STATEMENT OF PRACTICAL DIFFICULTY

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. The practical difficulty must be clearly related to as many of the 5 standards below as possible:

a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.

b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.

c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.

d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.

e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

MOTION TEMPLATE GRANT VARIANCE

RESOLUTION TEMPLATE

Moved by:
Seconded by:

That the variance request for *[applicant name, address or location]*, for *[request]*

Be granted for the following reasons:

The applicant has demonstrated that:

a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.

b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.

c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.

d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.

e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:
Nays:

MOTION CARRIED / FAILED

MOTION TEMPLATE DENY

Moved by:
Seconded by:

That the variance request for *[applicant name, address or location]*, for *[request]*

Be denied for the following reason(s):

The applicant has not demonstrated that:

f) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.

g) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.

h) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.

i) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.

j) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:
Nays:

MOTION CARRIED / FAILED

MOTION TEMPLATE POSTPONE

Moved by:
Seconded by:

RESOLVED, that the variance request for *[applicant name, address or location]*, for *[request]*

Be postponed for the following reason(s):

Yeas:
Nays:

MOTION CARRIED / FAILED

G:\ZONING BOARD OF APPEALS\Resolution Template Zoning Board of Appeals.doc

500 West Big Beaver
Troy, MI 48084
troymi.gov

248.524.3364
planning@troymi.gov

ZONING BOARD OF APPEALS
MEETING AGENDA

Michael Bossenbroek, Chair, David Eisenbacher, Vice Chair
Thomas Desmond, Aaron Green, Mahendra Kenkre, Jim McCauley,
Sadek Rahman, Barbara Chambers, Alternate, Jeffrey Forster, Alternate

July 20, 2021 **7:30 P.M.** **COUNCIL CHAMBERS**

1. ROLL CALL

2. PROCEDURE

3. APPROVAL OF MINUTES – June 15, 2020

4. APPROVAL OF AGENDA

5. HEARING OF CASES:

   A. VARIANCE REQUEST, 2600 LIVERNOIS, BRYAN PRITCHARD, TRICAP RESIDENTIAL GROUP - A variance to convert the use from extended stay to apartment units, the following variances are requested: 1) to allow 23.35 dwelling units per acre where the Zoning Ordinance permits 10 dwelling units per acre, and 2) to allow dwelling units to be 475 to 600 square feet in area where the Zoning Ordinance requires 600 square feet of minimum area.

   ZONING ORDINANCE SECTION**:** 4.08 (C) MF Multiple-Family Residential District

   B. VARIANCE REQUEST, 2887 E WATTLES, JESUS M. RIVERA JR. & JUANITA RIVERA - A variance to enlarge the existing single family home and construct a shed. The property is in the NN Zoning District. The use is nonconforming because single family residences are not permitted in the NN Zoning District. The Zoning Ordinance prohibits enlarging structures devoted to nonconforming uses. The home was originally constructed prior to the establishment of the NN Zoning District.

   ZONING ORDINANCE SECTION**:** 14.03 A & F, Table 5.03-A-1

6. COMMUNICATIONS

7. MISCELLANEOUS BUSINESS

8. PUBLIC COMMENT

9 . ADJOURNMENT

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

WATCH MEETING: https://troymi.gov/community/government/citycouncil/council_meeting_webcast.php .
JOIN ZOOM MEETING: https://zoom.us/j/99756245375?pwd=b29keVlaMVh5VExjcm0rMnFnWXpWZz09
Meeting ID**:** 997 5624 5375
Passcode: 813506
Phone: 1 312 626 6799
Enter your email address and first and last names. Failure to do so may delay when you are recognized by the Chair to comment.
COMMENTS can be sent to the Zoning Board of Appeals via:
EMAIL ZBAPublicComments@troymi.gov.
VOICEMAIL: 248.524.3580. no later than 3:00 p.m. on the date of the meeting.

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

ZONING BOARD OF APPEALS – OPENING STATEMENT

Zoning Board of Appeals is a group of seven of your neighbors appointed by City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Petitioners must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

PROCEDURE

The Board will hear the items in the order that they appear on the agenda. When an item is called, the Chairman will verify that the petitioner is present. Then the City Administration will summarize the facts of the case. The petitioner will then be given an opportunity to address the Board to explain the justification for the action requested.

After the petitioner makes their presentation, and answers any questions that the Board may have, the Chairman will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairman and come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairman. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairman to speak at one time.

At the conclusion of public comments, the Chairman will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.

On June 15, 2021 at 7:31 p.m., Chair Bossenbroek, called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:
Michael Bossenbroek
David Eisenbacher
Aaron Green
James McCauley
Mahendra Kenkre
Barbara Chambers
Jeffrey Forster

Absent:
Thomas Desmond
Sadek Rahman

Also Present:
Paul Evans, Zoning and Compliance Specialist
Allan Motzny, Assistant City Attorney
Jackie Ferencz, Planning Administrative Assistant

2. RESOLUTION TO ALLOW PARTICIPATION IN PUBLIC MEETINGS BY ELECTRONIC MEANS

Moved by Chambers
Second by Green

Yes: All

RESOLVED, to amend the Rules of Procedure to allow participation in public meetings by electronic means.

MOTION PASSED

3. PROCEDURE- read by Vice Chairperson Eisenbacher

4. APPROVAL OF MINUTES –May 18, 2021

Moved by Green
Seconded by McCauley

RESOLVED, to approve the May 18, 2021 meeting minutes.

Yes: All

MOTION PASSED

5. APPROVAL OF AGENDA – no changes

6. HEARING OF CASES:

A. VARIANCE REQUEST, HART DRIVE, RAVISHANKAR BOMMANAHALLY: A variance to allow an accessory building (garage/shed) to be setback 5 feet from the rear property line where the Zoning Ordinance requires the building to be 6 feet from the rear property line. The building has already been constructed.

Moved by Eisenbacher
Second by Green

RESOLVED, to grant the variance

Yes: Eisenbacher, Green, Kenkre, McCauley, Chambers, Forster
No: Bossenbroek

MOTION PASSED

B. VARIANCE REQUEST, 5305 RANGEMORE, KELLY NEFF OF GREAT DAY IMPROVEMENTS: A variance to allow the creation of two new parcels of land, each of which will have zero frontage along the constructed portion of the right of way. The Zoning Ordinance requires each parcel to have 110 feet of frontage along a constructed portion of the right of way.

Moved by McCauley
Second by Green

RESOLVED, to deny the variance.

YES: All

MOTION PASSED

7. COMMUNICATIONS – Mr. Evans shared upcoming training details.

8. MISCELLANEOUS BUSINESS –None

9. PUBLIC COMMENT –None

10. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 8:45pm

Respectfully submitted,

_____
Michael Bossenbroek, Chairman

_____
Paul Evans, Zoning and Compliance Specialist

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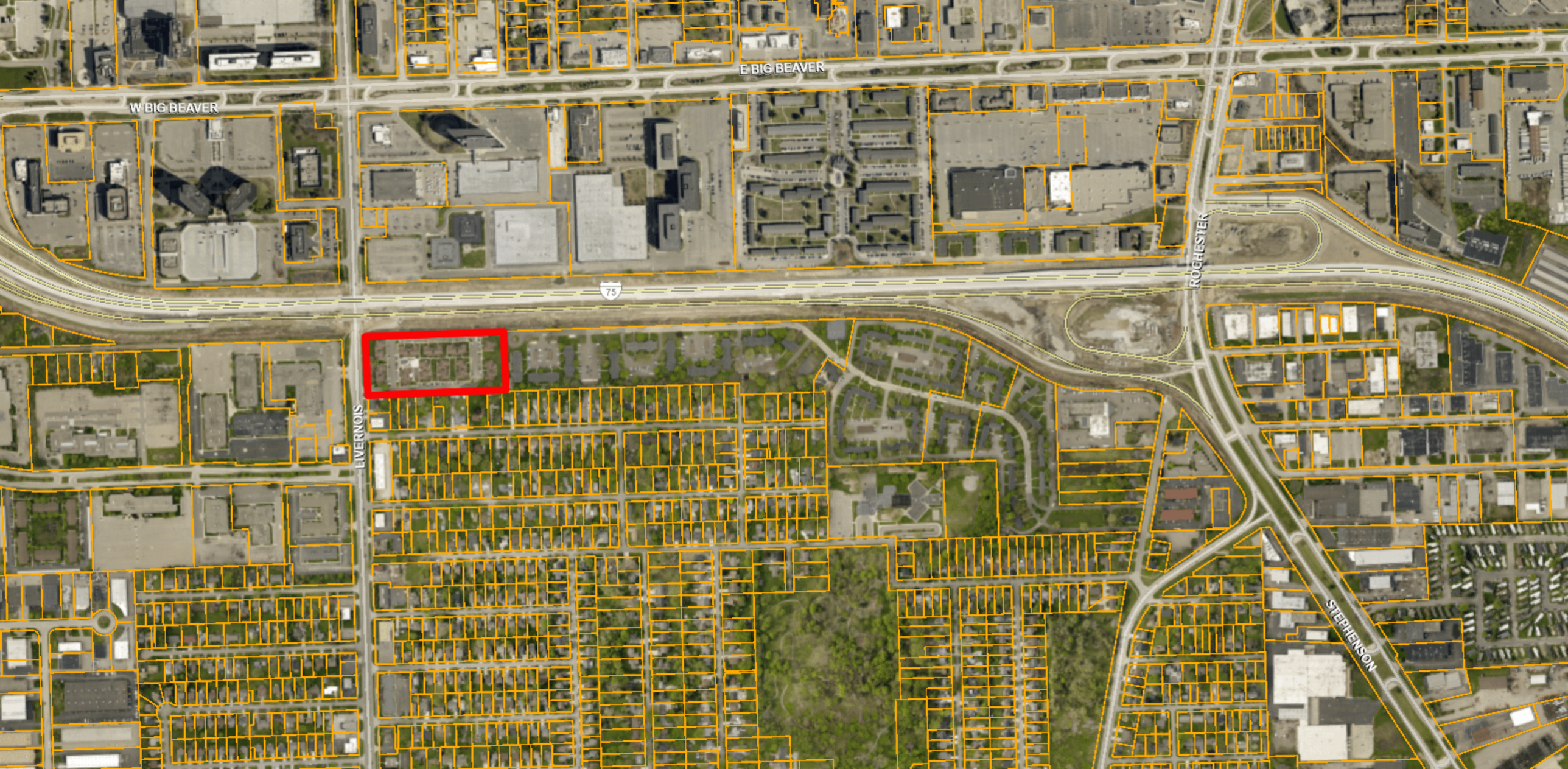
VARIANCE REQUEST, 2600 LIVERNOIS, BRYAN PRITCHARD, TRICAP RESIDENTIAL GROUP - A variance to convert the use from extended stay to apartment units, the following variances are requested: 1) to allow 23.35 dwelling units per acre where the Zoning Ordinance permits 10 dwelling units per acre, and 2) to allow dwelling units to be 475 to 600 square feet in area where the Zoning Ordinance requires 600 square feet of minimum area.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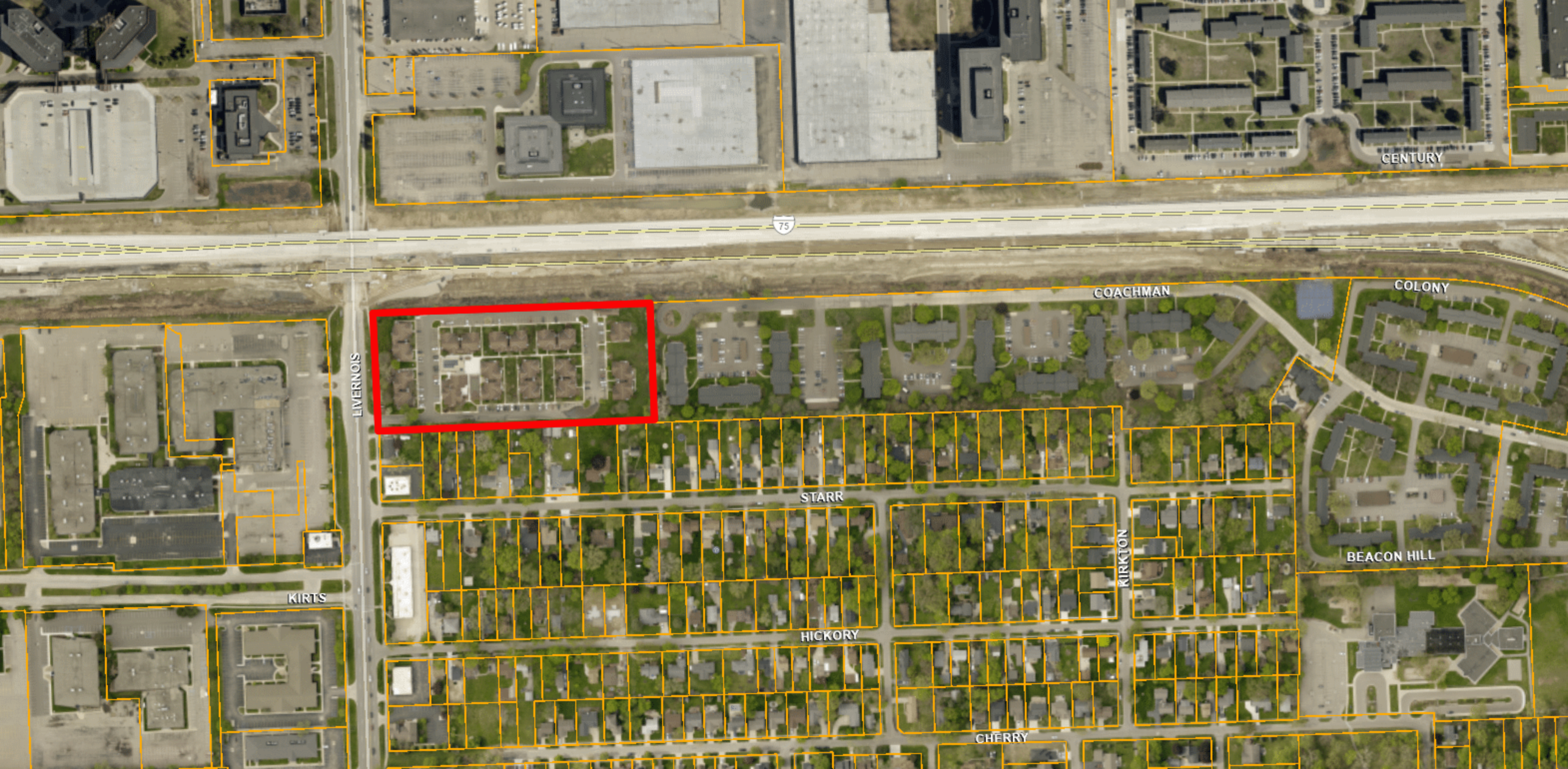
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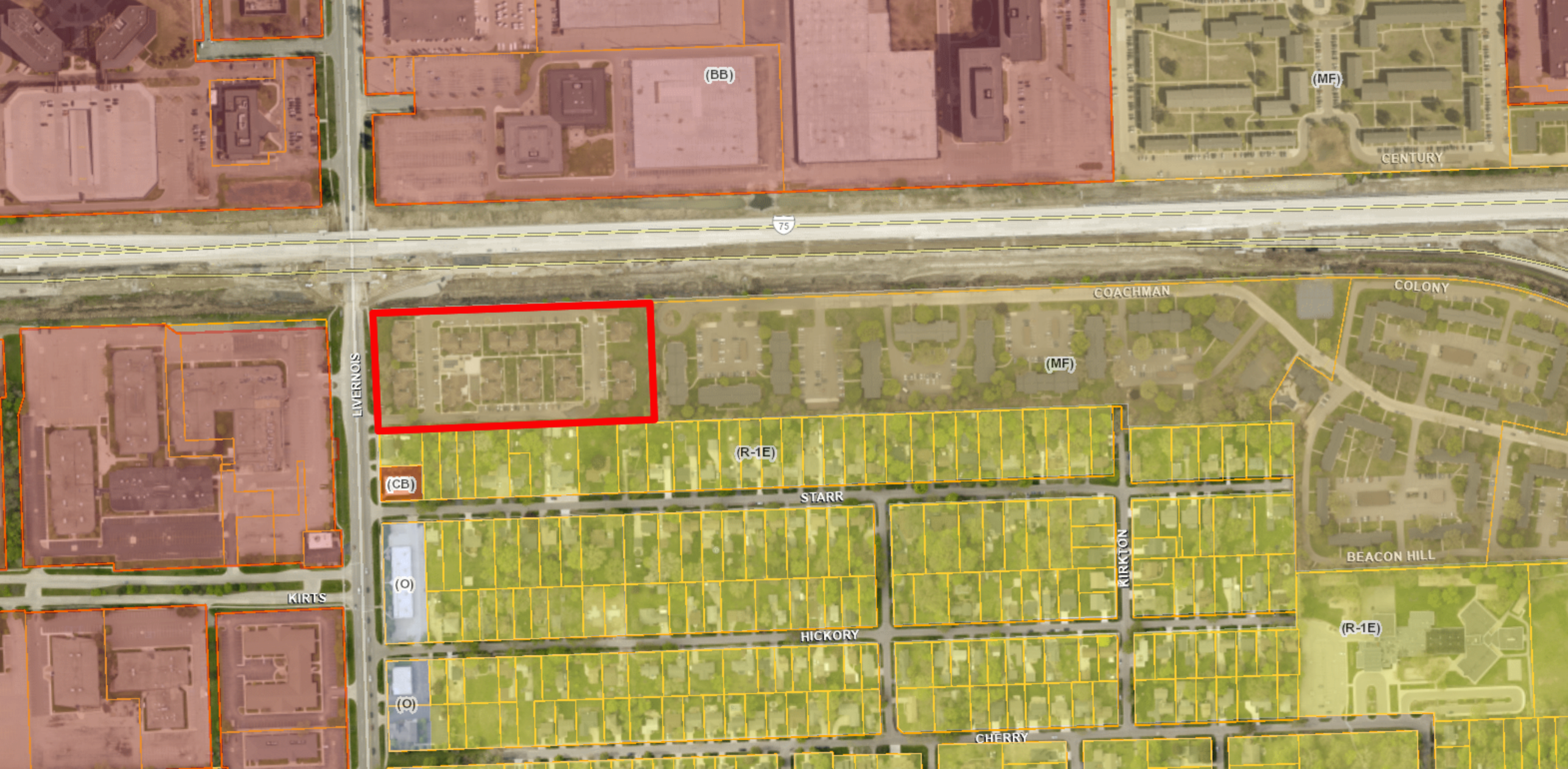
CHERRY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(R-1E)
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CHERRY

LIVERNOIS
2600
248
260
2546
2544
101
107
39

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CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

Zoning Board of Appeals Application

planning@troymi.gov | Fee $150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 2600 Livernois Road
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-27-151-002
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: Site Zoned MF
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
5. APPLICANT:

NAME Bryan Pritchard

COMPANY TriCap Residential Group

ADDRESS 171 N. Aberdeen Suite 400

CITY Chicago STATE IL ZIP 60607

PHONE (312) 988-9825

E-MAIL bpritchard@tricapres.com

AFFILIATION TO THE PROPERTY OWNER: Prospective Purchaser - Fully Executed PSA

DocuSign Envelope ID: 0308CED6-D7BF-4E20-9D86-75B3EA6FC27B

Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME Nail Abro

COMPANY Troy Hotel Suites, Incorporated

ADDRESS 2600 Auburn Road, Suite 220

CITY Auburn Hills STATE MI ZIP 48326

TELEPHONE N/A

E-MAIL altas0610@aol.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Bryan Pritchard (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE DocuSigned by: Bryan Pritchard 62CF893B0DAD4A3... **DATE** 6/1/2021

PRINT NAME: Bryan Pritchard

PROPERTY OWNER SIGNATURE Nailabro **DATE** 5.29.21

PRINT NAME: Nail Abro

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

BONNER Advisory Group

June 1, 2021

Mr. Paul Evans
Zoning and Compliance Specialist
City of Troy

Re: ZBA Application for the Alcove at 2600 Livernois

Dear Mr. Savidant:

On behalf of our client TriCap Residential Group we are pleased to submit this Zoning Board of Appeals application for the Alcove – currently known as Hawthorn Suites located at 2600 Livernois. We are extremely excited about the opportunity to convert this property into a multifamily property the community can be proud of.

The following items are contained in this application:

- COMPLETED CITY OF TROY ZONING BOARD OF APPEALS APPLICATION
- PRACTICAL STATEMENT OF DIFFICULTY
- TROY POLICE DEPARTMENT LETTER
- CERTIFIED BOUNDARY SURVEY
- CERTIFIED TOPOGRAPHIC SURVEY
- PRELIMINARY SITE PLAN SHOWING PROPOSED SITE LAYOUT AND USES
- PRELIMINARY TREE PRESERVATION PLAN / TREE INVENTORY
- PRELIMINARY LANDSCAPE PLAN
- PRELIMINARY FLOOR PLANS
- PRELIMINARY ELEVATIONS

We look forward to working with you on this project. Please contact me with any comments or questions.

Sincerely,

Luke Bonner
CEO
Bonner Advisory Group

CEO **Luke Bonner** Mobile **734.846.9746** Email **Luke.Bonner@BonnerAG.com**
1054 South Main Street Ann Arbor, MI 48104

CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

Zoning Board of Appeals

Application

STATEMENT OF PRACTICAL DIFFICULTY

Project Background

The proposed project "The Alcove" entails converting the existing Hawthorn Suites located at 2600 Livernois Road from its current use as an extended stay hotel into a multi-family residential property with long term tenancy. There are 152 existing units distributed amongst 10 buildings on the 6.44 acre site currently operating as a hotel. The applicant is proposing to maintain the same number of units as a multi-family property. The current property is zoned as MF-Multifamily and is located on the east side of Livernois Road, immediately contiguous to I-75/State of Michigan right of way, in close proximity to the Big Beaver Corridor to the south. The property abuts a limited number of single-family residential homes to the South, and another multifamily property to the east. The applicant spent time surveying the homeowners directly south of this site and based on multiple conversations with vested property owners, the Hawthorn Suites has become a severe detriment to their safety, perception of the neighborhood, and value of their property. The property is purportedly plagued with criminal activity related to the sale of drugs, use, and associated violence. The goal of the proposed project is to convert the property into a contemporary community attractive to young professionals, single and married professionals, and other segments of the local workforce population.

Applicant

TriCap Residential ("Tricap") is based in Chicago, IL and currently owns and manages over 3,000 similar properties throughout the United States. Our team is a fully integrated organization that owns, operates, and manages our properties. This includes a process of completing full background checks on property residents, managing all maintenance and technical work, providing on-site security and management, and most importantly creating a community that is safe and of high quality.

Project Scope

TriCap Residential, if successful with it's efforts to obtain variances, plans the following improvements to the property:

- Maintain a one-to-one ratio of unit conversions (hotel to apartment) for a total of 152
- Units are comprised of 114 efficiency units ranging in size of 475 s.f. to 540 s.f. and 38 one bedroom, 650 s.f. units including a loft.
- Paint all existing wood trim (external)
- Paint all existing wood stairways and railing (external)
- Add new durable siding with vibrant but tasteful color palates (external)
- Add contemporary site amenities such as:
    - Dog Park area
    - Landscaped Trellis area for passive recreation
    - Decorated seating areas
    - Decorative community outdoor kitchen and picnic respites
- Add new landscape buffer areas abutting adjacent properties
- Screen exterior mechanical systems with landscape buffers
- Add additional parking spaces to meet MF ordinance requirements

- Add landscaping to exceed MF requirements
- Add composite hardwood flooring material to units (interior)
- Exchange carpeting in units for new durable high-end carpet
- Paint unit interiors
- Remove fitness center from upper floor mezzanine in clubhouse to the ground floor and also expand and enhance it
- Improve the aesthetics of the club house including flooring, new paint, and create a welcoming check in desk for residents
- Improve the open spaces at the clubhouse to be a more "Co-working" style environment with an increased technology package
- Improve and expand the resident laundry facility

At the May 25th, 2021 Planning Commission meeting the following recommendations were made by the planning department:

1. Provide overall site landscaping calculation
2. Resubmit a landscape plan with sufficient plant density to adequately screen the entire southern property line
3. Resubmit landscape plan with a stamp from a registered architect
4. Provide a higher quality material than vinyl and provide additional architectural improvements to the buildings.

It is our intent to implement these recommendations to the fullest, and if successful with the Zoning Board of Appeals, we intend to re-submit our project for final site plan approval.

STATEMENT OF PRACTICAL DIFFICULTY

A) The property as built, is a hotel commercial property that is currently in a Multi-Family zoning district (MF). Even though the proposed re-use of this commercial property is multi-family, the zoning district does not contemplate the current as-built/existing conditions of the Hawthorn Suites. The property as converted to multi-family, along with our proposed alterations, will meet all zoning requirements including: landscape, dimensional (setbacks, height), parking, and lot area coverage.

However, due to existing conditions, the two areas of the MF zoning the property, as converted, does not meet includes:

- Density – current MF zoning density is 10 units per acre – **existing conditions are 23.5 units per acre**
- Size of Units – current MF zoning minimum unit size is 600 s.f. – **existing conditions is 475 s.f.**

Even though these unit sizes and density characteristics are acceptable in the City of Troy Urban Residential (UR) zoning district, they are not contemplated in the MF district. In order to meet the MF zoning district the following actions would be required of TriCap Residential:

- Reduce the current unit count of 152 units (23.5 units per acre) to 10 units per acre (64 Units) 88 units would require demolition or 5 of 10 buildings on the property.
- Even after the demolition of 5 out of 10 buildings on the property, the remaining buildings would still consist of efficiency units 475 s.f. which does not meet the minimum unit size.

- Alternatively, the 475 s.f. efficiency units could be combined with the 600 s.f. one bedroom units. This would reduce the overall amount of units on the property to 96 units however, this would lead to a new density of 14 units per acre, a density still not acceptable under the MF zoning.

In addition to the above scenarios, even if feasible, the existing layouts of efficiency units and one bedroom units are not uniform or congruent to one another, and combination of said units would create a building that would be functionally obsolete in both design and layout. This combination of units would require new foundations and structural supports, and new HVAC and Plumbing systems.

B) Location for which the variance is being sought is 2600 Livernois the Hawthorn Suites property, and not another location.

C) The dimensional features for which the variance is being sought are not of a personal nature. They are related to the existing conditions of the physical building structures.

D) The dimensional features for which the variance is being sought was created by the original owner/developer of the Hawthorn Suite property. The buildings were constructed for their intended use which is a long term stay hotel property. However, based on the density and unit size of the property they are not compliant with the current multi-family zoning.

E) The variances requested will not create a harmful or negative effect on the character of the area. The property has been and continues to operate as an extended stay hotel property, originally built as a Marriott Residence Inn. There will be not physical changes proposed to the existing structures other than paint, landscaping, site amenities, and change of specific materials within units. The variances will allow the property to be professionally managed, including background checks on residents, and create a sense of community. As a prospective owner of this property, our team carefully canvassed the adjoining neighborhood and went door to door to speak with neighbors. It was very clear based on our conversations, the neighborhood residents on Starr Street immediately adjacent and contiguous to the south, were very pleased and excited about the prospect of converting this current property into a long term residential apartment community. There have been continuous and on-going police runs to this property which make the neighboring residents extremely fearful. The Alcove will be a much friendlier and safer neighbor and a much more productive, quality property for the City of Troy.

TROY POLICE DEPARTMENT

500 W Big Beaver Rd
Troy, Michigan 48084
cityoftroypolice.com
248.524.3477

May 24, 2021

Re: Hawthorn Suites
2600 Livernois
Troy, MI 48083

In recent years, the Troy Police Department has noticed an increase in the calls for police service to the Hawthorn Suites. Police Administration met with the hotel owner on two occasions, in 2016 and 2021 to address the increase in police responses to the hotel. At this point, there has been no notable progress, and officers are still routinely responding to the location.

Troy police officers have monitored the hotel, but despite these efforts, the following issues remain a serious concern:

- Shooting incidents.
- Multiple arrests for drug possession.
- Multiple incidents involving armed individuals.
- Party incidents with a large amount of people in attendance.

As you can see, the number of incidents has drastically increased in the last two years. Below is a list of police calls for service by year:

2012 – 28
2013 – 18
2014 – 46
2015 – 50
2016 – 103
2017 – 72
2018 – 60
2019 – 85
2020 – 192
2021 – 124 (YTD)

An evaluation of the calls for service to the location indicates that the criminal activity at the hotel involves transient guests who have short-term overnight stays. The proposal to convert the location to apartments would very likely reduce the calls to the location. The reduction of calls for service would allow officers more time to conduct proactive patrols that would benefit the residents of Troy.

Very truly,

Lieutenant Nathan Gobler
Troy Police Department

HAWTHORN SUITES
OF TROY

RESIDENTIAL CONVERSION

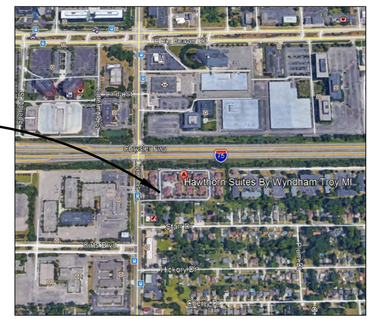
2600 LIVERNOIS RD TROY, MI

SITE PLAN SUBMITTAL 4/22/2021

SITE LOCATION

NORTH

SITE LOCATION MAP
SCALE - N.T.S.



NORTH

SITE VICINITY MAP
SCALE - N.T.S.

PROJECT TEAM:

DEVELOPER

TRICAP RESIDENTIAL GROUP
171 N. ABERDEEN, SUITE 400
CHICAGO, IL 60607
(312) 988-9825

CIVIL ENGINEER/LANDSCAPE ARCHITECT

WADE TRIM
555 S. SAGINAW ST, SUITE 201
FLINT, MI 48502
(810) 620-0015

ARCHITECTURAL

HOBBS + BLACK ASSOCIATES, INC.
100 N. STATE STREET
ANN ARBOR, MICHIGAN 48104
(734) 663-4189

PROJECT DATA:

SITE ADDRESS 2600 LIVERNOIS RD, TROY, MI

OAKLAND COUNTY PID: 0611722320029

PROPERTY DESCRIPTION: LOT 1, BLOCK 1, PINEHURST 1ST ADDITION

ZONING

EXISTING	PROPOSED
MF : MULTI-FAMILY - HOTEL	MF : MULTI-FAMILY - APARTMENT RENTAL

MAXIMUM DENSITY

PERMITTED	PROPOSED/EXISTING
10 UNITS/ACRE	23.35 UNITS/ACRE (NO CHANGE)

MAXIMUM HEIGHT - STORIES / IN FEET

ALLOWABLE	PROPOSED/EXISTING
2 STORIES/ 25'	2 STORIES/ 23' +/- (NO CHANGE)

MINIMUM YARD SETBACKS

	ALLOWABLE	PROPOSED/EXISTING
FRONT	30'	52.5' (NO CHANGE)
REAR	30'	50'+ (NO CHANGE)
SIDES	30'	50;+ (NO CHANGE)

DISTANCE BETWEEN BUILDINGS

ALLOWABLE	PROPOSED/EXISTING
30'	30'+ (NO CHANGE)

MIN FLOOR AREA / UNIT (SF)

	ALLOWABLE	PROPOSED/EXISTING
EFF/1BD	600sf	Varies 475sf - 600+sf (NO CHANGE)

MAX % OF LOT AREA COVERED BY BLDGS

ALLOWABLE	PROPOSED/EXISTING
35%	16.8% (NO CHANGE)

PARKING
REFER TO SHEET C1.0 FOR PARKING TABULATIONS

DRAWING INDEX:

SITE PLAN REVIEW 04/22/2021

ARCHITECTURAL
A-000 TITLE, DATA, INDEX & SITE LOC'N
A-100 EXISTING FIRST FLOOR PLANS
A-105 EXISTING SECOND FLOOR PLANS
A-200 EXTERIOR ELEVATIONS
A-205 EXTERIOR ELEVATIONS

CIVIL & LANDSCAPE
C-0.0 BOUNDARY & TOPO SURVEY
C-1.0 PRELIMINARY SITE PLAN
C-2.0 TREE PRESERVATION PLAN
C-3.0 PRELIMINARY LANDSCAPE PLAN
C-4.0 SITE & LANDSCAPE DETAILS

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Hawthorn Suites of Troy Residential Conversion Troy, MI
PROJECT

CONSULTANT

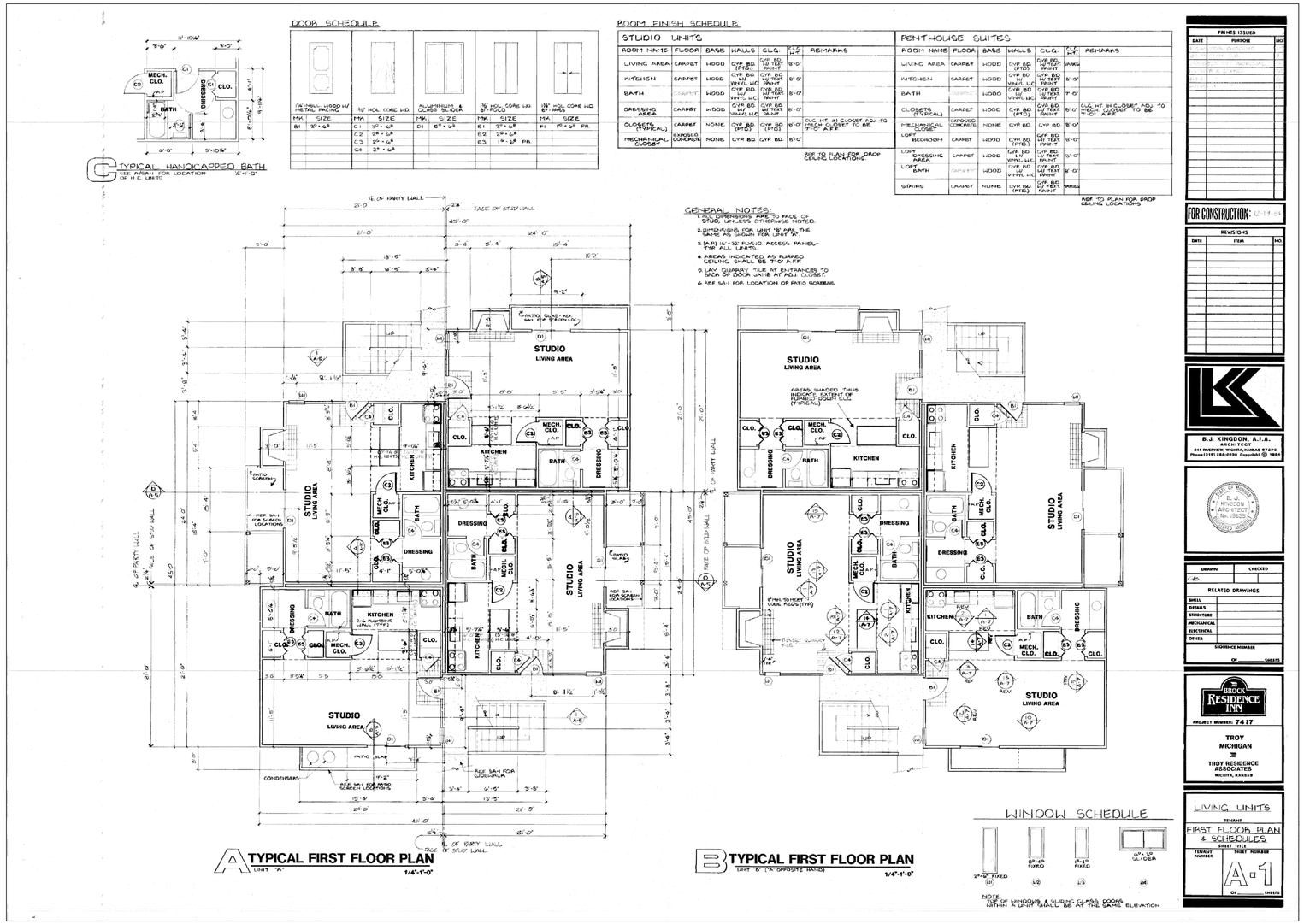
TITLE/ DATA INDEX
SHEET TITLE

21-802
PROJECT NUMBER

A-000
SHEET NUMBER

Drawing: C:\Users\wchubb\Desktop\Hawthorne Suites - Troy\Site Plan Submittal\Sheet A-000.dwg
Date: Apr 22, 2021, 4:17pm Layout: 24x36-Layout Plotted by: wchubb

ORIGINAL FLOOR PLANS FOR EXISTING BUILDING INCLUDED IN PACKAGE FOR REFERNCE ONLY



NO PROPOSED EXTERIOR MODIFICATIONS TO THE BUILDING FOOTPRINT

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Hawthorn Suites of Troy Residential Conversion Troy, MI

PROJECT

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EXISTING FIRST FLOOR PLANS

SHEET TITLE

21-802

PROJECT NUMBER

A-100

SHEET NUMBER

Drawing: P:\2021\21802\Dwgs\SD\Site Plan Submittal - 2021\042\Sheet A-100.dwg
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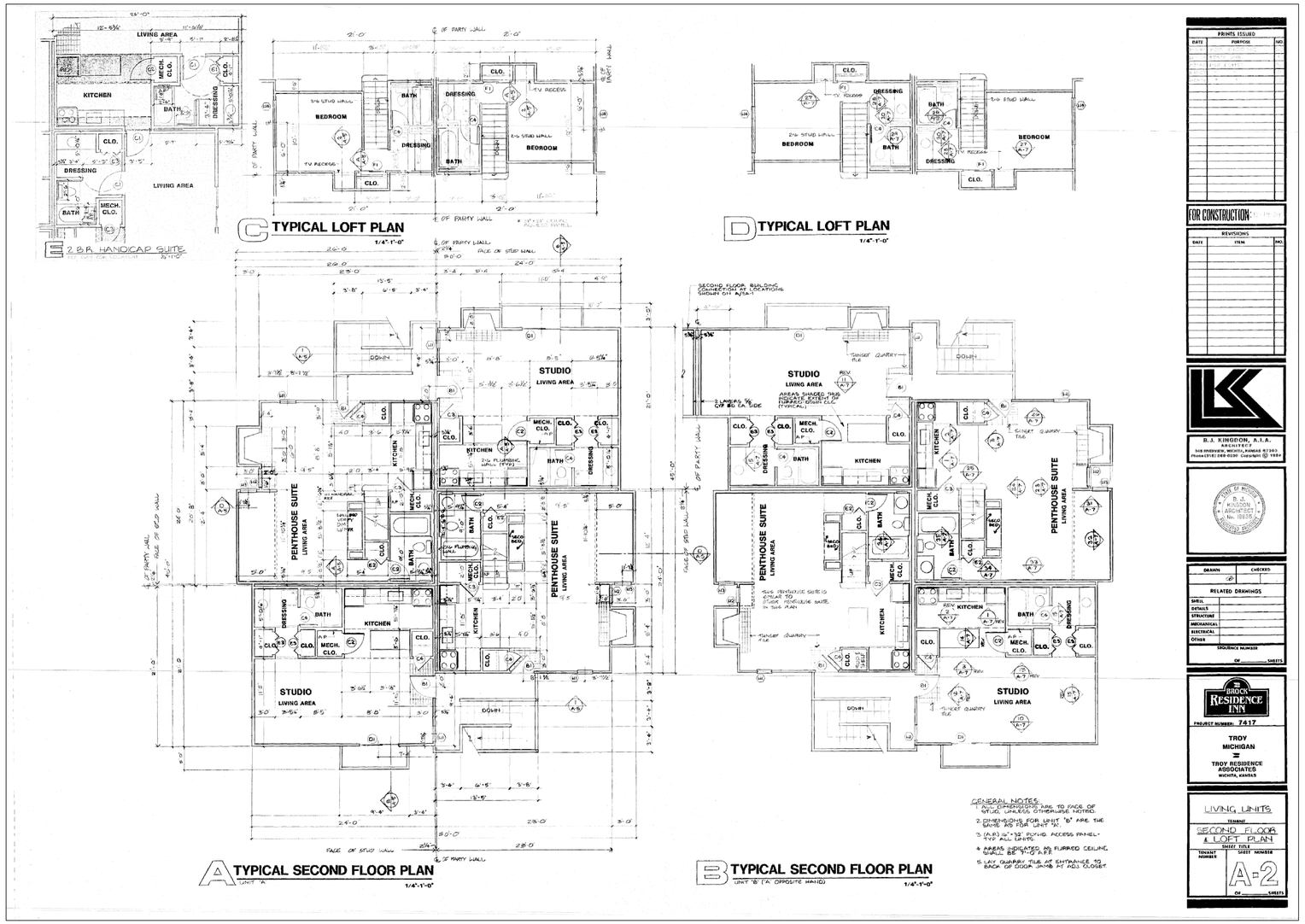

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TYPICAL BUILDING
SECOND FLOOR PLAN
SCALE - N.T.S.

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Hawthorn Suites of Troy Residential Conversion
Troy, MI

PROJECT

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EXISTING SECOND FLOOR PLANS

SHEET TITLE

21-802

PROJECT NUMBER

A-105

SHEET NUMBER

Drawing: P:\2021\21_802\Dwgs\SD\Site Plan Submittal - 2021.04.21\Sheet A-105.dwg
Date: Apr 22, 2021, 4:12pm Layout: 24x36-Layout Plotted by: wchubb

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ELEVATION #1
SCALE - 1/8" = 1'-0"

ELEVATION #2
SCALE - 1/8" = 1'-0"

NOTES:
- PROPOSED FINISHES ARE REPRESENTATIVE OF FINISHES PROPOSED FOR ALL BUILDINGS WITHIN THE EXISTING DEVELOPMENT.
- ALTERATIONS ARE COSMETIC AND NO EXTERIOR STRUCTURAL MODIFICATIONS ARE PROPOSED

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Drawing: W:\ha-fs-01\projects\2021\21.802\Dwgs\SDS\Sac Plan Submittal - 2021.042\Sheet A-200.dwg
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Hawthorn Suites of Troy Residential Conversion
Troy, MI

PROJECT

CONSULTANT

PROPOSED ELEVATIONS

SHEET TITLE

21-802

PROJECT NUMBER

A-200

SHEET NUMBER

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SIDE ELEVATION #1

SCALE - 1/8" = 1'-0"

SIDE ELEVATION #2

SCALE - 1/8" = 1'-0"

NOTES:
- PROPOSED FINISHES ARE REPRESENTATIVE OF FINISHES PROPOSED FOR ALL BUILDINGS WITHIN THE EXISTING DEVELOPMENT.
- ALTERATIONS ARE COSMETIC AND NO EXTERIOR STRUCTURAL MODIFICATIONS ARE PROPOSED

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Drawing: P:\2021\21802\Dwgs\SD\Site Plan Submittal - 2021\042 1\Sheet A-205.dwg
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PROJECT: Hawthorn Suites of Troy Residential Conversion Troy, MI

CONSULTANT

SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT NUMBER: 21-802

SHEET NUMBER: A-205

LEGAL DESCRIPTION:

A PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 27;
THENCE SOUTH 00°12'27" WEST, 1383.00 FEET ALONG THE WESTERLY LINE OF SAID SECTION; THENCE SOUTH 89°39'11" EAST, 60.00 FEET TO THE POINT OF BEGINNING AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF LIVERNOIS ROAD AND THE SOUTHERLY RIGHT OF WAY LINE OF INTERSTATE-75 (CHRYSLER FREEWAY); THENCE SOUTH 89°39'11" EAST, 800.43 FEET ALONG SAID SOUTHERLY RIGHT OF WAY LINE OF INTERSTATE I-75; THENCE SOUTH 00°12'27" WEST, 353.50 FEET; THENCE NORTH 89°45'21" WEST, 800.43 FEET ALONG THE NORTHERN BOUNDS OF CAVERLY HEIGHTS, AS RECORDED IN LIBER 27, PAGE 12 OF PLATS; THENCE NORTH 00°12'27" EAST, 354.94 FEET ALONG SAID EASTERLY RIGHT OF WAY LINE OF LIVERNOIS ROAD TO THE POINT OF BEGINNING.

SURVEY NOTES:

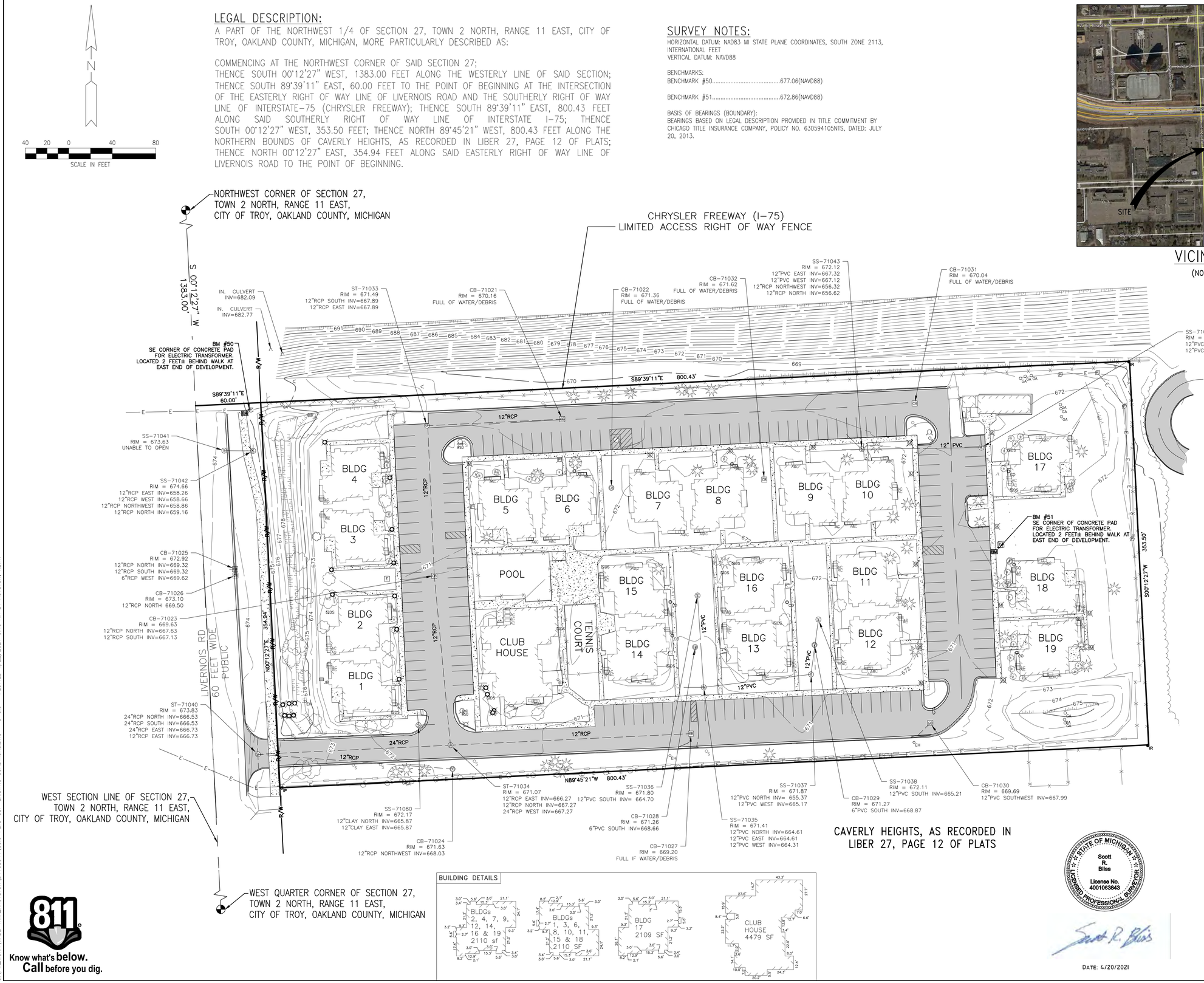
HORIZONTAL DATUM: NAD83 MI STATE PLANE COORDINATES, SOUTH ZONE 2113, INTERNATIONAL FEET
VERTICAL DATUM: NAVD88

BENCHMARKS:
BENCHMARK #50.....677.06(NAVD88)

BENCHMARK #51.....672.86(NAVD88)

BASIS OF BEARINGS (BOUNDARY):
BEARINGS BASED ON LEGAL DESCRIPTION PROVIDED IN TITLE COMMITMENT BY CHICAGO TITLE INSURANCE COMPANY, POLICY NO. 63059410SNTS, DATED: JULY 20, 2013.

VICINITY MAP
(NOT TO SCALE)



LEGEND

HANDHOLE	EH
TRANSFORMER BOX	E
POWER POLE	
IRON (FOUND)	IR
GOVERNMENT CORNER	
IRON PIPE	IP
GUY WIRE ANCHOR	GA
GUY POLE	GP
METAL LIGHT POLE	
ORNAMENTAL LIGHT	
POWER & LIGHT POLE	
CLEAN OUT	CO
SANITARY MANHOLE	S
CATCH BASIN (ROUND GRATE)	
CATCH BASIN (SQUARE GRATE)	CB
CULVERT END SECTION	
DOWN SPOUT	DS
STORM MANHOLE	
GAS METER	GM
AIR CONDITION UNIT UNIT	AC
FLAG POLE	FP
SIGN POST	
SPRINKLER JUNCTION BOX	JB
CONIFEROUS TREE	
DECIDUOUS BUSH	
DECIDUOUS TREE	
STUMP	
FIRE HYDRANT	
GATE VALVE & WELL (DETROIT)	
SHUT OFF VALVE	SO
SPRINKLER JUNCTION BOX	JB
OVERHEAD ELECTRIC	E E
SANITARY SEWER	
STORM SEWER	
EDGE OF WOODS	
DOMESTIC WATER	
BOUNDARY LINE	
BUILDING	
CHAIN LINK FENCE	X X X
RIGHT OF WAY	R/W
SECTION LINE	
TOP OF BANK	
WALL	
CONCRETE	
PAVEMENT	

STATE OF MICHIGAN
Scott R. Bliss
License No. 4001063843
LICENSED PROFESSIONAL SURVEYOR

DATE: 4/20/2021

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Flint, MI 48502
810.239.5555
www.wadetrim.com

HOBBS + BLACK ARCHITECTS
100 NORTH STATE STREET
ANN ARBOR, MI 48104
BOUNDARY & TOPOGRAPHIC SURVEY FOR HAWTHORNE REDEVELOPMENT

ISSUED FOR: PSP DATE: 04/22/21 BY: KPR

JOB NO. HOB2012.01F

SHEET C-0.0

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HOB2012.01F HAWTHORNE REDEVELOPMENT, TROY, MI

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PROJECT MANAGER:-
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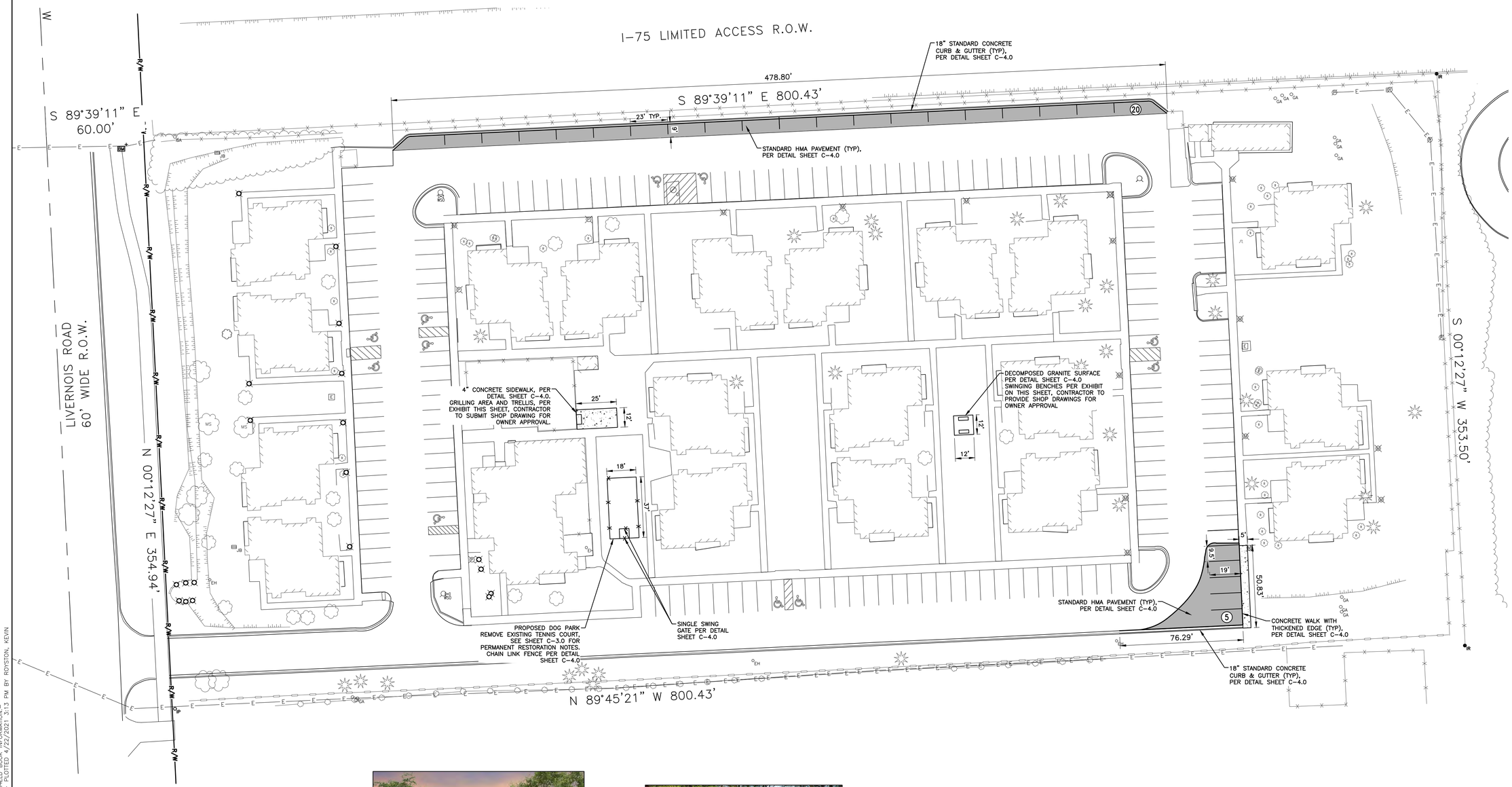
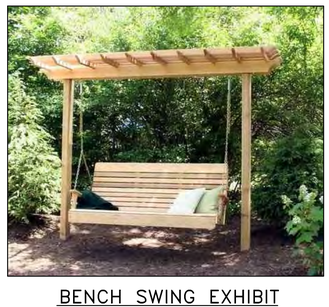


TRELLIS EXHIBIT

GRILLING AREA EXHIBIT



BENCH SWING EXHIBIT

PARKING REQUIREMENTS	
TYPE	NO. OF SPACES
REQUIRED	
PER TABLE 13.06-A SCHEDULE OF OFF-STREET PARKING SPACES, MULTIPLE-FAMILY RESIDENTIAL, 1 SPACE PER EFFICIENCY DWELLING UNIT, 2 SPACES PER EACH DWELLING UNIT.	
PARKING REQUIRED	
REGULAR SPACES	184
BARRIER FREE SPACES	6
TOTAL PARKING REQUIRED	190
PARKING PROVIDED	
REGULAR SPACES	182
BARRIER FREE SPACES	11
TOTAL PARKING SPACES	193

N

30 15 0 30 60

SCALE IN FEET

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100 NORTH STATE STREET
ANN ARBOR, MI 48104

PRELIMINARY SITE PLAN
FOR
HAWTHORNE REDEVELOPMENT

ISSUED FOR: PSP DATE: 04/22/21 BY: KPR

JOB NO. HOB2012.01F

SHEET C-1.0

HOB2012.01F HAWTHORNE REDEVELOPMENT, TROY, MI

PROJECT MANAGER:-
C:\PW_WORK\WADE-TRIM_KROYSTON\d1108ob4\EXHIBIT_01.DWG - C-1.0 - PLOTTED 4/22/2021 3:13 PM BY ROYSTON, KEVIN
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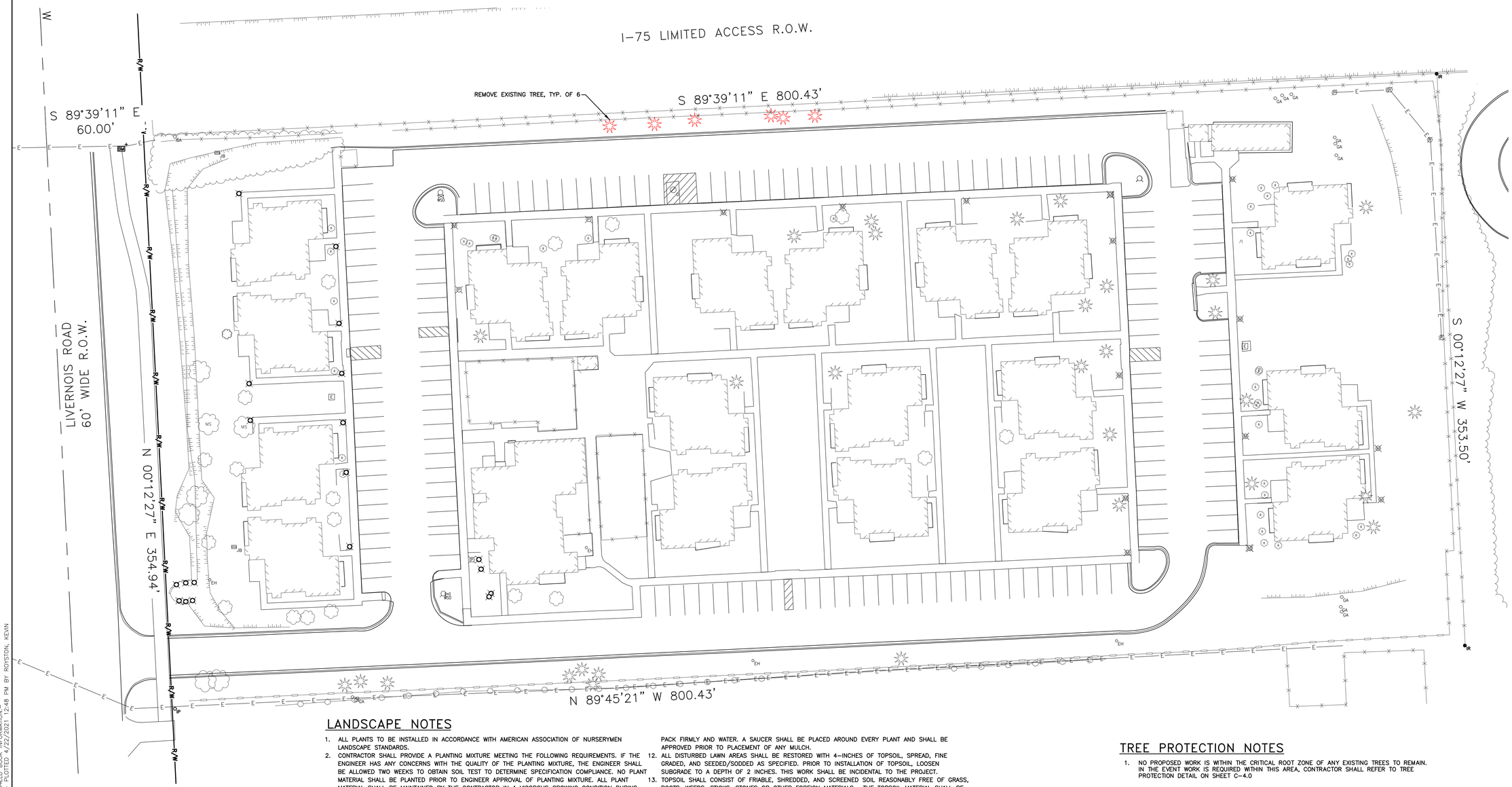

LANDSCAPE NOTES

1. ALL PLANTS TO BE INSTALLED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
2. CONTRACTOR SHALL PROVIDE A PLANTING MIXTURE MEETING THE FOLLOWING REQUIREMENTS. IF THE ENGINEER HAS ANY CONCERNS WITH THE QUALITY OF THE PLANTING MIXTURE, THE ENGINEER SHALL BE ALLOWED TWO WEEKS TO OBTAIN SOIL TEST TO DETERMINE SPECIFICATION COMPLIANCE. NO PLANT MATERIAL SHALL BE PLANTED PRIOR TO ENGINEER APPROVAL OF PLANTING MIXTURE. ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IN A VIGOROUS GROWING CONDITION DURING THIS TIME AT NO ADDITIONAL COST.
3. SPACING OF PLANT MATERIALS SHALL BE AS SHOWN ON DRAWING OR ON PLANT LIST. THE ENGINEER SHALL REVIEW THE PLACEMENT OF PLANT MATERIAL PRIOR TO AND AFTER INSTALLATION, AND RESERVES THE RIGHT TO ADJUST LAYOUT TO ACCOMMODATE SITE CONDITIONS AND DESIGN INTENT.
4. ALL PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A.A.N. STANDARDS FOR NURSERY STOCK."
5. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND REVIEWED BY THE ENGINEER.
6. FINAL PLANT LOCATIONS SHALL BE MARKED BY CONTRACTOR THREE WORKING DAYS PRIOR TO PLANTING FOR ENGINEER REVIEW.
7. ALL PLANTED PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
8. PLANT MATERIAL, ESPECIALLY EVERGREENS, TO BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITIONS (CLAY, ETC.) PREVAIL.
9. IF FOR ANY REASON ANY BALLED AND BURLAPED PLANT MATERIALS NEED TO BE STORED ON SITE LONGER THAN A 24-HOUR PERIOD, THEIR ROOT BALLS SHALL BE PROTECTED. ALL PLANTS SHALL BE THOROUGHLY WATERED EACH DAY THEY ARE STORED ON SITE. PLANTS MAY BE STORED ON SITE FOR A MAXIMUM OF TWO (2) WEEKS, OR 14 DAYS. ANY PLANTS ALLOWED TO DRY OUT AS DETERMINED BY THE ENGINEER WILL BE REJECTED.
10. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIALS MADE OF SYNTHETIC OR PLASTICS SHALL BE COMPLETELY REMOVED AT TIME OF PLANTING.
11. THE CONTRACTOR SHALL FILL PLANT PIT WITH PREPARED PLANT MIX TO ⅓ DEPTH OF ROOT BALL OR ROOT MASS, PACK FIRMLY, PUDDLE WITH WATER; THEN FOR BALLED AND BURLAPED MATERIAL, THE BURLAP AND ALL LACING (INCLUDING WIRE BASKET IF NECESSARY) SHALL BE REMOVED FROM THE UPPER 1/3 OF ROOTBALL, THEN FINISH BACKFILLING ADDING SOLID FERTILIZER TO THE PLANT MIX, PACK FIRMLY AND WATER. A SAUCER SHALL BE PLACED AROUND EVERY PLANT AND SHALL BE APPROVED PRIOR TO PLACEMENT OF ANY MULCH.
12. ALL DISTURBED LAWN AREAS SHALL BE RESTORED WITH 4-INCHES OF TOPSOIL, SPREAD, FINE GRADED, AND SEEDED/SODDED AS SPECIFIED. PRIOR TO INSTALLATION OF TOPSOIL, LOOSEN SUBGRADE TO A DEPTH OF 2 INCHES. THIS WORK SHALL BE INCIDENTAL TO THE PROJECT.
13. TOPSOIL SHALL CONSIST OF FRIABLE, SHREDDED, AND SCREENED SOIL REASONABLY FREE OF GRASS, ROOTS, WEEDS, STICKS, STONES OR OTHER FOREIGN MATERIALS. THE TOPSOIL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. SOIL COMPOSITION SHOULD CONTAIN AN ORGANIC CONTENT OF 2 TO 6 PERCENT AND BE CLASSIFIED AS A LOAM OR SANDY LOAM AS SPECIFIED IN THE "GUIDE FOR U.S.D.A. SOIL TEXTURAL CLASSIFICATION'.
14. ALL TREES AND SHRUBS ARE TO BE FERTILIZED ONCE ROOTS SYSTEM IS ESTABLISHED WITH AGRIFORM 21-GRAM FERTILIZER TABLETS AT RATES RECOMMENDED BY MANUFACTURER.
15. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
16. AT PLANTING TIME, ALL DEAD AND BROKEN BRANCHES SHALL BE PRUNED ON ALL DECIDUOUS TREES.
17. CONTRACTOR SHALL APPLY ENGINEER APPROVED PRE-EMERGENT HERBICIDE, "PREEN" OR EQUAL, TO SHRUB AND GROUND COVER PLANTING AREAS AT THE TIME OF PLANTING (IF SPRING PLANTED) OR THE FOLLOWING SPRING. CONTRACTOR SHALL ENSURE THE PLANT MATERIALS ARE RESISTANT TO THE HERBICIDES PROPERTIES. HERBICIDE SHALL BE APPLIED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH SOUND HORTICULTURAL PRACTICES.
18. ALL TREES, SHRUBS AND PERENNIAL GROUND COVER SHALL RECEIVE A MINIMUM DEPTH OF THREE INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH. WHERE PLANT BEDS MEET PAVEMENTS, LAWN, OR STEEL EDGING CUT THE GRADE TO ALLOW FOR MULCH AND THREE-INCH DROP FROM ADJOINING FINISH GRADE.
19. ALL PLANT BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8-INCHES AND BACKFILLED WITH SPECIFIED PLANT MIX AS PER PLANTING BED DETAILS. BEDS SHALL BE EDGED WITH METAL EDGING AROUND PERIMETER. ALL EDGING SHALL BE 4" WIDE – 12 GAUGE STEEL, COLOR BLACK. CONTRACTOR SHALL LAYOUT EDGING FOR APPROVAL AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.
20. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) FULL YEAR FOLLOWING PLANTING. ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN SHALL BE REPLACED BY THE END OF THE FOLLOWING GROWING SEASON.
21. APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHOROUS.

TREE PROTECTION NOTES

1. NO PROPOSED WORK IS WITHIN THE CRITICAL ROOT ZONE OF ANY EXISTING TREES TO REMAIN. IN THE EVENT WORK IS REQUIRED WITHIN THIS AREA, CONTRACTOR SHALL REFER TO TREE PROTECTION DETAIL ON SHEET C-4.0

LEGEND

TREE TO BE REMOVED

TREE PRESERVATION SUMMARY	
EXISTING TREES	
STREET FRONTAGE TREES	11
PARKING LOT TREES	23
TOTAL EXISTING TREES	34
TREES TO BE REMOVED	
STREET FRONTAGE TREE REMOVAL	0
PARKING LOT TREE REMOVAL	6
TOTAL TREE REMOAL	6
EXISTING TREES TO REMAIN	28

N

30 15 0 30 60
SCALE IN FEET

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810.785.5500
www.wadetrim.com

HOBBS + BLACK ARCHITECTS
100 NORTH STATE STREET
ANN ARBOR, MI 48104

TREE PRESERVATION PLAN
FOR
HAWTHORNE REDEVELOPMENT

ISSUED FOR: DATE: BY:
PSP 04/22/21 KPR

HOB2012.01F HAWTHORNE REDEVELOPMENT, TROY, MI

JOB NO.
HOB2012.01F

SHEET
C-2.0

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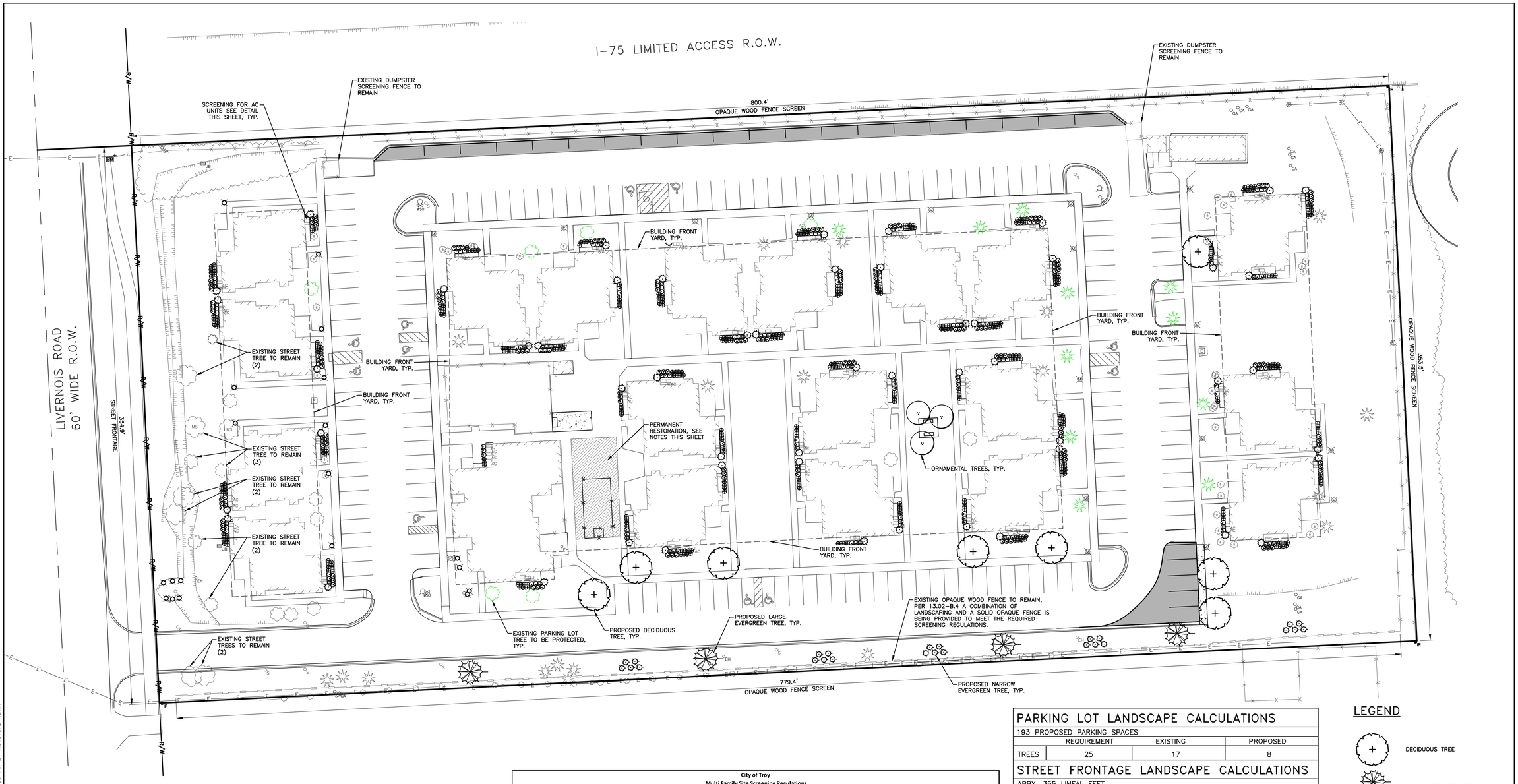

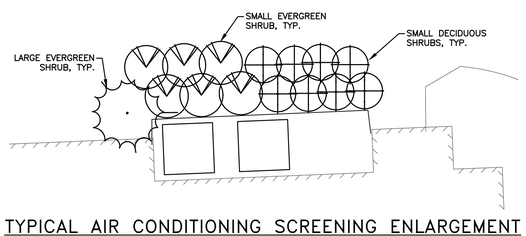

TYPICAL AIR CONDITIONING SCREENING ENLARGEMENT

SCALE 1"=5'

City of Troy Multi Family Site Screening Regulations				
Location	Land Use	Regulation	Required	Type/Size
North & West Side	BB Big Beaver Road (Form Based Zoning)	None	None	None
South Side	R-1E One Family Residential	Per Table 13.02-B Screen Alternative 1 or 2* (13.02-B.3 & 13.02-B.4)	Yes	Per Table 13.02-A
East Side	MF Multi Family Residential	None	None	None

*13.02-B.3 Solid Wall or Fence. Where a land use activity creates noise, light, dust or other similar nuisance that cannot be effectively screened by a landscape buffer, a solid opaque wall or fence may be required. Such wall or fence shall be a minimum of six (6) and a maximum of eight (8) feet in height as measured on the side of the proposed wall having the higher grade. A required wall shall be located on the lot line, except alternate locations may be approved where underground utilities interfere, where this Ordinance requires conformity with front yard setback requirements, or where an alternate location provides more effective screening.

*13.02-B.4 Combinations. A combination of landscaping and a solid opaque wall or fence may be approved where such a combination provides more effective screening.

See pages 275-293 of City of Troy Ordinance for full requirements.

City of Troy Landscaping Regulations	
Location	Regulation
Parking Lot	1 tree for every 8 parking spaces. Landscaping shall be arranged in curbed islands within the parking lot which shall not be less than 200 square feet in area. A minimum distance of 3 feet from the backside of the curb and the proposed landscape plantings shall be provided. **
Greenbelt	Minimum of 10 feet in width and 1 deciduous for every 30 lineral feet, or fraction thereof, of frontage abutting a public road right-of-way. Deciduous trees within a greenbelt shall be a minimum caliper of 2 1/2 inches or greater and evergreen trees shall be a minimum of 5 to 6 feet in height. In addition to the required trees within the greenbelt, the remainder of the greenbelt shall be landscaped with grasses, ground covers, shrubs and other natural landscape materials.
Street Frontage	The frontage of all internal public or private streets shall be landscaped with the equivalent of one (1) tree for every fifty (50) lineal feet, or fraction thereof. Such street trees shall meet the minimum size, spacing and species requirements set forth in Sections 13.02.H, Minimum Size and Spacing Requirements.

** An equivalent amount of landscape plantings at the perimeter of parking lots may be approved where landscaping within parking lots would be impractical due to the size of the parking lot, detrimental to safe and efficient traffic flow, or would create an unreasonable burden for maintenance and snowplowing, provided all other landscaping requirements are met.

See pages 275-293 of City of Troy Ordinance for full requirements.

PARKING LOT LANDSCAPE CALCULATIONS

193 PROPOSED PARKING SPACES

	REQUIREMENT	EXISTING	PROPOSED
TREES	25	17	8

STREET FRONTAGE LANDSCAPE CALCULATIONS

APPX. 355 LINEAL FEET

	REQUIREMENT	EXISTING	PROPOSED
TREES	8	11	0

SCREENING LANDSCAPE CALCULATIONS

APPX. 800 LINEAL FEET

	REQUIREMENT	EXISTING	PROPOSED
ALT 1	1 PER 3 LF	0	25
ALT 2	1 PER 10 LF	7	4
6' OPAQUE FENCE		780	0

LEGEND

- DECIDUOUS TREE
- LARGE EVERGREEN TREE
- EXISTING PARKING LOT TREE TO BE PROTECTED
- ORNAMENTAL TREE
- PERMANENT RESTORATION

N

30 15 0 30 60

SCALE IN FEET

PERMANENT RESTORATION NOTES

1. ALL ON-SITE UNPAVED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL, SEED/SOD AND MULCH. TOPSOIL SHALL BE PER ASTM D5268 AND SHALL BE NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL. IF EXISTING ONSITE TOPSOIL OR IMPORTED TOPSOIL DOES NOT MEET THESE REQUIREMENTS, THE TOPSOIL SHALL BE CONDITIONED UNTIL REQUIREMENTS ARE MET.
2. HYDROSEED FOR LAWN AREAS IS TO CONSIST OF A SEED MIXTURE AS FOLLOWS:
   40% PERENNIAL RYEGRASS
   20% KENTUCKY BLUEGRASS
   10% NEW PORT KENTUCKY BLUEGRASS
   30% PENN LAWN RED FESCUE
   THE GRASS SEED MIXTURE SHALL BE SOWN UNIFORMLY AT A RATE OF 220-250 POUNDS PER ACRE.
3. FERTILIZER SHALL HAVE AN ANALYSIS OF 8-8-8 OR 10-10-10 OF NITROGEN, PHOSPHORUS AND POTASSIUM AND IS TO BE USED IN THE LAWN AREA HYDROSEED APPLICATION. FERTILIZER SHALL BE APPLIED AT THE RATE REQUIRED TO FURNISH 300 POUNDS PER ACRE.
4. MULCH SHALL BE STRAW, HAY OR EXCELSIOR. THE MULCH SHALL BE APPLIED AT A RATE OF 1,500 POUNDS PER ACRE WITH 30 POUNDS PER ACRE OF GLUE

PLANTING NOTES

1. ALL PROPOSED PLANTINGS SHALL MEET THE MINIMUM SIZE AND SPACING REQUIREMENTS OF TABLE 13.02-C: MINIMUM SIZE AND SPACING REQUIREMENTS FOR LANDSCAPING MATERIALS, LOCATED IN ARTICLE 13 SITE DESIGN STANDARDS OF THE CITY OF TROY ZONING ORDINANCE.

811 Know what's below. Call before you dig.

REV#	DATE	DESCRIPTION	BY

WADE TRIM
555 S. Saginaw Street, Suite 201
Flint, MI 48502
Ph: 810.235.5500
www.wadetrim.com

HOBBS + BLACK ARCHITECTS
100 NORTH STATE STREET
ANN ARBOR, MI 48104

PRELIMINARY LANDSCAPE PLAN FOR HAWTHORNE REDEVELOPMENT

HOB2012.01F HAWTHORNE REDEVELOPMENT, TROY, MI

ISSUED FOR:	DATE:	BY:
PSP	04/22/21	KPR

JOB NO. HOB2012.01F

SHEET C-3.0

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PROJECT MANAGER:-
C:\PW_WORK\WADE-TRIM_KROYSTON\D1108644\EXHIBIT_03.DWG - C-3.0 - PLOTTED 4/22/2021 12:50 PM BY ROYSTON, KEVIN
FIELD BOOK INFORMATION:-

NOTES

CONCRETE NOTES

1. ALL CONCRETE SHALL BE 4500 PSI CONCRETE MIX UNLESS OTHERWISE NOTED.
2. ALL POLY FIBER REINFORCED CONCRETE SHALL HAVE A MIX RATIO OF 1.5 LBS OF POLY FIBER PER 1.0 CYD OF CONCRETE.

CONCRETE JOINTS

1. THE CONTRACTOR MUST PREPARE A JOINTING PLAN AND SUBMIT TO ENGINEER AS A SHOP DRAWING FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE.
2. BEGIN SAW CUTS AFTER THE CONCRETE HAS HARDENED ENOUGH TO PERMIT SAWING WITH OUT RAVELING OR MOVING AGGREGATES.
3. IF CRACKS DEVELOP AHEAD OF A SAW, STOP SAWING THAT JOINT. LATER USE CRACK SAWS TO FORM JOINT SEALANT RESERVOIRS ALONG THE CRACK LINE.
4. JOINT SPACING:
   A. MAXIMUM SLAB SIZE = 2 X SLAB THICKNESS (INCHES TO FEET), I.E.: 2 X 6 INCHES = 12 FEET – 15 FEET IS ABSOLUTE MAX.
   B. RECOMMENDED MAXIMUM JOINT SPACING (SMALLER IS BETTER)
      A. 4" SLAB: 6 FEET
      B. 6" SLAB: 10 FEET
      C. 8" SLAB: 14 FEET
      D. 9" SLAB: 15 FEET
5. CATCH BASIN AND MANHOLE CASTINGS REQUIRE A BOXOUT OR ISOLATION TO ALLOW FOR VERTICAL AND HORIZONTAL SLAB MOVEMENT.
6. SAWCUT JOINTS SHALL BE CONTINUOUS ACROSS THE SLAB AND SHALL MATCH LOCATION OF JOINTS ON ABUTTING CONCRETE SLABS.
7. CONTRACTOR SHALL PROVIDE ISOLATION/EXPANSION JOINTS BETWEEN SLABS OR AT STRUCTURES.
8. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINTS AT EDGE OF POURS OR FORM LINES.
9. THE CONTRACTOR SHALL PROVIDE CONTRACTION JOINTS (SAW CUTS OR TOOLED) EQUALLY SPACED AS IDENTIFIED IN NOTE 4 THIS SHEET.

CONCRETE CURBING

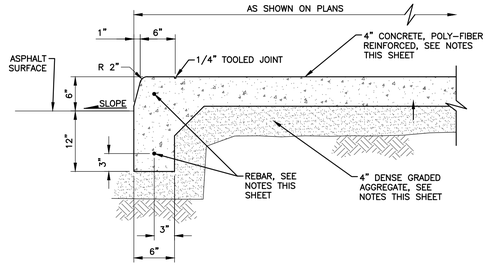
1. WHERE THE DRAINAGE FLOWS AWAY FROM THE CURB AND GUTTER THE CONTRACTOR MODIFY THE CURB AND GUTTER DETAIL TO SLOPE AWAY FROM THE CURB FACE @ 1" PER FOOT.
2. THE CONTRACTOR SHALL NOT GRADE SITE SO THAT STORM WATER FLOWS TOWARDS OR AGAINST STRAIGHT CURB OR THICKENED EDGE SIDEWALK.
3. ALL REBAR FOR CONCRETE CURB AND GUTTER SHALL BE # 4 EPOXY COATED.
4. PLACE 1" FIBER JOINT FILLER AT 400' MAXIMUM INTERVALS.
5. PLACE 1" FIBER JOINT FILLER AT SPRING POINTS IF CURB RETURNS (AND INTERSECTION STREETS).
6. PLACE 1" FIBER JOINT FILLER IN ADJACENT CONTRACTION JOINTS EACH SIDE OF CATCH BASINS.
7. PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS (NO SAW CUT JOINTS ALLOWED).

ASPHALT

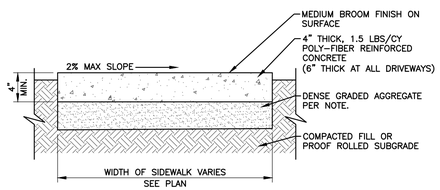
1. THE LEVELING AND WEARING COURSE SHALL BE DONE IN TWO LIFTS OF MDOT 4E1 OR APPROVED EQUAL (13AM LVSP).
2. THE ASPHALT BINDER SHALL BE PG 58–28.

MATERIALS

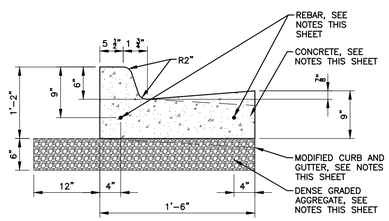
1. GRANULAR MATERIAL – MDOT CLASS II SAND
2. OPEN GRADED AGGREGATE – MDOT 6A OR AASHTO #57
3. DENSE GRADED AGGREGATE – MDOT 21AA CRUSHED LIMESTONE
   A. CONTRACTOR CAN USE EXISTING CRUSHED SITE CONCRETE/ASPHALT AS AGGREGATE BASE MATERIAL. CONTRACTOR SHALL INCREASE BASE THICKNESS BY 25%.



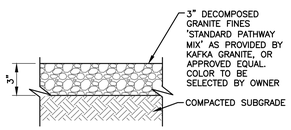
CONCRETE WALK WITH THICKENED EDGE
NOT TO SCALE



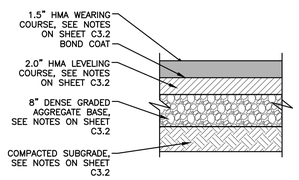
4" CONCRETE SIDEWALK DETAIL
NOT TO SCALE



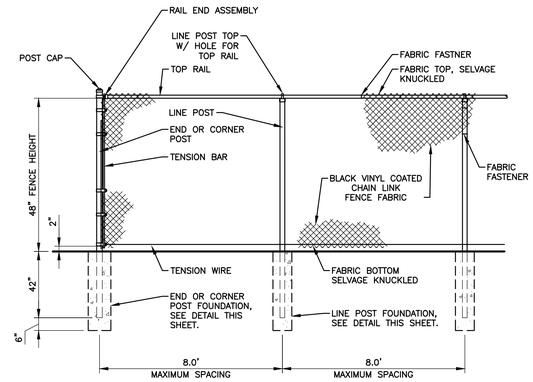
18" STANDARD CURB & GUTTER DETAIL
NOT TO SCALE



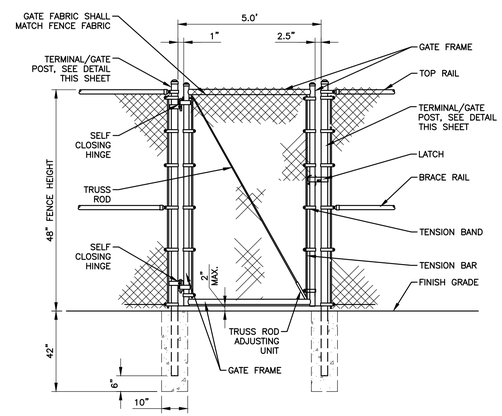
DECOMPOSED GRANITE SURFACING DETAIL
NOT TO SCALE



STANDARD HMA PAVEMENT DETAIL
NOT TO SCALE

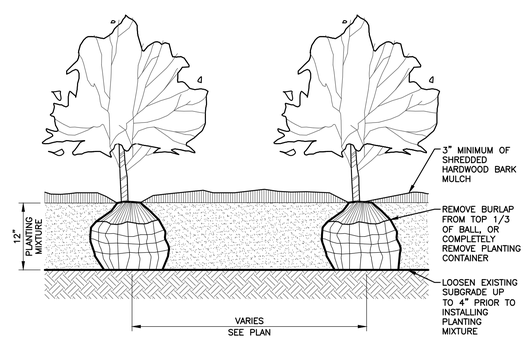


CHAIN LINK FENCE DETAIL
NOT TO SCALE



NOTE:
1. FOR SELF-CLOSING HINGE USE TruClose HEAVY-DUTY ROUND, MODEL#TCHDRND2-MK2, BLACK COLOR
2. LATCH SHALL BE OF A TYPE THAT WORKS WITH SELF-CLOSING GATE.
3. FOR GATE FRAME AND FABRIC SEE NOTES THIS SHEET OR SPECIFICATIONS.

SINGLE SWING GATE
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

LEGEND

X = MINIMUM WIDTH OF PREPARED SOIL FOR TREES

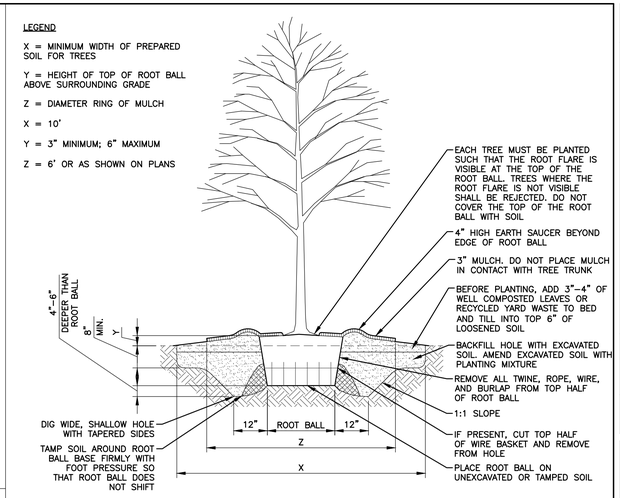
Y = HEIGHT OF TOP OF ROOT BALL ABOVE SURROUNDING GRADE

Z = DIAMETER RING OF MULCH

X = 10'

Y = 3" MINIMUM; 6" MAXIMUM

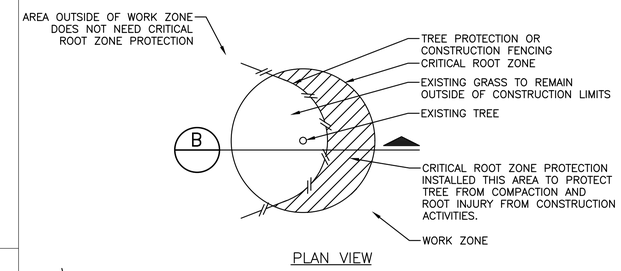
Z = 6' OR AS SHOWN ON PLANS



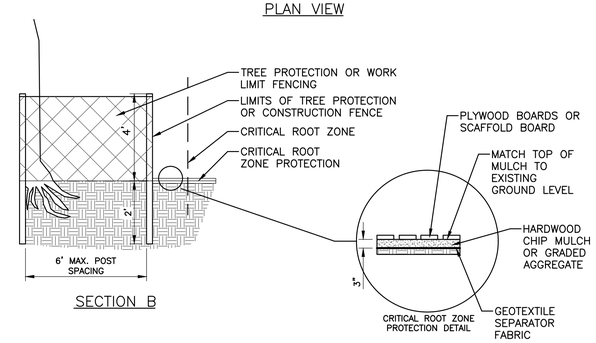
NOTES:

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OR THE CONTAINER.
2. AFTER DIGGING HOLE, FILL WITH WATER TO CONFIRM THAT WATER DRAINS OUT OF THE SOIL. IF HOLE DOES NOT PERC, DO NOT PLANT TREE. NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION.
3. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL IMMEDIATELY AFTER PLANTING.
4. THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
5. PURCHASE TREE WITH ONE CENTRAL LEADER. DO NOT PRUNE TREE AT PLANTING EXCEPT AS DIRECTED BY LANDSCAPE ARCHITECT.
6. SET TREE PLUMB WITH VERTICAL TRUNK.
7. WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

TREE PLANTING DETAIL
NOT TO SCALE



PLAN VIEW



SECTION B

NOTE:

1. DETAIL APPLIES ONLY FOR TREES IN AREAS WHERE CRITICAL ROOT ZONE IS WITHIN WORK LIMITS.
2. CRITICAL ROOT ZONE IS 1.5 X TREE DIAMETER FROM EDGE OF TREE.

CRITICAL ROOT ZONE PROTECTION WITHIN WORK ZONE DETAIL
NOT TO SCALE

REV#	DATE	DESCRIPTION	BY

WADE TRIM
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HOBBS + BLACK ARCHITECTS
100 NORTH STATE STREET
ANN ARBOR, MI 48104
SITE & LANDSCAPE DETAILS
FOR
HAWTHORNE REDEVELOPMENT

HOB2012.01F HAWTHORNE REDEVELOPMENT, TROY, MI

ISSUED FOR:	DATE:	BY:
PSP	04/22/21	KPR

JOB NO. HOB2012.01F

SHEET C–4.0

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PROJECT MANAGER: –
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FIELD BOOK INFORMATION:–

EXISTING PHOTO

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RENDERING OF EXISTING

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PROPOSED RENDERING

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Carlisle | Wortman
ASSOCIATES, INC.
117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: May 14, 2021

Preliminary Site Plan Review
For
City of Troy, Michigan

Project Name: Alcove

Plan Date: April 22, 2021

Location: 2600 Livernois

Zoning: MF, Multiple Family Residential

Action Requested: Preliminary Plan Approval

PROJECT AND SITE DESCRIPTION

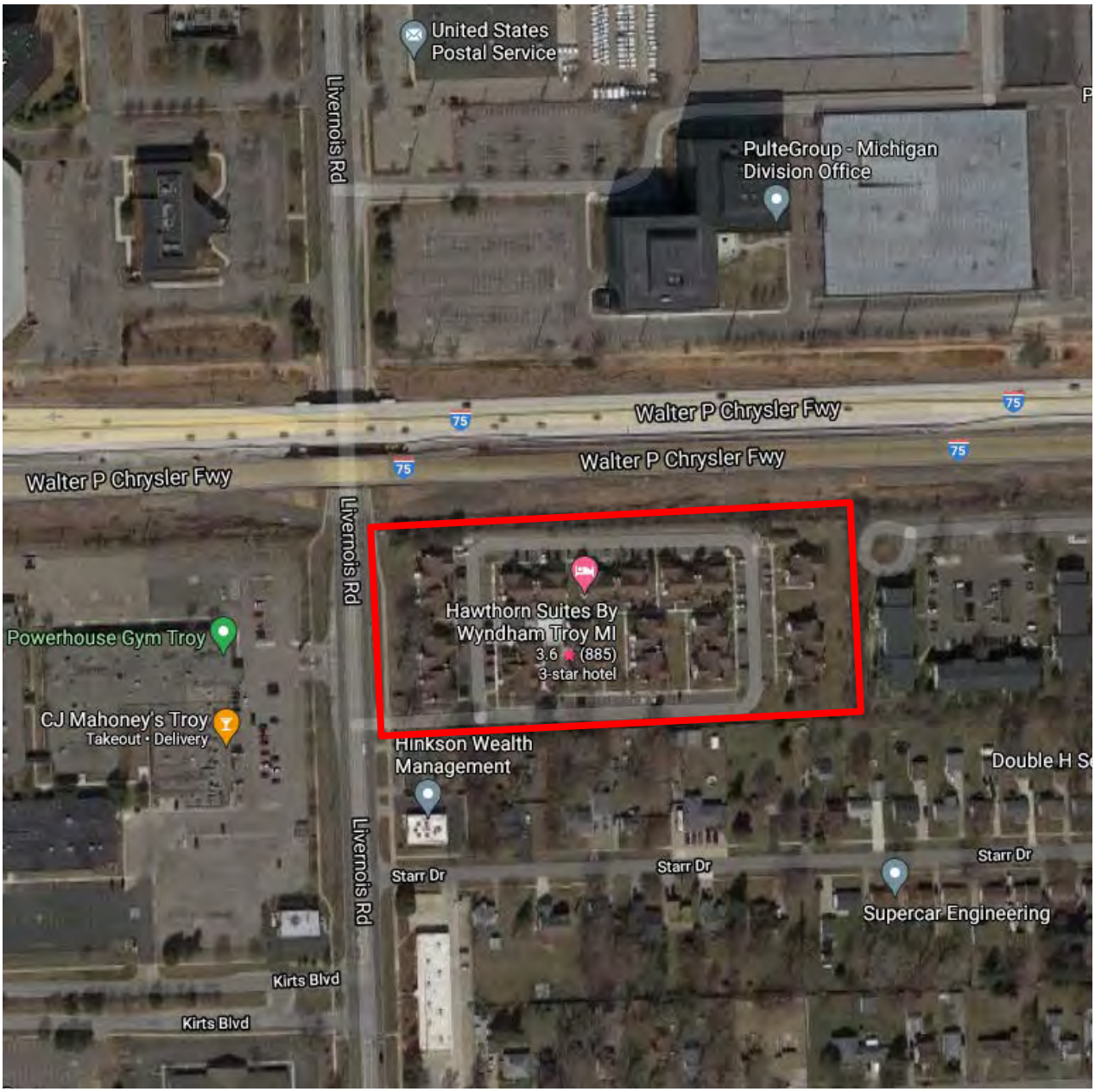
The applicant is proposing to convert the existing Hawthorne Suites, which is an extended stay hotel, to a multiple family apartment development. The applicant is proposing a one-to-one conversion of units, converting the existing 151 extended stay units into 151 apartments units.

As part of the conversion, proposed improvements include:

- Landscaping
- Architectural
- Twenty-five (25) additional parking spaces

The applicant does not propose any changes to the existing building footprint. The applicant proposes to add twenty (20) parallel parking spaces along the northern property line adjacent to the I-75 right of way. Five (5) additional spaces are proposed in the southwest portion of the property. With these twenty-five (25) additional spaces, the site will be served with 193 parking spaces, which is three (3) more than required.

Figure 1. *- Location and Aerial Image of Subject Site*



<u>Size of Subject Property:</u>
23.35 acres

<u>Proposed Uses of Subject Parcel:</u>
One-hundred and fifty-one (151) apartment units

<u>Current Use of Subject Property</u>:
One-hundred and fifty-one (151) apartment units

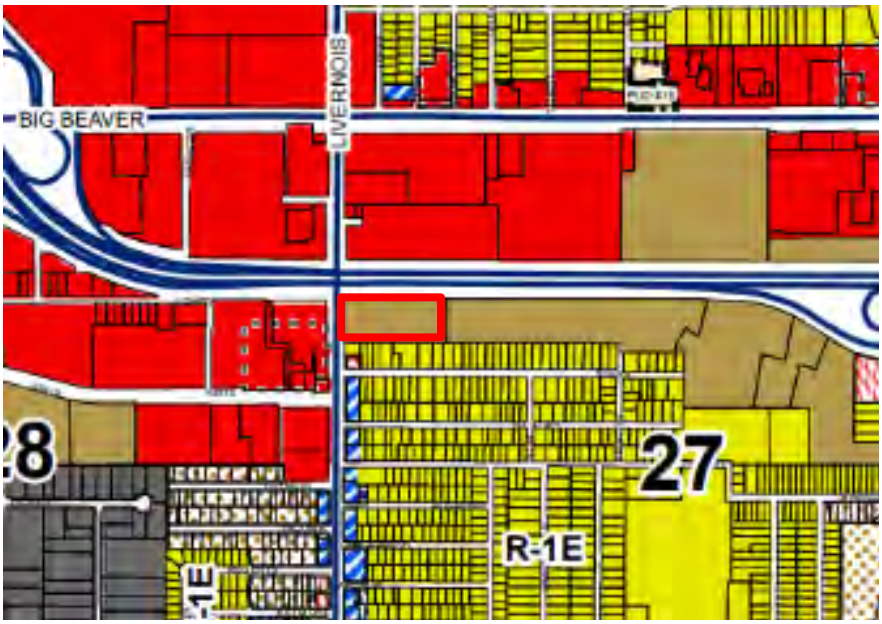
Extended Stay Hotel

Current Zoning:
The property is currently zoned MF, Multiple Family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	I-75	I-75
South	R-1E, One-family Residential District	Single-family homes
East	MF, Multiple Family Residential District	Single-family homes
West	BB, Big Beaver	Commercial

Items to be addressed: *None*



ZONING BOARD OF APPEALS

Though zoned MF, Multiple Family Residential, the conversion from an extended stay hotel to multiple family requires two variances:

1. As set forth in Section 4.08.C, multiple family residential is capped at 10 units per acre when adjacent to residential. The site is 6.4 acres, which would permit a maximum of 64 units. The applicant is proposing a one-to-one conversion of units, converting the existing 151 extended stay units into 151 apartments units. This equates to 23.35 units per acre.

2. As set forth in Section 4.08.C, the minimum square footage of an efficiency or one-bedroom unit is 600 square feet. The existing units range in size from 475 to 600 square feet.

The Planning Commission is asked to review and consider the preliminary site plan prior to the applicant going to the ZBA for the required variances.

LANDSCAPING

Table 2. *– Landscaping Requirements*

	Required:	Provided:	Compliance:
Street Trees: The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	Livernois = 12 trees	11 trees	Deficient by one (1) tree
Site landscaping: A minimum of twenty percent (15%) of the site area shall be comprised of hardscape and landscape material.	20%	Unkown	Provide calculation
Parking Lot Landscaping: 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	193 surface spaces = 25 trees	25 trees	Compliant with Planning Commission approval
Screening between land uses: Large evergreen every 10 feet or small ever 3 feet.	Large evergreen every 10 feet or small ever 3 feet or alternative as approved by the Planning Commission	Existing landscaping to be supplemented with additional evergreens. Existing 4-foot masonry wall to remain.	Not compliant. See comment below

The applicant is providing additional trees to comply with the number of parking lot trees but we note that they are located along the perimeter of the parking lot. If they were to place the trees within the existing parking lot they would remove parking and then be out of compliance with the required parking. The Planning Commission may approve parking lot trees to be placed at the perimeter of the parking lots.

There is an existing 4-foot masonry wall that runs the length of the property on the south side. There is no note on the plan of its removal, so we assume it will remain. However, there are pockets along the southern property line that are not adequately screened, and the proposed landscaping is not sufficient to screen those areas. The applicant shall resubmit a landscape plan with sufficient plant density to adequately screen the entire southern property line.

Other site amenities include creation of a dog park, grilling area, and swing area.

Items to be Addressed: *1). Planning Commission to consider allowing parking lot trees to be planted outside of the parking lot; 2). Provide overall site landscaping calculation; 3). Resubmit a landscape plan with sufficient plant density to adequately screen the entire southern property line; and 4). Resubmit landscape plan with a stamp from a registered architect.*

ELEVATIONS AND FLOOR PLANS

The applicant is proposing minimal changes to the materials and elevations. Outside of new paint, the only material change the applicant proposes is to replace the vinyl siding on the first floor, with new vinyl. We find that conversion of these units from extended stay to apartments is a unique opportunity to make site improvements including material and architectural changes. We recommend that the applicant provide a higher quality material than vinyl and provide additional architectural improvements to the buildings.

Items to be addressed: Provide a higher quality material than vinyl and provide additional architectural improvements to the buildings.

RECOMMENDATIONS

Because the applicant needs variance, the Planning Commission cannot take action on the item until and if the variances are granted. The Planning Commission is asked to review and consider the preliminary site plan prior to the applicant going to the ZBA for the required variances.

If the variances are granted by the Zoning Board of Appeals, we recommend that the applicant revise their plans and resubmit prior to coming back to the Planning Commission with the following items addressed:

1. Provide overall site landscaping calculation
2. Resubmit a landscape plan with sufficient plant density to adequately screen the entire southern property line
3. Resubmit landscape plan with a stamp from a registered architect
4. Provide a higher quality material than vinyl and provide additional architectural improvements to the buildings.

CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

PRELIMINARY SITE PLAN REVIEWS

7. PRELIMINARY SITE PLAN REVIEW (File Number PSCP2021-0001) – Proposed Willowbrook No. 2 Site Condominium (PIN 88-20-24-100-013 and 88-20-24-100-014), 7 units/lots, East side of John R, South of Wattles, Section 24, Currently Zoned R-1C (One Family Residential) Zoning District

(Item removed from agenda at request of applicant.)

8. PRELIMINARY SITE PLAN REVIEW (File Number SP 2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple Family Residential) Zoning District

Mr. Savidant reviewed the Alcove Site Improvements application. He said the applicant wants to convert an extended-stay hotel to a multi-family apartment building. Mr. Savidant identified neighboring land uses and zoning. He addressed landscaping, architectural improvements, parking and elevations. Mr. Savidant said site plan approval would provide an opportunity for the Commission to ask the applicant for higher quality building materials, additional architectural improvements and additional landscaping should it desire.

Mr. Savidant referenced a memorandum provided by the Police Department enumerating the police calls to the Hawthorn Suites. He said it is anticipated that the conversion to multi-family residential would reduce the need for police service to the property and would be a significant benefit for the City.

Mr. Savidant summarized the two variances for which the applicant is required to seek from the Zoning Board of Appeals (ZBA). He indicated if the variances are granted, it is recommended that the applicant revise their plans and resubmit prior to coming back to the Planning Commission for site plan review and address items identified in the Planning Consultant report dated May 14, 2021.

Present from Tricap Residential Group were CEO and Founder Bryan Pritchard and Development Manager Robert Sanchez. Also present was Luke Bonner, Consultant, from Bonner Advisory Group.

Mr. Pritchard said Tricap Residential Group makes significant investments in underutilized apartment complexes to launch multi-family residential developments and indicated they typically are long-term holders and operators of the multi-family communities. He gave a brief history of the firm and his personal relationship with the City of Troy.

Mr. Bonner said they considered density and size of units resulting in two scenarios: combining units or demolishing the entire site. He said the size of units would still be under the requirements for multi-family if the entire site was demolished. He addressed the existing building layout and indicated the current units are not congruent with one

another to create a workable floor plan and design for larger units, noting a potential to run into structural issues. Mr. Bonner addressed building materials.

Mr. Sanchez addressed the price point for the multi-family residential and enhanced outdoor amenities that would create a community within the complex.

(Mr. Carlisle arrived 8:08 p.m.)

There was discussion on:

- Review of application; discussion only, no recommendation to ZBA.
- Existing building, landscaping, wall; in compliance.
- Number of extended-stay hotels located in City.
- Police incidences; potential to lower police service calls.
- Price range of apartment units; $900 - $1,100.
- Building materials; consideration of higher quality, durable materials.
- Physical layout of building as relates to conversion.
- Target tenants; professional singles and couples.
- Additional landscaping; visual amenity to neighboring residents.

Mr. Pritchard said there was positive feedback when they shared the proposed improvements to neighboring residents. He extended a thank-you to the Board and assured their comments would be taken into consideration.

CITY OF TROY MASTER PLAN

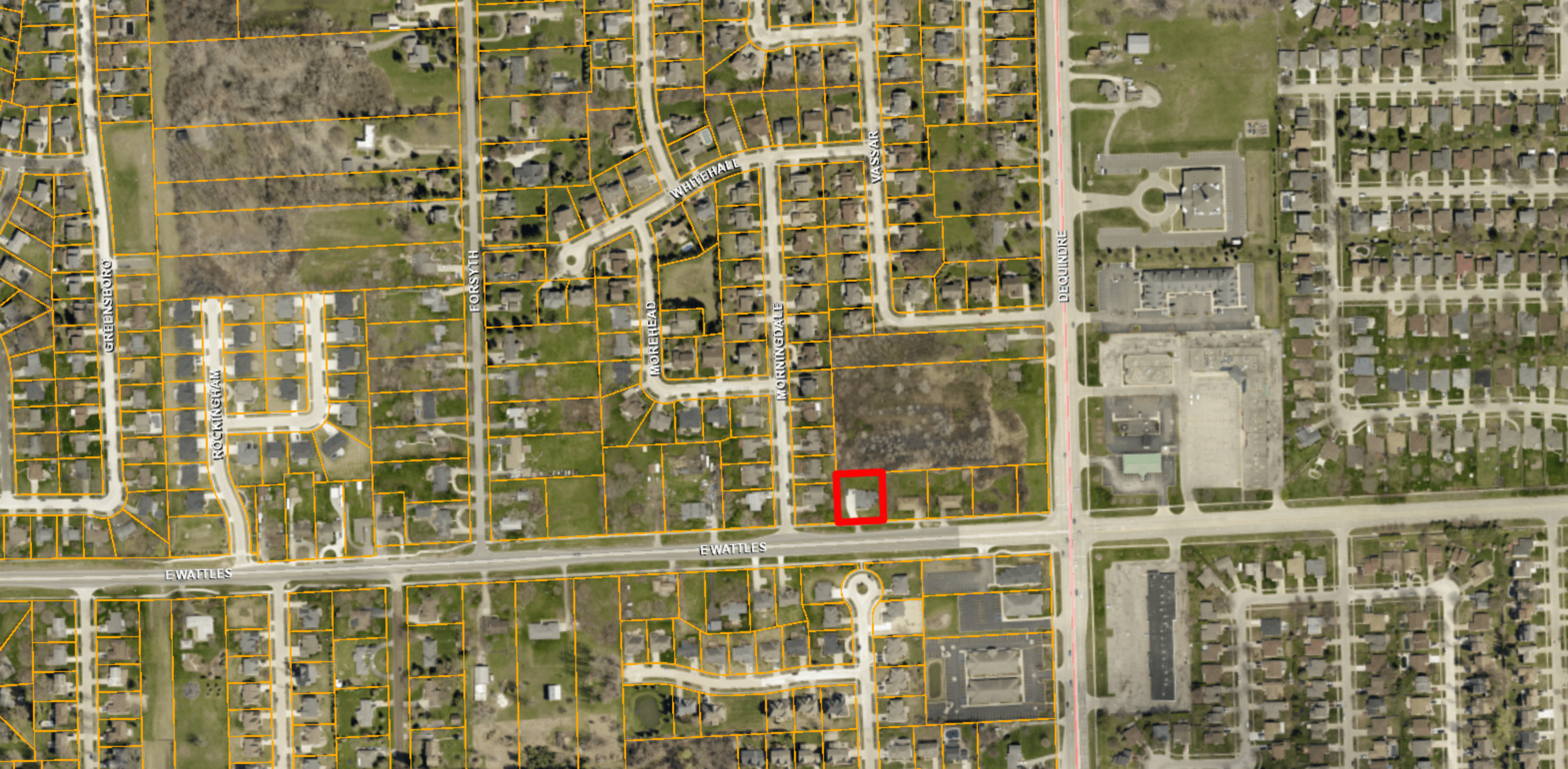
9. MASTER PLAN UPDATE

Mr. Carlisle said the Master Plan survey goes live on May 27 and would remain open until June 18. He noted there is flexibility to extend the time frame if desired. Mr. Carlisle displayed a flyer that states the web address and a QR code of the survey that would be distributed and placed in highly visible locations in the community. Mr. Carlisle addressed the distribution plan and asked the Board to let him know if they have other suggestions.

There was discussion on:

- Goal of survey responses.
- Distribution suggestions; school districts, Chamber of Commerce, Walsh College, homeowner associations, Global Troy Advisory Committee, retail locations.
- Kudos on flyer creativity.

VARIANCE REQUEST, 2887 E WATTLES, JESUS M. RIVERA JR. & JUANITA RIVERA - A variance to enlarge the existing single family home and construct a shed. The property is in the NN Zoning District. The use is nonconforming because single family residences are not permitted in the NN Zoning District. The Zoning Ordinance prohibits enlarging structures devoted to nonconforming uses. The home was originally constructed prior to the establishment of the NN Zoning District.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FORSYTH
WHITEHALL
MOREHEAD
MORNINGDALE
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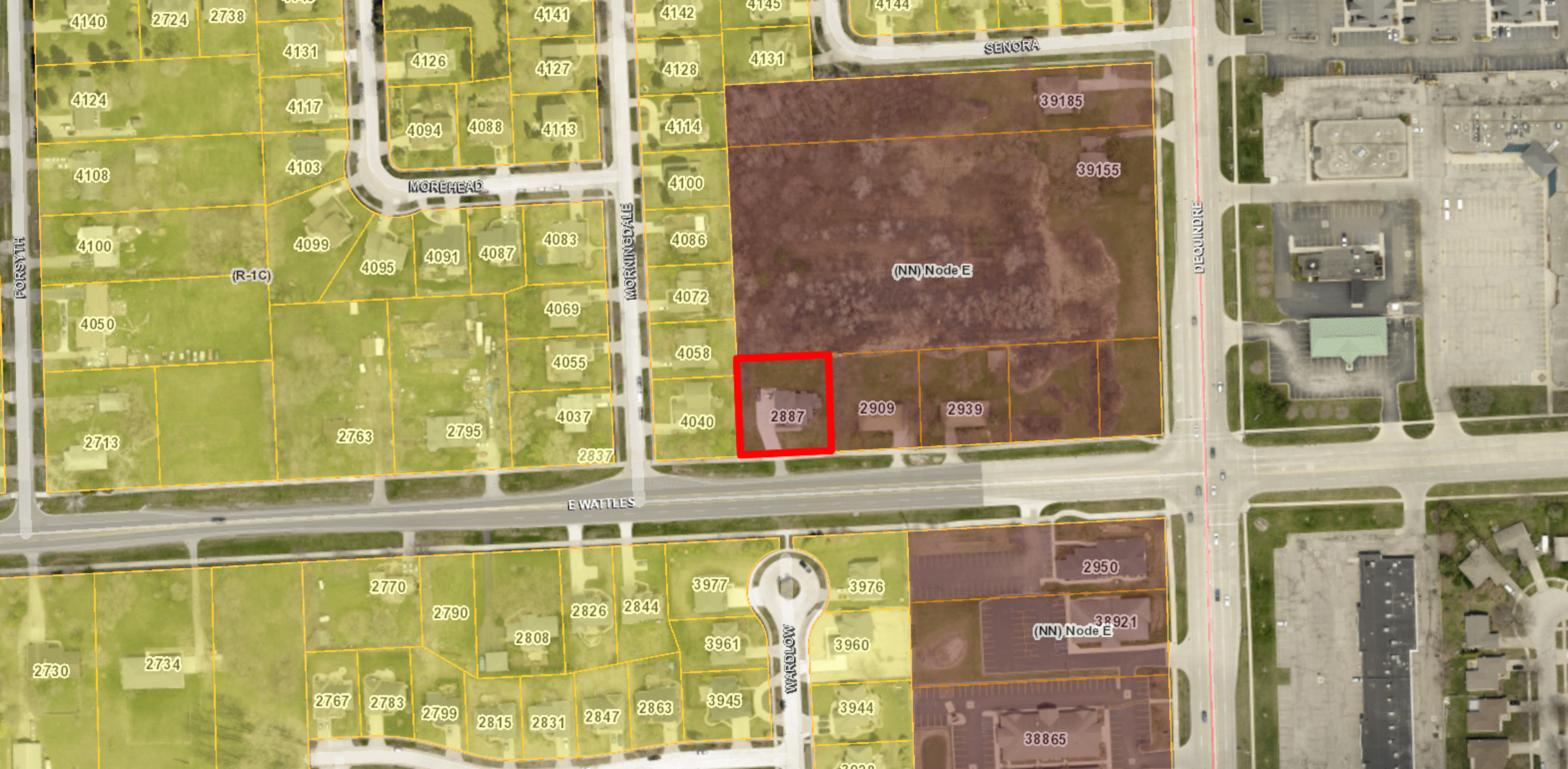
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4083
4086
FORSYTH
(R-1C)
MORNINGDALE
(NN) Node E
DEQUINDRE
4069
4072
4050
4055
4058
4037
4040
2887
2909
2939
2713
2763
2795
2837
E WATTLES
2770
2790
2808
2826
2844
3977
3976
2950
38921
(NN) Node E
3961
3960
2730
2734
WARDLOW
2767
2783
2799
2815
2831
2847
2863
3945
3944
38865

4058
4040
2887
2909
2939
837
MORNINGDALE
E WATTLES

Table 5.06.C-1 Use Groups Permitted				
Use Group (Table 5.03-1)	Site Type NN:A		Site Type NN:B	
	Street Type NN:A Arterials	Street Type NN:B Local and Connectors	Street Type NN:A Arterials	Street Type NN:B Local and Connectors
1 Residential	NP	NP	NP	NP
2* Residential/Lodging	P[1]	P[1]	P	P
3 Office/Institution	P	P	P	P
4 Auto/Transportation	S	S	NP	NP
5 Retail/Entertainment/ Service	P	P	P	P
6 Misc. Commercial	S	S	NP	NP
7 Industrial	NP	NP	NP	NP

[1] Permitted on upper floors only.

P - Permitted Use Groups
S - Special Use Approval Groups
NP - Prohibited Use Groups
* Lodging uses are permitted subject to Special Use Approval

Table 5.06.C-2 Building Forms Permitted				
Building Forms	Site Type NN:A		Site Type NN:B	
	Street Type NN:A Arterials	Street Type NN:B Local and Connectors	Street Type NN:A Arterials	Street Type NN:B Local and Connectors
A: Small, single-purpose, out buildings	P	P	P	P
B: Small, multi-tenant commercial with mixed use	P	P	P	P
C: Attached residential or live/work	S	S	P	P
D: Multi-story mixed use, medium density	P	P	S	S
E: Large format com-mercial	P	S	NP	NP
F: Large format mixed-use	P	S	NP	NP

P - Permitted Building Form
S - Special Approval Building Form
NP - Prohibited Building Form

Planning Commission as to whether or not the proposed use is similar to a use permitted as of right, permitted in upper stories only, or permitted as a special use.

g. If a site is adjacent to two (2) different street types, the more intense street type shall control for the purpose of determining allowable use groups.

TABLE 5.03-A-1 USE GROUPS BY CATEGORY PRINCIPAL USE
Use Group 1 Residential Uses:
One-Family dwellings
Two-Family dwellings
Use Group 2 Residential/Lodging Uses:
One-Family attached dwellings
Multiple-Family dwellings
Live/Work units
Senior assisted/independent living
Child care centers
Use Group 3 Office/Institution:
General office
Professional and medical office
Hospitals
Medical office
Primary/secondary schools (private)
Post-secondary schools
Places of worship
Data centers
Technology centers / Office research
Publicly owned/operated office and service facilities
Funeral homes
Veterinary clinics or hospitals
Use Group 4 Auto/Transportation Uses:
Vehicle sales
Vehicle service station
Vehicle repair station
Vehicle body repair
Vehicle wash

Use Group 5 **Retail, Entertainment, and Service Uses:**
Lodging*
Financial institutions
General retail
Retail, large-format
Shopping centers
Fitness, gymnastics, and exercise centers
Theatres and places of assembly
Indoor commercial recreation establishments
Restaurant
Personal services
Business services
Use Group 6 **Miscellaneous Commercial Uses:**
Building & lumber supply
Garden centers, nurseries
Outdoor commercial recreation
Indoor commercial recreation
Self-Storage
Commercial kennels / pet day care
Drive-through facilities
Use Group 7 **Industrial Uses:**
Contractor's equipment storage
Food products
Commercial outdoor storage
Manufacturing, processing, etc.
Metal plating
Plastics
Printing
Tool & die, gauge & machine shops
Truck/trailer rental
Warehousing/wholesale
Experimental research & testing labs

* Lodging uses in all Form-Based Districts are permitted subject to Special Use Approval in compliance with Article 9.

B. Building Form Standards.

1. The form-based districts permit a series of potential building forms, dependant on the site's location. The six building forms, set forth in Tables 5.03.B.1 through 6, are established in this section as follows:

500 West Big Beaver
Troy, MI 48084
troymi.gov

Date: June 16, 2021

To: Members of the Troy Zoning Board of Appeals

From: Allan T. Motzny, Assistant City Attorney

Subject: Application for Use Variance for 2887 E. Wattles

BACKGROUND INFORMATION:

The applicant for the property at 2887 E. Wattles is seeking to build an addition to a single family residential structure located in the NN (Neighborhood Node) zoned district. Since a single-family residential home is not a permitted use in the NN zoning district, the expansion would have the effect of enlarging a nonconforming use. Under Section 14.01 of the zoning ordinance, it is the intent of the ordinance to eliminate nonconforming uses. Under Section 14.03, the extension or expansion of a nonconforming use is prohibited. Accordingly, if any additional land and/or space is used in a manner not allowed by the ordinance, the use is prohibited unless a use variance is granted. Accordingly, the variance request in this matter is a request for a use variance as opposed to a request for a dimensional or non-use variance.

Since this Board seldom hears requests for use variances, the purpose of this memo is to provide some guidance regarding the procedure and the requirements that must be satisfied before a use variance may be granted.

AUTHORITY:

The Michigan Zoning Enabling Act ("MZEA") authorizes a City to adopt an ordinance allowing a Zoning Board of Appeals ("Board") to entertain use variances. Since 2011, the City of Troy's Zoning Ordinance has permitted use variance applications. (Article 15.04(B)(4)).

The term "use variance" is not defined in the City's Zoning Ordinance, but it typically refers to a change which permits a use of the land which the zoning ordinance otherwise proscribes and is similar to a rezoning in that it runs with the land. ((*See Paragon Props Co v. Novi,* 452 Mich. 568, 575; 550 NW2d 772 (1996)).

PROCEDURE:

The zoning ordinance requires a concurring vote of 2/3 of the members of the Board to pass a use variance (at least five votes). In making its decision, the Board is charged with making specific findings of fact and conclusions which will be in the form of a resolution

The applicant has the burden of proof. Under Article 15.04(F), a use variance may be allowed ONLY where there is reasonable evidence of unnecessary hardship and ALL of the following conditions are met:

500 West Big Beaver
Troy, MI 48084
troymi.gov

1. The site cannot be reasonably be used for any of the uses allowed within the current zoning district designation.

2. The condition or situation of the property or the intended use is unique to the property and not commonly present in the general vicinity or in the zoning district. The applicant must prove that there are certain features or conditions of the land that are not generally applicable throughout the zone and that these features make it impossible to earn a reasonable return without some adjustment. The Board may consider such unique situations as:

    a. exceptional narrowness, shallowness or shape of the property
    b. exceptional topographic conditions or other extraordinary situation on the land
    c. the use or development of the immediately adjoining property
    d. any other situation deemed by the Board to be extraordinary; and

3. The use variance will not alter the essential character of the neighborhood or the intent of the Master Plan or be a detriment to the adjacent properties; and

4. The capacity and operations of public roads, utilities, other facilities and services will not be significantly compromised; and

5. The immediate practical difficulty causing the need for the variance was not self-created by the applicant; and

6. There is no other administrative relief available to the applicant.

RESOLUTION TEMPLATE FOR GRANTING USE VARIANCE

Moved by:
Seconded by:

I move the use variance for (applicant name, address or location) for (request)

Be granted or the following reasons:

The applicant has demonstrated all of the following:

A. The site cannot be reasonably be used for any uses allowed within the current zoning district. (Elaborate)[1]

B. The condition (or situation) justifying the use variance is unique to the property and not commonly present in the general vicinity and such condition (or situation) makes it impossible to earn a reasonable return on the property. The unique conditions or situations include (State any or all that are applicable):

    1. Exceptional Narrowness (Elaborate) and/or
    2. Exceptional topographic conditions (Elaborate), and/or
    3. The use or development of the property adjoining the subject property creates a unique condition making it impossible to earn a reasonable return on the property (Elaborate) and/or
    4. Other (Describe any other extraordinary physical situation affecting the ability to make a reasonable return on the property).

C. The Use Variance will not alter the essential character of the neighborhood or the intent of the Master Plan, or be a detriment to adjacent properties. (Elaborate).

D. The capacity and operations of public roads, utilities, other facilities and services will not be significantly compromised. (Elaborate).

E. The need for the use variance was not self-created. (Elaborate).

Yeas:
Nays:

MOTION CARRIED/FAILED

---

[1] To elaborate, point out any information presented, whether presented by the applicant, City Staff, or someone else that appeared at the meeting or provided comments, which supports the finding.

RESOLUTION TEMPLATE FOR DENYING USE VARIANCE

Moved by:
Seconded by:

I move the use variance for (applicant name, address or location) for (request)

Be denied or the following reasons:

The applicant has failed to demonstrate the following:

(Since an applicant has to demonstrate "all" the criteria, failure to demonstrate just one or more of the following justifies a denial. When making the motion, point out which of the following criteria have not been demonstrated and elaborate[1] as to why it was not met)

A. The site cannot be reasonably be used for any uses allowed within the current zoning district.

B. The condition (or situation) justifying the use variance is unique to the property and not commonly present in the general vicinity or that such condition (or situation) makes it impossible to earn a reasonable return on the property.

C. The Use Variance will not alter the essential character of the neighborhood or the intent of the Master Plan, or be a detriment to adjacent properties.

D. The capacity and operations of public roads, utilities, other facilities and services will not be significantly compromised.

E. The need for the use variance was not self-created.

Yeas:
Nays:

MOTION CARRIED/FAILED

[1] To elaborate, point out any information presented, whether presented by the applicant, City Staff, or someone else that appeared at the meeting or provided comments, which supports the finding that the specific criterion has not been met.

CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

Zoning Board of Appeals Application

planning@troymi.gov | Fee $150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: **2887 E Wattles Rd**
2. PROPERTY TAX IDENTIFICATION NUMBER(S): **20-13-478-021**
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: **Lot 23 of Forsyth Acres**
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: **N/A**
5. APPLICANT:

NAME **Jesus M Rivera Jr & Juanita Rivera**

COMPANY

ADDRESS **2887 E Wattles Rd**

CITY **TROY** STATE **MI** ZIP **48085**

PHONE **248-802-4834**

E-MAIL **jesusnune49@gmail.com**

AFFILIATION TO THE PROPERTY OWNER: **OWNERS**

Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME Jesus M Rivera JR and Juanita Rivera

COMPANY

ADDRESS 2887 E Wattles Rd

CITY Troy STATE MI ZIP 48085

TELEPHONE 248-802-4835

E-MAIL jesusnune49@gmail.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Jesus M JR and Juanita Rivera (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE Jesus M Rivera Jr Juanita Rivera **DATE** May 27, 2021

PRINT NAME: Jesus M JR and Juanita Rivera

PROPERTY OWNER SIGNATURE Jesus M Rivera Jr Juanita Rivera **DATE** May 27, 2021

PRINT NAME: Jesus M JR and Juanita Rivera

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

STATEMENT OF PRACTICAL DIFFICULTY

May 18, 2021

Dear Members of the Zoning Board of Appeals,

In the year 2015 the current owner of the property now under scrutiny, was granted permission to renovate what was originally an approximately 800 square foot ranch residence and increased it's size to 1,650 square feet. The renovation came out quite nicely, improved curbside appeal and increased the city's tax base. Many local residents have approached the owners, complimenting them on the appearance of their new home and in some cases asking if it were for sale. The renovation allowed the owners, Mr. & Mrs. Rivera, to dwell in this new home into their elderly years under the watchful eye of their immediate family that live adjacent to this residence on Morningdale. The owners' daughter lives adjacent to and abuts the sideyard of this property.

In 2021, Mr. & Mrs. Rivera wished to improve this residence by adding a one story bedroom addition off of the rear of the residence and a shed accessory structure in the rear yard. The purpose of the new bedroom on the lower level was to accomodate Mr. Rivera who is a 100% disabled Vietnam Veteran. Mr. Rivera is having a difficult time negotiating the stairs and is scheduled for multiple knee surgeries in the near future. The proposed bedroom addition and shed were both in compliance with the required residential setbacks, lot density, grading and height restrictions.

The building permit application, plot plan and architectural plans submitted for this improvement were rejected on April 21, 2021. The reason given was as follows...

"This is a neighborhood node where residential is non-conforming and may not be expanded on, therefore this permit is denied."

CBO Troy, MI

A conversation with the Planning Department revealed that the property which Mr. & Mrs. Rivera purchased and built their "forever home" on had been rezoned to allow for a future "Village District" type of planning use. The owners were told that the original permits that were issued in 2015 for the original renovation should never have been issued by Troy.

It is because Mr. & Mrs. Rivera intend to and have every right to live out the rest of their lives in this home surrounded by their immediate family that they are respectfully requesting this use variance.

1. The proposed use variance will not be harmful or alter the essential character of the area in which the property is located. The existing use of this property is residential in nature and will minimally remain the same for the life of the owners. In fact, the bedroom addition and shed would not even be visible from the main road which is E. Wattles.

2. The proposed use variance will not impair an adequate supply of light or air to the adjacent property. The existing residence is approximately 80 feet away from adjacent homes.

3. The proposed use variance will not unreasonably increase the congestion in the public streets. The occupant load on this residence will remain unchanged. Also, the same number of vehicles will be utilized.

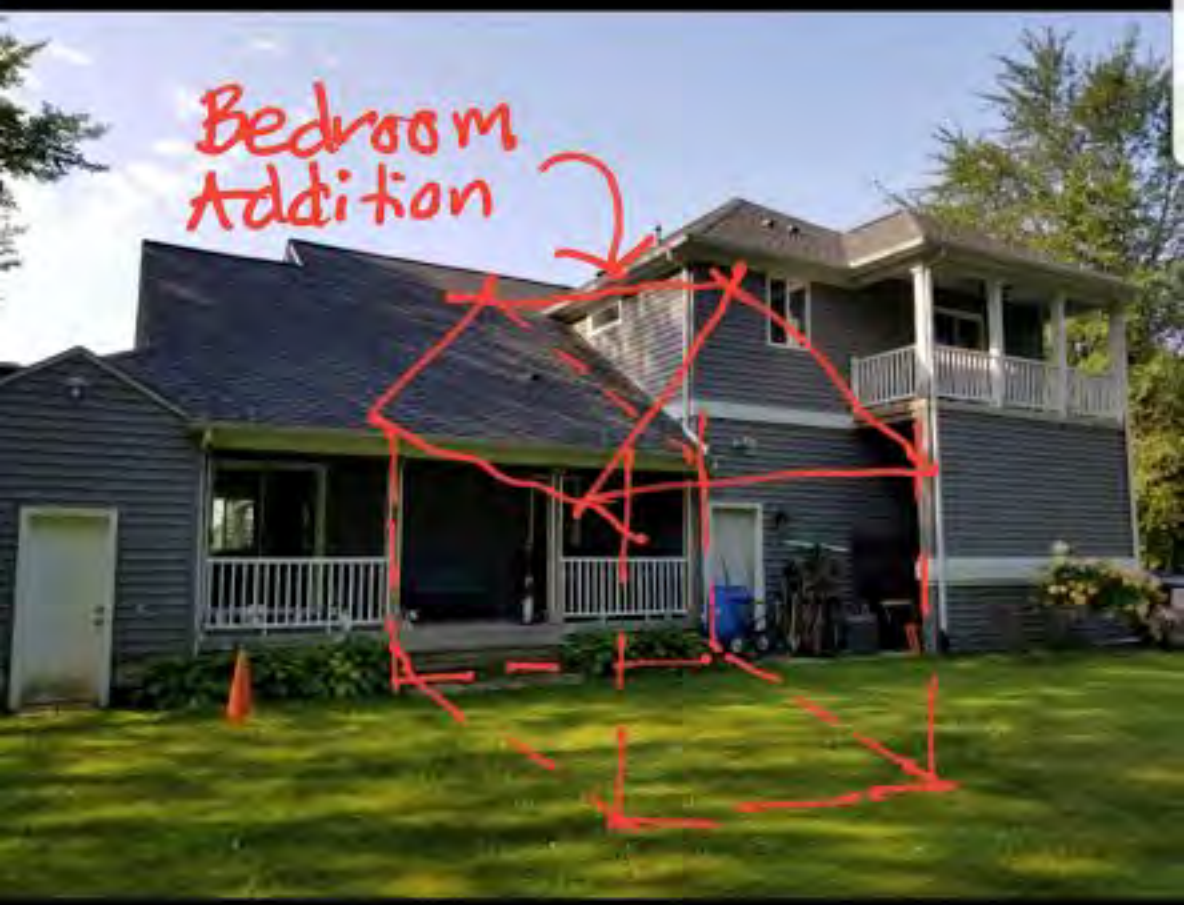
4. The proposed use variance will not increase the danger of fire or endanger public safety. The new proposed construction will be completed in accordance with all know zoning ordinances and building codes.

5. The proposed use variance will not unreasonably diminish or impair established property value within the surrounding area. The existing property is currently utilized as residential and will continue to be used in this manner. There would be no impact on surrounding property values.

6. The proposed use variance would not in any way impair the public health, safety, comfort, morals or welfare of the inhabitants of the city of Troy. Again, the existing property is currently utilized as residential and will continue to be used in this manner for the balance of the owners' lives. There would be no impact on the above mentioned factors.

It is for the reasons stated above that Mr. & Mrs. Rivera are requesting a use variance and permission to proceed with their home improvement project.

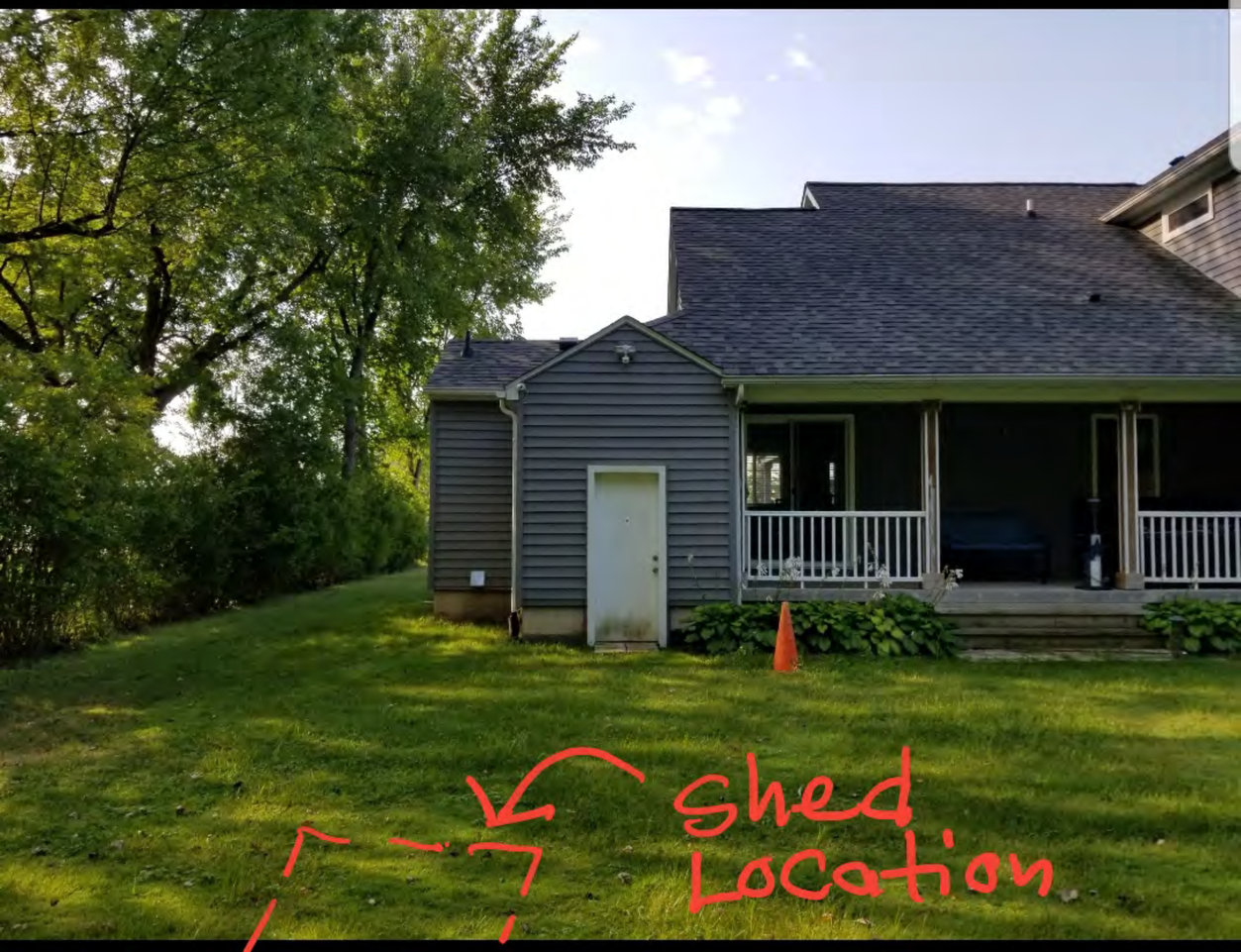
5:38 85%



Search inside screenshot

Share Edit Lens Delete

5:37 85%



Fix lighting

Share Edit Lens Delete

WALL LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN

INTERIOR WALL: 1/2" GYP. BD. AT EACH SIDE OF 2x4 WOOD STUDS @ 16" O. C.

EXTERIOR WALL: 1/2" GYP. BD. VENEER ON 2x6 WOOD STUDS @ 16" O. C. W/ BATT INSULATION (VAPOR BARRIER TOWARDS INTERIOR) ON 1/2" EXTERIOR GRADE PLYWOOD SHEATHING W/ HOUSE WRAP ON VINYL SIDING TO MATCH EXISTING

HEADER SCHEDULE

OPENING WIDTH	HEADER SIZE
0'-0" TO 6'-0"	(2) 2 x 10
6'-0" TO 8'-0"	(2) 2 x 12
8'-0" TO 10'-0"	(2) 9 1/4" LVL
OVER 10'-0" OR ANY SPANS WITH POINT LOADS	SIZED BY LUMBER COMPANY

NOTE : HEADER SIZING

ANY HEADER SIZES NOT INDICATED ON THE PLANS ARE TO BE SIZED BY THE LUMBER COMPANY. THE LUMBER COMPANY'S FIELD MARK-UP SET (INDICATING HEADER SIZES AND LOCATIONS) SHALL BE PRESENT ON SITE AT ALL TIMES WITH THE BUILDING DEPARTMENT APPROVED FIELD SET.

NOTE: WALL ANGLES

ALL WALL ANGLES THAT DEVIATE FROM 90° SHALL BE 45° UNLESS NOTED OTHERWISE.

NOTE: STRUCTURAL HEADERS

ALL HEADERS SHALL BE IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015.

NOTE: DROPPED HEADERS AND DOOR HEIGHTS

ALL DROPPED HEADERS AND DOORS SHALL BE SHALL BE 6'-8" ABOVE FINISHED FLOOR (A.F.F.).

NOTE: FLOOR JOIST BRIDGING

FLOOR JOIST BRIDGING SHALL BE INSTALLED AT 1/3 POINTS OF THE JOIST SPAN AND IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015.

NOTE: FIREBLOCKING AND DRAFTSTOPPING

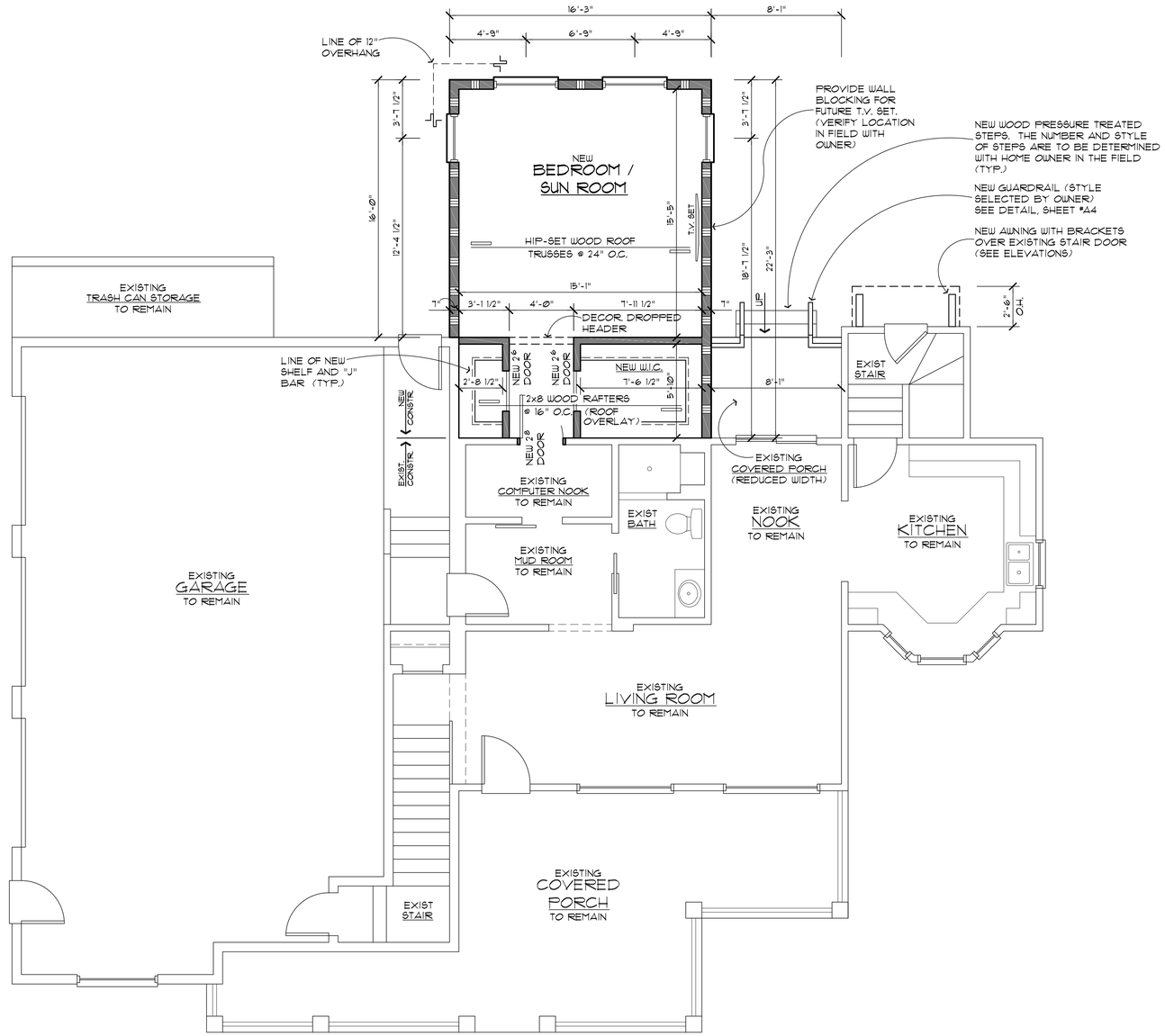
FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE MICHIGAN RESIDENTIAL CODE 2015.

NOTE: WINDOW SIZING

REFER TO ELEVATIONS FOR APPROXIMATE WINDOW SIZES. ONCE A WINDOW MANUFACTURER HAS BEEN SELECTED BY THE OWNER, THE LUMBER COMPANY SHALL VERIFY THAT ALL WINDOWS SPECIFIED FIT THE ALLOWABLE AREA THROUGH VERIFICATION OF THE MANUFACTURER'S ROUGH OPENINGS. ALL EGRESS WINDOWS SHALL CONFORM TO THE MINIMUM HEIGHT AND WIDTH REQUIRED BY CODE. TEMPERED GLASS SHALL BE INSTALLED WHERE REQUIRED BY CODE.

NOTE: STRUCTURAL WOOD FRAMING INFORMATION

ALL TRUSS DIAGRAMS, HEADER SCHEDULES, MICRO-LAMS, AND GLU-LAM INFORMATION SHALL BE OBTAINED FROM THE LUMBER COMPANY'S FIELD MARK UP SET. THE LUMBER COMPANY'S FIELD MARK UP SET SHALL BE AVAILABLE AT THE JOB SITE AT ALL TIMES. THIS INFORMATION SHALL BE FORWARDED TO THE BUILDING DEPARTMENT, FOR THEIR RECORD, PRIOR TO START OF CONSTRUCTION.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR ADDITION SQUARE FOOTAGE:	358 S.F.
NEW TOTAL RESIDENCE SQUARE FOOTAGE:	2,225 S.F.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL & STATE CODES / ORDINANCES.

DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.

ISSUE:

09.17.20	REVIEW
09.21.20	REVIEW
01.04.21	PERMIT

TREAD STUDIOS
SHELBY TOWNSHIP - MICHIGAN - USA - EARTH
PH: 586.604.3237

CONSULTANTS:

PROJECT:
RIVERA RESIDENCE ADDITION

TROY, MI

CLIENT:
JESUS AND JUANITA RIVERA
2887 E. WATTLES ROAD
TROY, MICHIGAN 48085

DATE:	01.04.21
DRAWN BY:	JAH
JOB NO:	20-101
CHECK BY:	TPW

A2

WALL LEGEND

EXTERIOR WALL:
2x6 WOOD STUDS @ 16" O. C. ON ½" EXTERIOR GRADE PLYWOOD SHEATHING W/ HOUSE WRAP ON VINYL SIDING TO MATCH RESIDENCE

HEADER SCHEDULE

OPENING WIDTH	HEADER SIZE
0'-0" TO 6'-0"	(2) 2 x 10
6'-0" TO 8'-0"	(2) 2 x 12
8'-0" TO 10'-0"	(2) 9 1/4" LVL
OVER 10'-0" OR ANY SPANS WITH POINT LOADS	SIZED BY LUMBER COMPANY

NOTE : HEADER SIZING

ANY HEADER SIZES NOT INDICATED ON THE PLANS ARE TO BE SIZED BY THE LUMBER COMPANY. THE LUMBER COMPANY'S FIELD MARK-UP SET (INDICATING HEADER SIZES AND LOCATIONS) SHALL BE PRESENT ON SITE AT ALL TIMES WITH THE BUILDING DEPARTMENT APPROVED FIELD SET.

NOTE: STRUCTURAL HEADERS

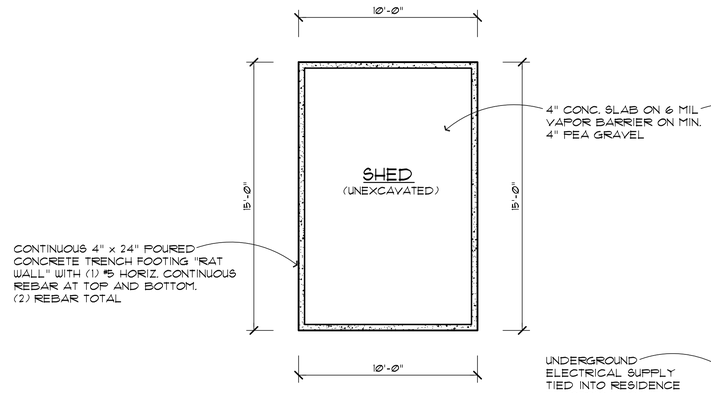
ALL HEADERS SHALL BE IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015.

NOTE: STRUCTURAL WOOD FRAMING INFORMATION

ALL TRUSS DIAGRAMS, HEADER SCHEDULES, MICRO-LAMS, AND GLU-LAM INFORMATION SHALL BE OBTAINED FROM THE LUMBER COMPANY'S FIELD MARK UP SET. THE LUMBER COMPANY'S FIELD MARK UP SET SHALL BE AVAILABLE AT THE JOB SITE AT ALL TIMES. THIS INFORMATION SHALL BE FORWARDED TO THE BUILDING DEPARTMENT, FOR THEIR RECORD, PRIOR TO START OF CONSTRUCTION.

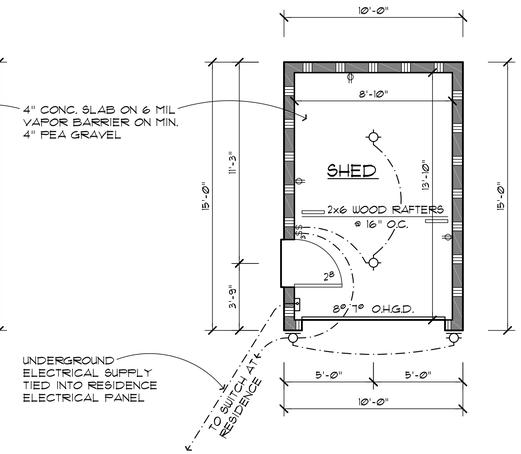
NEW ELECTRICAL WIRING

ANY AND ALL NEW ELECTRICAL COMPONENTS SHALL BE WIRED BACK TO EXISTING ELECTRICAL PANEL.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

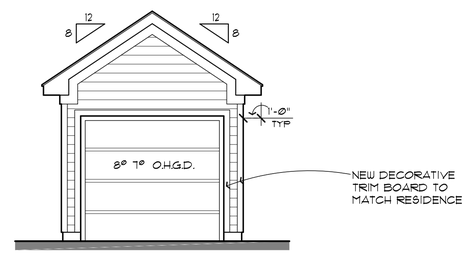


DECK PLAN

SCALE: 1/4" = 1'-0"

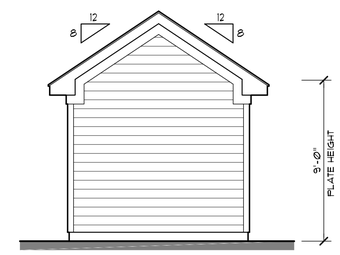
ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL & STATE CODES / ORDINANCES.

DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.



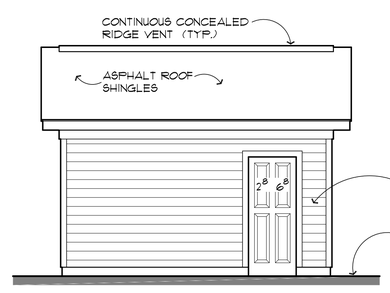
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



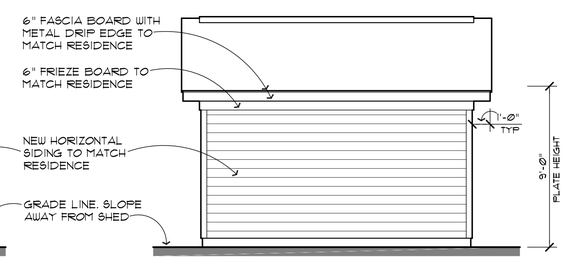
REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

DRAWING INDEX

B1 FOUNDATION, SHED PLAN AND ELEVATIONS
B2 TYPICAL WALL SECTION AND GENERAL NOTES

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL FREE)

STRUCTURAL FRAMING

IN THE EVENT THAT THE WOOD STRUCTURAL FRAMING (GENERICALLY INDICATED ON THE DRAWINGS) WILL NOT SUPPORT THE CALCULATED DESIGN LOADS, THE LUMBER AND/OR TRUSS COMPANY, SHALL STOP ALL WORK AND CONTACT THE ARCHITECT FOR FURTHER DIRECTIONS

SOIL BEARING CAPACITY

THIS RESIDENCE HAS BEEN DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 3,000 P.S.F. THE CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY AT THE SITE THROUGH THE SERVICES OF A STATE OF MICHIGAN LICENSED GEO-TECHNICAL ENGINEER. SOIL BEARING CAPACITY TESTING IS RECOMMENDED IN THE TRENCHES BEFORE FOOTINGS ARE POURED. IF UNSATISFACTORY SOIL BEARING CAPACITY IS DISCOVERED, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

BUILDING CODE INFO

THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH ALL KNOWN CODES CONTAINED IN THE :

MICHIGAN RESIDENTIAL CODE 2015

ISSUE:
03.25.21 PERMIT

TREAD STUDIOS
SHELBY TOWNSHIP - MICHIGAN - USA - EARTH
PH: 586.604.3237

CONSULTANTS:

PROJECT:
RIVERA SHED

TROY, MI

CLIENT:
JESUS AND
JUANITA RIVERA
2887 E. WATTLES ROAD
TROY, MICHIGAN 48085

DATE: 03.25.21
DRAWN BY: JAH
JOB NO: 20-101
CHECK BY: TPW

B1

RESIDENTIAL BUILDING NOTES:

GENERAL BUILDING NOTES

1. TO THE BEST OF OUR KNOWLEDGE, THESE PLANS & SPECIFICATIONS COMPLY WITH APPLICABLE BUILDING CODES IN EFFECT AT THE TIME WHEN THE BUILDING WAS DESIGNED.
2. ANY VARIATIONS OF THESE DOCUMENTS ARE STRICTLY PROHIBITED UNLESS WRITTEN CONSENT IS OBTAINED FROM THE ARCHITECT.
3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE MEANS OR METHODS OF CONSTRUCTION OR ACTS OF OMISSIONS OF THE CONTRACTOR OR HIS SUB-CONTRACTORS, AGENTS, OR EMPLOYEES. JOB SITE SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL STATE, LOCAL, AND APPLICABLE CODES.
5. DRAWINGS AND SPECIFICATIONS ARE, AND SHALL REMAIN, THE PROPERTY OF THE ARCHITECT.
6. THE CONTRACTOR SHALL FIELD VERIFY THE SIZES, LOCATIONS, ELEVATIONS, AND DETAILS OF EXISTING CONDITIONS THAT AFFECT THE WORK AND SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS, SIZES, LOCATIONS, AND CONDITIONS BEFORE PROCEEDING WITH THE WORK.
7. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS OF THE BUILDING INCLUDING UTILITIES, SERVICES, ETC., AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGE HE CAUSES TO BOTH EXISTING AND NEW CONSTRUCTION AND PROPERTY AND FOR ANY UNAUTHORIZED DISRUPTION TO THE OWNER'S NORMAL USE OF UTILITIES, SERVICES, AND SURROUNDING FACILITIES.
8. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, UNDERPINNING, AND ALL OTHER MEANS REQUIRED TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY, AND STABILITY OF ALL EXISTING AND NEW CONSTRUCTION THAT MAY BE AFFECTED BY THE WORK.

STRUCTURAL NOTES

1. ALL FRAMING LUMBER TO BE "CONSTRUCTION GRADE" 1200 P.S.I. OR BETTER.
2. ALL MICRO-LAM WOOD BEAMS TO BE 2800 P.S.I. OR BETTER.
3. ALL STEEL TO BE AISC-A-36.

FOUNDATION NOTES

1. THE CONTRACTOR SHALL NOTIFY MISS DIG AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL UNDERGROUND UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS ESTABLISHED BY THE GOVERNING AUTHORITY HAVING JURISDICTION.
3. ASSUMED SOIL BEARING CAPACITY: 3000 P.S.F.
4. ALL SOIL UNDER BUILDING MUST BE COMPACTED TO 95% OR HIGHER. FILL MUST BE CLEAN, FREE OF VEGETATION AND DEBRIS. IT IS RECOMMENDED THAT SOIL BORING TESTS BE PERFORMED BY A GEOTECHNICAL ENGINEER BEFORE THE START OF WORK.
5. ALL CONCRETE TO BE 3000 P.S.I. AT 28 DAYS.
6. ALL BUILDING FOOTINGS TO BE 42" MINIMUM DEPTH AND EXTENDED TO SOLID BEARING.
7. PROVIDE EXPANSION JOINTS IN CONCRETE SLABS AT 20'-0" O.C. (U.N.O.)

MASONRY NOTES

GENERAL MASONRY NOTES:

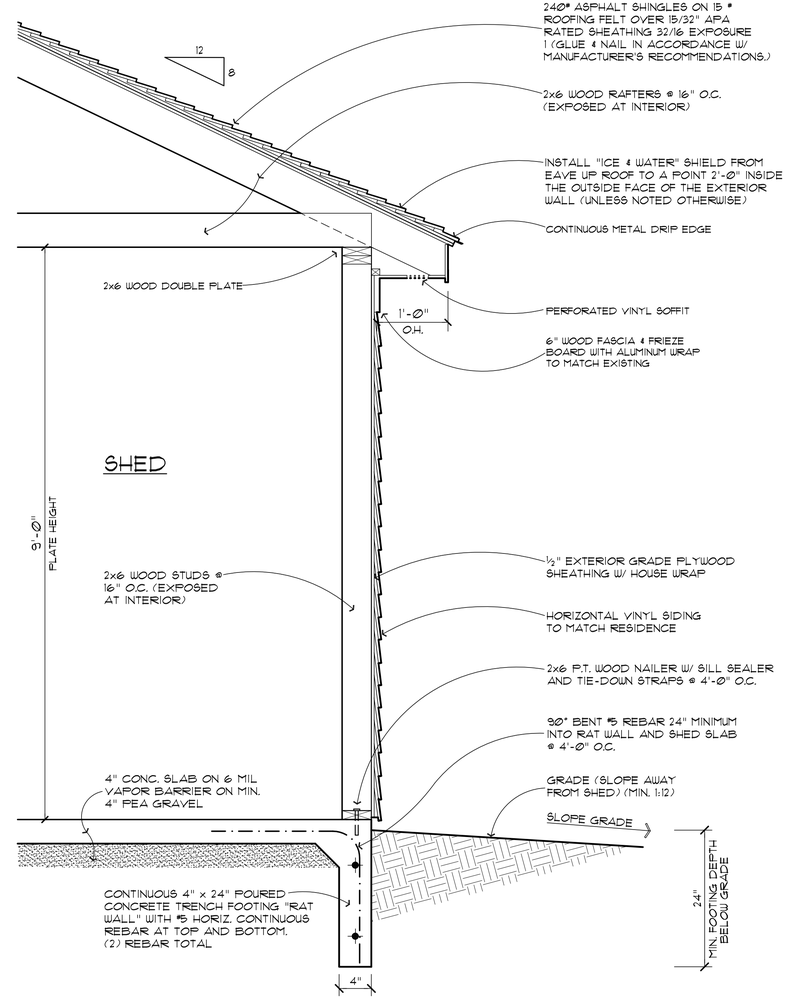
1. ALL WORK SHALL BE IN ACCORDANCE WITH ACI 531 AND COMMENTARY ACI 531R.
2. ALL MORTAR SHALL BE TYPE "M" OR "S"
3. ALL GROUT JOINTS SHALL BE CONCAVE.

CONC. BLOCK NOTES:

4. ALL BLOCK WALLS SHALL BE VERTICALLY REINFORCED WITH #5 REBAR AT 4'-0" O.C. (VERTICAL REROD SHALL EXTEND INTO FOOTING A MINIMUM 24")

ELECTRICAL NOTES

1. WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN ELECTRICAL CODE.
3. WIRED SMOKE DETECTORS SHALL BE INSTALLED, AS REQUIRED, IN ACCORDANCE WITH LOCAL CODES.
4. ELECTRICAL DISTRIBUTION AND TRANSFORMER LOCATION, IF ANY, TO BE DESIGNED BY DETROIT EDISON COMPANY. ALL ON-SITE DISTRIBUTION LINES AND SERVICE TO THE BUILDING TO BE UNDERGROUND.
5. ELECTRICAL PANELS SHALL BE CIRCUIT BREAKER TYPE WITH PAINTED STEEL CABINET AND DOOR. FLUSH, MOUNT CABINET WHERE POSSIBLE. CONTRACTOR SHALL COMPLETELY FILL OUT DIRECTORY.
6. GUARANTEE BY THE ELECTRICAL CONTRACTOR TO THE OWNER FOR ONE YEAR WARRANTY AGAINST DEFECTS IN WORKMANSHIP, MATERIALS AND OPERATIONS.



TYPICAL SHED WALL SECTION

NO SCALE

ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL & STATE CODES / ORDINANCES.

DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.

ISSUE:
03.25.21 PERMIT

TREAD STUDIOS
SHELBY TOWNSHIP - MICHIGAN - USA - EARTH
PH: 586.604.3237

CONSULTANTS:

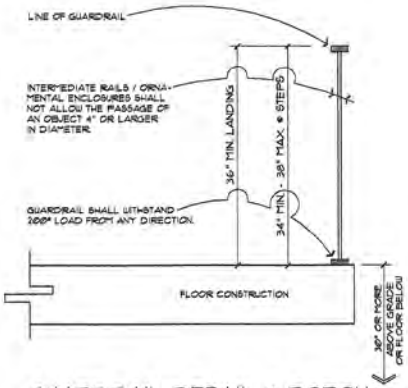
PROJECT:
RIVERA SHED

TROY, MI

CLIENT:
JESUS AND
JUANITA RIVERA
2887 E. WATTLES ROAD
TROY, MICHIGAN 48085

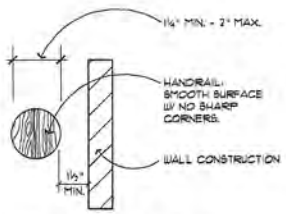
DATE: 03.25.21
DRAWN BY: JAH
JOB NO: 20-101
CHECK BY: TPW

B2



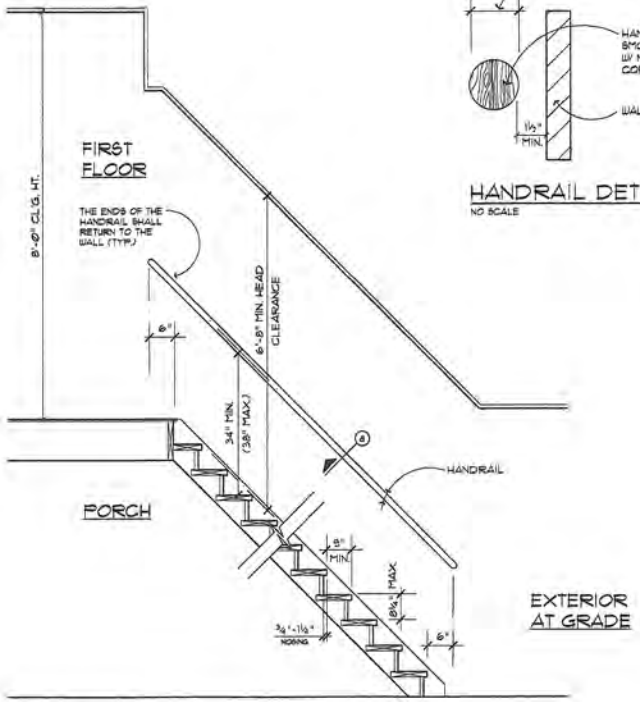
GUARDRAIL DETAIL @ PORCH

NO SCALE



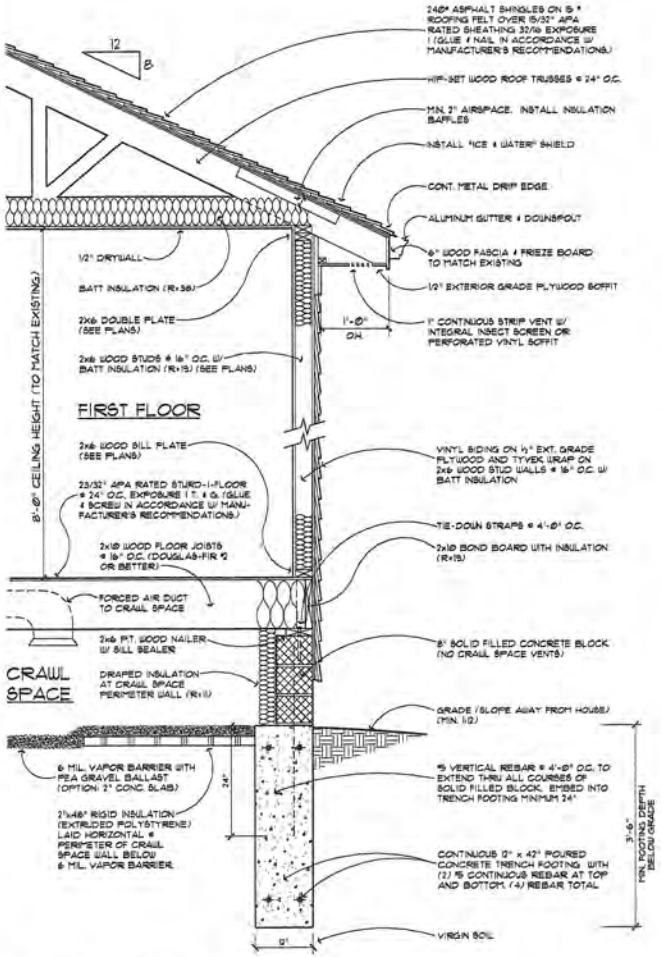
HANDRAIL DETAIL

NO SCALE



DIAGRAMMATIC STAIR SECTION

NO SCALE



TYP. WALL SECTION

NO SCALE

ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL & STATE CODES / ORDINANCES.

DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.

ISSUE:	
09.17.20	REVIEW
09.21.20	REVIEW
01.04.21	PERMIT

TREADWELL DESIGN & CONSTRUCTION
SHELBY TOWNSHIP - MICHIGAN - USA - EARTH
FR: 586.604.3237

CONSULTANTS:

PROJECT:
RIVERA RESIDENCE ADDITION

TROY, MI

CLIENT:
JESUS AND JUANITA RIVERA
2957 E. WATTLES ROAD
TROY, MICHIGAN 48083

DATE:	01.04.21
DRAWN BY:	JAH
JOB NO:	20-101
CHECK BY:	TPW

A4

ALL ELECTRICAL OUTLETS WITHIN 5'-0" OF WATER SOURCES SHALL BE G.F.I.

NOTE: ELEC. CONTR. / BUILDER

THE ELECTRICAL CONTRACTOR / BUILDER SHALL SCHEDULE A SITE WALK-THRU WITH THE OWNER FOR VERIFICATION OF ELECTRICAL FIXTURE LOCATIONS PRIOR TO START OF WORK.

NOTE: LOW VOLTAGE WIRING

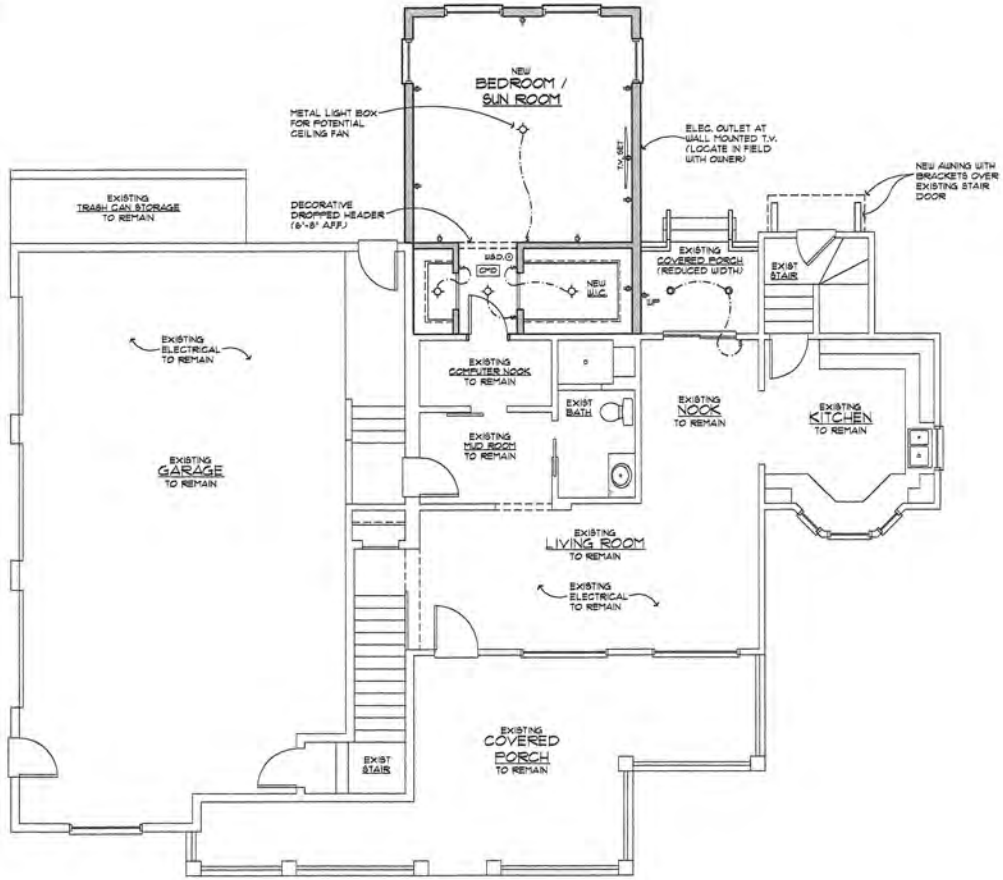
ALL LOW VOLTAGE WIRING SUCH AS DOORBELLS, CABLE, TELEPHONES, SOUND SYSTEMS, ALARM SYSTEMS, SMART HOUSE FEATURES ETC. SHALL BE VERIFIED WITH THE OWNER / BUILDER IN THE FIELD.

ELECTRICAL LEGEND

	CEILING MOUNTED, INCANDESCENT LIGHT FIXTURE
	RECESSED, INCANDESCENT LIGHT FIXTURE
	WALL MOUNTED, INCANDESCENT LIGHT FIXTURE
	WALL SWITCH 4'-0" A. F. F.
	DUPLEX ELECTRICAL OUTLET (42" A. F. F. AT COUNTER TOPS)
W.P.	12" A. F. F. TYPICAL (W.P. = WATERPROOF)
W. P.	WATER PROOF
W. S. D.	WIRED SMOKE DETECTOR
E. F.	EXHAUST FAN. VENT THROUGH ROOF (SO C. F. M.)
E.F. W/ LIGHT	EXHAUST FAN W/ WATER-PROOF LIGHT FIXTURE. V.T.R. (SO C. F. M.)
RD.	RADON DETECTOR (LOCATE THRU-OUT RESIDENCE PER CODE)
CMD	CARBON MONOXIDE DETECTOR

NEW ELECTRICAL WIRING

ALL NEW ELECTRICAL COMPONENTS SHALL BE WIRED BACK TO EXISTING ELECTRICAL PANEL.



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR ADDITION SQUARE FOOTAGE:	358 S.F.
NEW TOTAL RESIDENCE SQUARE FOOTAGE:	7,225 S.F.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL + STATE CODES / ORDINANCES.

DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.

ISSUE:

09.17.20	REVIEW
09.21.20	REVIEW
01.04.21	PERMIT

TREAD LIGHTLY DESIGN & CONSULTING LLC
SHELBY TOWNSHIP - MICHIGAN - USA - 48315
PH: 248.964.3237

CONSULTANTS:

PROJECT:
RIVERA RESIDENCE ADDITION

TROY, MI

CLIENT:
JESUS AND JUANITA RIVERA
2987 E. WATTLES ROAD
TROY, MICHIGAN 48085

DATE:	01.04.21
DRAWN BY:	JAH
JOB NO:	20-101
CHECK BY:	TPW

E1

RESIDENTIAL BUILDING NOTES:

GENERAL BUILDING NOTES

1. TO THE BEST OF OUR KNOWLEDGE, THESE PLANS & SPECIFICATIONS COMPLY WITH APPLICABLE BUILDING CODES IN EFFECT AT THE TIME WHEN THE BUILDING WAS DESIGNED.
2. ANY VARIATIONS OF THESE DOCUMENTS ARE STRICTLY PROHIBITED UNLESS WRITTEN CONSENT IS OBTAINED FROM THE ARCHITECT.
3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE MEANS OR METHODS OF CONSTRUCTION OR ACTS OF OMISSIONS OF THE CONTRACTOR OR HIS SUB-CONTRACTORS, AGENTS, OR EMPLOYEES. JOB SITE SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
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7. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS OF THE BUILDING INCLUDING UTILITIES, SERVICES, ETC., AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGE HE CAUSES TO BOTH EXISTING AND NEW CONSTRUCTION AND PROPERTY AND FOR ANY UNAUTHORIZED DISRUPTION TO THE OWNER'S NORMAL USE OF UTILITIES, SERVICES, AND SURROUNDING FACILITIES.
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STRUCTURAL NOTES

1. ALL FRAMING LUMBER TO BE "CONSTRUCTION GRADE" (1200 P.S.I. OR BETTER.
2. ALL MICRO-LAM WOOD BEAMS TO BE 2800 P.S.I. OR BETTER.
3. ALL STEEL TO BE AISC-A-36.

FOUNDATION NOTES

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2. ALL UNDERGROUND UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS ESTABLISHED BY THE GOVERNING AUTHORITY HAVING JURISDICTION.
3. ASSUMED SOIL BEARING CAPACITY: 3000 P.S.F.
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5. ALL CONCRETE TO BE 3000 P.S.I. AT 28 DAYS.
6. ALL BUILDING FOOTINGS TO BE 42" MINIMUM DEPTH AND EXTENDED TO SOLID BEARING.
7. PROVIDE EXPANSION JOINTS IN CONCRETE SLABS AT 20'-0" O.C. (UNO.)

MASONRY NOTES

GENERAL MASONRY NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH ACI 531 AND COMMENTARY ACI 531R.
2. ALL MORTAR SHALL BE TYPE "M" OR "S"
3. ALL GROUT JOINTS SHALL BE CONCAVE.

CONC. BLOCK NOTES:

4. ALL BLOCK WALLS SHALL BE VERTICALLY REINFORCED WITH #5 REBAR AT 4'-0" O.C. (VERTICAL REROD SHALL EXTEND INTO FOOTING A MINIMUM 24")

INSULATION NOTES

1. CEILING / ROOF = R = 38 (SEE DETAILS)
2. EXTERIOR WALLS = R = 19 (SEE DETAILS)
3. CONFORM TO MICHIGAN ENERGY CODE IF APPLICABLE

MECHANICAL NOTES

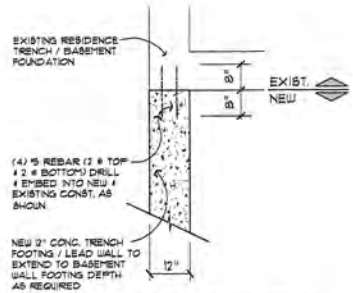
1. WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE OF THE MICHIGAN MECHANICAL CODE.
3. TOILET ROOM EXHAUST FAN = 50 CFM.
4. GUARANTEE BY THE CONTRACTOR TO THE OWNER FOR ONE YEAR WARRANTING AGAINST DEFECTS IN WORKMANSHIP, MATERIALS, AND OPERATIONS.

ELECTRICAL NOTES

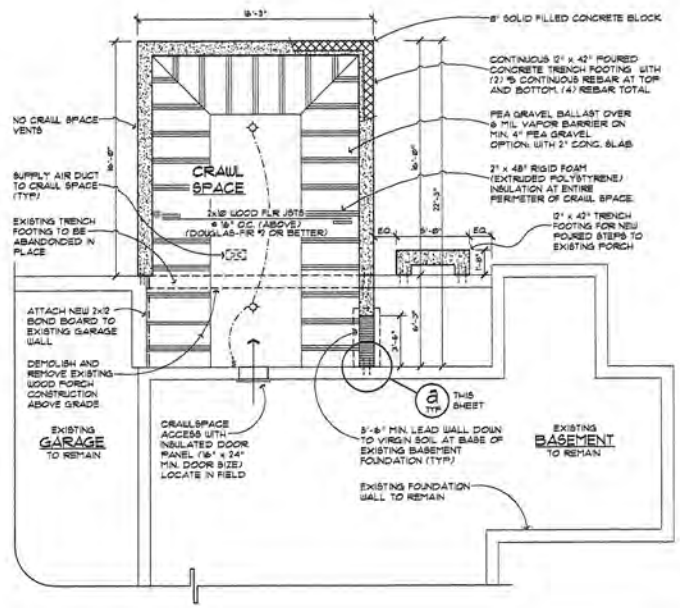
1. WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN ELECTRICAL CODE.
3. WIRED SMOKE DETECTORS SHALL BE INSTALLED, AS REQUIRED, IN ACCORDANCE WITH LOCAL CODES.
4. ELECTRICAL DISTRIBUTION AND TRANSFORMER LOCATION, IF ANY, TO BE DESIGNED BY DETROIT EDISON COMPANY. ALL ON-SITE DISTRIBUTION LINES AND SERVICE TO THE BUILDING TO BE UNDERGROUND.
5. ELECTRICAL PANELS SHALL BE CIRCUIT BREAKER TYPE WITH PAINTED STEEL CABINET AND DOOR. FLUSH MOUNT CABINET WHERE POSSIBLE. CONTRACTOR SHALL COMPLETELY FILL OUT DIRECTORY.
6. GUARANTEE BY THE ELECTRICAL CONTRACTOR TO THE OWNER FOR ONE YEAR WARRANTY AGAINST DEFECTS IN WORKMANSHIP, MATERIALS AND OPERATIONS.

PLUMBING NOTES

1. WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE MICHIGAN PLUMBING CODE.
3. PROVIDE ALL PIPING, FITTINGS, VALVES, ETC. AND FIXTURES FOR A COMPLETE WATER SUPPLY AND WASTE SYSTEM.
4. GUARANTEE EXECUTED BY THE PLUMBING CONTRACTOR TO THE OWNER FOR ONE YEAR WARRANTY AGAINST DEFECTS IN WORKMANSHIP, MATERIALS, AND OPERATIONS.



a FOUNDATION CONNECTION DETAIL
NO SCALE — TYPICAL AT FOUR LOCATIONS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL & STATE CODES / ORDINANCES.

DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.

DRAWING INDEX

A1 FOUNDATION PLAN / GENERAL NOTES
A2 FLOOR PLAN
A3 ELEVATIONS
A4 WALL SECTION AND DETAILS
E1 ELECTRICAL PLAN

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL FREE)

STRUCTURAL FRAMING

IN THE EVENT THAT THE WOOD STRUCTURAL FRAMING (GENERICALLY INDICATED ON THE DRAWINGS) WILL NOT SUPPORT THE CALCULATED DESIGN LOADS, THE LUMBER AND/OR TRUSS COMPANY, SHALL STOP ALL WORK AND CONTACT THE ARCHITECT FOR FURTHER DIRECTIONS.

SOIL BEARING CAPACITY

THIS RESIDENCE HAS BEEN DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 3,000 P.S.F. THE CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY AT THE SITE THROUGH THE SERVICES OF A STATE OF MICHIGAN LICENSED GEOTECHNICAL ENGINEER. SOIL BEARING CAPACITY TESTING IS RECOMMENDED IN THE TRENCHES BEFORE FOOTINGS ARE POURED. IF UNSATISFACTORY SOIL BEARING CAPACITY IS DISCOVERED, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

BUILDING CODE INFO

THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH ALL KNOWN CODES CONTAINED IN THE :

MICHIGAN RESIDENTIAL CODE 2015

ISSUE:

09.17.20	REVIEW
09.21.20	REVIEW
01.04.21	PERMIT

TREADWELL DESIGN & CONSTRUCTION
SHELBY TOWNSHIP - MICHIGAN - USA - EARTH
PH: 586.604.3337

CONSULTANTS:

PROJECT:
RIVERA RESIDENCE ADDITION

TROY, MI

CLIENT:
JESUS AND JUANITA RIVERA
2867 E. WATTLES ROAD
TROY, MICHIGAN 48085

DATE:	01.04.21
DRAWN BY:	JAH
JOB NO:	20-101
CHECK BY:	TPW

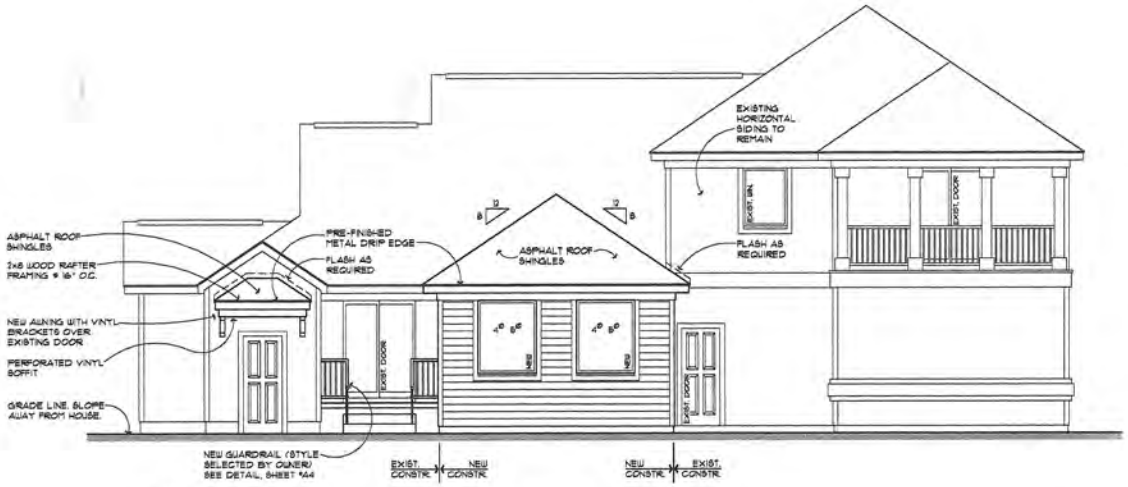
A1

NOTE: STRUCTURAL WOOD FRAMING INFORMATION

ALL TRUSS DIAGRAMS, HEADER SCHEDULES, MICRO-LAM®, AND GLU-LAM® INFORMATION SHALL BE OBTAINED FROM THE LUMBER COMPANY'S FIELD MARK UP SET. THE LUMBER COMPANY'S FIELD MARK UP SET SHALL BE AVAILABLE AT THE JOB SITE AT ALL TIMES. THIS INFORMATION SHALL BE FORWARDED TO THE BUILDING DEPARTMENT FOR THEIR RECORD, PRIOR TO START OF CONSTRUCTION.

NOTE: ATTIC VENTILATION

THE CONTRACTOR SHALL MAINTAIN A VENTING RATIO OF 1 S.F. OF OF 'FREE VENTING' PER 300 S.F. OF ATTIC FLOOR SPACE. 50% OF 'FREE VENTING' SHALL BE LOCATED IN ROOF SAVE SOFFITS THROUGH THE USE OF CONTINUOUS STRIP VENTS. THE BALANCE (50%) OF 'FREE VENTING' SHALL BE LOCATED NEAR THE ROOF RIDGE. (SQUARE ROOF VENTS OR CONTINUOUS CONCEALED RIDGE VENTS MAY BE SUBSTITUTED IN LIEU OF EACH OTHER, PROVIDED THAT THE ROOF VENTING RATIO REMAINS THE SAME.)



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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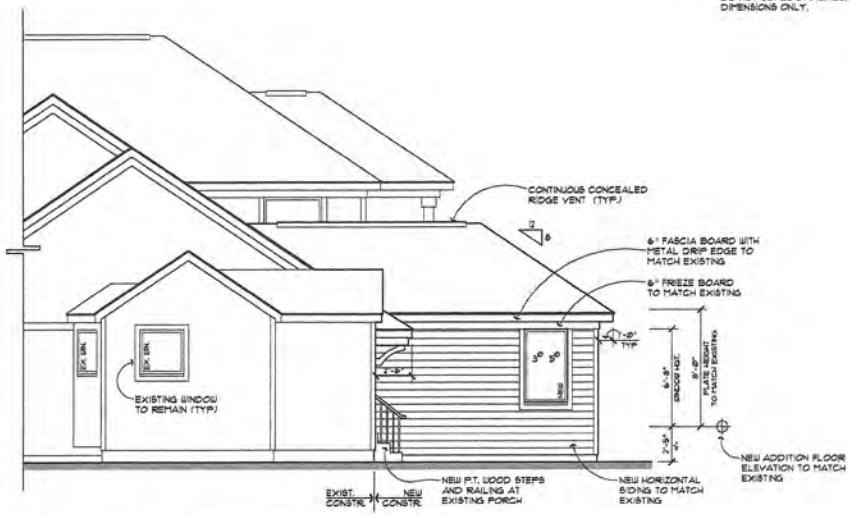
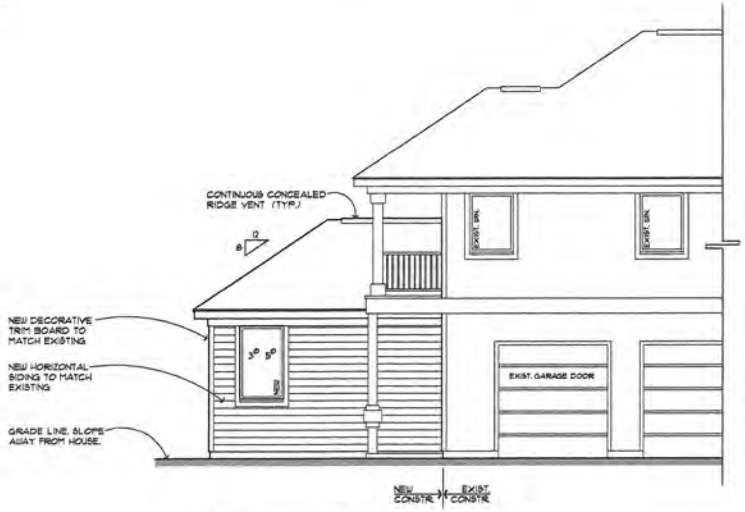


LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

ISSUE:

09.17.20	REVIEW
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01.04.21	PERMIT

TREAD LIGHTLY DESIGN & CONSULTING
SHELBY TOWNSHIP - MICHIGAN - USA - EARTH
PH: 586.604.3237

CONSULTANTS:

PROJECT:
RIVERA RESIDENCE ADDITION

TROY, MI

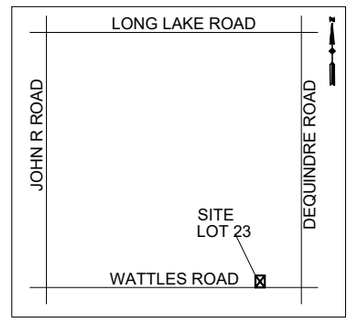
CLIENT:
JESUS AND JUANITA RIVERA
2987 E. WATTLES ROAD
TROY, MICHIGAN 48085

DATE: 01.04.21
DRAWN BY: JAH
JOB NO: 20-101
CHECK BY: TPW

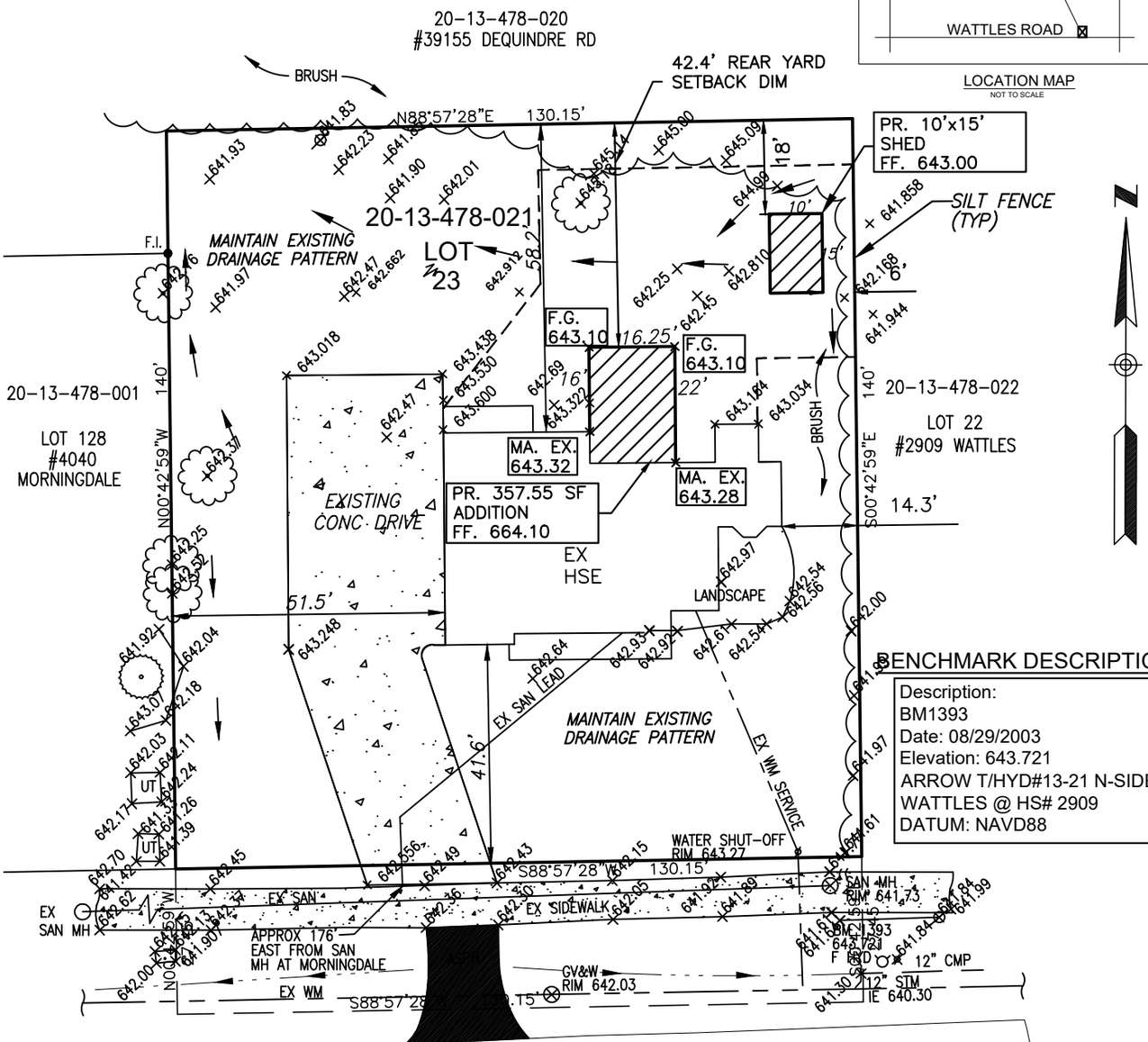
A3

LEGAL DESCRIPTION

SUPERVISOR'S PLAT OF FORSYTH ACRES, A PART OF LOT 23 EXC S 27 FT TAKEN FOR WATTLES RD 12-17-90 TRAN FR 426-043 7-24-00 CORR,SEC 13, T2N, R11E, TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP
NOT TO SCALE



BENCHMARK DESCRIPTION

Description:
BM1393
Date: 08/29/2003
Elevation: 643.721
ARROW T/HYD#13-21 N-SIDE
WATTLES @ HS# 2909
DATUM: NAVD88

STATE OF MICHIGAN
MITCHELL P. O'CONNOR
ENGINEER
No. 37762
LICENSED PROFESSIONAL ENGINEER

REVISED 4/5/21 ADD SHED

2887 WATTLES ROAD - HOUSE ADDITION

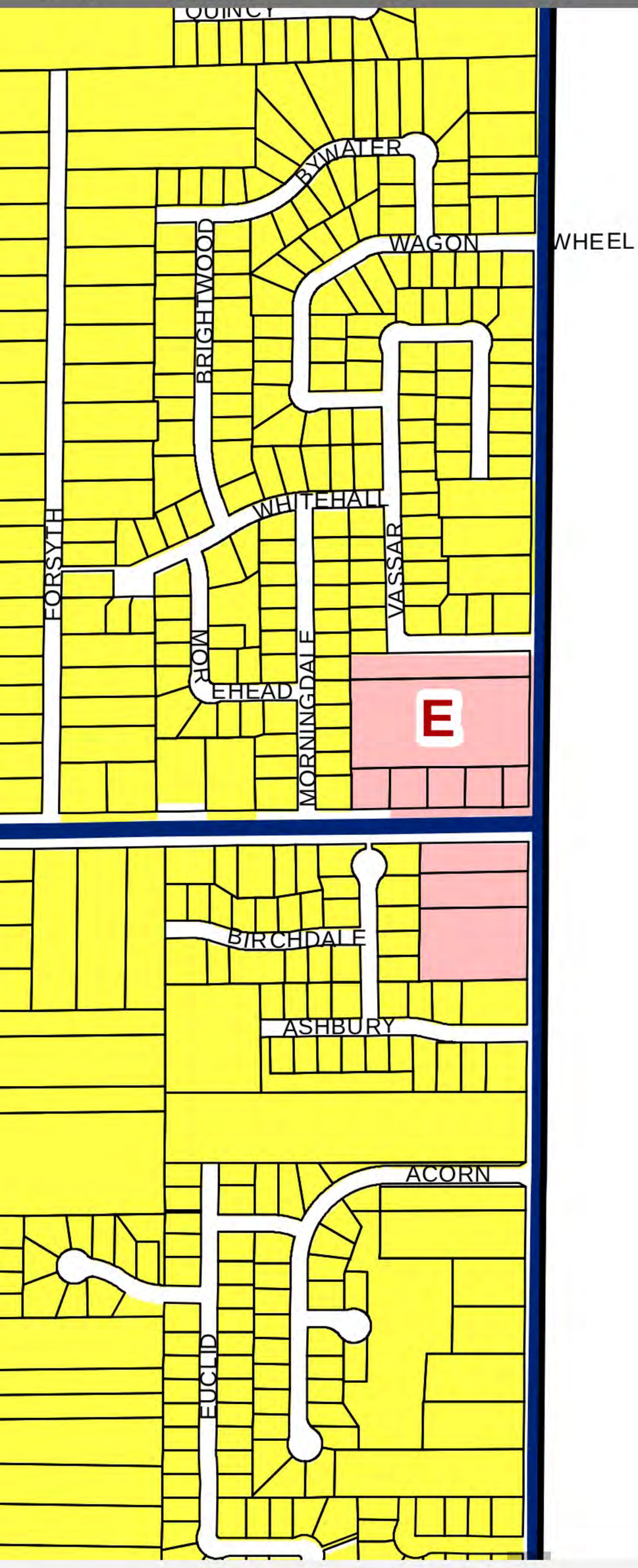
CHIPPEWA CONSULTING
ENGINEERED EXCELLENCE
Certified Minority Owned
Native American-Hispanic Women

8140 PACTON
SHELBY TOWNSHIP, MI 48317
PH: (586)737-7993
FAX: (586)737-7994
www.chippewaconsultingllc.com

CALL MISS DIG
72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
1-800-482-7171
or 811
CALL811.COM (TOLL FREE)

JOB NAME: TR14020.PP	JOB NO: TR14-020
DRAWN BY: J.E.	DATE: 12/7/20
SCALE: 1"=30'	SHEET: 1 OF 2
SECTION 13 TOWN 2 NORTH RANGE 11 EAST	
CITY/TOWN: TROY OAKLAND COUNTY, MI	

5:03 29%


QUINCY
BYWATER
WAGON
WHEEL
BRIGHTWOOD
WHITEHALL
FORSYTH
VASSAR
MOR
EHEAD
MORNINGDALE
E
BIRCHDALE
ASHBURY
ACORN
EUCLID

DEPARTMENT OF VETERANS AFFAIRS

November 5, 2020

JESUS RIVERA
2887 E WATTLES RD
TROY, MI 48085

In reply, refer to:
329/RWW
[redacted]
JESUS RIVERA

Dear Mr. RIVERA:

This letter is a summary of benefits you currently receive from the Department of Veterans Affairs (VA). We are providing this letter to disabled Veterans to use in applying for benefits such as housing entitlements, free or reduced state park annual memberships, state or local property or vehicle tax relief, civil service preference, or any other program or entitlement in which verification of VA benefits is required. Please safeguard this important document. This letter replaces VA Form 20-5455, and is considered an official record of your VA entitlement.

- - America is Grateful to You for Your Service - -

Our records contain the following information:

Personal Claim Information

Your VA claim number is: 393504382
You are the Veteran.

Military Information

Your character(s) of discharge and service date(s) include:

Branch of Service	Character of Service	Entered Active Duty	Discharged
Army	Honorable	03/18/1969	02/08/1971

(You may have additional periods of service not listed above)

VA Benefits Information

Service-connected disability: YES
Your combined service-connected evaluation is: 100
The effective date of the last change to your current award was: 12/31/2019