



500 West Big Beaver  
Troy, MI 48084  
troymi.gov

248.524.3364  
planning@troymi.gov

## PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Tom Krent, Chairman, David Lambert, Vice Chairman  
Carlton Faison, Michael W. Hutson, Lakshmi Malalahalli,  
Marianna Perakis, Sadek Rahman, Jerry Rauch and John J. Tagle

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October 12, 2021

7:00 P.M.

Council Chambers

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – September 28, 2021
4. PUBLIC COMMENT – For Items Not on the Agenda

### SPECIAL USE REQUEST

5. PRELIMINARY SITE PLAN REVIEW (SU JPLN2021-0013) - Proposed Center Court at Butterfield 52-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

### OTHER ITEMS

6. PUBLIC COMMENTS – For Items on the Agenda
7. PLANNING COMMISSION COMMENT
8. ADJOURN

**NOTICE:** *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Krent called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on September 28, 2021, in the Council Chamber of the Troy City Hall. Chair Krent presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

Carlton M. Faison  
Michael W. Hutson  
Tom Krent  
David Lambert  
Lakshmi Malalahalli  
Marianna Perakis  
Sadek Rahman  
Jerry Rauch  
John J. Tagle

Also Present:

R. Brent Savidant, Community Development Director  
Ben Carlisle, Carlisle Wortman Associates  
Julie Quinlan Dufrane, Assistant City Attorney  
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2021-09-068**

Moved by: Faison  
Support by: Lambert

**RESOLVED**, To approve the Agenda as prepared.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES

**Resolution # PC-2021-09-069**

Moved by: Tagle  
Support by: Rahman

**RESOLVED**, To approve the minutes of the September 14, 2021, Regular meeting as submitted.

Yes: Faison, Hutson, Krent, Lambert, Malalahalli, Perakis, Rahman, Tagle  
Abstain: Rauch

**MOTION CARRIED**

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

**SPECIAL USE REQUEST**

5. PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2021-001) – Proposed Panera Bread Café (with Drive Through), East side of Coolidge, South of Maple (1484 Coolidge), Section 32, Currently Zoned MR (Maple Road) District

Mr. Carlisle gave a review of the proposed Special Use Request and Preliminary Site Plan application to convert a financial institution into a Panera Bread Café. He said the footprint would be the same and addressed site improvements such as removal of the existing canopy, additional stacking spaces to the drive-through, additional landscaping, outdoor seating area, additional internal sidewalks and striping, parking refiguration, façade improvements and new dumpster enclosure.

Mr. Carlisle referenced Zoning Ordinance Section 14.04.A as relates to a non-conforming structure. He reported the applicant is not increasing the building non-conformity and re-occupancy of the site is permitted but that the parking must be screened from Coolidge Highway.

Mr. Carlisle addressed engineering concerns noted in his report, the applicant's request to waiver the required loading space, trash enclosure screening, re-submission of a photometric plan, and transparency calculations.

Mr. Carlisle recommends approval of the Special Use and Preliminary Site Plan application with conditions as identified in his report dated September 21, 2021.

Project architect Todd Bundren of Lawrence Group was present. He said Panera is excited about the proposed move and re-use of an existing building, noting the new location offers a drive-through, outdoor patio and rapid pickup. Mr. Bundren addressed angle parking, stating that Panera believes the one-way drive would be safer.

Mr. Bundren said Panera cafes do not typically dedicate loading spaces in any of its locations. He said the larger WB 62 truck deliveries would be twice or three times a week in non-peak hours for approximately 20-30 minutes to unload; deliveries from smaller box trucks are every night after hours to deliver dough. Mr. Bundren asked the Board's consideration in waiving the required loading space and assured the Board that Panera would accommodate the conditions identified in the Planning Consultant report.

PUBLIC HEARING OPENED

There was no one present to speak.

PUBLIC HEARING CLOSED

There was discussion on:

- Moving handicapped parking to west side of building to accommodate easier access to outdoor patio seating.
- Location of loading space if waiver request not granted.
- Traffic concerns with access from Coolidge Highway.
  - Left-hand turn signal, potential traffic backup/congestion.
  - Traffic Consultant review of traffic safety.
  - Consideration of one-way entrance and exit drives.
- Angle parking; as relates to one-way / two-way traffic flow.
- Transparency requirements/calculations.
- Engineering standard to use curb stops.
- Clarification of required number of bicycle spaces.
- Screening of parking on Coolidge Highway.
- Proposed signage; off-site signage not permitted.
- Cross access easements; best management practice.

**Resolution # PC-2021-09-070**

Moved by: Lambert  
 Support by: Faison

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Panera Bread Café (with Drive Through), East side of Coolidge, South of Maple (1484 Coolidge), Section 32, Currently Zoned MR (Maple Road) District, be granted, subject to the following conditions:

1. Screen parking from Coolidge Highway and also screen the trash enclosure.
2. Provide transparency calculations.
3. Waive the loading space requirement.
4. Resubmit the photometric plan and lighting fixture details.
5. Address the Engineering Department noted items.
6. Move the handicapped parking to the west side of the building.
7. Review of the plan by the Traffic Engineer, and recommend that the Coolidge entrances be modified to one-way; south entrance be one-way to enter and north entrance be one-way to exit.

Yes: All present (9)

**MOTION CARRIED**

**OTHER ITEMS**

6. **PUBLIC COMMENTS** – For Items on the Agenda

There was no one present who wished to speak.

7. **PLANNING COMMISSION COMMENT**

Mr. Lambert encouraged members to listen to public comment at the September 27, 2021 City Council meeting.

Mr. Savidant reported on the following two items presented to City Council at their September 27, 2021 meeting.

- 1) Troy Crossing PUD Proposed Amendment (File No. PUD JPLN2021-0008); granted as initially submitted to Planning Commission.
- 2) Conditional Rezoning (File No. CR JPLN2021-001), Pine View Condominiums; applicant withdrew item.

8. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 7:49 p.m.

Respectfully submitted,

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Tom Krent, Chair

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Kathy L. Czarnecki, Recording Secretary

DATE: October 7, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (SU JPLN2021-0013) - Proposed Center Court at Butterfield 52-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

The petitioner Eureka Building Co. submitted the above referenced Preliminary Site Plan application for a 52-unit condominium townhome development. Attached townhomes are permitted by right in the MF (Multiple-Family Residential) Zoning District.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Preliminary Site Plan.

G:\SITE PLANS\SP JPLN2021-0013 CENTER COURT AT BUTTERFIELD\PC Memo 2021 10 12.docx

**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN REVIEW (SU JPLN2021-0013) - Proposed Center Court at Butterfield 52-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

**Resolution # PC-2021-10-**

Moved by:

Seconded by:

**RESOLVED**, The Planning Commission recommends that Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Center Court at Butterfield 52-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District, be granted, subject to the following:

1. Provide details of playground area
2. Landscape shrubs used to screen at grade equipment to be coniferous in order to provide year-round screening
3. Add recreational site amenities
4. Revise guest parking spaces

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_ ) or

(postponed, for the following reasons: \_\_\_\_\_ )

Yes:

No:

**MOTION CARRIED/FAILED**



# GIS Online

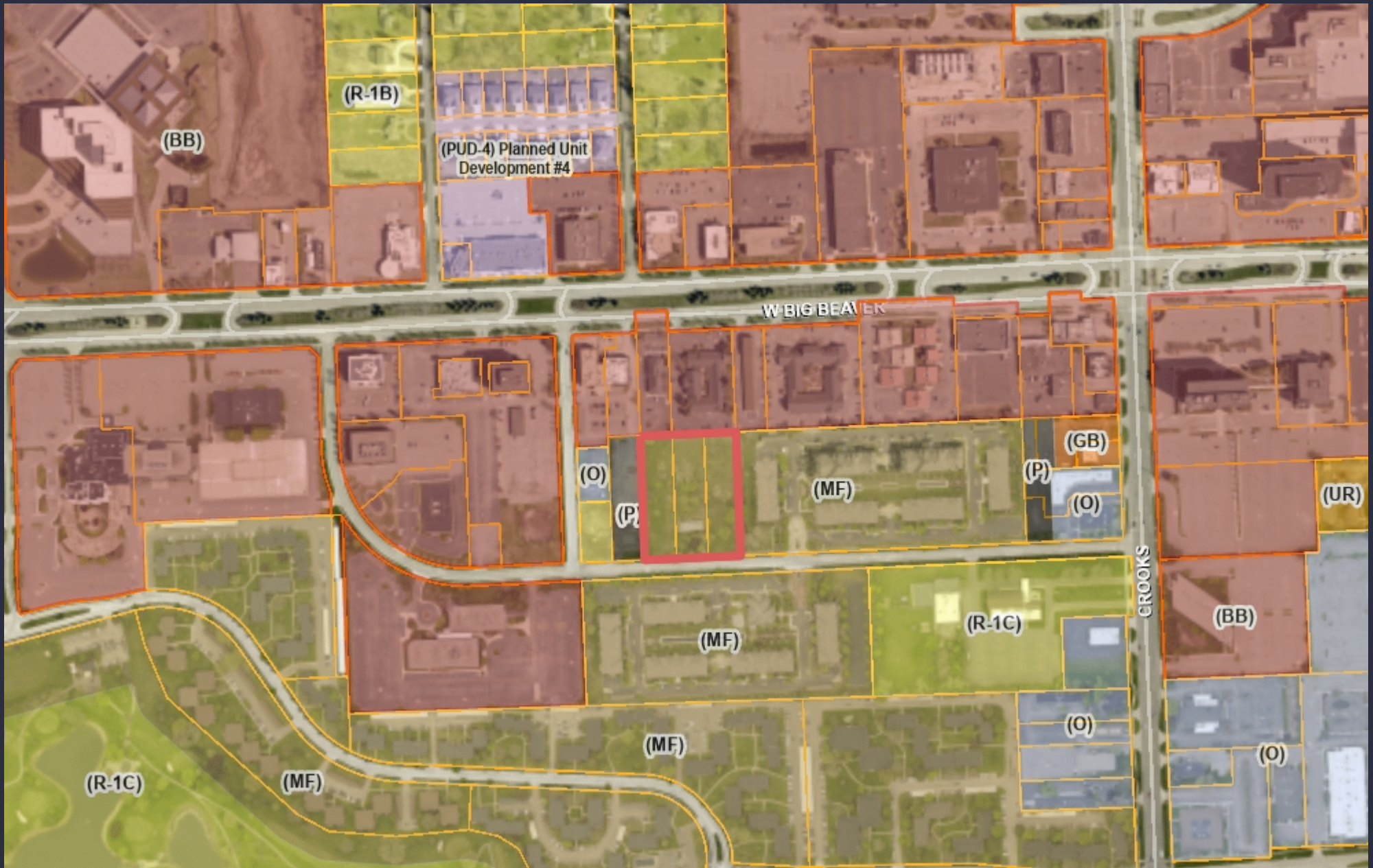


1,189 0 595 1,189 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.





1,189 0 595 1,189 Feet



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**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

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Date: October 5, 2021  
October 7, 2021

## **Preliminary Site Plan For City of Troy, Michigan**

**Applicant:** Eureka Building Company

**Project Name:** Center Court at Butterfield

**Plan Date:** October 6, 2021

**Location:** Northside of Butterfield Road

**Zoning:** MF, Multiple Family Residential

**Action Requested:** Preliminary Site Plan Approval

### **PROJECT AND SITE DESCRIPTION**

We are in receipt of a Preliminary Site Plan application that includes a site plan, topographic survey, preliminary utility and grading plan, tree inventory, landscape plan, and floorplans and elevations. The subject site is 3.0 acres. The site is located on northside of Butterfield Road. Butterfield Road connects from Big Beaver to Crooks.

The applicant is requesting approval of a fifty-two (52) unit for sale attached condominium project. The fifty-two (52) units are distributed in twelve (12) buildings. All buildings are three (3) stories, 37-feet (to peak) in height. The proposed residential use is permitted in the MF, Multiple Family district. The development is accessed off of Butterfield and served with an internal private drive.

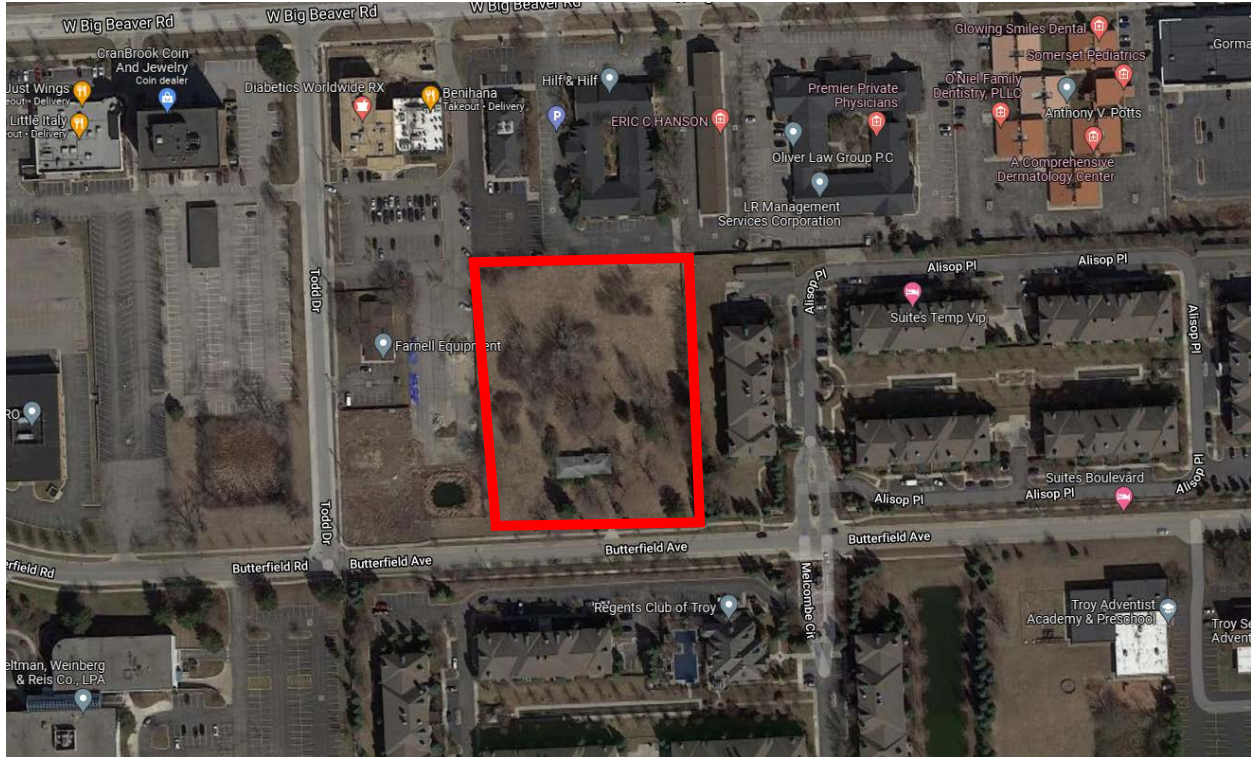
The site is currently three parcels, which will be combined as part of the development. The existing vacant home will be demolished as part of the development of the site.

Center Court at Butterfield.  
October 7, 2021

Location of subject site:

Northside of Butterfield Road

### Location and Aerial Image of Subject Site



Size of subject site:

The property is 3.0 acres in area.

Proposed use of subject site:

The proposed use is for fifty-two (52) for-sale attached condominium units.

Current use of subject site:

The property currently has one (1) vacant single-family home.

Current Zoning:

The property is currently zoned MF, Multiple Family Residential District.

Surrounding Property Details:

<u>Direction</u>	<u>Zoning</u>	<u>Use</u>
North	BB, Big Beaver	Office
South	MF, Multiple Family Residential District	Multiple Family Residential
East	MF, Multiple Family Residential District	Multiple Family Residential
West	P, Vehicle Parking District	Parking, Stormwater

**NATURAL RESOURCES**

**Topography** – The site is relatively flat with little elevation changes.

**Woodlands** – The applicant has submitted a tree survey. Trees on site include Cottonwood, Ash, and Box Elder, which are non-regulated trees; however, the applicant is removing 10 protected trees.

<b>Replacement Details</b>		
<b>Protected Tree</b>	<b>Inches Removed</b>	<b>Replacement Required</b>
Landmark	102 inches	102 inches
Woodland	59 inches	30 inches
<b>Preservation/Mitigation</b>	<b>Inches Preserved</b>	<b>Credit</b>
Landmark	0 inches	0 inches
Woodland	0 inches	0 inches
Protected Replacement Required	132 Inches	
Preservation Credit	29.5 Inches	
<b>Total</b>	<b>132-inches of replacement required</b>	
<b>Total Tree Mitigation</b>	132 inches of replacement required. Replacement requirement shown on landscape plan	

**Wetlands/Floodplain:** 100 Year Flood Plain on site. EGLE Permit will be required. FEMA application may be necessary. City GIS indicates no wetlands on site.

**Items to be Addressed:** None

**SITE ARRANGEMENT**

The fifty-two (52) units are distributed in twelve (12) buildings. The development is accessed off of Butterfield and served with an internal-ring private drive. Private garages are directly accessed from the private drive. Eight (8) of the buildings “ring” the exterior of the site, with the buildings fronting on the exterior of the site. Four (4) buildings are internal to the site, and front on an interior courtyard.

**Items to be Addressed:** *None*

**AREA, WIDTH, HEIGHT, SETBACKS**

Required and Provided Dimensions:

Table 4.08.C establishes the requirements for the MF, Multiple Family District. The requirements and the proposed dimensions are as follows:

	<u>Required / Allowed:</u>	<u>Provided:</u>	<u>Compliance:</u>
Front	30 feet	30 feet	Complies
Rear	30 feet	30 feet	Complies
Side	30 feet	30 feet	Complies
Density	24 units an acre	17.3 units an acre	Complies
Maximum Height	8 stories	3 stories, 33-feet (to mid-point) 37-feet (to peak)	Complies
Maximum Lot Area Covered by Buildings	30%	27.4 %	Complies
Minimum Floor Area per Unit	600-1,200 sq/ft	Over 1,200 sq/ft per unit	Complies
Recreation Space. (450) square feet per dwelling unit. Such recreational facilities may include, but not be limited to, swimming pools, tennis courts, playgrounds, picnic areas, playfields, and jogging trails.	450 sq/ft x 52 = 23,400 sq/ft.	Applicant has shown the required area in the form of sidewalks and internal playground area. Details of the proposed playground was not shown.	Complies with additional items

Applicant should add additional site amenities to enhance the recreation area including additional landscaping, lighting, and sitting areas. We note that there are no such amenities provided on this site.

**Items to be addressed:** 1. Provide details of playground area; and 2). Add site amenities.

**SITE ACCESS AND CIRCULATION**

Vehicular Access:

Site access is directly from Butterfield. Vehicular circulation is provided via internal drive. Sheet C-2.0 indicates the internal drive accommodates the turning movement of a 40-foot long pumper truck. This will be verified by Fire during Final review. Fire lanes will be required to be posted.

A traffic study was not required as part of Engineering review.

Pedestrian Circulation:

The applicant is providing a complete pedestrian circulation system within development

**Items to be Addressed:** *None*

**PARKING**

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Condominium: 2 spaces per unit	52 Units = 104 spaces	104 spaces within garages + 26 at-grade guest spaces
Barrier Free	1	1
Bicycle Parking	2	2
Loading	0	0
<b>Total</b>	<b>104 automobile + 2 bicycle</b>	<b>130 spaces + 2 bicycle</b>

Applicant will need to revise some of the guest parking. Reversing out of some of these spaces would be difficult, as there isn't enough space for a traditional 3-point turn.

**Items to be Addressed:** 1. Revise guest parking spaces.

**LANDSCAPING**

Landscaping is regulated by Section 13.02:

	Required:	Provided:	Compliance:
<u>Butterfield Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal	318 feet = 11 trees	9 trees	Complies

feet, or fraction thereof, of frontage abutting a public road right-of-way.			
<u>Site landscaping:</u> A minimum of fifteen (15%) of the site area shall be comprised of landscape material. Up to twenty-five percent (25%) of the required landscape area may be brick, stone, pavers, or other public plaza elements, but shall not include any parking area or required sidewalks.	20%	30%	Complies
Parking Lot Trees: 1 per 8 spaces	26 spaces = 4 trees	4 trees	Complies
Mitigation	132 inches = 53 trees	53 trees	Complies

The applicant is proposing a 4-foot ornamental fence that runs along the front (Butterfield) and along the eastern property line. There is an existing wall along the northern and western property line that will remain.

**Transformer / Trash Enclosure:**

Each individual unit will have a trash bin and will be rolled out during trash pickup day.

**Equipment:**

Mechanical equipment, including HVAC, are not shown on the plans. A note on Sheet L-1.0 indicates that utility/AC units will be screened with landscape shrubs. Species of shrubs is not provided.

***Items to be Addressed:*** Landscape shrubs used to screen at grade equipment to be coniferous in order to provide year-round screening.

**FLOOR PLANS AND ELEVATIONS**

The applicant is has submitted floor plans and elevations. Materials include a combination of brick, stone, and cement board siding. Couple of points of consideration:

1. The side elevations lack fenestration and little architectural details; and
2. How does this architecture, material choice, and color palette relate and complement the Regents Club?

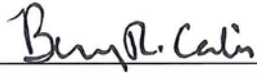
***Items to be Addressed:*** 1). Consider adding details to the side elevations; and 2). Provide narrative as to how does this architecture, material choice, and color palette relate and complement the Regents Club.

**RECOMMENDATIONS**

We recommend preliminary site plan approval with the following conditions:

Center Court at Butterfield.  
October 7, 2021

1. *Provide details of playground area*
2. *Landscape shrubs used to screen at grade equipment to be coniferous in order to provide year-round screening.*
3. *Add site amenities*
4. *Revise guest parking spaces*
5. *Address elevations and materials as directed by the Planning Commission*



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**CARLISLE/WORTMAN ASSOC., INC.**

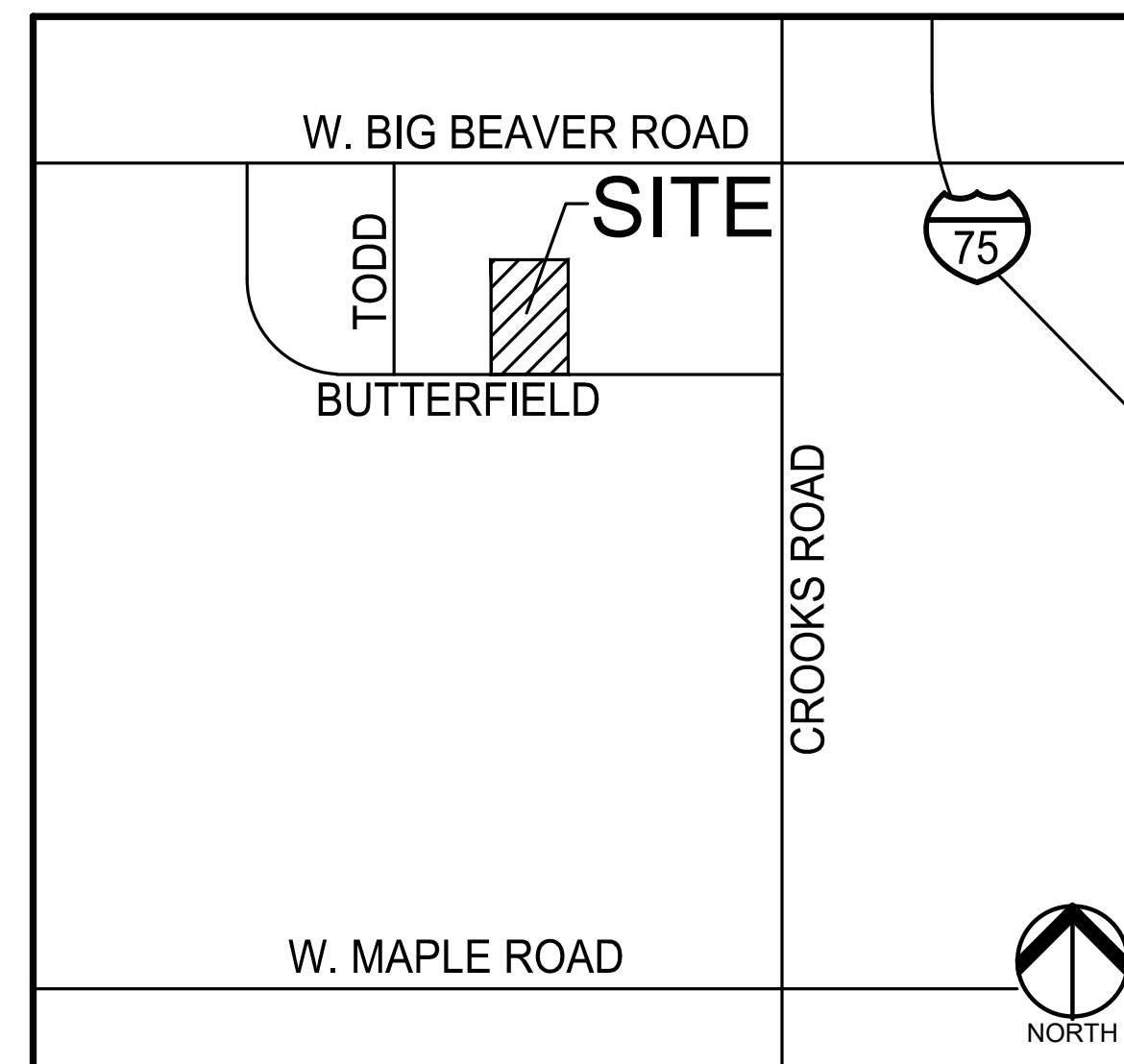
**Benjamin R. Carlisle, LEED AP, AICP**



PRELIMINARY SITE PLANS

# CENTER COURT DEVELOPMENT

BUTTERFIELD ROAD EAST OF TODD DR.  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP  
NO SCALE

INDEX OF DRAWINGS	
Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	PRELIMINARY SITE PLAN
C-3.0	PRELIMINARY GRADING PLAN
C-4.0	PRELIMINARY UTILITY PLAN
C-5.0	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
T-1.0	TREE PRESERVATION PLAN
SL-1.0	PHOTOMETRIC PLAN
A0.1	4-UNIT FOUNDATION PLAN
A1.0	4-UNIT LOWER LEVEL FLOOR PLAN
A1.1	4-UNIT MAIN LEVEL FLOOR PLAN
A1.2	4-UNIT UPPER LEVEL FLOOR PLAN
A1.3	4-UNIT FRONT ELEVATION
A1.4	4-UNIT SIDE ELEVATION
A0.2	5-UNIT FOUNDATION PLAN
A2.0	5-UNIT LOWER LEVEL FLOOR PLAN
A2.1	5-UNIT MAIN LEVEL FLOOR PLAN
A2.2	5-UNIT UPPER LEVEL FLOOR PLAN
A2.3	5-UNIT FRONT ELEVATION
A2.4	5-UNIT SIDE ELEVATION

DESIGN TEAM

<b>DEVELOPER</b>	<b>CIVIL ENGINEER</b>
EUREKA BUILDING COMPANY 5960 LIVERNOIS TROY, MI 48065 CONTACT: ERION NIKOLLA PHONE: 586.405.4080 EMAIL: EUREKABLD@GMAIL.COM	PEA GROUP 2430 ROCHESTER COURT, STE. 100 TROY, MI 48063-1872 CONTACT: GREG BONO, PE PHONE: 844.813.2949 EMAIL: GBONO@PEAGROUP.COM
<b>ARCHITECT</b>	<b>LANDSCAPE ARCHITECT</b>
ARKO DESIGN ASSOCIATES 2298 YASMIN DRIVE COMMERCE TWP., MI 48382 PHONE: 248.802.8409	PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: NOAH BIRMEIN, PLA, ASLA PHONE: 844.813.2949 EMAIL: NBIRMEIN@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	9/10/2021
CITY COMMENTS	10/6/2021

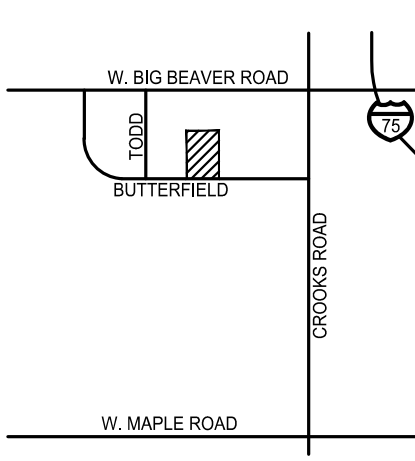




0 15 30 60  
SCALE: 1" = 30'



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**EUREKA BUILDING COMPANY**  
5960 LIVERNOIS  
TROY, MI

PROJECT TITLE  
**CENTER COURT DEVELOPMENT**  
BUTTERFIELD RD EAST OF TODD DR  
TROY, MI

REVISIONS	CITY COMMENTS
	10/06/21

ORIGINAL ISSUE DATE:  
SEPTEMBER 10, 2021

DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-1.0**

**LEGEND**

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊙ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	⊙ MEASURED
⊗ NAIL & CAP SET		⊙ CALCULATED

**EXISTING**

—OH-ELEC—	ELEC. PHONE OR CABLE TV O/L LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG-PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG-ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS—	GAS MAIN, VALVE & GAS LINE MARKER
—WATER—	WATERMAIN, HYD. GATE VALVE, TAPPING BLEEDIE & VALVE
—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE
—STORM—	STORM SEWER, CLEANOUT & MANHOLE
—COMBINED—	COMBINED SEWER & MANHOLE
—SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN	
—POST INDICATOR VALVE	
—WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF	
—MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE	
—UNIDENTIFIED STRUCTURE	
—SPOT ELEVATION	
—CONTOUR LINE	
—FENCE	
—GUARD RAIL	
—STREET LIGHT	
—SIGN	
—CONC.	CONCRETE
—ASPH.	ASPHALT
—GRAVEL	GRAVEL SHOULDER
—WETLAND	WETLAND

**LEGAL DESCRIPTION**  
(Per Access Oakland)

**PARCEL 20-29-226-021**  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 32

**PARCEL 20-29-226-022**  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 31

**PARCEL 20-29-226-023**  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 30

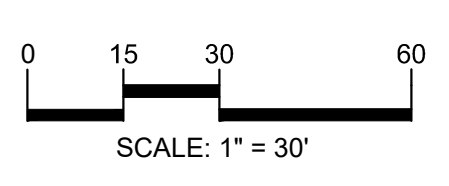
**BENCHMARKS**  
(GPS DERIVED - NAVD88)

BM #300  
ARROW ON A HYDRANT LOCATED ON THE SOUTH SIDE OF BUTTERFIELD ROAD, APPROX. 340' EAST FROM THE CENTERLINE OF TODD ROAD.  
ELEV. - 718.15

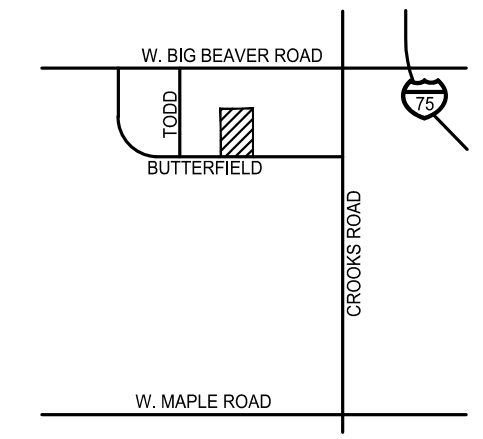
**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0541F, EFFECTIVE SEPTEMBER 29, 2006.



S:\PROJECTS\2021\0021-0134 EUREKA (BUTTERFIELD)\DWG\SITE PLANS\C-1.0 TOPO-21-0134.dwg



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE TO THE COMPLETENESS ON ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**EUREKA BUILDING COMPANY**  
5960 LIVERNOIS  
TROY, MI

PROJECT TITLE  
**CENTER COURT DEVELOPMENT**  
BUTTERFIELD RD EAST OF TODD DR  
TROY, MI

REVISIONS

CITY COMMENTS	DATE
	10/06/21

ORIGINAL ISSUE DATE:  
SEPTEMBER 10, 2021

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

**SIGN LEGEND:**  
"BARRIER FREE PARKING" SIGN  
REFER TO C-5.0 SHEET FOR SIGN DETAILS

**LEGEND**

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊙ IRON SET	⊗ MONUMENT FOUND	⊙ R. RECORDED
⊙ NAIL FOUND	⊗ MONUMENT SET	⊙ M. MEASURED
⊙ NAIL & CAP SET		⊙ C. CALCULATED

**EXISTING**

- OH-ELEC: OH-ELEC. POLE & GUY WIRE
- UG-CATV: UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE: TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC: U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS: GAS MAIN, VALVE & GAS LINE MARKER
- WATER: WATERMAIN, HYD. GATE VALVE, TAPPING BLEEDIE & VALVE
- SEWER: SANITARY SEWER, CLEANOUT & MANHOLE
- STORM: STORM SEWER, CLEANOUT & MANHOLE
- COMBINED: COMBINED SEWER & MANHOLE
- SQUARE: SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST: POST INDICATOR VALVE
- WATER: WATER VALVE BODY/DRYANT VALVE BOX, SERVICE SHUTOFF
- MALBOX: MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED: UNIDENTIFIED STRUCTURE
- SPOT: SPOT ELEVATION
- CONTOUR: CONTOUR LINE
- FENCE: FENCE
- GUARD: GUARD RAIL
- STREET: STREET LIGHT
- SIGN: SIGN

**PROPOSED**

- CONC.: CONCRETE
- ASPH.: ASPHALT
- GRAVEL: GRAVEL SHOULDER
- WETLAND: WETLAND
- STD: STD. HEAVY FLOW DUTY ONLY
- STR: STR. HEAVY REEF DUTY DUTY STRENGTH

**LEGAL DESCRIPTION**  
(Per Access Oakland)

**PARCEL 20-29-226-021**  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 32

**PARCEL 20-29-226-022**  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 31

**PARCEL 20-29-226-023**  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 30

**SITE DATA TABLE:**

SITE AREA: 3.0 ACRES (130,695 SF) NET AND GROSS  
ZONING: MF MULTI-FAMILY RESIDENTIAL  
PROPOSED USE: MULTI-FAMILY (130,695 SF) (52 UNITS)

**BUILDING INFORMATION:**  
MAXIMUM ALLOWABLE BUILDING HEIGHT = 100 FEET (8 STORIES)  
PROPOSED BUILDING HEIGHT = 3 STORIES

4 UNIT BUILDING FOOTPRINT: 2,759 SF  
5 UNIT BUILDING FOOTPRINT: 3,439 SF  
6 UNIT BUILDING FOOTPRINT: 4,139 SF  
BUILDING FOOTPRINT AREA = 9+2,759 SF + 2+3,439 SF + 4,139 SF = 24,831 SF + 6,878 SF + 4,139 SF = 35,848 SF

BUILDING LOT COVERAGE = (35,848/130,695) \* 100 = 27.4%

**SETBACK REQUIREMENTS:**

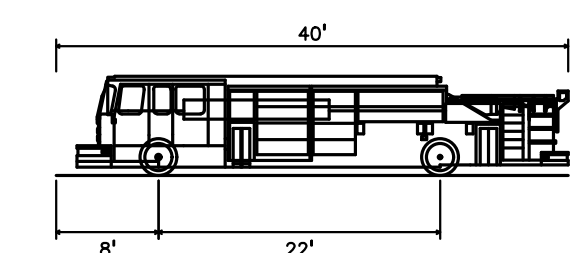
	REQUIRED:	PROPOSED:
FRONT: (SOUTH)	30'	30'
SIDE: (EAST)	30'	30'
SIDE: (WEST)	30'	30'
REAR: (NORTH)	30'	30.28'

**PARKING CALCULATIONS:**  
MULTI-FAMILY RESIDENTIAL = 2 SPACES PER DWELLING UNIT  
REQUIRED PARKING = 52 UNITS \* 2 SPACES PER UNIT = 104 SPACES  
PROVIDED PARKING = 104 GARAGE + 26 SURFACE SPACES = 130 SPACES INC. 1 ADA SPACE

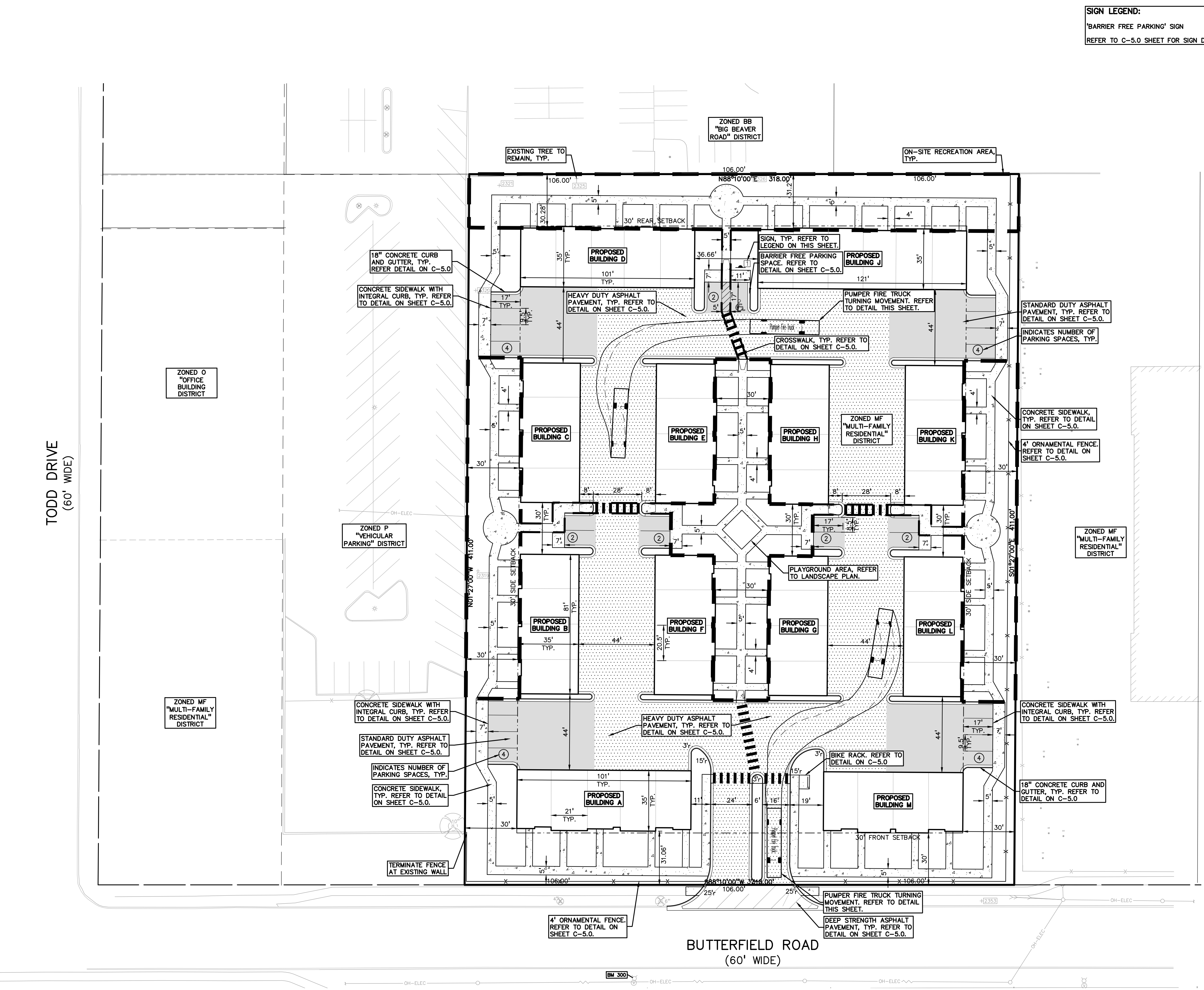
**RECREATIONAL SPACE:**  
REQUIRED = 450 SF PER DWELLING UNIT \* 52 UNITS = 23,400 SF  
PROVIDED = 30,212 SF

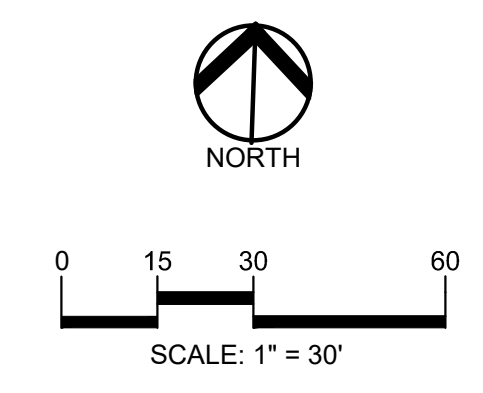
**SITE SOILS INFORMATION:**  
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:  
SELFRIDGE LOAMY SAND  
SANDY LOAMY AQUENTS

**TRASH PICKUP NOTE:**  
TRASH WILL BE COLLECTED USING CURBSIDE PICKUP.

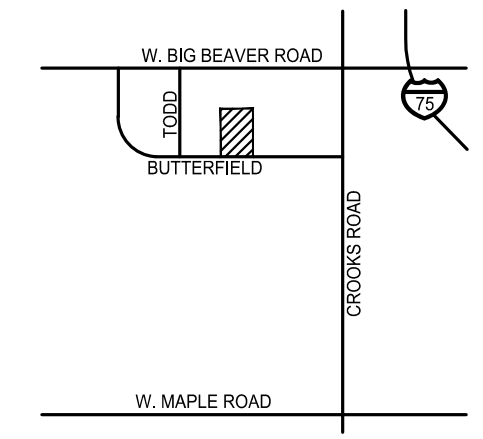


Pumper Fire Truck Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°





**CAUTION!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**EUREKA BUILDING COMPANY**  
 5960 LIVERNOIS  
 TROY, MI

PROJECT TITLE  
**CENTER COURT DEVELOPMENT**  
 BUTTERFIELD RD EAST OF TODD DR  
 TROY, MI

REVISIONS	CITY COMMENTS
	10/06/21

ORIGINAL ISSUE DATE:  
 SEPTEMBER 10, 2021

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-3.0**

**LEGEND**

● IRON FOUND	⊗ BRASS PLUG SET	○ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	○ R. RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	○ M. MEASURED
⊗ NAIL & CAP SET		○ C. CALCULATED

**EXISTING**

- OH-ELEC—W—O— ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV— ELEC. UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE— TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC— ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS VALVE & GAS LINE MARKER
- WATERMAN, HYD. GATE VALVE, TAPPING BLEED & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONC.— CONCRETE
- ASPH.— ASPHALT
- GRAVEL— GRAVEL SHOULDER
- WETLAND

**PROPOSED**

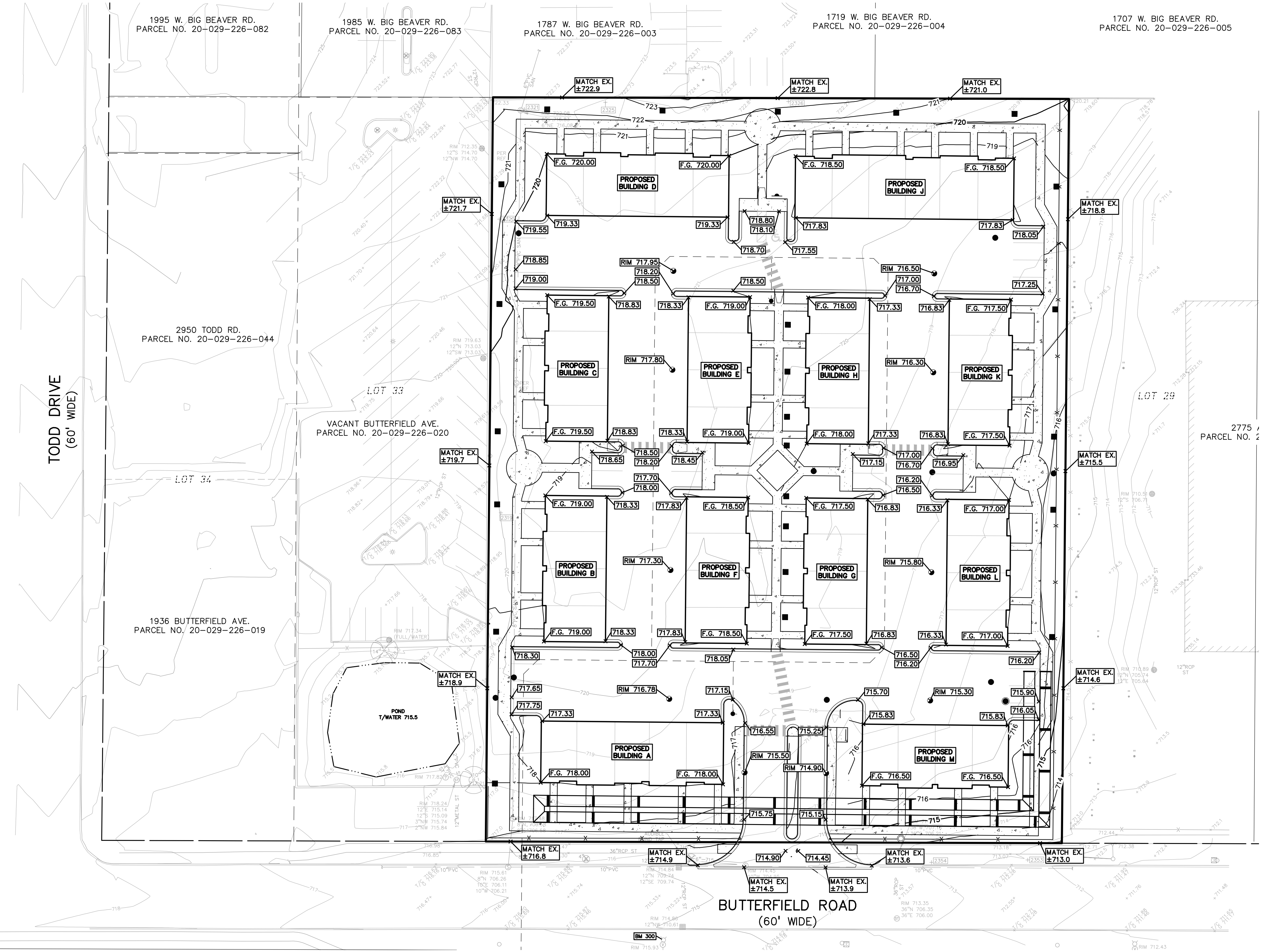
- 671— 310 HEAVY FLOW DUTY ONLY
- 671.21— 310 HEAVY FLOW DUTY STRENGTH

**SYMBOLS: GRADING**

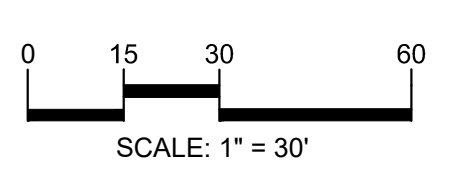
PROPOSED SPOT ELEVATION:  
 TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES. —622.50—

PROPOSED CONTOUR LINE —922—

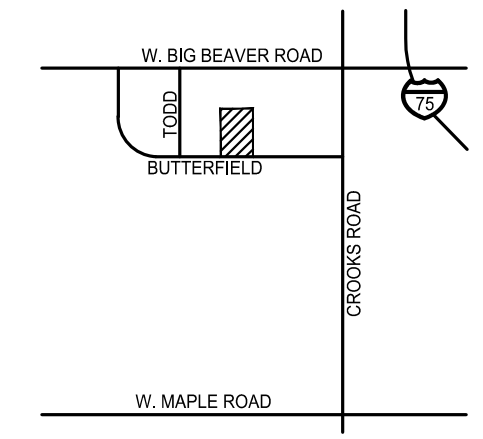
**ABBREVIATIONS:**  
 T/C = TOP OF CURB  
 G = GUTTER GRADE  
 T/P = TOP OF PAVEMENT  
 T/S = TOP OF SIDEWALK  
 T/W = TOP OF WALL  
 B/W = BOTTOM OF WALL  
 F.G. = FINISH GRADE  
 RIM = RIM ELEVATION



S:\PROJECTS\2021\2021-0134 EUREKA (BUTTERFIELD)\MISC\SITE PLANS\C-3.0 (PREL-21-0134.dwg)



**CAUTION!**  
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CLIENT  
**EUREKA BUILDING COMPANY**  
5960 LIVERNOIS  
TROY, MI

PROJECT TITLE  
**CENTER COURT DEVELOPMENT**  
BUTTERFIELD RD EAST OF TODD DR  
TROY, MI

REVISIONS	CITY COMMENTS
	10/06/21

ORIGINAL ISSUE DATE:  
SEPTEMBER 10, 2021

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

**NOT FOR CONSTRUCTION** **C-4.0**

**LEGEND**

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED

**EXISTING**

- OH-ELEC-U-V-ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV-UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE-TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC-ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS-MAN-VALVE & GAS LINE MARKER
- WATER-MAN-HYD. GATE VALVE, TAPPING BLEEDIE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOOBYDRANT VALVE BOX, SERVICE SHUTOFF
- MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARDRAIL
- STREET LIGHT
- SIEN

**PROPOSED**

- CONC. CONCRETE
- ASPH. ASPHALT
- GRAVEL GRAVEL SHOULDER
- WETLAND
- STD. HEAVY FLOW DUTY ONLY
- STD. HEAVY REEP DUTY DUTY STRENGTH

**100 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)**

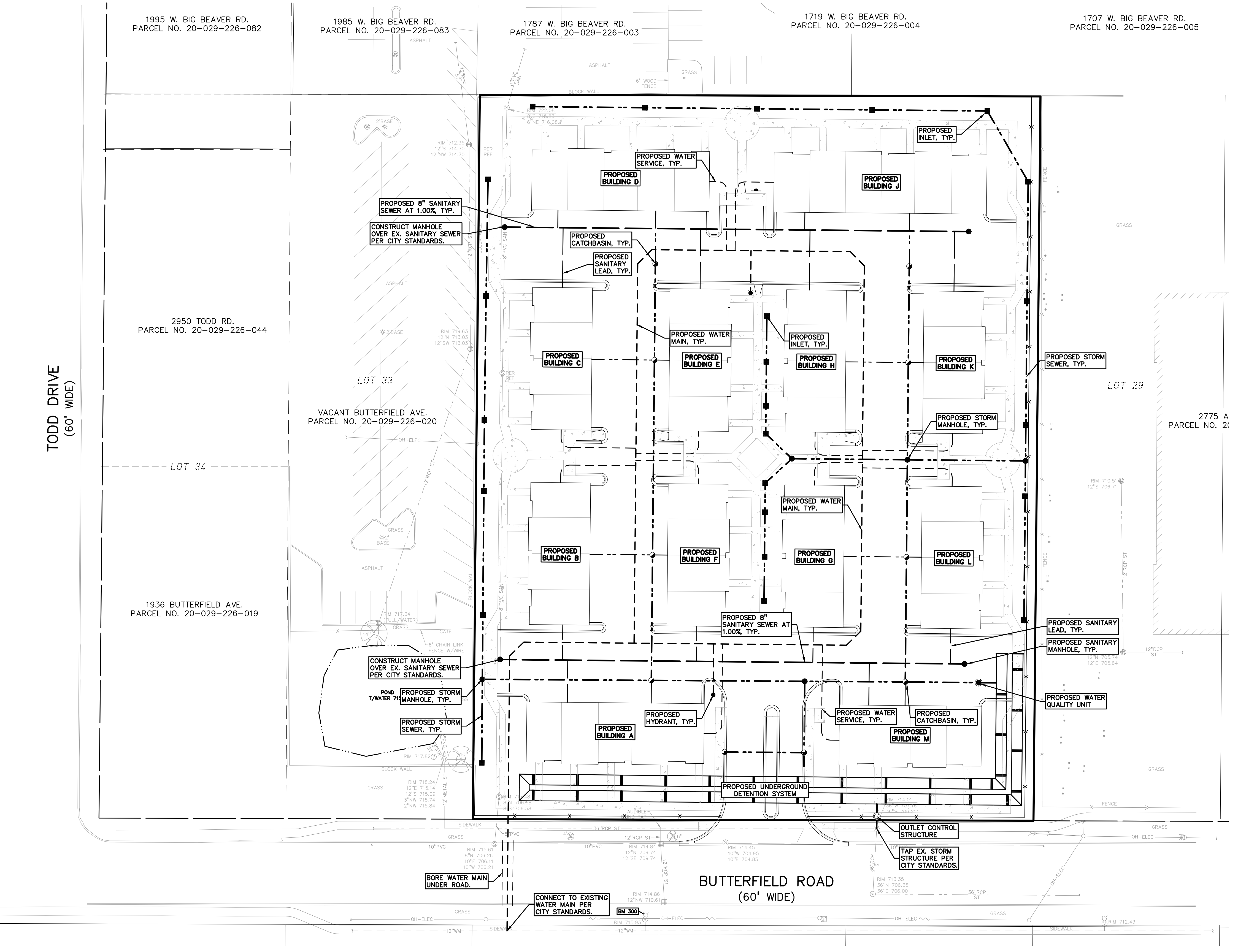
Contributing Area (A):	3.00 acre
Allowable Discharge (Qa):	0.60 cfs (0.2*area)
Coefficient of Runoff (Cr):	0.73

**Site Drainage Data**

Qo = ((Qa)/(A))(Cr):	0.27 cfs/acre impervious
T = -25 + ((10312.5/Qo))^0.5:	170.43 minutes
Vs = (16500(T)/(T+25)) - 40Qo(T):	12,549 cf/acre impervious
V1 = (Vs)(A)(Cr):	27,543 cft

**UNDERGROUND DETENTION SYSTEM:**

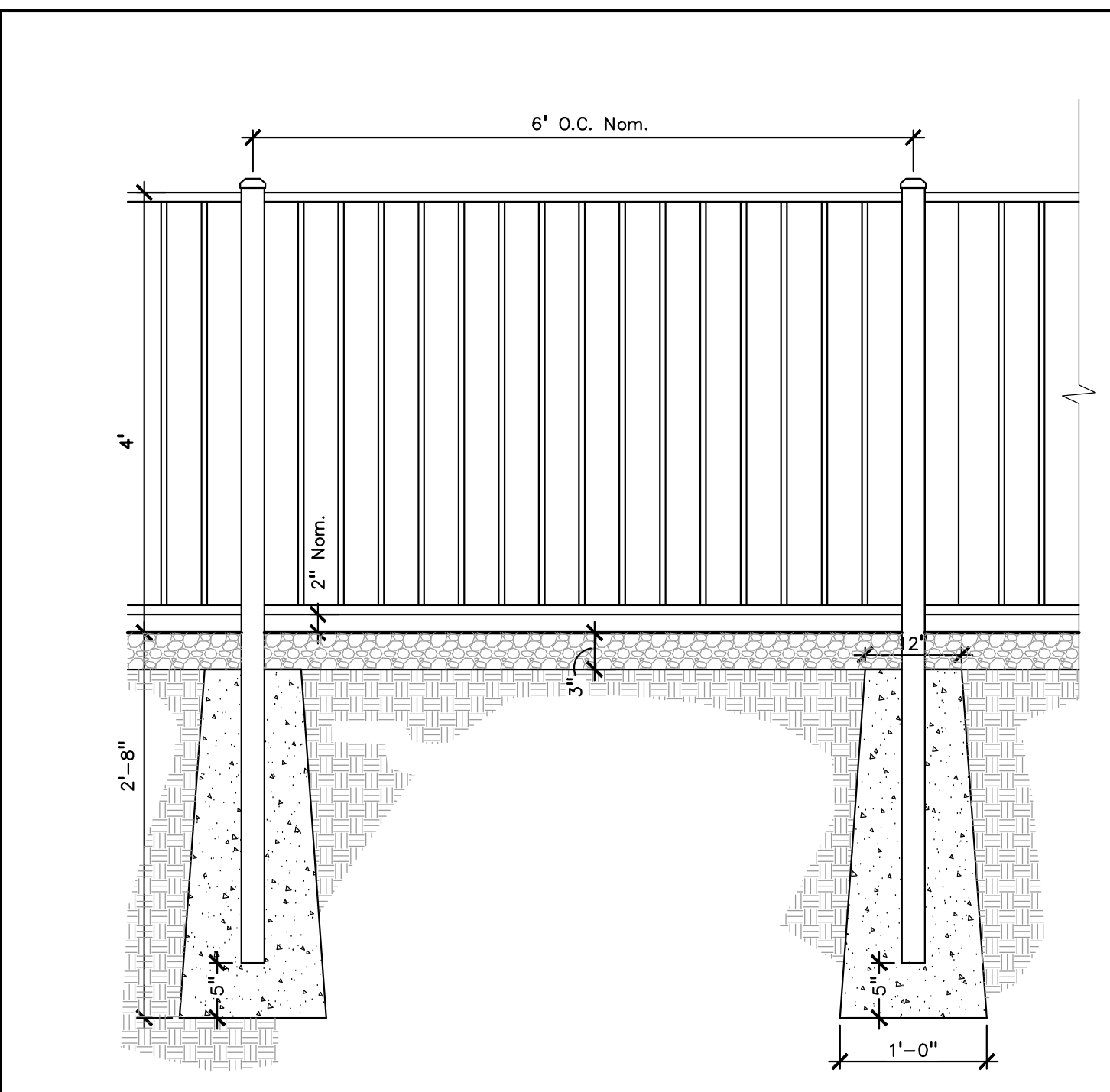
- STORAGE VOLUME REQUIRED = 27,543 cf.
- PIPE STORAGE VOLUME = 20,216 cf.
- BACKFILL STORAGE VOLUME = 7,626 cf.
- TOTAL STORAGE PROVIDED = 27,842 cf.



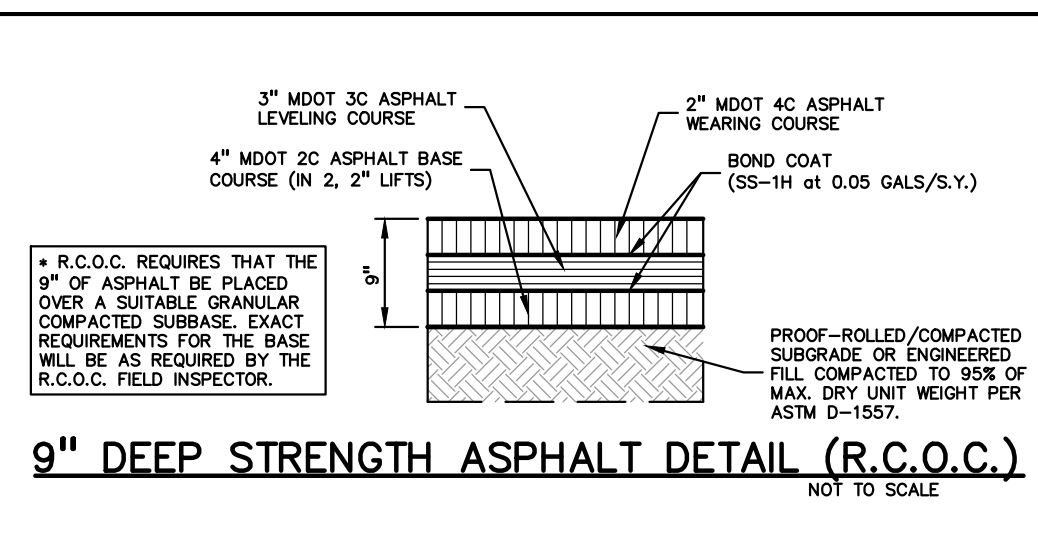
S:\PROJECTS\2021\0134 EUREKA (BUTTERFIELD)\DWG\SITE PLANS\C-4.0 UTILITY-21-0134.dwg



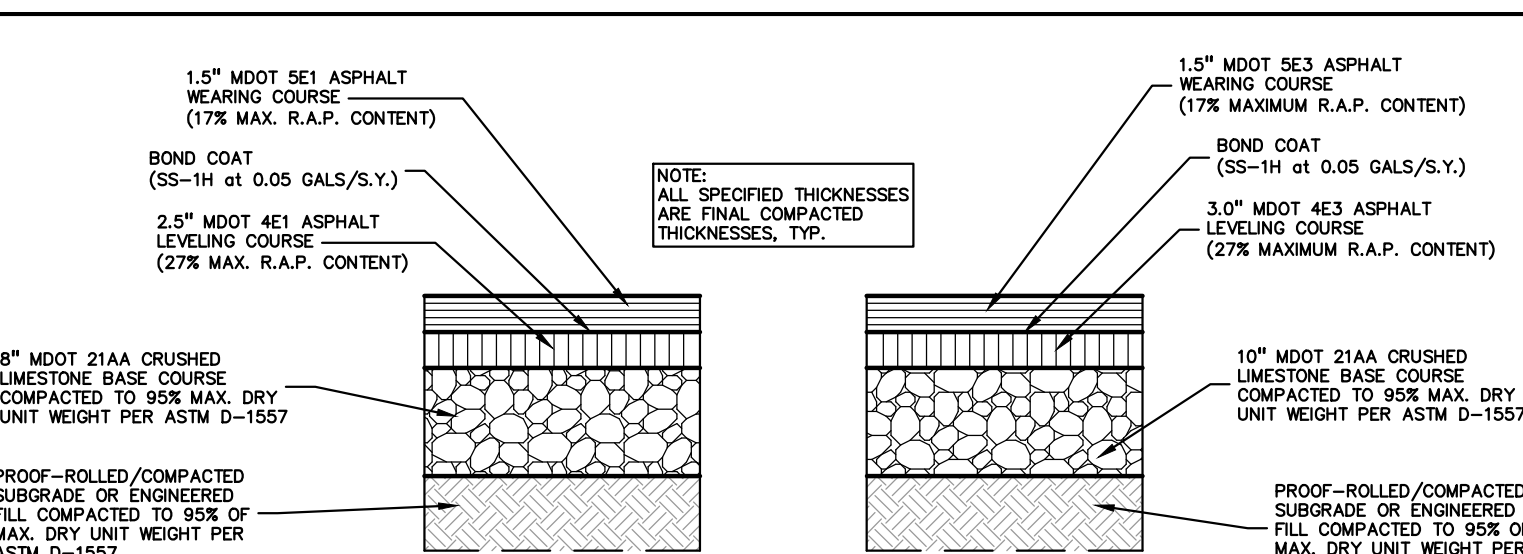
**CAUTION!**  
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**ORNAMENTAL FENCE DETAIL**  
 NOT TO SCALE



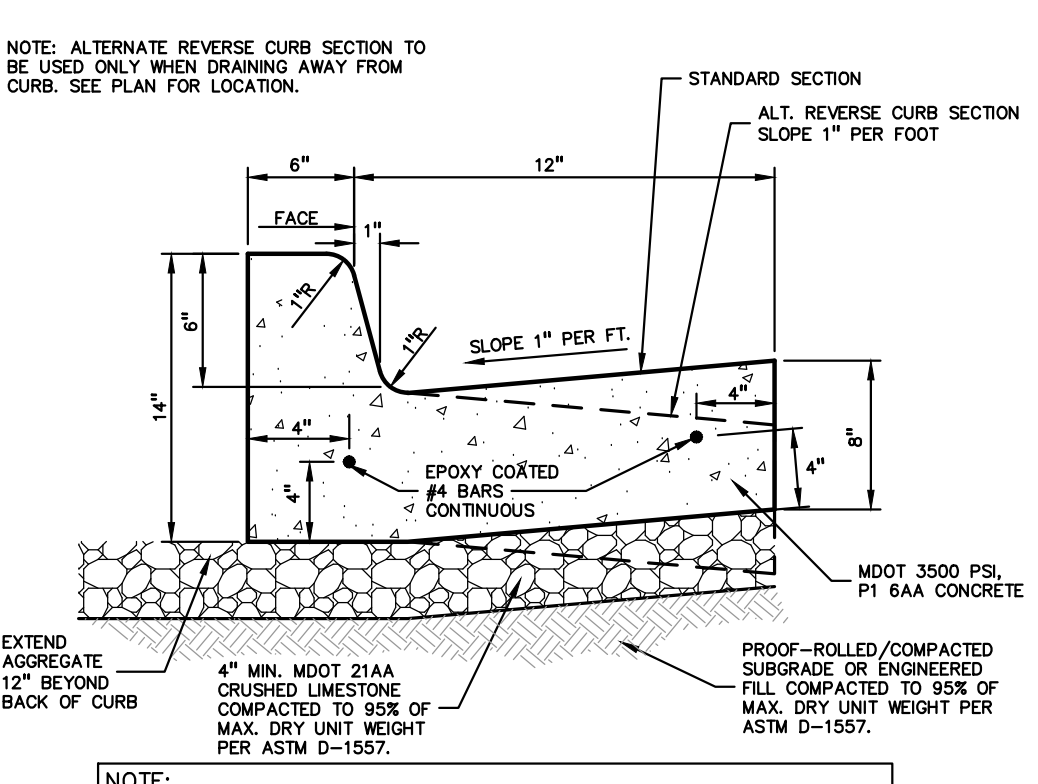
**9\"/>**



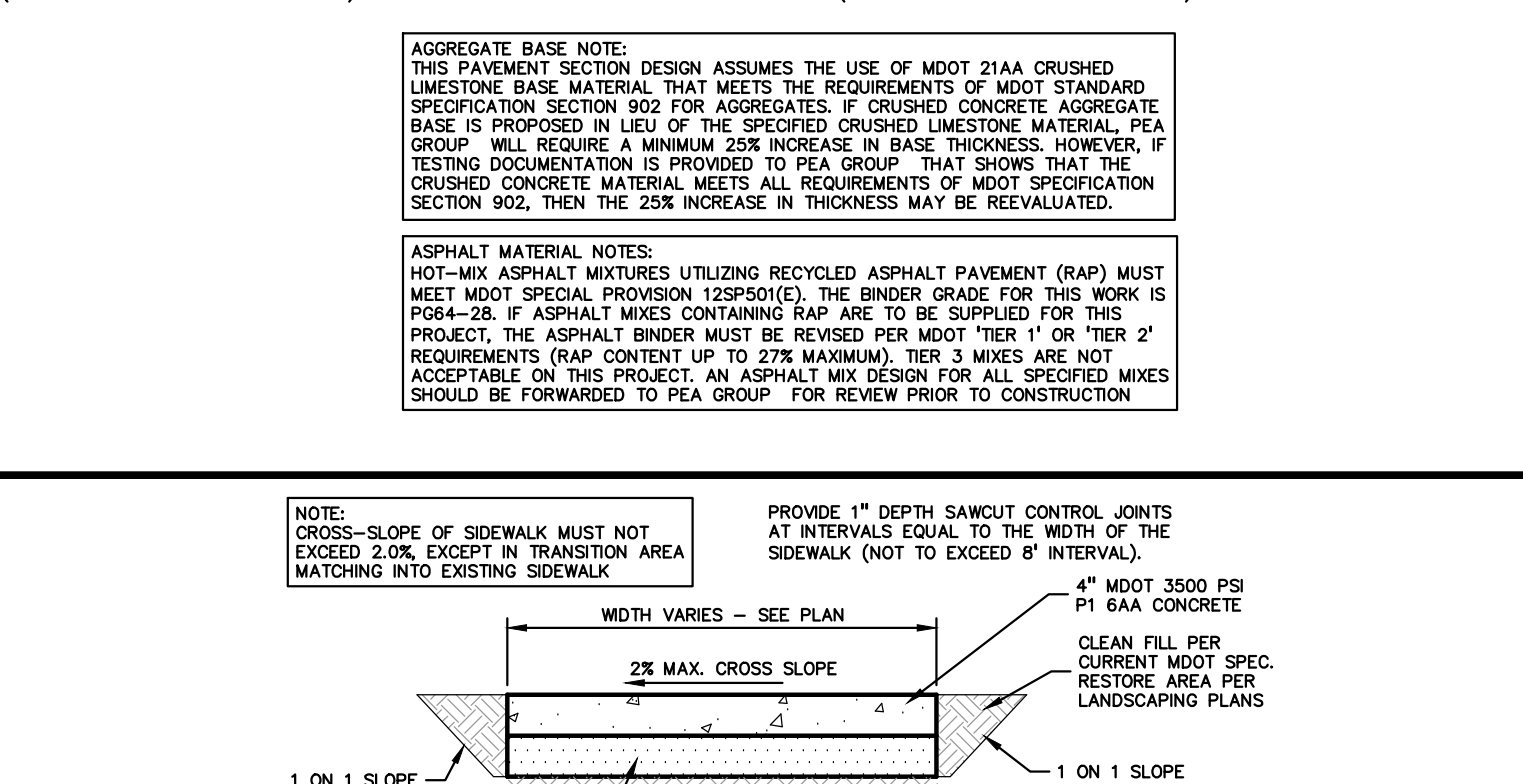
**STANDARD DUTY ASPHALT DETAIL**  
 (NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE



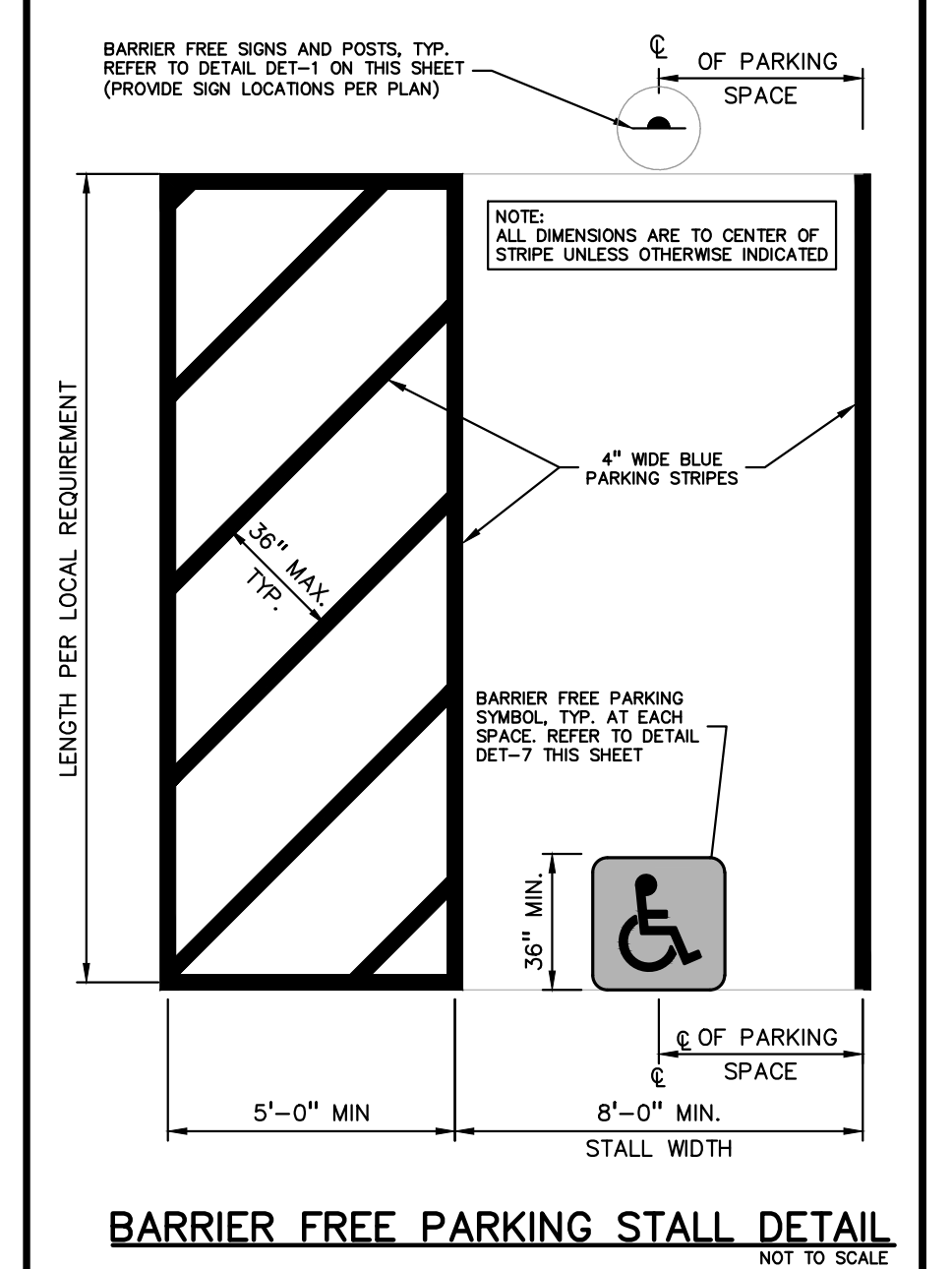
**HEAVY DUTY ASPHALT DETAIL**  
 (NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE



**18\"/>**

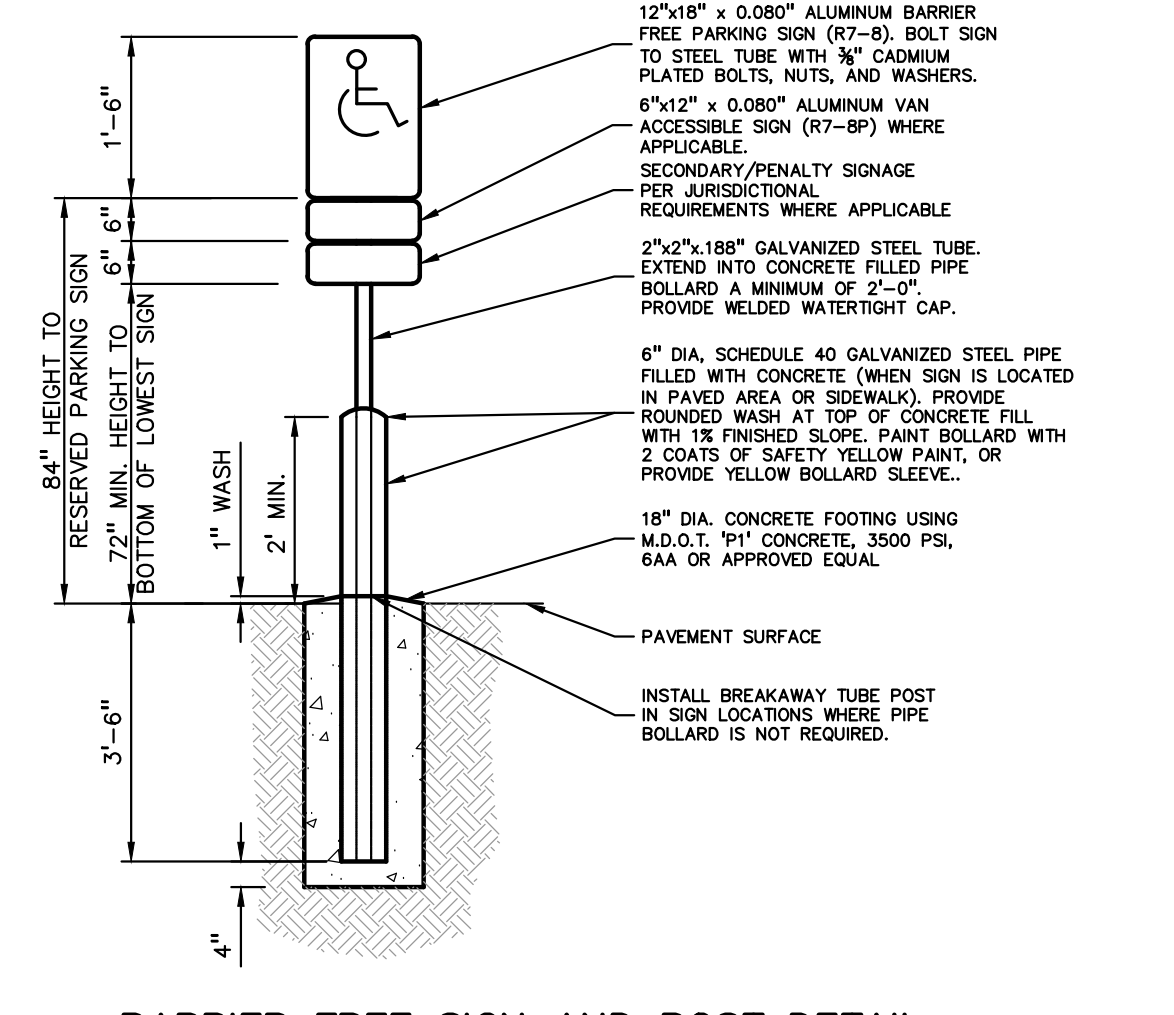


**CONCRETE SIDEWALK**  
 NOT TO SCALE



**BARRIER FREE PARKING STALL DETAIL**  
 NOT TO SCALE

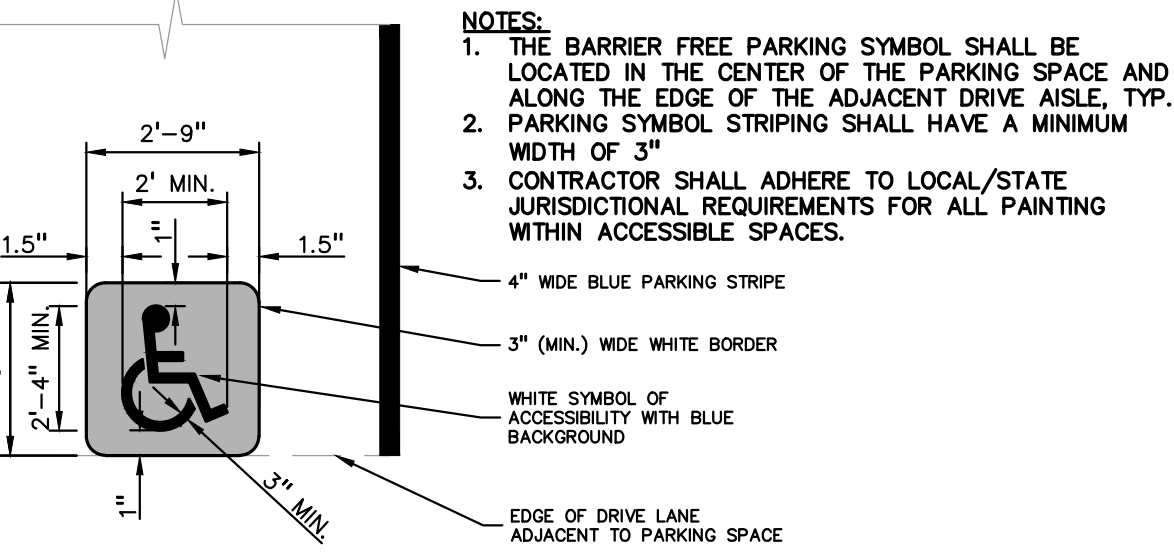
- BARRIER FREE SIGN NOTES:**
- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
  - ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
  - WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
  - SIGN POSTS SHALL BE 2\"/>



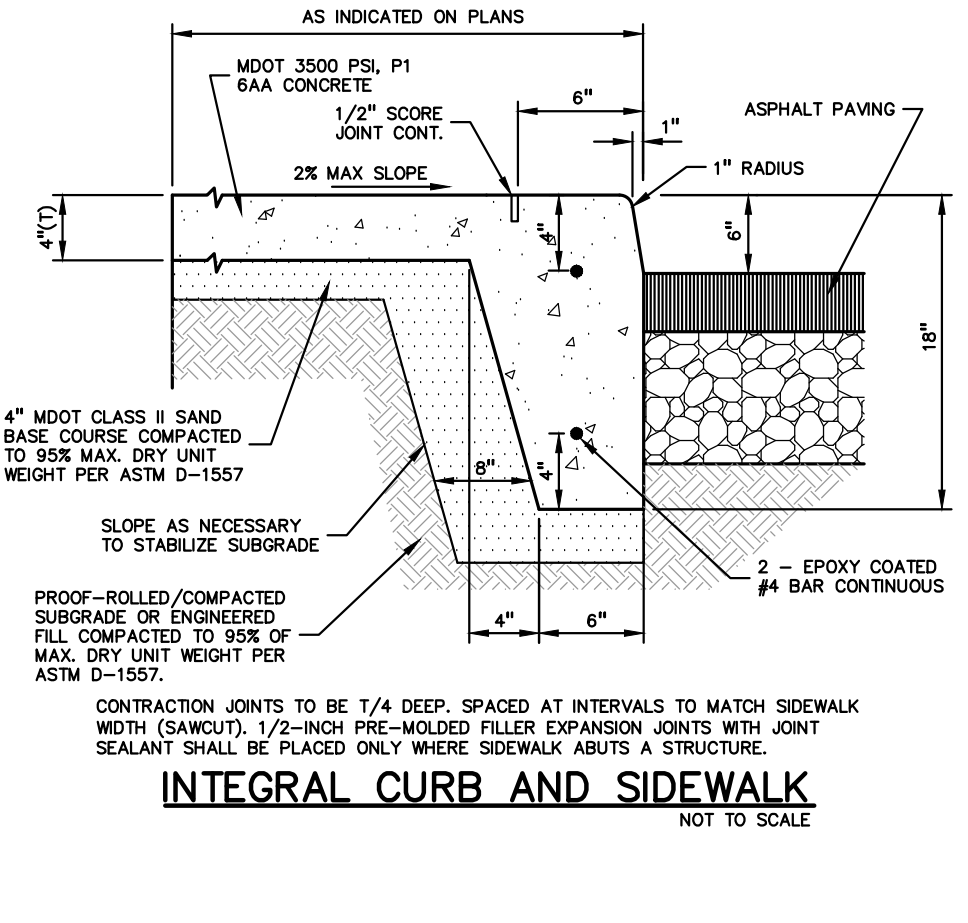
**BARRIER FREE SIGN AND POST DETAIL**  
 NOT TO SCALE



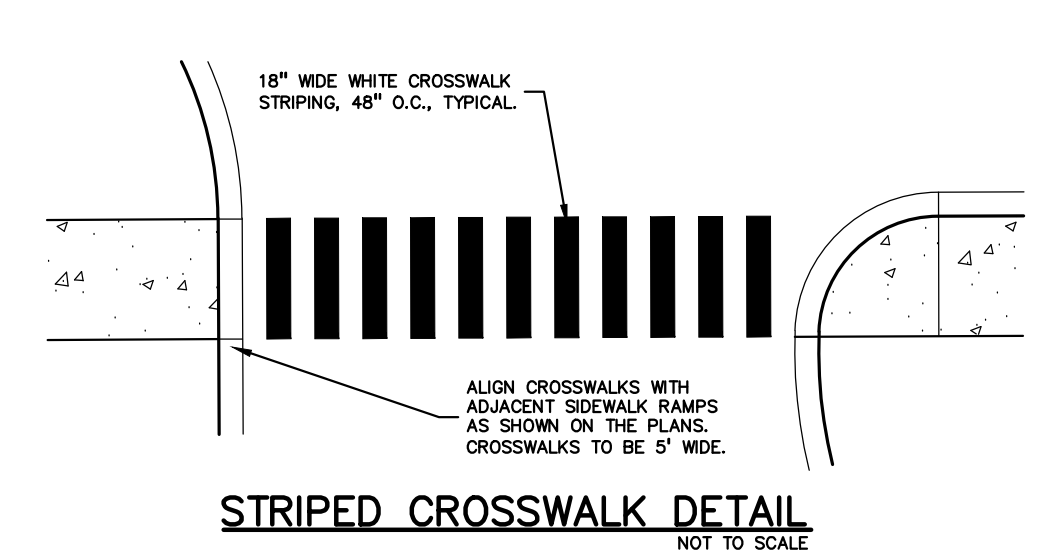
**BARRIER FREE PARKING SIGN DETAIL**  
 NOT TO SCALE



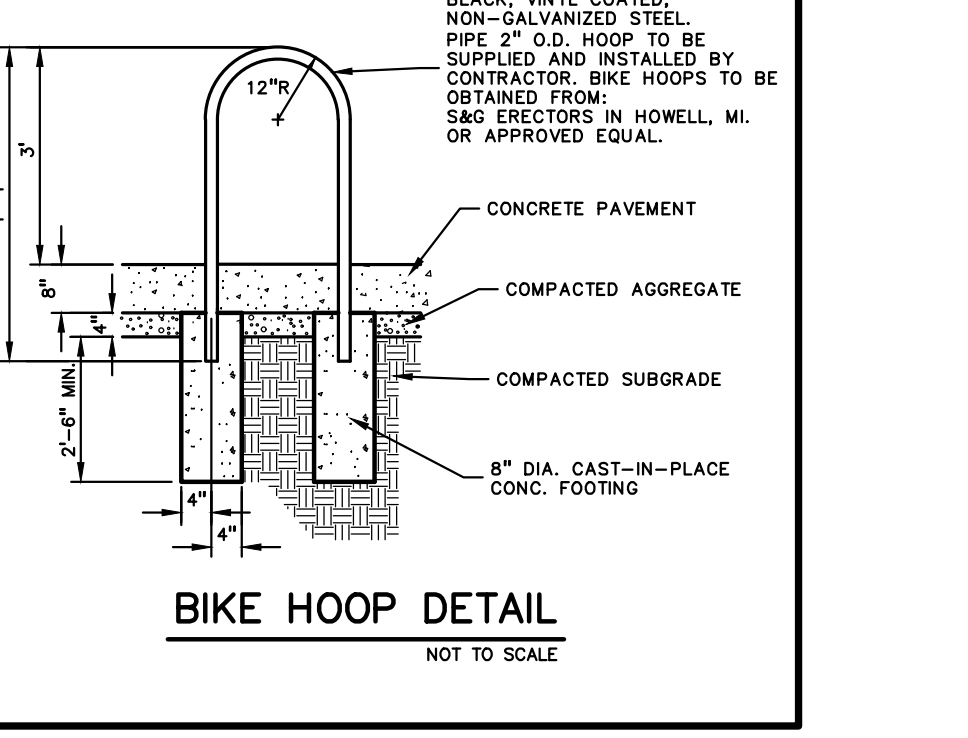
**BARRIER FREE PARKING SYMBOL DETAIL (INTERNATIONAL SYMBOL OF ACCESSIBILITY)**  
 NOT TO SCALE



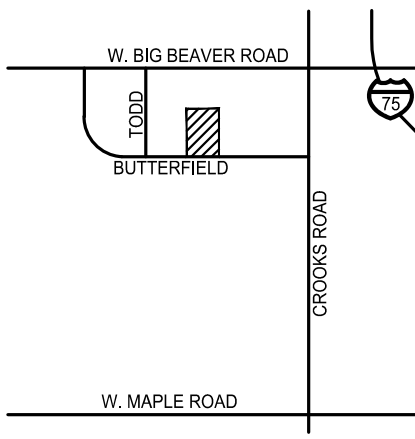
**INTEGRAL CURB AND SIDEWALK**  
 NOT TO SCALE



**STRIPED CROSSWALK DETAIL**  
 NOT TO SCALE



**BIKE HOOP DETAIL**  
 NOT TO SCALE



CLIENT  
**EUREKA BUILDING COMPANY**  
 5960 LIVERNOIS  
 TROY, MI

PROJECT TITLE  
**CENTER COURT DEVELOPMENT**  
 BUTTERFIELD RD EAST OF TODD DR  
 TROY, MI

REVISIONS	CITY COMMENTS
	10/06/21

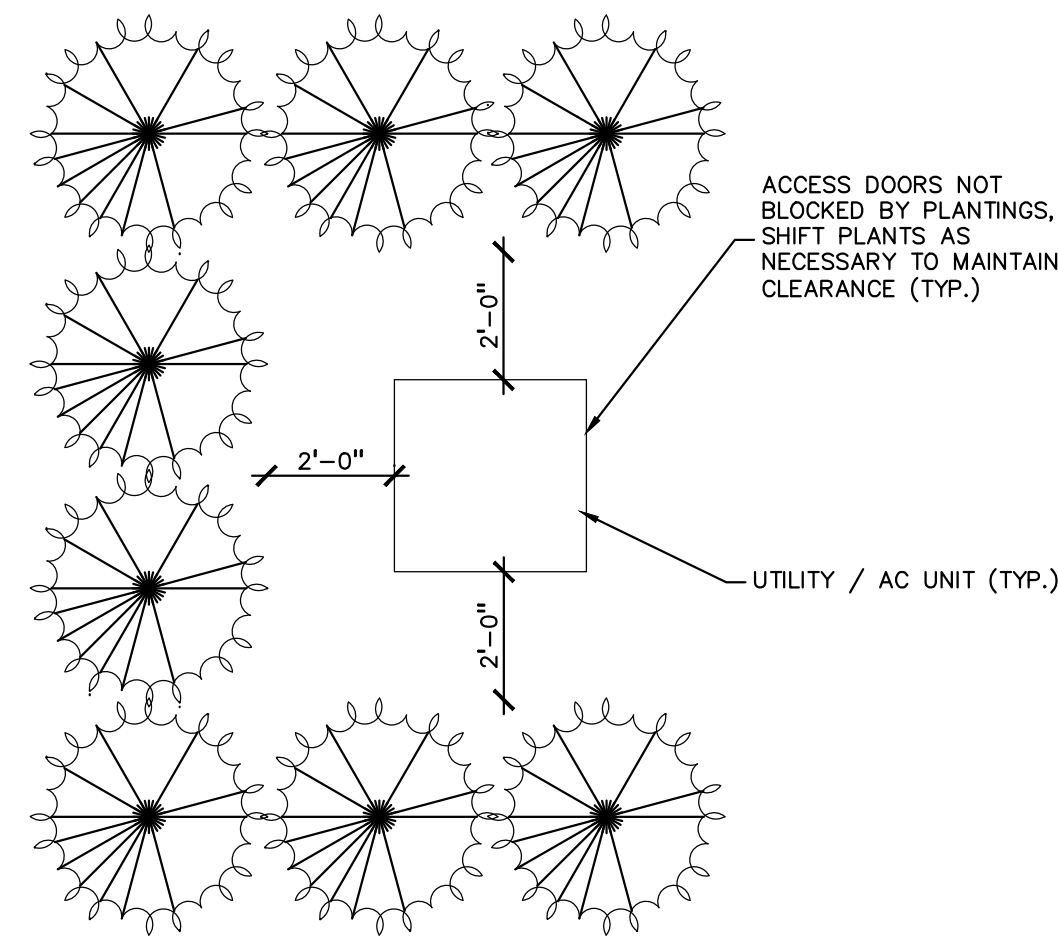
ORIGINAL ISSUE DATE:  
 SEPTEMBER 10, 2021

DRAWING TITLE  
**NOTES AND DETAILS**

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

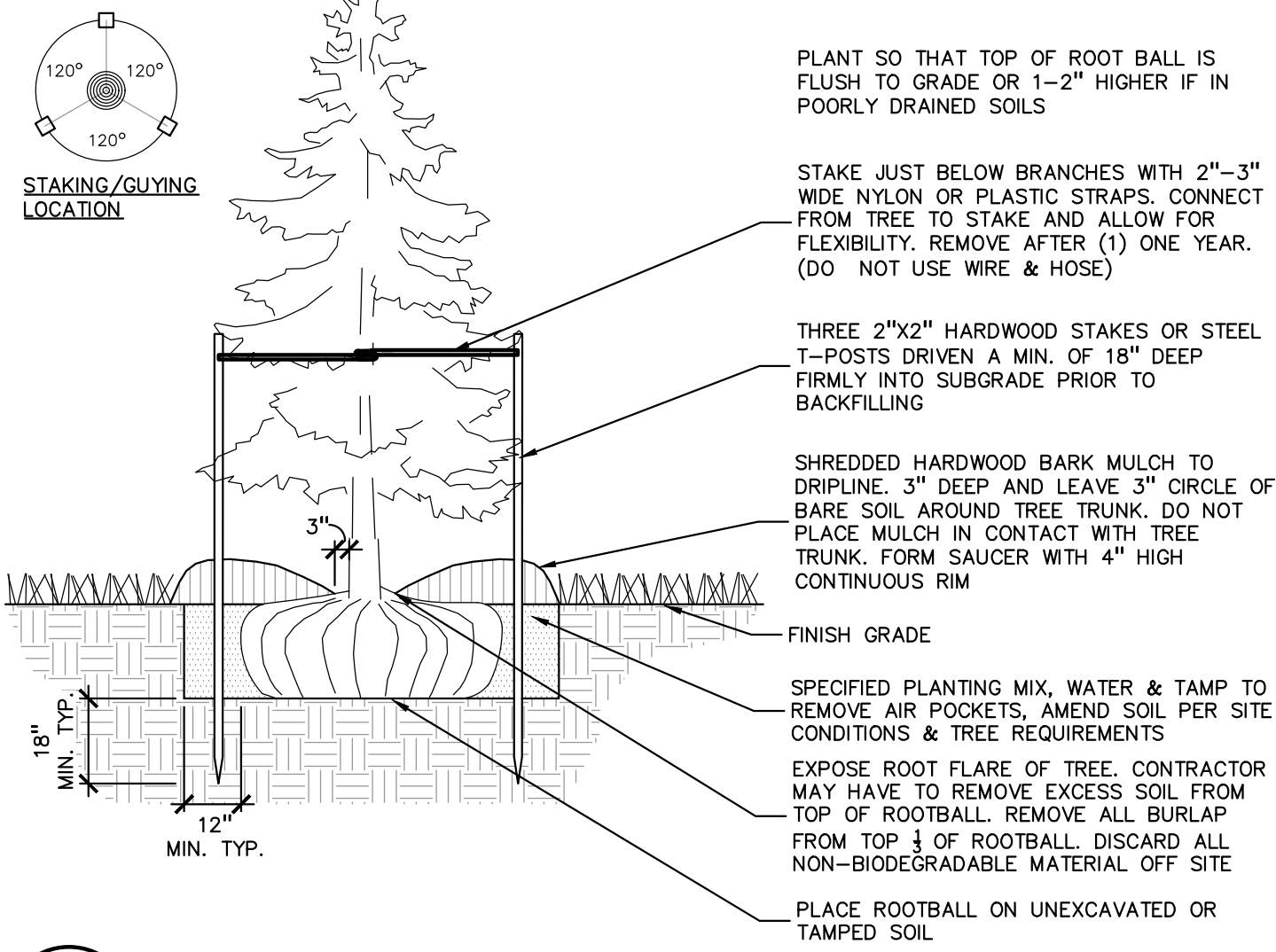
**NOT FOR CONSTRUCTION** **C-5.0**

S:\PROJECTS\2021\0021-0134 EUREKA (BUTTERFIELD)\MISC\SITE PLANS\C-5.0 DETAILS-21-0134.dwg



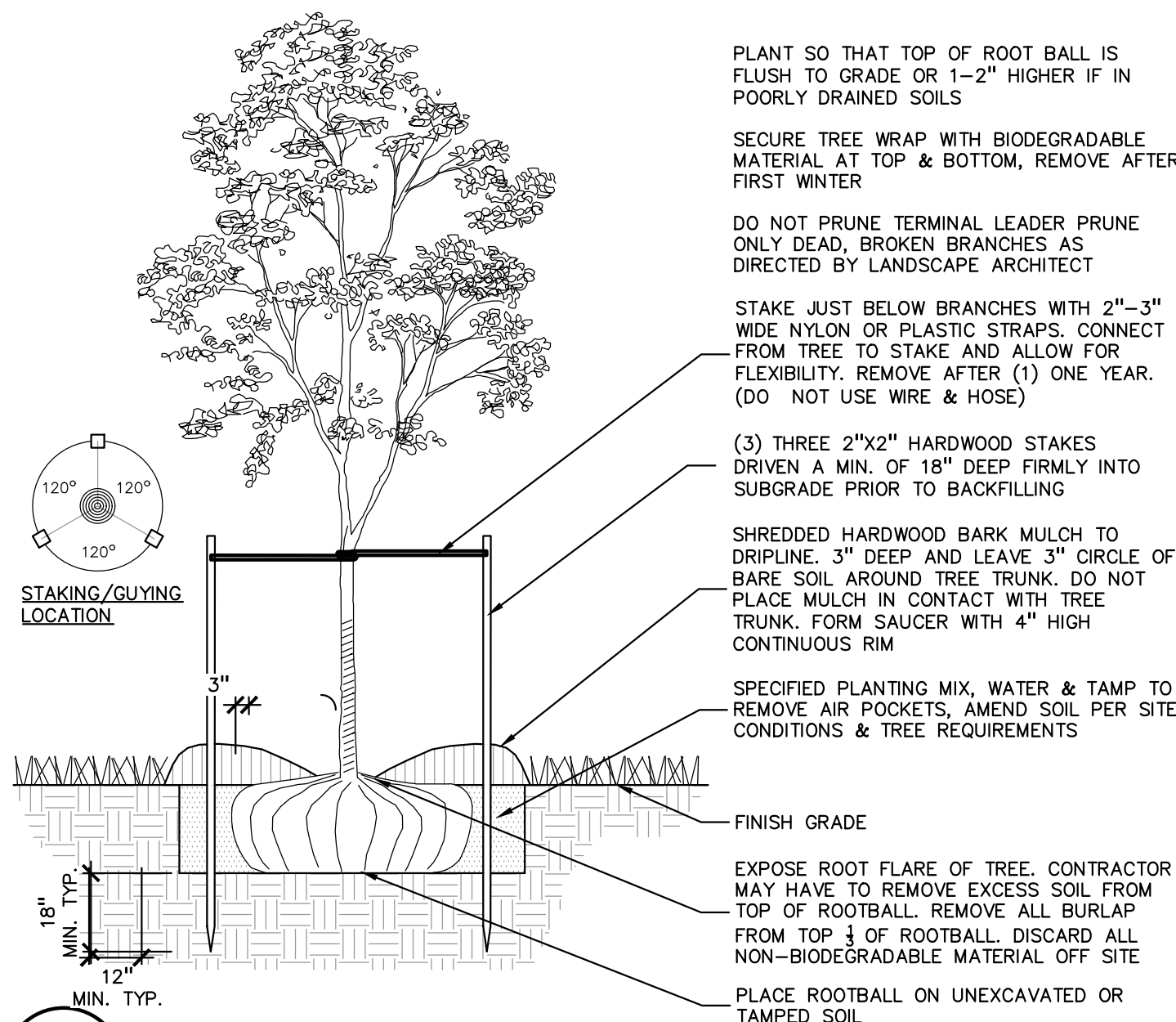
**3 UTILITY SCREENING DETAIL**

SCALE: 1" = 3'-0"



**2 EVERGREEN TREE PLANTING DETAIL**

SCALE: 1" = 3'-0"



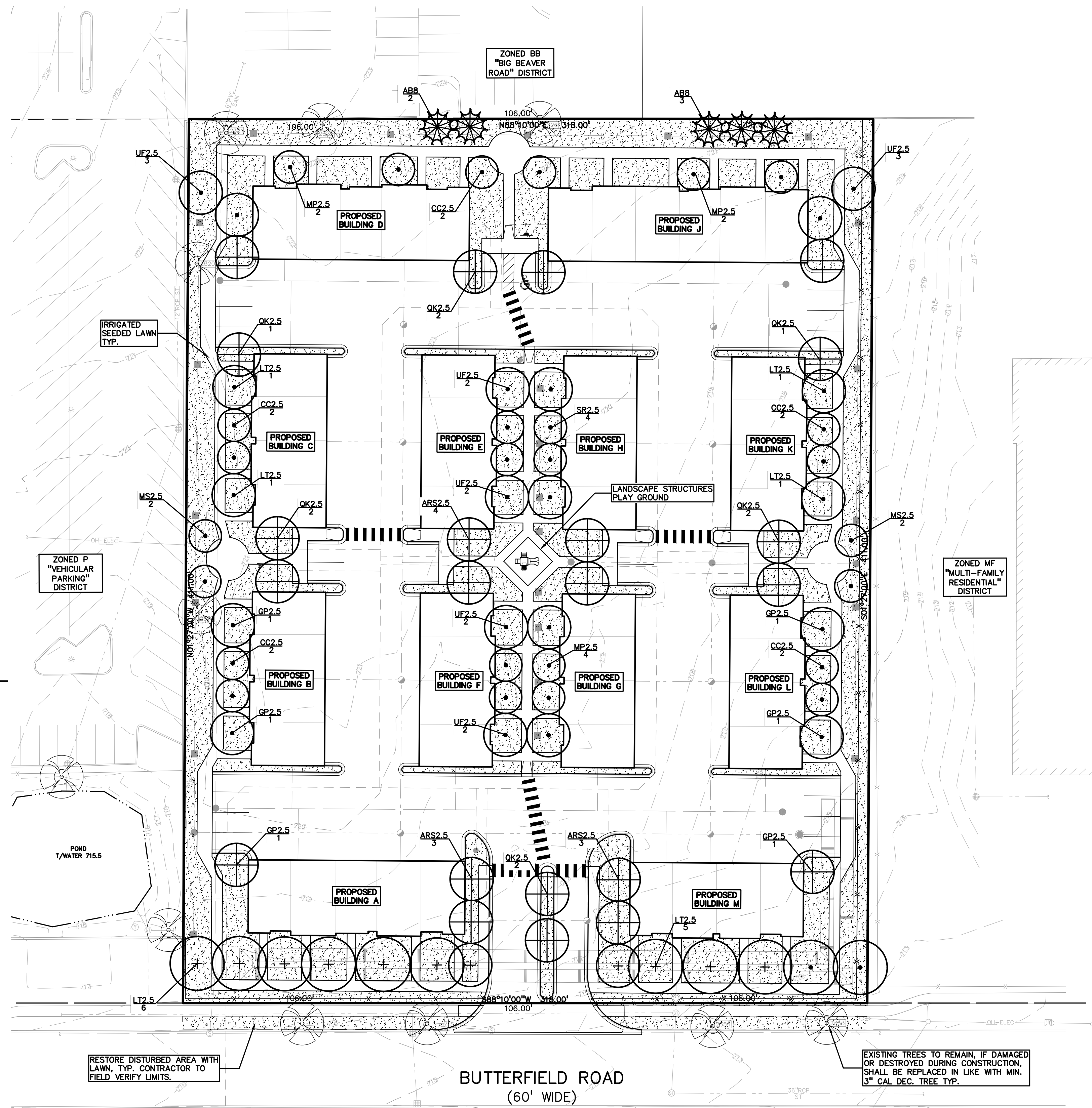
**1 DECIDUOUS TREE PLANTING DETAIL**

SCALE: 1" = 3'-0"

DECIDUOUS TREE PLANT LIST:						
QUANTITY	KEY SYM BOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	
10	ARS.5	Scarlet Sentinel Maple	<i>Acer rubrum 'Scarson' (upright vase shape)</i>	2.5" Cal.	B&B	
10	CC2.5	Eastern Redbud	<i>Cercis canadensis</i>	2.5" Cal.	B&B	
8	MP2.5	Prairiefire Crab	<i>Malus 'Prairiefire'</i>	2.5" Cal.	B&B	
4	MS2.5	Sugar Tyme Crab	<i>Malus 'Sugar Tyme'</i>	2.5" Cal.	B&B	
6	GP2.5	Princeton Sentry Ginkgo	<i>Ginkgo biloba 'Princeton Sentry'</i>	2.5" Cal.	B&B	
10	QK2.5	Kindred Spirit Oak	<i>Quercus robur x bicolor 'Nadler' (columnar)</i>	2.5" Cal.	B&B	
4	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata 'Ivory Silk'</i>	2.5" Cal.	B&B	
15	LT2.5	Tulip Tree	<i>Liriodendron tulipifera</i>	2.5" Cal.	B&B	
14	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B	
81	TOTAL DECIDUOUS TREES					

EVERGREEN TREE PLANT LIST:						
QUANTITY	KEY SYM BOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	
5	ABB	Balsam Fir	<i>Abies balsamea</i>	8" HL	B&B	
5	TOTAL EVERGREEN TREES					



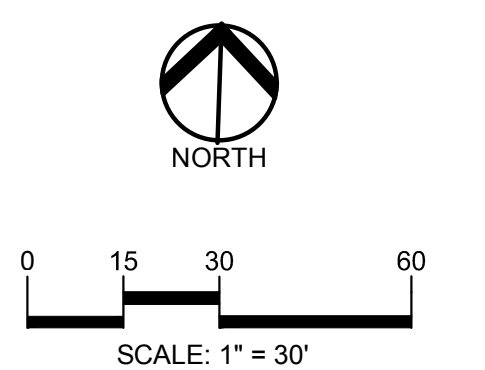
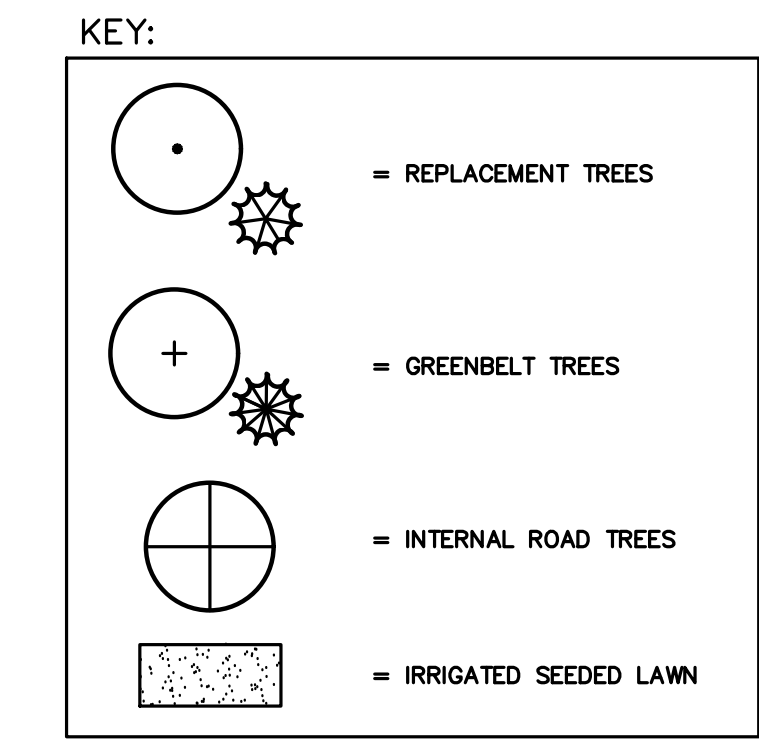
**LANDSCAPE CALCULATIONS:**  
PER CITY OF TROY ZONING ORDINANCE FORM BASE DISTRICT MF, MULTIFAMILY

5.03 C-1a. = GENERAL SITE LANDSCAPE  
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL  
130,695 SQ.FT. SF x 20 % = 26,139 SF LANDSCAPE AREA REQUIRED  
PROVIDED: 11,333 SF LANDSCAPED AREA (30%)

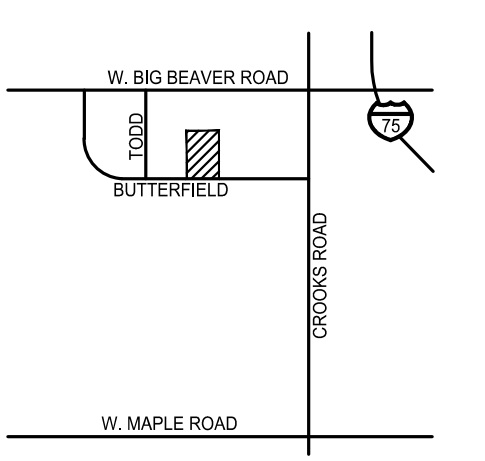
13.02 D2. = GREENBELT  
REQUIRED: 1 TREE / 30 LF OF FRONTAGE TO PUBLIC RD.  
E SQUARE LAKE ROAD = 318 LF FRONTAGE / 30 = 10.60 = 11 TREES  
PROVIDED: 11 PROPOSED TREES

TREE REPLACEMENT:  
REQUIRED:  
WOODLAND: 30 CALIPER INCHES  
LANDMARK: 102 CALIPER INCHES  
TOTAL: 132 CALIPER INCHES OR (53) 2.5" TREES  
PROVIDED: 53 TREES  
SEE TREE PRESERVATION PLAN, T-1.0, FOR TREE REMOVALS AND CALCULATIONS.

- GENERAL PLANTING NOTES:**
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
  - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
  - ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
  - THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
  - ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
  - ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
  - ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
  - ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
  - ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
  - NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
  - ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
  - IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
  - ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS, SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
  - ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
  - SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
  - CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.



**CAUTION!**  
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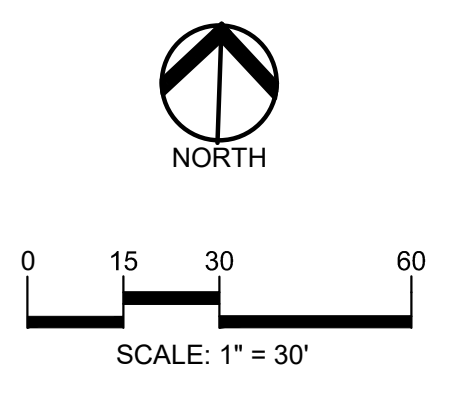
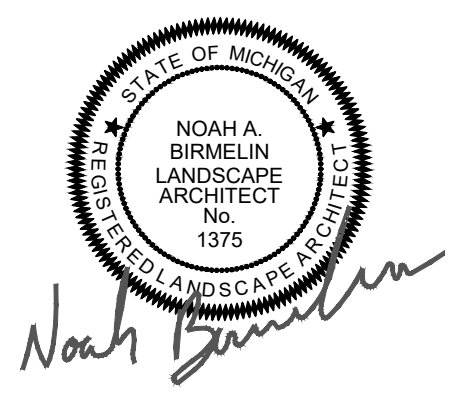
CLIENT  
**EUREKA BUILDING COMPANY**  
5960 LIVERNOIS  
TROY, MI

PROJECT TITLE  
**CENTER COURT DEVELOPMENT**  
BUTTERFIELD RD EAST OF TODD DR  
TROY, MI

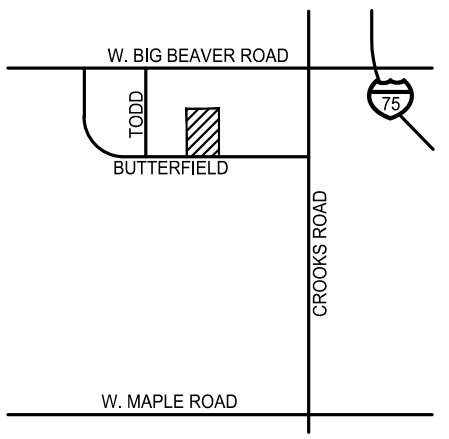
REVISIONS


ORIGINAL ISSUE DATE:  
SEPTEMBER 10, 2021  
DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN**

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**EUREKA BUILDING COMPANY**  
5960 LIVERNOIS  
TROY, MI

PROJECT TITLE  
**CENTER COURT DEVELOPMENT**  
BUTTERFIELD RD EAST OF TODD DR  
TROY, MI

REVISIONS

NO.	DATE	DESCRIPTION

ORIGINAL ISSUE DATE:  
SEPTEMBER 10, 2021

DRAWING TITLE  
**TREE PRESERVATION PLAN**

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

TAG	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
2301	AM	6	Amur Maple	Acer Ginnala	Fair		INVASIVE	R	N	-
2302	SU	13	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
2303	NM	21	Norway Maple	Acer platanoides	Good		INVASIVE	R	Y	-
2304	WS	20	White Spruce	Picea glauca	Good		LANDMARK	R	Y	REPLACE
2305	SM	19	Silver Maple	Acer saccharinum	Fair	x2	INVASIVE	R	Y	-
2306	GA	7	Green Ash	Fraxinus pennsylvanica	Fair		INVASIVE	R	Y	-
2307	GA	7	Green Ash	Fraxinus pennsylvanica	Fair		INVASIVE	R	Y	-
2308	GA	6	Green Ash	Fraxinus pennsylvanica	Fair		INVASIVE	R	Y	-
2309	WC	7	White Cedar	Thuja occidentalis	Fair		WOODLAND	R	Y	REPLACE
2310	WC	7	White Cedar	Thuja occidentalis	Good		WOODLAND	R	Y	REPLACE
2311	BX	6	Box elder	Acer negundo	Fair		INVASIVE	R	Y	-
2312	WC	6	White Cedar	Thuja occidentalis	Fair		WOODLAND	R	Y	REPLACE
2313	WC	6	White Cedar	Thuja occidentalis	Poor		WOODLAND	R	Y	-
2314	WC	6	White Cedar	Thuja occidentalis	Poor		WOODLAND	R	Y	-
2315	WC	6	White Cedar	Thuja occidentalis	Poor		WOODLAND	R	Y	-
2316	SM	24	Silver Maple	Acer saccharinum	Good		INVASIVE	R	Y	-
2317	GA	7	Green Ash	Fraxinus pennsylvanica	Fair	x3	INVASIVE	R	Y	-
2318	GA	6	Green Ash	Fraxinus pennsylvanica	Poor	x2	INVASIVE	R	Y	-
2319	BX	6	Box elder	Acer negundo	Fair		INVASIVE	S	Y	-
2320	SM	11	Silver Maple	Acer saccharinum	Good	x5	INVASIVE	S	Y	-
2321	BX	6	Box elder	Acer negundo	Poor	x1	INVASIVE	S	Y	-
2322	BX	7	Box elder	Acer negundo	Fair		INVASIVE	R	Y	-
2323	BX	8	Box elder	Acer negundo	Fair		INVASIVE	R	Y	-
2324	BX	9	Box elder	Acer negundo	Fair		INVASIVE	R	Y	-
2325	BX	7	Box elder	Acer negundo	Fair	x2	INVASIVE	S	Y	-
2326	EE	12	Siberian Elm	Ulmus pumila	Good		INVASIVE	S	Y	-
2327	CY	44	Bald Cypress	Taxodium distichum	Fair		LANDMARK	R	Y	REPLACE
2328	SM	20	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
2329	CT	7	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2330	CT	7	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2331	CT	7	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
2332	CT	13	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2333	CT	13	Cottonwood	Populus deltoides	Good	x1	INVASIVE	R	Y	-
2334	WS	15	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
2335	CT	10	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2336	CT	8	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2337	CT	12	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2338	CT	9	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2339	CT	6	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
2340	CT	7	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
2341	CT	9	Cottonwood	Populus deltoides	Good	x2	INVASIVE	R	Y	-
2342	CT	8	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2343	CT	6	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2344	CT	7	Cottonwood	Populus deltoides	Good		INVASIVE	R	Y	-
2345	CT	9	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
2346	MV	6	White Mulberry	Morus alba	Fair		INVASIVE	R	Y	-
2347	SM	17	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
2348	RP	18	Red Pine	Pinus resinosa	Fair		LANDMARK	R	Y	REPLACE
2349	SM	20	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
2350	MV	6	White Mulberry	Morus alba	Fair		INVASIVE	R	Y	-
2351	SM	21	Silver Maple	Acer saccharinum	Poor		INVASIVE	R	Y	-
2352	AU	20	Austran Pine	Pinus nigra	Fair		LANDMARK	R	Y	REPLACE
2353	AM	6	Amur Maple	Acer Ginnala	Fair		INVASIVE	S	N	-
2354	AM	6	Amur Maple	Acer Ginnala	Poor		INVASIVE	S	N	-
2355	BS	11	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
2356	SM	23	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
2357	SM	19	Silver Maple	Acer saccharinum	Poor		INVASIVE	R	Y	-

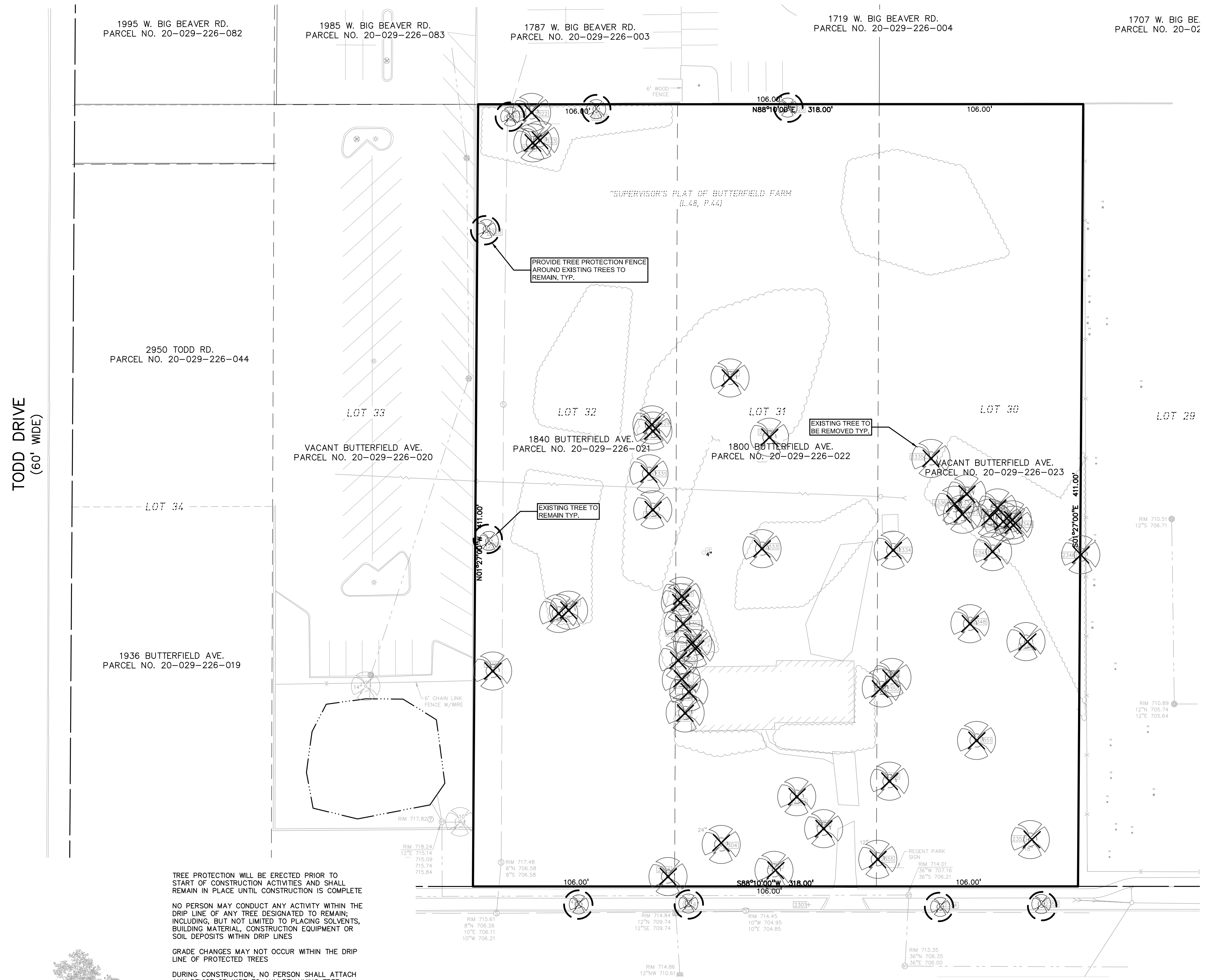
**TREE INVENTORY/PRESERVATION CALCULATIONS**

WOODLAND TREES		
WOODLAND TREES REMOVED:	6	(REPLACE AT 50% OF REMOVED DBH)
59" DBH x 0.5 =	30"	REPLACEMENT
WOODLAND TREES SAVED:	0	(CREDIT OF 2X DBH)
" DBH x 2 =	"	CREDIT
29.5 - 0 =	29.5	
30" " DBH REQUIRED FOR WOODLAND REPLACEMENT		
LANDMARK TREES		
LANDMARK TREES REMOVED:	4	(REPLACE AT 100% OF REMOVED DBH)
102" DBH x 1 =	102"	REPLACEMENT
LANDMARK TREES SAVED:	0	(CREDIT OF 2X DBH)
" DBH x 2 =	"	CREDIT
102 - 0 =	102	
131.5" TOTAL DBH REQUIRED FOR REPLACEMENT		

KEY:

- = EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCE
- = EXISTING TREES TO BE REMOVED

**REPLACEMENT TREE SUMMARY:**  
NOT INCLUDED FOR REPLACEMENT ARE DEAD, DAMAGED, DISEASED, INVASIVE SPECIES AND OFF SITE TREES.  
TREE REPLACEMENT: NONE REQUIRED, SINCE THE 21 TREES TO BE REMOVED ARE EXEMPT DUE TO SPECIES.



TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

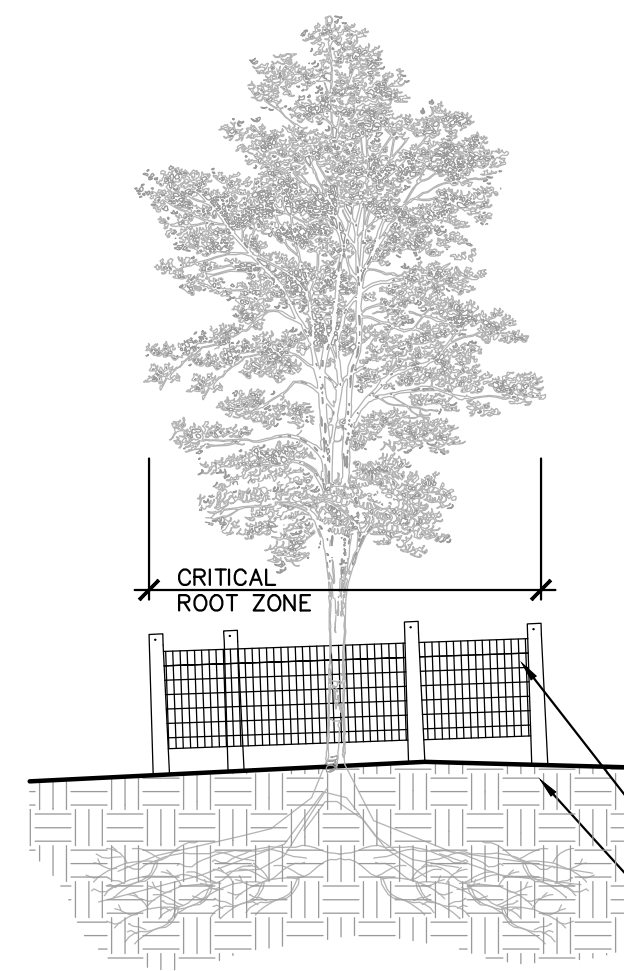
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

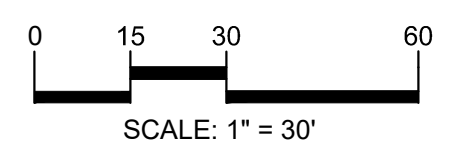
FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND



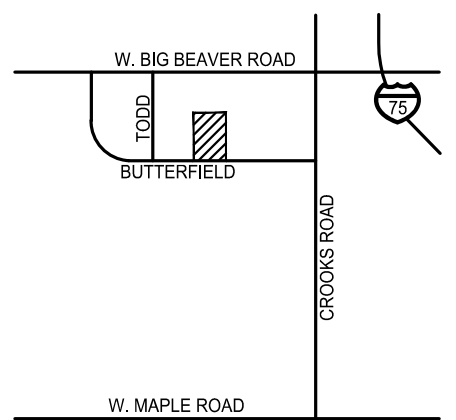
**1 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"

S:\PROJECTS\2021\0134 EUREKA (BUTTERFIELD)\MISC SITE PLANS\1-10 TREE-21-0134.dwg





**CAUTION!**  
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CLIENT  
**EUREKA BUILDING COMPANY**  
5960 LIVERNOIS  
TROY, MI

PROJECT TITLE  
**CENTER COURT DEVELOPMENT**  
BUTTERFIELD RD EAST OF TODD DR  
TROY, MI

REVISIONS	CITY COMMENTS	DATE
		10/06/21

ORIGINAL ISSUE DATE:  
SEPTEMBER 10, 2021

DRAWING TITLE  
**PRELIMINARY SITE LIGHTING**

PEA JOB NO. 2021-0134

P.M. JPB

DN. KR D

DES. GMB

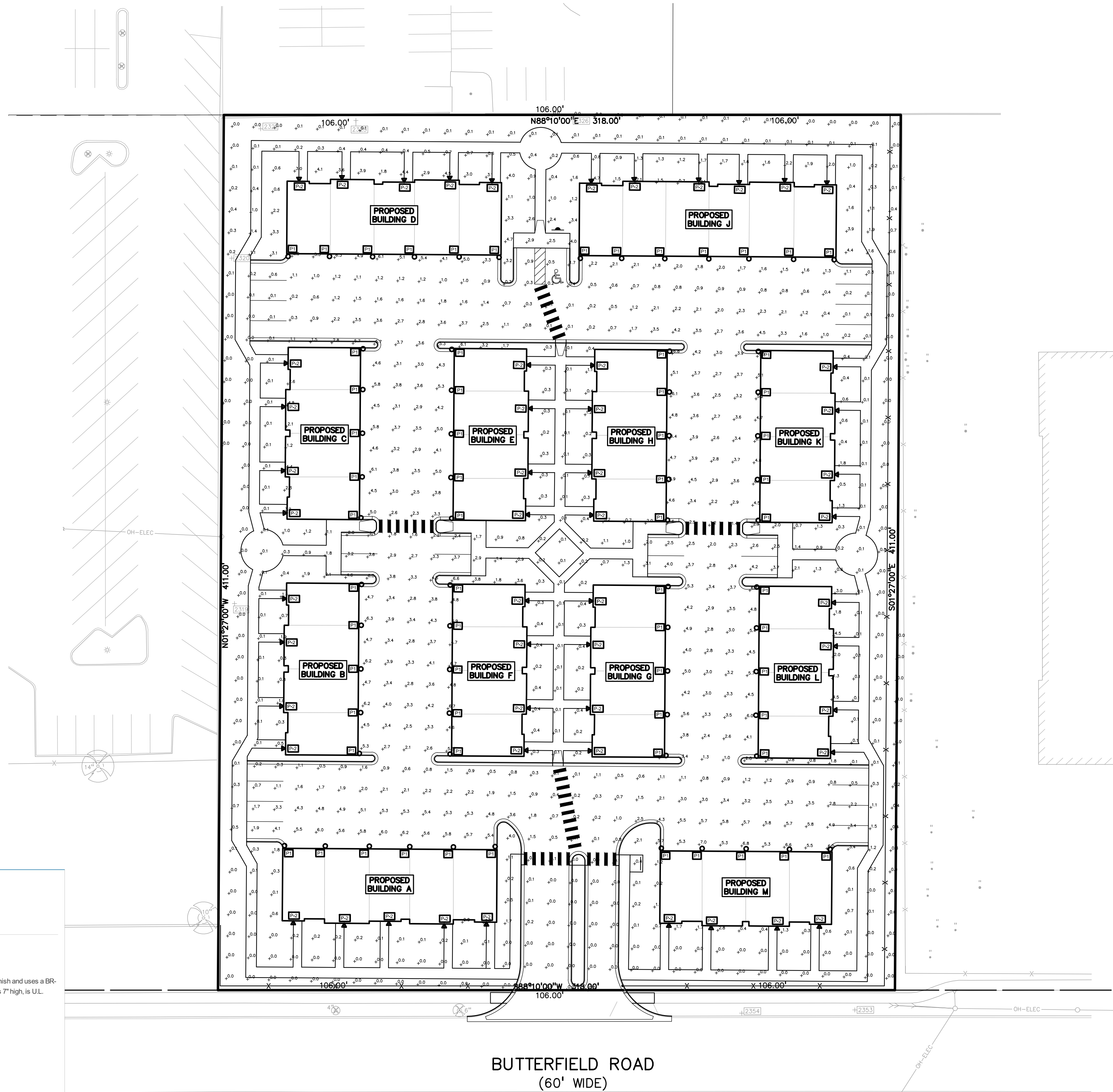
DRAWING NUMBER:

**GENERAL SITE LIGHTING NOTES:**

1. THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
2. ALL POLES ARE TO BE MOUNTED ON CONCRETE PEDESTALS 2 FEET ABOVE GRADE AS SHOWN IN DETAIL.
3. ALL POLES LOCATED OUTSIDE OF THE PARKING LOT AREA SHALL BE LOCATED 3 FEET FROM BACK OF CURB OR EDGE OF SIDEWALKS.
4. SHOP DRAWINGS FOR THE ELECTRICAL WIRING OF THE FIXTURES NEED TO BE SUPPLIED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR COORDINATION OF UNDERGROUND CONDUIT AND APPROVAL OF LAYOUT.
5. ALL AREA LIGHT FIXTURES ARE TO BE DOWNWARD DIRECTED.
6. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIALS AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
7. COORDINATE LIGHT FIXTURE PLACEMENT AND INSTALLATION WITH LANDSCAPE.
8. ALL CONDUCTORS SHALL BE IN CONDUIT.

**SITE PHOTOMETRIC DATA:**

	ALLOWED	PROPOSED
1. FIXTURE HEIGHT SITE:	25 FT. (MAX)	10 FT. (MAX)
2. FOOTCANDLE AT PROP LINE:	1.0 Fc. (MAX)	0.4 Fc. (MAX)
3. FOOTCANDLE AT ROW LINE:	1.0 Fc. (MAX)	0.4 Fc. (MAX)
4. SITE FOOTCANDLE MAX.:	10.0 Fc. (MAX)	7.0 Fc. (MAX)



**KICHLER**  
Style to Live by™



1 Light Outdoor Wall Cylinder in BA 9234BA (Brushed Aluminum)

**Product Description:**

This one light Wall Cylinder features our Brushed Aluminum finish and uses a BR-30 bulb that produces 65-watts (max) of pure light. It measures 7" high, is U.L. listed for wet location, and is a Dark Skies compliant fixture.

**Available Finishes**

Architectural Bronze  
Brushed Aluminum  
White

**Technical Information**

Weight:	0.95 LBS
Safety Rated:	Wet
HCWC:	3.50"
Base Backplate:	5.00"
Width:	4.75"
Height:	7.00"
Lamp Included:	Not Included
Extension:	7.00"
Voltage:	120V
CFL Bulb Type:	HYBRID (13-15W)
Light Source:	Incandescent
Socket Base:	Medium
Number of Bulbs:	1
Lamp Type:	A19
Max Watt:	65W
Finish:	Brushed Aluminum

Project	Type	Ordering #	Comments

BUTTERFIELD ROAD  
(60' WIDE)

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
○	P1* (10' HEIGHT)	64	Lithonia Lighting	DSXW1 LED 20C 1000 AMBPC TFM MVOLT HS	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, AMBER PC. @ 1000mA WITH HOUSE-SIDE SHIELDS.	LED	1	DSXW1_LED_20C_10 00_AMBPC_TFM_MVO LT_HS.ies	3556	0.95	73.2
△	P2* (6' HEIGHT)	52	Lithonia Lighting	DSXW1 LED 10C 350 AMBPC T2S MVOLT HS	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, AMBPC. @ 700mA WITH HOUSE- SIDE SHIELDS.	LED	1	DSXW1_LED_10C_35 0_AMBPC_T2S_MVOL T_HS.ies	788	0.95	13.3

\*BECAUSE AN IES FILE IS NOT AVAILABLE FOR THE FIXTURE TO BE INSTALLED, THE IES FILE FROM A COMPARABLE FIXTURE WAS USED.

NOT FOR CONSTRUCTION

**SL-1.0**

# CENTER COURT DEVELOPMENT

## TROY, MICHIGAN

INDEX OF DRAWINGS	
T-1	TITLE SHEET
4-UNIT BUILDING	
A0.1	FOUNDATION PLAN
A10	LOWER LEVEL FLOOR PLAN
A11	MAIN LEVEL FLOOR PLAN
A12	UPPER LEVEL FLOOR PLAN
A13	FRONT ELEVATION
A14	SIDE ELEVATION
5-UNIT BUILDING	
A0.2	FOUNDATION PLAN
A20	LOWER LEVEL FLOOR PLAN
A21	MAIN LEVEL FLOOR PLAN
A22	UPPER LEVEL FLOOR PLAN
A23	FRONT ELEVATION
A24	SIDE ELEVATION

'A' UNIT AREAS - 4 & 5 UNIT BUILDING	
LOWER LEVEL	285 SF
FIRST FLOOR	692 SF
SECOND FLOOR	740 SF
TOTAL	1,717 SF

CODE COMPLIANCE	
CODE: 2015 MICHIGAN RESIDENTIAL CODE TOWNHOUSE OPTION	
TENANT SEPARATION:	2 HOUR
FIRE SUPPRESSION:	N/A
TYPE A DWELLING UNITS:	N/A (MULTI-STORY DWELLING UNITS)

**CONTACT:**  
EUREKA BUILDING CO.  
CELL: 586.405.4080

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PROJECT  
CENTER COURT  
DEVELOPMENT  
TROY, MI

SUBJECT  
TITLE SHEET

ARKO DESIGN ASSOCIATES  
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382  
PH. (248) 802-8409

ISSUED:  
SITE PLAN REVIEW  
08-04-21

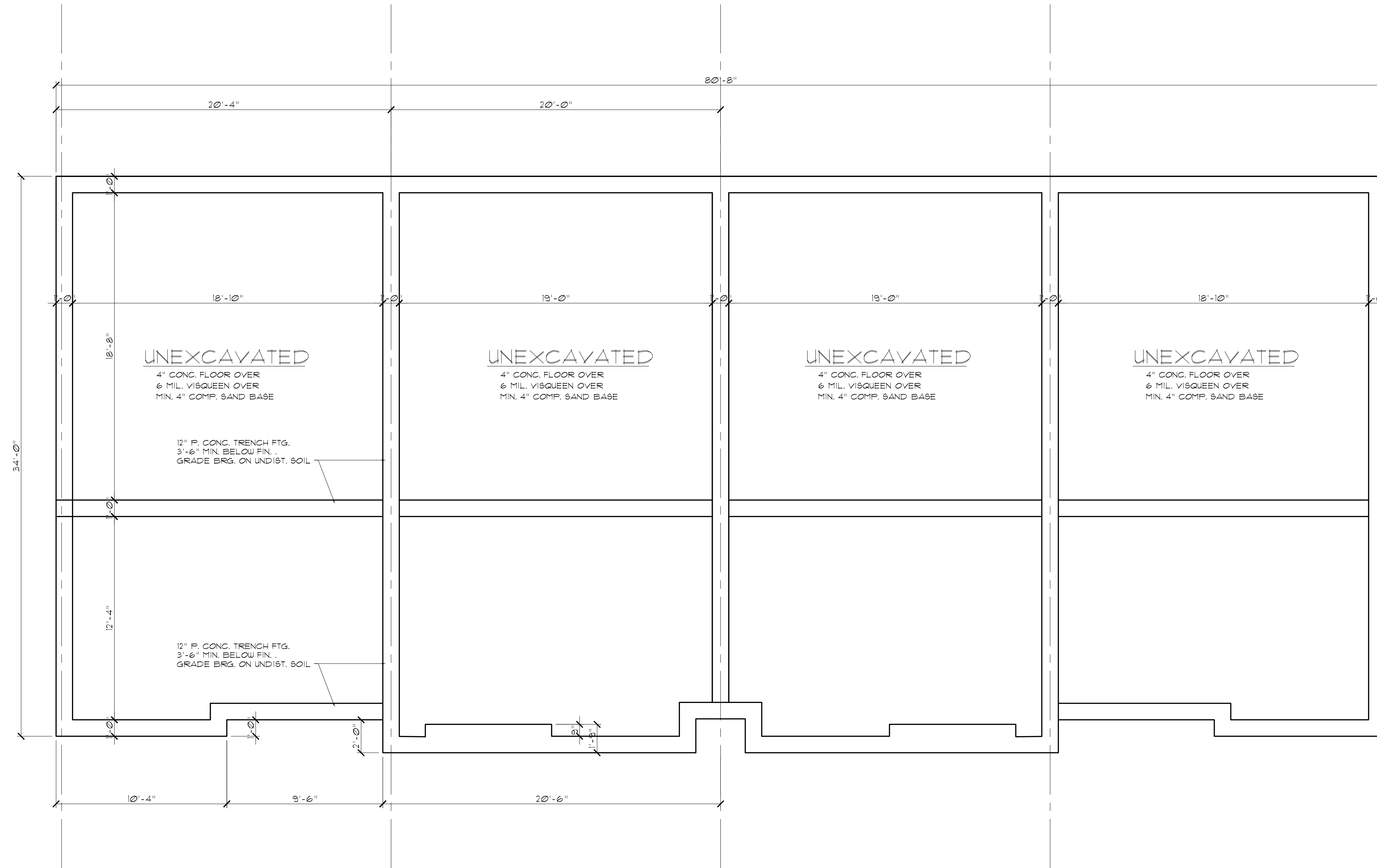
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CHECKED AK  
APPROVED AK  
BIDS  
CONSTR

DO NOT SCALE  
PRINTS - USE  
FIGURED  
DIMENSIONS ONLY

JOB NO.  
2021-10

SHEET  
T-1

CONDO  
DEVELOP.



4-UNIT BUILDING  
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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PROJECT  
CENTER COURT  
DEVELOPMENT  
TROY, MI

SUBJECT  
FOUNDATION PLAN

ARKO DESIGN ASSOCIATES  
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382  
PH. (248) 802-8409

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08-04-21

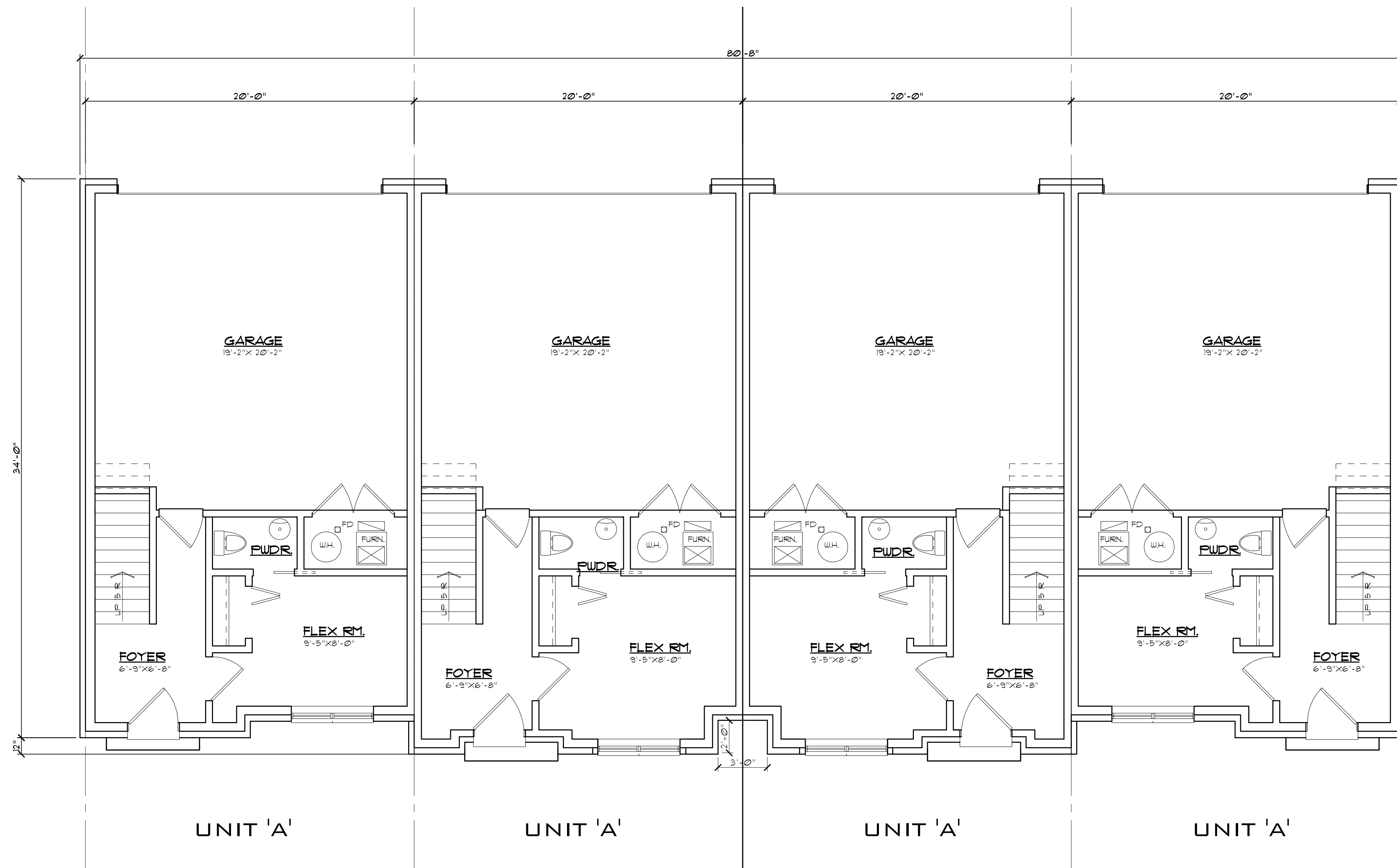
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APPROVED	AK
BIDS	
CONSTR	

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DIMENSIONS ONLY

JOB NO.  
2021-10

SHEET  
A1.01

CONDO  
DEVELOP.



4-UNIT BUILDING  
LOWER LEVEL PLAN

260 SF  
SCALE: 1/4" = 1'-0"

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PROJECT  
CENTER COURT  
DEVELOPMENT  
TROY, MI

SUBJECT  
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES  
2288 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382  
PH. (248) 802-8409

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08-04-21

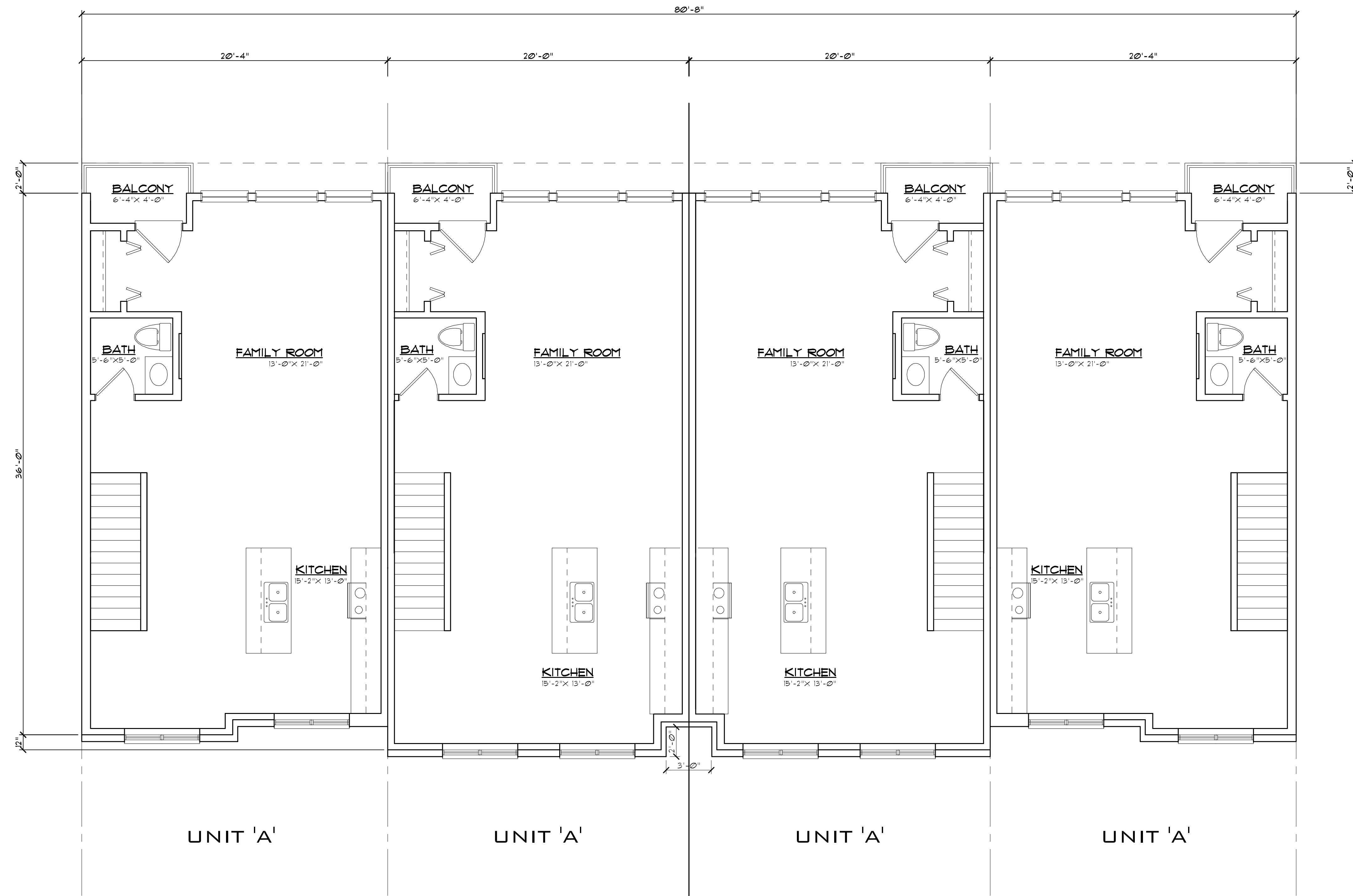
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CHECKED	AK
APPROVED	AK
BIDS	
CONSTR	

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DIMENSIONS ONLY

JOB NO.  
2021-10

SHEET  
A1.0

CONDO  
DEVELOP.



4-UNIT BUILDING  
MAIN LEVEL FLOOR PLAN

667 SF

SCALE: 1/4" = 1'-0"

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PROJECT  
CENTER COURT  
DEVELOPMENT  
TROY, MI

SUBJECT  
FIRST FLOOR PLAN

ARKO DESIGN ASSOCIATES  
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382  
PH. (248) 802-8409

ISSUED:  
SITE PLAN REVIEW  
08-04-21

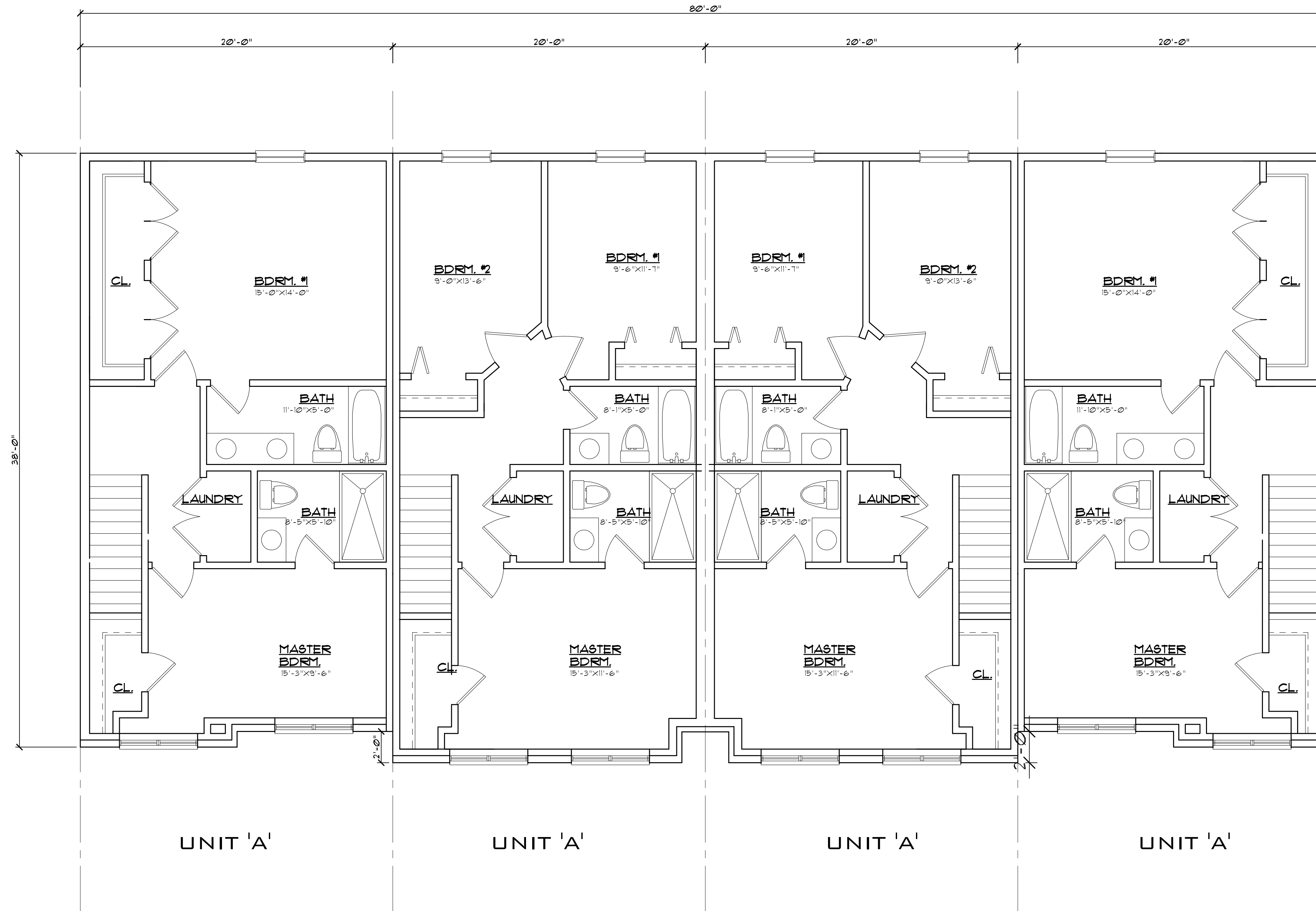
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APPROVED	AK
BIDS	
CONSTR	

DO NOT SCALE  
PRINTS - USE  
FIGURED  
DIMENSIONS ONLY

JOB NO.  
2021-10

SHEET  
A1.1

CONDO  
DEVELOP.



4-UNIT BUILDING  
UPPER FLOOR PLAN

700 SF

SCALE: 1/4" = 1'-0"

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PROJECT  
CENTER COURT  
DEVELOPMENT  
TROY, MI

SUBJECT  
UPPER LEVEL PLAN

ARKO DESIGN ASSOCIATES  
2288 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382  
PH. (248) 802-8409

ISSUED:  
SITE PLAN REVIEW  
08-04-21

DRAWN AK  
CHECKED AK  
APPROVED AK  
BIDS  
CONSTR

DO NOT SCALE  
PRINTS - USE  
FIGURED  
DIMENSIONS ONLY

JOB NO.  
2021-10

SHEET  
A1.2

CONDO  
DEVELOP.



FRONT ELEVATION - 4 UNIT BLDG.

SCALE: 1/4" = 1'-0"

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PROJECT  
 CENTER COURT  
 DEVELOPMENT  
 TROY, MI

SUBJECT  
 FRONT ELEVATION

ARKO DESIGN ASSOCIATES  
 2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382  
 PH. (248) 802-8409

ISSUED:  
 SITE PLAN REVIEW  
 08-04-21

DRAWN	AK
CHECKED	AK
APPROVED	AK
BIDS	
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DO NOT SCALE  
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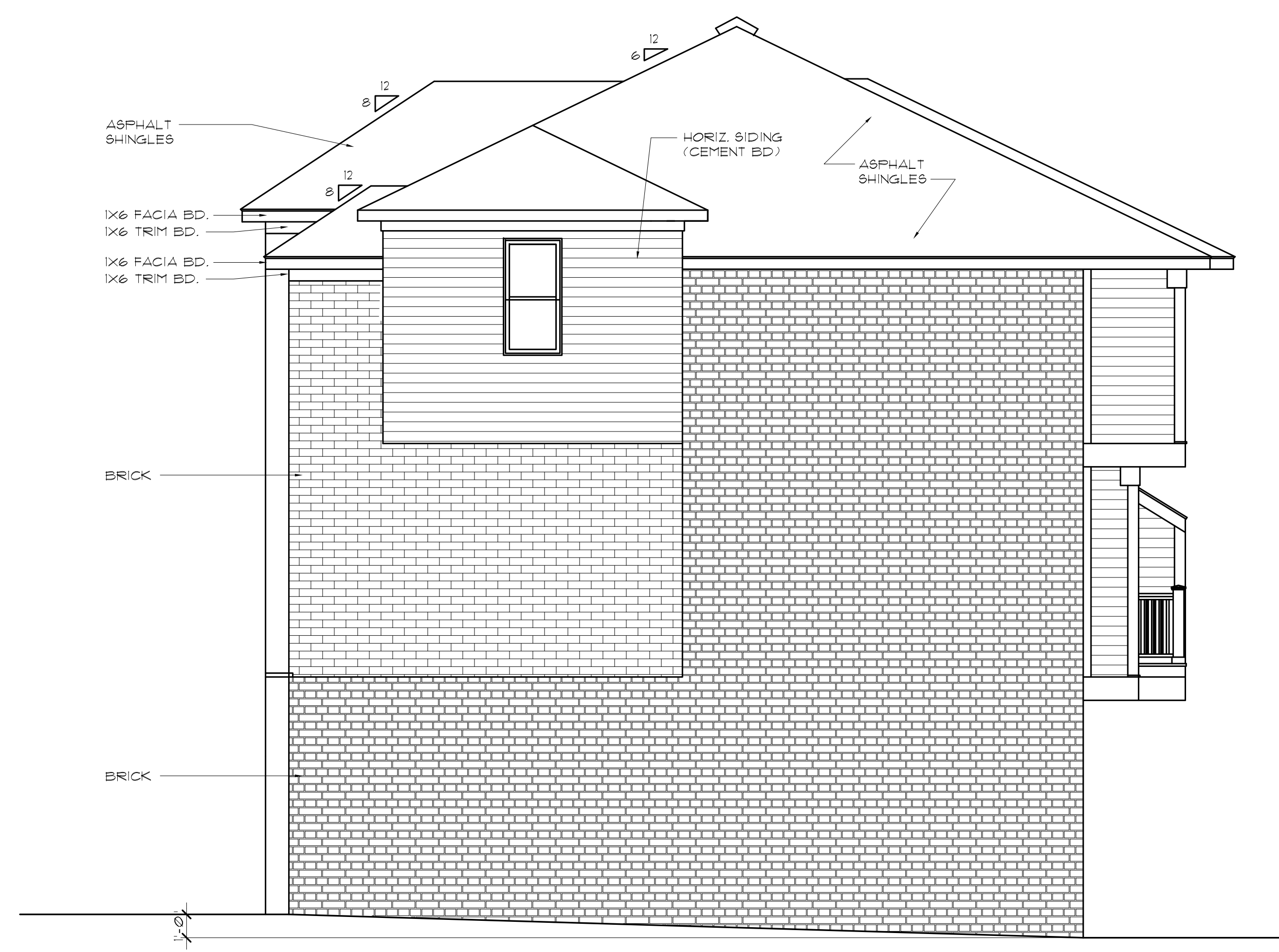
JOB NO.  
 2021-10

SHEET  
 A13

CONDO  
 DEVELOP.



REAR ELEVATION - 4 UNIT BLDG.  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION - 4 & 5 UNIT BLDG.  
SCALE: 1/4" = 1'-0"

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PROJECT  
CENTER COURT  
DEVELOPMENT  
TROY, MI

SUBJECT  
REAR ELEVATION,  
SIDE ELEVATION

ARKO DESIGN ASSOCIATES  
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382  
PH. (248) 802-8409

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SITE PLAN REVIEW  
08-04-21

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APPROVED AK  
BIDS  
CONSTR

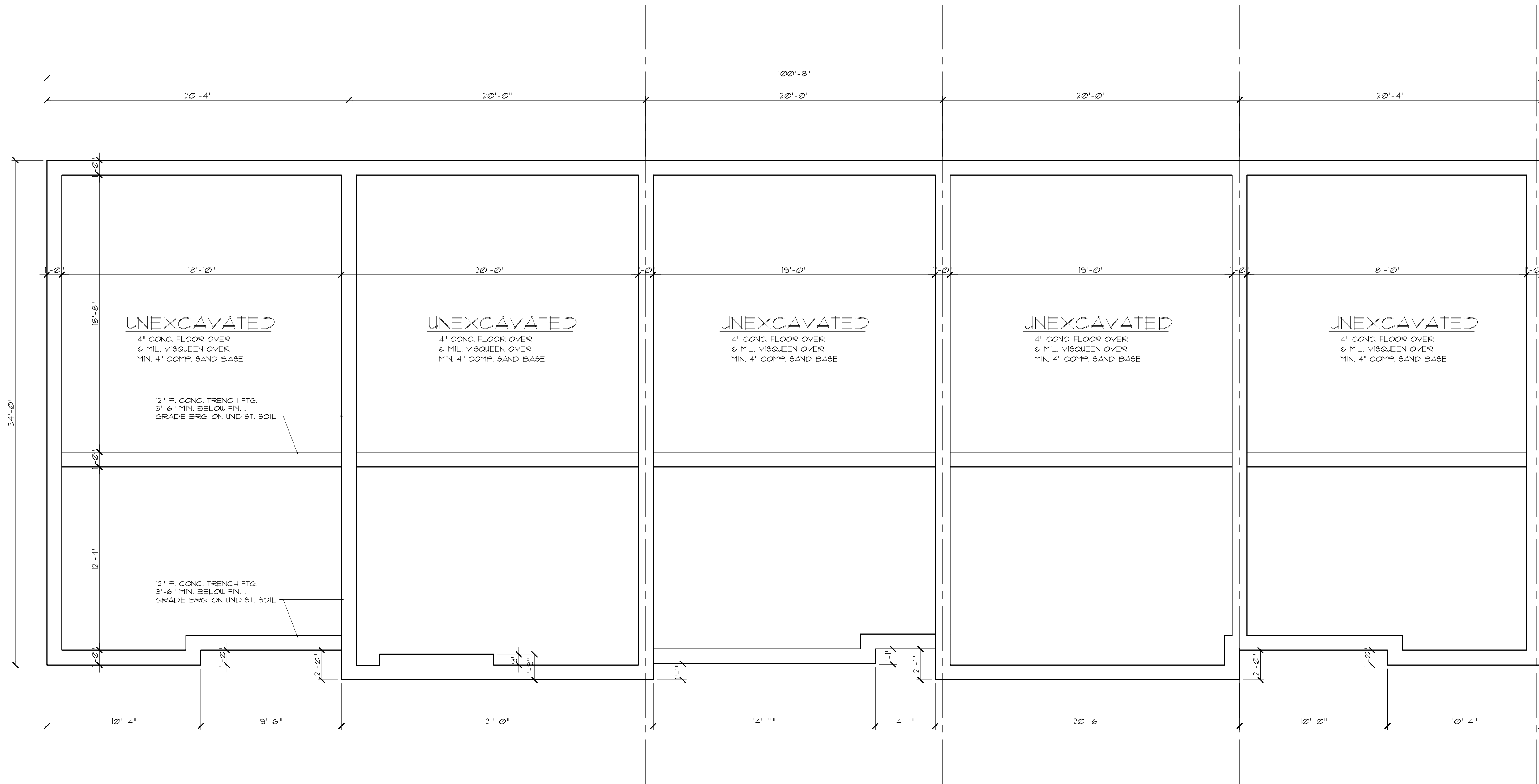
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2021-10

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DEVELOP.





**5-UNIT BUILDING  
FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

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PROJECT  
**CENTER COURT  
DEVELOPMENT**  
TROY, MI

SUBJECT  
**FOUNDATION PLAN**

**ARKO DESIGN ASSOCIATES**  
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PH. (248) 802-8409

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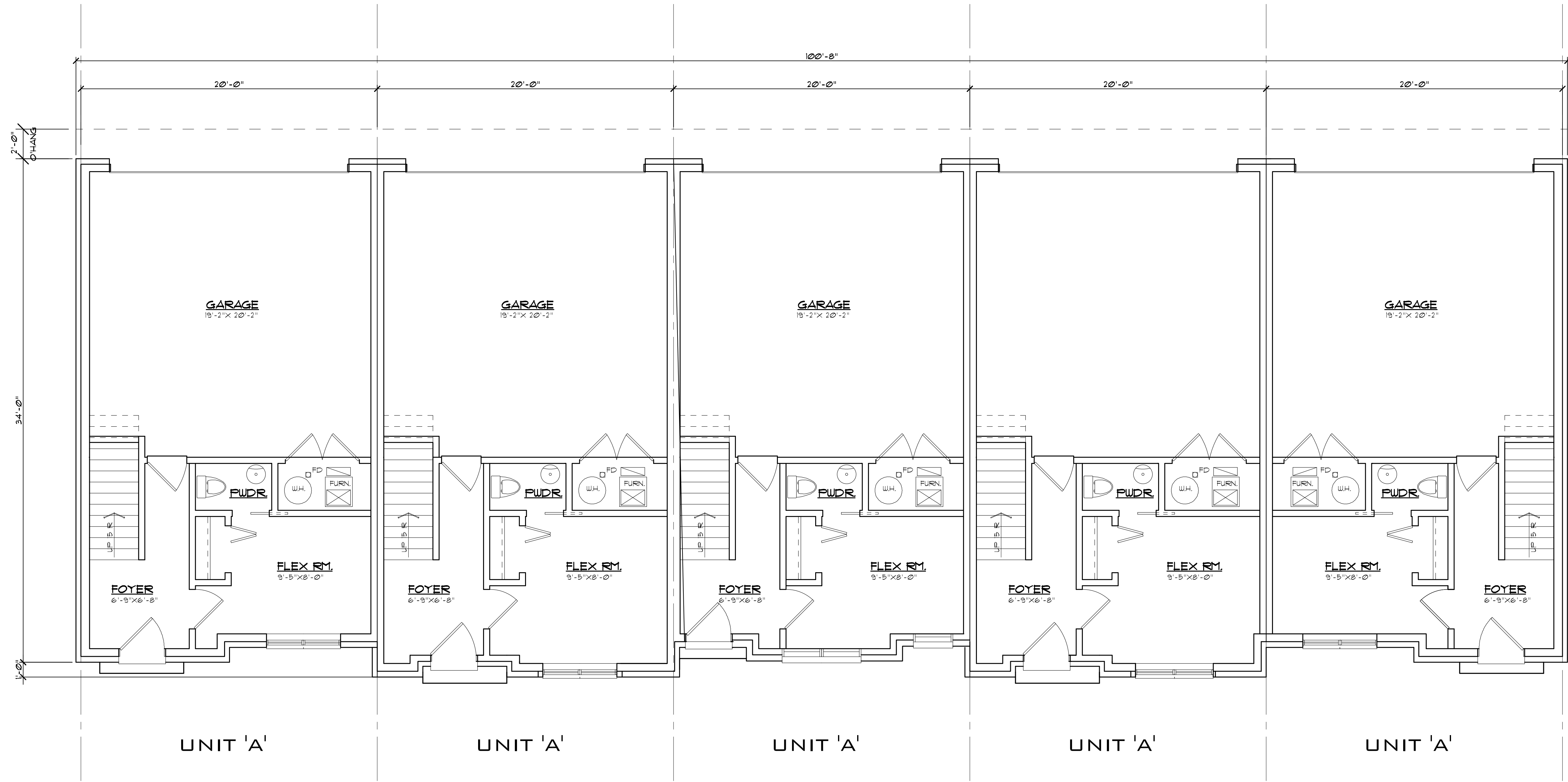
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**A0.2**

CONDO  
DEVELOP.



5-UNIT BUILDING  
LOWER LEVEL PLAN

260 SF  
SCALE: 1/4" = 1'-0"

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PROJECT  
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DEVELOPMENT  
TROY, MI

SUBJECT  
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES  
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PH. (248) 802-8409

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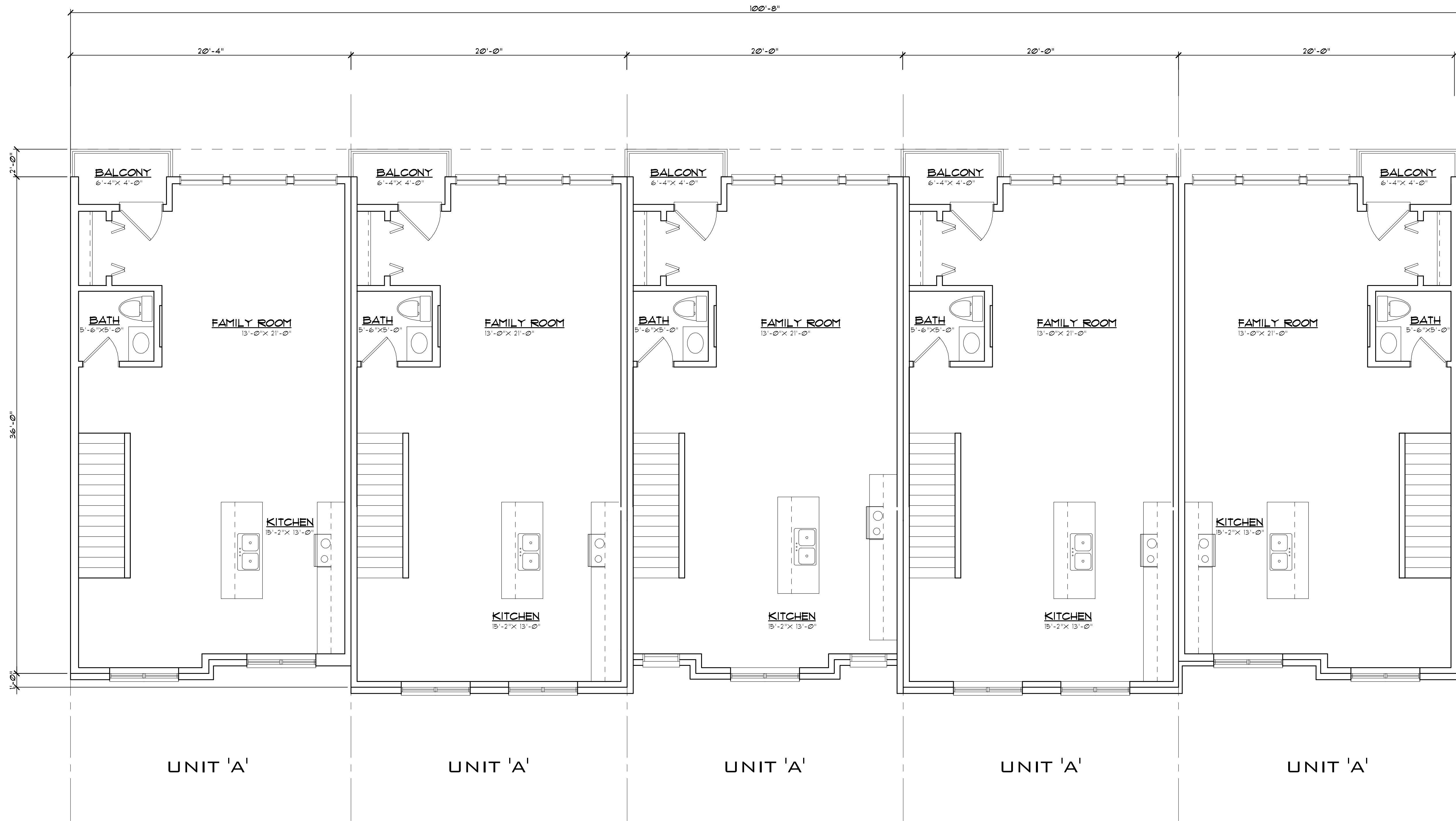
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A2.0

CONDO  
DEVELOP.



5-UNIT BUILDING  
FIRST FLOOR PLAN

667 SF

SCALE: 1/4" = 1'-0"

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PROJECT  
CENTER COURT  
DEVELOPMENT  
TROY, MI

SUBJECT  
LOWER LEVEL PLAN

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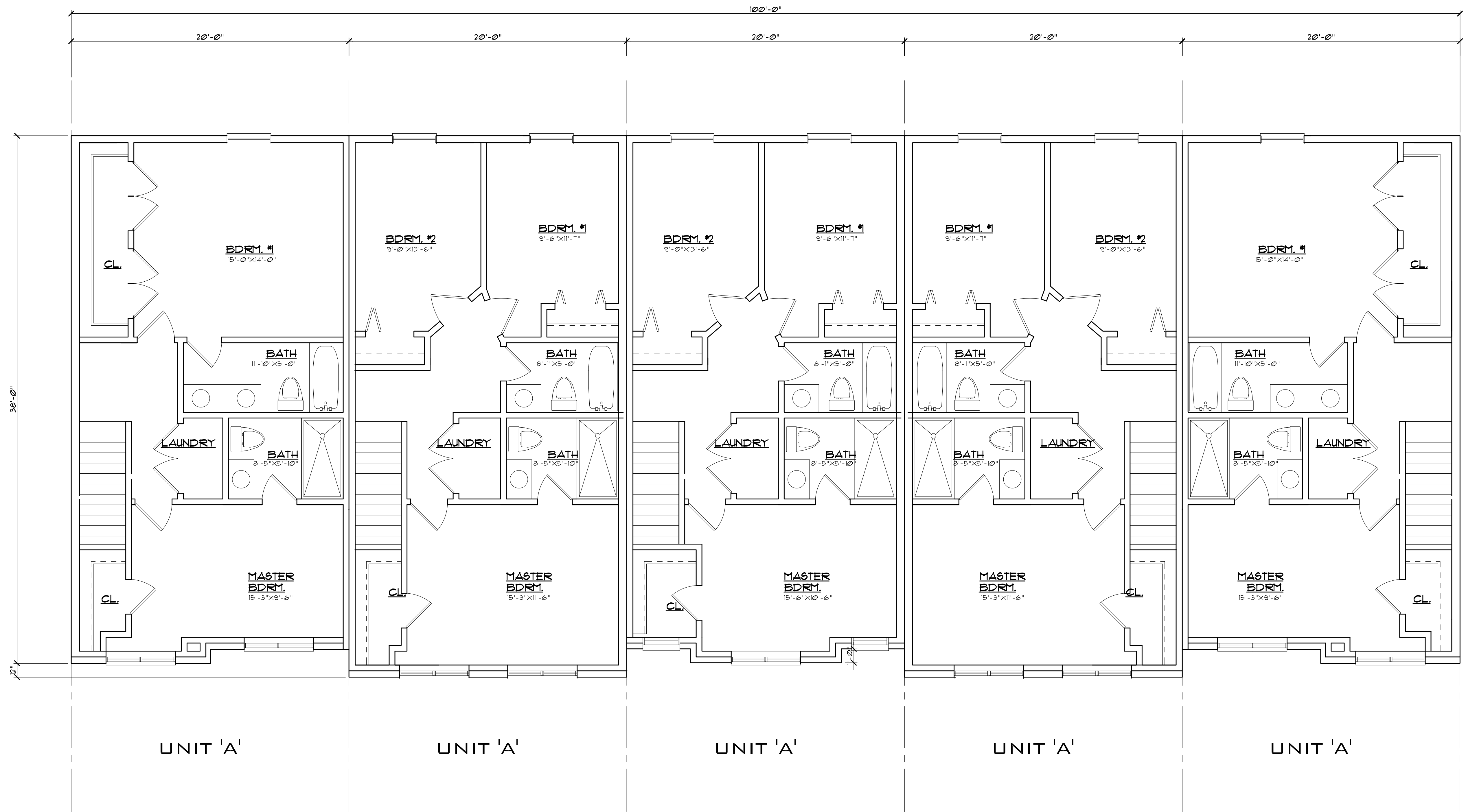
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CONDO  
DEVELOP.



5-UNIT BUILDING  
UPPER FLOOR PLAN

700 SF

SCALE: 1/4" = 1'-0"

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DEVELOPMENT  
TROY, MI

SUBJECT  
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES  
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2021-10

SHEET  
A2.2

CONDO  
DEVELOP.



FRONT ELEVATION - 5 UNIT BLDG.

SCALE: 1/4" = 1'-0"

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PROJECT  
 CENTER COURT  
 DEVELOPMENT  
 TROY, MI

SUBJECT  
 FRONT ELEVATION

ARKO DESIGN ASSOCIATES  
 2288 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382  
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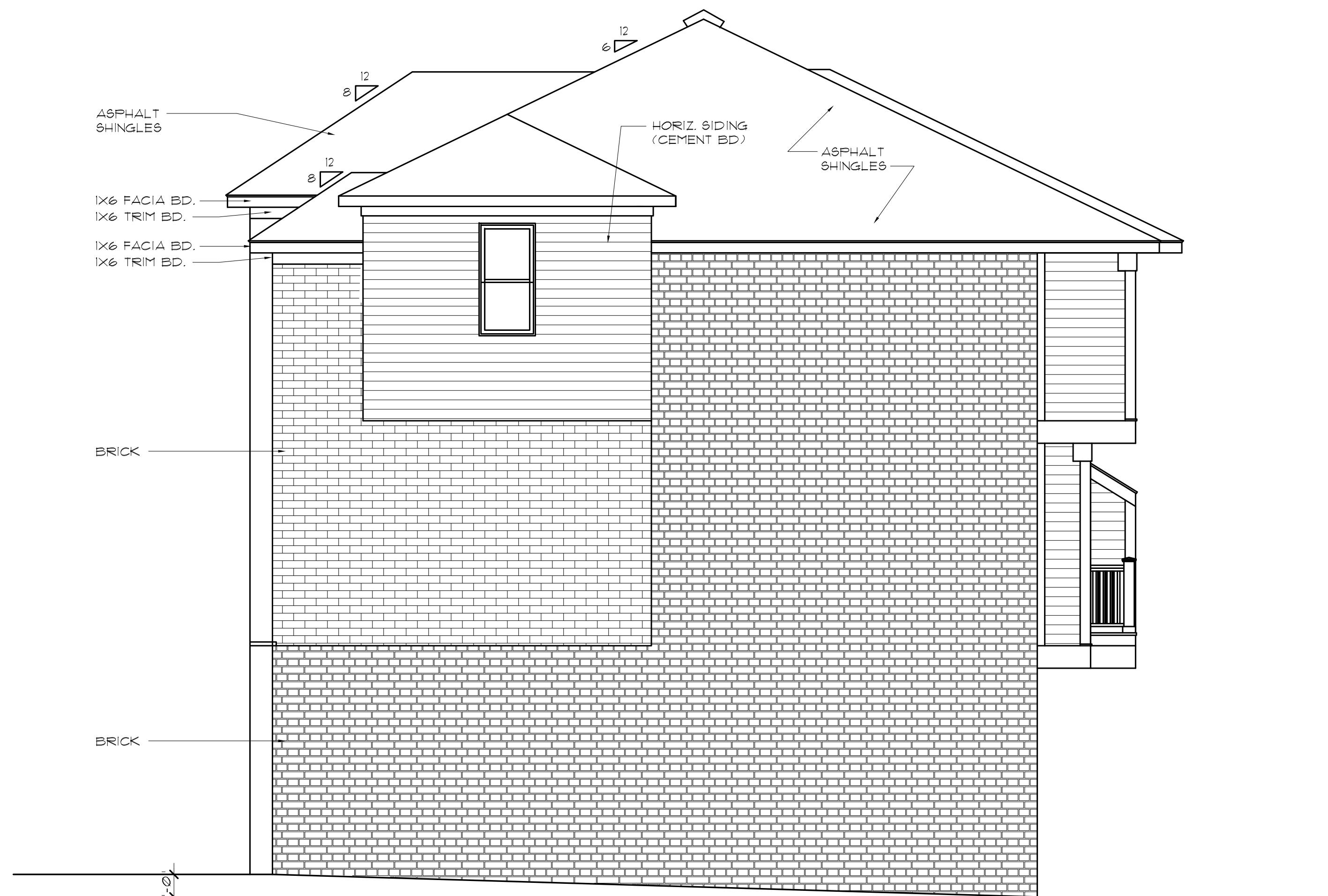
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 A23

CONDO  
 DEVELOP.



REAR ELEVATION - 5 UNIT BLDG.  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION - 4 & 5 UNIT BLDG.  
SCALE: 1/4" = 1'-0"

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PROJECT  
CENTER COURT  
DEVELOPMENT  
TROY, MI

SUBJECT  
REAR ELEVATION,  
SIDE ELEVATION

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PH. (248) 802-8409

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2021-10

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A2.4

CONDO  
DEVELOP.



# Center Court Town Homes At Butterfield

# REB



## DEVELOPMENT HIGHLIGHTS

- ❖ **New Construction / Maintenance Free Lifestyle**
- ❖ **52 Unit Development: 2 or 3 bedroom Town Homes**
- ❖ **SQFT Range: approx 1,700 (+/-).**
- ❖ **Featuring:**
  - **Private Ground Floor Suite / Office**
  - **Private Balcony / Veranda**
  - **In-Wall Fireplace - Napoleon Series**
  - **Attached 2 Car Garage**
  - **Pella® Windows & Doors**
  - **Designed for Energy Efficiency**
    - ◆ **~ +30% Better Energy Efficiency than Code Required**
  - **Wireless / Ethernet Ready**
  - **Green Space Center Court with Extensive Landscaping & Common Areas**
  - **Units with modern features and open floor plans**

**Eureka Building Co.**



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All information herein was accurate at the time of publication. We reserve the right to make updates and changes to specifications, material and price without notice and obligations.



# Community Site Plan



## BUILDING FEATURES

**Exterior** features High Quality **Pella®** Windows & Doors with Charming Elevations highlighted by premium **Brick and Stone** veneer. Dimensional asphalt roof shingles, and Two Car Attached Garages with steel panel sectional doors, wired with a garage door opener and transmitters. Charming balcony off of main level with privacy wall between neighbors.

**Interior** features Open Space Concept with LED recess ceiling lights throughout, Hardwood Floors, Quality crafted 42" Cabinets, Granite Counter tops with **GE®** Stainless Steel kitchen appliances etc.,

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# Community Building Elevations



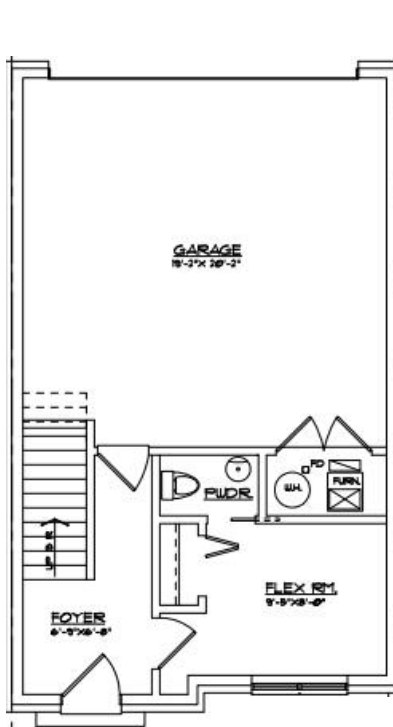
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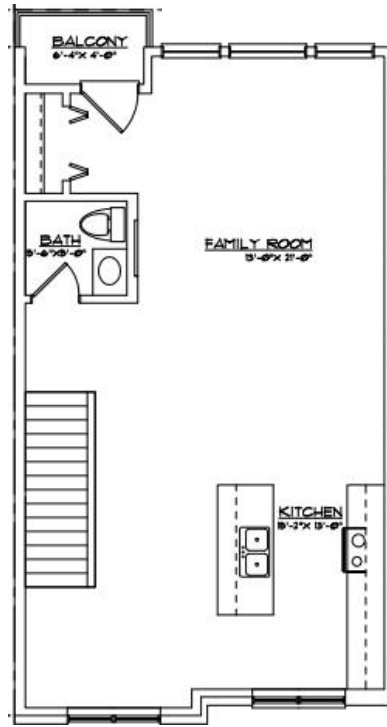
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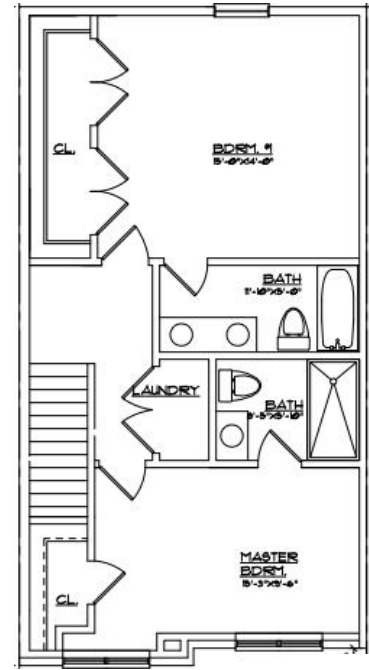
# Community Floor Plans



Floor 1



Floor 2



Floor 3

## Exterior Lighting



Exterior Lighting packages features very attractive wall luminaire for outdoor lighting. **Matte Black Dark Sky Outdoor Wall Mount LED.** Black finish outdoor wall light helps to keep the night skies dark while providing light where needed.

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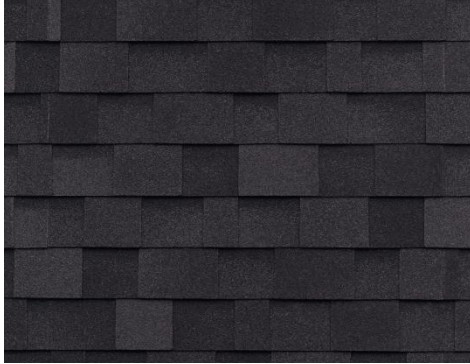


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# Exterior Building Materials

## Roofing



IKO Cambridge Dual Black or equal

## Brick



Midnight Mist or equal

## Stone



Ivory White Opel or equal

## Brick



Morning Snow or equal

## Siding



Hardie James Lap or equal

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Eureka Building Homes are engineered for energy efficiency.  
 Our energy savings construction package includes:



Windows: U=0.29

Furnace: 95%+ AFUE

A/C: 13 SEER

**DR Nelson Energy Seal**

Plan/Model	1990's-2008 Energy Code Predicted performance of identical plan built to "Prescriptive" values of the 1997-2008 Michigan Energy Code.		Current Energy Code Predicted performance of identical plan built to "Prescriptive" values of our new Michigan Energy Code effective February 2016.		Eureka Building The dimensionally identical home built with the Eureka Building Company Energy package	
	Annual Energy Costs*	Home Energy Rating Score**	Annual Energy Costs*	Home Energy Rating Score**	Annual Energy Costs*	Home Energy Rating Score**
<b>End Unit</b>	\$ 1,284	123	\$ 928	96	\$ 750	69
<b>Interior Unit</b>	\$ 1,093	119	\$ 792	94	\$ 633	69

\*Predicted Annual Heating, Cooling & Water Heating costs based on average climate data for SE MI and Electricity @ 12¢ /kWh, Natural Gas @ \$1.00/CCF

\*\*HERS is a registered trademark of RESNET (Residential Energy Specialists Network). For more information about HERS ask your salesperson or visit: [www.RESNET.us](http://www.RESNET.us)

This information does not constitute any warranty of energy costs or savings. This analysis was conducted using REM/Rate v15.3, the computer software program developed for the Energy Star® for homes program by the United States Environmental Protection Agency and the Department of Energy. D.R. Nelson & Associates, Inc. is a licensed, certified HERS Rater/Provider for RESNET and the Energy Star® Program. The energy costs above were calculated by comparing dimensionally identical homes with the values expressed – typical of the energy code at the time. Your heating, cooling and water heating energy costs may fluctuate depending upon such factors as, number of occupants, occupant behavior, temperature settings, window coverings and more.

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## **Center Court Development**

### **Preliminary site plan application section 6**

6-A. The proposed development on north side of Butterfield road between Todd drive and Crooks road meets Multiple-Family role to serve as “go to” places that take on a social role, serving as a place to meet basic needs of the community including integrated residential development. Located in an area that already includes within walking distance existing and new restaurants, shops, office buildings, the proposed attached family single residence townhouse development offers an urban character while serving as transitional zone between areas of higher and lower intensity of development as identified in the Master Plan.

6-B. The proposed single family attached townhouse concept is based on an contemporary / urban architectural design. The unique urban architectural features visually distinguish it from the surrounding area because of the design and intensity. The urban design complements the traditional building design at Regency of Troy (nearby developments) by providing architectural design diversification in a key transitional area of Troy. Urban design developments are lacking in the nearby area and this development will provide with a unique different product while complementing adjacent surrounding developments.

6-C. The project achieves the design concept by incorporating variation of building elevations with urban architectural features such as hip low slope roof, extended overhangs, panoramic windows and high quality materials.

6-D The project achieves the design goal of a modern urban Multiple-Family development while diversifying the design and technique consistency with the latest urban character and trends. The single residential attached units will be intended for sale.

6-E The front building elevations emphasize contemporary design by utilizing high quality stone and brick veneer combinations while incorporating hip roof designs and color combinations. The side building elevation follow the urban design with simple - not too overwhelming details by incorporating high quality brick veneer throughout the elevation.

6-G

#### **Building Orientation and Entrance:**

Primary Entrance: The primary unit building entrance is identifiable and usable from Butterfield Road. Unit entrances utilize unique architectural features to identify each unit entrance.

#### **Trash:**

Units will utilize individual bins located near garage door.

#### **At grade mechanical equipment:**

Mechanical A/C units will be screened with wintergreen boxwood shrubs.

#### **Parking:**

Each unit will have an attached 2-car garage and there will be 26 total guest parking spots throughout the development

Parking Total = 130

#### **Recreation Space and Landscaping**

Multiple common outdoor seating, a children playground area are interconnected through continues walking areas to create a common recreation area of approximately 28,000 sq/ft.

Landscaping include a variety of deciduous trees such as red oaks, frontier elm and evergreen trees such as Hetz Columnar Juniper, Balsam Fir, Eastern White Pine. In addition the proposed development utilizes an ornamental fence through the Butterfield road entrance and east property line in consistency with adjacent development.