

## **STATEMENT OF PRACTICAL DIFFICULTY**

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. The practical difficulty must be clearly related to as many of the 5 standards below as possible:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.



500 West Big Beaver  
Troy, MI 48084  
troymi.gov

248.524.3364  
planning@troymi.gov

## ZONING BOARD OF APPEALS MEETING AGENDA

Michael Bossenbroek, Chair, David Eisenbacher, Vice Chair  
Thomas Desmond, Aaron Green, Mahendra Kenkre, Jim McCauley,  
Sadek Rahman, Barbara Chambers, Alternate, Jeffrey Forster, Alternate

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**June 15, 2021**

**7:30 P.M.**

**COUNCIL CHAMBERS**

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1. ROLL CALL
2. PROPOSED RESOLUTION TO AMEND RULES OF PROCEDURE TO PERMIT MEMBERS OF THE PUBLIC TO ADDRESS AN ELECTRONIC MEETING:
3. PROCEDURE
4. APPROVAL OF MINUTES – May 18, 2021
5. APPROVAL OF AGENDA
6. HEARING OF CASES
  - A. VARIANCE REQUEST, HART DRIVE RAVISHANKAR BOMMANAHALLY – A variance request to construct a new home 30 feet from the front (Virgilia) property line, where the Zoning Ordinance requires the home to be setback 40 feet.  
  
ZONING ORDINANCE SECTION: 4.06 (C) R-1B Zoning
  - B. VARIANCE REQUEST, 5305 RANGEMORE, KELLY NEFF OF GREAT DAY IMPROVEMENTS– A variance request to construct a home addition 14.5 feet from the rear property line, where the Zoning Ordinance requires the home to be setback 25 feet.  
  
ZONING ORDINANCE SECTION: 7.08 B
7. COMMUNICATIONS
8. MISCELLANEOUS BUSINESS
9. PUBLIC COMMENT
10. ADJOURNMENT

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

WATCH MEETING: [https://troymi.gov/community/government/citycouncil/council\\_meeting\\_webcast.php](https://troymi.gov/community/government/citycouncil/council_meeting_webcast.php) .

JOIN ZOOM MEETING: <https://zoom.us/j/99756245375?pwd=b29keVlaMVh5VExjcm0rMnFnWXpWZz09>

Meeting ID: 997 5624 5375

Passcode: 813506

Phone: 1 312 626 6799

Enter your email address and first and last names. Failure to do so may delay when you are recognized by the Chair to comment.

COMMENTS can be sent to the Zoning Board of Appeals via:

EMAIL [ZBAPublicComments@troymi.gov](mailto:ZBAPublicComments@troymi.gov).

VOICEMAIL: 248.524.3580. no later than 3:00 p.m. on the date of the meeting.

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

**PROPOSED RESOLUTION TO AMEND RULES OF PROCEDURE TO PERMIT  
MEMBERS OF THE PUBLIC TO ADDRESS AN ELECTRONIC MEETING**

RESOLVED, that the Troy Zoning Board of Appeals AMENDS its Rules of Procedure to permit members of the public to address electronic meetings by adding a new Section 10 to Article II as follows:

- .
10. *Electronic meetings: Members of the public may address an electronic meeting in the following three ways:*
- a. *Public comments may be submitted via email. Email received as provided by the rules will be read aloud during the meeting. Email comments may be limited to three minutes.*
  - b. *Public comments may be submitted via voicemail. Voicemail received as provided by the rules will be will be played during the meeting. Voicemail comments may be limited to three minutes.*
  - c. *Members of the public may attend the electronic meeting remotely and participate in a public comment period as provided by the rules. Comments may be limited to three minutes.*



ZONING BOARD OF APPEALS  
FOR THE CITY OF TROY

RULES OF PROCEDURE

ARTICLE I  
ORGANIZATION

1. The Board shall annually, at its regular meeting in the month of May, elect its own Chairperson and Vice-Chairperson to hold office for one year. The Zoning Administrator shall be the Clerk of the Board, provided that the Clerk may appoint other persons to make records of the meetings.
2. The Chairperson shall preside at all meetings of the Board. In the case of the absence of the Chairperson, the Vice-Chairperson shall preside. In the case of the absence of both the Chairperson and the Vice-Chairperson, the most senior Board member in terms of years of service on the Board, shall preside. The presiding officer, subject to these rules, shall decide all points of order or procedure.
3. The Clerk or his or her representative shall keep the minutes of the Board's proceedings, shall have custody of all records of the Board, shall sign all communications of the Board, shall supervise all clerical work of the Board and perform such other duties as may be requested by the Board.

ARTICLE II  
MEETINGS

1. All meetings held by the Board shall be open to the public.
2. Board meetings shall be held on the third Tuesday of each month at 7:30 P.M. except when such day falls on a legal holiday, in which event the Board may designate an alternate meeting date.
3. A resolution supported by the majority of the members present may temporarily suspend any rule of procedure or change the date and time of regular meetings.
4. Special meetings of the Zoning Board of Appeals shall be held at the call of the Chairperson. Notice of the Special Meeting shall be given in a manner as required by the Open Meetings Act and the Zoning Administrator or his or her designee shall notify all members of the Zoning Board of Appeals not less than 24 hours in advance of a Special Meeting.
5. Four members of the Board shall constitute a quorum for conducting of its business. The concurring vote of four (4) members shall be necessary to decide upon appeals of administrative decisions, Zoning ordinance or Zoning Map interpretations, dimensional or other non use variances, and other matters upon which the Board is required to pass under the Zoning Ordinance.

6. Use variances shall require an affirmative vote of two thirds of the board (5 members) for approval.
7. In the event that a Board member is absent or is excused from voting on an item due to a perceived conflict of interest, one of the alternate Board members shall be temporarily seated at the call of the Chairperson.
8. Alternate members who serve and who participate in any agenda item shall continue to serve on the Zoning Board of Appeals for that item until a final decision is reached on the same.
9. The order of business at meetings shall be as follows:
  - a. Opening Statement/Procedure (attached)
  - b. Roll Call.
  - b. Approval of Minutes of Previous Meetings
  - c. Approval of Agenda
  - d. Hearing of Cases
  - e. Communications
  - f. Miscellaneous Business
  - g. Public Comment
  - h. Adjournment
10. Electronic meetings: Members of the public may address an electronic meeting in the following three ways:
  - a. Public comments may be submitted via email. Email received as provided by the rules will be read aloud during the meeting. Email comments may be limited to three minutes.
  - b. Public comments may be submitted via voicemail. Voicemail received as provided by the rules will be will be played during the meeting. Voicemail comments may be limited to three minutes.
  - c. Members of the public may attend the electronic meeting remotely and participate in a public comment period as provided by the rules. Comments may be limited to three minutes.

### ARTICLE III VARIANCES & APPEALS

1. All applications to the Zoning Board of Appeals shall be filed with the City. Application forms may be obtained from the Planning Department. A copy of each application shall be served upon the Planning Department, which shall transmit to the Board all information constituting the application.

On April 20, 2021 at 7:31 p.m., via a remote meeting Glenn Clark, called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bossenbroek  
David Eisenbacher  
Aaron Green  
James McCauley  
Sadek Rahman  
Glenn Clark  
Mahendra Kenkre  
Thomas Desmond

Also Present:

Paul Evans, Zoning and Compliance Specialist  
Allan Motzny, Assistant City Attorney  
Jackie Ferencz, Planning Administrative Assistant

RESOLUTION TO ALLOW PARTICIPATION IN PUBLIC MEETINGS BY ELECTRONIC MEANS

Moved by McCauley  
Second by Desmond

Yes: All

RESOLVED, to approve the new standards to allow participation in public meetings by electronic means.

MOTION PASSED

2. PROCEDURE- read by Vice Chair Bossenbroek

3. APPROVAL OF MINUTES – April 20, 2021

Moved by Eisenbacher  
Seconded by Green

RESOLVED, to approve the April 20, 2021 meeting minutes.

Yes: All

MOTION PASSED

4. APPROVAL OF AGENDA – Addition of Item #8 to elect a Board

5. HEARING OF CASES:

- A. VARIANCE REQUEST, 116 EVALINE, JOZEF OLSZEWSKI: A variance to allow an accessory building (garage/shed) to be setback 5 feet from the rear property line where the Zoning Ordinance requires the building to be 6 feet from the rear property line. The building has already been constructed.

ZONING ORDINANCE SECTION: 7.03 B 2 e

Moved by Green  
Second by Desmond

Amendment to Resolution.  
to amend the Resolution to apply variance request to the building only.

Moved by Eisenbacher  
Second by Desmond

Yes McCauley, Rahman, Clark, Green, Desmond, Eisenbacher:  
No: Bossenbroek

RESOLVED, to approve the request with resolution amendment.

Yes: Rahman, Clark, Green, Desmond, Eisenbacher,  
No: Bossenbroek, McCauley

MOTION PASSED

- B. VARIANCE REQUEST, 500 W. LONG LAKE, DENNIS BOSTICK: A variance to allow the creation of two new parcels of land, each of which will have zero frontage along the constructed portion of the right of way. The Zoning Ordinance requires each parcel to have 110 feet of frontage along a constructed portion of the right of way.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning

Moved by Eisenbacher  
Second by Desmond

RESOLVED, to approve request.

YES: Clark, Desmond, Bossenbroek, Eisenbacher  
NO: Rahman, Green, McCauley

MOTION PASSED

6. COMMUNICATIONS – None

STAND AT EASE CALLED BY CHAIR CLARK FROM 8:55PM-9:00PM

7. MISCELLANEOUS BUSINESS – Mr. Motzny presented ZBA training.

8. ELECTION OF OFFICERS

MOTION to appoint Vice Chair Bossenbroek as Chairperson

Moved by Clark

Second by Desmond

YES: ALL

MOTION PASSED

MOTION to appoint Eisenbacher as Vice Chairperson

Moved by Clark

Second by Desmond

9. PUBLIC COMMENT –

10. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 10:53 pm

Respectfully submitted,

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Glenn Clark, Chairman

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Paul Evans, Zoning and Compliance Specialist

## **RESOLUTION TEMPLATE**

Moved by:

Seconded by:

That the variance request for [applicant name, address or location], for [request]

*Be granted for the following reasons:*

The applicant has demonstrated that:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:

Nays:

**MOTION CARRIED / FAILED**

Moved by:  
Seconded by:

That the variance request for [applicant name, address or location], for [request]

*Be denied for the following reason(s):*

The applicant has not demonstrated that:

- f) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- g) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- h) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- i) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- j) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:  
Nays:

**MOTION CARRIED / FAILED**

Moved by:  
Seconded by:

***RESOLVED***, that the variance request for [applicant name, address or location], for [request]

*Be postponed for the following reason(s):*

Yeas:  
Nays:

**MOTION CARRIED / FAILED**

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## ZONING BOARD OF APPEALS – OPENING STATEMENT

Zoning Board of Appeals is a group of seven of your neighbors appointed by City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Petitioners must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

## PROCEDURE

The Board will hear the items in the order that they appear on the agenda. When an item is called, the Chairman will verify that the petitioner is present. Then the City Administration will summarize the facts of the case. The petitioner will then be given an opportunity to address the Board to explain the justification for the action requested.

After the petitioner makes their presentation, and answers any questions that the Board may have, the Chairman will open the Public Hearing. At the conclusion of public comments, the Chairman will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.

2. In addition to the information required on the forms, each application shall contain the following information:
  - a. The order being appealed or the section of the zoning ordinance from which a variance is sought.
  - b. The reasons for appeal.
  - c. Plans drawn to approximate scale showing shape and dimensions of lots, existing buildings and buildings to be erected, altered or changed, and any other information with regard to the lot or neighboring lots, and the proposed or existing use, as deemed necessary by the Zoning Administrator.
  - d. A clear and accurate description of the proposed use, construction, or work.
  - e. Any other information necessary to clearly explain the nature of the request.
3. The applicant may appear on his or her own behalf or may be represented at the hearing by an attorney or authorized agent.
4. The Hearing Procedure for Use Variances is governed by Section 15.05 B.3 of the Zoning Ordinance. For all other appeals, the order of procedure of hearings shall be:
  - a. Calling of the Case by the Chairperson
  - b. City Staff introduction of the case.
  - c. Applicant's presentation of the case.
  - d. Open public hearing to interested persons.
  - e. Close public hearing
  - f. Applicant rebuttal or clarification of public comments
  - g. Board deliberation and motion and decision.
5. Time limits during public hearings: The Board may establish time limits for presentations to the Board in those cases where it is evident that a particular item is likely to involve public comments from several individuals.
6. The Board may require, of the applicant, additional information necessary to fully advise the Board.

#### ARTICLE IV DISPOSITION OF BOARD ACTION

1. The decision of the Board shall be in writing, and, so far as it is practicable, in the form of a general statement or resolution reciting the conditions, facts and findings of the

Board. The applicant shall be advised of the Board's decision by mail or e-mail, within a reasonable time after the hearing unless the Board moves for a continuation of the hearing, or unless the Board decides that, in its opinion, immediate notification is necessary.

2. The applicant may withdraw the appeal at any time prior to the final action by the Board.

## ARTICLE V MISCELLANEOUS

These rules of procedure are subject to and controlled by the Troy City Code and the Michigan statutes applicable to Zoning Boards of Appeal.

## ARTICLE VI AMENDMENTS

These rules of procedure may be amended at any regular meeting upon an affirmative vote of the majority of the entire membership of the Board provided that any amendment or modification is consistent with the applicable Troy City Code and Michigan statutes.

## ZONING BOARD OF APPEALS – OPENING STATEMENT

Zoning Board of Appeals is a group of seven of your neighbors appointed by City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Petitioners must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

## PROCEDURE

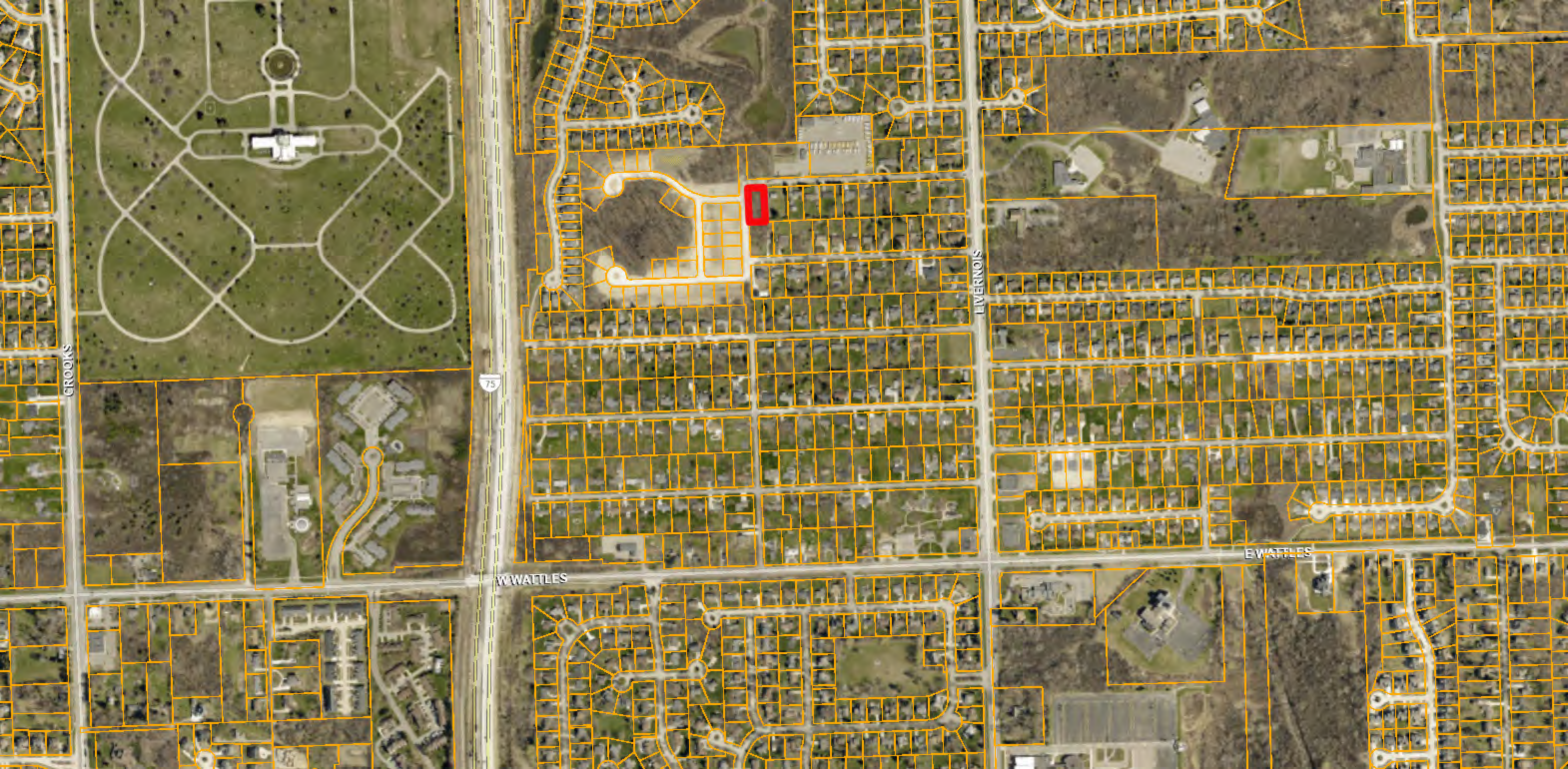
The Board will hear the items in the order that they appear on the agenda. When an item is called, the Chairman will verify that the petitioner is present. Then the City Administration will summarize the facts of the case. The petitioner will then be given an opportunity to address the Board to explain the justification for the action requested.

After the petitioner makes their presentation, and answers any questions that the Board may have, the Chairman will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairman and come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons

for their opinion. Comments must be directed through the Chairman. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairman to speak at one time.

At the conclusion of public comments the Chairman will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.









BRACKEN

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LIVERMORE



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VIRGILIA

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HART







CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **29 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 00 Hart Drive
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-16-427-056
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: 4.06(C) & 4.06 (D)(3)
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No.
5. APPLICANT:  
NAME Ravishankar Bommanahally  
COMPANY \_\_\_\_\_  
ADDRESS 264 Harrington Drive  
CITY Troy STATE MI ZIP 48098  
PHONE (586) 539-6013  
E-MAIL ravishankar.bommanahally@gmail.com  
AFFILIATION TO THE PROPERTY OWNER: Currently under contract to purchase property.



CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME AFN Management

COMPANY \_\_\_\_\_

ADDRESS 1742 Lincolnshire Drive

CITY Rochester Hills STATE MI ZIP 48309


TELEPHONE (248) 840-3111

E-MAIL alex.nugent1@gmail.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Ravishankar Bommanahally (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE  DATE 04/21/2021  
 PRINT NAME: Ravishankar Bommanahally

PROPERTY OWNER SIGNATURE  DATE 04/21/2021  
 PRINT NAME: Alex Nugent for AFN Management

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

## **Statement of Practical Difficulty**

The vacant land with the property identification number 88-20-16-427-056, which is located on the southeast corner of Hart Drive and Virgilia Drive in Troy, MI was originally two lots – one with 45 ft. of frontage and the other with 47 ft. of frontage on Hart Drive. In 2018, both lots were purchased by AFN Management and combined into a single lot with approximately 92 feet of frontage.

However, even as a combined lot, the property was non-conforming since the neighborhood is zoned R-1B, which requires 100 ft. of frontage. Of the 9 properties located on the south side of Hart Drive, 7 are non-conforming in terms of frontage, each having 90-92 ft. of frontage rather than the required minimum of 100 ft. My understanding is this occurred because the homes on Hart Drive were built in the late 1960s and early 1970s, before the current Troy Zoning Ordinance was adopted.

It should be noted that the properties along the south side of Hart Drive exceed R-1B standards in terms of area, with each property having an area of approximately 18,000 sq. ft. The Troy Zoning Ordinance Article 4.06 (C) stipulates that properties zoned R-1B must have a minimum of 15,000 sq. ft.

The narrowness alone of the property for which a variance is being requested would not have been a problem for the current owner or the applicant, who is a prospective buyer of the land, were it not for a second, more recent factor that changed the side setback requirements.

At the time when the current owner purchased the vacant land on Hart Drive in Feb. 2018, the street was described in the real estate listing as a dead end street. Photographs taken by the current owner when he purchased it show that the property - as well as a large tract of vacant land (approx. 19 acres) beyond it owned by the Troy School District - was heavily wooded. Two photographs show a barrier at the end of Hart Drive with a sign that reads "Dead End" (see photos on pages 6 & 7 of this application). Virgilia Drive did not exist yet and the current owner's property at the end of Hart Drive was not a corner lot.

The owner of the property had no idea that his land would become very difficult to build on because it would become a corner lot - subject to a double front setback - when the land to the west of his property was purchased by a large developer and Virgilia Drive was developed. This combination: a lot that became classified as non-conforming when the current Zoning Ordinance was adopted and the very recent development of a road that turned the property into a corner lot has caused both the current property owner and the applicant for a variance a hardship that is difficult to overcome.

We are requesting that the 40 ft. side setback required by the Ordinance because the property is now a corner lot be reduced to 30 ft. so that a 52-ft. wide, 3,600 sq. ft. home can be built on the land. The applicant for this variance and his agent have discussed possible floor plans with several builders and have not found one who could build such a home using their existing floor plans within the 42 ft. wide building envelope imposed by a combination of the narrow lot and the double front setback requirement caused by the development of Virgilia Drive. However, it is possible to build such a home within a 52 ft. wide building envelope.

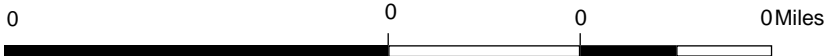
It should be noted that on the west side of Virgilia Drive, opposite the property for which the applicant is seeking this variance, the lots in the new Troy Meadows community, which is a cluster development and therefore not subject to R-1B zoning regulations, measure

75 ft. frontage x 110 ft. depth (8,250 sq. ft.) and appear to have a front setback of 25 ft. (This information could not be confirmed by the Troy Planning Department before the application deadline.) The homes in West Troy Meadows are similar in size and type to the one the applicant for this variance wishes to build on the vacant land on Hart Drive. In addition, the developer of West Troy Meadows is in the process of purchasing 224 Webb Drive, which backs up to the vacant land on Hart Drive for which the applicant is seeking a variance. At a Zoning Board of Appeals meeting in December 2020, the developer of West Troy Meadows was given a variance to split 224 Webb Drive into two lots that will face Virgilia despite the fact that one of the two lots is considerably smaller in area than the 15,000 sq. ft. required under R-1B zoning as well as being non-conforming in width and frontage.

Both the current owner of the vacant land on Hart Drive and the prospective buyer have been unduly impacted by the combination of a narrow lot and the recent imposition of a double front setback requirement. They hope that the hardship they face due to these circumstances will be alleviated by the Zoning Board of Appeals approving their variance application and allowing a 30 ft. side setback on the west side of the vacant land on Hart Drive.



# GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



## HART DRIVE PHOTOS WHEN LAND WAS PURCHASED (2018)

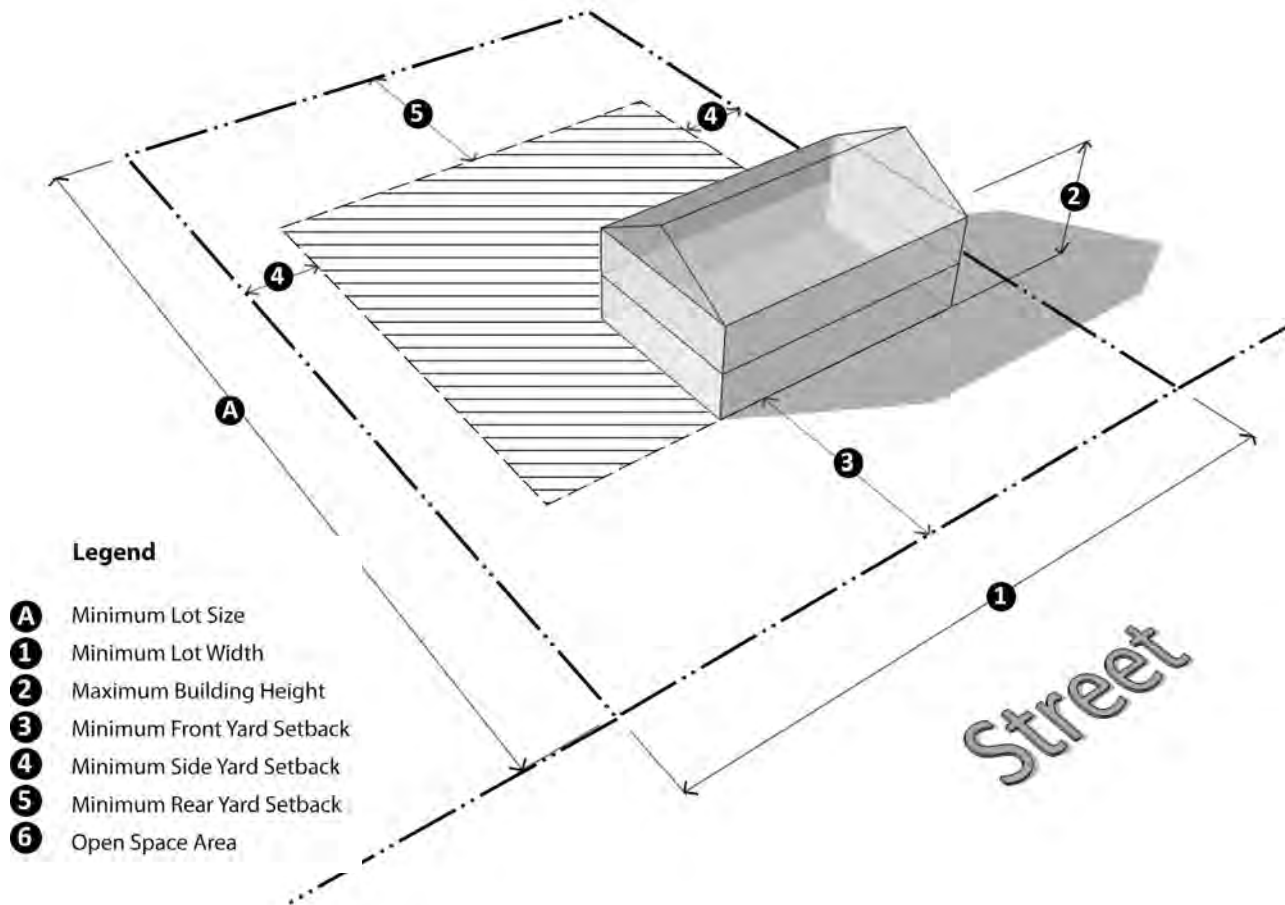




## HART DRIVE PHOTOS AFTER DEVELOPMENT BEGAN (2020)







Minimum Lot Size Per Dwelling Unit				Maximum Height		Minimum Yard Setback (R) (Per Lot in Feet)				Minimum Floor Area Per Unit (Square Feet)	Maximum % of Lot Area Covered by Buildings
Use District	Area in Sq. Ft.	Width in Ft.	Frontage in Ft.	In Stories <b>2</b>	In Feet <b>2</b>	Front	Sides		Rear		
	<b>1</b>	<b>1</b>	<b>1</b>			<b>3</b>	Least One <b>4</b>	Least Two <b>4</b>	<b>5</b>		
R-1A					30						
No Sewer	30,000	150	150	2 1/2		40	15	30	45	1,400	30%
Sewer	21,780	120	120	2 1/2		40	15	30	45	1,400	30%
R-1B					30						
No Sewer	21,780	110	110	2 1/2		40	15	30	45	1,400	30%
Sewer	15,000	100	100	2 1/2		40	10	25	45	1,400	30%
R-1C					30						
No Sewer	21,780	110	110	2 1/2		30	15	30	40	1,200	30%
Sewer	10,500	85	85	2 1/2		30	10	20	40	1,200	30%
R-1D					30						
No Sewer	21,780	110	110	2 1/2		25	15	30	40	1,000	30%
Sewer	8,500	75	75	2 1/2		25	8	20	40	1,000	30%
R-1E					30						
No Sewer	21,780	110	110	2 1/2		25	15	30	35	1,000	30%
Sewer	7,500	60	60	2 1/2		25	5	15	35	1,000	30%



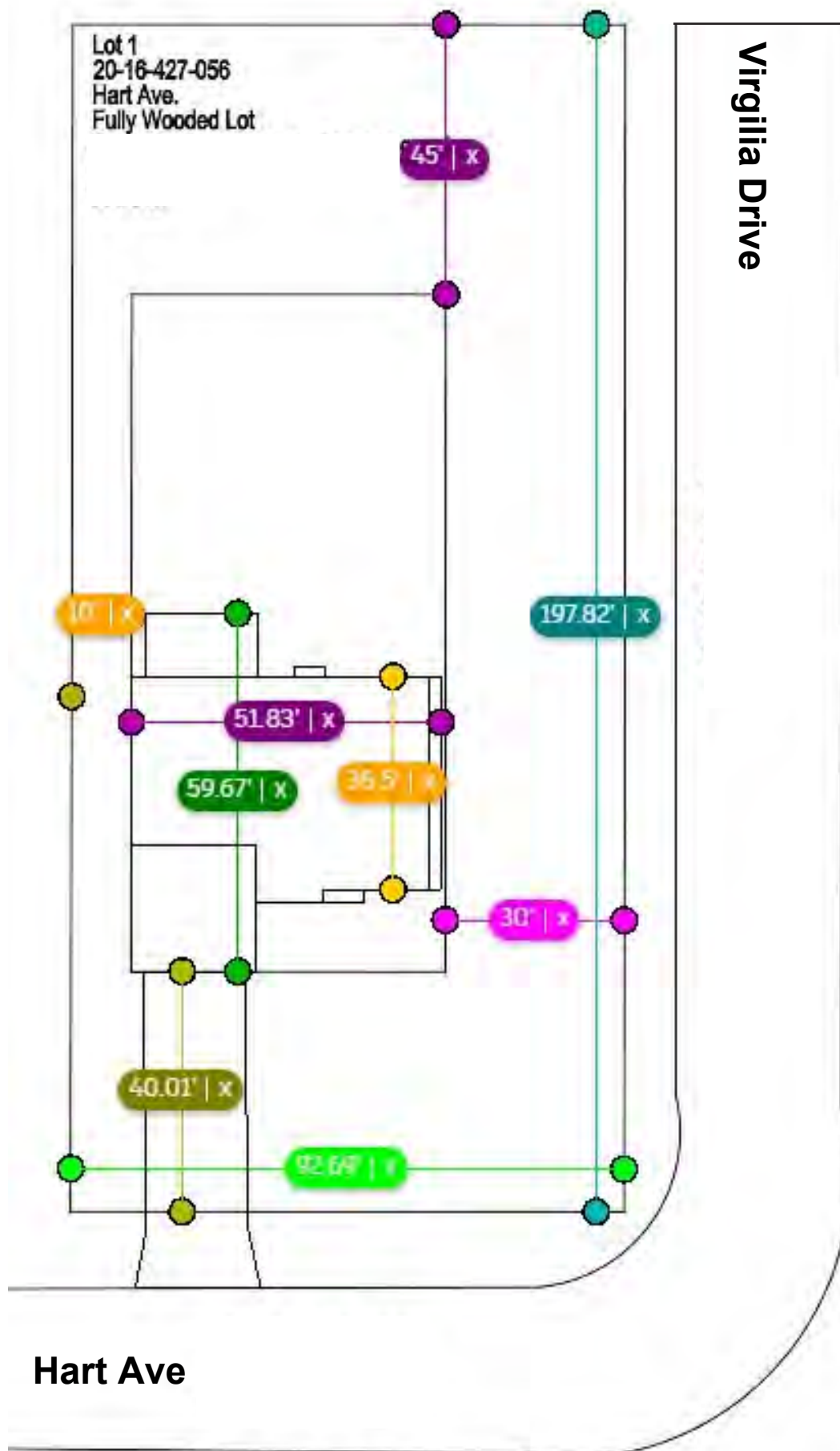
D. Supplemental District Standards.

1. Whenever a [lot](#) or acreage parcel abuts a [major arterial](#), the yard [setback](#) abutting said major arterial shall be at least fifty (50) feet from the existing right-of-way line, whichever is greater. This ordinance does not prohibit expansion behind the fifty (50) foot setback. This requirement shall not apply to subdivisions for which Tentative Approval was granted prior to January 1, 1976.
2. Whenever a [lot](#) or parcel abuts I-75, the yard [setback](#) abutting the right-of-way of I-75 shall not be less than seventy-five (75) feet.
3. The [side yard](#) abutting upon a [street](#) shall not be less than the greater of the side yards required for the [District](#) in which located when there is a common [rear yard](#) relationship in the block and a common side yard relationship with the block directly across the common separating street. In the case of a rear yard abutting a side yard or when a side yard is adjacent to a [front yard](#) across a common separating street, the side yard abutting a street shall not be less than the minimum front yard of the District in which located, and shall be considered as a front yard.
4. Variation in Appearance. In any one-family residential [district](#), there shall be variation in the appearance of the one-family detached residential [dwellings](#). Variation shall be defined as a minimum of three (3) substantial structural or architectural differences. A dwelling's front elevation shall only occur in the same or a substantially similar structural or architectural form once within three (3) contiguous lots on the same street frontage. Substantial architectural differences include but are not limited to the following:
  - a. Hip roof versus gable roof.
  - b. Standard window versus bay window projections.
  - c. Side entry garage versus front entry garage.
  - d. Two car garage versus three car garage.
  - e. Gable roof versus reverse gable roof.
  - f. Differing window designs involving architectural styles and sizes.
  - g. Use of dormers versus no dormers.
5. Maximum [lot coverage](#) may be modified for projects obtaining Sustainable Design Project status for measures specifically related to the proposed modification, as set forth in [Section 12.01, Sustainable Design Options](#).
6. Lot Frontage on Corner Lots, Curved Roads, and Culs-de-Sac.
  - a. On all [corner lots](#), the [frontage](#) set forth shall be measured on one (1) [street](#) only.

## 00 Hart Drive Setback Requirements and Proposed Setbacks for New Home

Area (sq. ft.)	Width (ft.)	Frontage (ft)	Minimum Nr. Stories	Height (ft.)	Front Setback (ft.)	Rear Setback (ft.)	Side – Least One (ft.)	Side – Least Two (ft.)	Minimum Floor Area (sq. ft)	Max. % of lot covered by building
<b>R-1B Setback Requirements Prior to Troy Meadows Development</b>										
15,000	100	100	2.5	30	40	45	10	25	1400	30%
<b>Current Setback Requirements (as a corner lot)</b>										
15,000	92	92	2	30	40	45	10	50	1400	30%
<b>Proposed Setbacks for New Home</b>										
18,216	92	92	2	30	40	45	10	40	3500	19%

# HART DRIVE VACANT LAND WITH HOME AND NEW PROPOSED SETBACKS





Signature Series

THE PRINCETON



3,099-3,695 Sq. Ft. | 4-5 Bedrooms | 2.5-4 Baths



F



D



E



A



B



C

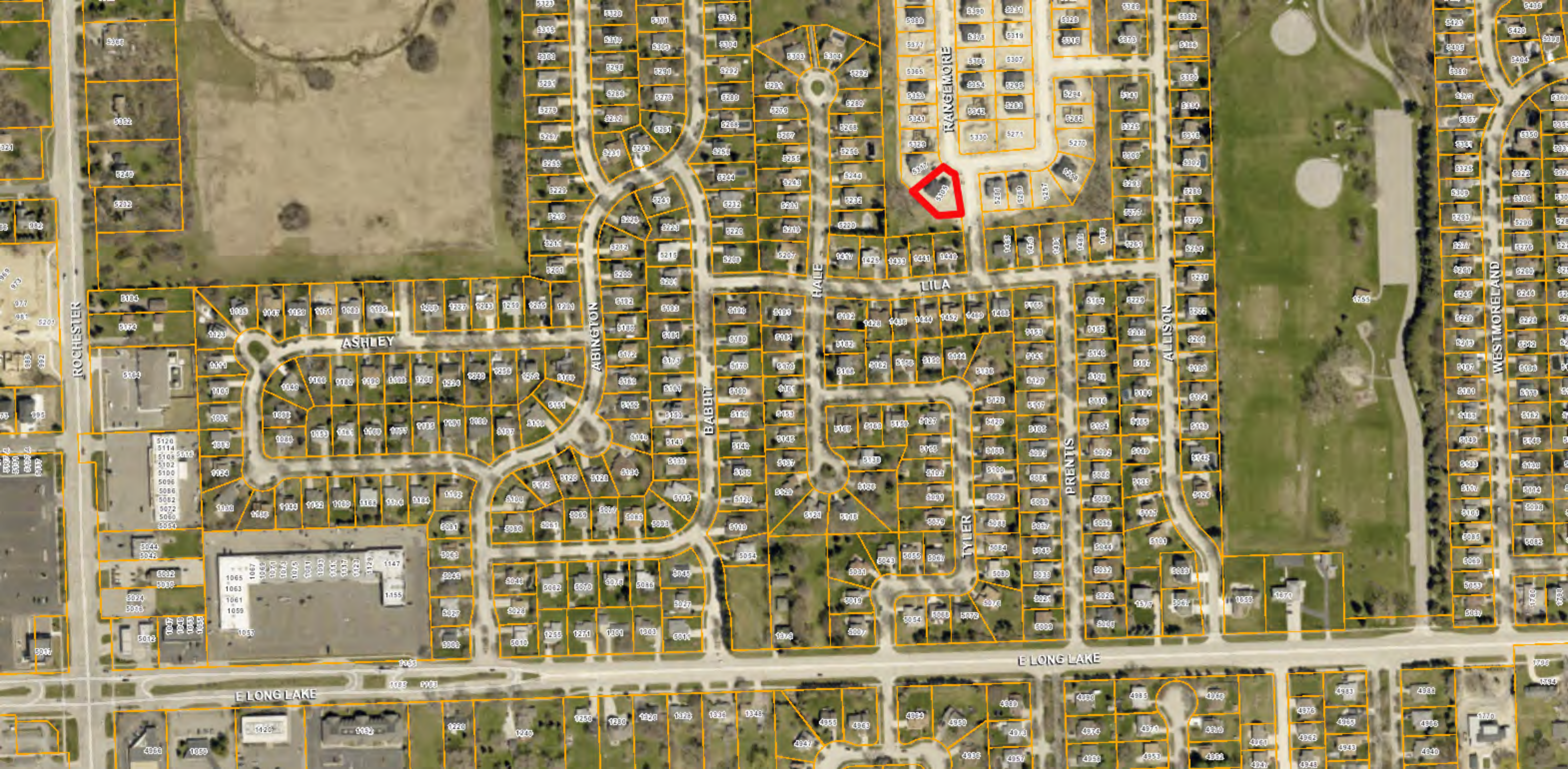
3,099-3,695 Sq. Ft. | 4-5 Bedrooms | 2.5-4 Baths


**SECOND FLOOR PLAN**

**FIRST FLOOR PLAN**

This depiction represents an artist's conception of the elevation and floor plan and is not intended to be an exact representation or show specific detailing. Plans remain subject to change without notice. Drawings are not to scale. All measurements shown are approximate and not necessarily to scale. Location, size and construction of doors, windows, wall, fireplaces and any other items depicted may vary depending on elevation preference or choice of options and are subject to change without notice. Some options and elevations shown may not be available in every neighborhood; see Sales Manager for details. Due to normal construction tolerances, the room sizes shown may vary slightly. The Builder may change home design, materials, features and methods of construction without prior notice. Model homes may contain some optional features not available through the Builder.





RANGEMORE

5205

LILA

HALE

BABBITT

ABINGTON

ASHLEY

ALLISON

PRENTIS

TYLER

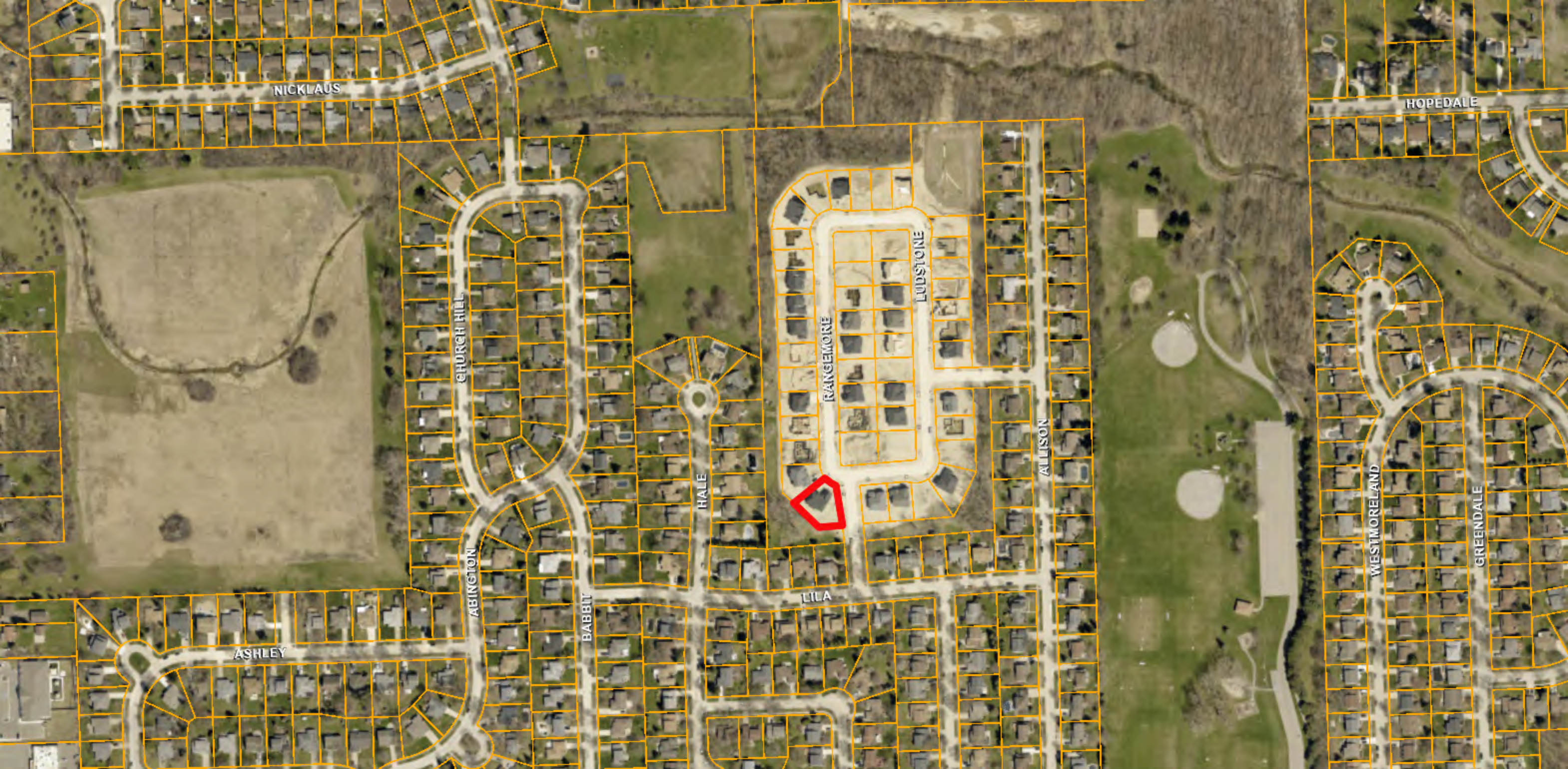
E LONG LAKE

E LONG LAKE

ROCHESTER

WESTMORELAND





NICKLAUS

HOPEDALE

CHURCH HILL

ABINGTON

ASHLEY

BABBIT

HALE

RANGE MORE

LUDSTONE

ALLISON

LILA

WESTMORELAND

GREENDALE







5256

5244

5232

5220

5329

5317

5305

5281

HALE





CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 5305 Rangemore Dr.
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-11-406-008
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: R-1E
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: N/A
5. APPLICANT:  
NAME Kelly Neff  
COMPANY Great Day Improvements  
ADDRESS 11895 Wayne Rd. Suite 104  
CITY Rolulus STATE MI ZIP 48174  
PHONE (440) 462-3700  
E-MAIL Detroit@greatdayimprovements.com  
AFFILIATION TO THE PROPERTY OWNER: GC



CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME Chet Patel

COMPANY N/A

ADDRESS 5305 Rangemore Dr.

CITY Troy STATE MI ZIP 48085

TELEPHONE (313) 585-8048

E-MAIL chetan130@gmail.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Kelly Neff (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE Kelly Neff DATE 5/10/21

PRINT NAME: Kelly Neff

PROPERTY OWNER SIGNATURE Chetan Patel DATE 05/10/2021

PRINT NAME: CHETAN PATEL

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



700 East Highland Road  
Macedonia, OH 44056  
Phone 216-341-7700  
Fax 440-526-4470

5/10/2021

City of Troy, Michigan  
Zoning Board of Appeals  
Statement of Practical Difficulty

To whom it may concern:

Great Day Improvements LLC, on behalf of the homeowner Chet Patel, are requesting a variance at 5305 Rangemore Dr.

We are attempting to build a new deck and install a sunroom on the rear of the home. However, due to the angled rear property line, our room will encroach on the rear yard set back by approximately 10.5'. There is an open field for the neighborhood's common area behind the property.

There are no other characteristics making compliance with the rear yard set back difficult, other than the property line being at an angle and backing up to the common area.

The proposed variance will not be harmful or otherwise alter any characteristics of the property.

Thank you for taking the time to review this matter and we look forward to a response

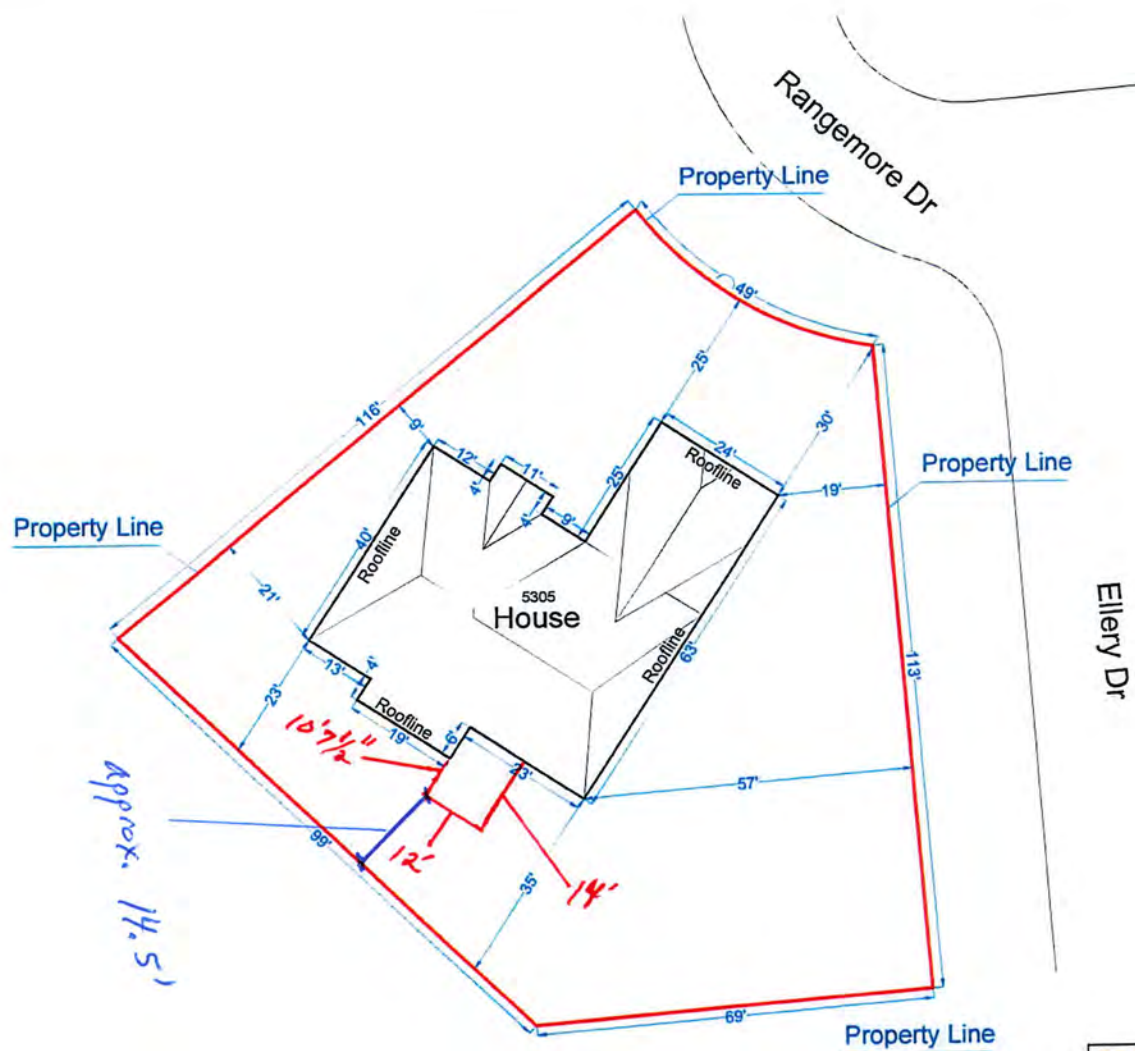
Kelly Neff

Field Supervisor



CORPORATE OFFICES: 720 Highland Road E | Macedonia, OH 44056 | 800-230-8301  
greatdayimprovements.com | patioenclosures.com | stanekwindows.com





5305 Rangemore Dr  
Troy, MI 48085  
1":20'





5256

5244

5232

5220



5305 Rangemore  
Dr, Troy, MI 48085

Elley Dr

Elley Dr

Elley Dr

Google





GREAT DAY IMPROVEMENTS, DETROIT  
PATEL RESIDENCE

DRAWING #	DESCRIPTION
1	COVER
2	ELEVATION "B" WALL
3	ELEVATION "A" & "C" WALL
4	DECK PLAN
5	ELECTRICAL PLAN
6	FLOOR PLAN
7	ROOF PLAN
8	STANDARD DECK DETAILS
9	STANDARD DECK DETAILS
10	SYSTEM DETAILS
11	SYSTEM DETAILS
12	SYSTEM DETAILS

MINIMUM DESIGN LOADS: PER 2015 IRC

SUNROOM CATEGORY II (PER 2015 IRC R301.2.1.1.1  
& AAMA / NPEA / NSA 2100))

SNOW LOADS: GROUND SNOW LOAD 20 PSF

ULTIMATE DESIGN WIND SPEED: 115 MPH, 3 SEC. GUSTS

LIVE LOADS:

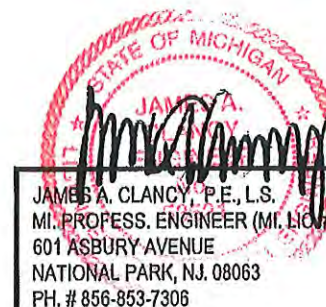
1. ROOF: 30 PSF
2. FLOOR: 40 PSF

THIS SUNROOM IS NOT TO BE CONDITIONED  
OR USED AS A PERMANENT LIVING AREA.

NOTES:

1. COMFORTVIEW (CV7) SUNROOM; SANDSTONE IN COLOR
2. CONSTRUCT SUNROOM ON NEW DECK
3. NO HEAT BY GDI, ELECTRICAL BY GDI
4. ALL CONCRETE TO BE 3000 PSI MINIMUM
5. ALL LUMBER TO BE SPF #2 OR BETTER AND PRESSURE TREATED WHERE REQUIRED
6. THIS SUNROOM IS CONSIDERED AS NON-CONDITIONED SPACE, EXEMPT FROM ENERGY REQUIREMENTS (PER 2015 IRC SECTION N1102.1, NOTE 2)

THIS SUNROOM AND FOUNDATION HAVE BEEN EVALUATED FOR  
DESIGN LOADS REQUIRED BY THE IRC CODE. THIS INCLUDES ALL  
MATERIALS, COMPONENTS, CONNECTIONS, AND ATTACHMENTS  
WHEN CALCULATING THE LOAD REQUIREMENTS.



LOCATION

GDI - DETROIT  
11895 WAYNE ROAD, SUITE 104  
ROMULUS, MI 48174  
313-636-1324

CHET PATEL  
5305 RANGEMORE DRIVE  
TROY, MI. 48065  
JOB #35325

DATE  
3/22/21

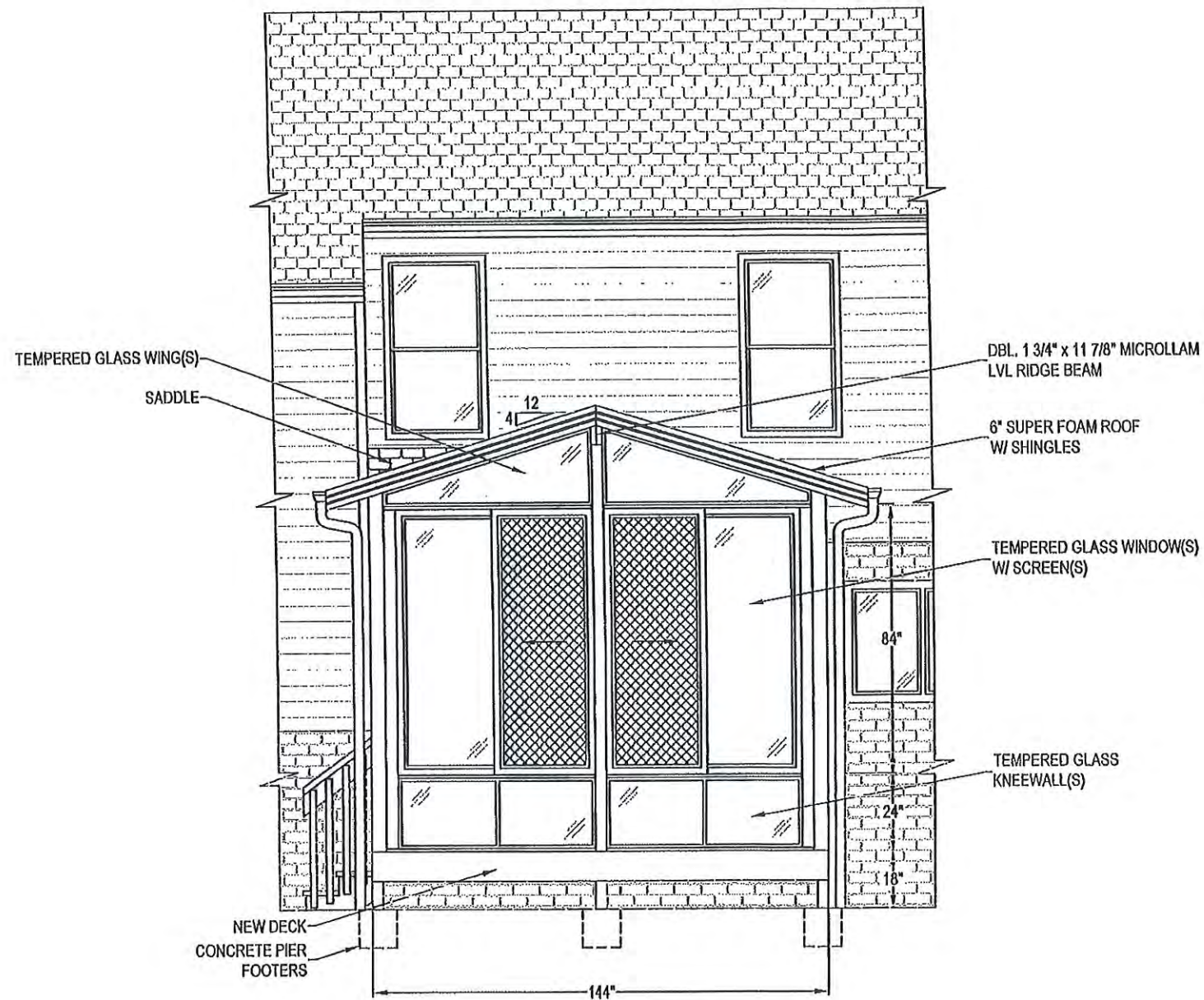
DRAWN  
VNG

SCALE  
1/4" = 1'-0"

SHEET  
1 OF 12

THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC. AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.





ELEVATION - "B" WALL

  
 JAMES A. CLANCY, P.E., L.S.  
 MI. PROFESS. ENGINEER (MI. LIC. #6201253521)  
 601 ASBURY AVENUE  
 NATIONAL PARK, NJ. 08063  
 PH. # 856-853-7306



LOCATION	GDI - DETROIT 11895 WAYNE ROAD, SUITE 104 ROMULUS, MI 48174 313-636-1324
CHET PATEL	5305 RANGEMORE DRIVE TROY, MI. 48065 JOB #36925
DATE	3/22/21
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	2 OF 12

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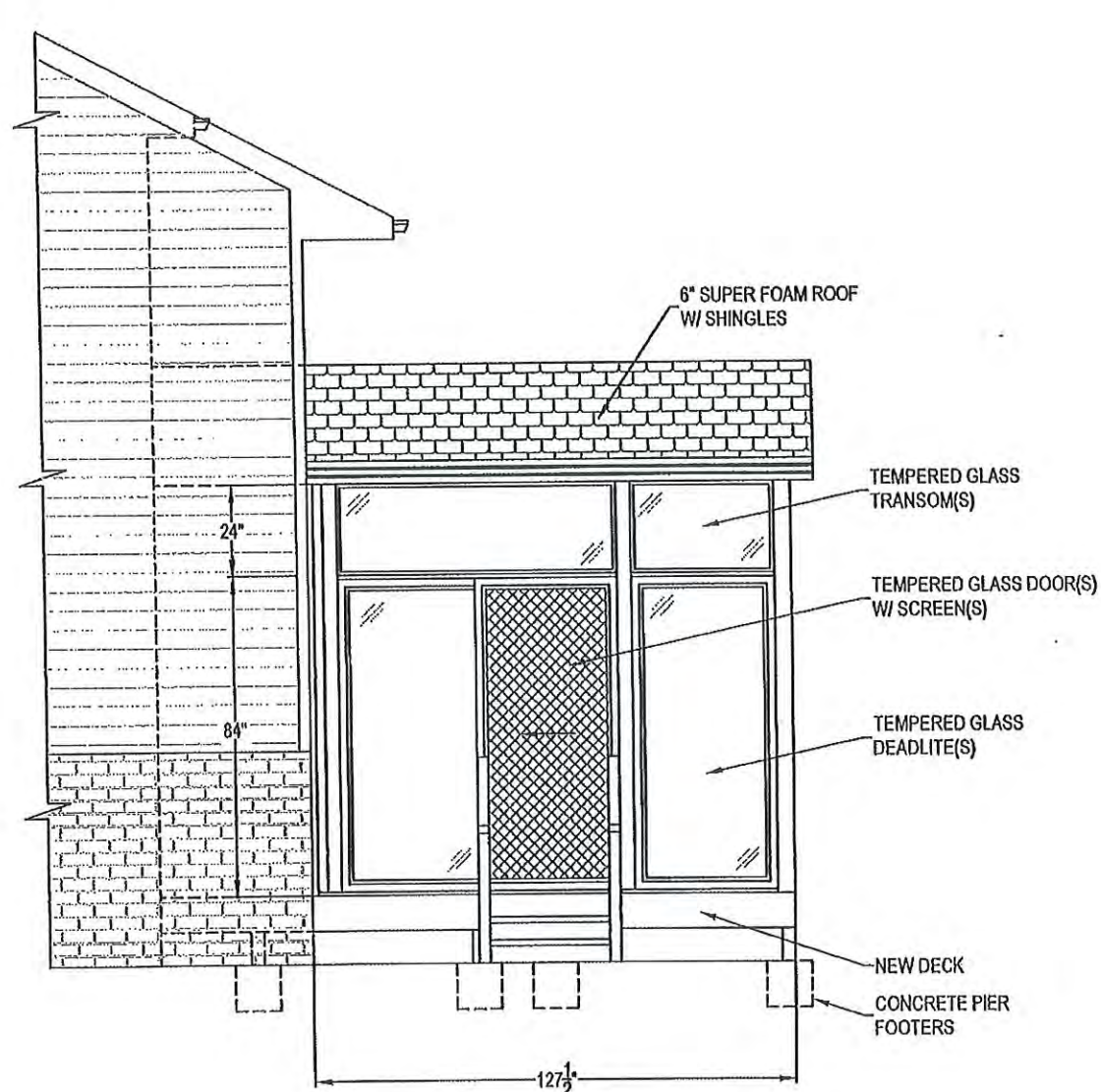
LOCATION

GDI - DETROIT  
11895 WAYNE ROAD, SUITE 104  
ROMULUS, MI 48174  
313-636-1324

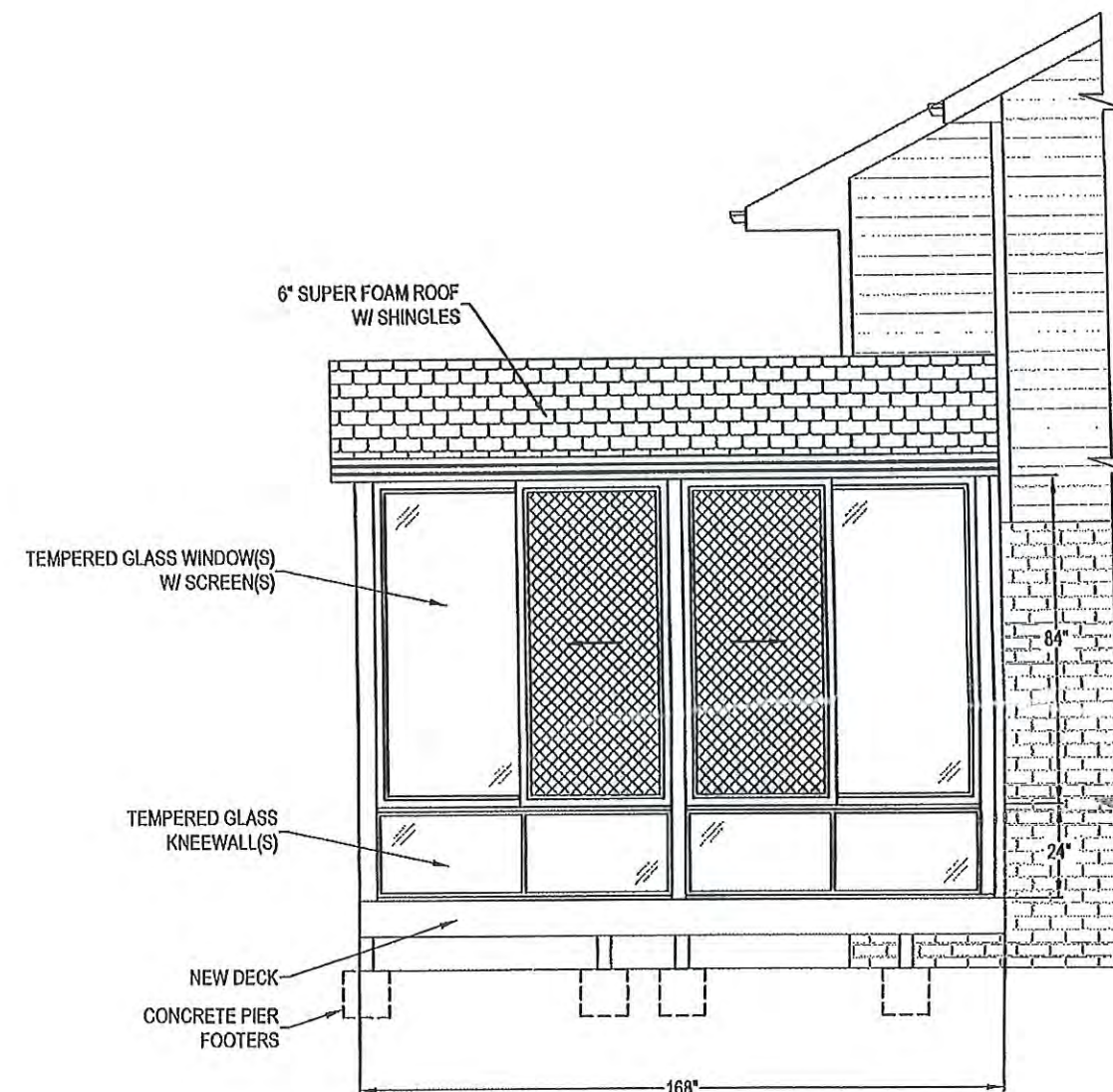
CHET PATEL  
5305 RANGEMORE DRIVE  
TROY, MI. 48065  
JOB #36925

DATE	3/22/21
DRAWN	VNG
SCALE	1/4" = 1'0"
SHEET	3 OF 12

JAMES A. CLANCY, P.E., L.S.  
MI. PROFESS. ENGINEER (MI. LIC. #6201253521)  
601 ASBURY AVENUE  
NATIONAL PARK, NJ. 08063  
PH. # 856-853-7306



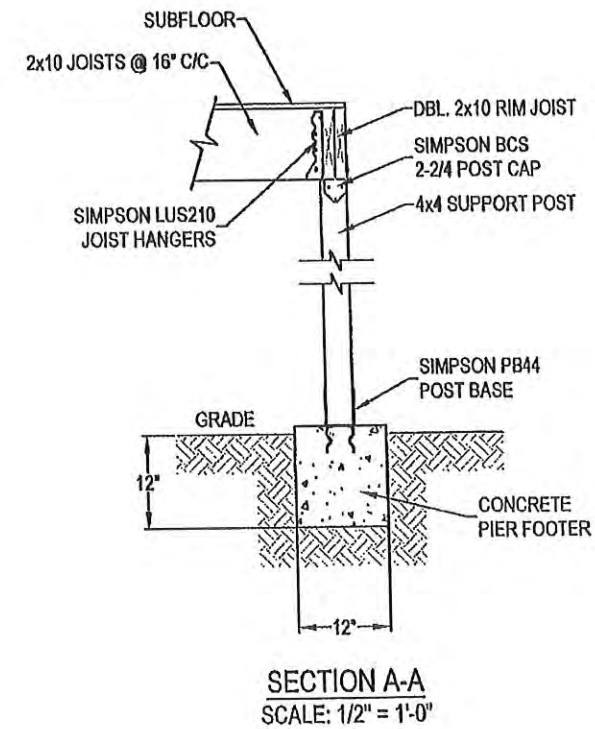
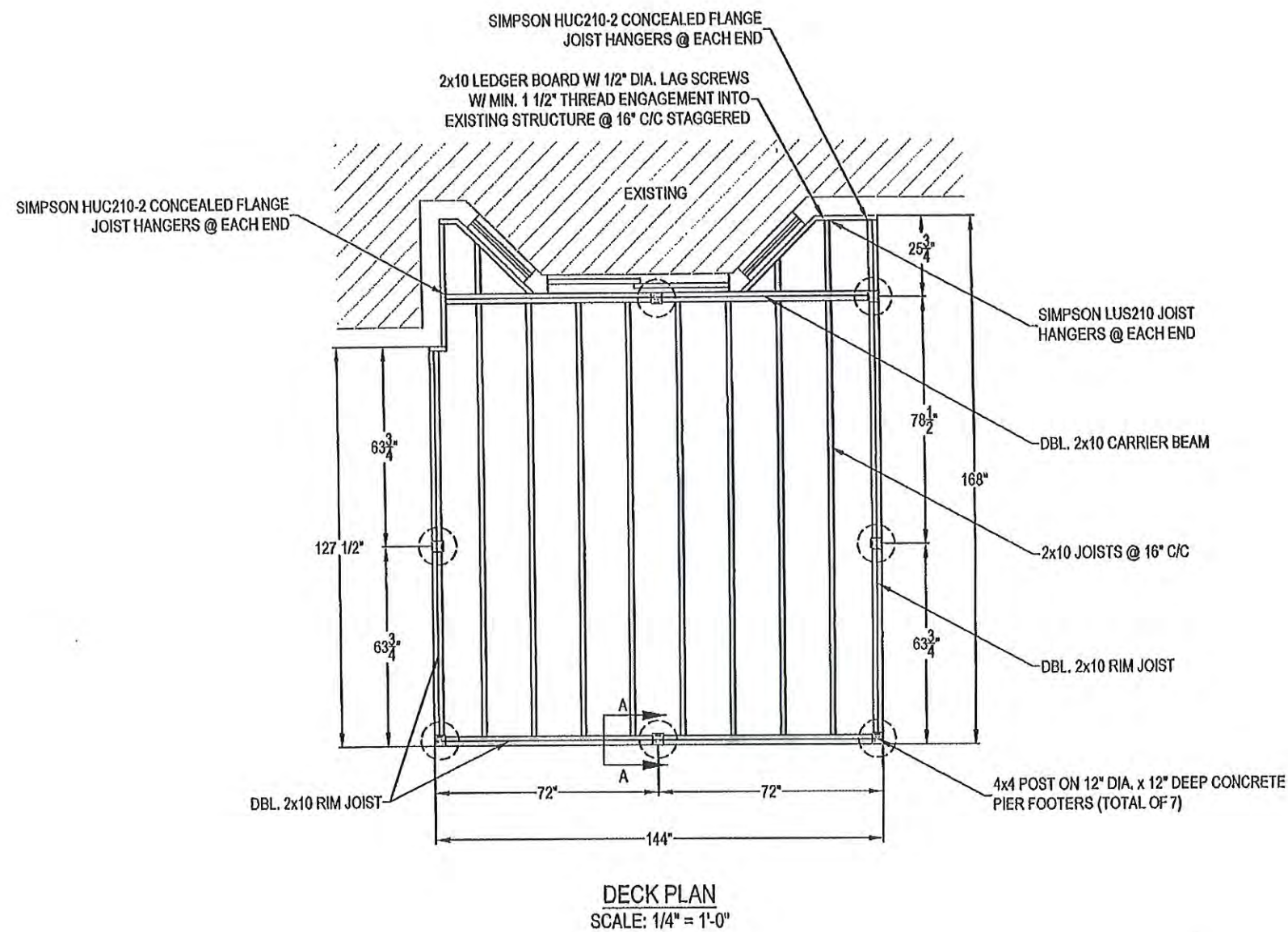
ELEVATION - "A" WALL



ELEVATION - "C" WALL

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**LOCATION**  
GDI - DETROIT  
11895 WAYNE ROAD, SUITE 104  
ROMULUS, MI 48174  
313-636-1324






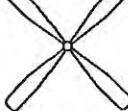
**CHET PATEL**  
5305 RANGEMORE DRIVE  
TROY, MI. 48065  
JO13 #36925

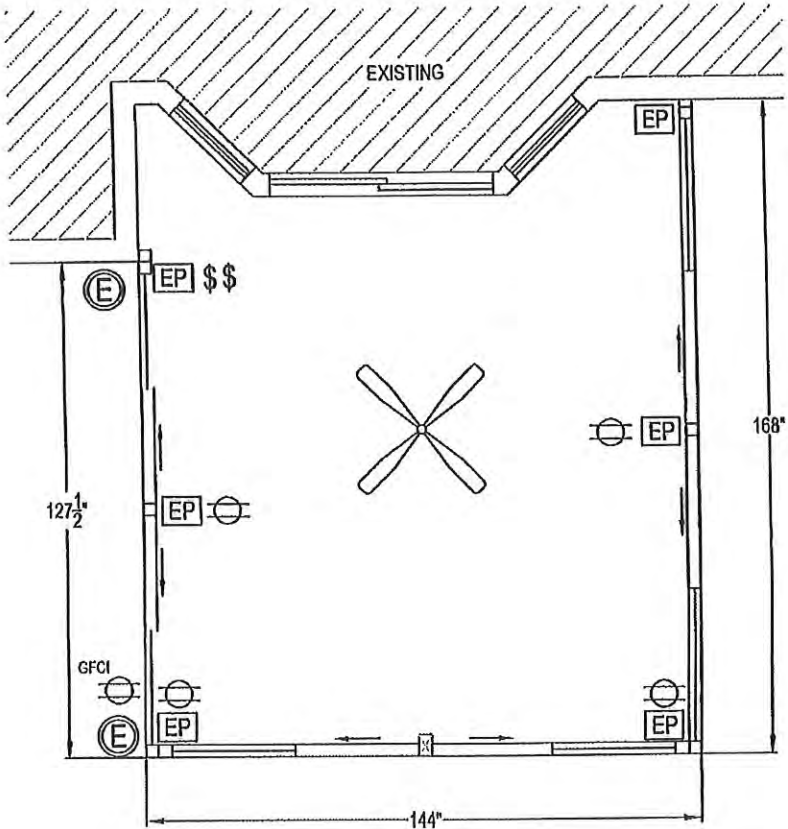
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3/22/21  
**DRAWN**  
VNG  
**SCALE**  
AS NOTED  
**SHEET**  
4 OF 12

**JAMES A. CLANCY, P.E., L.S.**  
MI. PROFESS. ENGINEER (MI. LIC. #6201253521)  
801 ASBURY AVENUE  
NATIONAL PARK, NJ. 08063  
PH. # 856-853-7306

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GDI ELECTRICAL SYMBOL LEGEND	
	ELECTRICAL RACEWAY POST
	DUPLEX RECEPTACLE
	GFCI DUPLEX RECEPTACLE
	EXIT LIGHT
	SWITCH
	CEILING FAN



ELECTRICAL PLAN

  
 JAMES A. CLANCY, P.E., L.S.  
 MI. PROFESS. ENGINEER (MI. LIC. #6201253521)  
 601 ASBURY AVENUE  
 NATIONAL PARK, NJ, 08063  
 PH. # 856-853-7306

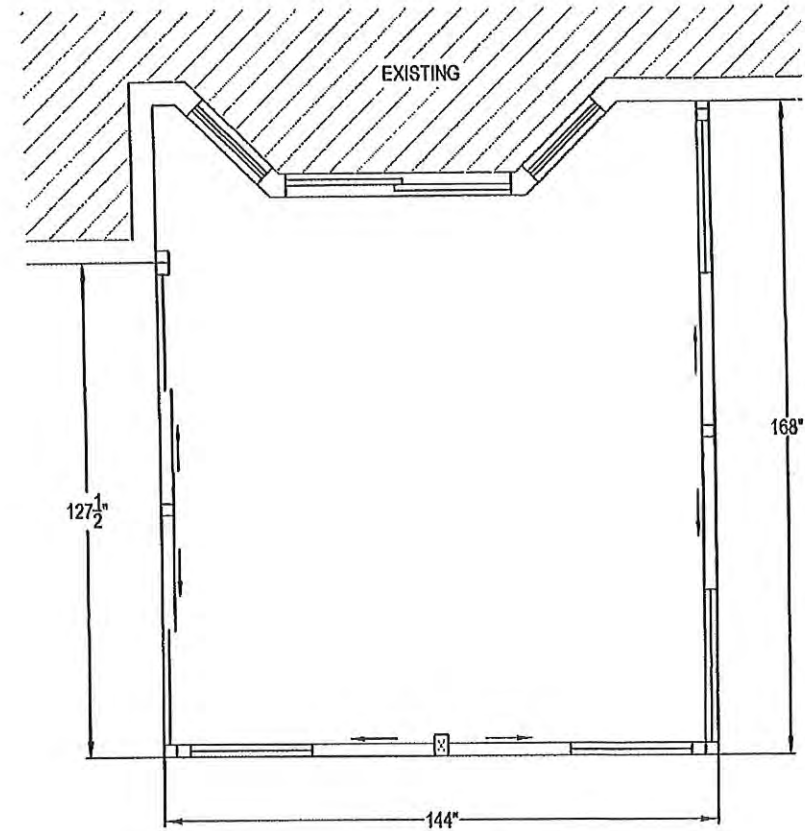
DATE	3/22/21
DRAWN	VNG
SCALE	1/4" = 1'-0"
SHEET	5 OF 12

CHET PATEL  
 5305 RANGEMORE DRIVE  
 TROY, MI. 48065  
 JOB #36925


LOCATION  
 GDI - DETROIT  
 11895 WAYNE ROAD, SUITE 104  
 ROMULUS, MI 48174  
 313-636-1324



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FLOOR PLAN

  
 JAMES A. CLANCY, P.E., L.S.  
 MI. PROFESS. ENGINEER (MI. LIC. #6201253521)  
 601 ASBURY AVENUE  
 NATIONAL PARK, NJ. 08063  
 PH. # 856-853-7306

DATE 3/22/21  
 DRAWN VNG  
 SCALE 1/4" = 1'-0"  
 SHEET 6 OF 12

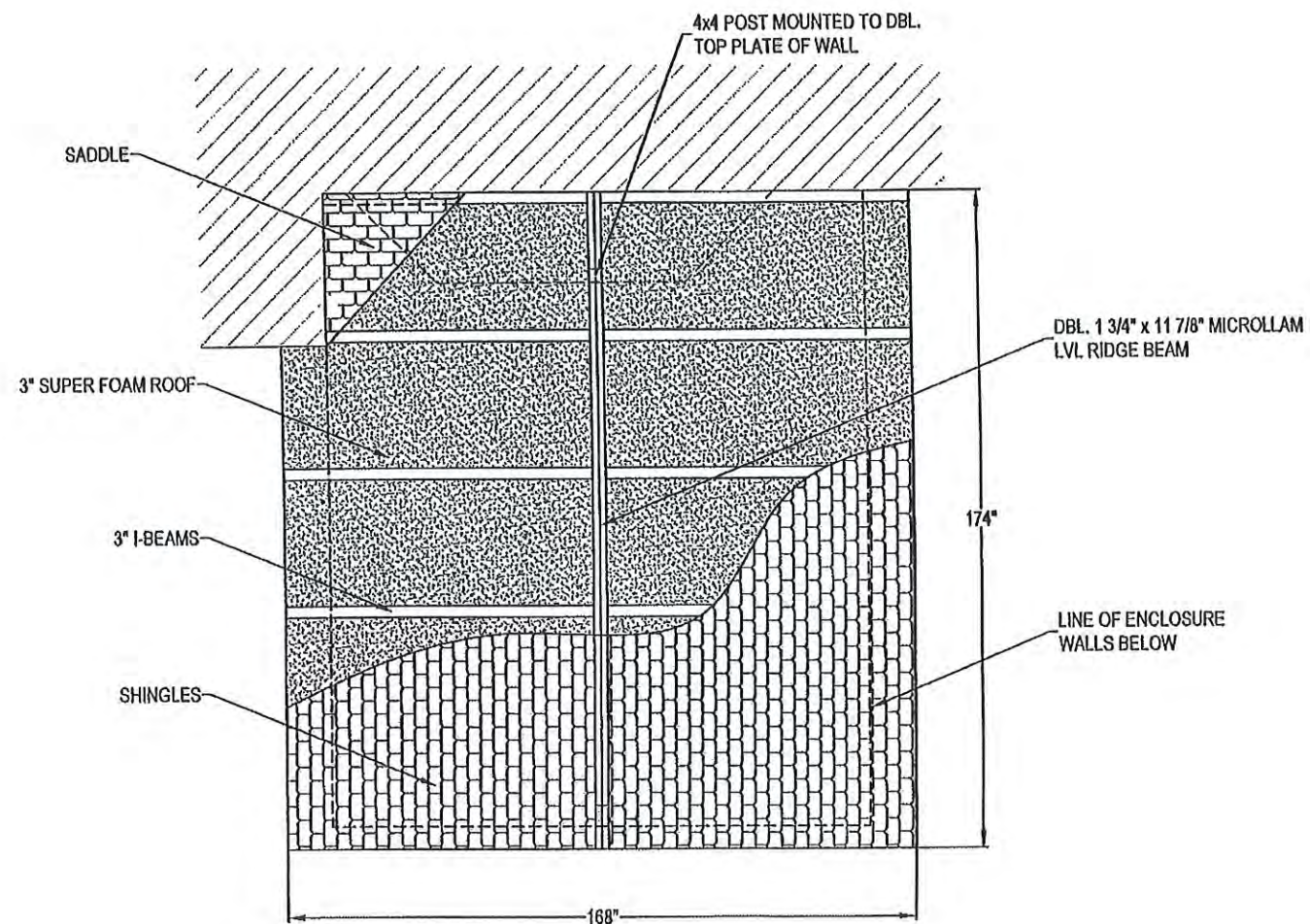
CHET PATEL  
 5305 RANGEMORE DRIVE  
 TROY, MI. 48065  
 JOB #3692f

LOCATION  
 GDI - DETROIT  
 11895 WAYNE ROAD, SUITE 104  
 ROMULUS, MI 48174  
 313-636-1324



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ROOF PLAN

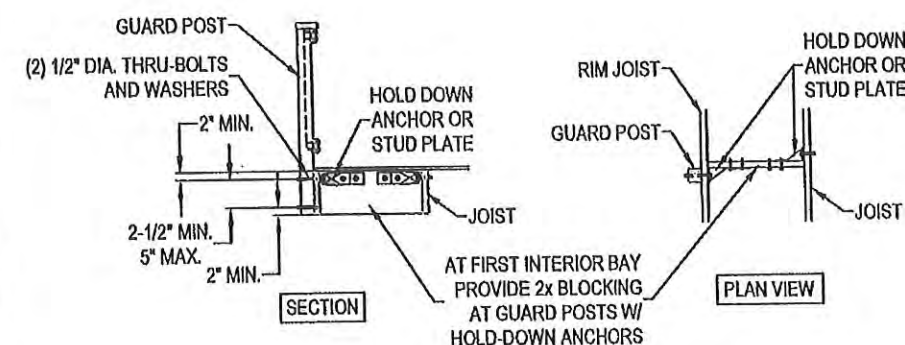
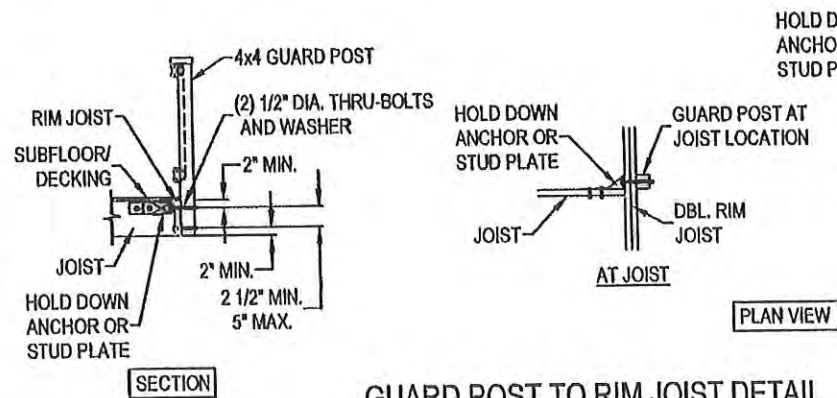
  
 JAMES A. CLANCY, P.E., L.S.  
 MI. PROFESS. ENGINEER (MI. LIC. #6201253521)  
 601 ASBURY AVENUE  
 NATIONAL PARK, NJ. 08063  
 PH. # 856-853-7306

DATE 3/22/21  
 DRAWN VNG  
 SCALE 1/4" = 1'-0"  
 SHEET 7 OF 12

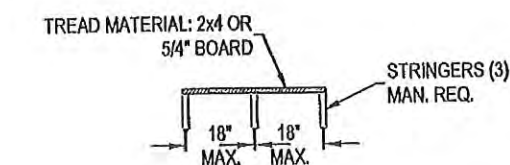


LOCATION GDI - DETROIT 11895 WAYNE ROAD, SUITE 104 ROMULUS, MI 48174 313-636-1324	CHET PATEL 5305 RANGEMORE DRIVE TROY, MI. 48065 JOB #36925	THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS IS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.
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**GUARD POST TO OUTSIDE JOIST DETAIL**

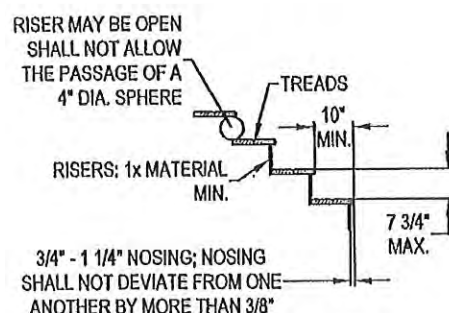
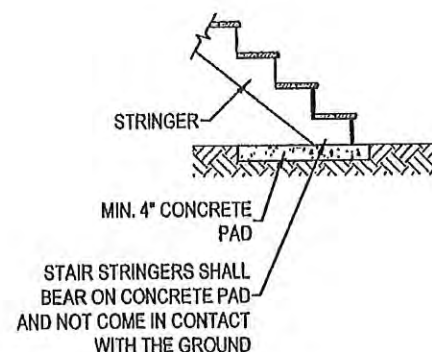


**TREAD CONNECTION REQUIREMENTS**

THESE DETAILS WERE TAKEN FROM THE PRESCRIPTIVE RESIDENTIAL WOOD DECK GUIDE BY THE AMERICAN WOOD COUNCIL

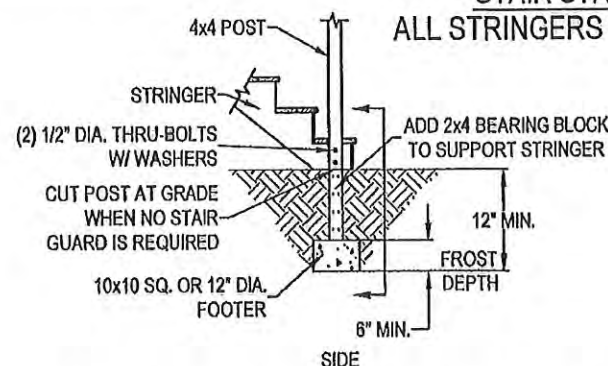
ALL SCREWS, BOLTS AND NAILS FOR USE WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL

NOTE: THIS PLANS WERE DESIGNED WITH AND REQUIRED THAT ALL LUMBER MUST BE MINIMUM RATED SPF #2 OR BETTER PRESSURE TREATED PER AWPA (AMERICAN WOOD PROTECTION ASSOCIATION) STANDARDS

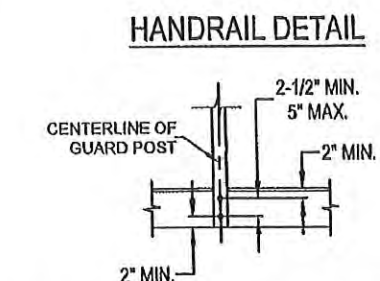
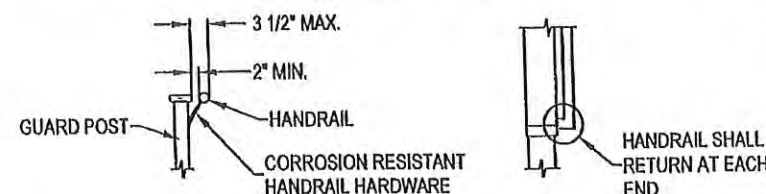


**TREAD AND RISER DETAIL**

**STAIR STRINGER REQUIREMENTS**  
ALL STRINGERS SHALL BE A MINIMUM OF 2x12

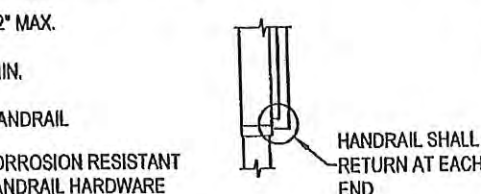


**STAIR STRINGER BEARING AT GRADE DETAIL**



**GUARD POST ATTACHMENT DETAIL**

**CAP RAIL DETAIL**

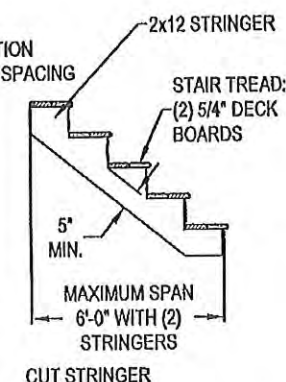
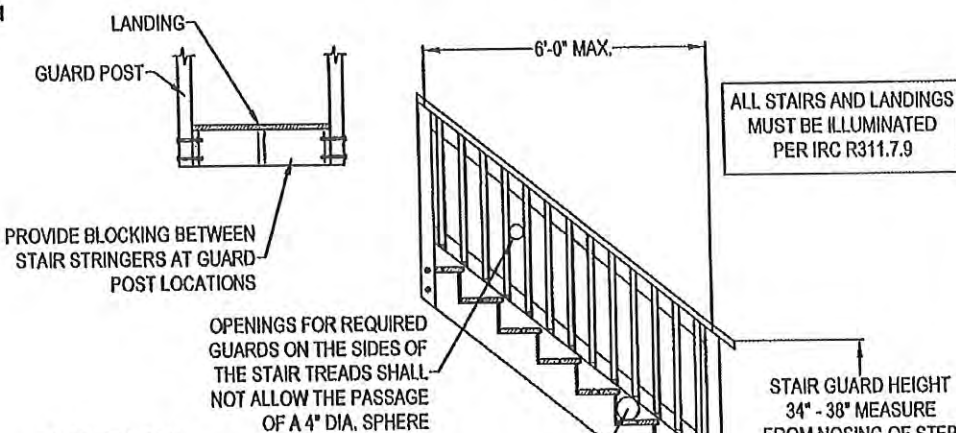


OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIA. SPHERE; WET LUMBER MUST BE SPACED SUCH THAT WHEN SHRINKAGE OCCURS, THE MAXIMUM OPENING IS MAINTAINED

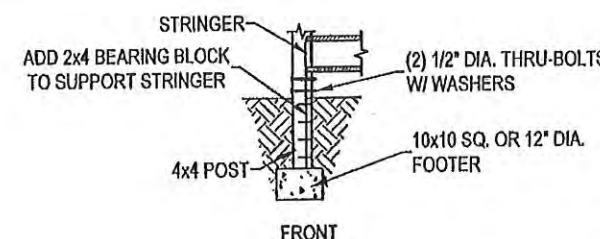
2x2 PICKETS: MAY BE PLACED ON EITHER SIDE OF GUARD

4x4 GUARD RAIL POST, DO NOT NOTCH

**GUARD DETAIL**



**CUT STRINGER**



**JAMES A. CLANCY**  
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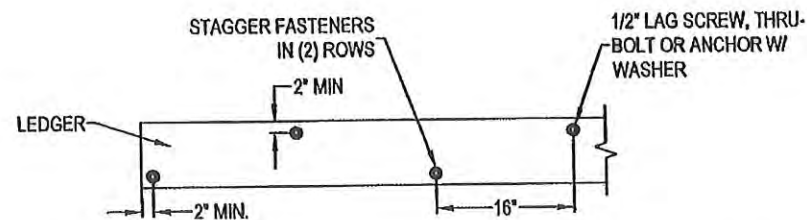
**LOCATION**  
GDI - DETROIT  
11895 WAYNE ROAD, SUITE 104  
ROMULUS, MI 48174  
313-636-1324

**CHET PATEL**  
5305 RAN GEMORE DRIVE  
TROY, MI. 48065  
JOB #36925

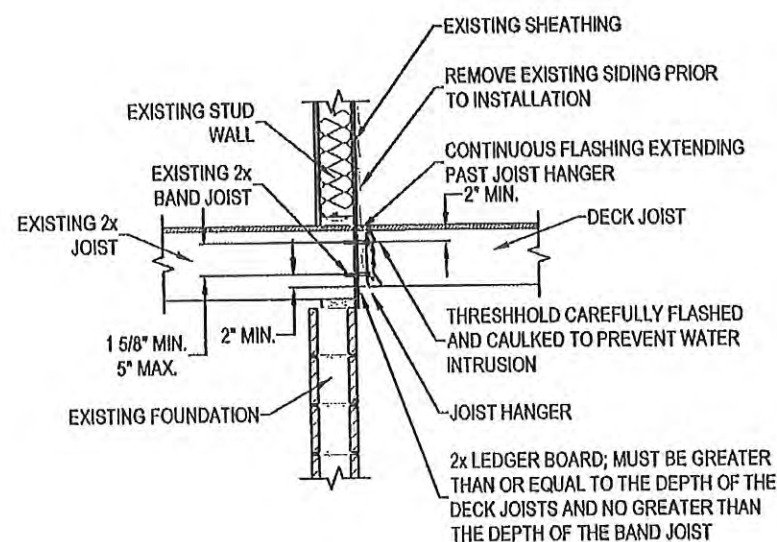
**DATE**  
3/22/21  
**DRAWN**  
VNG  
**SCALE**  
1/4" = 1'-0"  
**SHEET**  
8 OF 12

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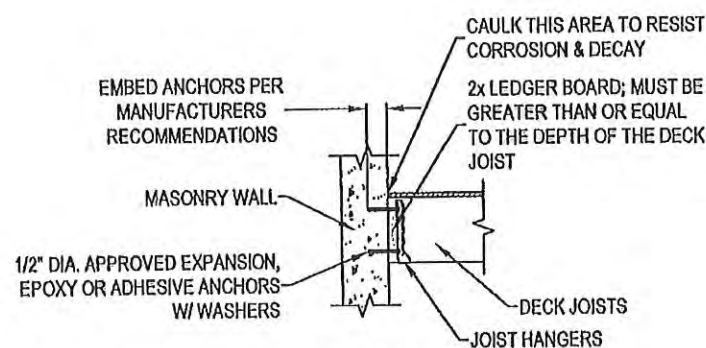




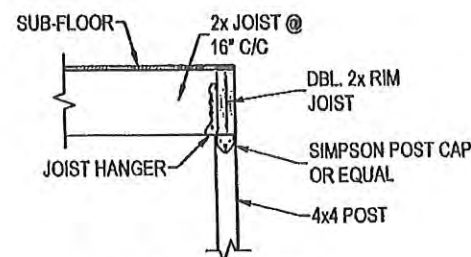
**LEDGER BOARD FASTENER SPACING AND CLEARANCE**



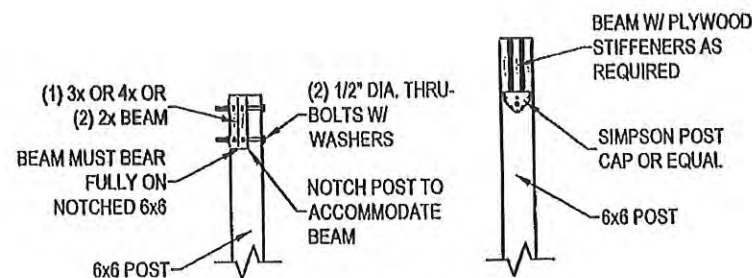
**LEDGER BOARD ATTACHMENT DETAIL - BAND JOIST**



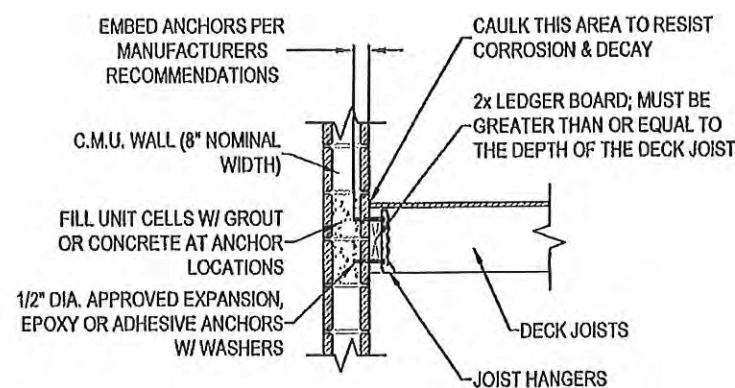
**LEDGER BOARD ATTACHMENT DETAIL - CONCRETE OR SOLID MASONRY WALL**



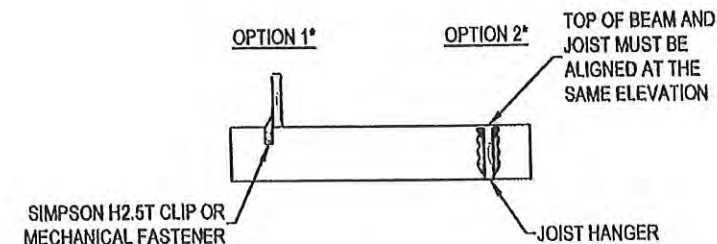
**RIM JOIST DETAIL**



**POST TO BEAM DETAIL**

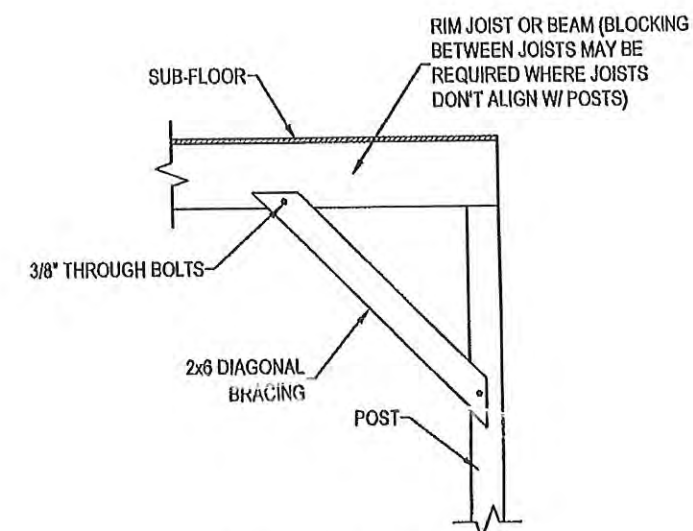


**LEDGER BOARD ATTACHMENT DETAIL - HOLLOW MASONRY WALL**



**JOIST TO BEAM CONNECTION DETAIL**

\* SEE MANUFACTURERS ECOMMENDATIONS FOR ADDITIONAL REQUIREMENTS



**DIAGONAL BRACE DETAIL**

STATE OF MICHIGAN  
JAMES A. CLANCY, P.E., L.S.  
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DATE 3/22/21  
DRAWN VNG  
SCALE 1/4" = 1'-0"  
SHEET 9 OF 12

LOCATION  
GDI - DETROIT  
11895 WAYNE ROAD, SUITE 104  
ROMULUS, MI 48174  
313-636-1324

CHET PATEL  
5305 RANGEM ORE DRIVE  
TROY, MI . 48065  
JOB #3 6925

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313-636-1324

CHET PATEL  
5305 RANGEMORE DRIVE  
TROY, MI 48065  
JOB #36925

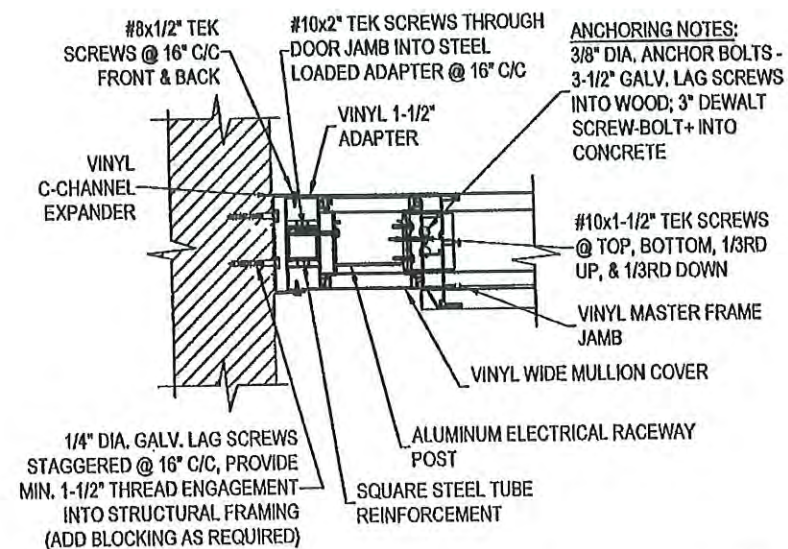
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3/22/21

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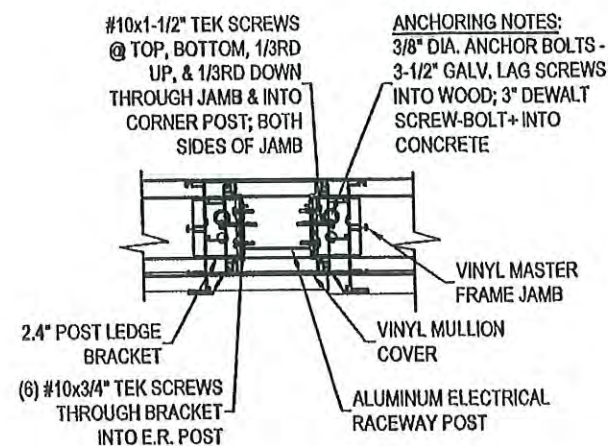
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SHEET  
10 OF 12

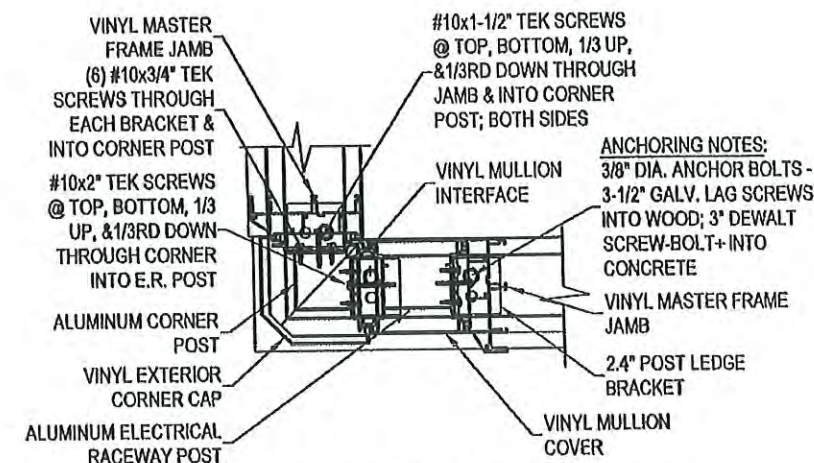
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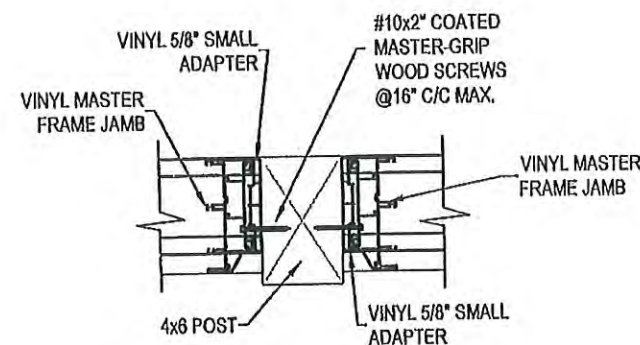
PLAN VIEW OF MASTER FRAME JAMB & C-CHANNEL EXPANDER & E.R. POST  
CONNECTION @ EXISTING WALL



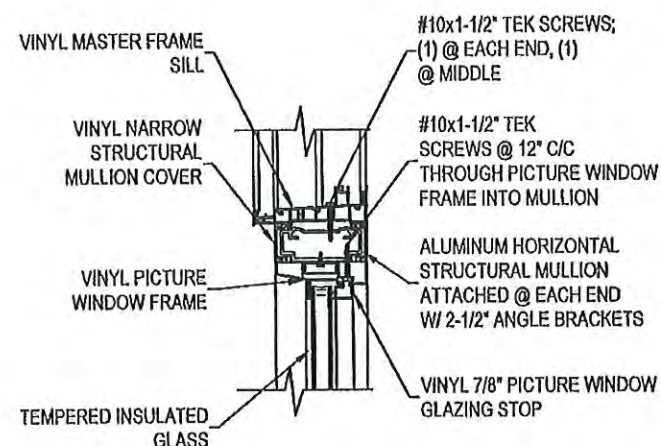
PLAN VIEW OF MASTER FRAME JAMB  
CONNECTION @ E.R. POST



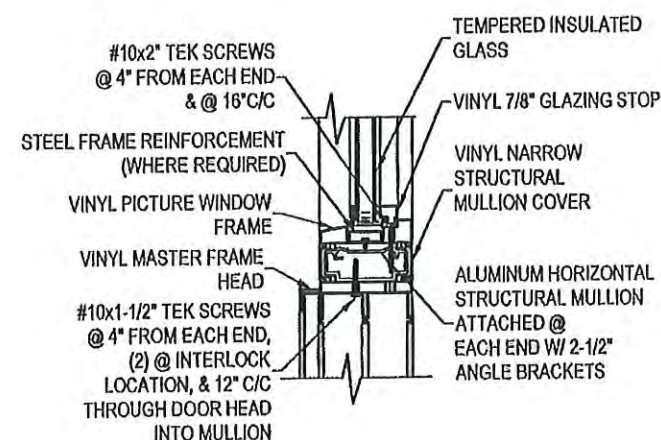
PLAN VIEW OF E.R. POST & MASTER FRAME JAMB  
CONNECTION @ CORNER POST



PLAN VIEW OF MASTER FRAME JAMBS  
CONNECTION @ 4x6 POST



SECTION THROUGH MASTER FRAME SILL  
CONNECTION @ GLASS KNEEWALL



SECTION THROUGH MASTER FRAME HEAD  
CONNECTION @ GLASS TRANSOM

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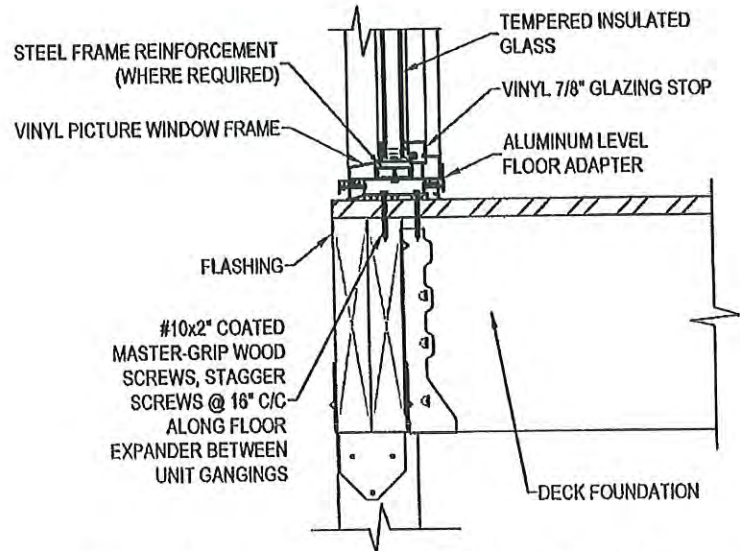


LOCATION  
GDI - DETROIT  
11855 WAYNE ROAD, SUITE 104  
ROMULUS, MI 48174  
313-636-1324

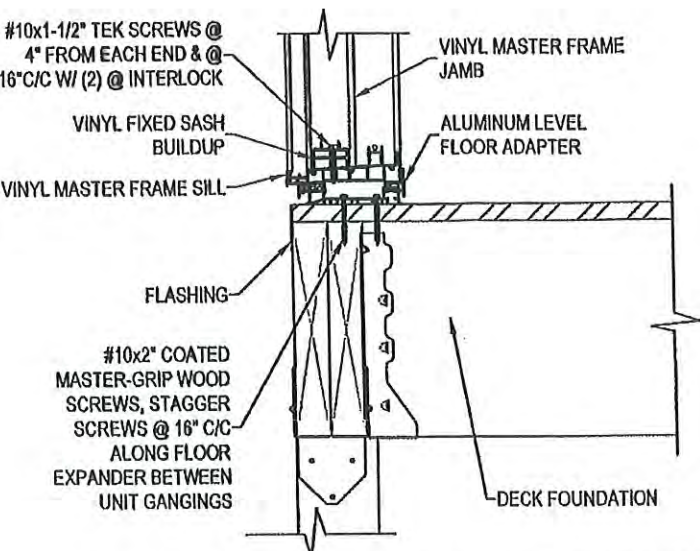
CHET PATEL  
5305 RANGEMORE DRIVE  
TROY, MI. 48065  
JOB #36925

DATE	3/22/21
DRAWN	VNG
SCALE	1 1/2" = 1'-0"
SHEET	11 OF 12

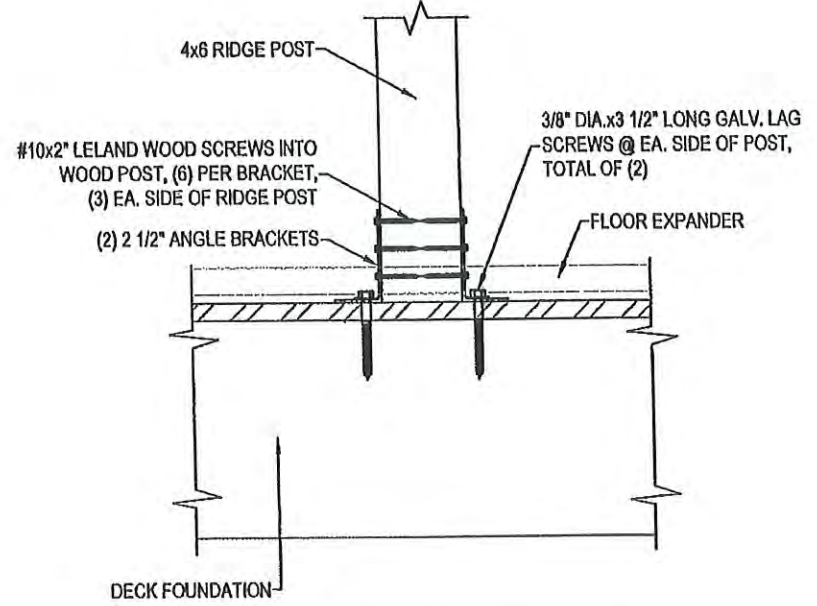
JAMES A. CLANCY, P.E., L.S.  
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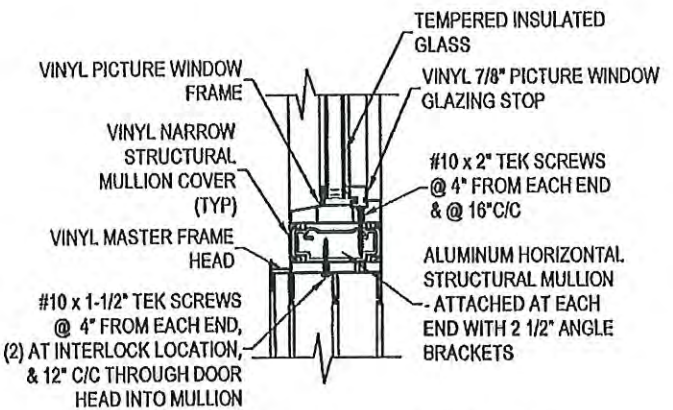
SECTION THROUGH GLASS KNEE WALL & LEVEL FLOOR ADAPTER  
CONNECTION @ DECK FOUNDATION



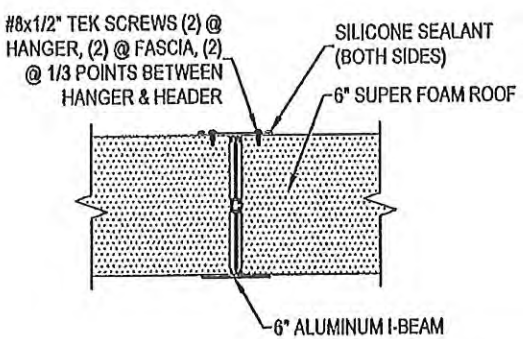
SECTION THROUGH MASTER FRAME & LEVEL FLOOR ADAPTER  
CONNECTION @ DECK FOUNDATION



FRONT VIEW THROUGH 4x6 RIDGE POST  
CONNECTION @ DECK FOUNDATION



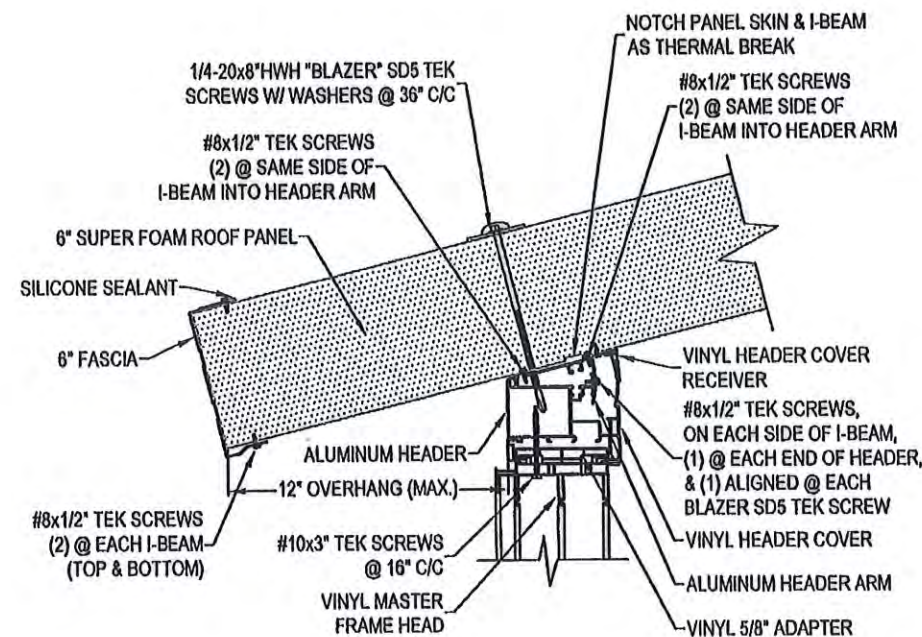
SECTION THROUGH MASTER FRAME HEAD  
CONNECTION @ GLASS WING



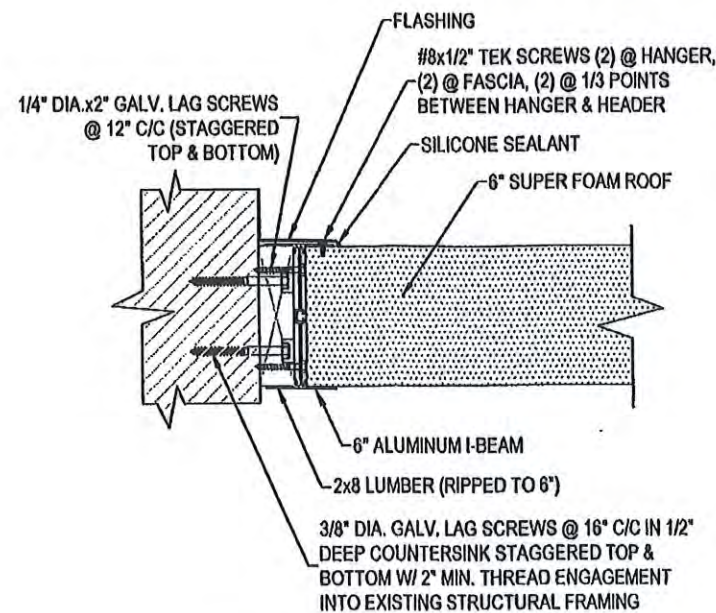
SECTION THROUGH 6\"/>

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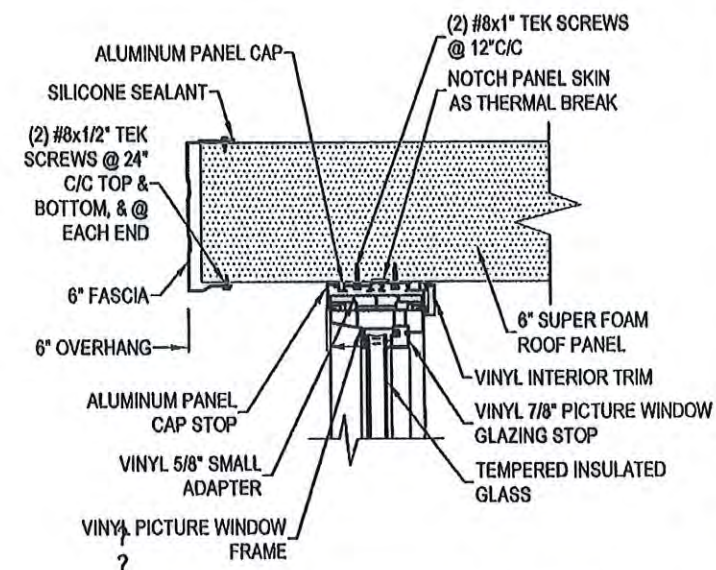




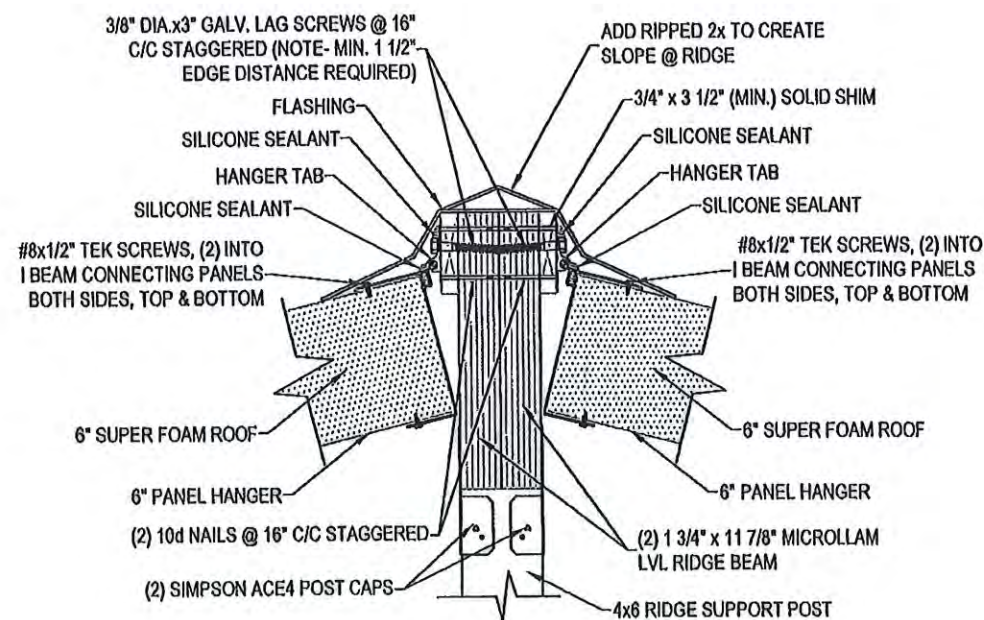
SECTION THROUGH MASTER FRAME HEADER  
CONNECTION @ 6" SUPER FOAM ROOF



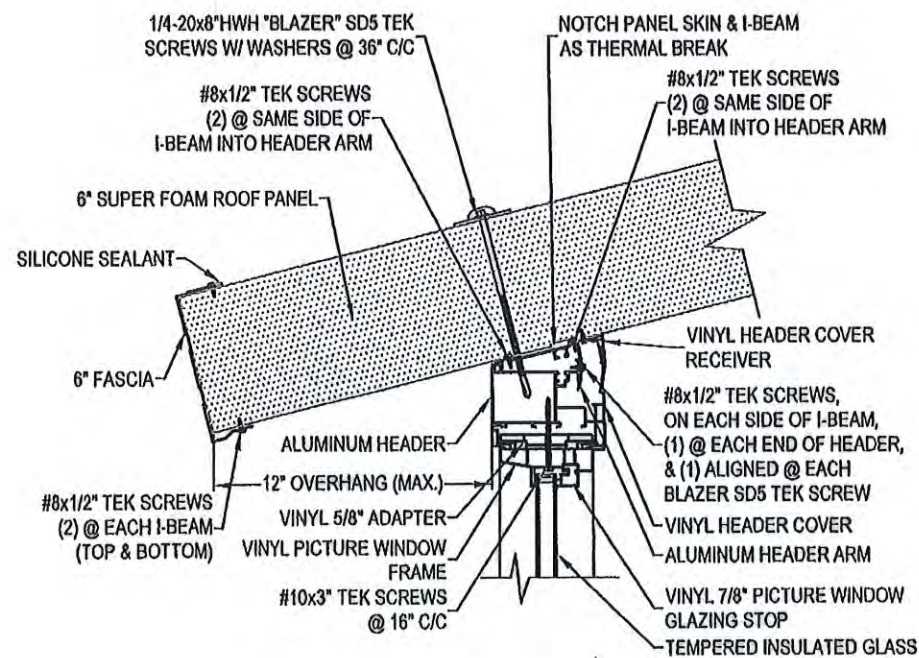
6" ROOF PANEL & I BEAM  
CONNECTION @ EXISTING WALL



SECTION THROUGH 6" SUPER FOAM ROOF PANEL  
CONNECTION @ GLASS WING



SECTION THROUGH 6" SUPER FOAM ROOF & PANEL  
HANGER ASSEMBLY CONNECTION @ RIDGE BEAM



SECTION THROUGH TRANSOM & HEADER  
CONNECTION @ 6" SUPER FOAM ROOF



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