



500 West Big Beaver
Troy, MI 48084
troymi.gov

248.524.3364
planning@troymi.gov

PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Tom Krent, Chairman, David Lambert, Vice Chairman
Carlton Faison, Michael W. Hutson, Lakshmi Malalahalli,
Marianna Perakis, Sadek Rahman, Jerry Rauch and John J. Tagle

August 10, 2021

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – July 27, 2021
4. PUBLIC COMMENT – For Items Not on the Agenda

PRELIMINARY SITE PLAN APPROVAL

5. PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) Zoning District

OTHER ITEMS

6. PUBLIC COMMENTS – For Items on the Agenda
7. PLANNING COMMISSION COMMENT
8. ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Krent called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on July 27, 2021, in the Council Chamber of the Troy City Hall. Chair Krent presented opening remarks relative to the role of the Planning Commission and procedure of tonight's meeting.

1. ROLL CALL

Present:

Carlton M. Faison
Michael W. Hutson
Tom Krent
David Lambert
Lakshmi Malalahalli
Sadek Rahman
Jerry Rauch
John J. Tagle

Absent:

Marianna Perakis

Also Present:

R. Brent Savidant, Community Development Director
Ben Carlisle, Carlisle Wortman Associates
Julie Quinlan Dufrane, Assistant City Attorney
Bob Laux, IT Help Desk
Kathy L. Czarnecki, Recording Secretary

2. EXTENSION OF PLANNING COMMISSION BYLAWS

Following a brief discussion, it was the consensus of the Board to eliminate receiving public comment via email, voicemail and the Zoom platform.

3. APPROVAL OF AGENDA

Resolution # PC-2021-07-052

Moved by: Lambert

Support by: Rahman

RESOLVED, To approve the Agenda as prepared.

Yes: All present (8)

Absent: Perakis

MOTION CARRIED

4. APPROVAL OF MINUTES

Resolution # PC-2021-07-053

Moved by: Faison

Support by: Tagle

RESOLVED, To approve the minutes of the July 13, 2021, Regular meeting as submitted.

Yes: All present (8)

Absent: Perakis

MOTION CARRIED

5. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

PRELIMINARY SITE PLAN APPROVAL

6. PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) Zoning District

Mr. Savidant said the Preliminary Site Plan application was presented for review at the May 25, 2021, Planning Commission meeting. The Board took no action to allow the applicant to seek two required variances from the Zoning Board of Appeals (ZBA). Mr. Savidant reported the ZBA granted the variances at their July 20, 2021 meeting.

Mr. Savidant acknowledged the applicant was contacted but is not present this evening, either in person or via the Zoom platform.

A brief discussion followed on to how to proceed with the application.

Resolution # PC-2021-07-054

Moved by: Hutson

Support by: Rahman

RESOLVED, To postpone The Alcove Site Improvements application to a future date so the applicant can appear before the Planning Commission.

Yes: All present (8)

Absent: Perakis

MOTION CARRIED

OTHER ITEMS7. **PUBLIC COMMENTS** – For Items on the Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments, some relating to:

- July 24, 2021, City Council and Planning Commission Joint Meeting, Planning and Zoning presentation by Rod Arroyo of Giffels Webster.
- Master Plan update; reassessment of scope and target areas for future discussion.
- Square footage of one bedroom apartment units; consideration of potential amendment to Zoning Ordinance.
- Bicycle lanes.

9. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 7:29 p.m.

Respectfully submitted,

Tom Krent, Chair

Kathy L. Czarnecki, Recording Secretary

C:\Users\bob\Documents\Kathy\COT Planning Commission Minutes\2021\Jun through Dec 2021\2021 07 27 Regular Meeting_Draft.doc

DATE: July 22, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) Zoning District

The petitioner TriCap Residential Group submitted the above referenced Preliminary Site Plan application for the site improvements to an existing development, including the conversion of a 151-unit extended stay Hawthorn Suites hotel into 151 apartment units.

The Planning Commission is responsible for granting Preliminary Site Plan approval for this item. The conversion from an extended stay hotel to apartments requires two variances:

1. As per Section 4.08.C, multiple family residential density is capped at 10 units per acre when adjacent to One Family Residential. The site is 6.4 acres, which would permit a maximum of 64 units. The applicant is proposing a 1:1 conversion of units, creating 151 apartments units. This equates to 23.35 units per acre.
2. As per Section 4.08.C, the minimum square footage of an efficiency or one-bedroom unit is 600 square feet. The existing units range in size from 475 to 600 square feet.

The Planning Commission reviewed the preliminary site plan at the May 25, 2021 Regular meeting but did not take any action. The Zoning Board of Appeals granted both variances at the July 20, 2021 Regular meeting.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps.
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Preliminary Site Plan.
4. Minutes from May 25, 2021 Planning Commission Regular meeting (final).
5. Minutes from July 20, 2021 Zoning Board of Appeals meeting (draft).

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (File Number SP2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) Zoning District

Resolution # PC-2021-07-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed The Alcove Site Improvements, located on the east side of Livernois, south of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple-Family Residential) District, be granted, subject to the following:

1. Clarify proposed screening along southern property line and modify, if necessary, based on Planning Commission input.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

MOTION CARRIED/FAILED



595 0 297 595Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



595 0 297 595Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 21, 2021

Preliminary Site Plan Review For City of Troy, Michigan

Project Name: Alcove

Plan Date: June 24, 2021

Location: 2600 Livernois

Zoning: MF, Multiple Family Residential

Action Requested: Preliminary Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant is proposing to convert the existing Hawthorne Suites, which is an extended stay hotel, to a multiple family apartment development. The applicant is proposing a one-to-one conversion of units, converting the existing 151 extended stay units into 151 apartments units.

As part of the conversion, proposed improvements include:

- Landscaping
- Architectural
- Twenty-five (25) additional parking spaces

The applicant does not propose any changes to the existing building footprint. The applicant proposes to add twenty (20) parallel parking spaces along the northern property line adjacent to the I-75 right of way. Five (5) additional spaces are proposed in the southwest portion of the property. With these twenty-five (25) additional spaces, the site will be served with 193 parking spaces, which is three (3) more than required.

Figure 1. - Location and Aerial Image of Subject Site



Size of Subject Property:

23.35 acres

Proposed Uses of Subject Parcel:

One-hundred and fifty-one (151) apartment units

Current Use of Subject Property:

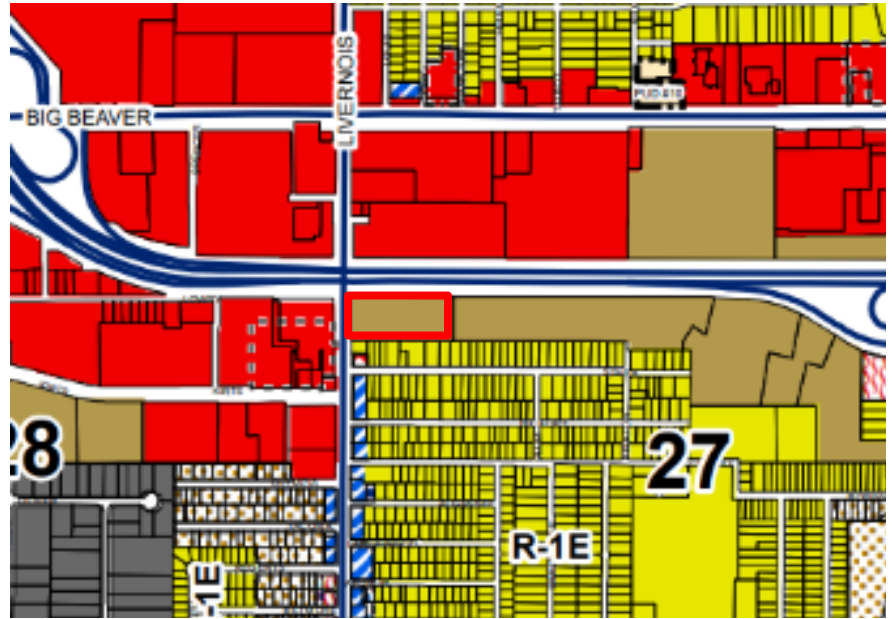
One-hundred and fifty-one (151) extended stay hotel units

Current Zoning:

The property is currently zoned MF, Multiple Family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	I-75	I-75
South	R-1E, One-family Residential District	Single-family homes
East	MF, Multiple Family Residential District	Single-family homes
West	BB, Big Beaver	Commercial



Items to be addressed: None

PREVIOUS PLANNING COMMISSION REVIEW

The Planning Commission discussed this item at their meeting in May 2021. See our May 2021 memo for a detailed review. At the May 2021 meeting, the item was postponed allowing the applicant to address the following items:

1. Obtain the required variances from the Zoning Board of Appeals.

The applicant obtained the required variances from the Zoning Board of Appeals. See section below for more details.

2. Provide overall site landscaping calculation.

Overall site landscaping calculation was not provided.

3. Resubmit a landscape plan with sufficient plant density to adequately screen the entire southern property line.

It is unclear from the landscape plan what screening is being proposed. The plans note the 4-foot tall fence but as we previously noted there are pockets along the southern property line that are not adequately screened. The landscape plan shows screening alternative 1 and 2 which vary based on planted tree size. The full amount of additional trees are not shown on the landscape plan. The applicant should clarify proposed screening.



4. Resubmit landscape plan with a stamp from a registered architect.

The revised landscape plan is stamped by a registered architect.

5. Provide a higher quality material than vinyl and provide additional architectural improvements to the buildings.

The applicant has replaced the first floor vinyl with fiber cement board and batten siding. In addition, the applicant is renovating the exterior of the clubhouse with fiber cement board and batten siding and stone.

Items to be Addressed: 1). Submit site landscaping calculation; and 2). Clarify proposed screening along southern property line.

ZONING BOARD OF APPEALS

Though zoned MF, Multiple Family Residential, the conversion from an extended stay hotel to multiple family required two variances:

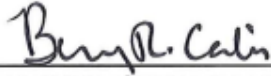
1. As set forth in Section 4.08.C, multiple family residential is capped at 10 units per acre when adjacent to residential. The site is 6.4 acres, which would permit a maximum of 64 units. The applicant is proposing a one-to-one conversion of units, converting the existing 151 extended stay units into 151 apartments units. This equates to 23.35 units per acre.
2. As set forth in Section 4.08.C, the minimum square footage of an efficiency or one-bedroom unit is 600 square feet. The existing units range in size from 475 to 600 square feet.

The Zoning Board of Appeals granted both variances without any additional considerations.

RECOMMENDATIONS

We recommend preliminary site plan approval with the following conditions:

1. *Submit site landscaping calculation.*
2. *Clarify proposed screening along southern property line and modify, if necessary, based on Planning Commission input.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



June 25, 2021

R. Brent Savidant, AICP
Community Development Director
City of Troy

Re: Updated Site Plan Submittal 2600 Livernois

Dear Mr. Savidant:

On behalf of our client TriCap Residential Group we are pleased to submit this preliminary site plan for the Alcove – currently known as Hawthorn Suites located at 2600 Livernois. We are extremely excited about the opportunity to convert this property into a multifamily property the community can be proud of. Based on the preliminary planning report on May 25th we have added the additional items requested.

We look forward to working with you on this project. Please contact me with any comments or questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Luke Bonner". The signature is fluid and cursive.

Luke Bonner
CEO
Bonner Advisory Group

CEO **Luke Bonner** Mobile **734.846.9746** Email **Luke.Bonner@BonnerAG.com**
1054 South Main Street Ann Arbor, MI 48104

CITY OF TROY PRELIMINARY SITE PLAN APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
248- 524-3364
FAX: 248-524-3382
E-MAIL: [planning @ troymi.gov](mailto:planning@troymi.gov)



PRELIMINARY SITE PLAN REVIEW FEE
\$1,000.00
ESCROW FEE
\$1,500.00
ADMINISTRATIVE SITE PLAN REVIEW FEE
\$300.00

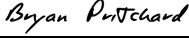
REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE PRELIMINARY SITE PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

1. NAME OF THE PROPOSED DEVELOPMENT: The Alcove
2. ADDRESS OF THE SUBJECT PROPERTY: 2600 Livernois Road
3. ZONING CLASSIFICATION OF THE SUBJECT PROPERTY: Multi-Family - MF
4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-27-151-002
5. DESCRIPTION OF PROPOSED USE: Purpose of the project is to acquire the Hawthorn Suites and convert the property from extended stay hotel to a longer term rental property catering to middle income workforce in the region.

6. APPLICANT: NAME <u>Bryan Pritchard</u> COMPANY <u>TriCap Residential Group</u> ADDRESS <u>171 N. Aberdeen Suite 400</u> CITY <u>Chicago</u> STATE <u>IL</u> ZIP <u>60607</u> TELEPHONE <u>(312) 988-9825</u> E-MAIL <u>bpritchard@tricapres.com</u>	PROPERTY OWNER: NAME <u>Nail Abro</u> COMPANY <u>Troy Hotel Suites, Incorporated</u> ADDRESS <u>2600 Auburn Road, Suite 220</u> CITY <u>Auburn Hills</u> STATE <u>MI</u> ZIP <u>48326</u> TELEPHONE _____ E-MAIL <u>altas0610@aol.com</u>
--	---

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:
The applicant currently has a contract to purchase the property from the owner.

8. SIGNATURE OF APPLICANT  DATE 4/21/2021
DocuSigned by: 62CF893B0DAD4A3...

9. SIGNATURE OF PROPERTY OWNER  DATE 04-21-2021

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PRELIMINARY SITE PLAN.

PRELIMINARY SITE PLAN SUBMITTAL CHECKLIST

THE FOLLOWING INFORMATION AND MATERIALS ARE NECESSARY FOR SUBMISSION:

- ☐ REQUIRED FEE
- ☐ ONE (1) CD CONTAINING AN ELECTRONIC VERSION OF THE ENTIRE PRELIMINARY SITE PLAN APPLICATION (PDF Format)

ONE (1) HARD COPY OF THE FOLLOWING:

- ☐ COMPLETED CITY OF TROY PRELIMINARY SITE PLAN APPLICATION FORM
- ☐ CERTIFIED BOUNDARY SURVEY
- ☐ CERTIFIED TOPOGRAPHIC SURVEY

TWO (2) HARD COPIES OF THE FOLLOWING:

- ☐ PRELIMINARY SITE PLAN SHOWING PROPOSED SITE LAYOUT AND USES
- ☐ PRELIMINARY TREE PRESERVATION PLAN / TREE INVENTORY
- ☐ PRELIMINARY LANDSCAPE PLAN
- ☐ PRELIMINARY FLOOR PLANS
- ☐ PRELIMINARY ELEVATIONS
- ☐ PRELIMINARY GRADING PLAN
- ☐ PRELIMINARY LIGHTING PLAN
- ☐ WETLANDS DETERMINATION, IF REQUIRED

***ALL HARD COPY DRAWINGS SHALL BE FOLDED, STAPLED, SEALED AND SIGNED
BY A STATE OF MICHIGAN PROFESSIONAL ENGINEER, REGISTERED ARCHITECT,
REGISTERED LANDSCAPE ARCHITECT, OR PROFESSIONAL COMMUNITY PLANNER***

PLANNING COMMISSION AGENDAS ARE ELECTRONIC

SITE PLAN SUBMITTAL 6/24/2021

REFER TO SHEET C1.0 FOR PARKING TABULATIONS

WHITE PLAN REVIEW	06/24/2021
WHITE PLAN REVIEW	04/03/2021

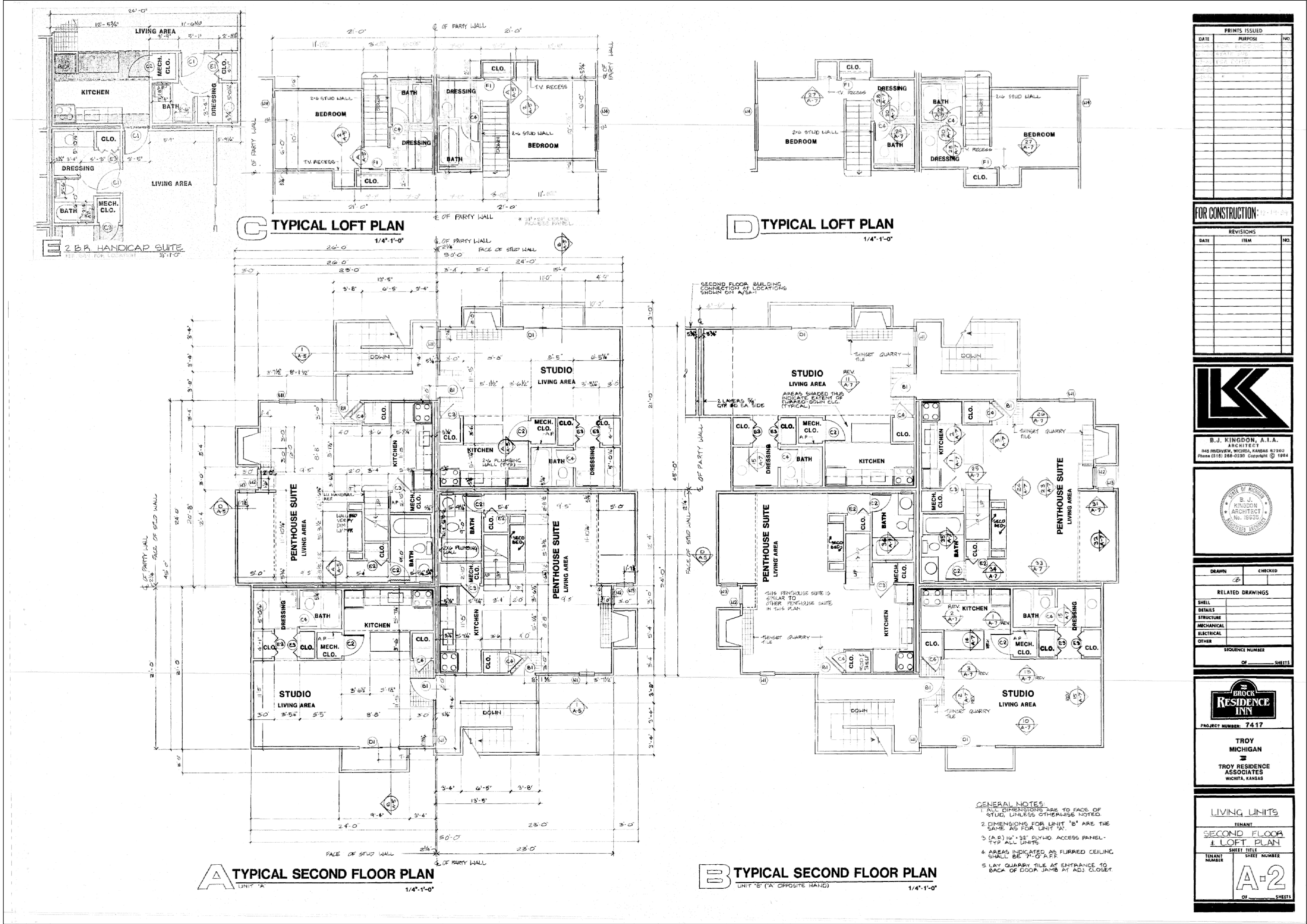
C-0.0	BOUNDARY & TOPO SURVEY
C-1.0	PRELIMINARY SITE PLAN
C-2.0	TREE PRESERVATION PLAN
C-3.0	PRELIMINARY LANDSCAPE PLAN
C-4.0	SITE & LANDSCAPE DETAILS
C-5.0	SITE & LANDSCAPE DETAILS

NOT FOR CONSTRUCTION

Drawing: F:\2021\21802\Drawings\Site Plan Submittal -20210624\Sheet A-000.dwg
Date: Jun 24, 2021, 11:56pm Layout: 24x36-Layout Plotted by: wchubb

Drawing: P:\2021\1218020\Drawings\CD\Site Plan Submittal - 2021\0624\Sheet A-105.dwg
Date: Jun 24, 2021 11:10:03pm Layout: 24x36 Layout Printed by: wchelle

ORIGINAL FLOOR PLANS FOR EXISTING BUILDING
INCLUDED IN PACKAGE FOR REFERENCE ONLY



NO PROPOSED EXTERIOR MODIFICATIONS TO THE
BUILDING FOOTPRINT

TYPICAL BUILDING
SECOND FLOOR PLAN
SCALE - N.T.S.

NOT FOR CONSTRUCTION

EXISTING
SECOND FLOOR
PLANS

SHEET TITLE

21-802

PROJECT NUMBER

A-105

SHEET NUMBER

The Alcove
Troy, MI

PROJECT

CONSULTANT

HOBBS + BLACK
ARCHITECTS
100 N. State St.
Ann Arbor, MI 48104
P. 734.663.4189
www.hobbs-black.com

DATE ISSUED

DRAWN BY

CHECKED BY

SITE PLAN REVIEW

04/22/2021

SITE PLAN REVIEW

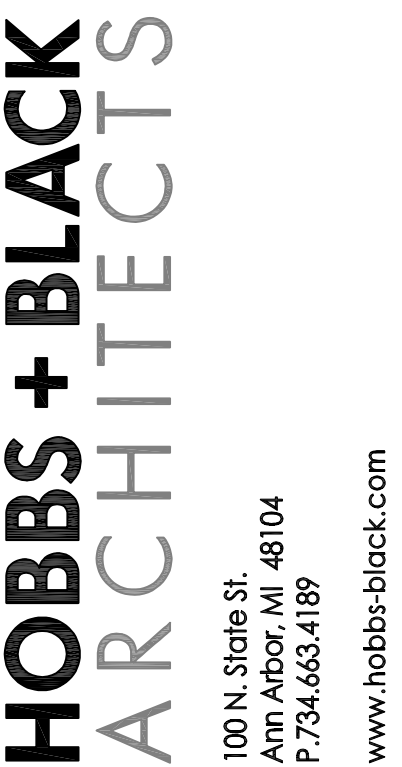
06/24/2021

Sheet Size - 24x36

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DATE PLAN REVIEW	06/24/2010
DATE PLAN REVIEW	04/22/2010
DATE ISSUED	
DRAWN BY	
CHECKED BY	



PROJECT

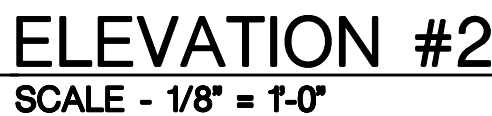
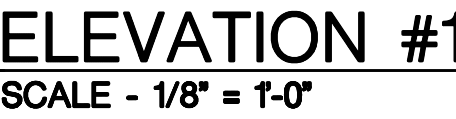
CONSULTANT

SHEET TITLE

PROJECT NUMBER

SHEET NUMBER

NOT FOR CONSTRUCTION



- PROPOSED FINISHES ARE REPRESENTATIVE OF FINISHES PROPOSED FOR ALL BUILDINGS WITHIN THE EXISTING DEVELOPMENT.
- ALTERATIONS ARE COSMETIC AND NO EXTERIOR STRUCTURAL MODIFICATIONS ARE PROPOSED

NOT FOR CONSTRUCTION

Drawing: P:\2021\121802020\dwg\SD\Site Plan Submittal -2021\0624\Sheet A-205.dwg
Date: Jun 24, 2021 11:10:00pm Layout: 24x36 Layout Ported by: wchulep



SIDE ELEVATION #1
SCALE - 1/8" = 1'-0"



SIDE ELEVATION #2
SCALE - 1/8" = 1'-0"

- NOTES:
- PROPOSED FINISHES ARE REPRESENTATIVE OF FINISHES PROPOSED FOR ALL BUILDINGS WITHIN THE EXISTING DEVELOPMENT.
 - ALTERATIONS ARE COSMETIC AND NO EXTERIOR STRUCTURAL MODIFICATIONS ARE PROPOSED

NOT FOR CONSTRUCTION

HOBBS + BLACK
ARCHITECTS

100 N. State St.
Ann Arbor, MI 48104
P: 734.663.4189
www.hobbs-black.com

The Alcove
Troy, MI

EXTERIOR
ELEVATIONS

21-802

A-205

Drawing: P:\2021\21-802\Drawings\Site Plan Submittal - 2021\0624\exlevation sheet.dwg
Date: Jun 25, 2021 1:03:44pm Layout: Layout1 Plotted by: wchubb

- NOTES:
- PROPOSED FINISHES ARE REPRESENTATIVE OF FINISHES PROPOSED FOR ALL BUILDINGS WITHIN THE EXISTING DEVELOPMENT
 - ALTERATIONS ARE COSMETIC AND NO EXTERIOR STRUCTURAL MODIFICATIONS ARE PROPOSED

F1 NORTH ELEVATION
A-210 SCALE - 1/8" = 1'-0"
ELEVATION SHEET

B1 SOUTH ELEVATION
A-210 SCALE - 1/8" = 1'-0"
ELEVATION SHEET

F4 EAST ELEVATION
A-210 SCALE - 1/8" = 1'-0"
ELEVATION SHEET

B4 WEST ELEVATION
A-210 SCALE - 1/8" = 1'-0"
ELEVATION SHEET

NOT FOR CONSTRUCTION

CLUBHOUSE
EXTERIOR
ELEVATIONS

SHEET TITLE

21-802

PROJECT NUMBER

A-210

SHEET NUMBER

The Alcove
Troy, MI

PROJECT

CONSULTANT

HOBBS + BLACK
ARCHITECTS

100 N. State St.
Ann Arbor, MI 48104
P: 734.663.4189
www.hobbs-black.com

SITE PLAN REVIEW 06/24/2021

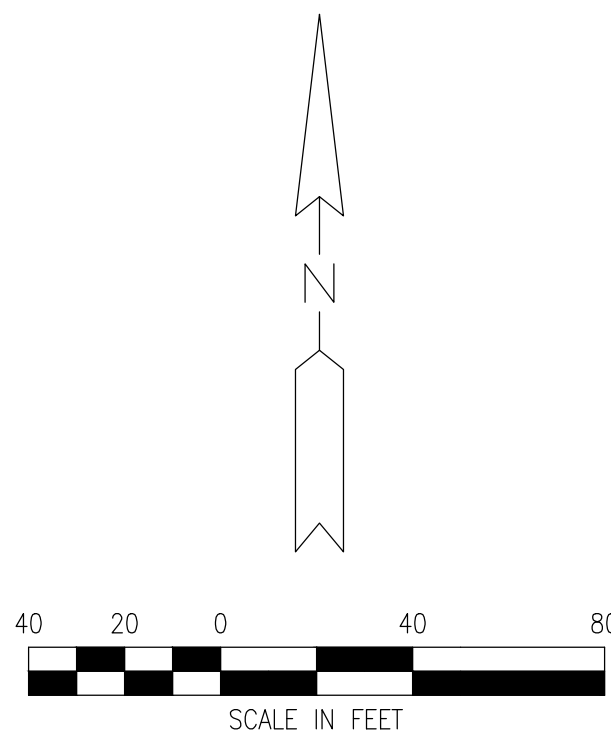
SITE PLAN REVIEW 04/22/2021

DATE ISSUED

DRAWN BY

CHECKED BY

Sheet Size - 24x36
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LEGAL DESCRIPTION:

A PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 27;
THENCE SOUTH 00°12'27" WEST, 1383.00 FEET ALONG THE WESTERLY LINE OF SAID SECTION;
THENCE SOUTH 89°39'11" EAST, 60.00 FEET TO THE POINT OF BEGINNING AT THE INTERSECTION
OF THE EASTERLY RIGHT OF WAY LINE OF LIVERNOIS ROAD AND THE SOUTHERLY RIGHT OF WAY
LINE OF INTERSTATE-75 (CHRYSLER FREEWAY); THENCE SOUTH 89°39'11" EAST, 800.43 FEET
ALONG SAID SOUTHERLY RIGHT OF WAY LINE OF INTERSTATE 1-75; THENCE
SOUTH 00°12'27" WEST, 353.50 FEET; THENCE NORTH 89°45'21" WEST, 800.43 FEET ALONG THE
NORTHERN BOUNDS OF CAVERLY HEIGHTS, AS RECORDED IN LIBER 27, PAGE 12 OF PLATS;
THENCE NORTH 00°12'27" EAST, 354.94 FEET ALONG SAID EASTERLY RIGHT OF WAY LINE OF
LIVERNOIS ROAD TO THE POINT OF BEGINNING.

SURVEY NOTES:

HORIZONTAL DATUM: NAD83 MI STATE PLANE COORDINATES, SOUTH ZONE 2113,
INTERNATIONAL FEET
VERTICAL DATUM: NAVD88

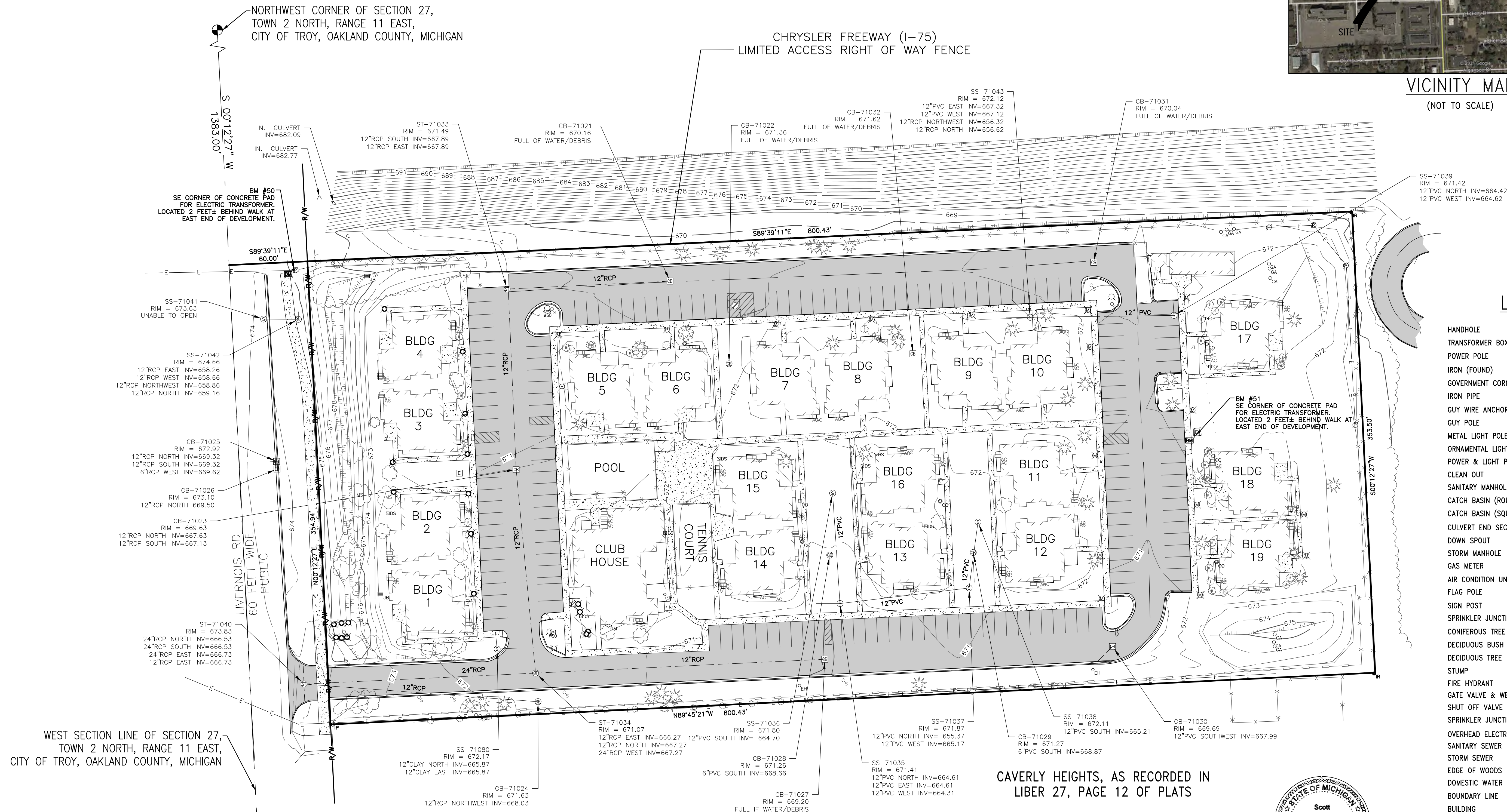
BENCHMARKS:
BENCHMARK #50.....677.06(NAVD88)

BENCHMARK #51.....672.86(NAVD88)

BASIS OF BEARINGS (BOUNDARY):
BEARINGS BASED ON LEGAL DESCRIPTION PROVIDED IN TITLE COMMITMENT BY
CHICAGO TITLE INSURANCE COMPANY, POLICY NO. 630594105NTS, DATED: JULY
20, 2013.



VICINITY MAP
(NOT TO SCALE)



LEGEND

- HANDHOLE
TRANSFORMER BOX
POWER POLE
IRON (FOUND)
GOVERNMENT CORNER
IRON PIPE
GUY WIRE ANCHOR
GUY POLE
METAL LIGHT POLE
ORNAMENTAL LIGHT
POWER & LIGHT POLE
CLEAN OUT
SANITARY MANHOLE
CATCH BASIN (ROUND GRATE)
CATCH BASIN (SQUARE GRATE)
CULVERT END SECTION
DOWN SPOUT
STORM MANHOLE
GAS METER
AIR CONDITION UNIT UNIT
FLAG POLE
SIGN POST
SPRINKLER JUNCTION BOX
CONIFEROUS TREE
DECIDUOUS BUSH
DECIDUOUS TREE
STUMP
FIRE HYDRANT
GATE VALVE & WELL (DETROIT)
SHUT OFF VALVE
SPRINKLER JUNCTION BOX
OVERHEAD ELECTRIC
SANITARY SEWER
STORM SEWER
EDGE OF WOODS
DOMESTIC WATER
BOUNDARY LINE
BUILDING
CHAIN LINK FENCE
RIGHT OF WAY
SECTION LINE
TOP OF BANK
WALL

CONCRETE

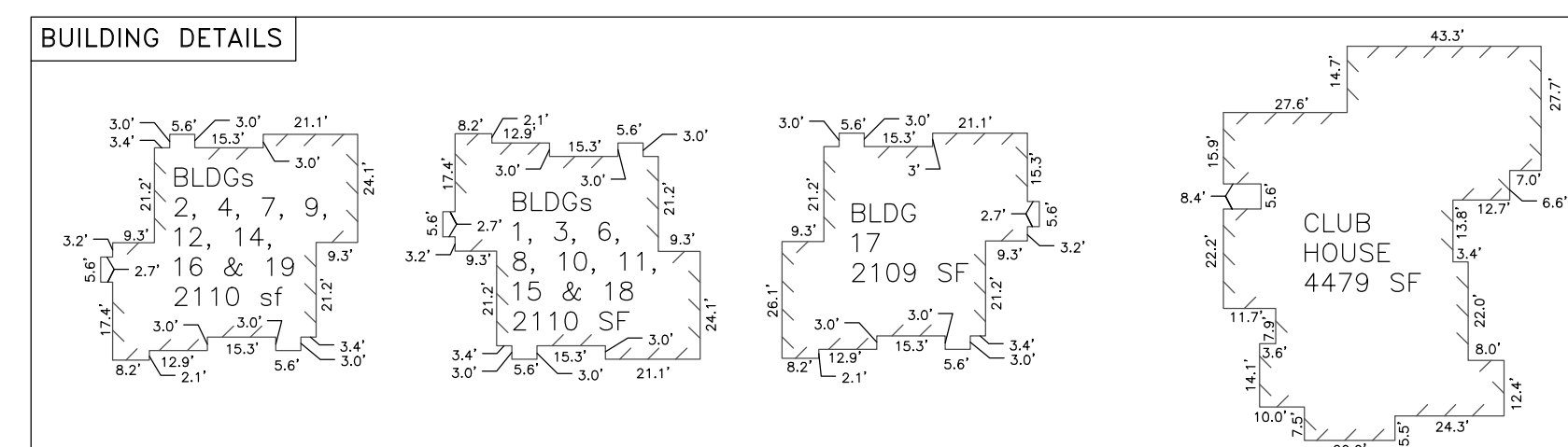
PAVEMENT



DATE: 6/24/2021



Know what's **below**.
Call before you dig.



HOBBS + BLACK ARCHITECTS
100 NORTH STATE STREET
ANN ARBOR, MI 48104
BOUNDARY & TOPOGRAPHIC SURVEY
FOR
HAWTHORNE REDEVELOPMENT

ISSUED FOR: DATE: BY:
PSP 04/22/21 KPR
PSP 6/24/21 RPL

OB NO.
HOB2012.01F

C-0.0

© Wade Trim Group, Inc. **HOB2012.01F HAWTHORNE REDEVELOPMENT, TROY, MI**

555 S. Saginaw Street, Suite 201
Flint, MI 48502
810.235.2555
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1-75 LIMITED ACCESS R.O.W.

478.80'

S 89°39'11" E 800.43'

23' TYP

18" STANDARD CONCRETE CURB & GUTTER (TYP.) PER DETAIL SHEET C-5.0

STANDARD HMA PAVEMENT (TYP.) PER DETAIL SHEET C-5.0

4" CONCRETE SIDEWALK, PER DETAIL SHEET C-5.0. GRILLING AREA AND TRELLIS, PER EXHIBIT THIS SHEET, CONTRACTOR TO SUBMIT SHOP DRAWING FOR OWNER APPROVAL.

25'

12'

12'

12'

18'

37'

DECOMPOSED GRANITE SURFACE PER DETAIL SHEET C-5.0. SWINGING BENCHES PER EXHIBIT ON THIS SHEET, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER APPROVAL.

STANDARD HMA PAVEMENT (TYP.) PER DETAIL SHEET C-5.0

CONCRETE WALK WITH THICKENED EDGE (TYP.) PER DETAIL SHEET C-5.0

18" STANDARD CONCRETE CURB & GUTTER (TYP.) PER DETAIL SHEET C-5.0

PROPOSED DOG PARK - REMOVE EXISTING TENNIS COURT, SEE SHEET C-3.0 FOR PERMANENT RESTORATION NOTES. CHAIN LINK FENCE PER DETAIL SHEET C-5.0

SINGLE SWING GATE PER DETAIL SHEET C-5.0

MASONRY BENCH, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER APPROVAL

LIVERNOS ROAD 60' WIDE R.O.W.

S 89°39'11" E 60.00'

N 00°12'27" E 354.94'

N 89°45'21" W 800.43'

S 00°12'27" W 353.50'

50.83'

76.29'

5

19'

5.5'

STATE OF ILLINOIS

KEVIN N. ROYSTON

ENGINEER

No. 56523

PROFESSIONAL SEAL

<u>LOT COVERAGE</u>	
LOT AREA	6.5 AC
EXISTING COVERAGE	3.52 AC (54.2%)
PROPOSED COVERAGE	3.61 AC (55.5%)



TRELLIS EXHIBIT

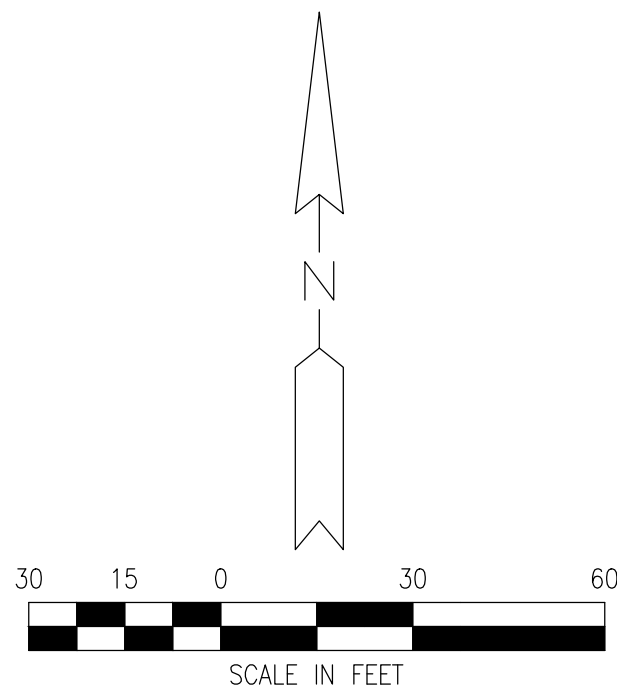


GRILLING AREA EXHIBIT



BENCH SWING EXHIBIT

PARKING REQUIREMENTS	
TYPE	NO. OF SPACES
REQUIRED	
PER TABLE 13.06-A SCHEDULE OF OFF-STREET PARKING SPACES, MULTIPLE-FAMILY RESIDENTIAL, 1 SPACE PER EFFICIENCY DWELLING UNIT, 2 SPACES PER EACH DWELLING UNIT.	
PARKING REQUIRED	
REGULAR SPACES	184
BARRIER FREE SPACES	6
TOTAL PARKING REQUIRED	190
PARKING PROVIDED	
REGULAR SPACES	182
BARRIER FREE SPACES	11
TOTAL PARKING SPACES	193



HOBBS + BLACK ARCHITECTS
100 NORTH STATE STREET
ANN ARBOR, MI 48104

PRELIMINARY SITE PLAN
FOR
HAWTHORNE REDEVELOPMENT

ISSUED FOR:	DATE:	BY:
PSP	04/22/21	KPR
PSP	6/24/21	RPL

JOB NO.
HOB2012.01F

C-1.0



**WAIDE
TRIM**

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 Flint, MI 48502
 310.235.2555
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PROJECT MANAGER: - C:\PW\WORK\WADE-TRIM\KROYSTON\DT10804\CS3.0-PLTS-CSP-LANDSCAPE PLANDWG - C-3.0 - PLOTTED 6/24/2021 12:41 PM BY ROYSTON, KEVIN
FIELD BOOK INFORMATION:-

LIVERNOIS ROAD
60' WIDE R.O.W.

STREET FRONTAGE
354.9'

I-75 LIMITED ACCESS R.O.W.

800.4'
OPAQUE WOOD FENCE SCREEN

EXISTING DUMPSTER
SCREENING FENCE TO
REMAIN

OPAQUE WOOD FENCE SCREEN
353.9'

SCREENING FOR AC
UNITS SEE DETAIL
THIS SHEET, TYP.

EXISTING DUMPSTER
SCREENING FENCE TO
REMAIN

PROPOSED
STREET TREE

EXISTING STREET
TREE TO REMAIN
(2)

EXISTING STREET
TREE TO REMAIN
(3)

EXISTING STREET
TREE TO REMAIN
(2)

EXISTING STREET
TREE TO REMAIN
(2)

EXISTING STREET
TREES TO REMAIN
(2)

BUILDING FRONT
YARD, TYP.

BUILDING FRONT
YARD, TYP.

BUILDING FRONT
YARD, TYP.

PERMANENT
RESTORATION, SEE
NOTES THIS SHEET

ORNAMENTAL TREES, TYP.

BUILDING FRONT
YARD, TYP.

BUILDING FRONT
YARD, TYP.

EXISTING PARKING LOT
TREE TO BE PROTECTED,
TYP.

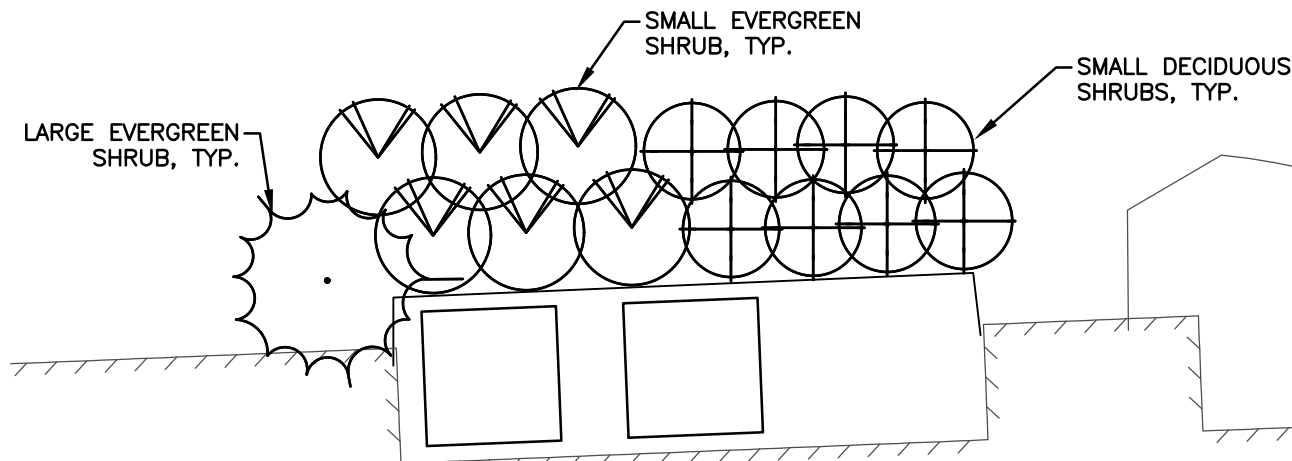
PROPOSED DECIDUOUS
TREE, TYP.

PROPOSED LARGE
EVERGREEN TREE, TYP.

779.4'
EXISTING WALL

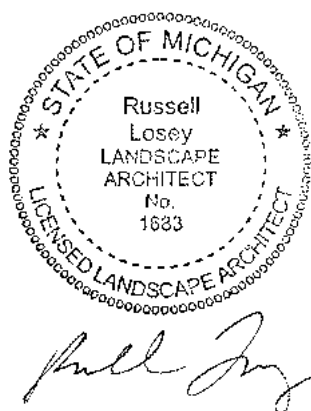
EXISTING OPAQUE WOOD FENCE TO REMAIN.
PER 13.02-A, A COMBINATION OF LANDSCAPING
SCREENING ALTERNATIVES 1 AND 2 ARE BEING
PROVIDED TO MEET THE REQUIRED SCREENING
REGULATIONS.

PROPOSED NARROW
EVERGREEN TREE, TYP.



TYPICAL AIR CONDITIONING SCREENING ENLARGEMENT

SCALE 1"=5'



PLANTING NOTES

1. ALL PROPOSED PLANTINGS SHALL MEET THE MINIMUM SIZE AND SPACING REQUIREMENTS OF TABLE 13.02-C: MINIMUM SIZE AND SPACING REQUIREMENTS FOR LANDSCAPING MATERIALS, LOCATED IN ARTICLE 13 SITE DESIGN STANDARDS OF THE CITY OF TROY ZONING ORDINANCE.

City of Troy Multi Family Site Screening Regulations				
Location	Land Use	Regulation	Required	Type/Size
North & West Side	BB Big Beaver Road (Form Based Zoning)	None	None	None
South Side	R-1E One Family Residential	Per Table 13.02-A Screen Alternative 1 and 2	Yes	Per Table 13.02-A
East Side	MF Multi Family Residential	None	None	None

See pages 275-293 of City of Troy Ordinance for full requirements.

City of Troy Landscaping Regulations	
Location	Regulation
Parking Lot	1 tree for every 8 parking spaces. Landscaping shall be arranged in curbed islands within the parking lot which shall not be less than 200 square feet in area. A minimum distance of 3 feet from the backside of the curb and the proposed landscape plantings shall be provided. **
Greenbelt	Minimum of 10 feet in width and 1 deciduous for every 30 linear feet, or fraction thereof, of frontage abutting a public road right-of-way. Deciduous trees within a greenbelt shall be a minimum caliper of 2 1/2 inches or greater and evergreen trees shall be a minimum of 5 to 6 feet in height. In addition to the required trees within the greenbelt, the remainder of the greenbelt shall be landscaped with grasses, ground covers, shrubs and other natural landscape materials.
Street Frontage	The frontage of all internal public or private streets shall be landscaped with the equivalent of one (1) tree for every fifty (50) linear feet, or fraction thereof. Such street trees shall meet the minimum size, spacing and species requirements set forth in Sections 13.02.H, Minimum Size and Spacing Requirements.

** An equivalent amount of landscape plantings at the perimeter of parking lots may be approved where landscaping within parking lots would be impractical due to the size of the parking lot, detrimental to safe and efficient traffic flow, or would create an unreasonable burden for maintenance and snowplowing, provided all other landscaping requirements are met.

See pages 275-293 of City of Troy Ordinance for full requirements.

PARKING LOT LANDSCAPE CALCULATIONS

193 PROPOSED PARKING SPACES			
	REQUIREMENT	EXISTING	PROPOSED
TREES	25	17	8

STREET FRONTAGE LANDSCAPE CALCULATIONS

APPX. 355 LINEAL FEET			
	REQUIREMENT	EXISTING	PROPOSED
TREES	12	11	1

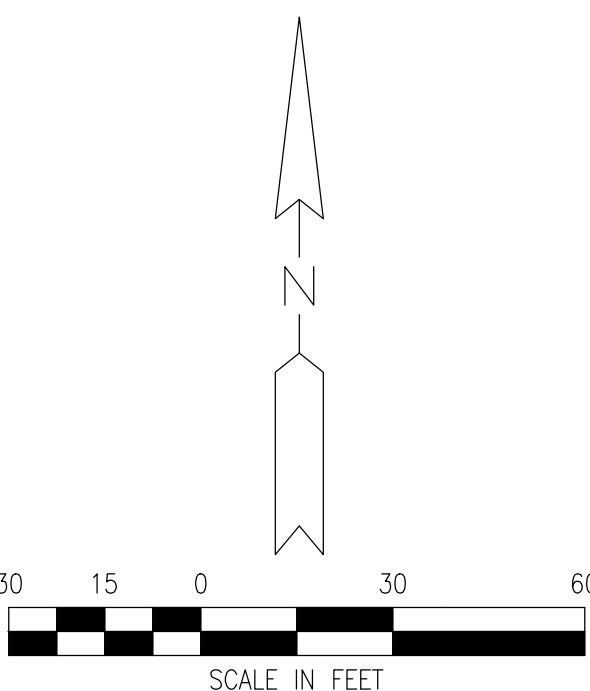
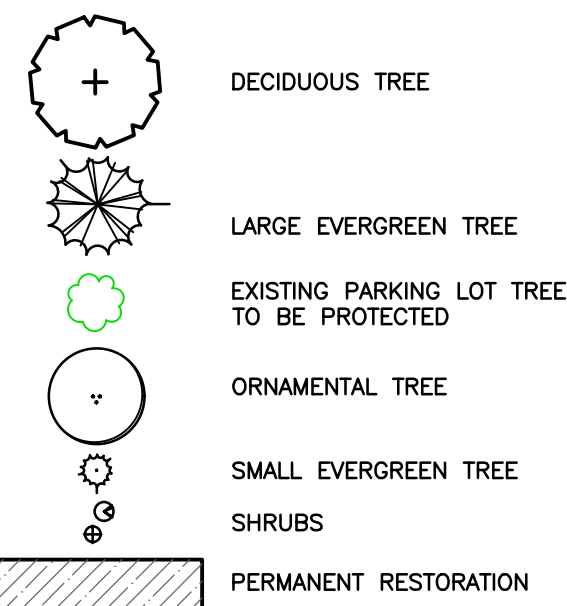
SCREENING LANDSCAPE CALCULATIONS

APPX. 800 LINEAL FEET			
	REQUIREMENT	EXISTING	PROPOSED
ALT 1	1 PER 3 LF	0	168
ALT 2	1 PER 10 LF	7	22
4' OPAQUE FENCE		780	0

PERMANENT RESTORATION NOTES

1. ALL ON-SITE UNPAVED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL, SEED/SOD AND MULCH. TOPSOIL SHALL BE PER ASTM D5268 AND SHALL BE NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL. IF EXISTING ON-SITE TOPSOIL OR IMPORTED TOPSOIL DOES NOT MEET THESE REQUIREMENTS, THE TOPSOIL SHALL BE CONDITIONED UNTIL REQUIREMENTS ARE MET.
2. HYDROSEED FOR LAWN AREAS IS TO CONSIST OF A SEED MIXTURE AS FOLLOWS:
40% PERENNIAL RYEGRASS
20% KENTUCKY BLUEGRASS
10% NEW PORT KENTUCKY BLUEGRASS
30% PENN LAWN RED FESCUE
THE GRASS SEED MIXTURE SHALL BE SOWN UNIFORMLY AT A RATE OF 220-250 POUNDS PER ACRE.
3. FERTILIZER SHALL HAVE AN ANALYSIS OF 8-8-8 OR 10-10-10 OF NITROGEN, PHOSPHORUS AND POTASSIUM AND IS TO BE USED IN THE LAWN AREA HYDROSEED APPLICATION. FERTILIZER SHALL BE APPLIED AT THE RATE REQUIRED TO FURNISH 300 POUNDS PER ACRE.
4. MULCH SHALL BE STRAW, HAY OR EXCELSIOR. THE MULCH SHALL BE APPLIED AT A RATE OF 1,500 POUNDS PER ACRE WITH 30 POUNDS PER ACRE OF GLUE

LEGEND



HOBBS + BLACK ARCHITECTS
100 NORTH STATE STREET
ANN ARBOR, MI 48104
PRELIMINARY LANDSCAPE PLAN
FOR
HAWTHORNE REDEVELOPMENT

ISSUED FOR: DATE: BY:
PSP 04/22/21 KPR
PSP 6/24/21 RPL

JOB NO.
HOB2012.01F

SHEET

C-3.0

855 S. Saginaw Street, Suite 201
Ann Arbor, MI 48106
810.235.2552
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COY, MI

The Alcove

HAWTHORN SUITES OF TROY RESIDENTIAL CONVERSION

2600 LIVERNOIS RD TROY, MI

SITE PLAN SUBMITTAL 6/24/2021







EXISTING PHOTO



VIEW 1



VIEW 1 - NIGHT



VIEW 2

8. PRELIMINARY SITE PLAN REVIEW (File Number SP 2021-0003) – Proposed The Alcove Site Improvements, East side of Livernois, South of Big Beaver (2600 Livernois), Section 27, Currently Zoned MF (Multiple Family Residential) Zoning District

Mr. Savidant reviewed the Alcove Site Improvements application. He said the applicant wants to convert an extended-stay hotel to a multi-family apartment building. Mr. Savidant identified neighboring land uses and zoning. He addressed landscaping, architectural improvements, parking and elevations. Mr. Savidant said site plan approval would provide an opportunity for the Commission to ask the applicant for higher quality building materials, additional architectural improvements and additional landscaping should it desire.

Mr. Savidant referenced a memorandum provided by the Police Department enumerating the police calls to the Hawthorn Suites. He said it is anticipated that the conversion to multi-family residential would reduce the need for police service to the property and would be a significant benefit for the City.

Mr. Savidant summarized the two variances for which the applicant is required to seek from the Zoning Board of Appeals (ZBA). He indicated if the variances are granted, it is recommended that the applicant revise their plans and resubmit prior to coming back to the Planning Commission for site plan review and address items identified in the Planning Consultant report dated May 14, 2021.

Present from Tricap Residential Group were CEO and Founder Bryan Pritchard and Development Manager Robert Sanchez. Also present was Luke Bonner, Consultant, from Bonner Advisory Group.

Mr. Pritchard said Tricap Residential Group makes significant investments in underutilized apartment complexes to launch multi-family residential developments and indicated they typically are long-term holders and operators of the multi-family communities. He gave a brief history of the firm and his personal relationship with the City of Troy.

Mr. Bonner said they considered density and size of units resulting in two scenarios: combining units or demolishing the entire site. He said the size of units would still be under the requirements for multi-family if the entire site was demolished. He addressed the existing building layout and indicated the current units are not congruent with one another to create a workable floor plan and design for larger units, noting a potential to run into structural issues. Mr. Bonner addressed building materials.

Mr. Sanchez addressed the price point for the multi-family residential and enhanced outdoor amenities that would create a community within the complex.

(Mr. Carlisle arrived 8:08 p.m.)

There was discussion on:

- Review of application; discussion only, no recommendation to ZBA.

- Existing building, landscaping, wall; in compliance.
- Number of extended-stay hotels located in City.
- Police incidences; potential to lower police service calls.
- Price range of apartment units; \$900 - \$1,100.
- Building materials; consideration of higher quality, durable materials.
- Physical layout of building as relates to conversion.
- Target tenants; professional singles and couples.
- Additional landscaping; visual amenity to neighboring residents.

Mr. Pritchard said there was positive feedback when they shared the proposed improvements to neighboring residents. He extended a thank-you to the Board and assured their comments would be taken into consideration.

On July 20, 2021 at 7:30 p.m., Chair Bossenbroek called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bossenbroek
David Eisenbacher
Aaron Green
James McCauley
Sadek Rahman
Barb Chambers
Mahendra Kenkre
Thomas Desmond

Also Present:

Paul Evans, Zoning and Compliance Specialist
Lori Grigg-Bluhm, City Attorney
Jackie Ferencz, Planning Administrative Assistant

2. PROCEDURE- read by Mr. Eisenbacher

3. APPROVAL OF MINUTES – June 15, 2021

Moved by Eisenbacher
Second by Green

RESOLVED, to approve the June 15, 2021 meeting minutes.

Yes: All

MOTION PASSED

4. APPROVAL OF AGENDA – No changes

5. HEARING OF CASES:

- A. VARIANCE REQUEST, 2600 LIVERNOIS, BRYAN PRITCHARD, TRICAP RESIDENTIAL GROUP- A variance to convert the use from extended stay to apartment units, the following variances are requested: 1) to allow 23.35 dwelling units per acre where the Zoning Ordinance permits 10 dwelling units per acre, and 2) to allow dwelling units to be 475 to 600 square feet in area where the Zoning Ordinance requires 600 square feet of minimum area.

Moved by Eisenbacher
Second by Desmond

RESOLVED, to approve the request.

Yes: Green, Chambers, Kenkre, Desmond, Eisenbacher, McCauley
No: Bossenbroek

MOTION PASSED

- B. VARIANCE REQUEST, 2887 E WATTLES, JESUS M. RIVERA JR. & JUANITA RIVERA:
A variance to enlarge the existing single-family home and construct a shed. The property is in the NN Zoning District. The use is nonconforming because single family residences are not permitted in the NN Zoning District. The Zoning Ordinance prohibits enlarging structures devoted to nonconforming uses. The home was originally constructed prior to the establishment of the NN Zoning District.

Moved by Eisenbacher
Second by Desmond

RESOLVED, to approve the request.

Yes: Kenkre, Desmond, Eisenbacher, McCauley, Rahman
No: Bossenbroek, Green

MOTION PASSED

6. COMMUNICATIONS –
7. MISCELLANEOUS BUSINESS – Mr. Eisenbacher requested the topic of a 600 square foot minimum area for a one bedroom apartment be looked at by the Planning Commission, based on market conditions and testimony provided this evening.
8. PUBLIC COMMENT – None
9. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 9:38pm

Respectfully submitted,

Michael Bossenbroek, Chairman

Paul Evans, Zoning and Compliance Specialist