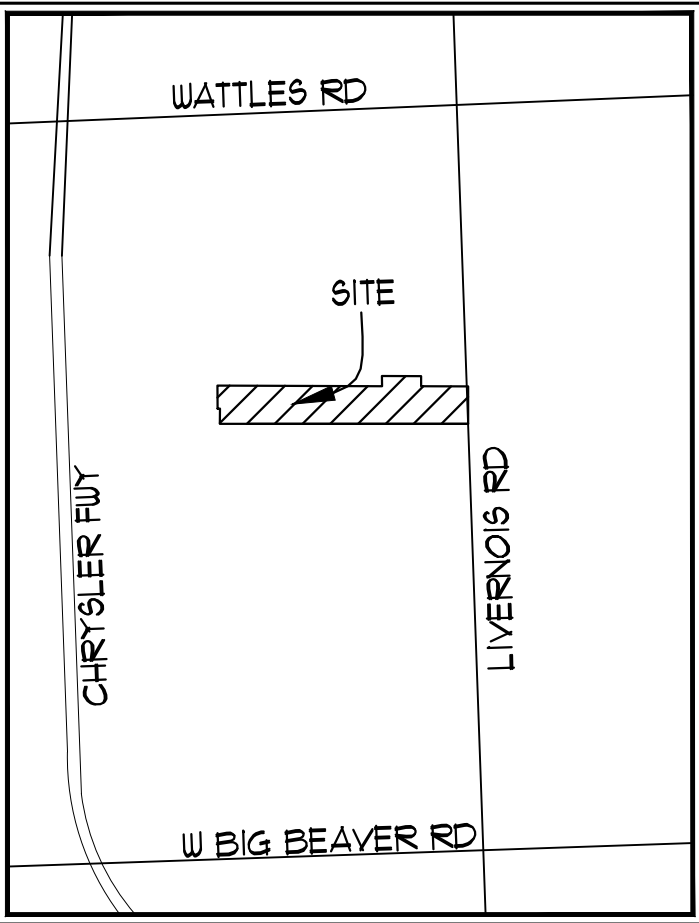
St. Mark Coptic Orthodox Church Construction Committee

ST. MARY & ST. PHILOPATER
COPTIC ORTHODOX CHURCH

3603 LIVERNOIS
TROY, MI 48063



CONCEPTUAL EXTERIOR RENDERING
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

BUILDING DATA:

ZONED: R-1B ONE FAMILY RESIDENTIAL		REQUIRED PARKING SPACES:	
TOTAL SITE AREA:	9.521 ACRES ± 415,018.17 SQ. FT.	EXISTING CHURCH:	821 OCCUPANTS @ 1/2 = 216 SPACES
BUILDING COVERAGE:		PROPOSED ADDITION:	NO INCREASE IN OCCUPANCY NOTE: CLASSROOM USE TAKES PLACE DURING MASS TIMES & GYM WILL BE UTILIZED AS A PRE-MASS GATHERING SPACE, AS WELL AS FOR BASKETBALL TOURNAMENTS WHEN MASSES ARE NOT BEING HELD
ST. MARY ST. PHILOPATER:	412,010 SQ. FT. (INCLUDING PROPOSED ADDITION)		
ST. MARKS:	10,010.00 SQ. FT.	TOTAL PARKING SPACES:	332 SPACES, NO ADDITIONAL SPACES REQUIRED
RECTORY:	2,305.00 SQ. FT.		PROVIDED = 332 SPACES REQUIRED = 216 SPACES
ACCESSORY STRUCTURE:	1,320.00 SQ. FT.		
GROSS TOTAL SQ. FT.:	54,866 SQ. FT. ± 13% OF TOTAL SITE AREA		
ALLOWABLE LOT COVERAGE: PER ZONING ORDINANCE, 30% ALLOWED			
PROPOSED ADDITION:		SETBACK REQUIREMENTS:	
GROSS SQUARE FOOTAGE:		SIDE	REQUIRED PROVIDED
BASEMENT:	822,160 SQ. FT.	FRONT	40' 185.34'
CLASSROOM:	9,558.10 SQ. FT.	SIDE	15' MIN 39.4' MIN
GYMNASIUM:	8,360.00 SQ. FT.	REAR	45' 476.5'
SECOND FLOOR:	8,360.00 SQ. FT.	HEIGHT	2 1/2 STORIES 2 STORIES

DIRECTORY

CLIENT	FATHER MAXIMUS HABIB ST. MARK COPTIC ORTHODOX CHURCH	3603 LIVERNOIS TROY, MI 48063	(248) 825-3238
ARCHITECT	HAROLD J. REMLINGER AIA, LEED AP DESIGNTEAM PLUS, LLC	915 E. MAPLE RD, SUITE 210 BIRMINGHAM, MI 48203	(248) 559-1000
CIVIL ENGINEER	TIM S. STOREY, PE STOREY ENGINEERING GROUP, LLC	48264 MANCHESTER MACOMB, MI 48044	(586) 216-1043
STRUCTURAL ENGINEER	DR. ATHANACIOS NASSR, PRINCIPAL DESIGN/ANSR NOW IMEG CONSULTING ENGINEERS	6765 DALY ROAD WEST BLOOMFIELD, MI 48322	(248) 841-3233

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DesignTeam+
975 E. Maple Road, Suite 210
Birmingham, Michigan 48009

P: 248. 559. 1000

info@designteamplus.com

Client

St. Mary & St.
Philopater Coptic
Orthodox Church
3603 Livernois
Troy, MI 48063

Project

St. Mary & St.
Philopater Coptic
Orthodox Church
3603 Livernois
Troy, MI 48063

Designed/Drawn HUR/JA/JT/TO

Checked/Approved HJR

Job # 322-209

File: SPA_ST MARKS GYMNASIUM AND

Date/Revisions Issue for

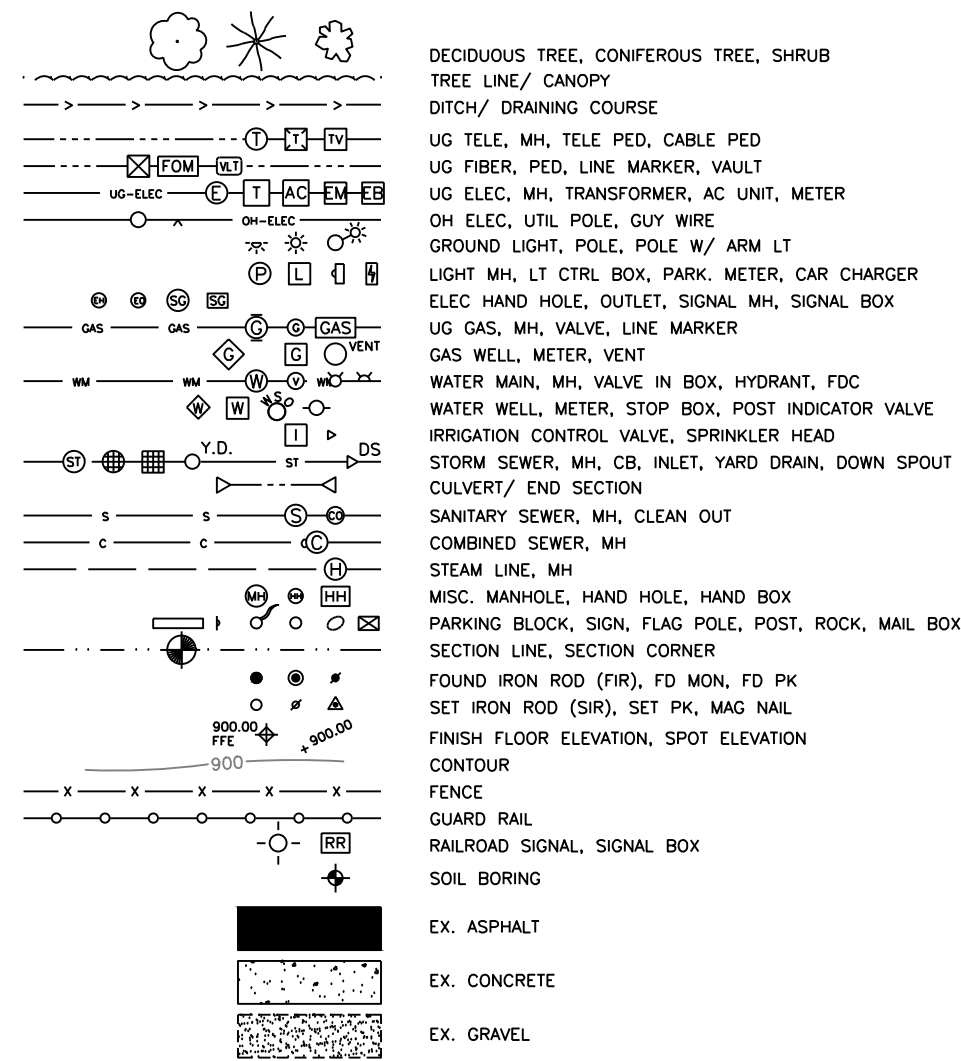
12/18/19 CLIENT REVIEW

01/14/2020 CLIENT REVIEW

05/01/2020 ENGINEERING REVIEW

09/14/2020 SPA + SPECIAL LAND USE

EXISTING LEGEND



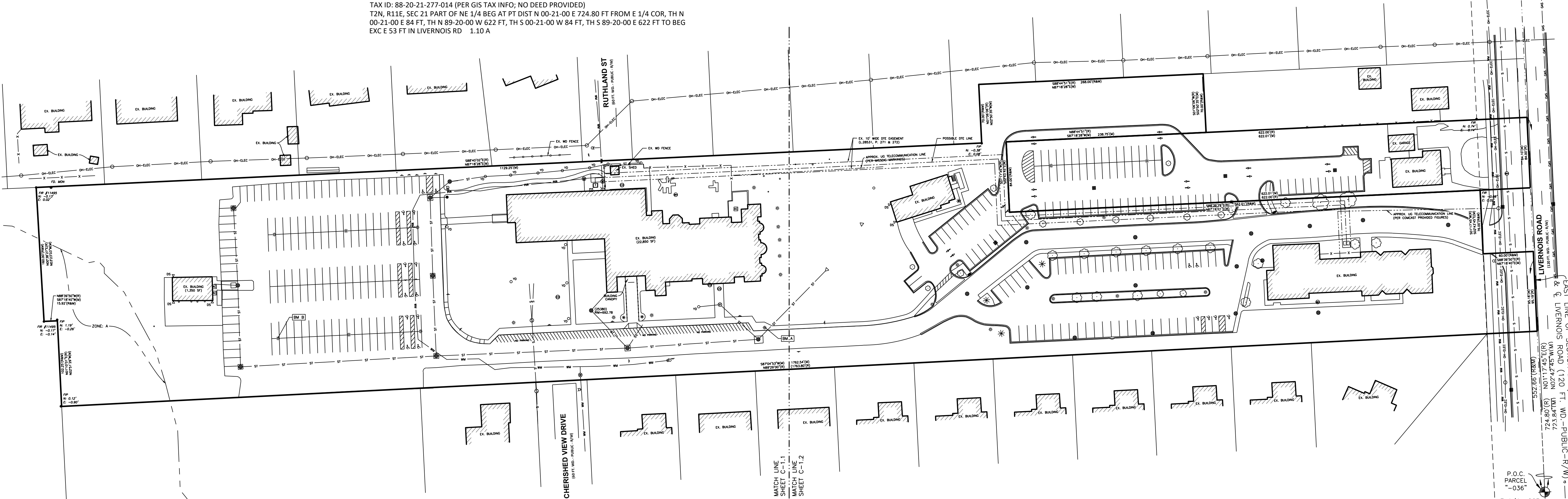
LEGAL DESCRIPTION (AS PROVIDED)

SUBJECT PARCEL TAX ID 88-20-21-277-036 CONSISTS OF PARCEL 1 & EXISTING CHURCH PARCEL AS DESCRIBED IN PEA SURVEY JOB NO. 99125, DATED 1/12/00, OAKLAND COUNTY RECORDS.

EXISTING CHURCH PARCEL (PER PEA SURVEY JOB NO. 99125, DATED 1/12/00) PART OF THE NORTHEAST...114W SECTION 21, T2N-R11E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE E 1/4 CORNER OF SAID SECTION 21; THENCE NORTH 01°17'45" EAST 552.66 FEET (PREVIOUSLY RECORDED 552.61 FEET) ALONG THE EAST LINE OF SAID SECTION 21 TO A POINT OF BEGINNING; THENCE NORTH 88°53'37" WEST 1762.54 FEET (PREVIOUSLY RECORDED NORTH 89°29'00" WEST 1763.80 FEET & NORTH 88°53'30" WEST 1763.07 FEET) ALONG THE NORTH LINE OF "WESTWOOD PARK SUBDIVISION" AS RECORDED IN LIBER 249, PAGES 11-15, OAKLAND COUNTY RECORDS; THENCE NORTH 01°10'01" EAST 102.25 FEET (PREVIOUSLY RECORDED NORTH 00°16'00" EAST 103.19 FEET); THENCE NORTH 88°39'150" WEST 15.92 FEET; THENCE NORTH 00°38'127" EAST (PREVIOUSLY RECORDED NORTH 00°01'30" WEST) 160.00 FEET TO THE SOUTH LINE OF "TROY MEADOWS SUBDIVISION" AS RECORDED IN LIBER 83, PAGE 2, OAKLAND COUNTY RECORDS; THENCE SOUTH 88°40'02" EAST (PREVIOUSLY RECORDED SOUTH 89°20'00" EAST & SOUTH 88°39'150" EAST) 1158.50 FEET ALONG THE SOUTH LINE OF SAID "TROY MEADOWS SUBDIVISION"; THENCE SOUTH 01°17'45" WEST (PREVIOUSLY RECORDED SOUTH 00°21'00" EAST) 84.00 FEET; THENCE SOUTH 88°39'29" EAST 562.01 FEET (PREVIOUSLY RECORDED SOUTH 88°20'00" EAST 562.00 FEET); THENCE SOUTH 01°17'45" WEST (PREVIOUSLY RECORDED SOUTH 00°21'00" EAST) 76.00 FEET; THENCE SOUTH 88°39'50" EAST (PREVIOUSLY RECORDED SOUTH 89°20'00" EAST) 60.00 FEET TO THE EAST LINE OF SAID SECTION 21; THENCE SOUTH 01°17'45" WEST 95.19 FEET ALONG THE EAST LINE OF SAID SECTION 21 TO THE POINT OF BEGINNING. ALL OF THE ABOVE CONTAINING 9.23 ACRES. ALL OF THE ABOVE BEING SUBJECT TO THE RIGHTS OF THE PUBLIC IN LIVERNOIS ROAD. ALL OF THE ABOVE BEING SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHTS OF WAY OF RECORD.

PARCEL 1 (PER PEA SURVEY JOB NO. 99125, DATED 1/12/00) A PART OF THE WEST 648 FEET OF THE NORTH 70 FEET OF THE SOUTH 2015 FEET OF THE NORTHEAST 1/4 OF SECTION 21, T. 2 N., R. 11 E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 21; THENCE S 01°17'45" W, 2016.25 FEET ALONG THE EAST SECTION LINE; THENCE N 88°44' 51" W, 383.26 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N 88°44'51" W. 268.00 FEET TO THE EAST LINE OF LOT 46, "TROY MEADOWS SUB." (L. 83, P. 2, O.C.R.), THENCE N 01°06'06" E 70.00 FEET ALONG SAID EAST LINE; THENCE S 88°44'51" E, 268.00 FEET ALONG THE SOUTH LINE OF "TROY MEADOWS SUB."; THENCE S 01°06'06" W, 70.00 FEET TO THE POINT OF BEGINNING. CONTAINING 18,760 SQUARE FEET OR 0.43 ACRES MORE OR LESS.

TAX ID: 88-20-21-277-014 (PER GIS TAX INFO; NO DEED PROVIDED) T2N, R11E, SEC 21 PART OF NE 1/4 BEG AT PT DIST N 00-21-00 E 724.80 FT FROM E 1/4 COR, TH N 00-21-00 E 84 FT, TH N 89-20-00 W 622 FT, TH S 00-21-00 W 84 FT, TH S 89-20-00 E 622 FT TO BEG EXC E 53 FT IN LIVERNOIS RD 1.10 A



UTILITY REFERENCES

WM:	CITY OF TROY
RECEIVED:	6/17/20
SAN:	CITY OF TROY
RECEIVED:	6/17/20
STORM:	CITY OF TROY
RECEIVED:	6/17/20
GAS:	CONSUMERS ENERGY
RECEIVED:	6/30/20
ELEC:	DTE ENERGY
RECEIVED:	7/2/20
PHONE/CABLE:	COMCAST
RECEIVED:	6/29/20
PHONE/CABLE:	AT&T
RECEIVED:	6/18/20

UTILITY NOTES

- ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOW ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

BENCHMARKS

DATUM: NAVD88
BM A:
"X" INSCRIBED IN SQ ON N/S CONC LIGHT POLE BASE LOCATED NEAR THE CENTER OF THE SUBJECT PROPERTY, NORTH OF ACCESS DRIVE. ELEV = 694.15'
BM B:
"X" INSCRIBED IN SQ ON N/S CONC LIGHT POLE BASE LOCATED NEAR THE SOUTHWEST CORNER OF PARKING LOT AT REAR OF SUBJECT PROPERTY. ELEV = 697.11'

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: 42°34'16.51"N, LON: 83°08'56.88"W, ELEV: 701', SCALE FACTOR: 1.00011167).

CERTIFICATION

I, MARC BUDZINSKI, HEREBY CERTIFY THAT UNDER MY SUPERVISION THE DESCRIBED PARCEL(S) WERE SURVEYED IN THE FIELD ON 6/25 & 26/2020. THE BOUNDARY SHOWN ABOVE IS BASED UPON THE DEEDS AS NOTED HEREIN AND WAS DETERMINED PER THE NORMAL STANDARD OF CARE FOR A CERTIFIED BOUNDARY SURVEY IN THE STATE OF MICHIGAN.

SHEET INDEX

- C-1.0 = OVERALL SURVEY
C-1.1 = BOUNDARY + TOPOGRAPHIC SURVEY WEST
C-1.2 = BOUNDARY + TOPOGRAPHIC SURVEY EAST

FLOOD ZONE

FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE PARTIALLY IN ZONE (A) AREA WITH NO BASE FLOOD ELEVATIONS DETERMINED ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF OAKLAND, COMMUNITY PANEL NO. (26125C0534F), EFFECTIVE DATE SEPTEMBER 29, 2006.

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25082) STMH	693.06	8" W IE= 689.58 12" SE IE= 687.81
(25188) CBR	691.66	24" E IE= 682.14 6" NW IE= 688.21 6" NE IE= 688.11 18" W IE= 682.14
(25197) CBR	691.74	12" NW IE= 686.74 24" W IE= 681.92 24" NE IE= 681.92
(25239) CBR	691.66	18" E IE= 683.37 18" W IE= 683.37 12" N IE= 683.49
(25295) CBR	693.36	18" E IE= 685.15 18" N IE= 685.21

EX. STORM SEWER CONT.		
STRUCTURE	RIM ELEV.	PIPES
(25347) CBR	693.22	18" S IE= 685.43 12" N IE= 688.79 15" W IE= 685.55
(25459) CBR	692.50	12" SW IE= 684.42 12" E IE= 685.92 12" E IE= 684.42
(25460) CBR	691.80	12" NE IE= 684.29 12" S IE= 684.29
(25521) CBR	693.37	12" S IE= 688.99
(25581) CBR	691.76	12" S IE= 683.88 12" N IE= 683.88

EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25371) SMH	693.66	4" N IE= 682.01 6" N IE= 686.89 8" S IE= 679.34
(25571) SMH	691.44	8" S IE= 678.66 8" N IE= 678.66

NO. DATE BY DESCRIPTION REVISIONS

STATE OF MICHIGAN
TIM S. STOREY
ENGINEER
No. 43817
LICENSED PROFESSIONAL ENGINEER

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. BUILDING OWNER AND CONTRACTOR OF THE PROJECT SHALL BE RESPONSIBLE FOR THE PROTECTION AND PROPERTY THAT THIS REQUIREMENT SHALL BE MADE TO THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL, HARMLESS FROM ANY AND ALL LIABILITY, RISK, OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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TROY, MI 48063
OVERALL SURVEY
ST MARK CHURCH - GYM ADDITION
3603 LIVERNOIS, TROY, MI 48063
T2N, R11E, SECTION 21, CITY OF TROY, OAKLAND COUNTY, MI
DES. TSS DN. TSS SUR. AMP P.M. TSS
8/5/2020 2020 PROJ: C53-2020-018 ST MARK - TROY, MI, SITE, PLANS-C-1.0 OVERALL SURVEY/DWG

ORIGINAL ISSUE DATE:
9/1/2020
Project No. 2020-018
SCALE: 1" = 60'
DRAWING NUMBER:
C-1.0

EXISTING

This diagram illustrates a variety of existing site features using standardized symbols. It includes trees, canopies, utility lines (gas, water, sewer), manholes, valves, poles, and other infrastructure elements like fences and railroads.

DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
TREE LINE / CANOPY
DITCH / DRAINING COURSE
UG TELE, MH, TELE PDB, CABLE PDB
UG FIBER, PDB, LINE MARKER, VAULT
UG GAS, MH, TRANSFORMER, AC UNIT, METER
OH ELEC, UTILITY POLE, GUY WIRE
GROUND LIGHT, POLE, POLE W/ ARM LT
LIGHT MH, LT CTRL BOX, PH, BOOTH, PARK, METER
ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
UG GAS, MH, VALVE, LINE MARKER
GAS WELL, METER
WATER MAN, MH, VALVE IN BOX, HYDRANT, FDC
WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
IRRIGATION CONTROL VALVE, SPRINKLER HEAD
STORM SEWER, MH, CB, INLET, YARD DRAIN
CULVERT / END SECTION
SANITARY SEWER, MH, CLEAN OUT
COMBINED SEWER, MH
STEAM LINE, MH
MISC. MANHOLE, HAND HOLE, HAND BOX
SIGN, FLAG POLE, GUARD POST, ROCK
SECTION LINE, SECTION CORNER
SURVEY CONTROL POINT, BENCHMARK
FOUND IRON ROD (FIR), FD MON, FD PK
SET IRON ROD (SIR), SET PK, MAG NAIL
SPOT ELEVATION
CONTOUR
FENCE
GUARD RAIL
RAILROAD SIGNAL, SIGNAL BOX
ROW MARKER
SOIL BORING

PROPOSED

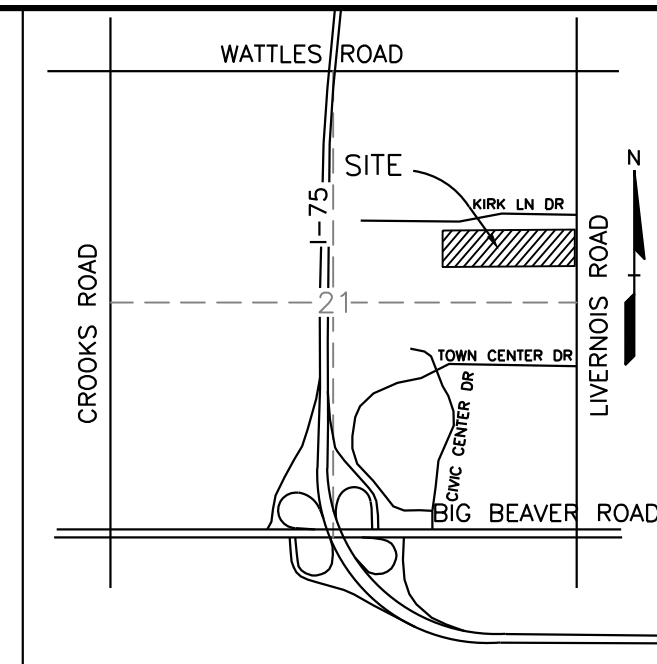
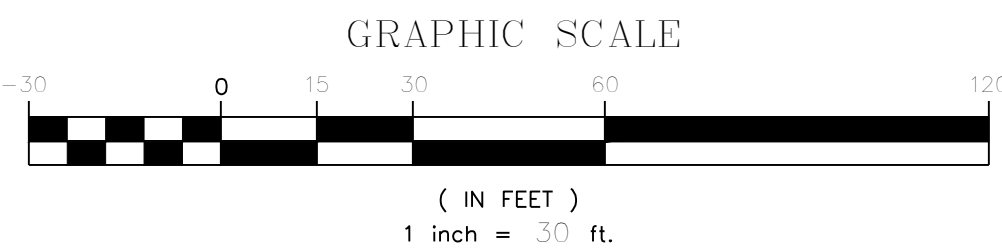
This diagram shows proposed site features using standard symbols. It includes new trees, utility lines, manholes, valves, poles, and other infrastructure elements like fences and railroads.

DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
TREE LINE / CANOPY
DITCH / DRAINING COURSE
UG TELE, MH, TELE PDB, CABLE PDB
UG FIBER, PDB, LINE MARKER, VAULT
UG GAS, MH, TRANSFORMER, AC UNIT, METER
OH ELEC, UTILITY POLE, GUY WIRE
GROUND LIGHT, POLE, POLE W/ ARM LT
LIGHT MH, LT CTRL BOX, PH, BOOTH, PARK, METER
ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
UG GAS, MH, VALVE, LINE MARKER
GAS WELL, METER
WATER MAN, MH, VALVE IN BOX, HYDRANT, FDC
WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
IRRIGATION CONTROL VALVE, SPRINKLER HEAD
STORM SEWER, MH, CB, INLET, YARD DRAIN
CULVERT / END SECTION
SANITARY SEWER, MH, CLEAN OUT
COMBINED SEWER, MH
STEAM LINE, MH
MISC. MANHOLE, HAND HOLE, HAND BOX
SIGN, FLAG POLE, GUARD POST, ROCK
SECTION LINE, SECTION CORNER
SURVEY CONTROL POINT, BENCHMARK
FOUND IRON ROD (FIR), FD MON, FD PK
SET IRON ROD (SIR), SET PK, MAG NAIL
SPOT ELEVATION
CONTOUR
FENCE
GUARD RAIL
RAILROAD SIGNAL, SIGNAL BOX
ROW MARKER
SOIL BORING

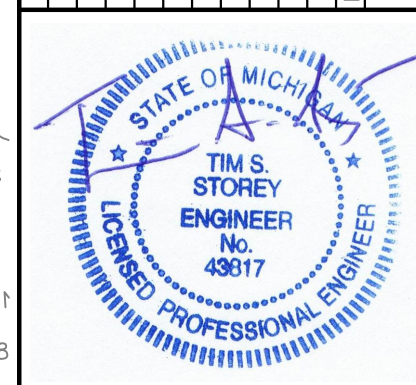
SIDEWALK RAMP 'TYPE A'

SIDEWALK RAMP 'TYPE B'

REFER TO DETAIL SHEET C-7.1 FOR
SIDEWALK RAMP DETAILS



VICINTY MAP (no scale)

[illegible]

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ST MARK COPTIC ORTHODOX CHURCH

SITE PAVING PLAN
ST MARK CHURCH - GYM ADDITION

DES.	TSS	DN.	TSS	SUR.	AWP	P.M.
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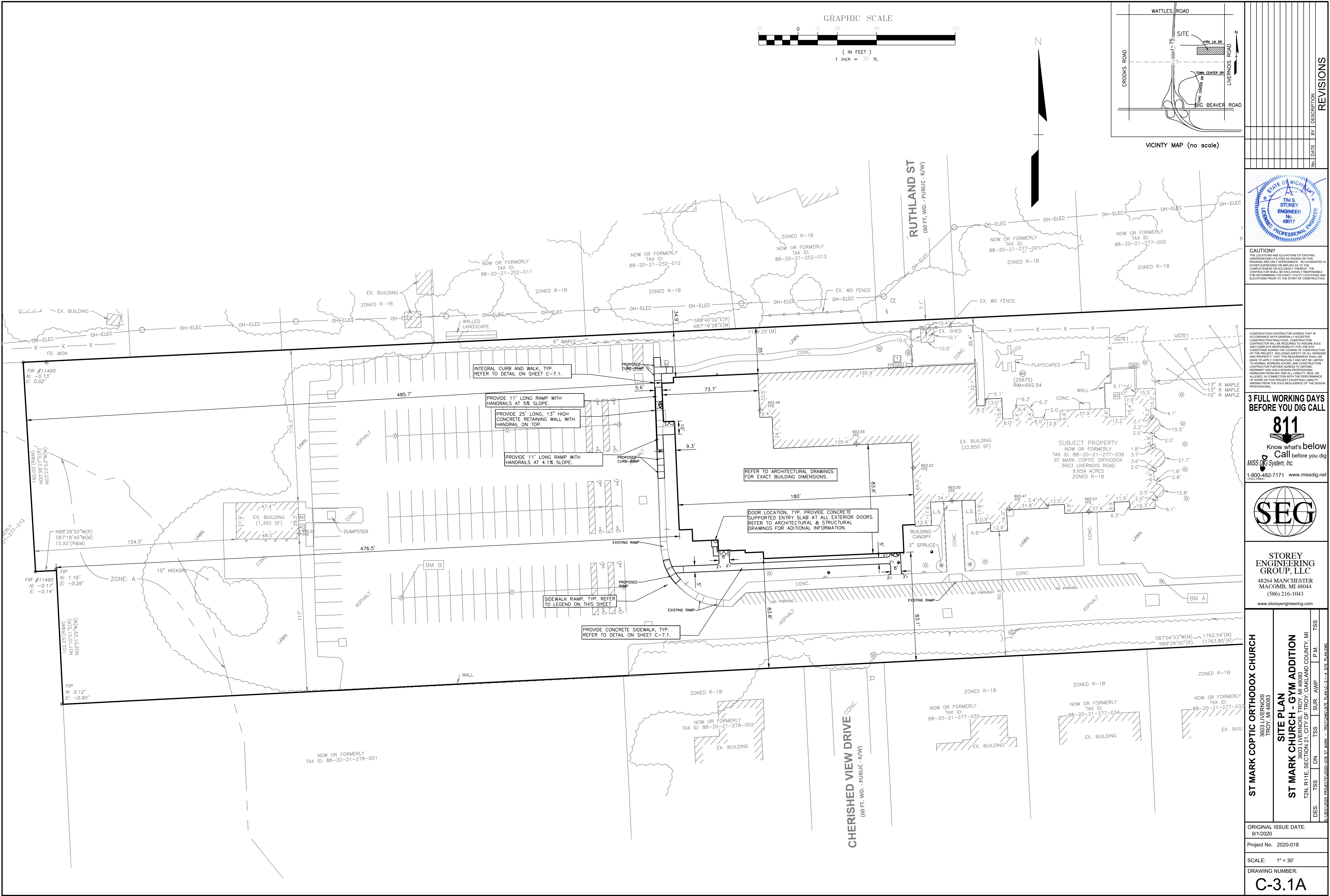
ORIGINAL ISSUE DATE	9/1/2020
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Project No. 2020-018

SCALE: 1" = 30'

DRAWING NUMBER:

C-3.1



NO. DATE BY DESCRIPTION

REVISIONS

STATE OF MICHIGAN
TIM S. STOREY
ENGINEER
No. 43817
LICENSED PROFESSIONAL ENGINEER

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TROY, MI 48063

SITE PLAN
ST MARK CHURCH - GYM ADDITION
3603 LIVERNOIS, TROY, MI 48063
T2N R11E SECTION 21 CITY OF TROY, OAKLAND COUNTY, MI

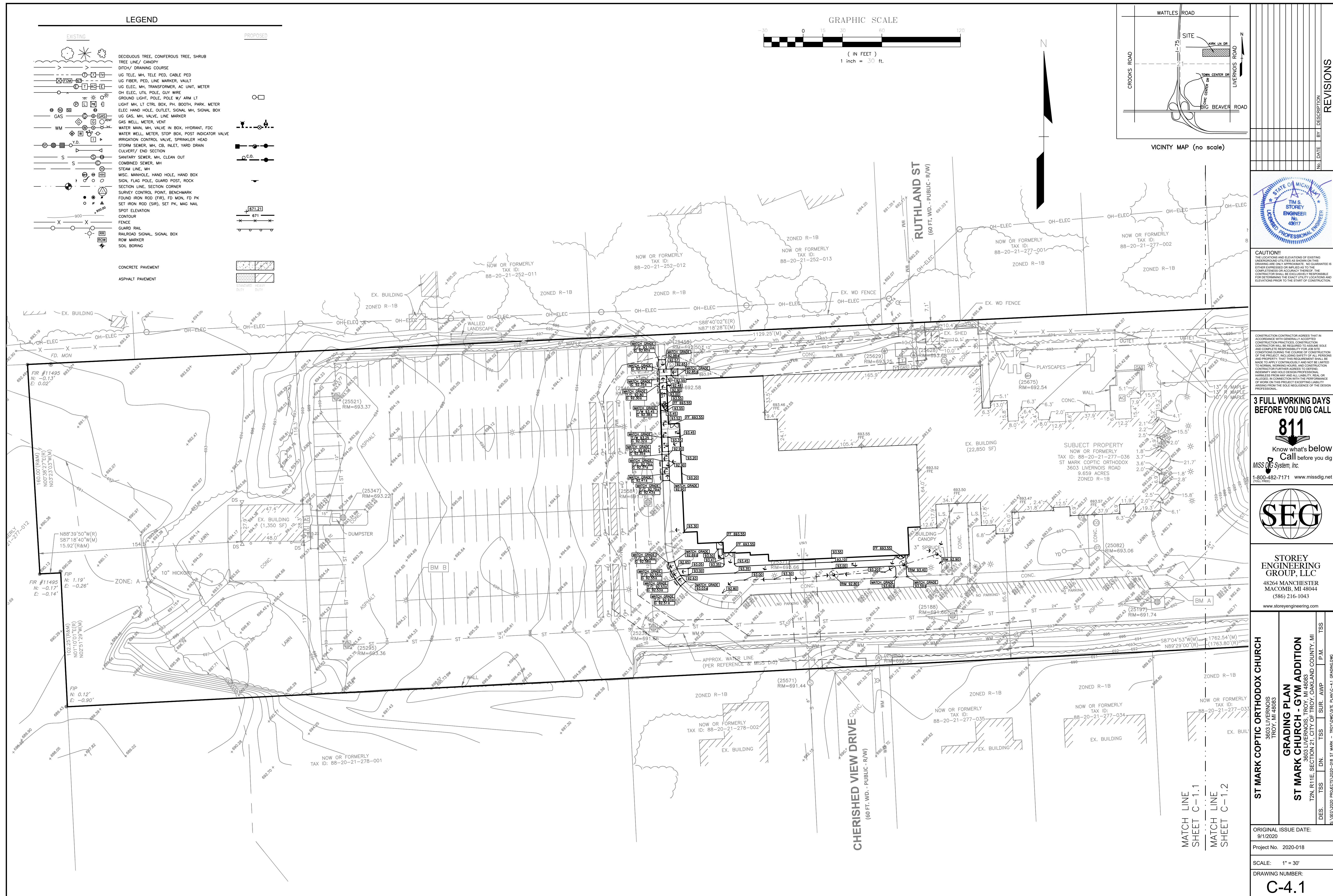
DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
8-SEP-2020 PROJECTS\2020-018 ST MARK - TROY\03A SITE PLAN\AC-3.1A SITE PLAN.DWG							

ORIGINAL ISSUE DATE:
9/1/2020

Project No. 2020-018

SCALE: 1" = 30'

DRAWING NUMBER:
C-3.1A



A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the text "TIM S. STOREY", "ENGINEER", and "No. 43817". The seal is stamped in blue ink on a white background.

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3603 LIVERNOIS							
TROY, MI 48063							
GRADING PLAN							
ST MARK CHURCH - GYM ADDITION							
3603 LIVERNOIS, TROY, MI 48063							
T2W, R11E, SECTION 21, CITY OF TROY, OKLAND COUNTY, MI							
DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
S:\SEC0209 PROJECTS\2020-018 ST MARK - TROY\DWG\SITE PLAN\AC-41 GRADING.DWG							

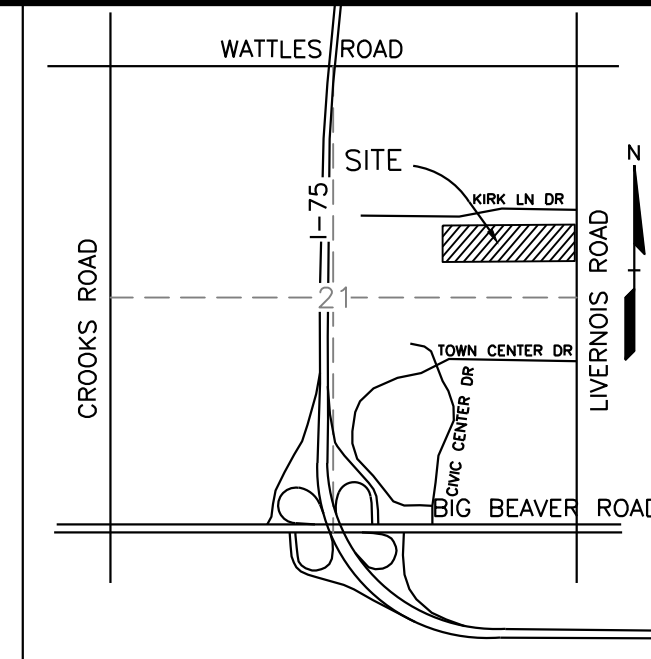
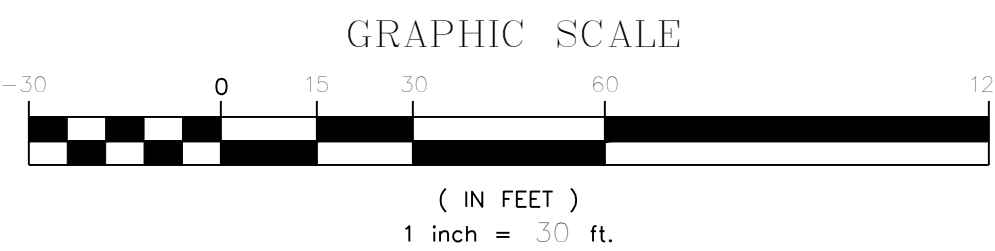
ORIGINAL ISSUE DATE: 9/1/2020
Project No. 2020-018
SCALE: 1" = 30'
DRAWING NUMBER: C-4.1



DEODIDUE TREE, CONIFEROUS TREE, SHRUB
 TREE LINE/ CANOPY
 DITCH/ DRAINING COURSE
 UG TELE, MISC. TELE, PND, CABLE, PND
 UG FIBER, PND, LINE, MARKER, VAULT
 UG ELEC, MISC. TRANSFORMER, AC UNIT, MIGHT
 UG ELEC, UTIL. POLE, GUY WIRE
 UG ELEC, MISC. TELE, PND, CABLE, PND
 GROUND LIGHT, POLE, POLE, W/ ANTI LIGHT
 UG GAS, MISC. VALVE, PND, BOOTH, PARK, METER
 ELEC HAND HOLE, OUTLET, SIGNAL BOX, SIGNAL BOX
 UG GAS, MISC. VALVE, LINE MARKER
 GAS WELL, METER, VENT
 UG GAS, MISC. VALVE, PND, BOOTH, PARK, METER
 FIDC WATER WELL, METER, STOP BOX, POST INDICATOR
 IRRIGATION CONTROL VALVE, SPRINKLER HEAD
 STEAM SEWER, MISC. CB, INLET, YARD DRAIN
 CULVERT/ EDC SECTION
 SANITARY SEWER, MISC. CLEAN OUT
 COMBINED SEWER, MISC.
 STEAM LINE, MISC.
 MISC. MANHOLE, HAND HOLE, HAND BOX
 UG GUARD, PND, GUARD POST, ROCK
 SECTION LINE, SECTION CORNER
 SURVEY CONTROL POINT, BENCHMARK
 SURVEY IRON ROD (FIR), FID MON, FID PK
 SET IRON ROD (SIR), SET PK, MAG NAIL
 SPOT ELEVATION
 CONTOUR
 FENCE
 GUARD RAIL
 RAILROAD SIGNAL, SIGNAL BOX
 ROW MARKER
 ROW MARKER
 SOIL BORING

CONCRETE PAVEMENT

ASPHALT PAVEMENT



VICINTY MAP (no scale)

[illegible]

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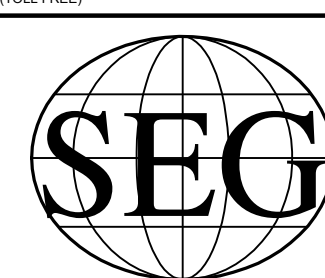
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TROY MI 48083

UTILITY PLAN

ST MARK CHURCH - GYM ADDITION

3603 LIVERNOIS, TROY, MI 48083
2N, R11E, SECTION 21, CITY OF TROY, OAKLAND COUNTY, MI

TSS	DN.	TSS	SUR.	AWP	P.M.
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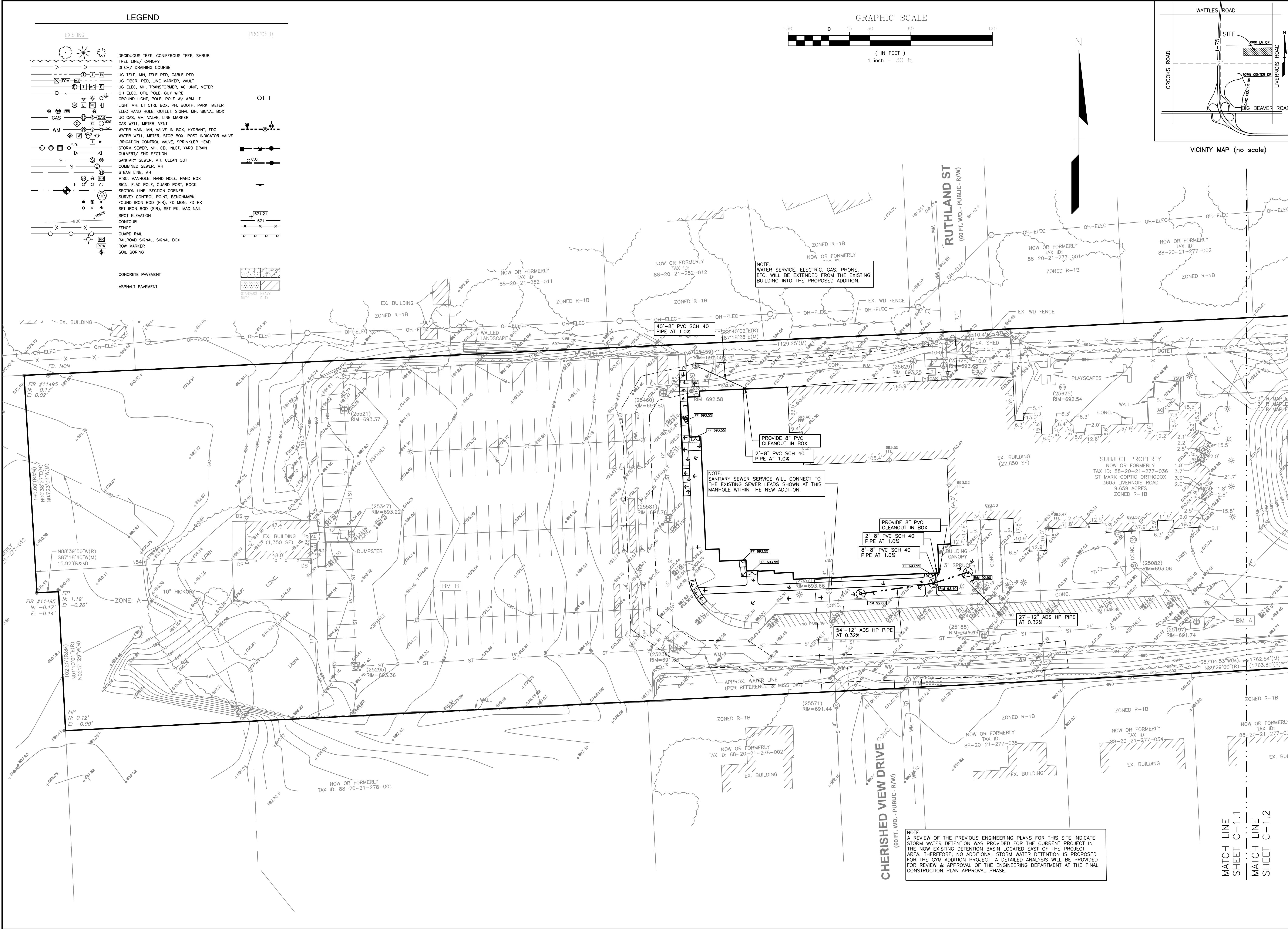
ORIGINAL ISSUE DATE	9/1/2020
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Project No. 2020-018

SCALE: 1" = 30'

DRAWING NUMBER:

C-5.1



1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, MONT AND OAKLAND COUNTY.
2. ALL NECESSARY PERMITS, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL MUNICIPAL INSPECTION FEES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (1-800-482-7171) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY OTHER REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
5. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
6. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETED.
7. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS, BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTROL TRAFFIC IN ACCORDANCE WITH "MMUTC".
9. ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHOULDERWAY FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.
10. ALL REFERENCES TO M.D.Q.T. SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, MDOT AND OAKLAND COUNTY, WHERE APPLICABLE.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUBJECT TO FROST WITH UNFROZEN, UNCOMPRESSED SOIL. CONDITIONS ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
4. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
5. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
6. ANY SUB-GRADE WORKING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

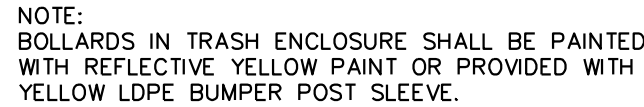
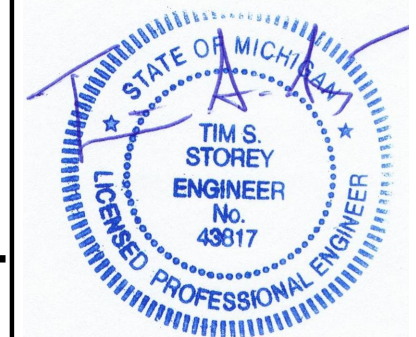
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, MDOT AND OAKLAND COUNTY.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
4. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL A CLEAN HOLE WITH A HOLE SAW AND USE AN INSERTA TEE TO MAKE THE CONNECTION.
5. EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.

STORM SEWER NOTES:

1. ALL STORM SEWER SHALL BE INSTALLED ON STANDARD BEDDING OR BETTER.
2. JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE PREMIUM JOINT TONGUE AND GROOVE WITH RUBBER GASKETS, UNLESS SPECIFIED OTHERWISE.
3. ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV OR HDPE ADS HP OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
4. CULVERTS SHALL BE ALUMINIZED TYPE II CSP (OR HDPE ADS HP) WITH BANDED OR PUSH-ON JOINTS MEETING MANUFACTURERS SPECS
5. STORM LEADS 6" AND SMALLER SHALL BE PVC SCH 40 WITH GUELD JOINTS BEDDED ON SAND OR STONE AGGREGATE.
6. STORM LINES 8" TO 10" SHALL BE PVC SDR-26 WITH PREMIUM GASKET JOINTS BEDDED ON SAND OR STONE AGGREGATE.

1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER SECTION, THE DIPS AND AREAS OF DIPS SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5) DEGREE BENDS, PROPERLY ANCHORED, MAINTAIN MIN. 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
2. ALL WORKSMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, OAKLAND COUNTY AND MDEQ.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVEPARCH SHALL BE BACKFILL DEEPER THAN NORMAL SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
4. ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
5. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNIL TESTING IS SATISFACTORILY COMPLETED.
6. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY SEWER OR STRUCTURE.
7. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54. WATER SERVICES SHALL BE TYPE K COPPER OR APPROVED EQUAL.
8. REFER TO CITY OF TROY STANDARD SPECIFICATIONS AND DETAILS FOR WATER MAIN CONSTRUCTION FOR ADDITIONAL INFORMATION.

1. ALL WORKSMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY AND OAKLAND COUNTY.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
3. ALL TRENCHES UNDER OR WITHIN THE 45' ZONE OF INFLUENCE LINE OR 5 FEET OF EXISTING AND/OR PROPOSED PAVEMENT SHALL BE BACKFILLED WITH SAND AND COMPACTED TO 95% OF MAXIMUM DENSITY PER ASTM D-1557.
4. ALL SEWERS SHALL BE PLACED ON MIN. 4" SAND OR GRAVEL BEDDING WHICH SHALL EXTEND TO MIN. 12" OVER TOP OF THE PIPE AND SHALL BE COMPACTED IN MIN. 6" LAYERS.
5. A MINIMUM OF 18" OF CLEARANCE MUST BE MAINTAINED AT ALL CROSSINGS BETWEEN SANITARY, WATER MAIN AND STORM SEWER, UNLESS PROVIDED WITH A CONCRETE CRADLE.
6. NO SANITARY SEWER INSTALLATION OR PORTION THEREOF SHALL HAVE INFILTRATION EXCEEDING 200 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER 24 HOUR PERIOD. JOINTS FOR P.V.C. SOLID WALL OR TRUSS PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) MEETING A.S.T.M. D-3212.
7. SANITARY SEWER MAIN AND LEADS 8" DIAMETER & SMALLER SHALL BE CONSTRUCTED OF P.V.C. SOLID WALL PIPE CONFORMING TO ASTM D-3034, SDR 26.
8. SEE CITY OF TROY STANDARD SPECIFICATIONS & DETAILS FOR ADDITIONAL INFORMATION.

[illegible]

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

**3 FULL WORKING DAYS
BEFORE YOU DIG CALL**



**STOREY
ENGINEERING
GROUP, LLC**
48264 MANCHESTER
MACOMB, MI 48044
(586) 216-1043
www.storeyengineering.com

ST MARK COPTIC ORTHODOX CHURCH

NOTES + DETAILS

ST MARK CHURCH - GYM ADDITION
3603 LIVERNOIS, TROY, MI 48063
22N R11E SECTION 21 CITY OF TROY OAKLAND COUNTY MI

TSS	DN.	TSS	SUR.	AWP	P.M.
PROJECTS\2020-018 ST MARK - TROY\DWG\SITE PLAN\VC-7.1 NOTES & DETAILS.DWG					

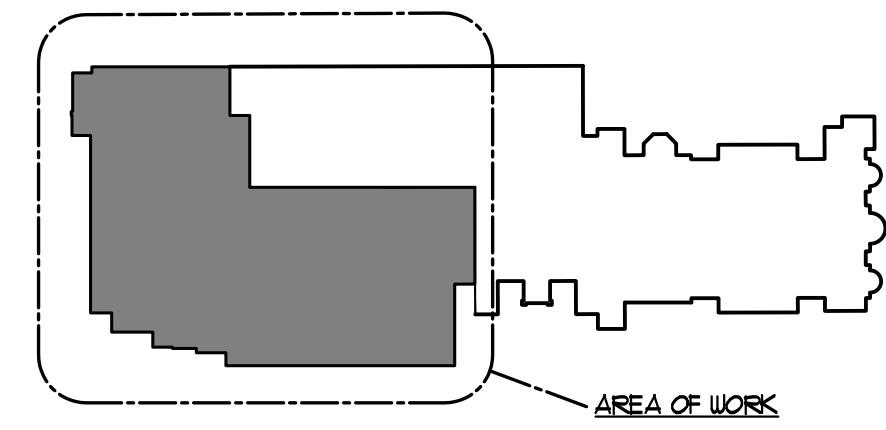
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Project No. 2020-018

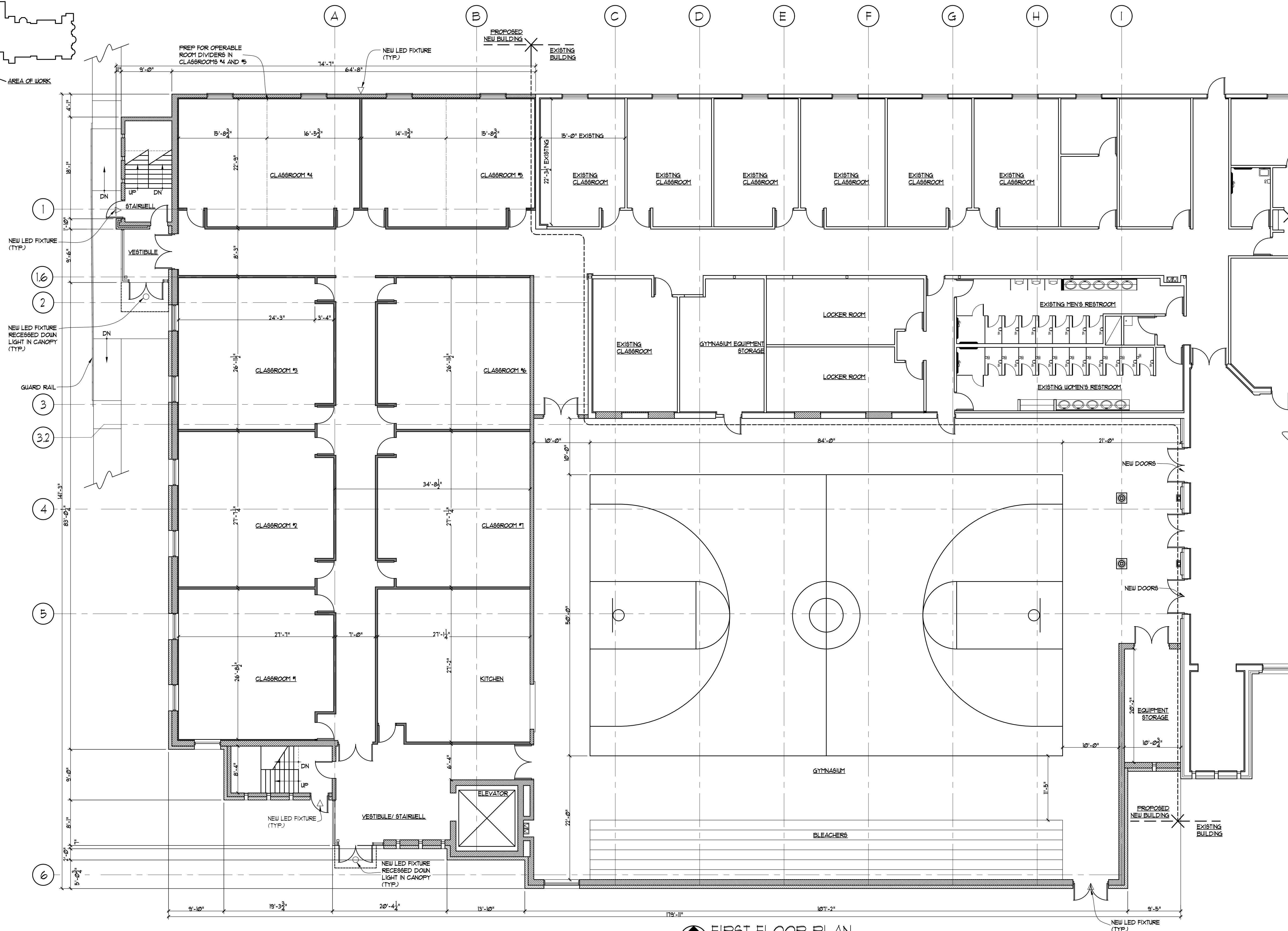
SCALE: 1" = 30'

DRAWING NUMBER:

C-7.1



KEY PLAN
NOT TO SCALE



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

DesignTeam +
975 E. Maple Road, Suite 210
Birmingham, Michigan 48009

P: 248. 559. 1000

info@designteamplus.com

Client

St. Mary & St.
Philopater Coptic
Orthodox Church

3603 Livernois
Troy, MI 48063

Project

St. Mary & St.
Philopater Coptic
Orthodox Church

3603 Livernois
Troy, MI 48063

Designed/Drawn HUR/JA/JT/TD

Checked/Approved HJR

Job # 322-2019

File SPA_ST MARKS GYMNASIUM AND

Date/Revisions Issue for

12/18/19 CLIENT REVIEW

01/14/2020 CLIENT REVIEW

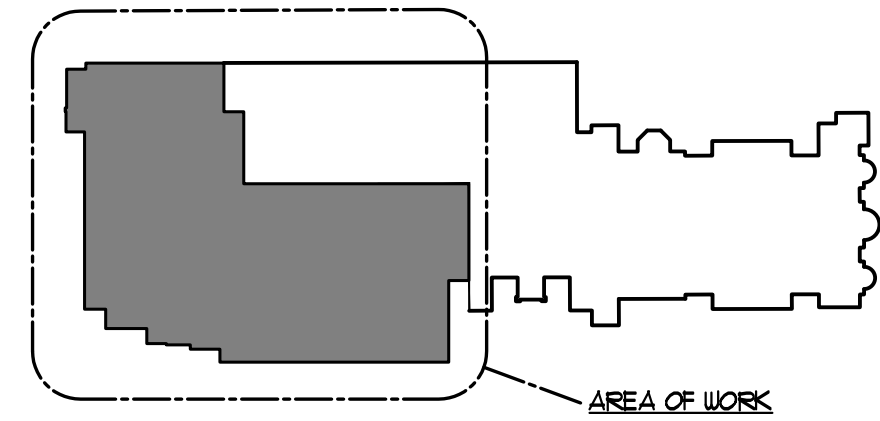
05/01/2020 ENGINEERING REVIEW

09/14/2020 SPA + SPECIAL LAND USE

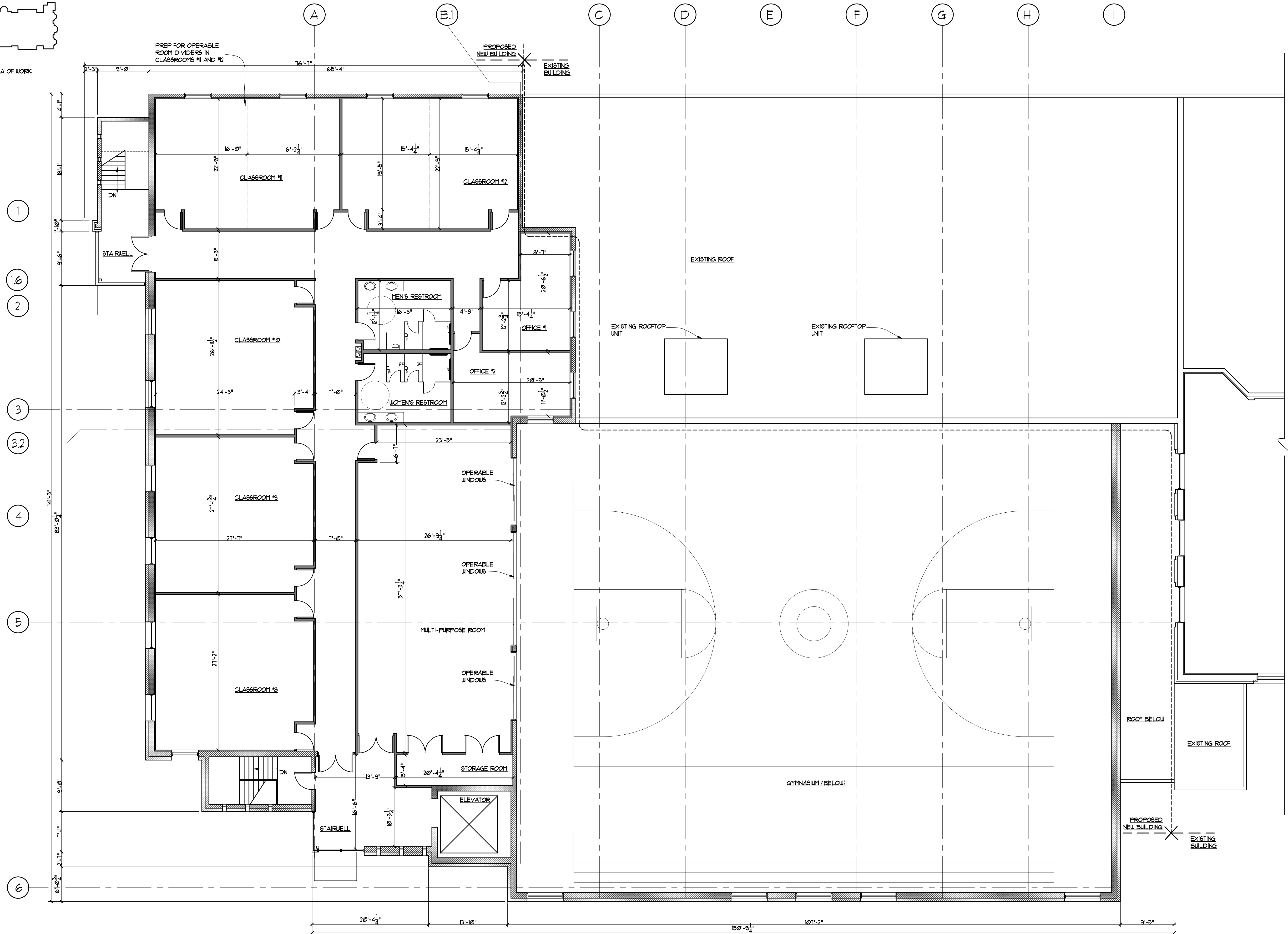
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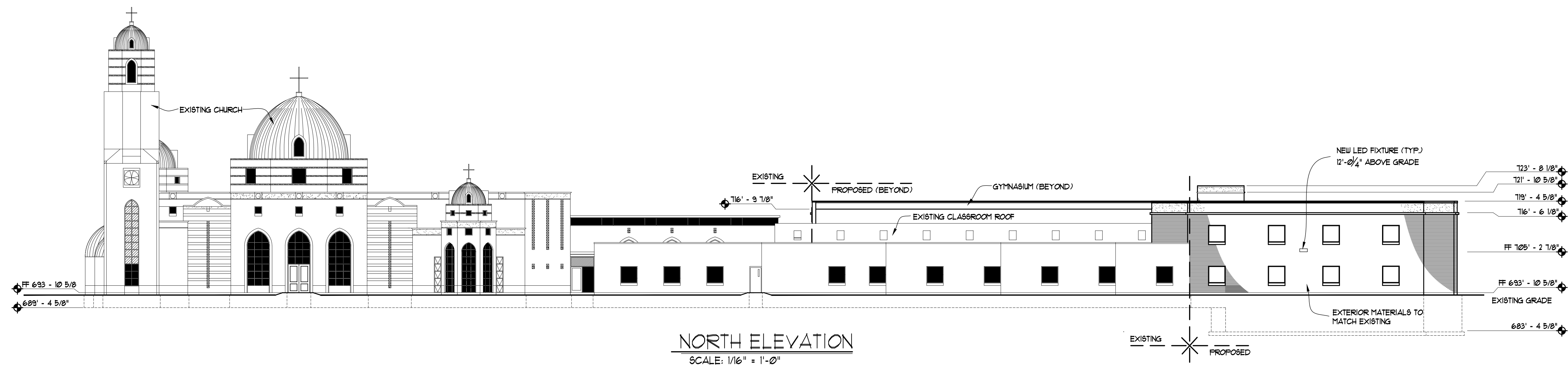
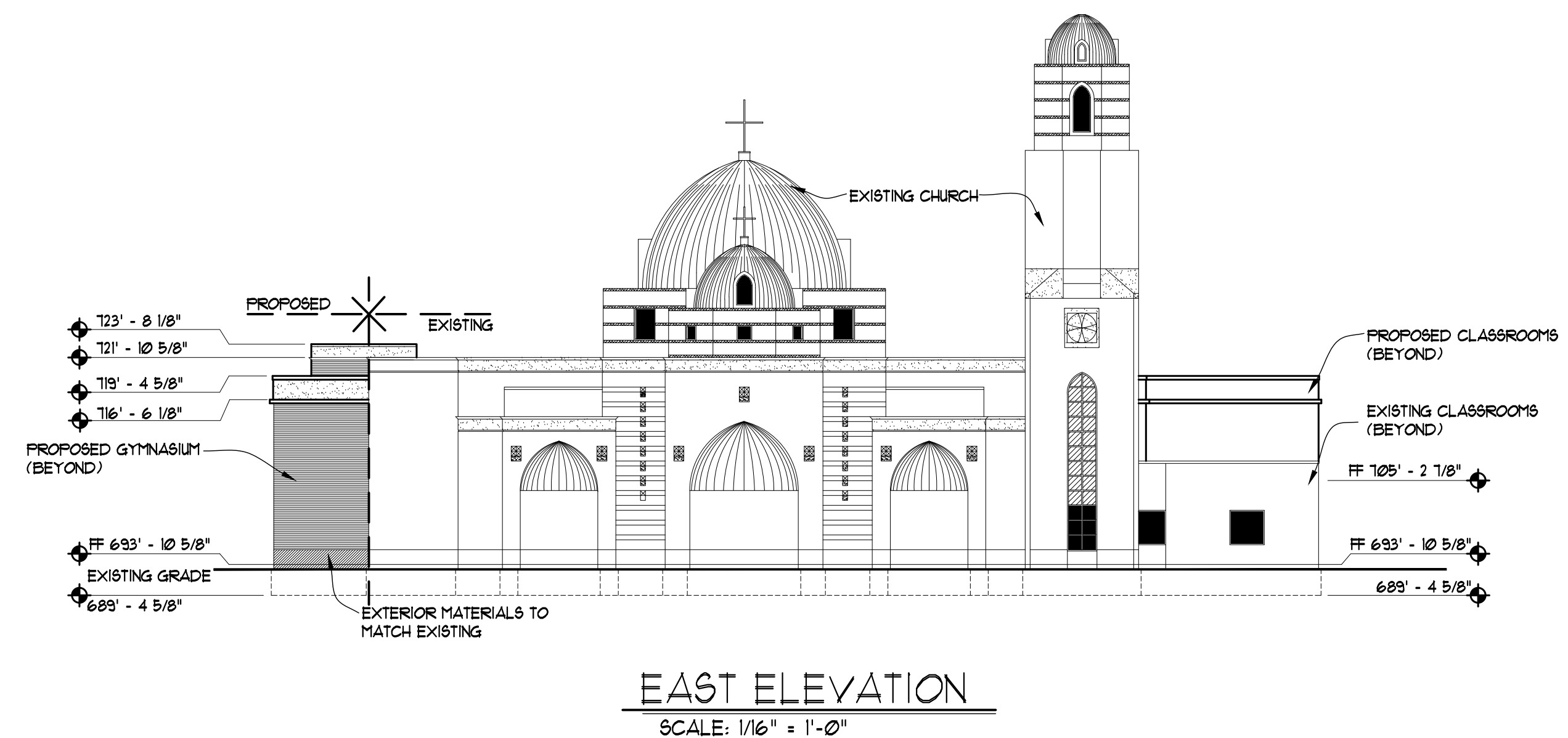
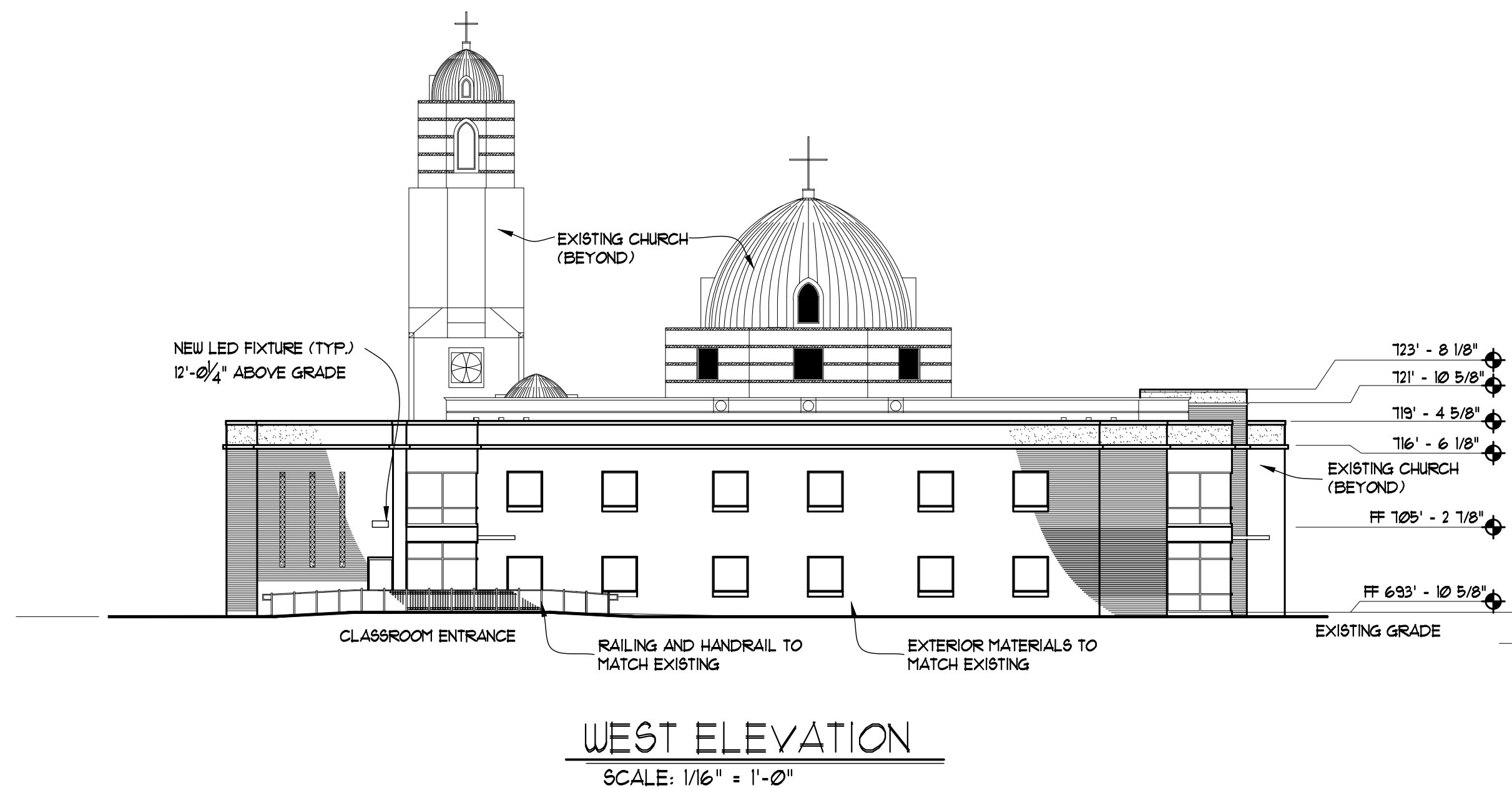
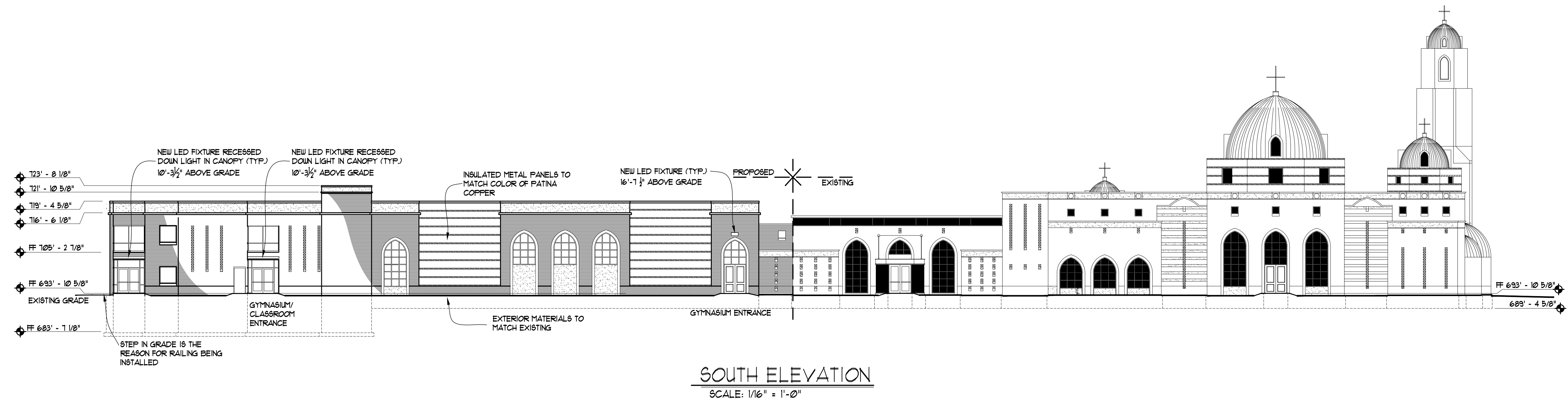
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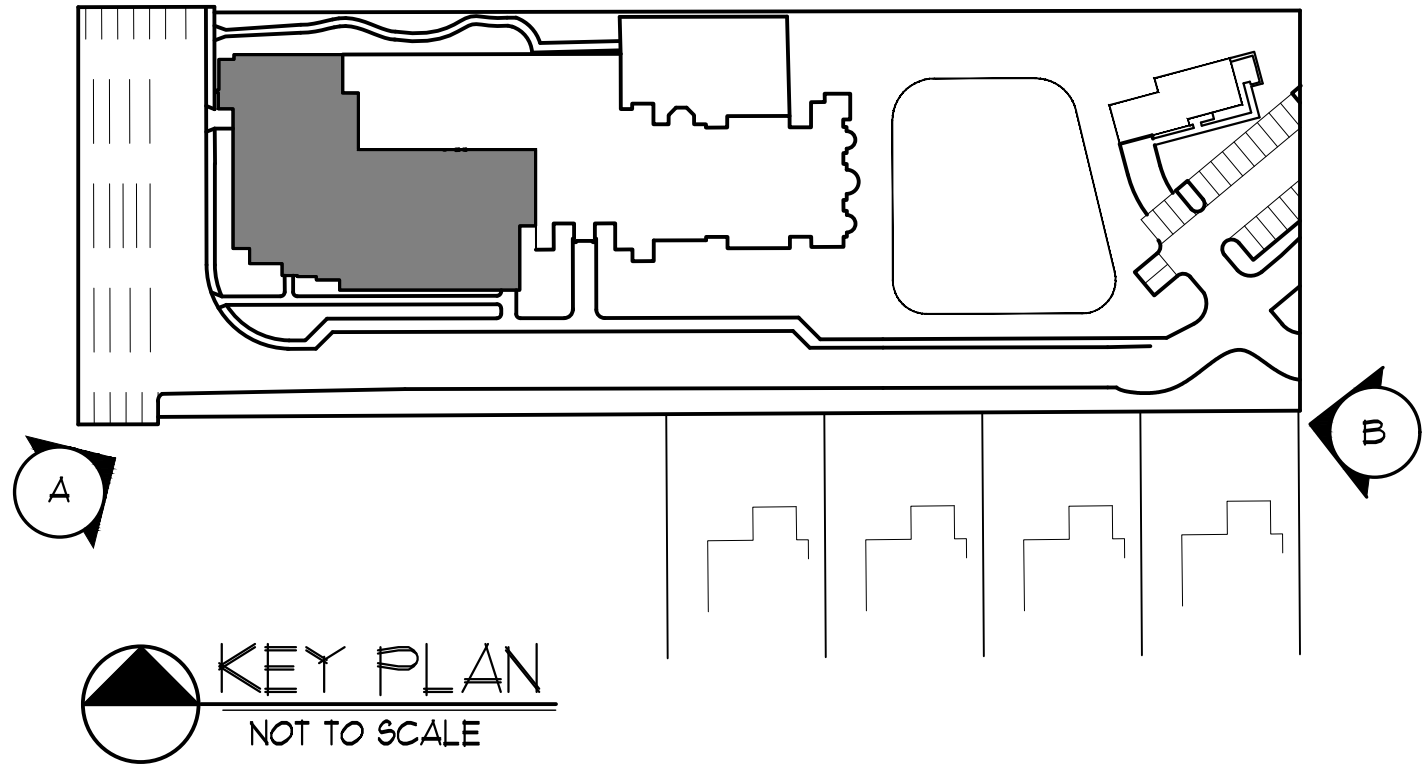


KEY PLAN
NOT TO SCALE



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

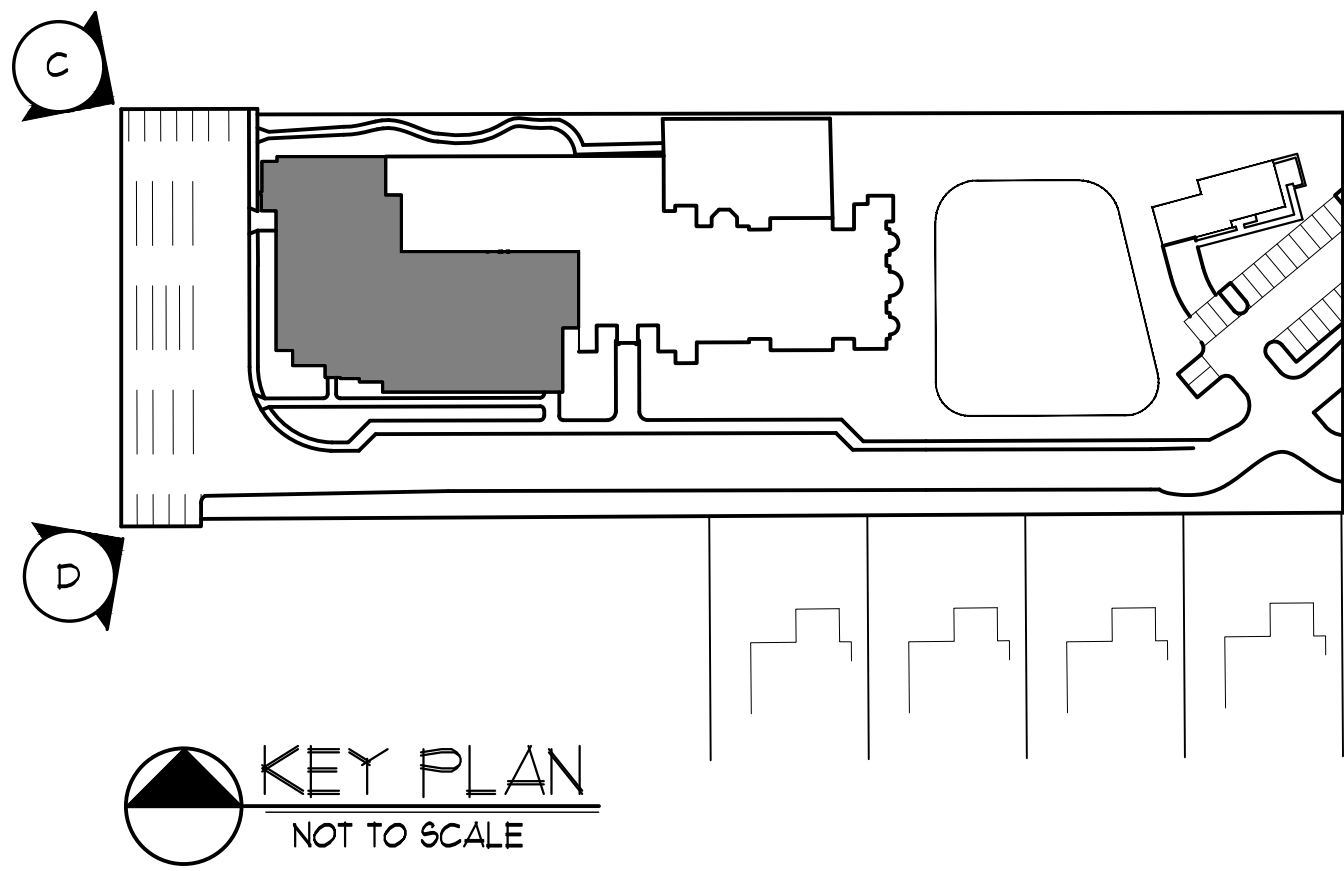




CONCEPTUAL EXTERIOR RENDERING A
NOT TO SCALE



CONCEPTUAL EXTERIOR RENDERING B
NOT TO SCALE



CONCEPTUAL EXTERIOR RENDERING C
NOT TO SCALE



CONCEPTUAL EXTERIOR RENDERING D
NOT TO SCALE



SITE VIEW A AT RUTHLAND DR
NOT TO SCALE



SITE VIEW B AT CHERISHED VIEW DR
NOT TO SCALE

From: [david bemis](#)
To: [Planning; City Council Email](#)
Subject: Opposition to Aoning Variance For Church on Livernois
Date: Sunday, April 4, 2021 9:43:45 AM

Planning@troymi.gov, CityCouncilEmail@TroyMI.Gov

I am opposed to all additional building and /or parking surface at St. Marks Egyptian church on Livernois

They are a private social club, existing to benefit their members only. The organization enjoys a tax free status, while consuming city resources. Other organizations like the Shriners (with their hospitals) do much more for the general population without a tax free status. The organization's signage says nothing about other religions or ethnicities being welcome. My wife and her nephew, both Western European Orthodox Christians, attended once. They were not greeted, acknowledged, or even smiled at. At the protestant church that I use to attend, there were greeters at all exterior doors and at the sanctuary entrance, and a coffee hour for mingling. A visitor could not attend without being greeted, both entering and exiting, and acknowledged. This may also be discrimination on the part of this private social club.

They are polluters. I personally found where they dumped used engine oil, and an oil filter, and other junk, in the woods and buried the oil before I could get an ordinance officer there (about 15 minutes)

They do not maintain their properties. The original building looks to be in disrepair. Is it even usable? The organization owns several Residential properties on the South side of Kirk Lane Drive. These homes are eyesores, detracting from the neighborhood. The last time I was on their property, before their 'no trespassing' sign, the house looked to be a mess. They have not maintained the plantings on the North or South side of their properties.

They falsely said they would plant an evergreen screen on the berm on the North side of their property and did not.

I am sure a building as tall as a gymnasium will be an eyesore in a residential neighborhood.

If allowed to add buildings, the organization is likely to come back saying they need more parking because of increased attendance. Added water runoff, from these and added buildings and parking, from precipitation, may overwhelm storm drains, causing pollution and flooding. This could also cause water damage to the city park.

I have been told by neighbors, whose property, abuts the organization properties, of infringement on property line setbacks, of noise, trespassing on their yard by persons from the organization, dumping engine oil on the ground, and being disrespectful of the neighbors (giving them the middle finger salute).

In summary; the "Coptic church" may be discriminatory, they have demonstrated their lack of property maintenance, they are polluters, their proposed building will not fit the neighborhood, they are not good neighbors, and their additions may cause water damage to the infrastructure and surrounding areas. They have, more or less, given the middle finger salute to the city of Troy and to the neighborhoods.

From: [Mary Ann Howell](#)
To: [Planning: City Council Email](#)
Cc: [Joseph Howell \(joseph_d_howell@hotmail.com\)](mailto:joseph_d_howell@hotmail.com)
Subject: Opposition to Variance for St. Mark Coptic Church on Livernois
Date: Wednesday, April 7, 2021 4:43:57 PM

To: planning@troymi.gov ; citycouncilmail@troymi.gov

Cc: Joseph Howell (joseph_d_howell@hotmail.com)

Subject: Opposition to Variance for St. Mark Coptic Church on Livernois

We are opposed to all additional building and /or parking surfaces at St. Mark Coptic church on Livernois.

They do not maintain their properties. The church owns several residential properties on the south side of Kirk Lane Drive. These homes are quite shabby, detracting from the neighborhood.

The evergreen screen on the north side of their property behind us (required by the city after they disregarded the city directive to retain existing vegetation) is not on the berm, but right up on the property line, and has not been maintained. It is very scraggly and offers little to no privacy. The silt fence that they erected for an entire season (while they upgraded their illegal gravel parking lot) blocked sunlight from our ground level plantings and completely wiped them out, further reducing our privacy.

The height of a gymnasium would be aesthetically disruptive in a residential neighborhood, and the footprint would be huge. If allowed to add buildings, the church is likely to need more parking because of increased attendance, and the parking spaces that may be lost because of such construction.

Homeowners whose property abuts the church boundaries (including ourselves) have complained to the authorities of infringement on property, of noise, and of trespassing on our yards by persons from the church.

Other churches of their size and attendance (such as Woodside and Zion) have been built on much larger properties with much more ample parking. The Coptic church keeps trying to add more facilities to its site, which is not even large enough to contain those it already has. In the 1990's, council member Robin Beltramini had the foresight to see much of this (calling it a flawed plan)

and was one of the dissenters on the commission that approved a cathedral-sized church in our neighborhood.

The church has a history of modifications and construction without permits or zoning, for example the aforementioned gravel parking lot, clear-cutting existing vegetation against the order to retain it, etc.

In conclusion, the Coptic church has demonstrated their lack of property maintenance and complete lack of respect for the neighborhood and the city they occupy.

Joseph and Mary Ann Howell

From: [david bemis](#)
To: [Planning](#)
Subject: Coptic Organization
Date: Thursday, April 15, 2021 9:19:03 AM

It seems predetermined that you will grant the Coptic organization anything they want with disregard for nearby citizens

Their plan for basket ball tournaments implies night time games, which implies vehicle headlights shining into homes on Kirk Lane. They should be compelled to install and maintain the evergreen screening that they previously agreed to but never provided. They should also be compelled to replace any screening evergreens that have died. They should be compelled to provide adequate foilage screening between their property and the East block of Kirk Lane (you know, the people who actually pay taxes)

Parking lot lights should be of a type or position that does not illuminate the yards and windows of abutting properties

The plan calls for second floor windows looking down into the yards and homes of abutting residences. This does not seem right in a R1 residential neighborhood

When they built their most recent parking lot, excavation material was used to fill their portion of the wetland woods on their Western edge. Filling in of the wetland should be prohibited.

What is the plan for water drainage from all this area to prevent flooding, sewer problems, or damage to the wetland?

From: [Suzanne Conover](#)
To: [Planning](#); [City Council Email](#)
Subject: St. Mark's Special Use Request - Gym and Classroom addition
Date: Thursday, April 8, 2021 2:07:38 PM

I am not in favor of St. Mark's expanding an already narrow parcel of property with more land development.

The additional building will not preserve or improve upon the quality of the residential neighborhood to which the Church borders.

How will this addition add value and improve our neighborhood? For me this will be a negative impact on the neighborhood and the abutting properties will lose value.

The expansion of the parking completed in 2019 has not added any value to my home value. I now have more trash in my backyard, light pollution from the parking lot lighting and the "green fence" put in place to provide separation has died and has become an eyesore.

The Troy Community Center is so close to this address. Why would the City planning department allow another gymnasium so close?

Please do not allow this permit for Special Use for St. Mark to add a Gymnasium and Classroom addition to the existing Church location.

Suzanne Conover

73 Kirk Lane Drive, Troy MI
248-410-0563

From: [david bemis](#)
To: [Planning](#); [City Council Email](#); [Joe Howell](#)
Subject: Coptic church
Date: Monday, April 12, 2021 9:19:56 AM

I plan to attend and speak at meeting. But in case I can not get in due to 'social distancing', the following are my comments

COPTIC CHURCH

I regard this organization not as a church, but as a private social club limited to Egyptians. My wife and her nephew, who look like and are, Western European Orthodox Christians attended and were not welcomed

Abutting neighbors have or may, describe their issues of prior building without zoning or permits, trespassing, lot line setback infringement, noise, lack of installation and maintenance of screening landscaping, and dumping engine oil on the ground

They do not maintain their properties –

- the building fronting Livernois,

- berm, or promised and never installed, screening or landscaping,

- rental properties that they own, or owned until recently, are eyesores, commercial equipment and possibly church trailer stored on residential property

They are polluters. I have observed and reported dumping of engine oil and other trash in their portion of the woods

They have been cited multiple times for improper storage. I have had to put in a row of arborvitae to hide the mess behind their Westmost building

A building the size of gymnasium will not fit into neighborhood

Additional land coverage may cause water problems to community and city park

Have twice reported gun shots that I believe came from their property, probably from deer poachers

In summary; the “Coptic church” may be a discriminatory private social organization, they have demonstrated their lack of property maintenance, they are polluters, their proposed building will not fit the neighborhood, they are not good neighbors, and their additions may cause water damage to the infrastructure and surrounding areas

DATE: April 22, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - CONDITIONAL REZONING- (CR JPLN2019-003) – Proposed Livernois Court, East side of Livernois, North of Big Beaver, (88-20-22-301-007, 88-20-22-301-008 and 88-20-22-301-009), Section 22, From R-1C (One Family Residential) to BB (Big Beaver Road).

The applicant Eureka Building Co. seeks a conditional rezoning of the subject parcel from R-1C (One Family Residential) to BB (Big Beaver) Zoning District. The applicant did not provide a complete Preliminary Site Plan application but did provide a conceptual sketch. The sketches indicate the potential for twenty four (24) units on the subject property. The applicant also voluntarily offered some conditions which are outlined in the attached report.

This application was considered by the Planning Commission on December 10, 2019 but postponed the item (minutes attached). Since that time, the applicant has acquired control of the property to the north, expanding the development potential of the project from 16 units to 24 units.

The site is within the Single Family Residential classification in the City of Troy Master Plan. The Planning Commission is a recommending body for this application.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Application
4. Minutes from December 10, 2019 Planning Commission Regular meeting.

G:\CONDITIONAL REZONING\JPCR2019-003 LIVERNOIS COURT\PC Memo 04 27 2021.docx

PROPOSED RESOLUTION
RECOMMENDING APPROVAL

PUBLIC HEARING - CONDITIONAL REZONING- (CR JPLN2019-003) – Proposed Livernois Court, East side of Livernois, North of Big Beaver, (88-20-22-301-007, 88-20-22-301-008 and 88-20-22-301-009), Section 22, From R-1C (One Family Residential) to BB (Big Beaver Road).

Resolution # PC-2021-04-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the R-1C to BB conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Livernois, north of Big Beaver, within Section 22, being approximately 9.7 acres in size, be granted for the following reasons:

1. The rezoning of the site to Big Beaver would allow for the potential project to have more flexibility to provide for the consideration of a range of components such as improving walkability and sense of place in the City, and even reducing emphasis on parking. Additionally, Chapter 8 of the City of Troy 2017 Master Plan indicates that there is a lack of availability of innovative housing styles due to the predominance of single-family detached homes. The rezoning of the site to Big Beaver with the creation of a multiple-family residential development would remedy this lack of housing variation, which is consistent with the Master Plan
2. The Form-Based District would permit greater flexibility in use and development of the property.
3. The conditions offered by the applicant reasonably protect the adjacent properties.
4. The rezoning would be compatible with surrounding zoning and land use.
5. The site can be adequately served with municipal water and sewer.
6. The development of the property should not unreasonably impact adjacent properties.

BE IT FURTHER RESOLVED, That the Planning Commission recommends the following site plan design considerations:

Yes:

No:

MOTION PASSED / FAILED

PROPOSED RESOLUTION
RECOMMENDING DENIAL

PUBLIC HEARING - CONDITIONAL REZONING- (CR JPLN2019-003) – Proposed Livernois Court, East side of Livernois, North of Big Beaver, (88-20-22-301-007, 88-20-22-301-008 and 88-20-22-301-009), Section 22, From R-1C (One Family Residential) to BB (Big Beaver Road).

Resolution # PC-2021-04-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the R-1C to BB conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Livernois, north of Big Beaver, within Section 22, being approximately 9.7 acres in size, be denied for the following reasons:

1. The conditions offered by the applicant do not reasonably protect the adjacent properties.
2. The rezoning would be incompatible with surrounding zoning and land use.
3. The development of the property would unreasonably impact adjacent properties.

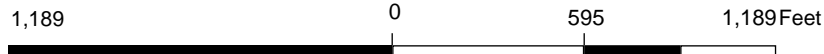
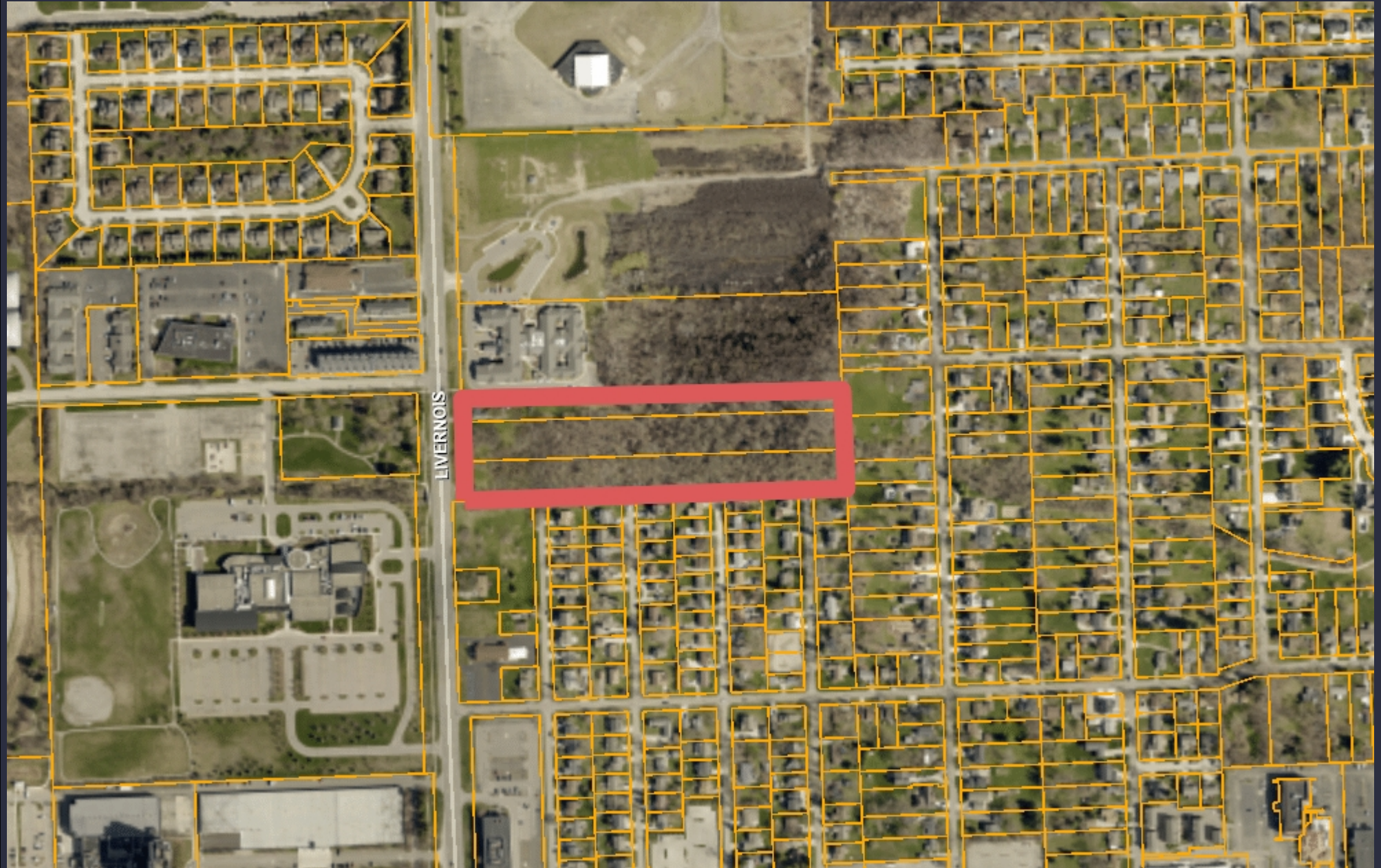
Yes:

No:

MOTION PASSED / FAILED



GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



1,189 0 595 1,189 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 20, 2019
April 20, 2021

Conditional Rezoning Analysis For City of Troy, Michigan

Project Name: Livernois Court (Livernois Road/Big Beaver Rezoning)

Location: Parcels 20-22-301-007, 008 and 009
East of Livernois Road, North of Big Beaver Road

Plan Date: September 23, 2020

Current Zoning: R-1C, One Family Residential

Proposed Rezoning: Conditional Rezoning: Big Beaver, Multi-Family Residential

Required Information: As provided within this review

PROJECT AND SITE DESCRIPTION

The applicant is proposing to conditionally rezone parcels 20-22-301-007, 008, and 009 from R-1C, One Family Residential to BB, Big Beaver. Conditions offered by the applicant are as follows:

1. Development to occur only in the areas outside of 100-year floodplain and wetland delineation as per the attached site plan concept. The 100-year floodplain and wetlands areas to be treated as conservation and are not to be developed under the proposed re-zoning request.
2. Proposed parcels to provide 40' egress easement to parcel to the north in case of future development. Easement to satisfy egress guidelines for such development.
3. Development will include only attached multifamily unit buildings. Such buildings shall not exceed 35' in height and shall have a minimum setback of 35' to R-1C parcels.

The applicant notes that 1). Development will only "occur in the areas outside of 100-year floodplain and wetland delineation as per the attached site plan concept"; and 2). that the "100-year floodplain and wetlands areas to be treated as conservation." The applicant should confirm two points 1). What does

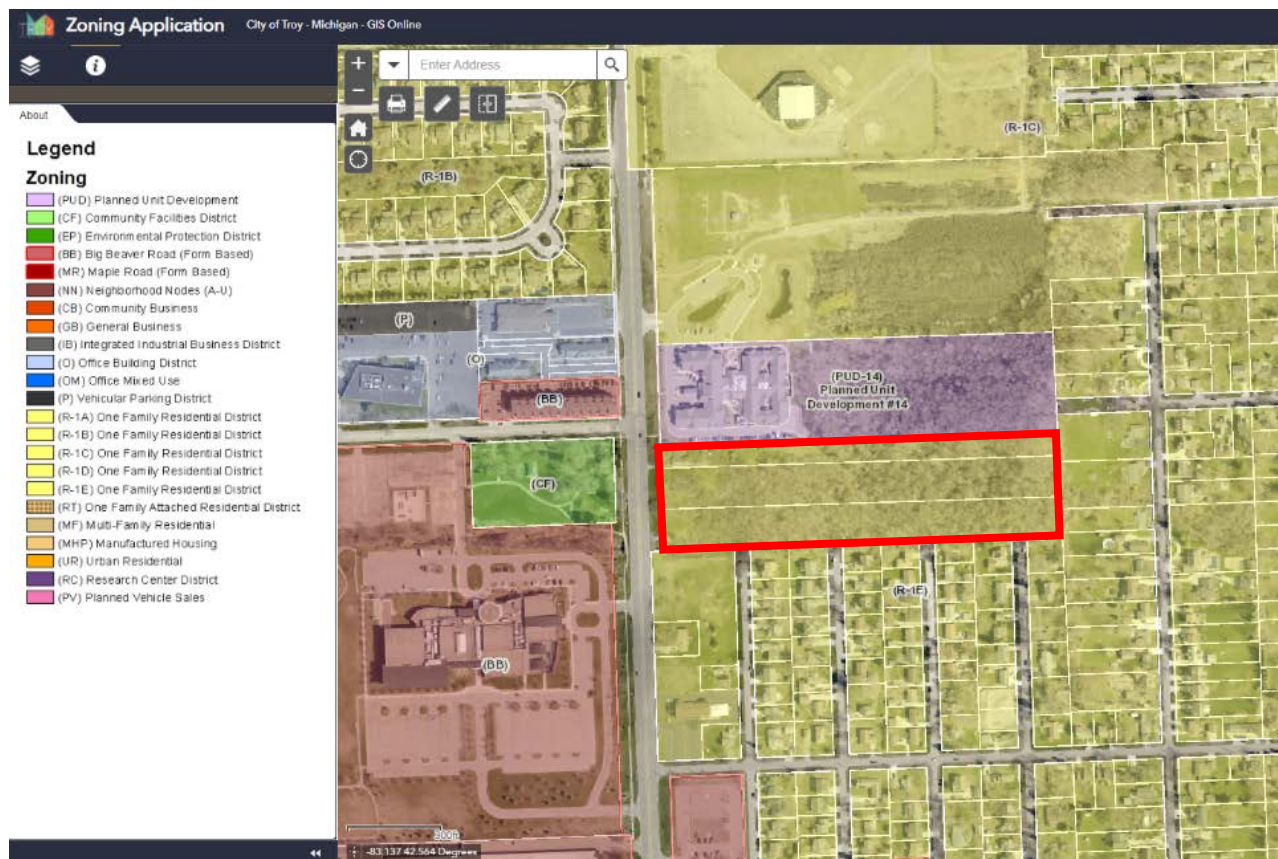
“development” mean? Does it include site grading within 100-year floodplain and wetland?; and 2). How does the applicant plan on preserving (conservation easement, land donation, or other means) the wetland and floodplain area?

In addition is condition #2 applicable if 3364 Livernois is included in rezoning request?

The applicant has submitted a conceptual plan for informational purposes only. The applicant proposes sixteen (16) units. The actual unit yield and layout can not be confirmed at this time. If the conditional rezoning is approved, the applicant shall provide a site plan that meets the conditions voluntarily offered, and applicable standards set forth in the Zoning Ordinance including the BB Design Guidelines.

ZONING

The subject site is currently zoned as R-1C, One Family Residential. An excerpt from the City’s zoning map is provided below.



SURROUNDING ZONING AND LAND USE

The subject parcel is currently zoned as R-1C. The Zoning and existing land uses for the subject site and surrounding parcels is listed below.

Direction	Zoning	Existing Use
North	PUD	Senior Living Facility
South	R-1E, One Family Residential	One-Family Residential
East	R-1C, One Family Residential	One-Family Residential
West	CF, Community Facilities	Parks and Recreation

MASTER PLAN

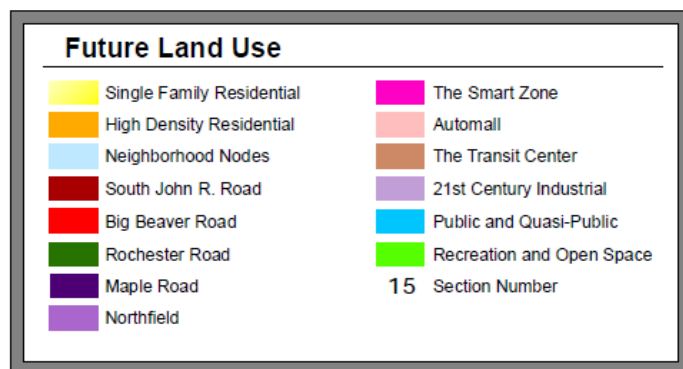
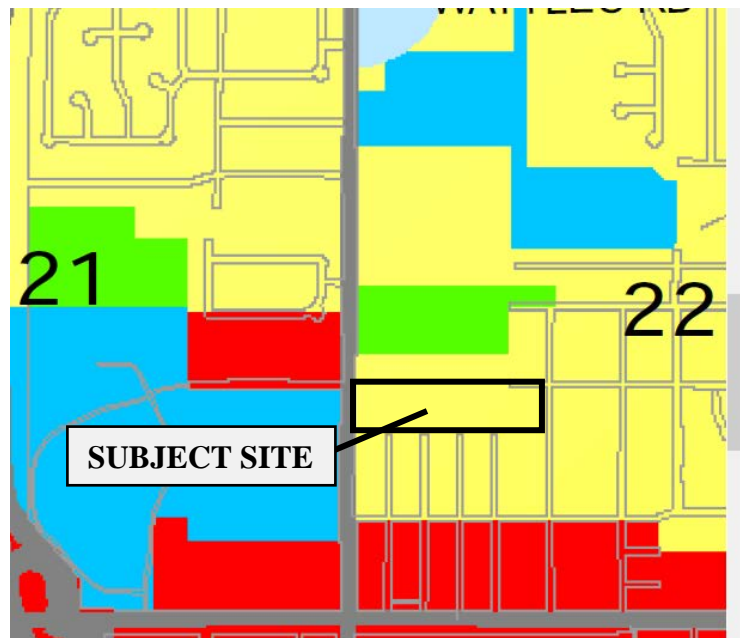
According to the Future Land Use Plan (excerpt shown to the right), this area is planned as Single Family Residential. The existing zoning as One-Family Residential supports this intent and is consistent with existing zoning and future land use goals of those parcels immediately east, north and south.

The proposed land use as BB Multiple Family Residential is more intense than the uses intended, however, it is consistent with future land uses of parcels located to its west.

Due to traffic, surrounding land uses, and limited developable area due to wetland/floodplain it is unlikely that the site will develop as single-family residential.

This section of Livernois has a mix of uses that directly front on Livernois that include office, places of worship, community facility, multiple family residential, and single-family residential.

The proposed multiple family use will provide an appropriate transition between multiple family and single family.



PROPOSED DEVELOPMENT VS. BY-RIGHT

The stated intent of the BB Big Beaver Zoning District is as follows:

SECTION 5.04, Big Beaver District

Intent. The Big Beaver (BB) District is intended to implement the policies set forth in the Big Beaver Corridor Study, Big Beaver Design Guidelines, and the City's Master Plan. These regulations are intended to promote a unified vision for transforming Big Beaver Road into a world-class destination focused on mixed-use development and increased land use intensity that is oriented as much to the needs of the pedestrian as to those of the automobile. These regulations are also intended to:

- 1. Establish a development pattern in which new buildings and building modifications enhance the character of the existing built environment;*
- 2. Orient building entrances and storefronts to the street to add visual interest, increase pedestrian traffic, and to reduce crime through increased surveillance;*
- 3. Enhance a sense of place and contribute to the sustainability of the City.*
- 4. Allow a pattern of development which will encourage transportation alternatives (walking, biking, and transit) to reduce automobile dependence and fuel consumption; and*
- 5. Add value to property along the Big Beaver Corridor*

The stated intent of the existing zoning district, R-1C, One Family Residential is as follows:

SECTION 4.06, One-Family Residential Districts R-1A through R-1E

Intent. The Master Plan recognizes that single-family residential neighborhoods are vital components of the City and comprise the majority of the land area within the City. The intent of the R-1A through R-1E Districts is to provide areas for single-family dwellings with the primary distinction being a range of densities, implemented through varying lot sizes. The R-1A through R-1E Districts are further intended to preserve and improve upon the quality of residential neighborhoods while permitting a limit

The table below outlines the development differences of what is currently permitted per R-1C zoning and the conditions offered by the applicant.

	By-Right Existing R-1C Zoning	Permitted and Proposed if rezoned to BB Zoning
Height	2.5 stories and 30 feet	35 feet
Setbacks	Front (Livernois): 30 feet Sides (No sewer): 15/30 feet total Sides (Sewer): 10/20 feet total Rear: 40 feet	Minimum of 35 feet from adjacent R-1C parcels

The applicant has also set forth two (2) additional conditions. First, the proposed parcels are to provide a 40-foot egress easement to the parcel to the north in case of future development. Easements are to satisfy egress guidelines for such development. Second, development will only occur in areas outside of the 100-year floodplain and wetland delineation. Those naturally sensitive areas are to be treated as conservation and are not to be developed under the rezoning request. The applicant should indicate how

they plan on preserving (conservation easement, land donation, or other means) the wetland and floodplain area.

PREVIOUS REVIEW

The Planning Commission considered this request on December 10, 2020. At that meeting, discussion included:

- Conservation easement; perpetuity, maintenance.
- Height of multi-family; comparison to 2-story residential home, apartment complex to the west.
- Transition to multi-family from single family.
- Ownership of adjacent and surrounding parcels.
- Viability of parcel to be developed.
- “Creeping” of Big Beaver zoning district into single family residential.
- Alternative options to rezone, develop parcels, preserve green space.

There was confusion and concern from the Planning Commission about Mr. Black’s, the property owner at 3364 Livernois, understanding of what document he signed. It was the consensus of the Planning Commission that the applicant should contact the Black family and clear up any miscommunications, at which time they can come back to the Planning Commission with a plan.

Please note that the applicant has acquired Mr. Black’s property and it is included in the proposed rezoning.

REZONING STANDARDS

As set forth in Section 16.03.C, the Planning Commission shall consider the following standards:

1. *The proposed rezoning is consistent with the Master Plan. If the current zoning is in material conflict with the Master Plan, such conflict is due to one of the following:*
 - a. *A change in City policy since the Master Plan was adopted.*
 - b. *A change in conditions since the Master Plan was adopted.*
 - c. *An error in the Master Plan.*

The proposed land use as BB Multiple Family Residential is more intense than the uses intended, however, it is consistent with future land uses of parcels located to its west. The rezoning of the site to Big Beaver would allow for the potential project to have more flexibility than is currently allowed by the existing zoning district. This flexibility may allow for the consideration of a range of components such as improving walkability and sense of place in the City, and even reducing emphasis on parking. Additionally, Chapter 8 of the City of Troy 2017 Master Plan indicates that here is a lack of availability of innovative housing styles due to the predominance of single-family detached homes. The rezoning of the site to Big Beaver with the creation of a multiple-family residential development would remedy this lack of housing variation.

As noted due to traffic, surrounding land uses, and limited developable area due to wetland/floodplain it is unlikely that the site will develop as currently zoned single-family residential.

2. *The proposed rezoning will not cause nor increase any non-conformity.*

The applicant has stated that any new development will be designed in conformity with current City Ordinances and will undergo the site plan review process prior to approval in order to ensure that all standards have been met and conformity is achieved.

3. *Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.*

Due to the condition that is aimed at restricting development from occurring within the wetland and floodplain areas on site, it is not likely that any improvements will overwhelm any local public services or facilities. The site will likely be easily accommodated by public services and facilities that serve the surrounding, more intense developments.

4. *The rezoning will not impact public health, safety, or welfare.*

The proposed rezoning is not likely to impact public health, safety, or welfare. Conditions prohibiting development from occurring within the 100-year floodplain ensure that residentially zoned parcels to the east are minimally affected the anticipated project, and that preserved area can serve as a buffer and transition area in perpetuity. Additionally, the applicant has indicated that the site's intended use as multiple-family residential, will provide additional housing options within the City.

5. *The rezoning will ensure compatibility with adjacent uses of land.*

The rezoning of the site from R-1C, One Family Residential to BB Multiple Family Residential will be more intense than those parcels to the south and east as they are currently zoned and used for single family residential purposes. However, the subject site is in close proximity to the Big Beaver district, less intense than the senior facility to the north, and will act as a transition area between the more intense developments to the less intense residential areas.

FUTURE SITE PLAN

The applicant has submitted a conceptual plan for informational purposes only. The applicant proposes twenty-four (24) units. The actual unit yield and layout cannot be confirmed at this time. If the conditional rezoning is approved, the applicant shall provide a site plan that meets the conditions voluntarily offered, and applicable standards set forth in the Zoning Ordinance including the BB Design Guidelines.

RECOMMENDATION

As noted due to traffic, surrounding land uses, and limited developable area due to wetland/floodplain it is unlikely that the site will develop as currently zoned single-family residential.

Multiple-family residential, with the applicant's condition of limiting height and the condition that wetlands and 100-year flood plain will be conserved to serve as a buffer to the less intense uses to the south and east, is an appropriate transitional land use.

However, the applicant should:

- 1) Confirm what “development” means? Does it include site grading within 100-year floodplain and wetland?;
- 2) How does the applicant plan on preserving (conservation easement, land donation, or other means) the wetland and floodplain area?; and
- 3) Is condition #2 applicable if 3364 Livernois is included in rezoning request?

We recommend that the Planning Commission consider the application, hold a public hearing, and consider public comments.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

Rezoning Statement.

ONE (1) HARD COPY OF A PROPOSED SITE PLAN INDICATING THE SUBJECT PROPERTY AND THE BUILDINGS / USES PROPOSED TO BE CONSTRUCTED

A detailed development is not proposed at this time, since the uses will be tied directly into the requirements of the Big Beaver one family attached. Once the rezoning to Big Beaver is approved, through Planning Department direction the development site plan layouts and associated requirements under the zoning ordinance will be pursued in the ordinary course of action. All site plan, and associated form-based elements, will then be addressed through a site plan submission meeting pursuant to ordinance requirements.

Re-zoning request is subject to the following conditions:

1. BB development to occur only in the areas outside of 100-year flood plain and wetland delineation as per the attached site plan concept. The 100-year flood plain and wetlands areas to be treated as conservation and are not to be developed under the proposed re-zoning request.
2. Proposed parcels to provide 40' egress easement to parcel to the north in case of future development. Easement to satisfy egress guidelines for such development.
3. BB development to include only attached multifamily unit buildings. Such buildings shall not exceed 35' in height and shall have a minimum setback of 35' to R-1C parcels.

ONE (1) HARD COPY OF A STATEMENT INDICATING WHY, IN THE OPINION OF THE APPLICANT, THE REZONING REQUESTED IS CONSISTENT WITH THE MASTER PLAN, AND WHY SUCH A REZONING IS CONSISTENT WITH ADJACENT ZONING DISTRICTS AND USES, AND WILL NOT BE DETRIMENTAL TO THE PROPERTY OF OTHER PERSONS LOCATED IN THE VICINITY

The above referenced properties are located within BB zoning areas to the west of Livernois. Re-zoning to BB should meet Troy Master Plan objectives by providing a transition from non-residential area & main artery roadway and lower density residential land use areas. The City of Troy Zoning Ordinance has additional requirements that must be met for all rezoning approvals. More specifically, Section 16.03(C), Rezoning Procedures, of the ordinance provides the following standards for rezoning requests:

C. Standards for Approval. A rezoning may be approved upon a finding and determination that all of the following are satisfied:

1. The proposed rezoning of the subject site from R1-C, One Family Residential District, to BB Multi Family Residential, is consistent with the Land Use of the surrounding areas. The project enables medium density residential development in one of the "Targeted Locations in Troy for Missing Middle housing." (See Master Plan Chapter 8 Pg. 6)

Rezoning the site to BB would enable the project to satisfy the characteristics of Missing Middle Housing as noted in the Master Plan by providing for: 1. Walkable context and sense of community; Transitional density, by creating housing at densities which fall between traditional single family and multiple family; Smaller, well designed units and efficient use of space; Deemphasizing parking.

2. The proposed rezoning will not cause nor increase any non-conformity.

The proposed rezoning to BB One Family Attached will not cause or increase any non-conformity. It will allocate ~ 7 acres of wetland conservation to the east of the parcels. Any new development will be in conformity with current City ordinances and Planning Department site plan review and approval as such the development will of necessity continue and transition the current theme of the neighborhood.

3. Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

The subject site is not large in size (~1.7 acres) and any proposed development, in compliance with the BB One Family Attached would be easily accommodated by public services and facilities that serve the surrounding commercial and residential developments.

4. The rezoning will not impact public health, safety, or welfare.

The proposed BB designation for this site, and the associated development review process, is intended to ensure that a project does not impact the public health, safety, or welfare. The very designation of the site is intended to provide affordable housing for young families.

5. The rezoning will ensure compatibility with adjacent uses of land.

The rezoning will continue an ongoing theme in the Livernois Road corridor north of Big Beaver road where a number of BB developments have been approved by the city and constructed in recent years in conformity with the Master Plan and its dictates.

ONE (1) CD CONTAINING AN ELECTRONIC VERSION OF THE COMPLETE REZONING APPLICATION

A flash drive with the complete application is provided

RECEIVED
FEB 11 2020
PLANNING

February, 11 2020

Planning Department
500 W. Big Beaver Road
Troy, MI 48084

Dear Mr. Savidant:

After much consideration – I am writing this letter to give my opinion regarding the conditional rezoning of parcels 88-20-22-301-008 and 88-20-22-301-009 (Proposed for Livernois Court).

My son and daughter met with the developer (also the parties associated with the above parcels) on January 29, 2020. They were presented with the details of the conditions required for the rezoning and how they will pertain to this development. I understand the conditions to this rezoning and that the developer will abide by them to prevent as little disruption as possible to my parcel.

If this rezoning passes, I am aware that it will need to go before city council for approval. My son and daughter will follow this closely and note any major changes with the site plan. If all plans are approved and work begins, the developer has assured us that there will be a contact person / project manager available to address any problems.

Although at this time I am not ready to sell my parcel and wish to continue to live here – **I do not have a problem with the rezoning of these parcels to the south.** It was also proposed that I consider rezoning my parcel; there would be no cost to me and it would be beneficial for the property in the future. **I would like to partake in the rezoning of my parcel at the same time.** After reviewing this with my family and making the best informed decision I can with the facts that I have, I believe if this development is completed accordingly it will be favorable to the property owners and will fit well in the community.

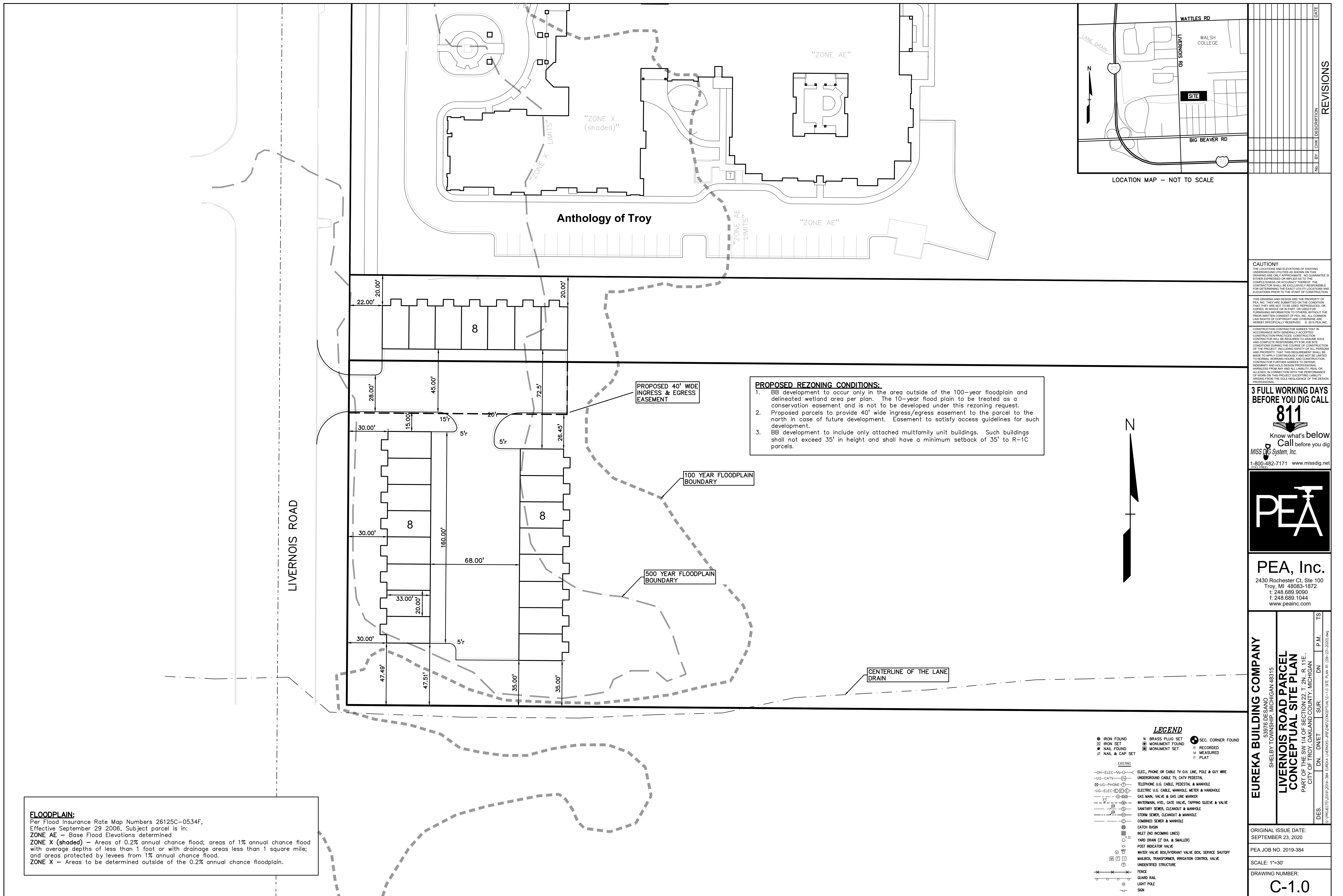
Respectfully,

William B Black

State of Michigan County of Berkland
Subscribed and sworn to (or affirmed) before me
this 11th day of February, 20 20
by William Blanford Black
Andrew Hehn, Notary Public
My Commission Expires 09/01/2025
Andrew Hehn



Andrew Hehn
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF Oakland
My Commission Expires 09/01/2025
Acting in the County of Oakland



LEGAL DESCRIPTIONS

(based upon the City of Troy Assessor's Office Website)

Land in the City of Troy, Oakland County, MI, described as follows:

PARCEL (20-22-301-008):

LOT 21 OF "SUPERVISOR'S PLAT NO. 26", AS RECORDED IN LIBER 57, PAGE 59 OF PLATS, EXCEPT THE WEST 20 FEET THEREOF DEEDED FOR ROAD, BEING LANDS IN THE SOUTHWEST 1/4 OF SECTION 22, TOWN 2 NORTH, RANGE 11 EAST, OAKLAND COUNTY RECORDS. 12-21-15 CORR

PARCEL (20-22-31-009):

LOT 20 OF "SUPERVISOR'S PLAT NO. 26", AS RECORDED IN LIBER 57, PAGE 59 OF PLATS, EXCEPT THE WEST 20 FEET THEREOF DEEDED FOR ROAD, BEING LANDS IN THE SOUTHWEST 1/4 OF SECTION 22, TOWN 2 NORTH, RANGE 11 EAST, OAKLAND COUNTY RECORDS. 12-21-15 CORR

PARCEL A (COMBINING PARCELS 20-22-301-008 AND 20-22-301-009):

LOTS 20 AND 21 OF "SUPERVISOR'S PLAT NO. 26", AS RECORDED IN LIBER 57, PAGE 59 OF PLATS, EXCEPT THE WEST 20 FEET THEREOF DEEDED FOR ROAD, BEING LANDS IN THE SOUTHWEST 1/4 OF SECTION 22, TOWN 2 NORTH, RANGE 11 EAST, OAKLAND COUNTY RECORDS.

PARCEL B (20-22-301-007):

THE SOUTH HALF OF LOT 22 OF "SUPERVISOR'S PLAT NO. 26", AS RECORDED IN LIBER 57, PAGE 59 OF PLATS, EXCEPT THE WEST 20 FEET THEREOF DEEDED FOR ROAD, BEING LANDS IN THE SOUTHWEST 1/4 OF SECTION 22, TOWN 2 NORTH, RANGE 11 EAST, OAKLAND COUNTY RECORDS.



LOCATION MAP - NOT TO SCALE

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PEA, INC. THEY ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE USED, REPRODUCED, OR COPIED, IN WHOLE OR IN PART, OR USED FOR FURNISHING INFORMATION TO OTHERS, WITHOUT THE PRIOR WRITTEN CONSENT OF PEA, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHER RIGHTS ARE HEREBY SPECIFICALLY RESERVED. © 2019 PEA, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTORS, AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO NOTIFY INADEQUATELY AND HOLD DESIGN PROFESSIONAL, HANDLES FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS
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t: 248.689.9090
f: 248.689.1044
www.peainc.com

EUREKA BUILDING COMPANY

53876 DESANO, SHELBY TOWNSHIP, MICHIGAN 48315

LIVERNOIS ROAD PARCEL BOUNDARY / TREE SURVEY

PART OF THE SW 1/4 OF SECTION 22, T. 2N., R. 11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN

ORIGINAL ISSUE DATE:

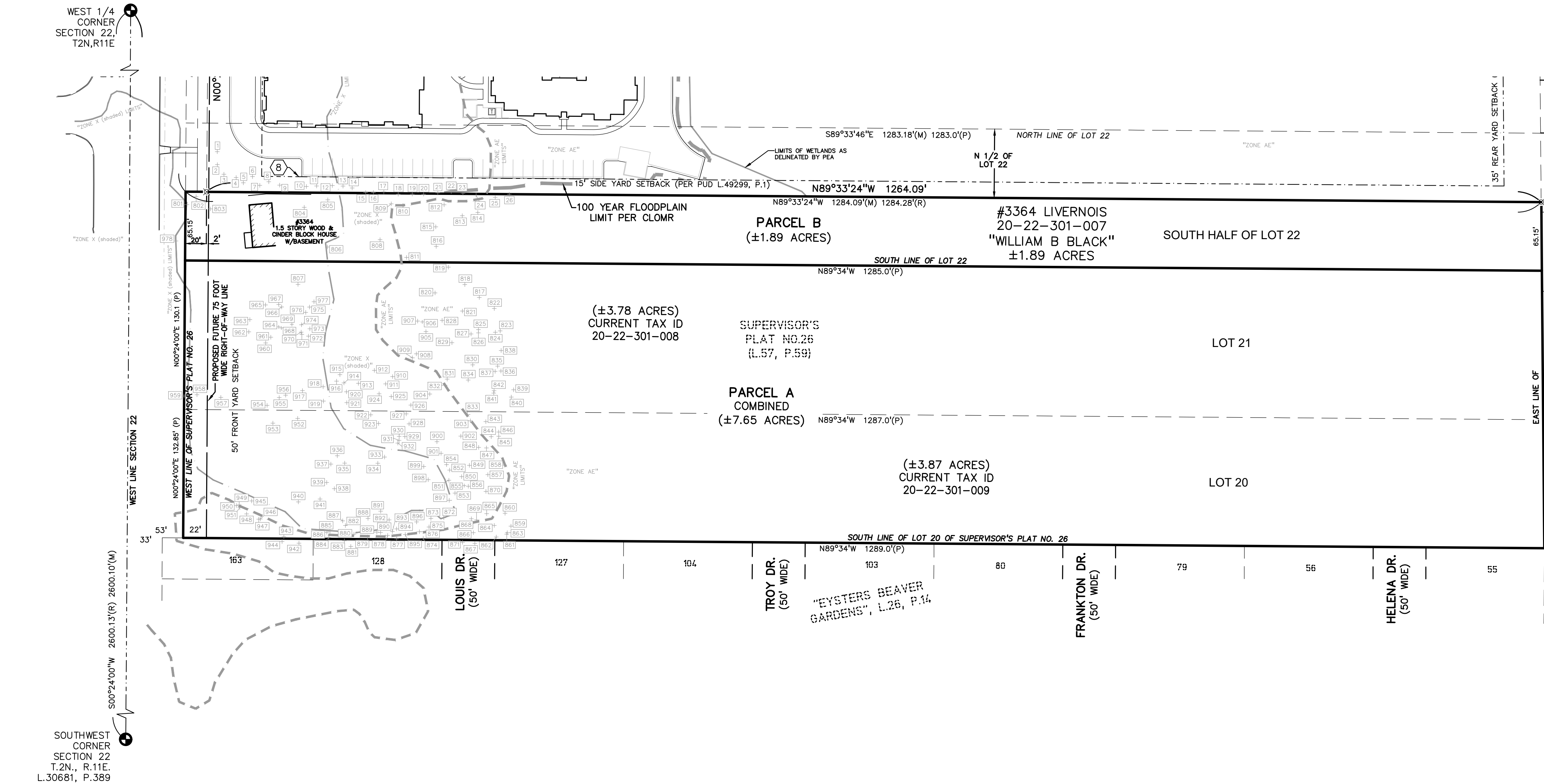
SEPTEMBER 18, 2019

PEA JOB NO. 2019-384

SCALE: 1"=60'

DRAWING NUMBER:

1



FLOODPLAIN:

Per Flood Insurance Rate Map Numbers 26125C-0534F, Effective September 29 2006, Subject parcel is in:
ZONE AE - Base Flood Elevations determined
ZONE X (shaded) - Areas of 0.2% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
ZONE X - Areas to be determined outside of the 0.2% annual chance floodplain.

LEGEND

- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND
- MONUMENT SET
- SEC. CORNER FOUND
- R RECORDED
- M MEASURED
- P PLAT
- EXISTING
- OH-ELEC-W-O ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
- ELEC U.S. CABLE, MANHOLE, METER & HANDHOLE
- GAS MAIN, VALVE & GAS LINE MARKER
- WATERMAN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- CATCH BASIN
- INLET (NO INCOMING LINES)
- YARD DRAIN (2" DIA. & SMALLER)
- POST INDICATOR VALVE
- WATER VALVE BOX/ANTIRUST VALVE BOX, SERVICE SHUTOFF
- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- IDENTIFIED STRUCTURE
- FENCE
- GUARD RAIL
- LIGHT POLE
- SIGN

CONDITIONAL REZONING

7. **PUBLIC HEARING - CONDITIONAL REZONING (CR JPLN2019-003)** – Proposed Livernois Court, East of Livernois, North of Big Beaver, (88-20-22-301-008 and 88-20-22-301-009), Section 22, From R-1C (One Family Residential) to BB (Big Beaver) District

Mr. Carlisle reviewed the Conditional Rezoning application. He addressed the existing wetland and floodplain, the concept plan provided by the applicant and conditions offered by the applicant. Mr. Carlisle indicated that due to traffic, surrounding land uses and limited developable area because of the wetland and floodplain, it is unlikely that the site will develop as currently zoned single family residential. Mr. Carlisle asked the applicant to declare how they plan to preserve the wetland/floodplain area, whether it be as a conservation easement, land donation or other means. He recommended that the Planning Commission consider the application, hold a public hearing and take any comments into consideration prior to any action.

Present were Renis Nushaj and Erion Nikolla of Eureka Building Co.

Mr. Nushaj addressed preservation of the wetland and floodplain, surrounding property inclusive of the church property to the south and the neighborhood meeting that was held at the church. He said the height of the multi-family development would be visually lower than the apartment complex on the west side of Livernois.

Mr. Nikolla addressed the floodplain and wetland area in context of the surrounding area.

There was discussion on:

- Conservation easement; perpetuity, maintenance.
- Height of multi-family; comparison to 2-story residential home, apartment complex to the west.
- Transition to multi-family from single family.
- Ownership of adjacent and surrounding parcels.
- Viability of parcel to be developed.
- “Creeping” of Big Beaver zoning district into single family residential.
- Alternative options to rezone, develop parcels, preserve green space.

PUBLIC HEARING OPENED

- David and Debra Black, present to represent their father who resides on the parcel to the north of the subject application (3364 Livernois). They indicated they were not approached by the developer, not invited to the church meeting and unaware of the proposal until they saw the building sketch on their father’s property. The Black’s expressed concerns with the value of their father’s home if rezoned and the property rights of their elderly father.

- Lynne Fuller, 23211 Brook Forest, identified herself as the broker representing the sellers of the two properties. She indicated that she attempted multiple times to contact Mr. Black, both at the home and by mail, to no avail. Ms. Fuller said the seller of the property to the south is also elderly and wishes to sell for financial reasons. She said it was her understanding through a conversation with the seller's son that Mr. Black had no concerns with the rezoning if the zoning stayed residential. She indicated the seller would have an interest in purchasing Mr. Black's property.
- Jerry Rauch, 4187 Penrose; addressed alternative development options, such as attached single family.

PUBLIC HEARING CLOSED

Mr. Carlisle stated the letter with the signature of Mr. Black included in the agenda packet was provided by the broker.

Discussion continued on the "creeping" of Big Beaver zoning district into single family residential.

It was the consensus of the Board that the applicant should contact the Black family and clear up any miscommunications, at which time they can come back to the Board with a plan.

Resolution # PC-2019-12-087

Moved by: Lambert

Support by: Hutson

RESOLVED, To postpone action on the application to a date uncertain to allow time for the petitioner to discuss the purchase or other acquisition of the property owner to the north and give City staff an opportunity to address some of the concerns Commissioners have raised tonight.

Yes: All present (9)

MOTION CARRIED

DATE: April 22, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - REZONING (Z JPLN2021-0001) – Proposed Lindsey Center Rezoning, East side of Crooks, South of Big Beaver (2690 Crooks, Parcel 88-20-28-101-003), Section 28, From O (Office) to UR (Urban Residential).

The applicant has requested to be removed from the April 27, 2021 Planning Commission agenda.

The applicant seeks consideration for rezoning to the BB Big Beaver Zoning District at the May 11, 2021 Planning Commission meeting.