



500 West Big Beaver
Troy, MI 48084
troymi.gov

248.524.3364
planning@troymi.gov

PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Tom Krent, Chairman, David Lambert, Vice Chairman
Carlton Faison, Michael W. Hutson, Lakshmi Malalahalli,
Marianna Perakis, Sadek Rahman, Jerry Rauch and John J. Tagle

July 27, 2021

7:00 P.M.

Council Chambers

Public Comment may be communicated to the Planning Commission via telephone voice mail by calling 248.524.1305 or by sending an email to planning@troymi.gov. All comments will be provided to the Planning Commission.

1. ROLL CALL
2. EXTENSION OF PLANNING COMMISSION BYLAWS
3. APPROVAL OF AGENDA
4. APPROVAL OF MINUTES – July 13, 2021
5. PUBLIC COMMENT – For Items Not on the Agenda

PRELIMINARY SITE PLAN APPROVAL

6. PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) Zoning District

OTHER ITEMS

7. PUBLIC COMMENTS – For Items on the Agenda
8. PLANNING COMMISSION COMMENT
9. ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Krent called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on July 13, 2021, in the Council Chamber of the Troy City Hall. Chair Krent presented opening remarks relative to the role of the Planning Commission and procedure of tonight's meeting.

1. ROLL CALL

Present:

Carlton M. Faison
Michael W. Hutson
Tom Krent
David Lambert
Lakshmi Malalahalli
Marianna Perakis
Sadek Rahman
Jerry Rauch
John J. Tagle

Also Present:

R. Brent Savidant, Community Development Director
Ben Carlisle, Carlisle Wortman Associates
Julie Quinlan Dufrane, Assistant City Attorney
David Michalik, IT Help Desk Manager
Kathy L. Czarnecki, Recording Secretary

2. EXTENSION OF PLANNING COMMISSION BYLAWS

Resolution # PC-2021-07-047

Moved by: Hutson
Support by: Lambert

RESOLVED, As allowed by Planning Commission Bylaws and Rules of Procedure Article VII, Sections 5 (A-D), Troy Planning Commission hereby **TEMPORARILY EXTENDS** the requirement that a person who wishes to address Planning Commission must do so in person and **ALLOWS** four (4) methods of receiving Public Comment during an in-person meeting if a person is unable to appear in person to provide comments. (1) Public comments can be submitted for the Planning Commission meeting by sending an email to: planning@troymi.gov. Timely received emails will be incorporated into the record by reference and will be distributed to Planning Commission members for review and consideration. Emails will be considered timely if received prior to 12:00 pm (noon) on the day of the meeting. The Vice Chair or in the absence of the Vice Chair another member designated by the Chair is designated to compile the emails and advise members of Planning Commission, during the meeting, the number of comments that favor an agenda item, oppose an agenda item, and/or are neutral toward an agenda item, or (2) Public comments may be submitted by leaving a voicemail message by calling (248) 524-1305. Timely received voicemail messages will be played during the electronic meeting. Recorded voicemail messages will be considered timely if received prior to 4:00 pm on the day of the meeting, or (3) Members

of the public may attend the electronic meeting virtually by signing into the electronic meeting through the designated platform (i.e. Zoom.us) and may comment on an -- agenda item when recognized by the Chair, or (4) Members of the public may call into the electronic meeting using a designated call-in number associated with the electronic meeting and will be recognized by the Chair before being permitted to speak. All public comments will be limited to three minutes.

Yes: All present (9)

MOTION CARRIED

3. APPROVAL OF AGENDA

Resolution # PC-2021-07-048

Moved by: Faison

Support by: Tagle

RESOLVED, To approve the Agenda as prepared.

Yes: All present (9)

MOTION CARRIED

4. APPROVAL OF MINUTES

Resolution # PC-2021-07-049

Moved by: Lambert

Support by: Rauch

RESOLVED, To approve the minutes of the June 22, 2021, Regular meeting as submitted.

Yes: All present (9)

MOTION CARRIED

5. PUBLIC COMMENT – For Items Not on the Agenda

Ollie Apahidean, 2223 Tucker, Troy, addressed approval by the Troy School District to construct a communications tower on Troy School property at Boulan Park Middle School. He expressed concerns that there was no public engagement or notification on the matter by the Troy School District to neighboring properties, students, and teachers. Mr. Apahidean said communication towers are controversial due to a potential health hazard. He questioned if construction of a communications tower on school property should be exempt from City approval.

Mr. Savidant disclosed a dialogue he had via email with Assistant City Attorney Motzny on this matter. He understood from this dialogue that school facilities on school property are exempt from City approval but private facilities on school property are not exempt.

Mr. Savidant asked the City Attorney's Office to look into the matter and advise the Board.

PRELIMINARY SITE PLAN APPROVAL

6. **PRELIMINARY SITE PLAN REVIEW (File Number PSCP2021-0001)** – Proposed Willowbrook No. 2 Site Condominium (PIN 88-20-24-100-013 and 88-20-24-100-014), 7 units/lots, East side of John R, South of Wattles, Section 24, Currently Zoned R-1C (One Family Residential) Zoning District

Mr. Carlisle gave a review of the Preliminary Site Plan application for the second phase of Willowbrook Site Condominium. He said access to the development would be from a public road extension off Macaw and Sandpiper Drives. Mr. Carlisle addressed an undersized outlot retained from Phase 1 to create Lot 5 of Phase 2, and the applicant proposal to maintain a 46' x 409' outlot of Phase 2 for future development. Mr. Carlisle addressed the landscape plan, sidewalks, striping of the pedestrian crossing, and elevations.

Mr. Carlisle said the application meets all requirements of the Zoning Ordinance. He recommended approval of the Preliminary Site Plan application with conditions as identified in his report dated May 17, 2021.

The applicant Joe Maniaci explained why the application was pulled from the Planning Commission's May agenda.

There was discussion on:

- Elevations; construction start and elevation style determined at time of sale.
- Accommodation of outlot; acquisition of additional property.
- Outlot to stay in natural state, maintained and kept in inventory for future development.
- Master Deed limitation (five years) on development of outlot; if home not constructed, reverts to homeowner's association as a park.

Resolution # PC-2021-07-050

Moved by: Faison
Support by: Rahman

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Willowbrook No. 2 Site Condominium, 7 units/lots, East side of John R, South of Wattles (PIN 88-20-24-100-013 and 88-20-24-100-014), Section 24, Currently Zoned R-1C (One Family Residential) District, be granted, subject to the following:

1. Provide crosswalk striping.
2. Add language to the Master Deed stating that the Developer will maintain the outlot, until such time that the outlot is turned over to the Association or the Developers rights cease to exist.

Yes: All present (9)

MOTION CARRIED

CITY OF TROY MASTER PLAN

7. **MASTER PLAN UPDATE** – Master Plan Survey Results

Mr. Savidant addressed how the survey was distributed and methods used to encourage participation. He reported a positive 1,653 responses.

Mr. Carlisle presented a breakdown of the survey responses with respect to top and lowest priorities, development of nodes, nodes of most interest, open space, type of housing, desired development, assets and threats to neighborhoods and basic information relating to location, residency, race, ownership, income, age and length of residency. Mr. Carlisle followed up with a PowerPoint presentation that went into more details of the survey results and six neighborhood nodes identified in his Neighborhood Node Report dated July 1, 2021.

Discussion followed. Kudos were expressed to all those who participated in the administration of the survey.

8. **APPLICATION TO DE-LIST 6071 LIVERNOIS** – Preliminary Report

Mr. Savidant presented the application request to de-list the property located at 6071 Livernois from Chapter 13 Historic Preservation. He said this property is also known as Ye Olde Flower Barn. Mr. Savidant addressed the lengthy process to consider an application to de-list an historic property. He referenced the recommendation of the Historic District Study Committee and its Preliminary Report and review comments from the State Historic Preservation Review Board and Michigan Historical Commission. Mr. Savidant reported that there are no files on record at the City or State level and that it is unclear why the property was designated as “historic” under the provisions of Chapter 13 Historic Preservation. He reported that the Barn Preservation Network states there is probably little historic value.

Mr. Savidant said the Planning Department supports the recommendation to de-list the property. He said the Planning Commission could pass a resolution in support of the de-listing, but no action is required by the Planning Commission.

Jeff Jezierski, owner of the property, addressed the family history of the buildings, the flower business of over 40 years, the financial burdens on the family and various renovations to the buildings that he shared changed the configuration of the original structure. He asked the Board’s support to de-list the property.

Lee Johnson, real estate representative, family friend and former employee of the Ye Olde Flower Barn, addressed renovation restrictions placed by Chapter 13 on historic homes; simply changing paint color requires approval by the Historic Commission. He addressed how originally homes were listed on the historic list. Mr. Johnson asked for the Planning Commission support in de-listing the property.

There was discussion on:

- Benefits, if any, of homes listed as historic.
- Comments of Barn Preservation Network.
- Procedure to de-list historic property from Chapter 13.
- Trend of de-listing historic designation(s) on adjacent property.
- Troy Historic Village has no interest in retaining any portion(s) of historic barn.

Resolution # PC-2021-07-051

Moved by: Lambert

Support by: Hutson

RESOLVED, To recommend the de-listing of the property that used to be known as the Ye Olde Flower Barn.

Yes: All present (9)

MOTION CARRIED

9. **PUBLIC COMMENTS** – For Items on the Agenda

It was acknowledged there was no one present in the audience or virtually who wished to speak and that no email messages or voicemail messages were received.

10. **PLANNING COMMISSION COMMENT**

Mr. Savidant reported the following items were approved by City Council at their July 12, 2021, meeting:

- Lindsey Center Rezoning, 2690 Crooks, from Office to Big Beaver Zoning District
- Street Vacation Request, Public Walkway Abutting 3512 Euclid and 3506 Euclid

Mr. Savidant addressed an email communication from Jordan Jonna asking that the Planning Commission consider amending Table 5.04.C-1 in the BB Big Beaver section of the Zoning Ordinance. The proposed amendment relates to the repurposing of vacant office buildings to apartments and condominiums. Mr. Savidant said the administration would gather more information and present it as a discussion item at a future Planning Commission meeting.

Mr. Rauch asked that his request proposing an amendment to Section 5.06 E.1.A of the Zoning Ordinance relating to primary building entrances in Neighborhood Nodes be included on the following Planning Commission agenda.

Mr. Rahman asked how to get the ball rolling on getting bike lanes on Troy streets.

Mr. Savidant responded it would involve various City departments and City Council approval. He encouraged Mr. Rahman to reach out to City Council. Mr. Savidant said he would gather whatever information he could and bring it back to the Planning Commission for discussion.

Mr. Lambert apologized that he would miss the July 24 Joint City Council and Planning Commission meeting. He asked Mr. Savidant to forward the Master Plan survey results relating to green space to Mr. Bovensiep, liaison person on the Green Space Advisory Committee.

11. ADJOURN

The Regular meeting of the Planning Commission adjourned at 9:03 p.m.

Respectfully submitted,

Tom Krent, Chair

Kathy L. Czarnecki, Recording Secretary

C:\Users\bob\Documents\Kathy\COT Planning Commission Minutes\2021\2021 07 13 Regular Meeting_Draft.doc

DATE: July 22, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) Zoning District

The petitioner TriCap Residential Group submitted the above referenced Preliminary Site Plan application for the site improvements to an existing development, including the conversion of a 151-unit extended stay Hawthorn Suites hotel into 151 apartment units.

The Planning Commission is responsible for granting Preliminary Site Plan approval for this item. The conversion from an extended stay hotel to apartments requires two variances:

1. As per Section 4.08.C, multiple family residential density is capped at 10 units per acre when adjacent to One Family Residential. The site is 6.4 acres, which would permit a maximum of 64 units. The applicant is proposing a 1:1 conversion of units, creating 151 apartments units. This equates to 23.35 units per acre.
2. As per Section 4.08.C, the minimum square footage of an efficiency or one-bedroom unit is 600 square feet. The existing units range in size from 475 to 600 square feet.

The Planning Commission reviewed the preliminary site plan at the May 25, 2021 Regular meeting but did not take any action. The Zoning Board of Appeals granted both variances at the July 20, 2021 Regular meeting.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps.
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Preliminary Site Plan.
4. Minutes from May 25, 2021 Planning Commission Regular meeting (final).
5. Minutes from July 20, 2021 Zoning Board of Appeals meeting (draft).

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) Zoning District

Resolution # PC-2021-07-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed The Alcove Site Improvements, located on the east side of Livernois, south of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) District, be granted, subject to the following:

1. Clarify proposed screening along southern property line and modify, if necessary, based on Planning Commission input.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

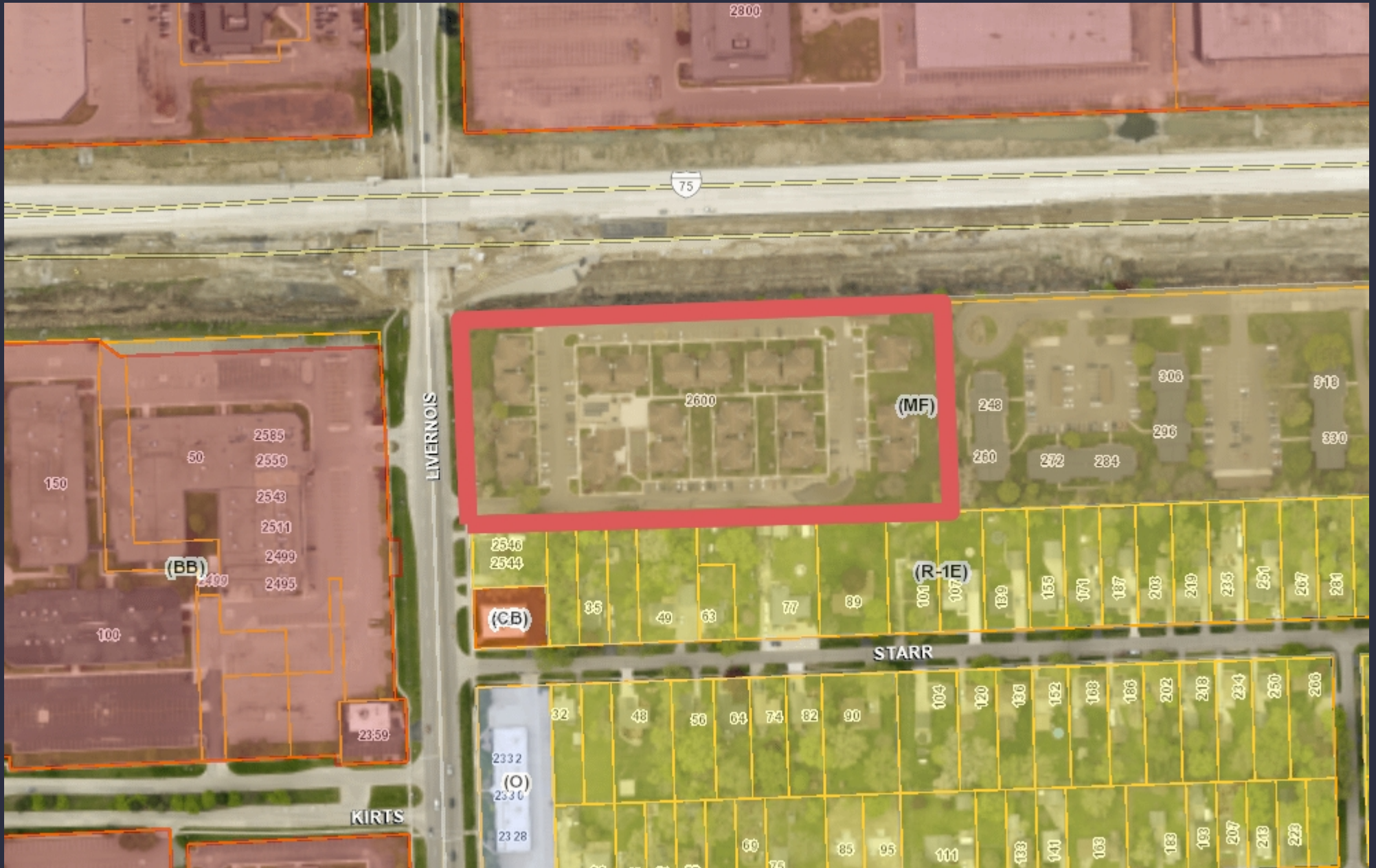
Yes:

No:

MOTION CARRIED/FAILED



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 21, 2021

**Preliminary Site Plan Review
For
City of Troy, Michigan**

Project Name:	Alcove
Plan Date:	June 24, 2021
Location:	2600 Livernois
Zoning:	MF, Multiple Family Residential
Action Requested:	Preliminary Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant is proposing to convert the existing Hawthorne Suites, which is an extended stay hotel, to a multiple family apartment development. The applicant is proposing a one-to-one conversion of units, converting the existing 151 extended stay units into 151 apartments units.

As part of the conversion, proposed improvements include:

- Landscaping
- Architectural
- Twenty-five (25) additional parking spaces

The applicant does not propose any changes to the existing building footprint. The applicant proposes to add twenty (20) parallel parking spaces along the northern property line adjacent to the I-75 right of way. Five (5) additional spaces are proposed in the southwest portion of the property. With these twenty-five (25) additional spaces, the site will be served with 193 parking spaces, which is three (3) more than required.

Figure 1. - Location and Aerial Image of Subject Site



Size of Subject Property:

23.35 acres

Proposed Uses of Subject Parcel:

One-hundred and fifty-one (151) apartment units

Current Use of Subject Property:

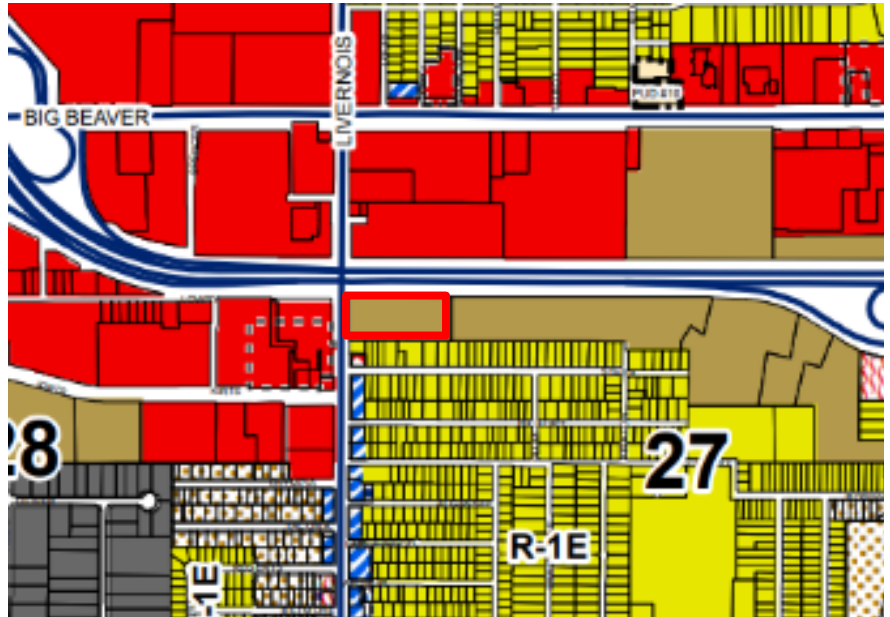
One-hundred and fifty-one (151) extended stay hotel units

Current Zoning:

The property is currently zoned MF, Multiple Family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	I-75	I-75
South	R-1E, One-family Residential District	Single-family homes
East	MF, Multiple Family Residential District	Single-family homes
West	BB, Big Beaver	Commercial



Items to be addressed: None

PREVIOUS PLANNING COMMISSION REVIEW

The Planning Commission discussed this item at their meeting in May 2021. See our May 2021 memo for a detailed review. At the May 2021 meeting, the item was postponed allowing the applicant to address the following items:

1. Obtain the required variances from the Zoning Board of Appeals.

The applicant obtained the required variances from the Zoning Board of Appeals. See section below for more details.

2. Provide overall site landscaping calculation.

Overall site landscaping calculation was not provided.

3. Resubmit a landscape plan with sufficient plant density to adequately screen the entire southern property line.

Alcove
July 21, 2021

It is unclear from the landscape plan what screening is being proposed. The plans note the 4-foot tall fence but as we previously noted there are pockets along the southern property line that are not adequately screened. The landscape plan shows screening alternative 1 and 2 which vary based on planted tree size. The full amount of additional trees are not shown on the landscape plan. The applicant should clarify proposed screening.



4. Resubmit landscape plan with a stamp from a registered architect.

The revised landscape plan is stamped by a registered architect.

5. Provide a higher quality material than vinyl and provide additional architectural improvements to the buildings.

The applicant has replaced the first floor vinyl with fiber cement board and batten siding. In addition, the applicant is renovating the exterior of the clubhouse with fiber cement board and batten siding and stone.

Items to be Addressed: 1). Submit site landscaping calculation; and 2). Clarify proposed screening along southern property line.

ZONING BOARD OF APPEALS

Though zoned MF, Multiple Family Residential, the conversion from an extended stay hotel to multiple family required two variances:

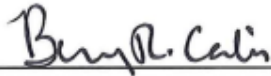
1. As set forth in Section 4.08.C, multiple family residential is capped at 10 units per acre when adjacent to residential. The site is 6.4 acres, which would permit a maximum of 64 units. The applicant is proposing a one-to-one conversion of units, converting the existing 151 extended stay units into 151 apartments units. This equates to 23.35 units per acre.
2. As set forth in Section 4.08.C, the minimum square footage of an efficiency or one-bedroom unit is 600 square feet. The existing units range in size from 475 to 600 square feet.

The Zoning Board of Appeals granted both variances without any additional considerations.

RECOMMENDATIONS

We recommend preliminary site plan approval with the following conditions:

1. *Submit site landscaping calculation.*
2. *Clarify proposed screening along southern property line and modify, if necessary, based on Planning Commission input.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

BONNER *Advisory Group*

June 25, 2021

R. Brent Savidant, AICP
Community Development Director
City of Troy

Re: Updated Site Plan Submittal 2600 Livernois

Dear Mr. Savidant:

On behalf of our client TriCap Residential Group we are pleased to submit this preliminary site plan for the Alcove – currently known as Hawthorn Suites located at 2600 Livernois. We are extremely excited about the opportunity to convert this property into a multifamily property the community can be proud of. Based on the preliminary planning report on May 25th we have added the additional items requested.

We look forward to working with you on this project. Please contact me with any comments or questions.

Sincerely,



Luke Bonner
CEO
Bonner Advisory Group

CEO **Luke Bonner** Mobile **734.846.9746** Email **Luke.Bonner@BonnerAG.com**
1054 South Main Street Ann Arbor, MI 48104

CITY OF TROY PRELIMINARY SITE PLAN APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
248- 524-3364
FAX: 248-524-3382
E-MAIL: [planning @ troymi.gov](mailto:planning@troymi.gov)



PRELIMINARY SITE PLAN REVIEW FEE
\$1,000.00
ESCROW FEE
\$1,500.00
ADMINISTRATIVE SITE PLAN REVIEW FEE
\$300.00

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE PRELIMINARY SITE PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

-
1. NAME OF THE PROPOSED DEVELOPMENT: The Alcove
 2. ADDRESS OF THE SUBJECT PROPERTY: 2600 Livernois Road
 3. ZONING CLASSIFICATION OF THE SUBJECT PROPERTY: Multi-Family - MF
 4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-27-151-002
 5. DESCRIPTION OF PROPOSED USE: Purpose of the project is to acquire the Hawthorn Suites and convert the property from extended stay hotel to a longer term rental property catering to middle income workforce in the region.

6. APPLICANT:	PROPERTY OWNER:
NAME <u>Bryan Pritchard</u>	NAME <u>Nail Abro</u>
COMPANY <u>TriCap Residential Group</u>	COMPANY <u>Troy Hotel Suites, Incorporated</u>
ADDRESS <u>171 N. Aberdeen Suite 400</u>	ADDRESS <u>2600 Auburn Road, Suite 220</u>
CITY <u>Chicago</u> STATE <u>IL</u> ZIP <u>60607</u>	CITY <u>Auburn Hills</u> STATE <u>MI</u> ZIP <u>48326</u>
TELEPHONE <u>(312) 988-9825</u>	TELEPHONE _____
E-MAIL <u>bpritchard@tricapres.com</u>	E-MAIL <u>altas0610@aol.com</u>

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:
The applicant currently has a contract to purchase the property from the owner.

8. SIGNATURE OF APPLICANT  DATE 4/21/2021

9. SIGNATURE OF PROPERTY OWNER *Nail Abro* DATE 04-21-2021

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PRELIMINARY SITE PLAN.

PRELIMINARY SITE PLAN SUBMITTAL CHECKLIST

THE FOLLOWING INFORMATION AND MATERIALS ARE NECESSARY FOR SUBMISSION:

- REQUIRED FEE
- ONE (1) CD CONTAINING AN ELECTRONIC VERSION OF THE ENTIRE PRELIMINARY SITE PLAN APPLICATION (PDF Format)

ONE (1) HARD COPY OF THE FOLLOWING:

- COMPLETED CITY OF TROY PRELIMINARY SITE PLAN APPLICATION FORM
- CERTIFIED BOUNDARY SURVEY
- CERTIFIED TOPOGRAPHIC SURVEY

TWO (2) HARD COPIES OF THE FOLLOWING:

- PRELIMINARY SITE PLAN SHOWING PROPOSED SITE LAYOUT AND USES
- PRELIMINARY TREE PRESERVATION PLAN / TREE INVENTORY
- PRELIMINARY LANDSCAPE PLAN
- PRELIMINARY FLOOR PLANS
- PRELIMINARY ELEVATIONS
- PRELIMINARY GRADING PLAN
- PRELIMINARY LIGHTING PLAN
- WETLANDS DETERMINATION, IF REQUIRED

***ALL HARD COPY DRAWINGS SHALL BE FOLDED, STAPLED, SEALED AND SIGNED
BY A STATE OF MICHIGAN PROFESSIONAL ENGINEER, REGISTERED ARCHITECT,
REGISTERED LANDSCAPE ARCHITECT, OR PROFESSIONAL COMMUNITY PLANNER***

PLANNING COMMISSION AGENDAS ARE ELECTRONIC

The Alcove

HAWTHORN SUITES OF TROY RESIDENTIAL CONVERSION

2600 LIVERNOIS RD TROY, MI

SITE PLAN SUBMITTAL 6/24/2021

SITE PLAN REVIEW	06/24/2021
SITE PLAN REVIEW	04/22/2021
DATE ISSUED	
DRAWN BY	
CHECKED BY	

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

The Alcove
 Troy, MI

PROJECT

CONSULTANT

TITLE/ DATA
 INDEX

SHEET TITLE

21-802

PROJECT NUMBER

A-000

SHEET NUMBER

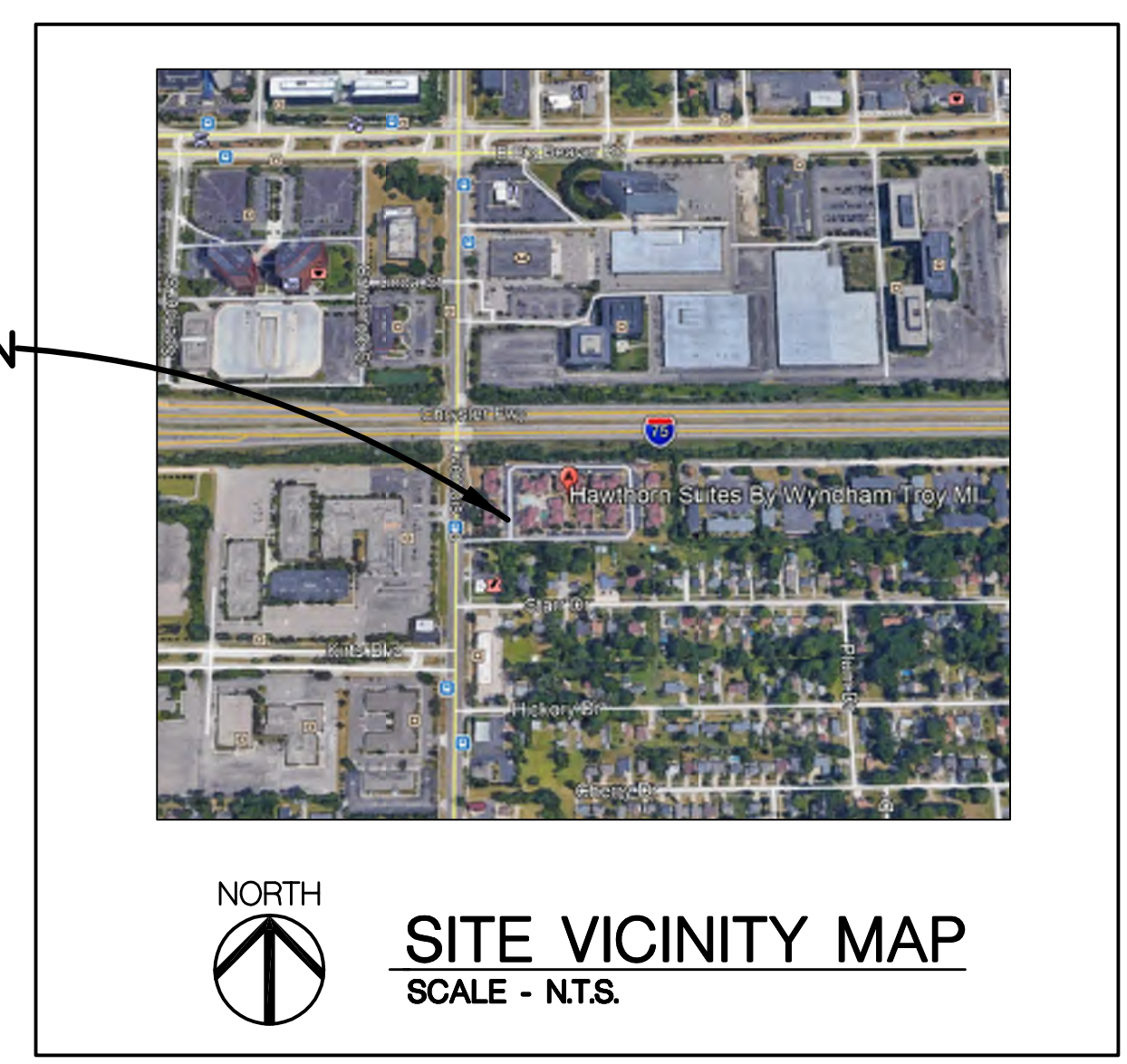
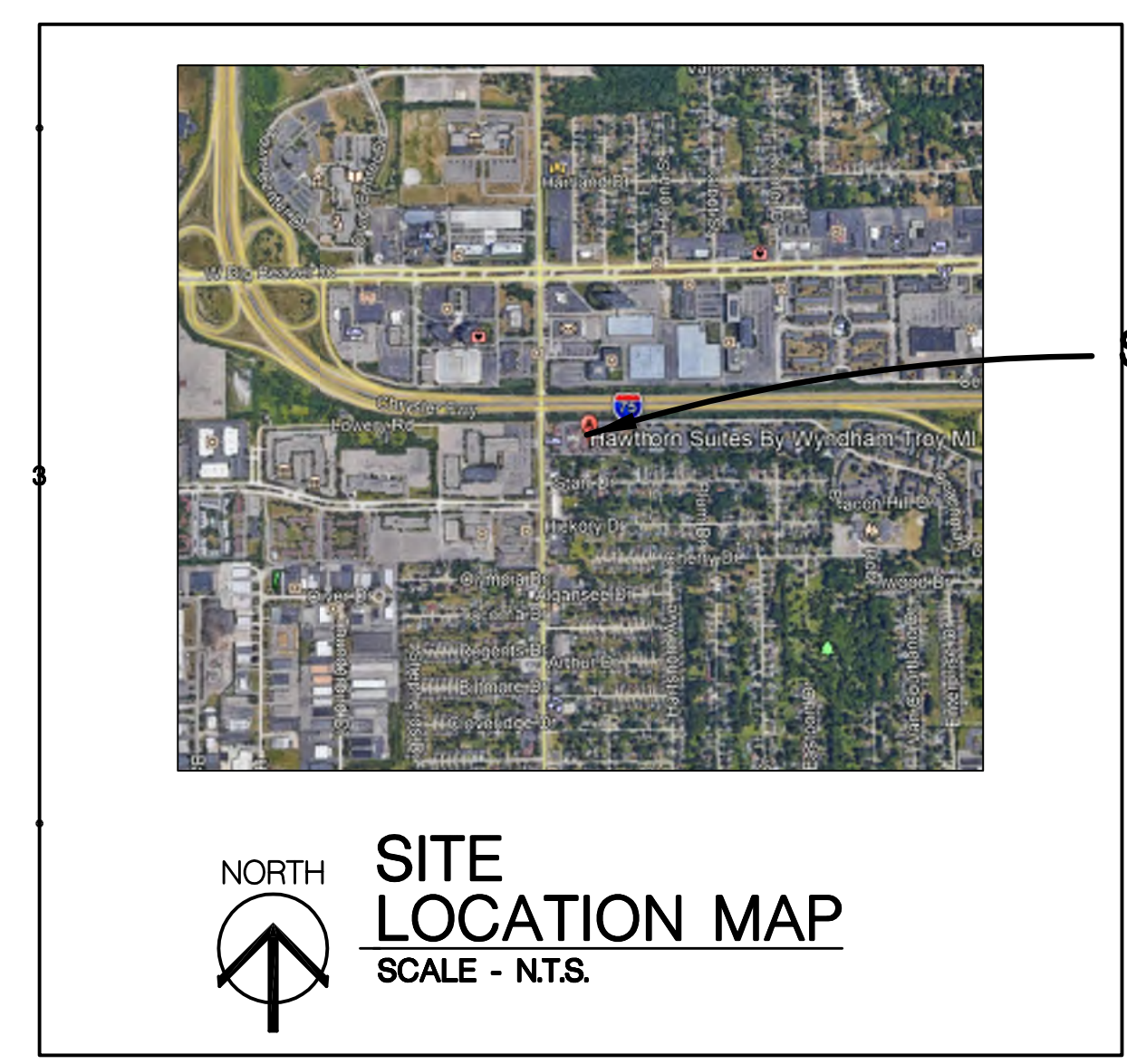
DRAWING INDEX:

ARCHITECTURAL	A-000	TITLE, DATA, INDEX & SITE LOCN
	A-100	EXISTING FIRST FLOOR PLANS
	A-105	EXISTING SECOND FLOOR PLANS
	A-200	EXTERIOR ELEVATIONS
	A-205	EXTERIOR ELEVATIONS
	A-210	CLUBHOUSE EXTERIOR ELEVATIONS
CIVIL & LANDSCAPE	C-00	BOUNDARY & TOPO SURVEY
	C-10	PRELIMINARY SITE PLAN
	C-20	TREE PRESERVATION PLAN
	C-30	PRELIMINARY LANDSCAPE PLAN
	C-40	SITE & LANDSCAPE DETAILS
	C-50	SITE & LANDSCAPE DETAILS

PROJECT DATA:

SITE ADDRESS	2600 LIVERNOIS RD, TROY, MI	
OAKLAND COUNTY PID:	0611722320029	
PROPERTY DESCRIPTION:	LOT 1, BLOCK 1, PINEHURST 1ST ADDITION	
ZONING	EXISTING	PROPOSED
	MF : MULTI-FAMILY - HOTEL	MF : MULTI-FAMILY - APARTMENT RENTAL
MAXIMUM DENSITY	PERMITTED	PROPOSED/EXISTING
	10 UNITS/ACRE	23.35 UNITS/ACRE (NO CHANGE) * Variance Request Submitted to Troy ZBA
MAXIMUM HEIGHT - STORIES / IN FEET	ALLOWABLE	PROPOSED/EXISTING
	2 STORIES/ 25'	2 STORIES/ 23' +/- (NO CHANGE)
MINIMUM YARD SETBACKS	ALLOWABLE	PROPOSED/EXISTING
FRONT	30'	52.5' (NO CHANGE)
REAR	30'	50'+ (NO CHANGE)
SIDES	30'	50'+ (NO CHANGE)
DISTANCE BETWEEN BUILDINGS	ALLOWABLE	PROPOSED/EXISTING
	30'	30'+ (NO CHANGE)
MIN FLOOR AREA / UNIT (SF)	ALLOWABLE	PROPOSED/EXISTING
EFF/IBD	600sf	Varies 475sf - 600+sf (NO CHANGE) * Variance Request Submitted to Troy ZBA
MAX % OF LOT AREA COVERED BY BLDGS	ALLOWABLE	PROPOSED/EXISTING
	35%	16.8% (NO CHANGE)
PARKING	REFER TO SHEET C10 FOR PARKING TABULATIONS	

SITE LOCATION



PROJECT TEAM:

DEVELOPER

TRICAP RESIDENTIAL GROUP
 171 N. ABERDEEN, SUITE 400
 CHICAGO, IL 60607
 (312) 988-9825

CIVIL ENGINEER/LANDSCAPE ARCHITECT

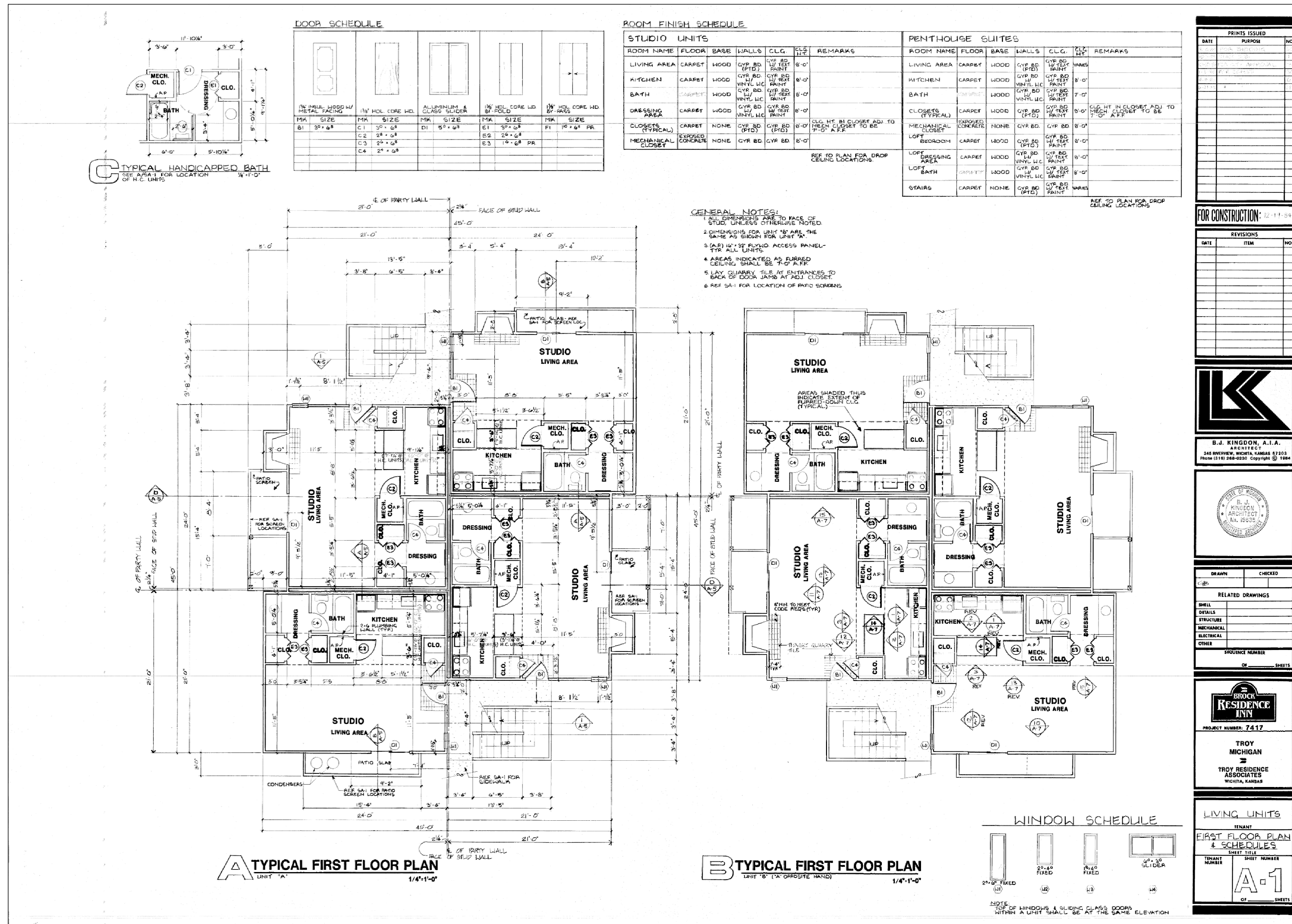
WADE TRIM
 555 S. SAGINAW ST, SUITE 201
 FLINT, MI 48502
 (810) 620-0015

ARCHITECTURAL

HOBBS + BLACK ASSOCIATES, INC.
 100 N. STATE STREET
 ANN ARBOR, MICHIGAN 48104
 (734) 663-4189

NOT FOR CONSTRUCTION

ORIGINAL FLOOR PLANS FOR EXISTING BUILDING INCLUDED IN PACKAGE FOR REFERENCE ONLY



NO PROPOSED EXTERIOR MODIFICATIONS TO THE BUILDING FOOTPRINT

PRINTS ISSUED

DATE	PURPOSE	NO.

FOR CONSTRUCTION: 12-11-14

REVISIONS

DATE	ITEM	NO.

RELATED DRAWINGS

NO.	DESCRIPTION

PROJ. RESIDENCE INN
 PROJECT NUMBER: 7417
TROY MICHIGAN
 TROY RESIDENCE ASSOCIATES
 WICHITA, KANSAS

LIVING UNITS
 TENANT: FIRST FLOOR PLAN & SCHEDULES
 SHEET TITLE: A-1
 SHEET NUMBER: 1 OF 1

SITE PLAN REVIEW 06/24/2021
 SITE PLAN REVIEW 04/22/2021
 DATE ISSUED
 DRAWN BY
 CHECKED BY

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Troy, Michigan 48064
 P: 734.663.4189
 www.hobbs-black.com

The Alcove
 Troy, MI

PROJECT
 CONSULTANT

EXISTING FIRST FLOOR PLANS

SHEET TITLE
 21-802
 PROJECT NUMBER
 A-100
 SHEET NUMBER

NOT FOR CONSTRUCTION

Drawing: P:\2021\21-802\Drawings\2021-802-106254\Sheet A-100.dwg
 Date: Jun 24, 2021 11:10:15am
 Layout: 24x36-Layout
 Plotted by: wchubb



ELEVATION #1
 SCALE - 1/8" = 1'-0"



ELEVATION #2
 SCALE - 1/8" = 1'-0"

NOTES:
 - PROPOSED FINISHES ARE REPRESENTATIVE OF FINISHES PROPOSED FOR ALL BUILDINGS WITHIN THE EXISTING DEVELOPMENT.
 - ALTERATIONS ARE COSMETIC AND NO EXTERIOR STRUCTURAL MODIFICATIONS ARE PROPOSED

SITE PLAN REVIEW 06/24/2021
 SITE PLAN REVIEW 04/22/2021
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PROPOSED ELEVATIONS
 SHEET TITLE
 21-802
 PROJECT NUMBER
 A-200
 SHEET NUMBER

NOT FOR CONSTRUCTION

Drawing: P:\2021\21-802\Drawings\SD\Site Plan Submittal -2021_0624\Sheet A-200.dwg
 Date: Jun 24, 2021, 11:04pm Layout: 24x36-Layout Plotted by: wchubb



SIDE ELEVATION #1
 SCALE - 1/8" = 1'-0"



SIDE ELEVATION #2
 SCALE - 1/8" = 1'-0"

- NOTES:
- PROPOSED FINISHES ARE REPRESENTATIVE OF FINISHES PROPOSED FOR ALL BUILDINGS WITHIN THE EXISTING DEVELOPMENT.
 - ALTERATIONS ARE COSMETIC AND NO EXTERIOR STRUCTURAL MODIFICATIONS ARE PROPOSED

SITE PLAN REVIEW 06/24/2021
 DATE ISSUED 04/22/2021
 DRAWN BY
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PROJECT

CONSULTANT

EXTERIOR
 ELEVATIONS

SHEET TITLE

21-802

PROJECT NUMBER

A-205

SHEET NUMBER

NOT FOR CONSTRUCTION

Drawing: P:\2021\21-802\Drawings\SD\Site Plan Submittal -2021_0624\Sheet A-205.dwg
 Date: Jun 24, 2021 11:11:00am Layout: 24x36-Layout Plotted by: wchubb

SITE PLAN REVIEW	06/24/2021
SITE PLAN REVIEW	04/22/2021
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PROJECT	
CONSULTANT	

CLUBHOUSE
 EXTERIOR
 ELEVATIONS

SHEET TITLE

21-802
 PROJECT NUMBER

A-210
 SHEET NUMBER



F4 EAST ELEVATION
 A-210 SCALE - 1/8" = 1'-0"
 ELEVATION SHEET



B4 WEST ELEVATION
 A-210 SCALE - 1/8" = 1'-0"
 ELEVATION SHEET



F1 NORTH ELEVATION
 A-210 SCALE - 1/8" = 1'-0"
 ELEVATION SHEET



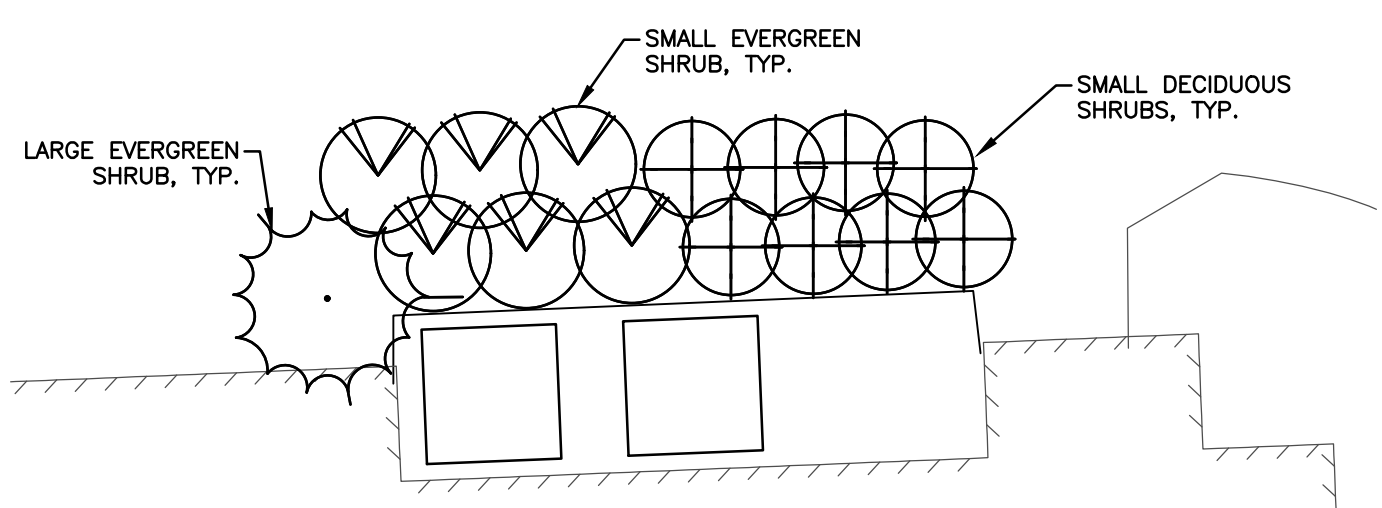
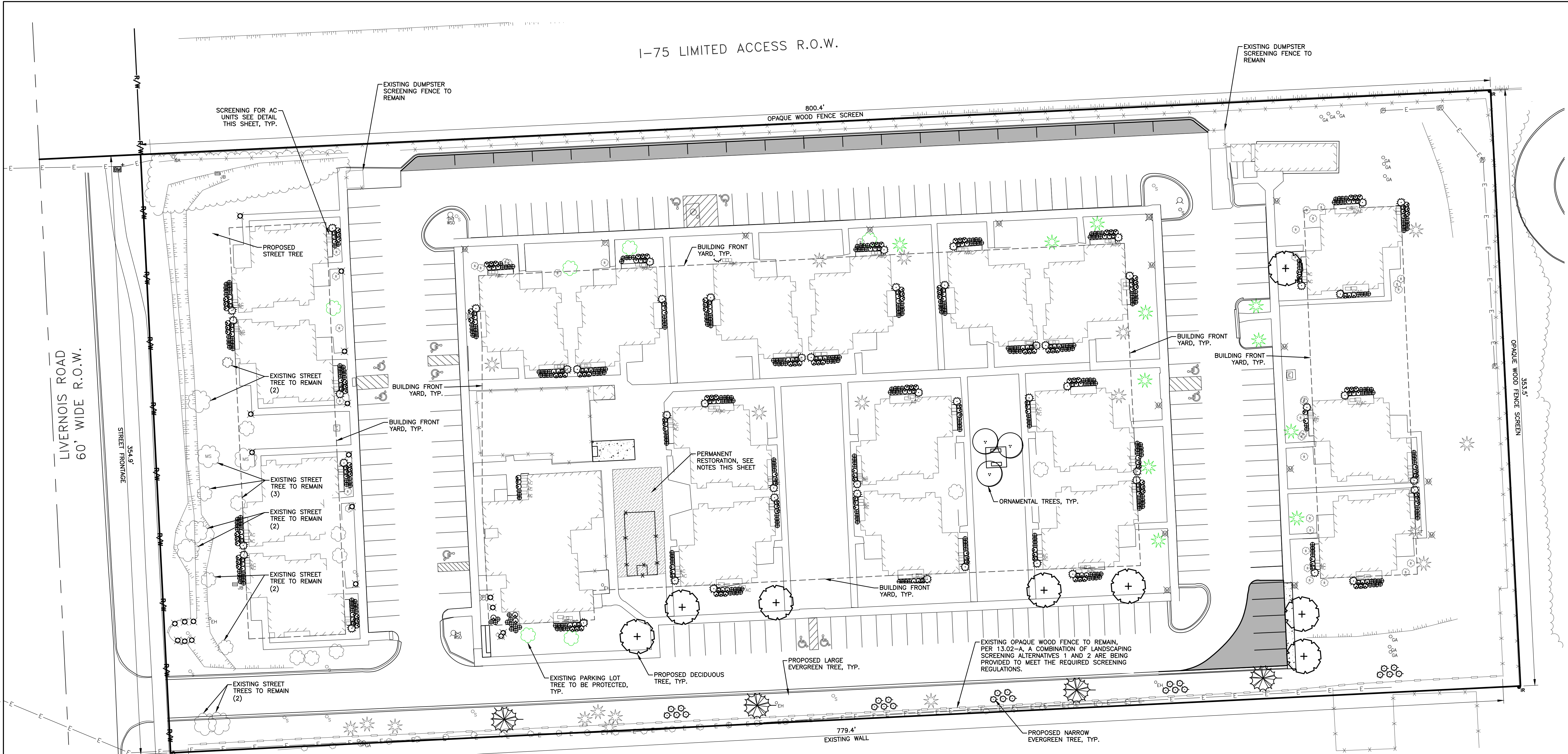
B1 SOUTH ELEVATION
 A-210 SCALE - 1/8" = 1'-0"
 ELEVATION SHEET

- NOTES:
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 - ALTERATIONS ARE COSMETIC AND NO EXTERIOR STRUCTURAL MODIFICATIONS ARE PROPOSED

NOT FOR CONSTRUCTION

Drawing: P:\2021\21-802\Drawings\Site Plan Submittal - 2021\0624\plan elevation sheet.dwg
 Date: Jun 25, 2021 1:03:44pm Layout: Layout1 Plotted by: wchubb

1-75 LIMITED ACCESS R.O.W.



TYPICAL AIR CONDITIONING SCREENING ENLARGEMENT
SCALE 1"=5'



City of Troy Multi Family Site Screening Regulations				
Location	Land Use	Regulation	Required	Type/Size
North & West Side	BB Big Beaver Road (Form Based Zoning)	None	None	None
South Side	R-1E One Family Residential	Per Table 13.02-A Screen Alternative 1 and 2	Yes	Per Table 13.02-A
East Side	MF Multi Family Residential	None	None	None

See pages 275-293 of City of Troy Ordinance for full requirements.

City of Troy Landscaping Regulations	
Location	Regulation
Parking Lot	1 tree for every 8 parking spaces. Landscaping shall be arranged in curbed islands within the parking lot which shall not be less than 200 square feet in area. A minimum distance of 3 feet from the backside of the curb and the proposed landscape plantings shall be provided. **
Greenbelt	Minimum of 10 feet in width and 1 deciduous for every 30 linear feet, or fraction thereof, of frontage abutting a public road right-of-way. Deciduous trees within a greenbelt shall be a minimum caliper of 2 1/2 inches or greater and evergreen trees shall be a minimum of 5 to 6 feet in height. In addition to the required trees within the greenbelt, the remainder of the greenbelt shall be landscaped with grasses, ground covers, shrubs and other natural landscape materials.
Street Frontage	The frontage of all internal public or private streets shall be landscaped with the equivalent of one (1) tree for every fifty (50) linear feet, or fraction thereof. Such street trees shall meet the minimum size, spacing and species requirements set forth in Sections 13.02.H, Minimum Size and Spacing Requirements.

** An equivalent amount of landscape plantings at the perimeter of parking lots may be approved where landscaping within parking lots would be impractical due to the size of the parking lot, detrimental to safe and efficient traffic flow, or would create an unreasonable burden for maintenance and snowplowing, provided all other landscaping requirements are met.

See pages 275-293 of City of Troy Ordinance for full requirements.

PARKING LOT LANDSCAPE CALCULATIONS

193 PROPOSED PARKING SPACES			
REQUIREMENT	EXISTING	PROPOSED	
TREES	25	17	8

STREET FRONTAGE LANDSCAPE CALCULATIONS

APPX. 355 LINEAL FEET			
REQUIREMENT	EXISTING	PROPOSED	
TREES	12	11	1

SCREENING LANDSCAPE CALCULATIONS

APPX. 800 LINEAL FEET			
REQUIREMENT	EXISTING	PROPOSED	
ALT 1	1 PER 3 LF	0	168
ALT 2	1 PER 10 LF	7	22
4' OPAQUE FENCE		780	0

PERMANENT RESTORATION NOTES

- ALL ON-SITE UNPAVED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL, SEED/SOIL AND MULCH. TOPSOIL SHALL BE PER ASTM D5268 AND SHALL BE NATURAL, FRABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL. IF EXISTING ON-SITE TOPSOIL OR IMPORTED TOPSOIL DOES NOT MEET THESE REQUIREMENTS, THE TOPSOIL SHALL BE CONDITIONED UNTIL REQUIREMENTS ARE MET.
- HYDROSEED FOR LAWN AREAS IS TO CONSIST OF A SEED MIXTURE AS FOLLOWS:
40% PERENNIAL RYEGRASS
20% KENTUCKY BLUEGRASS
10% NEW PORT KENTUCKY BLUEGRASS
30% PENN LAWN RED FESCUE
THE GRASS SEED MIXTURE SHALL BE SOWN UNIFORMLY AT A RATE OF 220-250 POUNDS PER ACRE.
- FERTILIZER SHALL HAVE AN ANALYSIS OF 8-8-8 OR 10-10-10 OF NITROGEN, PHOSPHORUS AND POTASSIUM AND IS TO BE USED IN THE LAWN AREA HYDROSEED APPLICATION. FERTILIZER SHALL BE APPLIED AT THE RATE REQUIRED TO FURNISH 300 POUNDS PER ACRE.
- MULCH SHALL BE STRAW, HAY OR EXCELSIOR. THE MULCH SHALL BE APPLIED AT A RATE OF 1,500 POUNDS PER ACRE WITH 30 POUNDS PER ACRE OF GLUE.

LEGEND

- DECIDUOUS TREE
- LARGE EVERGREEN TREE
- EXISTING PARKING LOT TREE TO BE PROTECTED
- ORNAMENTAL TREE
- SMALL EVERGREEN TREE
- SHRUBS
- PERMANENT RESTORATION

30 15 0 30 60
SCALE IN FEET

PROJECT MANAGER: FIELD BOOK INFORMATION: C:\PW_WORK\WADE-TRIM-KROVISTON\1108044\C3-0-PLTS-CSP-LANDSCAPE PLAN.DWG - C-3.0 - PLOTTED 6/24/2021 12:41 PM BY: ROYSTON, KEVIN



PLANTING NOTES
1. ALL PROPOSED PLANTINGS SHALL MEET THE MINIMUM SIZE AND SPACING REQUIREMENTS OF TABLE 13.02-C. MINIMUM SIZE AND SPACING REQUIREMENTS FOR LANDSCAPING MATERIALS, LOCATED IN ARTICLE 13 SITE DESIGN STANDARDS OF THE CITY OF TROY ZONING ORDINANCE.

REV#	DATE	SITE PLAN SUBMITTAL	DESCRIPTION
6/24/21			

855 S. Saginaw Street, Suite 201
Ann Arbor, MI 48106
810.235.2552
www.wadetrim.com

WADE TRIM

HOBBS + BLACK ARCHITECTS
100 NORTH STATE STREET
ANN ARBOR, MI 48104
PRELIMINARY LANDSCAPE PLAN FOR HAWTHORNE REDEVELOPMENT, TROY, MI

ISSUED FOR: DATE: BY:
PSP 04/22/21 KPR
PSP 6/24/21 RPL

JOB NO. HOB2012.01F
SHEET C-3.0

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NOTES

CONCRETE NOTES

- ALL CONCRETE SHALL BE 4500 PSI CONCRETE MIX UNLESS OTHERWISE NOTED.
- ALL POLY FIBER REINFORCED CONCRETE SHALL HAVE A MIX RATIO OF 1.5 LBS OF POLY FIBER PER 1.0 CYD OF CONCRETE.

CONCRETE JOINTS

- THE CONTRACTOR MUST PREPARE A JOINTING PLAN AND SUBMIT TO ENGINEER AS A SHOP DRAWING FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE.
- BEGIN SAW CUTS AFTER THE CONCRETE HAS HARDENED ENOUGH TO PERMIT SAWING WITH OUT RAVELING OR MOVING AGGREGATES.
- IF CRACKS DEVELOP AHEAD OF A SAW, STOP SAWING THAT JOINT. LATER USE CRACK SAWS TO FORM JOINT SEALANT RESERVOIRS ALONG THE CRACK LINE.
- JOINT SPACING:
 - MAXIMUM SLAB SIZE = 2 X SLAB THICKNESS (INCHES TO FEET), I.E.: 2 X 6 INCHES = 12 FEET - 15 FEET IS ABSOLUTE MAX.
 - RECOMMENDED MAXIMUM JOINT SPACING (SMALLER IS BETTER)
 - 4" SLAB: 6 FEET
 - 6" SLAB: 10 FEET
 - 8" SLAB: 14 FEET
 - 9" SLAB: 15 FEET

- CATCH BASIN AND MANHOLE CASTINGS REQUIRE A BOXOUT OR ISOLATION TO ALLOW FOR VERTICAL AND HORIZONTAL SLAB MOVEMENT.
- SAWCUT JOINTS SHALL BE CONTINUOUS ACROSS THE SLAB AND SHALL MATCH LOCATION OF JOINTS ON ABUTTING CONCRETE SLABS.
- CONTRACTOR SHALL PROVIDE ISOLATION/EXPANSION JOINTS BETWEEN SLABS OR AT STRUCTURES.
- THE CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINTS AT EDGE OF POURS OR FORM LINES.
- THE CONTRACTOR SHALL PROVIDE CONTRACTION JOINTS (SAW CUTS OR TOOLED) EQUALLY SPACED AS IDENTIFIED IN NOTE 4 THIS SHEET.

CONCRETE CURBING

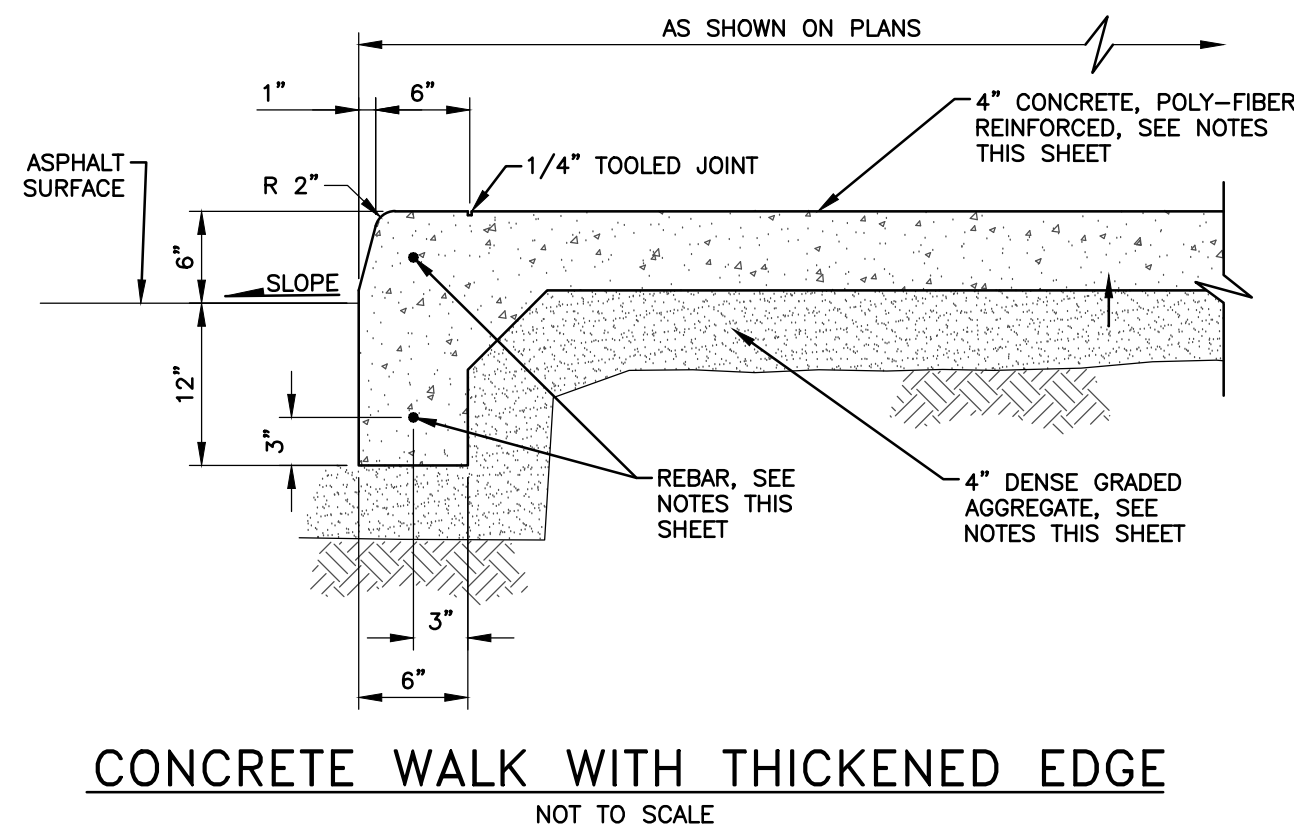
- WHERE THE DRAINAGE FLOWS AWAY FROM THE CURB AND GUTTER THE CONTRACTOR MODIFY THE CURB AND GUTTER DETAIL TO SLOPE AWAY FROM THE CURB FACE @ 1" PER FOOT.
- THE CONTRACTOR SHALL NOT GRADE SITE SO THAT STORM WATER FLOWS TOWARDS OR AGAINST STRAIGHT CURB OR THICKENED EDGE SIDEWALK.
- ALL REBAR FOR CONCRETE CURB AND GUTTER SHALL BE # 4 EPOXY COATED.
- PLACE 1" FIBER JOINT FILLER AT 400' MAXIMUM INTERVALS.
- PLACE 1" FIBER JOINT FILLER AT SPRING POINTS IF CURB RETURNS (AND INTERSECTION STREETS).
- PLACE 1" FIBER JOINT FILLER IN ADJACENT CONTRACTION JOINTS EACH SIDE OF CATCH BASINS.
- PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS (NO SAW CUT JOINTS ALLOWED).

ASPHALT

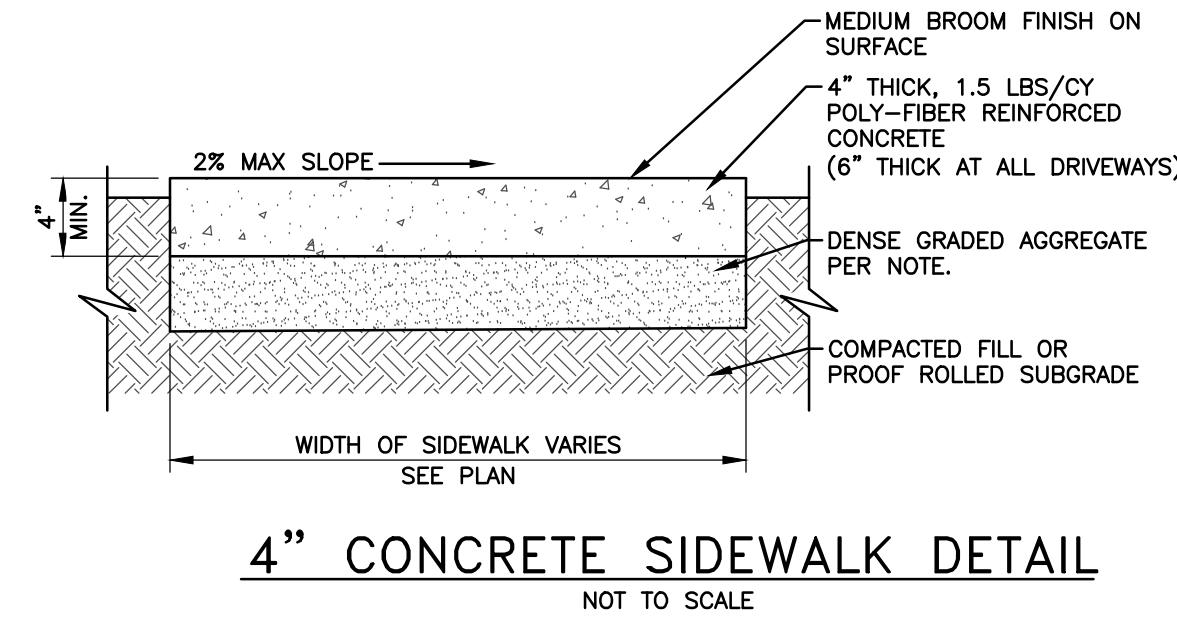
- THE LEVELING AND WEARING COURSE SHALL BE DONE IN TWO LIFTS OF MDOT 4E1 OR APPROVED EQUAL (13AM LVSP).
- THE ASPHALT BINDER SHALL BE PG 58-28.

MATERIALS

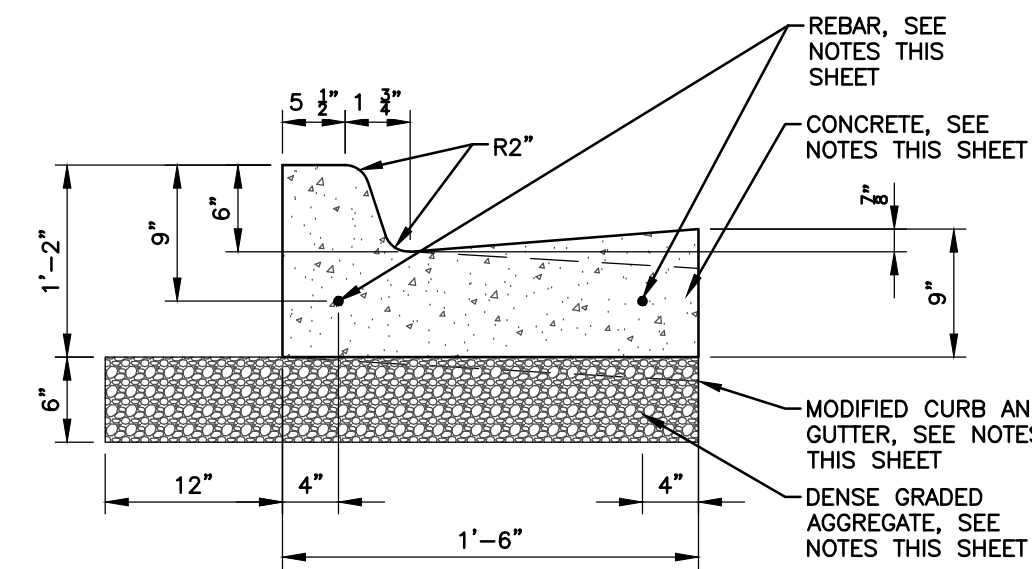
- GRANULAR MATERIAL - MDOT CLASS II SAND
- OPEN GRADED AGGREGATE - MDOT 6A OR AASHTO #57
- DENSE GRADED AGGREGATE - MDOT 21AA CRUSHED LIMESTONE
 - CONTRACTOR CAN USE EXISTING CRUSHED SITE CONCRETE/ASPHALT AS AGGREGATE BASE MATERIAL. CONTRACTOR SHALL INCREASE BASE THICKNESS BY 25%.



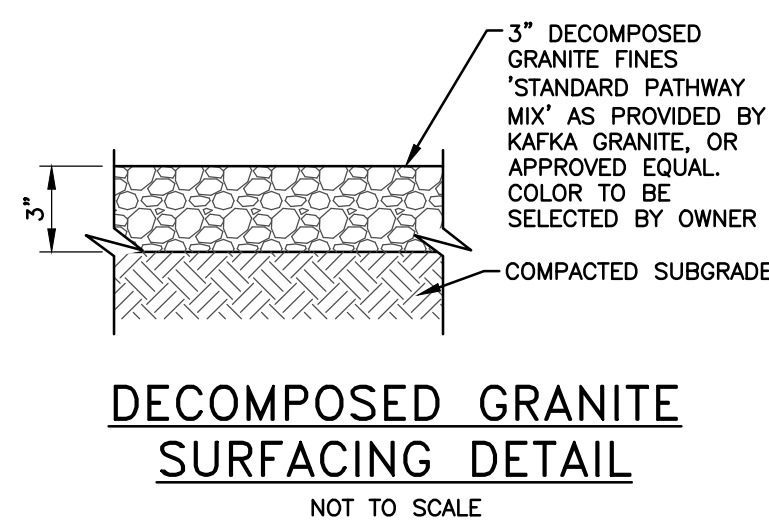
CONCRETE WALK WITH THICKENED EDGE
NOT TO SCALE



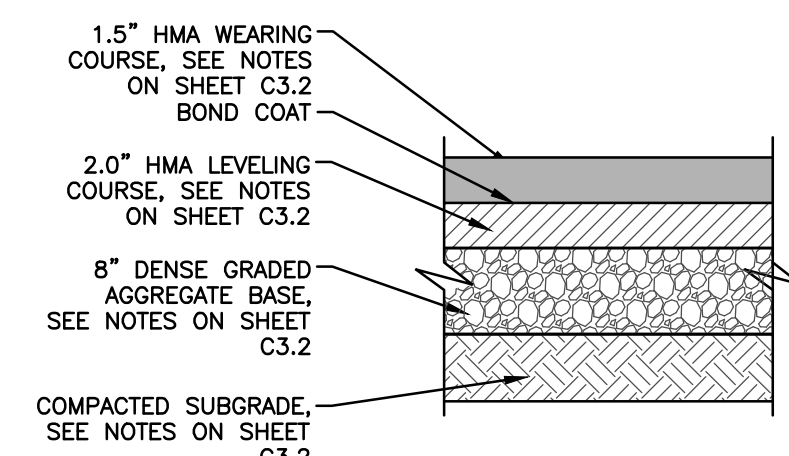
4\"/>



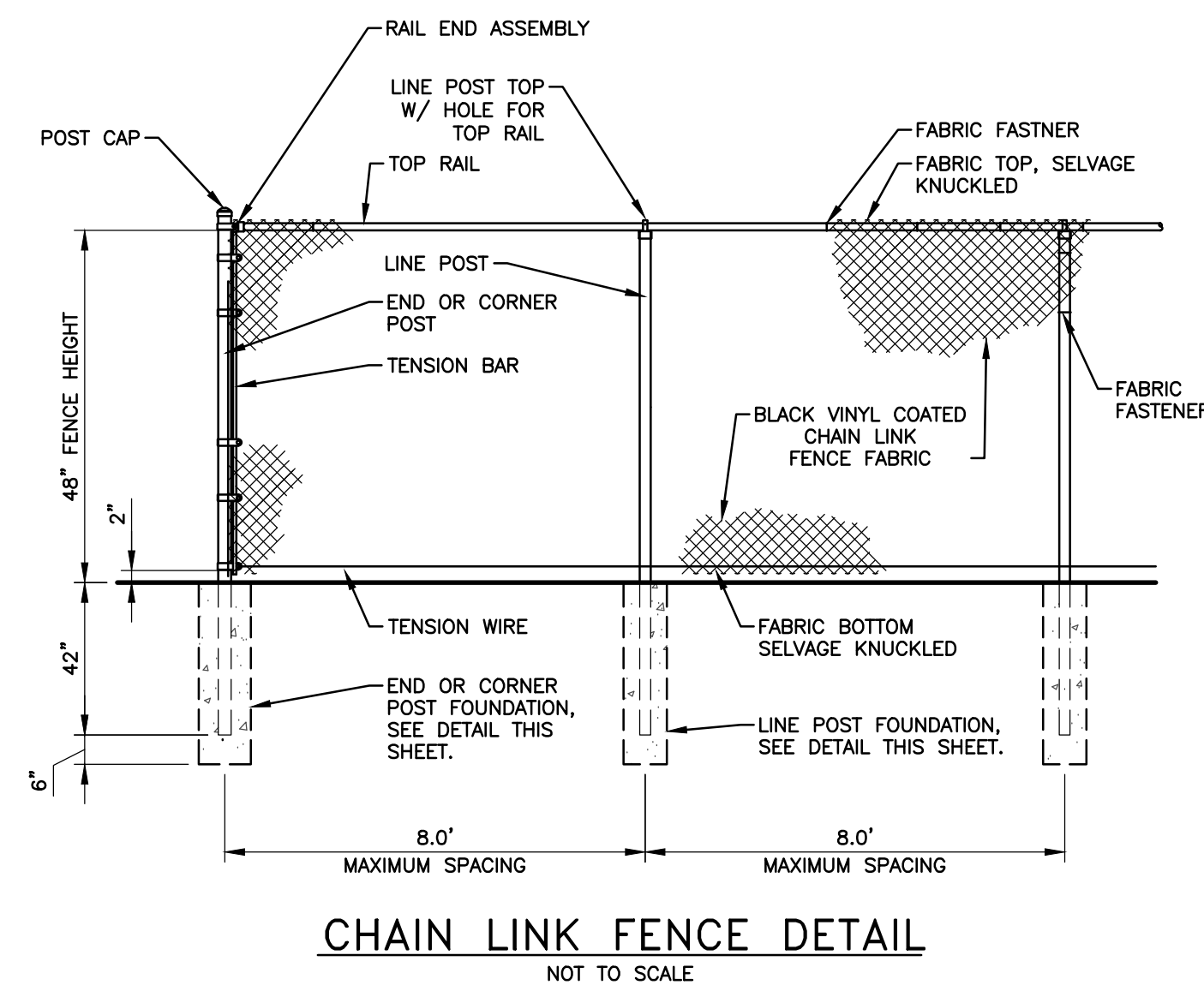
18\"/>



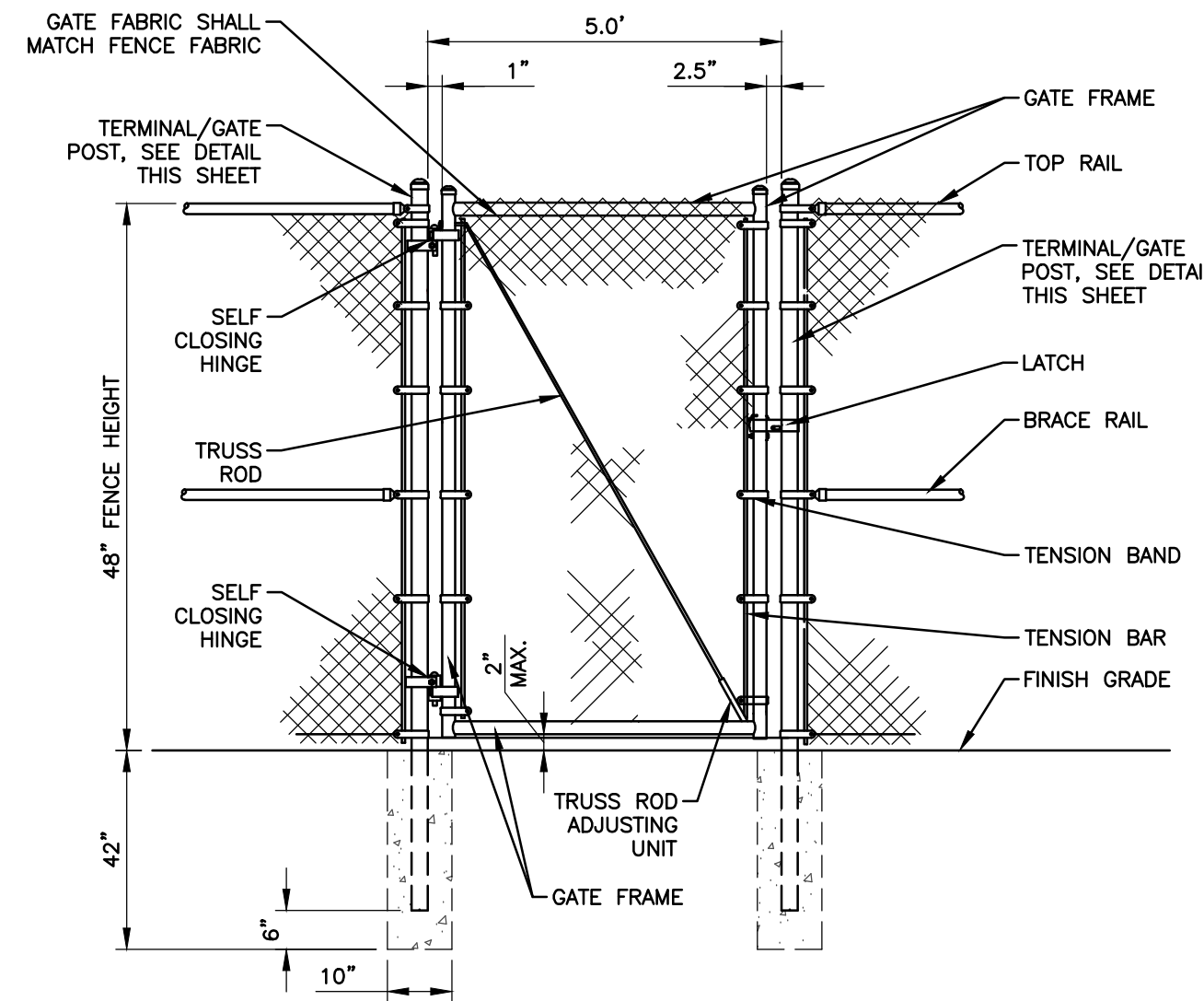
DECOMPOSED GRANITE SURFACING DETAIL
NOT TO SCALE



STANDARD HMA PAVEMENT DETAIL
NOT TO SCALE

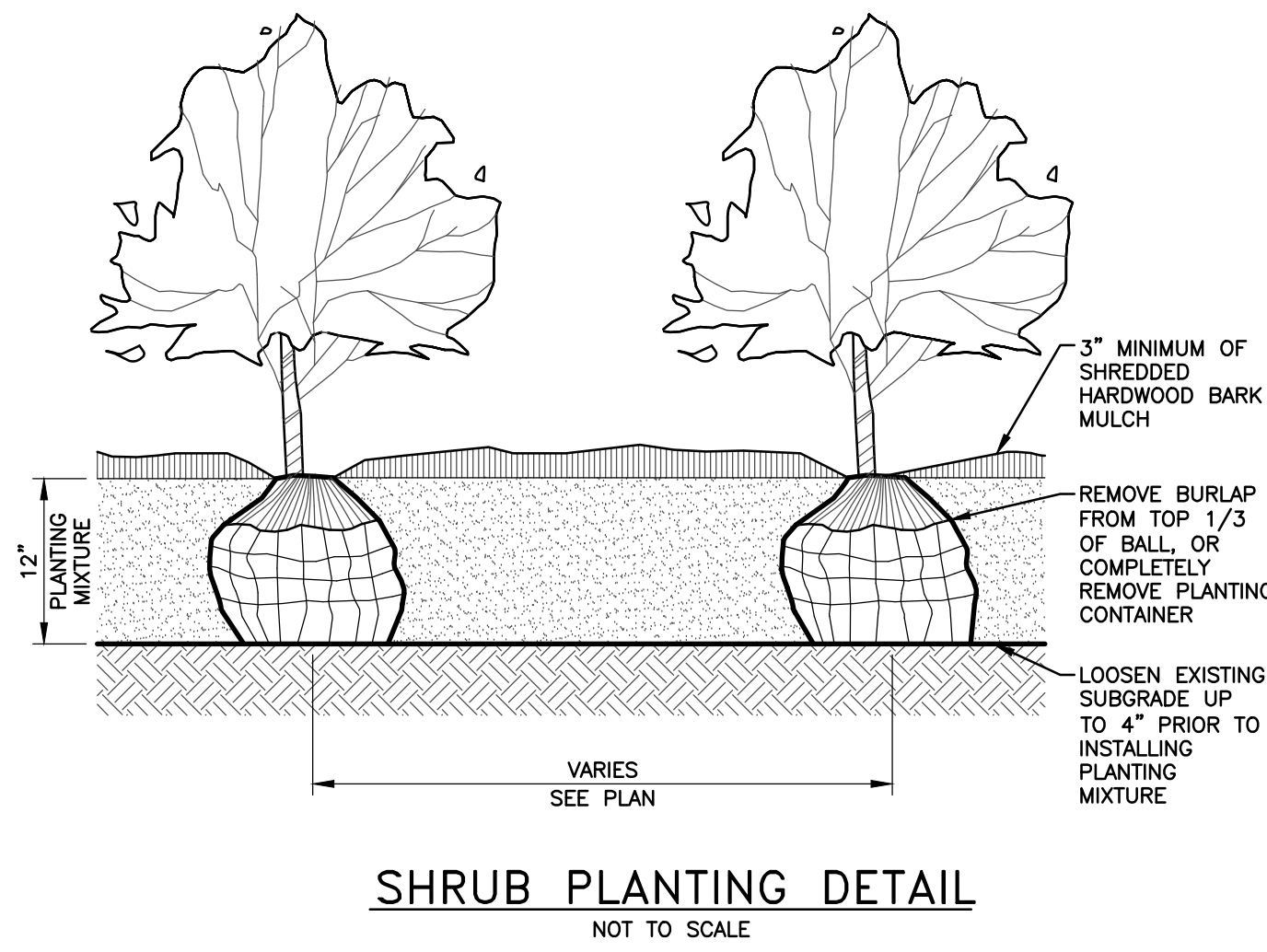


CHAIN LINK FENCE DETAIL
NOT TO SCALE



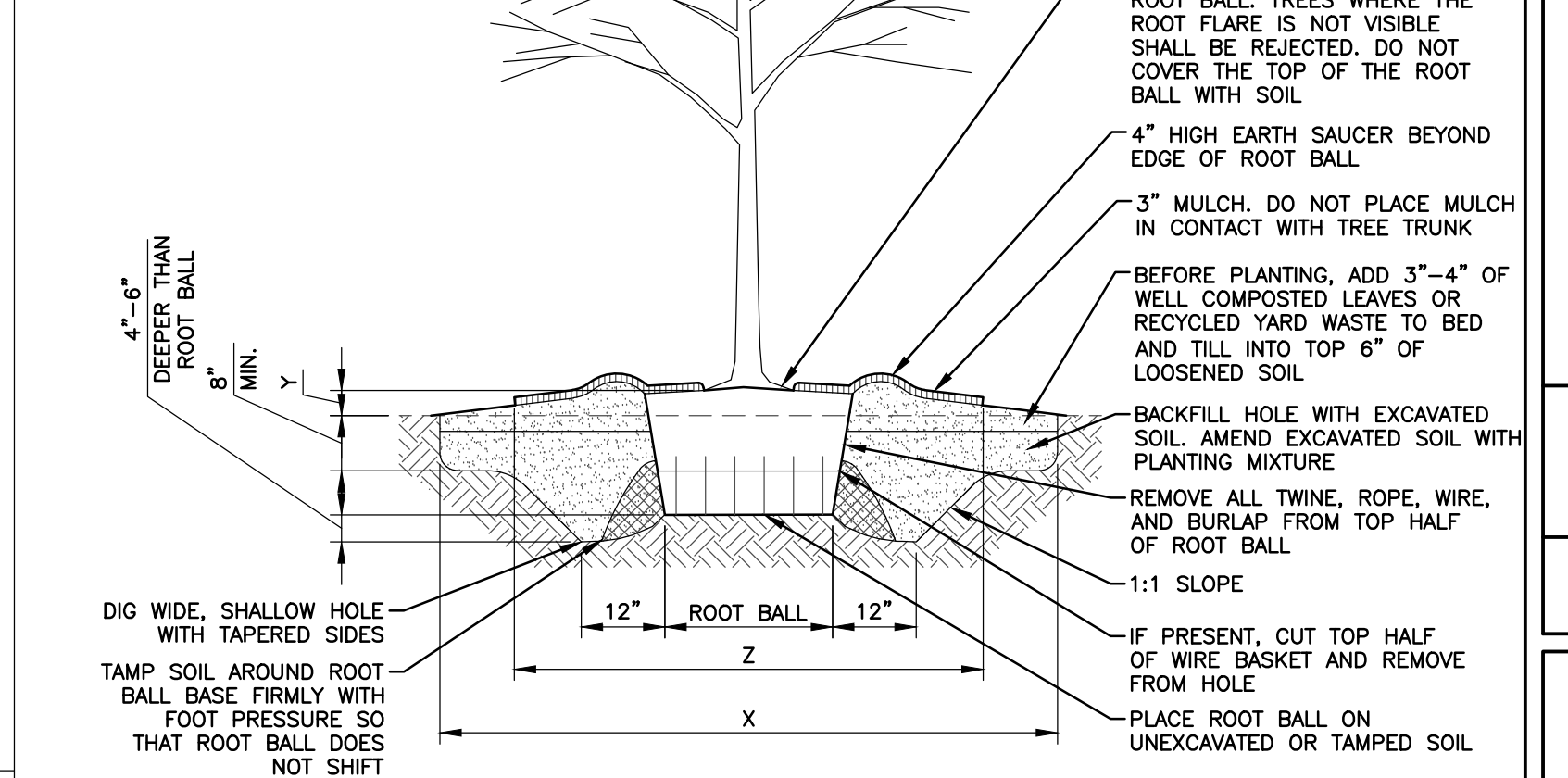
- NOTE:
- FOR SELF-CLOSING HINGE USE TruClose HEAVY-DUTY ROUND, MODEL#TCHDRND2-MK2, BLACK COLOR.
 - LATCH SHALL BE OF A TYPE THAT WORKS WITH SELF-CLOSING GATE.
 - FOR GATE FRAME AND FABRIC SEE NOTES THIS SHEET OR SPECIFICATIONS.

SINGLE SWING GATE
NOT TO SCALE



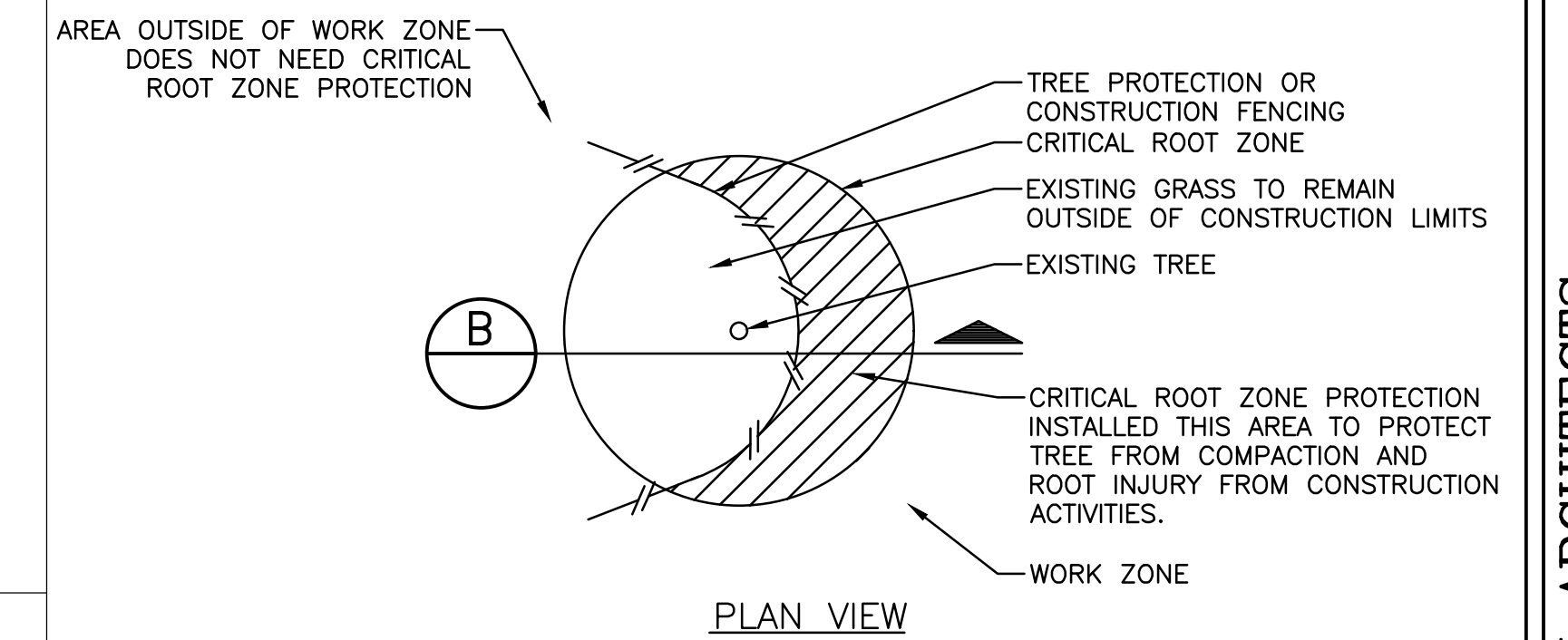
SHRUB PLANTING DETAIL
NOT TO SCALE

- LEGEND**
- X = MINIMUM WIDTH OF PREPARED SOIL FOR TREES
 - Y = HEIGHT OF TOP OF ROOT BALL ABOVE SURROUNDING GRADE
 - Z = DIAMETER RING OF MULCH
 - X = 10'
 - Y = 3" MINIMUM; 6" MAXIMUM
 - Z = 6' OR AS SHOWN ON PLANS

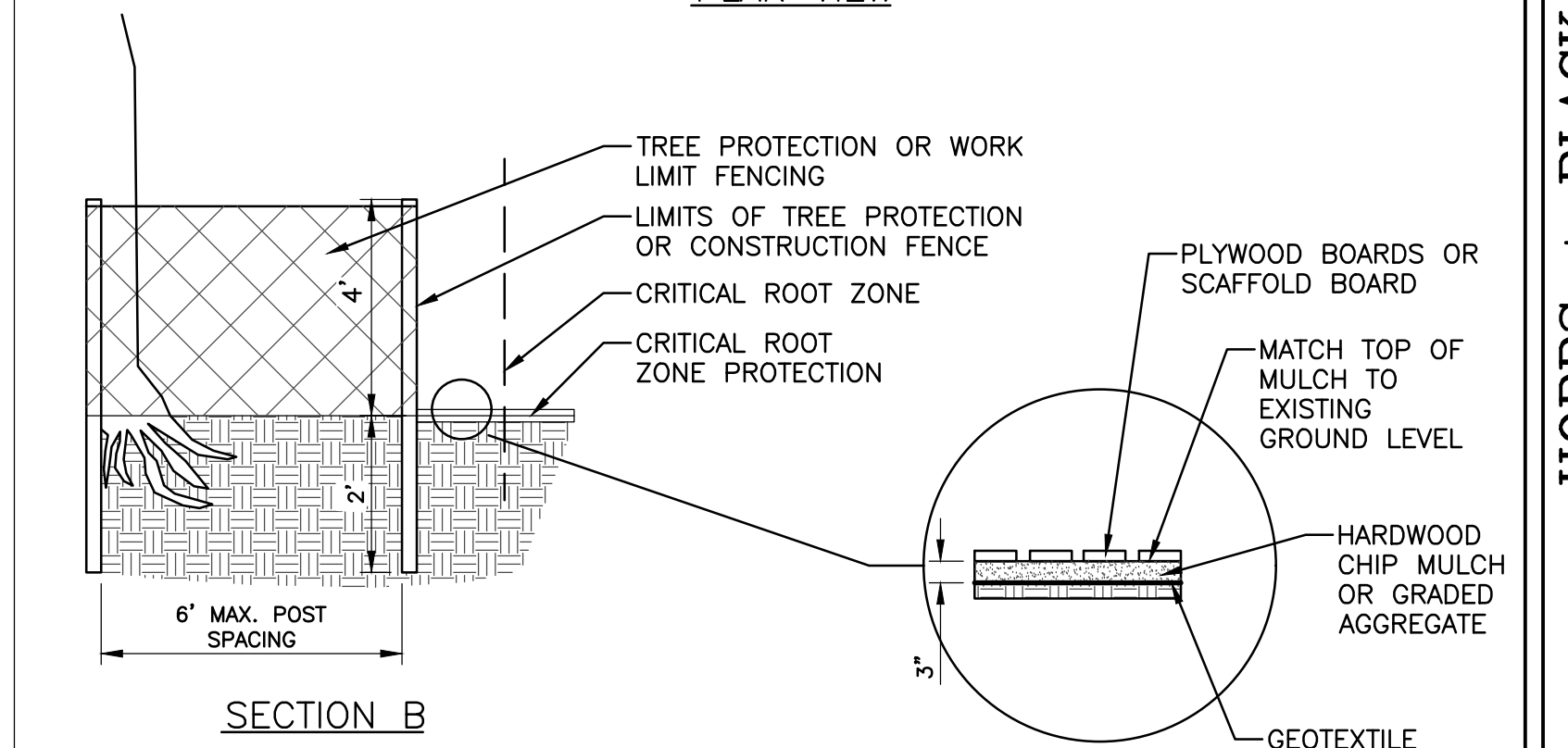


- NOTES:**
- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OR THE CONTAINER.
 - AFTER DIGGING HOLE, FILL WITH WATER TO CONFIRM THAT WATER DRAINS OUT OF THE SOIL. IF HOLE DOES NOT PERC, DO NOT PLANT TREE. NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION.
 - THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL IMMEDIATELY AFTER PLANTING.
 - THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
 - PURCHASE TREE WITH ONE CENTRAL LEADER. DO NOT PRUNE TREE AT PLANTING EXCEPT AS DIRECTED BY LANDSCAPE ARCHITECT.
 - SET TREE PLUMB WITH VERTICAL TRUNK.
 - WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

TREE PLANTING DETAIL
NOT TO SCALE



PLAN VIEW



SECTION B

- NOTE:
- DETAIL APPLIES ONLY FOR TREES IN AREAS WHERE CRITICAL ROOT ZONE IS WITHIN WORK LIMITS.
 - CRITICAL ROOT ZONE IS 1.5 X TREE DIAMETER FROM EDGE OF TREE.

CRITICAL ROOT ZONE PROTECTION WITHIN WORK ZONE DETAIL
NOT TO SCALE

PROJECT MANAGER: CA_PAW_MORRIS/TRIM_KROVSTON.DT108044.CS:0-PLTS-CSP-SITE & LANDSCAPE DETAILS.DWG - C-5.0 - PLOTTED 6/24/2021 12:48 PM BY: ROYSTON, KEVIN

DATE	6/24/21	DATE	6/24/21
REV#		REV#	
DESCRIPTION		DESCRIPTION	
SUBMITAL		SUBMITAL	
BY		BY	
RPL		RPL	

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ANN ARBOR, MI 48104
FOR HAWTHORNE REDEVELOPMENT SITE & LANDSCAPE DETAILS

ISSUED FOR:	DATE:	BY:
PSP	04/22/21	KPR
PSP	6/24/21	RPL
JOB NO.	HOB2012.01F	
SHEET	C-5.0	

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The Alcove

HAWTHORN SUITES OF TROY RESIDENTIAL CONVERSION

2600 LIVERNOIS RD TROY, MI

SITE PLAN SUBMITTAL 6/24/2021







Google Earth

©2021 Google

EXISTING PHOTO



VIEW 1



VIEW 1 - NIGHT



VIEW 2

8. PRELIMINARY SITE PLAN REVIEW (File Number SP 2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple Family Residential) Zoning District

Mr. Savidant reviewed the Alcove Site Improvements application. He said the applicant wants to convert an extended-stay hotel to a multi-family apartment building. Mr. Savidant identified neighboring land uses and zoning. He addressed landscaping, architectural improvements, parking and elevations. Mr. Savidant said site plan approval would provide an opportunity for the Commission to ask the applicant for higher quality building materials, additional architectural improvements and additional landscaping should it desire.

Mr. Savidant referenced a memorandum provided by the Police Department enumerating the police calls to the Hawthorn Suites. He said it is anticipated that the conversion to multi-family residential would reduce the need for police service to the property and would be a significant benefit for the City.

Mr. Savidant summarized the two variances for which the applicant is required to seek from the Zoning Board of Appeals (ZBA). He indicated if the variances are granted, it is recommended that the applicant revise their plans and resubmit prior to coming back to the Planning Commission for site plan review and address items identified in the Planning Consultant report dated May 14, 2021.

Present from Tricap Residential Group were CEO and Founder Bryan Pritchard and Development Manager Robert Sanchez. Also present was Luke Bonner, Consultant, from Bonner Advisory Group.

Mr. Pritchard said Tricap Residential Group makes significant investments in underutilized apartment complexes to launch multi-family residential developments and indicated they typically are long-term holders and operators of the multi-family communities. He gave a brief history of the firm and his personal relationship with the City of Troy.

Mr. Bonner said they considered density and size of units resulting in two scenarios: combining units or demolishing the entire site. He said the size of units would still be under the requirements for multi-family if the entire site was demolished. He addressed the existing building layout and indicated the current units are not congruent with one another to create a workable floor plan and design for larger units, noting a potential to run into structural issues. Mr. Bonner addressed building materials.

Mr. Sanchez addressed the price point for the multi-family residential and enhanced outdoor amenities that would create a community within the complex.

(Mr. Carlisle arrived 8:08 p.m.)

There was discussion on:

- Review of application; discussion only, no recommendation to ZBA.

- Existing building, landscaping, wall; in compliance.
- Number of extended-stay hotels located in City.
- Police incidences; potential to lower police service calls.
- Price range of apartment units; \$900 - \$1,100.
- Building materials; consideration of higher quality, durable materials.
- Physical layout of building as relates to conversion.
- Target tenants; professional singles and couples.
- Additional landscaping; visual amenity to neighboring residents.

Mr. Pritchard said there was positive feedback when they shared the proposed improvements to neighboring residents. He extended a thank-you to the Board and assured their comments would be taken into consideration.

On July 20, 2021 at 7:30 p.m., Chair Bossenbroek called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bossenbroek
David Eisenbacher
Aaron Green
James McCauley
Sadek Rahman
Barb Chambers
Mahendra Kenkre
Thomas Desmond

Also Present:

Paul Evans, Zoning and Compliance Specialist
Lori Grigg-Bluhm, City Attorney
Jackie Ferencz, Planning Administrative Assistant

2. PROCEDURE- read by Mr. Eisenbacher

3. APPROVAL OF MINUTES – June 15, 2021

Moved by Eisenbacher
Second by Green

RESOLVED, to approve the June 15, 2021 meeting minutes.

Yes: All

MOTION PASSED

4. APPROVAL OF AGENDA – No changes

5. HEARING OF CASES:

A. VARIANCE REQUEST, 2600 LIVERNOIS, BRYAN PRITCHARD, TRICAP RESIDENTIAL GROUP- A variance to convert the use from extended stay to apartment units, the following variances are requested: 1) to allow 23.35 dwelling units per acre where the Zoning Ordinance permits 10 dwelling units per acre, and 2) to allow dwelling units to be 475 to 600 square feet in area where the Zoning Ordinance requires 600 square feet of minimum area.

Moved by Eisenbacher
Second by Desmond

RESOLVED, to approve the request.

Yes: Green, Chambers, Kenkre, Desmond, Eisenbacher, McCauley
No: Bossenbroek

MOTION PASSED

- B. VARIANCE REQUEST, 2887 E WATTLES, JESUS M. RIVERA JR. & JUANITA RIVERA:
A variance to enlarge the existing single-family home and construct a shed. The property is in the NN Zoning District. The use is nonconforming because single family residences are not permitted in the NN Zoning District. The Zoning Ordinance prohibits enlarging structures devoted to nonconforming uses. The home was originally constructed prior to the establishment of the NN Zoning District.

Moved by Eisenbacher
Second by Desmond

RESOLVED, to approve the request.

Yes: Kenkre, Desmond, Eisenbacher, McCauley, Rahman
No: Bossenbroek, Green

MOTION PASSED

6. COMMUNICATIONS –
7. MISCELLANEOUS BUSINESS – Mr. Eisenbacher requested the topic of a 600 square foot minimum area for a one bedroom apartment be looked at by the Planning Commission, based on market conditions and testimony provided this evening.
8. PUBLIC COMMENT – None
9. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 9:38pm

Respectfully submitted,

Michael Bossenbroek, Chairman

Paul Evans, Zoning and Compliance Specialist