



500 West Big Beaver
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PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Tom Krent, Chairman, David Lambert, Vice Chairman
Carlton Faison, Michael W. Hutson, Lakshmi Malalahalli,
Marianna Perakis, Sadek Rahman, Jerry Rauch and John J. Tagle

October 26, 2021

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – October 12, 2021
4. PUBLIC COMMENT – For Items Not on the Agenda

ZONING ORDINANCE TEXT AMENDMENT

5. PUBLIC HEARING – ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 256)
– Residential Uses in BB Zoning District

PRELIMINARY SITE PLAN REVIEW

6. PRELIMINARY SITE PLAN REVIEW - (SP JPLN2021-019) – Proposed Motor City Church, East side of Livernois, north of Big Beaver (3668 Livernois), Section 22, Currently Zoned R-1C (One Family Residential) District
7. PRELIMINARY SITE PLAN REVIEW (SP JPLN2021-0013) – Proposed Center Court at Butterfield 48-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

CONDITIONAL REZONING

8. CONDITIONAL REZONING- (CR JPLN2021-001) – Proposed Pine View Condominiums, West side of Dequindre, north of Long Lake (88-20-12-476-070), Section 12, From NN (Neighborhood Node “J” and EP (Environmental Protection) to NN (Neighborhood Node “J”)

OTHER ITEMS

9. PUBLIC COMMENTS – For Items on the Agenda
10. PLANNING COMMISSION COMMENT

11. ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Krent called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on October 12, 2021, in the Council Chamber of the Troy City Hall. Chair Krent presented opening remarks relative to the role of the Planning Commission and procedure of tonight's meeting.

1. ROLL CALL

Present:

Carlton M. Faison
Michael W. Hutson
Tom Krent
David Lambert
Lakshmi Malalahalli
Marianna Perakis
Sadek Rahman
Jerry Rauch
John J. Tagle

Also Present:

R. Brent Savidant, Community Development Director
Ben Carlisle, Carlisle Wortman Associates
Julie Quinlan Dufrane, Assistant City Attorney
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Mr. Savidant asked to amend the agenda to add *Master Plan Update, Neighborhood Node Walking Tours* as agenda item #6, revising numbering of the following agenda items.

Resolution # PC-2021-10-071

Moved by: Perakis
Support by: Rauch

RESOLVED, To approve the Agenda as amended.

Yes: All present (9)

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2021-10-072

Moved by: Rahman
Support by: Lambert

RESOLVED, To approve the minutes of the September 28, 2021, Regular meeting as submitted.

Yes: All present (9)

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

PRELIMINARY SITE PLAN REVIEW

5. PRELIMINARY SITE PLAN REVIEW (SU JPLN 2021-0013) – Proposed Center Court at Butterfield 52-unit Townhome Development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

Mr. Carlisle reviewed the Preliminary Site Plan application for Center Court at Butterfield, a permitted use in the Multiple Family Residential district. He addressed the site arrangement, proposed use, surrounding zoning districts, site access and circulation. Mr. Carlisle said the application meets the Zoning Ordinance requirements of the Multiple Family district. He reported the applicant shows it meets the open space requirement in the form of sidewalks and an internal playground area. Mr. Carlisle suggested consideration to add site amenities such as landscaping, lighting and seating areas to the recreation space.

Mr. Carlisle said the guest parking spaces should be revised to eliminate the difficulty in reversing out of some of the spaces. He addressed the elevations, floor plans and building materials. Mr. Carlisle asked the Planning Commission to consider discussion on the side elevations because they lack fenestration and architectural detail and to substantiate the architecture, material choice and color palette as relates to the Regents Club of Troy.

Mr. Carlisle recommended approval of the Preliminary Site Plan application with the conditions as identified in report dated October 7, 2021.

Discussion among administration:

- Recreation space requirement.
 - Calculation 450 square feet per dwelling unit.
- Internal sidewalks.
 - Questioned if considered a form of recreation space.
 - Consideration of deciduous/columnar trees in lieu of coniferous.
- Floodplain, wetlands designations.
 - GIS indicates no wetlands on site.
 - FEMA application might be required.
 - Determination during engineering review at final site plan approval.
- Building setback requirements.

Present were Erion Nikolla of Eureka Building Company, 5960 Livernois, Troy; Jonathan Sherman, 31700 Middlebelt Road, Farmington Hills, Regency Club of Troy owner and neighbor to the east and south; Project Architect Artur Kokaj of Arko Design Associates, 2298 Yasmin, Commerce Township; and Project Engineer Greg Bono of Professional Engineers Associates, 2430 Rochester Court, Suite 100, Troy.

Mr. Nikolla addressed the uniqueness in design and diversified nature of the building, the walkability of the site, landscaping and ornamental fence. He identified the locations of the common seating areas inclusive of benches, tables and barbeques at the north, east and west sides of the development and the playground located in the center of the development. Mr. Nikolla said their vision of the open space is to provide a safe play area for children and a social gathering area for adults and families. He portrayed the demographics as professional singles and young couples with children and stated market research finds that 3 bedroom units are preferential to 2 bedroom units. Mr. Nikolla said they are proposing one-half the density that is permitted. He said the selling point of a home in the luxury, contemporary development would be \$400,000 to \$500,000.

Mr. Nikolla said environmental due diligence was performed. He stated no wetlands are identified, and they will work with FEMA if required.

Mr. Sherman said he worked closely with the development team and believes the development would be a benefit to the community, his property and the neighborhood. Mr. Sherman said they are open for suggestions.

Mr. Bono shared the engineering thought process with a 3-point turn backing out of a guest parking space. He said the applicant wants to provide as many guest parking spaces as possible because it is an important element to a development. Mr. Bono said the applicant is willing to eliminate one space in each corner to provide additional green space, should the Planning Commission desire.

There was discussion on:

- Open space.
 - Calculations; interpretation of Zoning Ordinance.
 - Lack of open space amenities.
 - Definition (material, shape, use).
 - Lifestyle changes; passive vs active.
 - Site layout, dimensions of seating areas and playground.
 - Additional lighting for safety.
 - Sidewalks; questioned if considered open space amenities.
 - Comparison with Regents Club of Troy amenities as relates to property size.
 - Amenities offered not equivalent to price point of homes.
- Options to accommodate additional open space.
 - Seek variance of relief for required setbacks.
 - Add height to buildings.
 - Eliminate building(s).
 - Eliminate some guest parking spaces.

- Elevations.
 - Urban, contemporary design aesthetically pleasing.
 - Side elevations; interior natural lighting, windows, architectural detail.
 - Building height and materials complementary to Regents Club of Troy.
 - Suggestions/comments by members:
 - Contemporary design/products proposed universally used in last five years
 - Reinforced natural lighting in interior
 - Encouraged windows on side elevations
 - Make front entrance more inviting/exciting
 - Modernize fence to fit urban design

Mr. Perakis said she is not satisfied with the amount of open space offered by the applicant and shared a list of amenities that is provided by the Regents Club of Troy. She referenced Zoning Ordinance text in Sections 4.08 A and D.5. as relates to a requirement of *significant* open space and types of recreational facilities.

Mr. Rauch said he is not satisfied with the amount of open space offered by the applicant, and he disagrees with the Planning Consultant findings that the application complies with the open space requirement.

Mr. Savidant said the Planning Consultant report indicates the application meets the standard of 450 square feet per dwelling unit based on the way the applicant calculated the open space, but the report also mentions that the application is bereft of some recreational features. He said the administration is seeking feedback if the Planning Commission agrees with the applicant's calculations of open space and the amenities proposed. Mr. Savidant said the Zoning Ordinance does not specify how to calculate the open space requirements.

Mr. Savidant said the applicant could seek a variance in relief of the required building setbacks but the applicant would not meet the practical difficulty standards required for such a relief because the project can be constructed without a variance.

Mr. Nikolla said the urban contemporary design offers premium products. He feels windows on the side elevations would take away from the simplicity of the urban design, but they are open to the Planning Commission suggestions. He said the building height limitation to three stories is complementary to the Regents Club of Troy.

Mr. Sherman said the quality building materials and urban, contemporary design would complement the Regents Club of Troy and add to the aesthetics and urban feel in the neighborhood.

Resolution # PC-2021-10-073

Moved by: Lambert
 Support by: Hutson

RESOLVED, To postpone action on this item so that the petitioner can resolve issues raised by both the Planning Consultant and the members of the Commission.

Yes: All present (9)

MOTION CARRIED

OTHER ITEMS

6. **MASTER PLAN UPDATE – NEIGHBORHOOD NODE WALKING TOURS**

Mr. Savidant announced dates and times for the six Neighborhood Node walking tours.

Thursday, November 4

Long Lake and Livernois	4 pm
Square Lake and Livernois	6 pm

Saturday, November 6

John R and South	10 am
Crooks and Wattles	2 pm

Wednesday, November 10

Long Lake and Rochester	4 pm
Wattles and John R	6 pm

Mr. Carlisle gave a slide presentation on the facilitation of the walking tours, highlighting the following:

- Agenda packets
- Objectives
- Process
- Next Steps

Questions and answers followed, some relating to protocol, facilitators, participation, discussion format and agenda distribution.

7. **PUBLIC COMMENTS** – For Items on the Agenda

There was no one present who wished to speak.

8. PLANNING COMMISSION COMMENT

None.

9. ADJOURN

The Regular meeting of the Planning Commission adjourned at 8:42 p.m.

Respectfully submitted,

Tom Krent, Chair

Kathy L. Czarnecki, Recording Secretary

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5. **PUBLIC HEARING – ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 256)**
– Residential Uses in BB Zoning District

DATE: October 20, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING – ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 256) – Residential Uses in BB Zoning District

This item was initiated by an email request from a developer and informal discussion with the Planning Commission at the July 13, 2021 Planning Commission meeting. It was discussed further at the September 14, 2021 Planning Commission meeting. The intent of the amendment is to provide flexibility for developers when renovating existing multistory buildings and constructing new multistory buildings in the BB Big Beaver Zoning District. Specifically, the amendment would permit some residential use in appropriate locations on the first floor for sites located on Big Beaver Road and arterials. Presently, residential uses are permitted on upper floors only.

The attached memo provides further background.

A public hearing is scheduled for the October 26, 2021 Planning Commission meeting.

Attachments:

1. Planning Commission Public Hearing Draft text amendment.
2. Memo prepared by Carlisle/Wortman Associates, Inc.
3. Email from Jordan Jonna of AF Jonna.
4. Minutes from September 14, 2021 Planning Commission Regular meeting

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CITY OF TROY

AN ORDINANCE TO AMEND
CHAPTER 39 OF THE CODE
OF THE CITY OF TROY
PLANNING COMMISSION PUBLIC HEARING DRAFT

The City of Troy ordains:

Section 1. Short Title

This Ordinance shall be known and may be cited as an amendment to Chapter 39, Zoning Ordinance, of the Code of the City of Troy.

Section 2. Amendment

Chapter 39 of the Code of the City of Troy is amended as follows:

Revise Table 5.04.C-1 to read as follows:

Table 5.04.C-1 Use Groups Permitted									
Use Group (Table 5.03-1)	Site Type BB: A Major Sites			Site Type BB: B Medium Sites			Site Type BB: C: Minor Sites		
	Street BB: A: Big Beaver	Street BB: B: Arterials	Street Type BB: C: Collectors	Street BB: A: Big Beaver	Street BB: B: Arterials	Street Type BB: C: Collectors	Street BB: A: Big Beaver	Street BB: B: Arterials	Street Type BB: C: Collectors
1 Residential	NP	NP	NP	NP	NP	NP	NP	NP	NP
2 Residential/Lodging	UP / <u>P</u>	UP / <u>P</u>	P	UP / <u>P</u>	UP / <u>P</u>	P	UP / <u>P</u>	UP / <u>P</u>	P
3 Office/Institution	P	P	P	P	P	P	P	P	P
4* Auto/Transportation	NP	NP	NP	NP	NP	NP	NP	NP	NP
5** Retail/ Entertainment / Service	P	P	P	P	P	P	P	P	P
6 Misc. Commercial	NP	NP	NP	NP	NP	NP	NP	NP	NP
7 Industrial	NP	NP	NP	NP	NP	NP	NP	NP	NP

P - Permitted Use Groups
UP / P - Permitted use groups in upper stories only for portion of building that fronts on public right of way / Permitted use group for any portion of the building that does not front on a public right of way.
 S - Special Use Approval Groups
 *Drive-through uses for Financial Institutions are allowed under special use in compliance with Section 5.04.5.d
 **Lodging uses are permitted subject to Special Use Approval

Section 3. Savings

All proceedings pending, and all rights and liabilities existing, acquired or incurred, at the time this Ordinance takes effect, are hereby saved. Such proceedings may be consummated under and according to the ordinance in force at the time such proceedings were commenced. This ordinance shall not be construed to alter, affect, or abate any pending prosecution, or prevent prosecution hereafter instituted under any ordinance specifically or impliedly repealed or amended by this ordinance adopting this penal regulation, for offenses committed prior to the effective date of this ordinance; and new prosecutions may be instituted and all prosecutions pending at the effective date of this ordinance may be continued, for offenses committed prior to the effective date of this ordinance, under and in accordance with the provisions of any ordinance in force at the time of the commission of such offense.

Section 4. Severability Clause

Should any word, phrase, sentence, paragraph or section of this Ordinance be held invalid or unconstitutional, the remaining provision of this ordinance shall remain in full force and effect.

Section 5. Effective Date

This amendment to the Zoning Ordinance shall take effect seven (7) days after publication, which shall be published within 15 days of adoption, as required the Michigan Zoning Enabling Act (Act 110 of 2006).

This Ordinance is enacted by the Council of the City of Troy, Oakland County, Michigan, at a regular meeting of the City Council held at City Hall, 500 W. Big Beaver, Troy, MI, on the _____ day of _____, 2021.

Ethan Baker, Mayor

Aileen Dickson, City Clerk

Section 3. Savings

All proceedings pending, and all rights and liabilities existing, acquired or incurred, at the time this Ordinance takes effect, are hereby saved. Such proceedings may be consummated under and according to the ordinance in force at the time such proceedings were commenced. This ordinance shall not be construed to alter, affect, or abate any pending prosecution, or prevent prosecution hereafter instituted under any ordinance specifically or impliedly repealed or amended by this ordinance adopting this penal regulation, for offenses committed prior to the effective date of this ordinance; and new prosecutions may be instituted and all prosecutions pending at the effective date of this ordinance may be continued, for offenses committed prior to the effective date of this ordinance, under and in accordance with the provisions of any ordinance in force at the time of the commission of such offense.

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Ethan Baker, Mayor

Aileen Dickson, City Clerk



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

To: Troy Planning Commission
Brent Savidant, AICP

From: Ben Carlisle, AICP

Date: July 27, 2021

RE: Residential uses on first floor in Big Beaver District

Recently the City of Troy was asked to consider an amendment to the BB Big Beaver Form Based District regarding allowing residential uses on the first floor. Table 5.04.C-1 states that residential/lodging is permitted on upper floors only, for Street Type A Big Beaver and street type B Collector. The purpose of requiring a non-residential first floor use only is to provide for transparency and visual interest from the street. Residential uses on the first floor will want privacy and cover windows with blinds and curtains, thus defeating the purpose of transparency.

However, the Master Plan encourages and the Zoning Ordinance permits the repurposing of underutilized buildings along Big Beaver for residential uses. As discussed with developers, and evidenced by the recent email (see Jordan Jonna's July 13th email), requiring buildings to have their entire first floor as non-residential is a hinderance to repurposing these buildings.

As briefly discussed with the Planning Commission, we are proposing a text amendment that maintains non-residential uses where appropriate to provide visual interest along Big Beaver from the street, but allows for portions of the first floor to be utilized by residential uses.

Proposed Language:

New language is red:

Table 5.04.C-1 Use Groups Permitted									
Use Group (Table 5.03-1)	Site Type BB:A Major Sites			Site Type BB: B Medium Sites			Site Type BB: C: Minor Sites		
	Street BB: A: Big Beaver	Street BB: B: Arterials	Street Type BB: C: Collectors	Street BB: A: Big Beaver	Street BB: B: Arterials	Street Type BB: C: Collectors	Street BB: A: Big Beaver	Street BB: B: Arterials	Street Type BB: C: Collectors
1 Residential	NP	NP	NP	NP	NP	NP	NP	NP	NP
2 Residential/Lodging	UP / P	UP / P	P	UP / P	UP / P	P	UP / P	UP / P	P
3 Office/Institution	P	P	P	P	P	P	P	P	P
4* Auto/Transportation	NP	NP	NP	NP	NP	NP	NP	NP	NP
5** Retail/ Entertainment /Service	P	P	P	P	P	P	P	P	P
6 Misc. Commercial	NP	NP	NP	NP	NP	NP	NP	NP	NP
7 Industrial	NP	NP	NP	NP	NP	NP	NP	NP	NP

P-Permitted Use Groups
 UP / P - Permitted use groups in upper stories only for portion of building that fronts on public ROW. Permitted use group for any portion of the building that does not front on a public ROW.
 S-Special Use Approval Groups
 *Drive-through uses for Financial Institutions are allowed under special use in compliance with Section 5.04.5.d
 **Lodging uses are permitted subject to Special Use Approval



 CARLISLE/WORTMAN ASSOC., INC.
 Benjamin R. Carlisle, LEED AP, AICP

From: [Jordan Jonna](#)
To: [Brent Savidant](#)
Cc: jason@tower-construct.com; "Williams, Eric"
Subject: Big Beaver
Date: Tuesday, July 13, 2021 1:27:16 PM
Attachments: [image001.png](#)

CAUTION: This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Brent,

This is a formal request to the Planning Commission to consider amending Table 5.04.C-1 in the BB Big Beaver section of the Zoning Ordinance. Specifically, footnote "UP" in Table 5.04.C-1 as it relates to Use Groups for Site Type BB:B and permitting Residential/Lodging in upper stories only. I believe the intent of the BB Big Beaver Form Based District is for buildings located in close proximity to Big Beaver to engage the street through building placement and transparency. I do not believe it is the intent of the BB Big Beaver Zoning District to totally prohibit residential on the first floor, particularly when there are building facades that do not have a relationship with the street.

I propose amending the footnote in Table 5.04.C-1 from "UP - Permitted Use Groups in Upper Stories Only" to "**UP – Permitted on Upper Floors and on the First Floor, provided Transparency Requirements are met**", or something to that effect. The intent would be to permit some residential/lodging on the first floor in the Big Beaver District but not at the expense of good design and the relationship between the building and the street.

It appears that repurposing vacant office buildings to apartments and condominiums will be a market trend as we recover from the pandemic. There will likely be more new residential buildings proposed, as Big Beaver continues to evolve. This simple amendment will assist property owners and developers with future design by affording the opportunity for some residential units on the first floor along Big Beaver.

The proposed amendment is also consistent with the City of Troy Master Plan and the Big Beaver Corridor Study.

Thank you,
Jordan

Jordan Jonna

4036 Telegraph Road, Suite 201
Bloomfield Hills, MI 48302
Ph: (248) 593-6200 Ext. 103
Cell: (248) 431-0350
JJonna@AFJonna.com

To View Our Properties, please visit our website: www.afjonna.com

OTHER ITEMS6. **ZONING ORDINANCE TEXT AMENDMENT (ZOTA 256)** – Residential Uses in BB Zoning District

Mr. Savidant addressed a recent email message from a developer for consideration to provide flexibility for developers when renovating existing multistory buildings and constructing new multistory buildings in the Big Beaver zoning district. The intent of the amendment would permit some residential use in appropriate locations on the first floor for sites located on Big Beaver Road and arterials.

There was discussion on:

- Transparency requirements; administrative role.
- Permit residential on building/parking lot side only, not on right of way.
- Opportunity to utilize/repurpose public buildings, vacancy, underutilized parking lots.
- Special Use approval versus permit by right; function of Special Use approval.
- Consideration of more definitive role by Planning Commission in approval process.
- Residential use less intense than commercial.
- Apply amendment to existing and/or new buildings.
- Investment / marketing strategy determination of developer.
- Residential would attract walkability in Big Beaver area.
- Maintain integrity of Master Plan and Zoning Ordinance.
- Opportunity for unique housing types.

The administration will take into consideration Board comments and bring the proposed amendment back for discussion at a future meeting.

6. **PRELIMINARY SITE PLAN REVIEW - (SP JPLN2021-019)** – Proposed Motor City Church
East side of Livernois, north of Big Beaver (3668 Livernois), Section 22, Currently Zoned R-1C
(One Family Residential) District

DATE: October 21, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW - (SP JPLN2021-019) – Proposed Motor City Church, East side of Livernois, north of Big Beaver (3668 Livernois), Section 22, Currently Zoned R-1C (One Family Residential) District

The petitioner Motor City Church submitted the above referenced Preliminary Site Plan application to convert the existing building at 3668 Livernois to the Motor City Church. The entire site received Special Use Approval for a place of worship in 1981. The significantly larger building to the north is no longer being used as a church and is planned to be demolished. The smaller building to the south, which featured classrooms and a gym and housed Oakland Childrens Academy preschool, is proposed to be renovated into a church. Future development on the site to the north will require review by the Planning Commission in the future. An application has not been submitted for the property to the north.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Preliminary Site Plan

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PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW - (SP JPLN2021-019) – Proposed Motor City Church, East side of Livernois, north of Big Beaver (3668 Livernois), Section 22, Currently Zoned R-1C (One Family Residential) District

Resolution # PC-2021-10-

Moved by:

Seconded by:

RESOLVED, The Planning Commission recommends that Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Motor City Church, East side of Livernois, North of Big Beaver (3668 Livernois), Section 29, Currently Zoned R-1C (One Family Residential) District, be granted, subject to the following:

1. Provide one bicycle rack.

_____) or

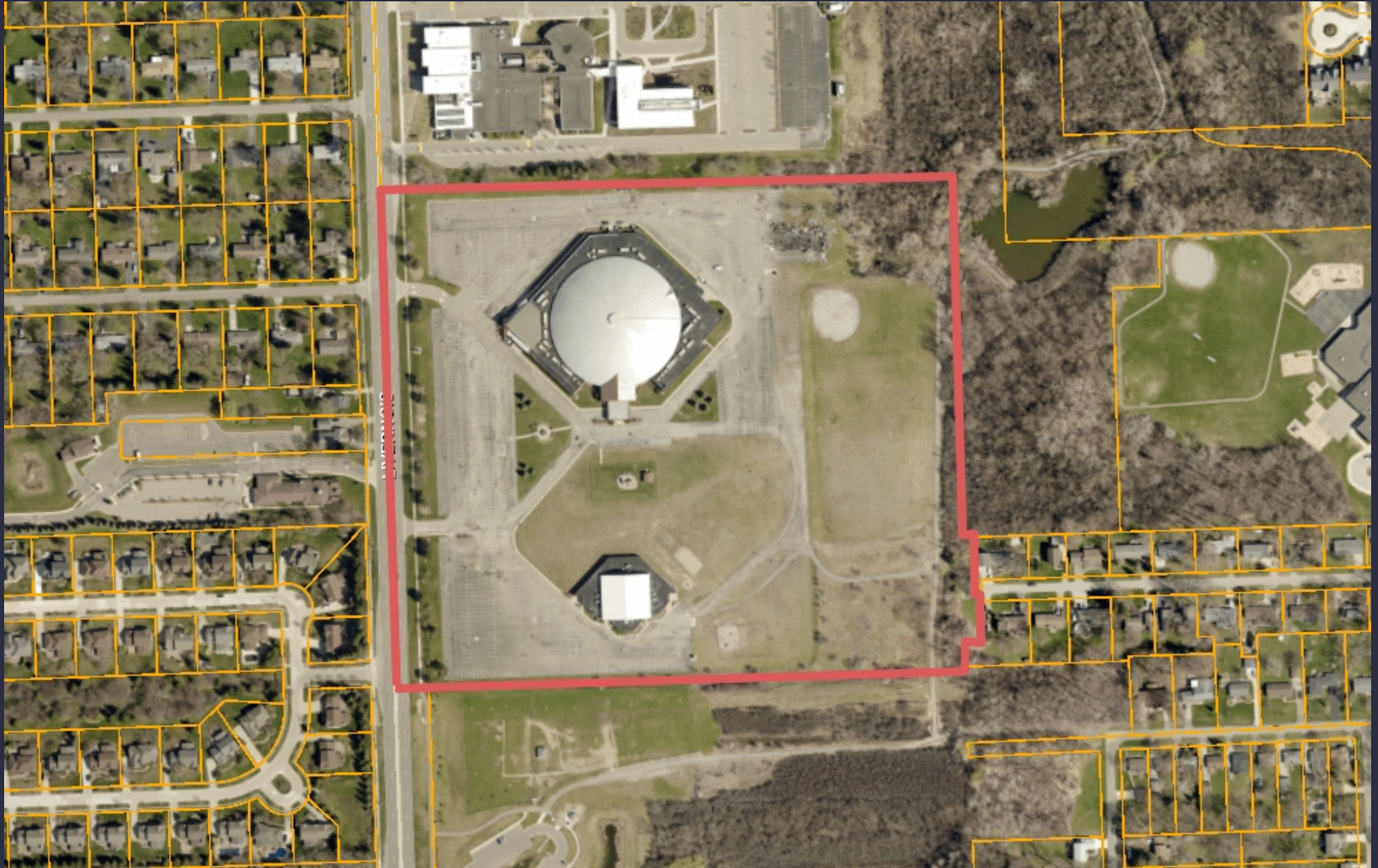
(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

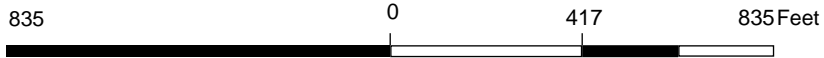
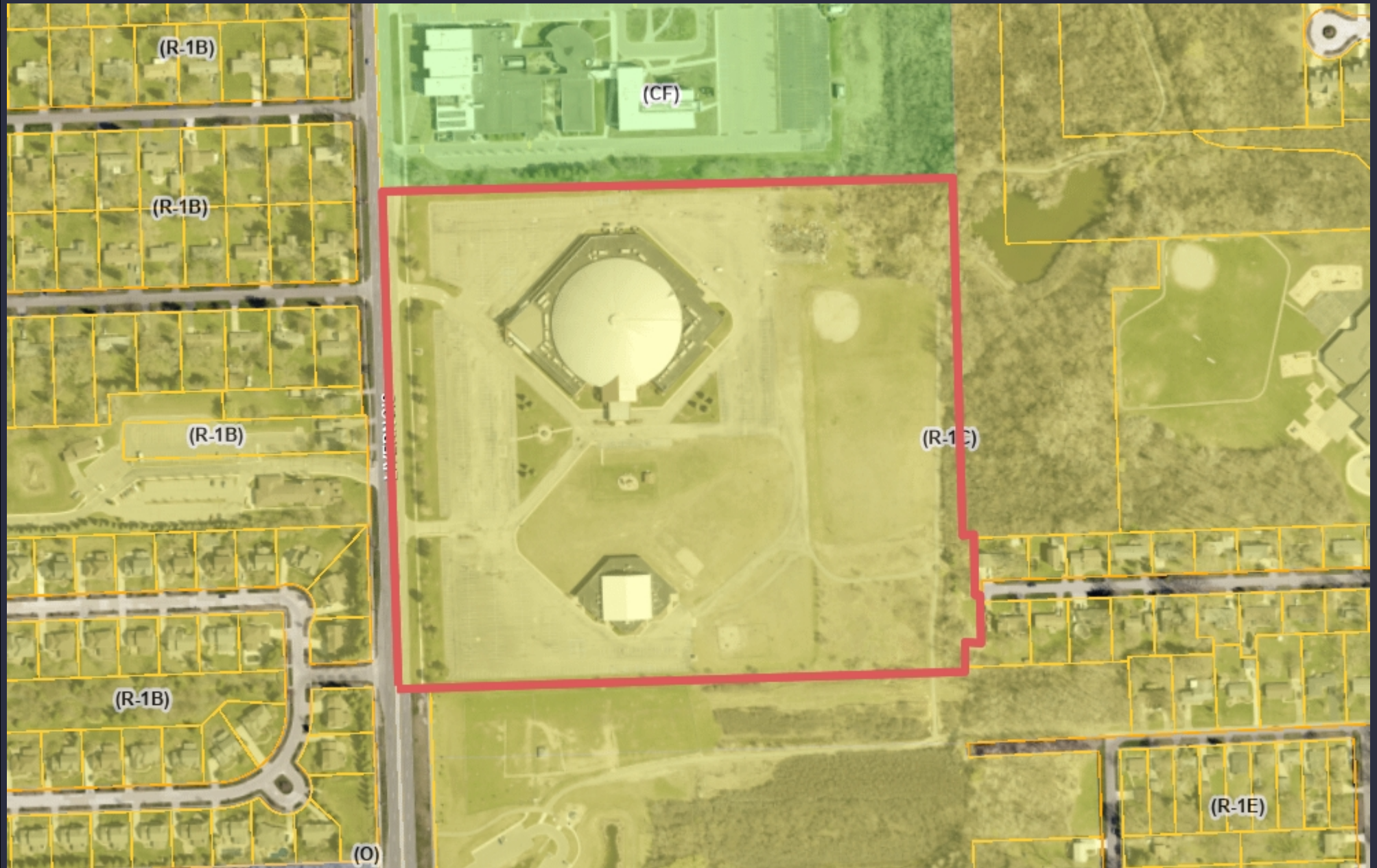
MOTION CARRIED/FAILED



835 0 417 835 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: October 18, 2021

Preliminary Site Plan For City of Troy, Michigan

Project Name:	Motor City Church
Plan Date:	September 27, 2021
Location:	3668 Livernois Rd
Zoning:	R1-C, One-family residential
Action Requested:	Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant is proposing to convert the existing “school” at Motor City Church to a place of worship. In addition to the interior building conversion, the applicant proposes the following site/building improvements:

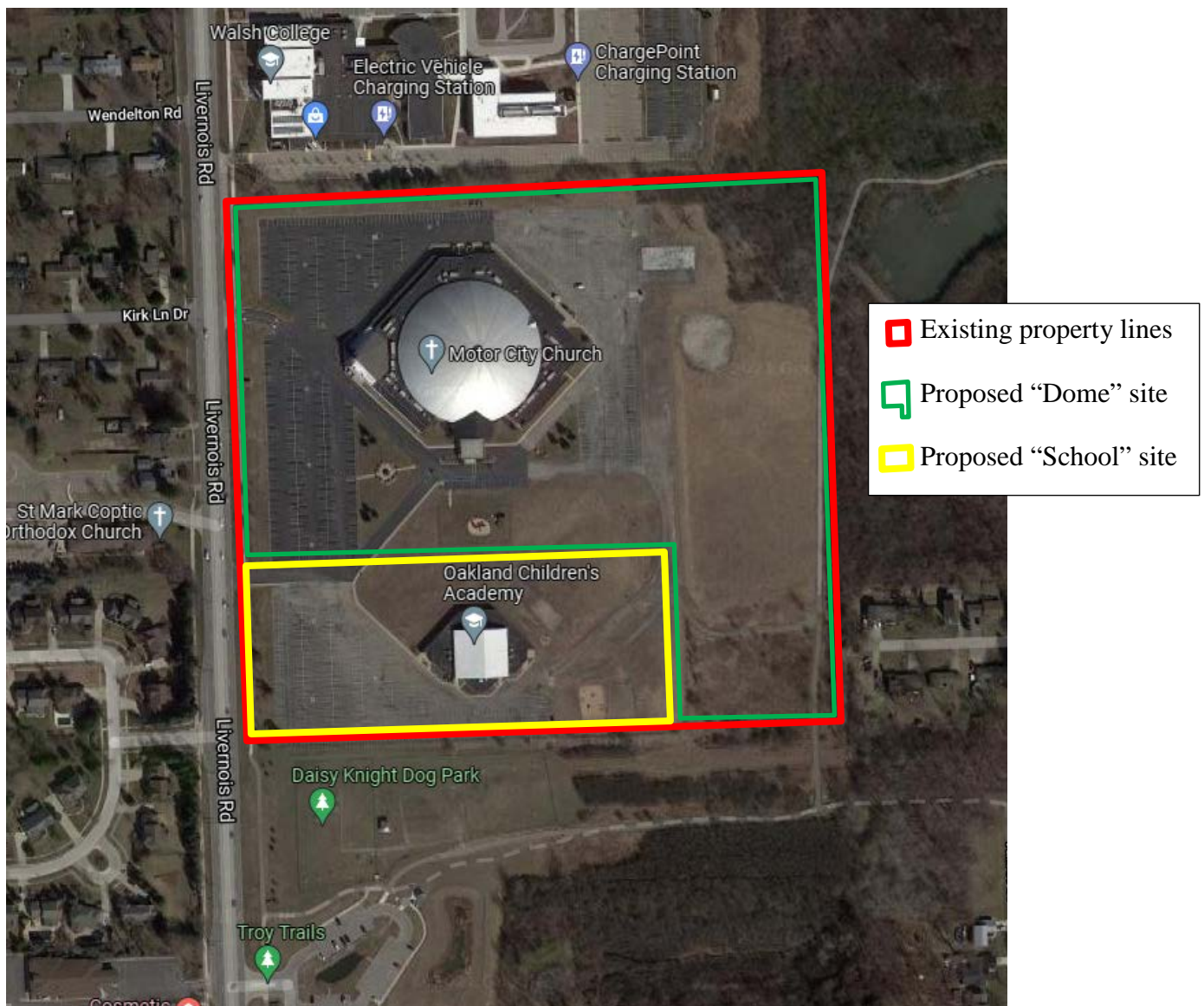
- Lobby addition on front of building
- Storage addition to rear
- Garage and book storage addition on south side of building
- New outdoor patio on south side of building.
- Changes to parking lot configuration and layout
- Kids area expansion on north side of building
- Façade improvements
- Landscaping improvements

The property is proposed to be split. The “Dome” church building is proposed to be demolished; but the future use of the existing site is unknown. Redevelopment of the “Dome” portion of the site will be reviewed in a future review by the Planning Commission.

The site is currently controlled by a special use for a place of worship that applies to the entire site. Because the applicant is reducing the “place of worship” use of the site to only the smaller building and reducing impact (parking, traffic, etc), the special use does not need to be revised, and only a site plan is needed.

Location of Subject Property:

3668 Livernios Road



Proposed Uses of Subject Parcel:
 Conversion to “Place of Worship”

Current Zoning:
 R1-C, One-family residential

Surrounding Property Details

Direction	Zoning	Use
North	CF, Community Facility	Walsh College
South	R1-C, One-family residential	Dog Park
East	R1-C, One-family residential	One-family residential
West	R1-B, One-family residential	One-family residential

SITE AND BUILDING ARRANGEMENT

As an existing building, the site and building arrangement remains unchanged, outside of a small additions as noted. There are no significant changes to site and building arrangement.

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

The site is being developed as a place of worship in the R-1C district. Specific provisions for places of worship are listed in Section 6.23:

	Required	Provided	Compliance
Front (Livernois)*	50-feet	+/- 341 feet	Complies
Side (north) * Side (south)*	50-feet	+/- 55-feet +/- 81 feet	Complies
Rear*	50-feet	+/- 244 feet	Complies
Building coverage	30 percent	9%	Complies
Building Height	2.5 stories – 30 feet	19 feet	Complies

*Places of worship are subject to 50-foot building and parking setback on all property lines.

Complies with all required dimensions.

Items to be Addressed: None

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation:

Access to the site will be the existing curb cuts off Livernois. In addition, a cross-access will remain between this is and the “dome” property.

The Fire Department has reviewed circulation and notes that it is sufficient.

Items to be Addressed: None

PARKING

Place of Worship require the following parking as set forth in table 13.06.a:

	Required	Provided
Places of worship: 1 space for each 3 seats or 6 feet of pews in the main unit of worship	864 (Based on building code allowance) / 3 = 234 spaces	307 spaces
Barrier Free	8	8
Bicycle Parking	2	0
Loading	1	1
Total	288 automobile + 2 bicycle and 1 loading space	307 automobile + 0 bicycle and 1 loading space

Applicant is deficient in bicycle parking.

Items to be Addressed: Provide bicycle parking.

LANDSCAPING

The application includes a landscape plan and calculations.

	Required:	Provided:	Compliance:
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	400 LF = 14 trees	2 proposed and 12 existing trees	Compliant

<p><u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.</p>	<p>307 surface spaces = 39 trees</p>	<p>39 trees: 4 trees within parking lots and 35 trees outside parking lot</p>	<p>Compliant with Planning Commission approval</p>
<p><u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of hardscape and landscape material.</p>	<p>20%</p>	<p>Over 20% landscaping.</p>	<p>Compliant</p>

Landscaping outside the parking lot is permitted with approval by the Planning Commission. Trash enclosure will be screened with metal siding and wood gates. Planning Commission to consider allowing parking lot landscaping on perimeter of parking lot.

Items to be Addressed: Planning Commission to consider allowing parking lot landscaping on perimeter of parking lot.

PHOTOMETRICS

A photometric plan was not submitted. The applicant confirms they are not changing any site lighting.

Items to be Addressed: None

ELEVATIONS AND FLOOR PLANS


The applicant has submitted elevations and floor plans. The proposed materials include painted brick (white), metal panels, metal siding, and insulated glass.

Items to be Addressed: None

RECOMMENDATION

Planning Commission to consider allowing parking lot landscaping on perimeter of parking lot. We recommend preliminary site plan with the following condition:

1. Provide bicycle parking.

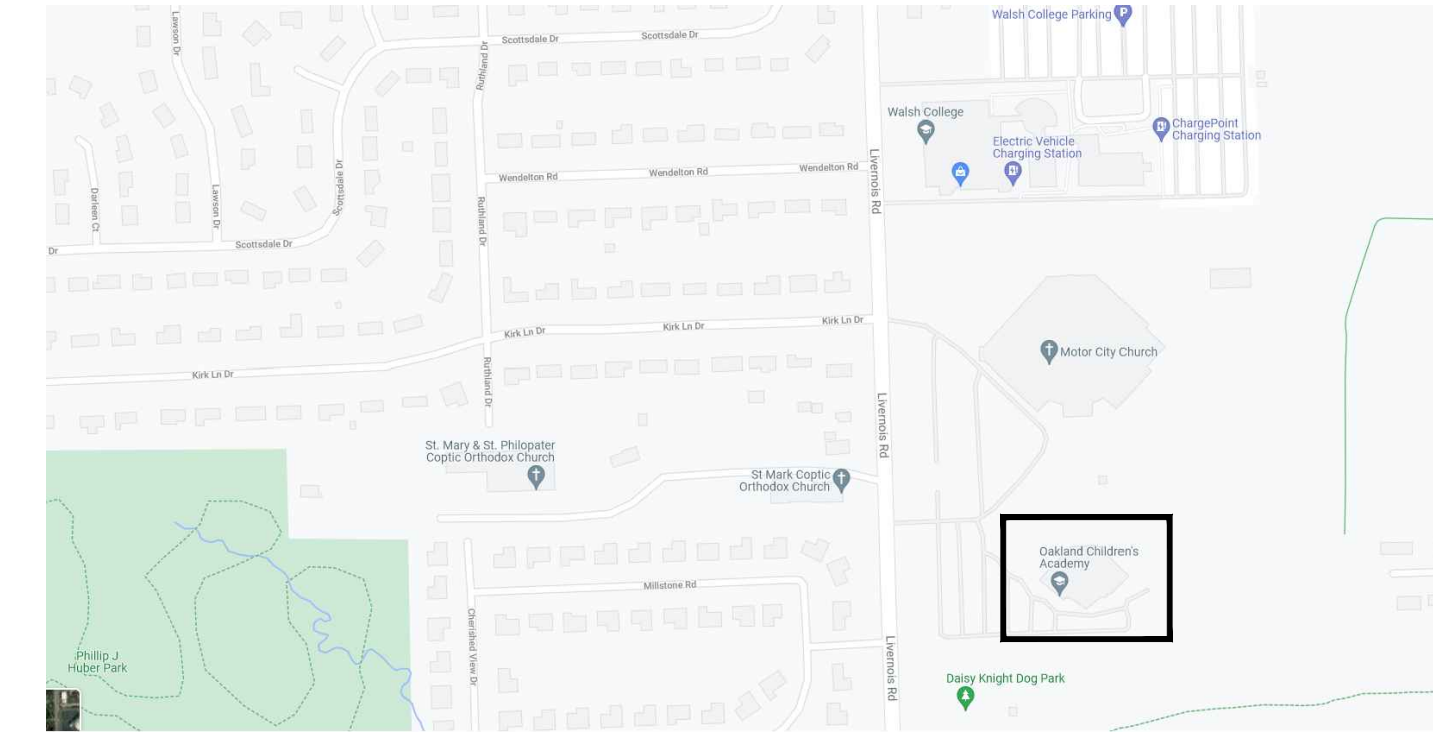


 CARLISLE/WORTMAN ASSOC., INC.
 Benjamin R. Carlisle, LEED AP, AICP

MOTOR CITY CHURCH

REMODELING & ADDITIONS

3668 LIVERNOIS RD.,
TROY, MI 48083



LOCATION MAP

NOT TO SCALE



DRAWING INDEX:

ARCHITECTURAL

COVER SHEET

A-061	ARCHITECTURAL SITE PLAN
A-201	FLOOR PLAN
A-300	EXTERIOR ELEVATIONS
A-301	EXTERIOR ELEVATIONS

CIVIL

P-0	OVERALL TOPOGRAPHIC SURVEY
P-1	TOPOGRAPHIC SURVEY
P-2	PRELIMINARY SITE PLAN
P-3	PRELIMINARY GRADING & UTILITY PLAN

LANDSCAPE

L-1.0	PRELIMINARY LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
T-1.0	TREE PRESERVATION PLAN

JTAI

JOHN TAGLE ASSOCIATES, INC.
ARCHITECTS & PLANNERS

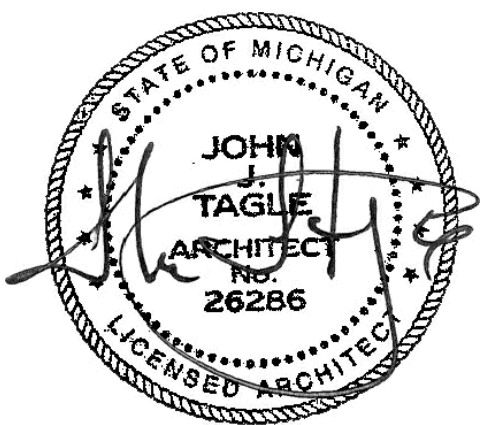
309 N Main Street, Suite 213
Royal Oak, Michigan 48067
Tel: 248-542-0400
Fax: 248-541-0401
Web: www.jtai.net

PEA, INC.
CIVIL ENGINEERS

2430 ROCHESTER CT., STE. 100
TROY, MI 48083
Tel: 248 689-9090
Fax: 248 689-1044

PEA, INC.
LANDSCAPE ARCHITECTS

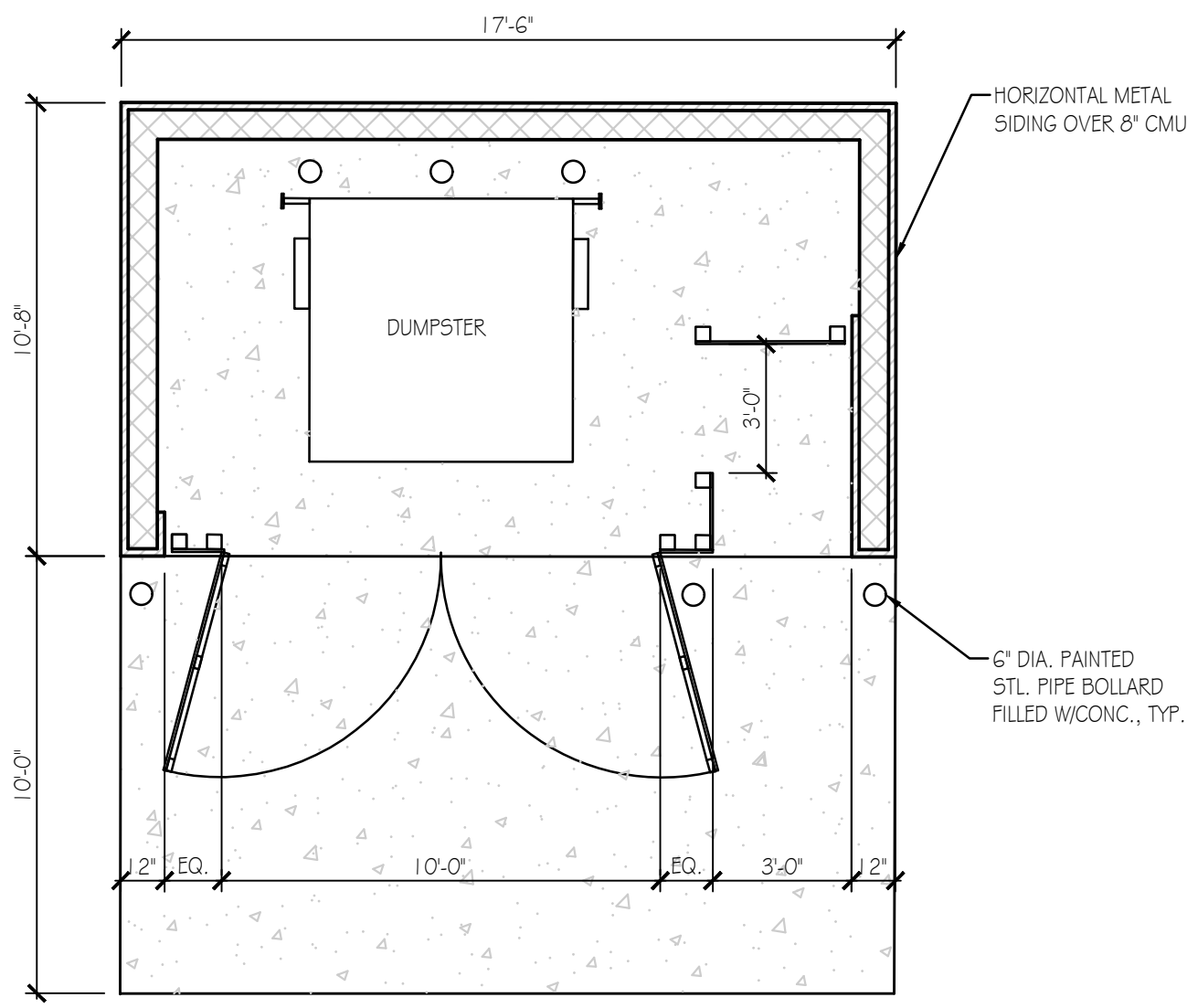
7927 NEMCO WAY, STE. 115
BRIGHTON, MI 48116
Tel: 517 546-8583
Fax: 517 546-8973



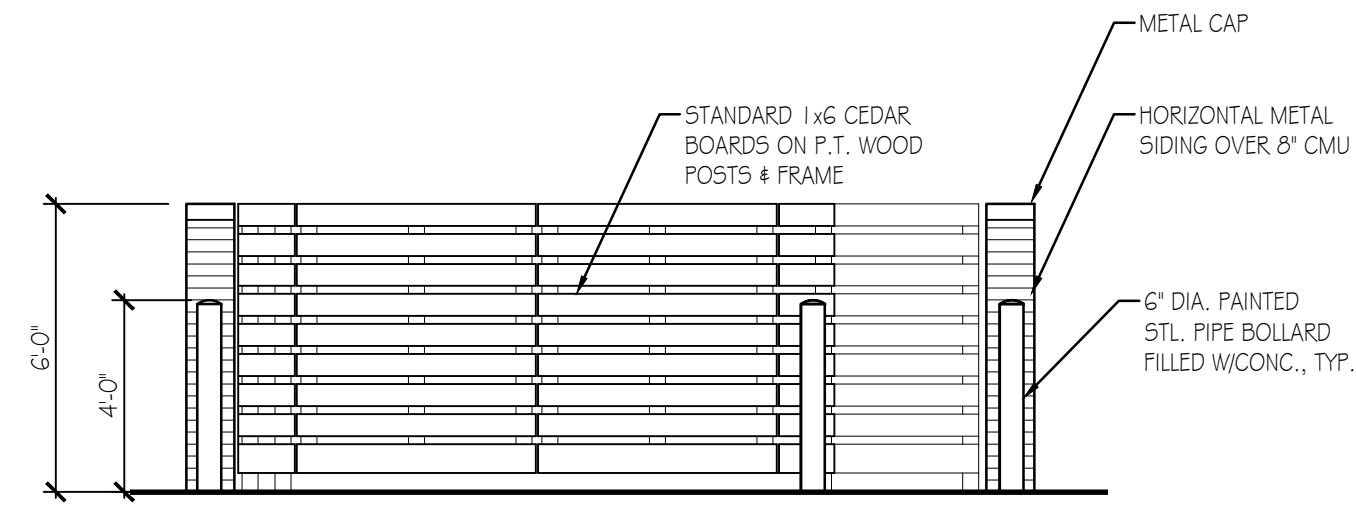
JTAI JOB NO.

21.17

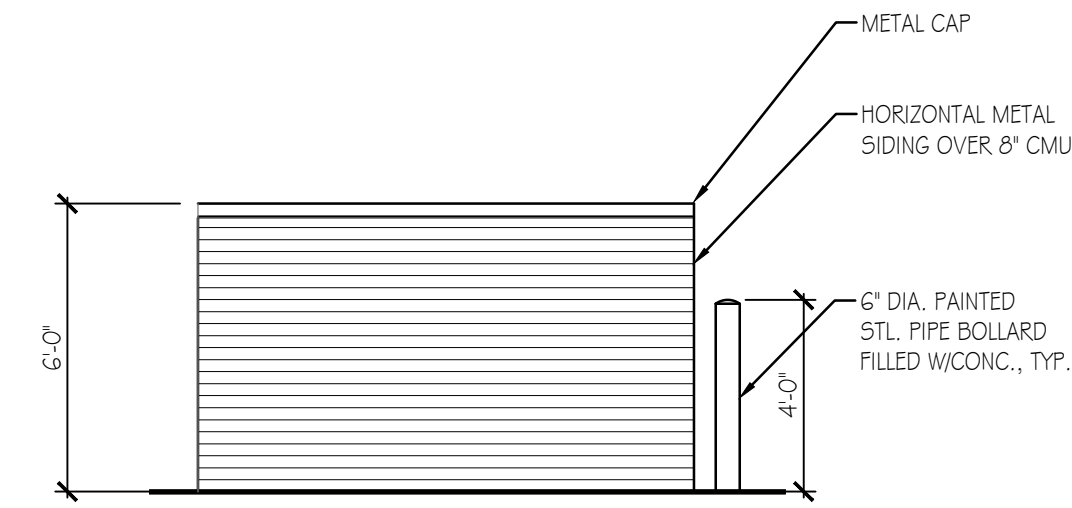
SITE PLAN REVIEW -
RESUBMITTAL
10/07/2021



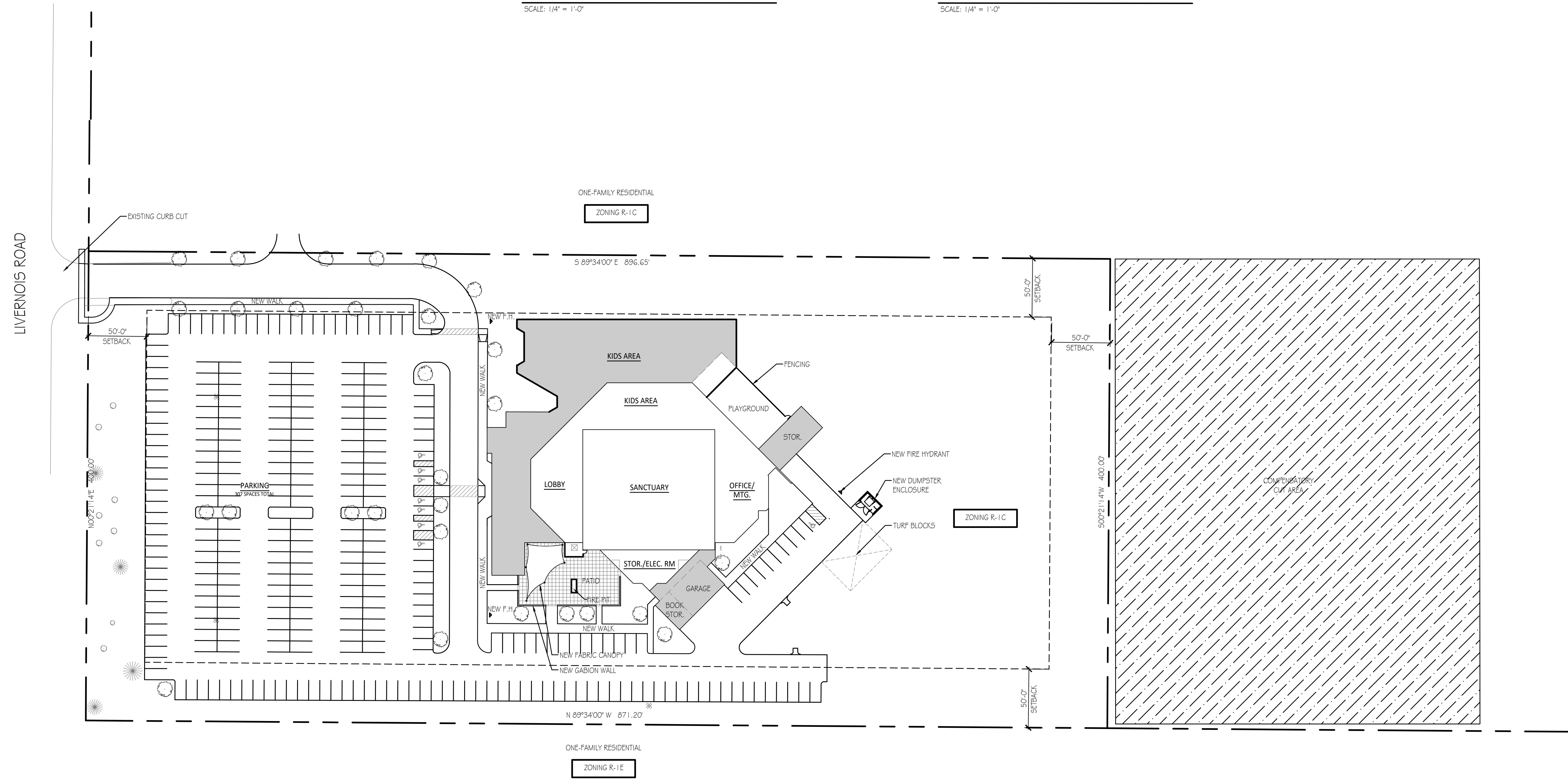
DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



DUMPSTER ENCLOSURE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



ARCHITECTURAL SITE PLAN (8.0 ACRES)
SCALE: 1" = 50'-0"

SITE DATA	
CURRENT ZONING	= R-1-C (ONE-FAMILY RESIDENTIAL)
USE GROUP	= INSTITUTIONAL/ PLACE OF WORSHIP
PARCEL NO.	= 88-20-22-101-034
GROSS SITE AREA	= 348,480 S.F. (8.0 ACRES)
LOT COVERAGE	= 104,545 S.F. (30%) MAX. ALLOWED
	= 44,050 S.F. (13%) PROPOSED
SETBACKS	= 50 FT. ALL SIDES FOR PLACES OF WORSHIP
MIN. LOT WIDTH	= 85 FT. PERMITTED
	= 400 FT. ACTUAL

BUILDING DATA	
PROPOSED NEW ADDITION	= 19,175 S.F.
EXISTING BUILDING AREA	= 24,875 S.F.
TOTAL BUILDING AREA	= 44,050 S.F.
SANCTUARY AREA	= 4,704 S.F.
SANCTUARY OCCUPANCY @ 7 S.F./OCC	= 672 OCC.
BALCONY + TIERED SEATING (FIXED)	= 192 SEATS
MAXIMUM SEATING ALLOWED	= 864 SEATS
PROPOSED WORSHIP SEATING	= 702 SEATS

PARKING DATA	
REQUIREMENT = 1 PARKING SPACE FOR EACH 3 SEATS IN MAIN UNIT OF WORSHIP	
REQUIRED PARKING SPACES (864 SEATS / 3)	= 288 SPACES PER CITY ORDINANCE
EXISTING TOTAL PARKING SPACES (AFTER PH. 1)	= 307 SPACES (1 SPACE / 2.3 SEATS)
REQUIRED BARRIER FREE SPACES	= 8 SPACES
EXISTING BARRIER FREE SPACES	= 8 SPACES
NEW PAVEMENT AREA	= 15,310 S.F.
PARKING LANDSCAPE REQUIREMENT = 1 TREE / 8 PARKING SPACES CURBED ISLANDS @ 200 S.F. MIN.	
REQUIRED LANDSCAPE AREA = 69,636 S.F. (20% OF SITE AREA)	
ACTUAL LANDSCAPE AREA = 86,801 S.F.	

BUILDING LEGEND	
	= EXISTING BUILDING
	= NEW ADDITIONS (1 STORY)

JTAI
JOHN TAGLE ASSOCIATES, INC.
ARCHITECTS & PLANNERS
309 N. Main Street, Suite 213
Royal Oak, MI 48067-1810
Tel: 248-545-0400
www.jtai.net

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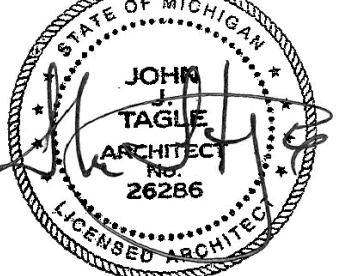
PROJECT:
MOTOR CITY CHURCH

REMODELING & ADDITIONS
3668 LIVERNOIS RD., TROY, MI 48083

ARCHITECTURAL SITE PLAN (8.0 AC)

ISSUE / REVISION:	
OWNER REVIEW	08/19/2021
REVIEW	09/03/2021
REVIEW	09/08/2021
REVIEW	09/11/2021
REVIEW	09/24/2021
SITE PLAN REVIEW	09/27/2021
SUBMITTAL	09/27/2021
RE - SUBMITTAL	10/07/2021

DRAWN BY:
NT
REVIEWED BY:
JT



JTAI FILE NO.
21.17
DRAWING NO.
A-061

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PROJECT:
MOTOR CITY CHURCH

REMODELING & ADDITIONS

3668 LIVERNOIS RD., TROY, MI 48083

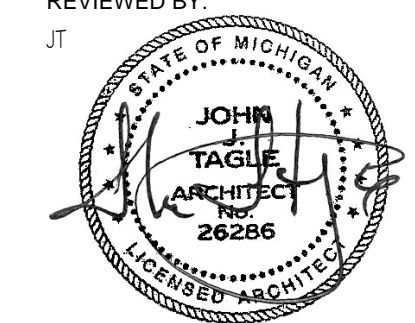
SHEET:

FLOOR PLAN

ISSUE / REVISION:

OWNER REVIEW	07/28/2021
OWNER REVIEW	07/29/2021
FINAL ISSUE	09/03/2021
OWNER REVIEW	08/18/2021
OWNER REVISION	08/19/2021
REVIEW	09/08/2021
REVIEW	09/14/2021
REVIEW	09/21/2021
SITE PLAN REVIEW	09/27/2021
SUBMITTAL	09/27/2021
SITE PLAN REVIEW	10/07/2021
RE - SUBMITTAL	10/07/2021

DRAWN BY:
 NT
 REVIEWED BY:
 JT

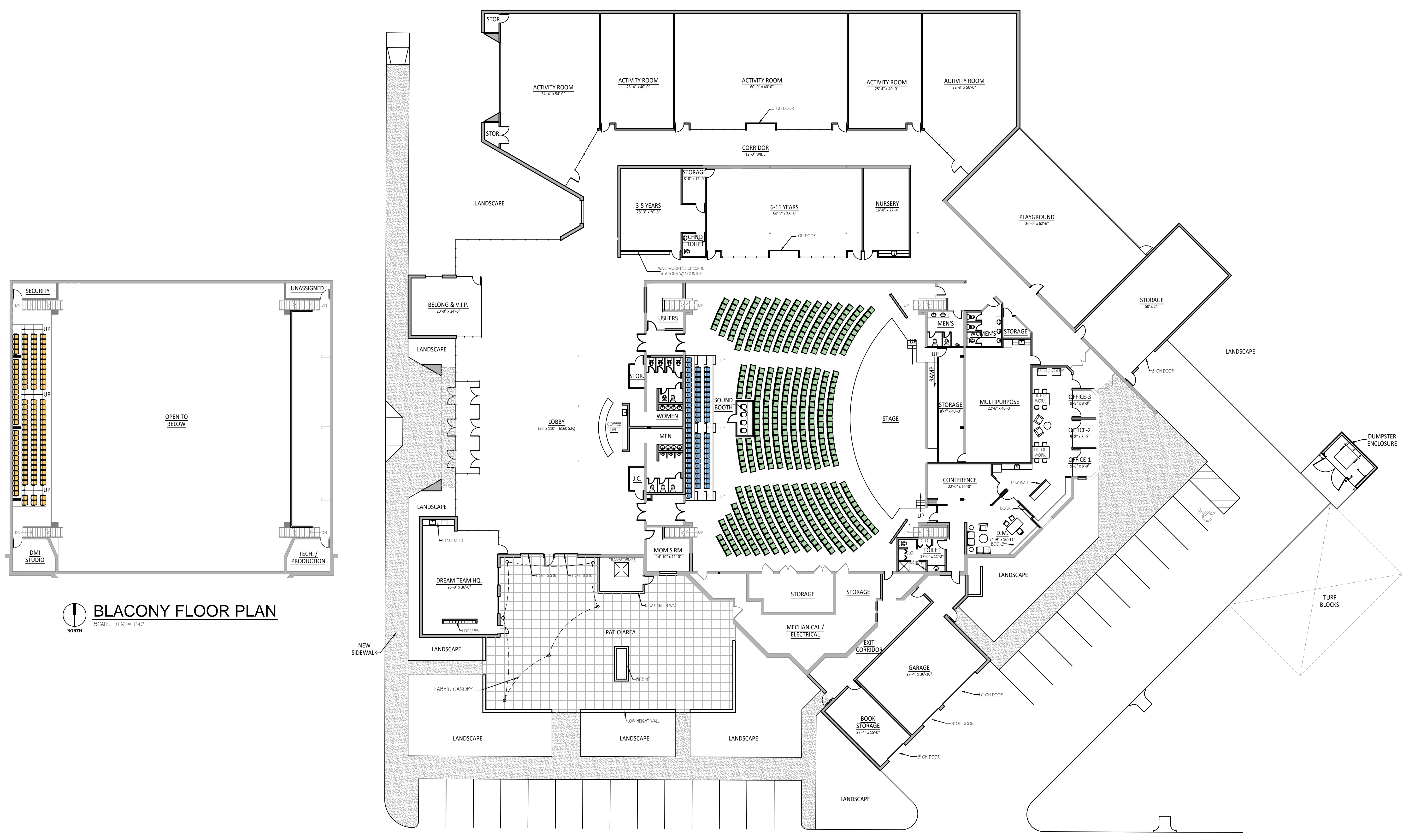


JTAI FILE NO.

21.17

DRAWING NO.

A-201



BLACONY FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 NORTH

NEW FLOOR PLAN (8.0 ACRES)
 SCALE: 1/16" = 1'-0"
 NORTH

SEATING CAPACITY PROPOSED
 FLOOR : 510
 TIERED : 72
 BALCONY : 120
 TOTAL : 702

MATERIAL LEGEND	
(A)	METAL PANEL (BLACK)
(A.2)	METAL PANEL (ORANGE)
(B)	HORIZONTAL METAL SIDING (ORANGE)
(B.2)	HORIZONTAL METAL SIDING (BLACK)
(C)	WHITE BRICK
(D)	EXISTING BUILDING FACADE (PAINTED BRICK)
(E)	EXISTING BUILDING FACADE (PAINTED BLOCK)
(F)	CURTAIN WALL SYSTEM W/ 1" CLEAR INSULATED GLASS IN BLACK ANODIZED ALUMINUM FRAMES.
(G)	STAINED WOOD SLATS
(H)	GABION WALL
(I)	OVERHEAD DOORS (GLASS)
(J)	OVERHEAD DOORS (METAL PANEL)
(K)	DUMPSTER ENCLOSURE HORIZONTAL METAL SIDING (BLACK)

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 ARCHITECTS & PLANNERS
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PROJECT:
MOTOR CITY CHURCH

REMODELING & ADDITIONS

3668 LIVERNOIS RD., TROY, MI 48083

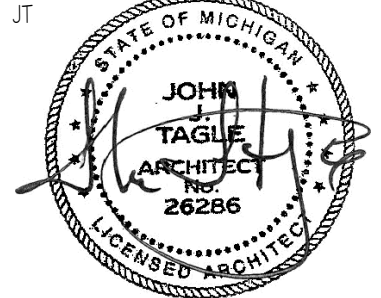
SHEET:

EXTERIOR ELEVATIONS

ISSUE / REVISION:	
SITE PLAN REVIEW	
SUBMITTAL	09/27/2021
SITE PLAN REVIEW	
RE - SUBMITTAL	10/07/2021

DRAWN BY:
 JT

REVIEWED BY:
 JT

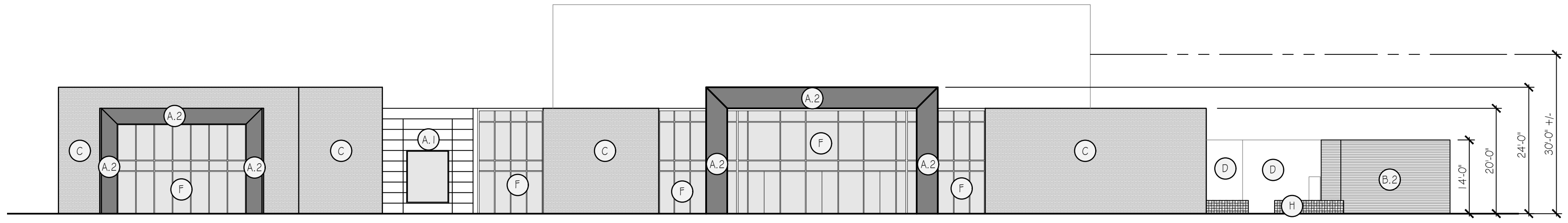


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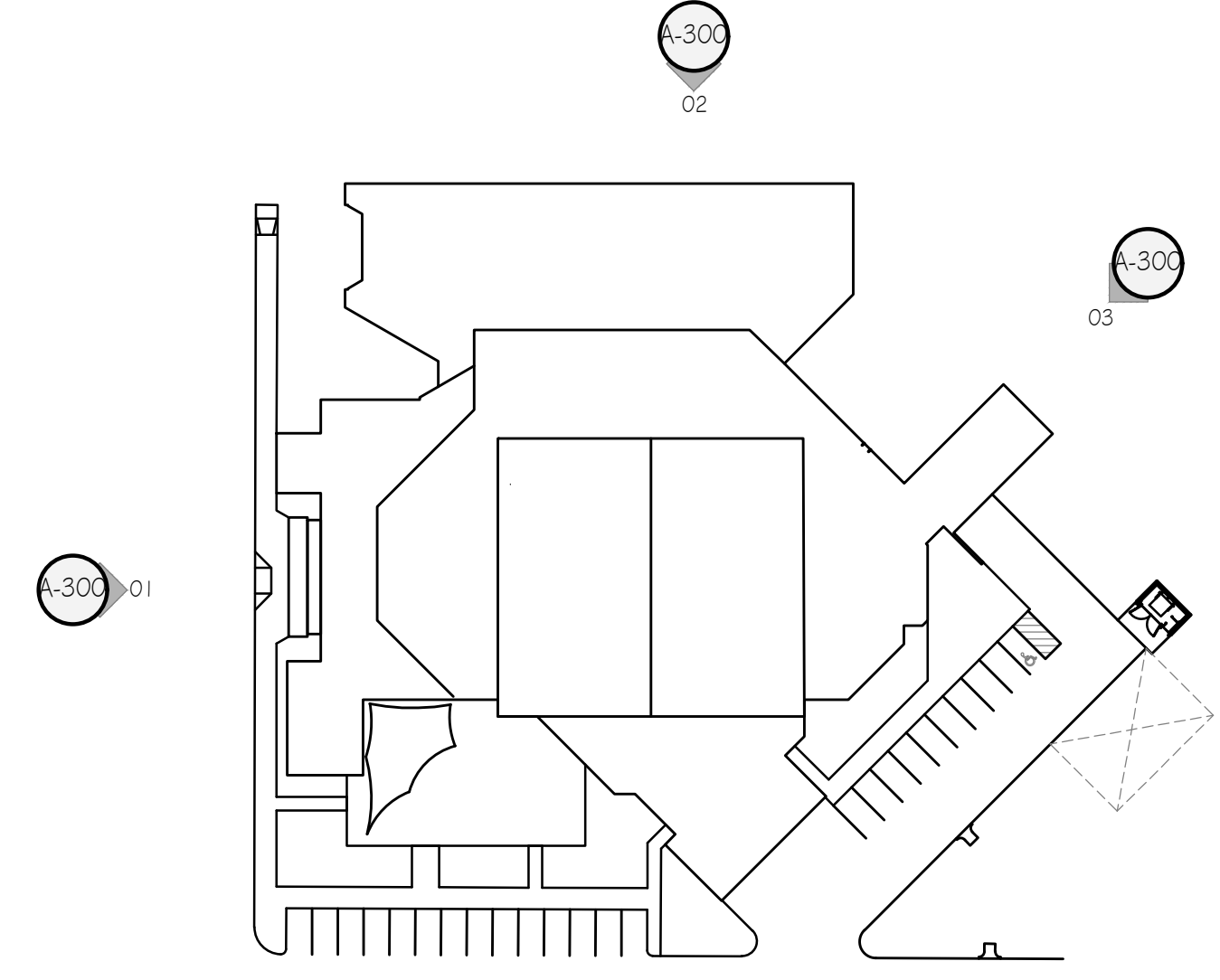
21.17

DRAWING NO.

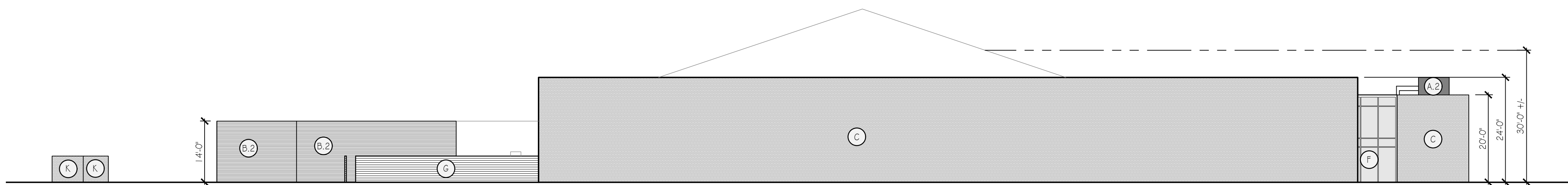
A-300



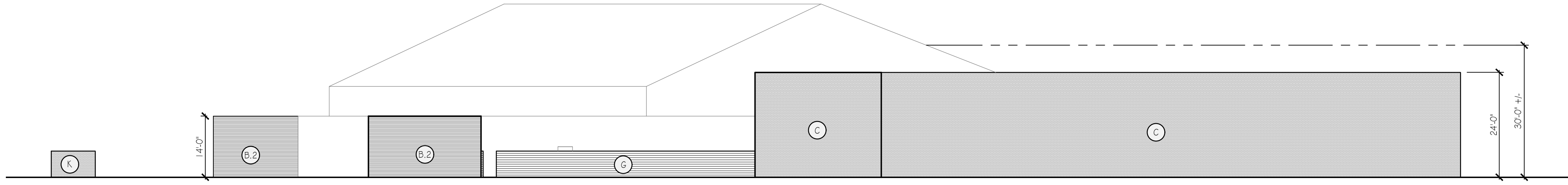
01 BUILDING ELEVATION
 SCALE: 1/16" = 1'-0"



KEY PLAN
 SCALE: 1/64" = 1'-0"

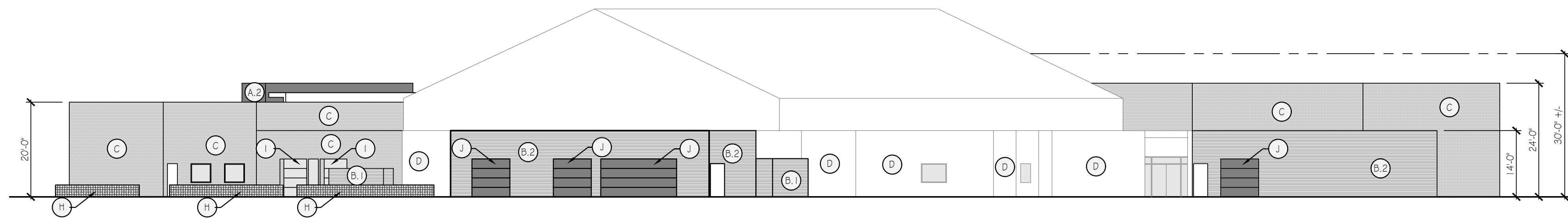


02 BUILDING ELEVATION
 SCALE: 1/16" = 1'-0"

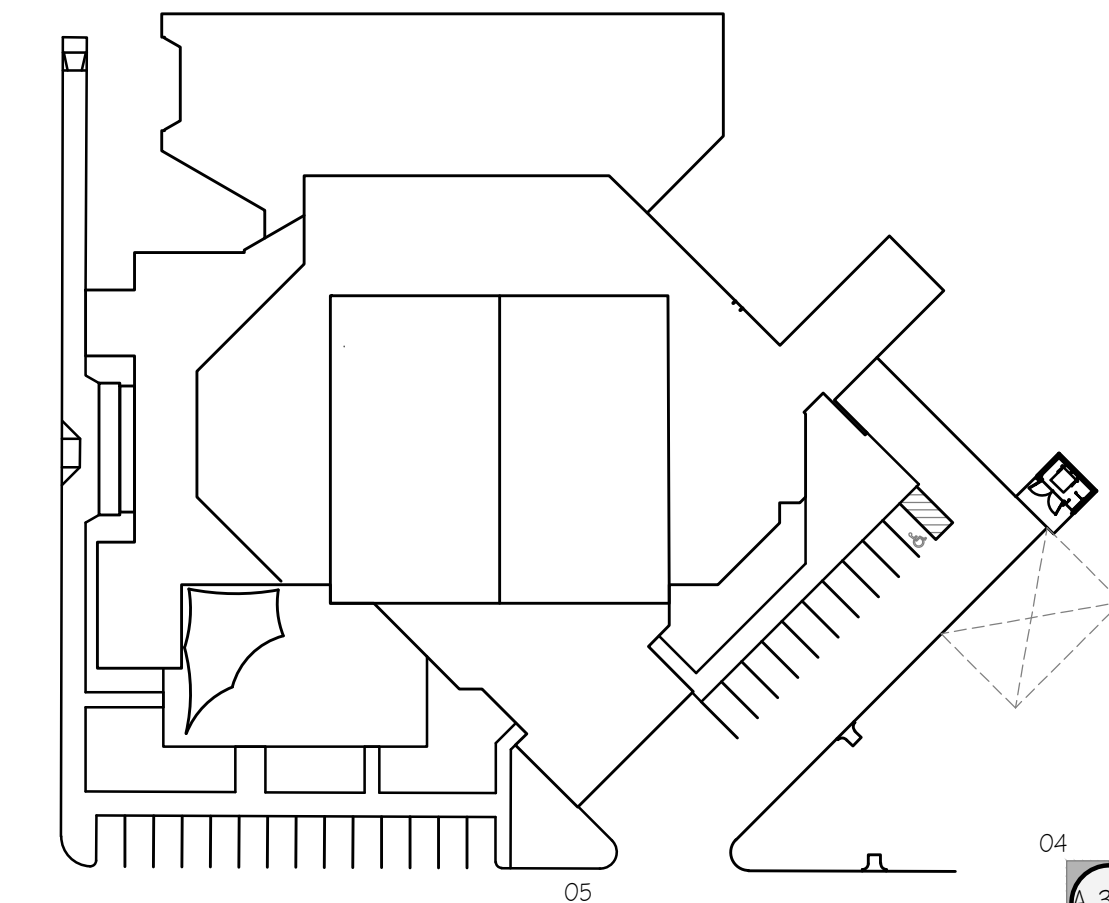


03 BUILDING ELEVATION
 SCALE: 1/16" = 1'-0"

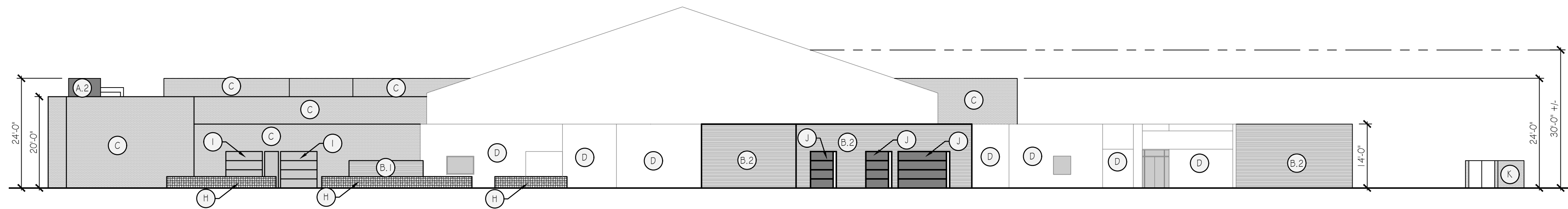
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04
A-200 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"



KEY PLAN
SCALE: 1/16" = 1'-0"
NORTH



05
A-200 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND	
(A)	METAL PANEL (BLACK)
(A.2)	METAL PANEL (ORANGE)
(B)	HORIZONTAL METAL SIDING (ORANGE)
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(H)	GABION WALL
(I)	OVERHEAD DOORS (GLASS)
(J)	OVERHEAD DOORS (METAL PANEL)
(K)	DUMPSTER ENCLOSURE HORIZONTAL METAL SIDING (BLACK)

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PROJECT:
MOTOR CITY CHURCH

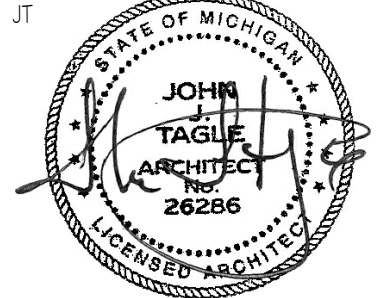
REMODELING & ADDITIONS

3668 LIVERNOIS RD., TROY, MI 48083

SHEET:
EXTERIOR ELEVATIONS

ISSUE / REVISION:	
SITE PLAN REVIEW	09/27/2021
SUBMITTAL	
SITE PLAN REVIEW	
RE - SUBMITTAL	10/07/2021

DRAWN BY:
NT
REVIEWED BY:
JT



JTAI FILE NO.
21.17
DRAWING NO.
A-301

P:\2021\17 - Motor City Church Remodeling\2021\17-17-17.dwg, 10/27/2021 11:20:51 AM, 26286.dwg

NORTHWEST CORNER OF SECTION 22 T.2N., R.11E. TROY, MI

LIVERNOIS ROAD (VARIABLE WIDTH - PUBLIC)

WEST LINE OF SECTION 22

LIVERNOIS ROAD (VARIABLE WIDTH - PUBLIC)

S89°28'59"E 1274.39'

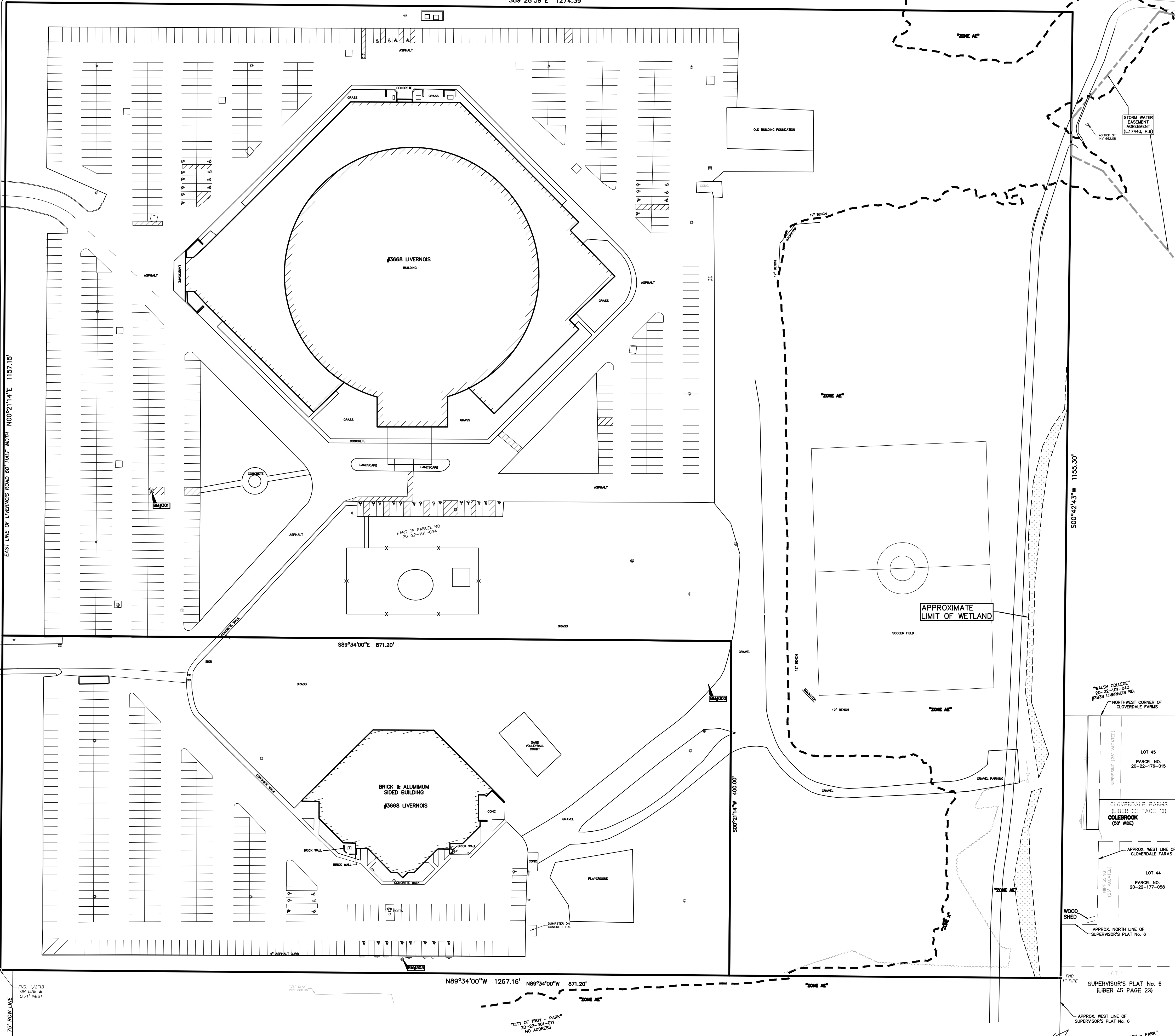
EAST LINE OF LIVERNOIS ROAD 60' HALF WIDTH N00°21'14"E 1157.15'

N00°21'14"E 400.00'

S89°34'00"E 871.20'

N89°34'00"W 1267.16' N89°34'00"W 871.20'

S00°42'43"W 1155.30'



LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊙ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED

EXISTING

- OH-ELEC—W—W— ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV— UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE— TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC—ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS VALVE & GAS LINE MARKER
- WATERMAN, HYD., GATE VALVE, TAPPING BREEVIE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MARB. TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONC. CONCRETE
- ASPH. ASPHALT

BENCHMARKS

(GPS DERIVED - NAVD88)

BM#301
PUNCH MARK ON HYDRANT, IN CENTER OF WESTERLY PARKING LOT BETWEEN NORTH AND SOUTH ENTRANCES OFF LIVERNOIS.
ELEV. - 674.30

BM#302
PUNCH HOLE IN HYDRANT ARROW, LOCATED ±195' NORTHEAST OF THE SOUTHWEST CORNER OF THE SAND VOLLEYBALL COURT.
ELEV. - 673.93

BM#303
SCRIBED '4' ON NORTH FACE OF CONCRETE LIGHT POLE BASE, ALONG SOUTH PROPERTY LINE ±130' WEST OF THE SOUTHWEST ASPHALT PARKING LOT CORNER.
ELEV. - 673.98

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, A PORTION OF THE SITE IS WITHIN ZONE 'AE', AREA DETERMINED TO BE INSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN (100-YEAR FLOOD) PER FLOOD INSURANCE RATE MAP, OAKLAND COUNTY MICHIGAN, PANEL 534 OF 704, MAP NUMBER 26125C0534F, EFFECTIVE DATE SEPT. 29, 2006.

The land referred to in this commitment is described as follows: City of Troy, County of Oakland, State of Michigan
Southwest 1/4 of Northwest 1/4 except the South 5.00 acres, of Section 22, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, also except that part platted into Supervisor's Plat No. 6, also except the West 60 feet thereof taken for Livernois Road; also except: Land in part of the Southwest 1/4 of the Northwest 1/4 of Section 22, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as follows: Beginning at the Northwest corner of CLOVERDALE FARMS, (plat recorded in file 33, page 13, Oakland County Records), thence South 89 degrees 44 minutes 00 seconds West, 15.00 feet; thence South 00 degrees 33 minutes 00 seconds West, 130.00 feet; thence North 89 degrees 44 minutes 00 seconds East, 15.00 feet; thence along the West line of said CLOVERDALE FARMS SUBDIVISION, North 00 degrees 33 minutes 00 seconds East, 130.00 feet to the point of beginning.

LEGAL DESCRIPTION - PROPOSED CHURCH PARCEL

(Per PEA Group)

Land in part of the Southwest 1/4 of Northwest 1/4 of Section 22, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan being more particularly described as:

Commencing at the West 1/4 corner of said Section 22, thence N00°21'14"E, 164.52 feet along the west line of Section 22; thence S89°34'00"E, 60.00 feet to the east line of Livernois Road (60' wide - Public) and the POINT OF BEGINNING;

thence N00°21'14"E, 400.00 feet along said east line; thence S89°34'00"E, 871.20 feet; thence S00°21'14"W, 400.00 feet; thence N89°34'00"W, 871.20 feet to the aforementioned east line of Livernois Road and the POINT OF BEGINNING. Containing ±8.00 acres, more or less.

PEA GROUP
t: 844.813.2949
www.peagroup.com

STATE OF MICHIGAN
JOHN BRUCE THOMPSON
ENGINEER
NO. 43292
LICENSED PROFESSIONAL ENGINEER

NORTH

0 30 60 120
SCALE: 1" = 60'

811 Know what's below. Call before you dig.

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
MOTOR CITY CHURCH
3668 LIVERNOIS ROAD
TROY, MICHIGAN

PROJECT TITLE
MOTOR CITY CHURCH - TROY
3668 LIVERNOIS ROAD
TROY, MICHIGAN

REVISIONS	
SPR RESUBMITTAL	10/7/21

ORIGINAL ISSUE DATE:
SEPTEMBER 24, 2021

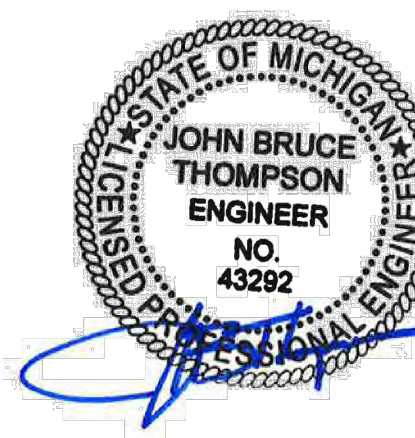
DRAWING TITLE
OVERALL TOPOGRAPHIC SURVEY

PEA JOB NO.	2021-0233
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

P-0

S:\PROJECTS\2021\0233 MOTOR CITY CHURCH - TROY\DWG\SITE PLANS\1-03_TPO-2123.dwg



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
MOTOR CITY CHURCH
3668 LIVERNOIS ROAD
TROY, MICHIGAN

PROJECT TITLE
MOTOR CITY CHURCH - TROY
3668 LIVERNOIS ROAD
TROY, MICHIGAN

REVISIONS	
SPR RESUBMITTAL	10/7/21

ORIGINAL ISSUE DATE:
SEPTEMBER 24, 2021
DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO.	2021-0233
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

LEGAL DESCRIPTION - PROPOSED CHURCH PARCEL
(Per PEA Group)
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thence N00°21'14"E, 400.00 feet along said east line; thence S89°34'00"E, 871.20 feet;
thence S00°21'14"W, 400.00 feet;
thence N89°34'00"W, 871.20 feet to the aforementioned east line of Livernois Road and the POINT OF BEGINNING, Containing ±8.00 acres, more or less.

BENCHMARKS
(GPS DERIVED - NAVD88)
BM#301
PUNCH MARK ON HYDRANT, IN CENTER OF WESTERLY PARKING LOT BETWEEN NORTH AND SOUTH ENTRANCES OFF LIVERNOIS.
ELEV. = 674.30
BM#302
PUNCH HOLE IN HYDRANT ARROW, LOCATED ±195' NORTHEAST OF THE SOUTHWEST CORNER OF THE SAND VOLLEYBALL COURT.
ELEV. = 673.93
BM#303
SCRIBED "x" ON NORTH FACE OF CONCRETE LIGHT POLE BASE, ALONG SOUTH PROPERTY LINE ±130' WEST OF THE SOUTHEAST ASPHALT PARKING LOT CORNER.
ELEV. = 673.98

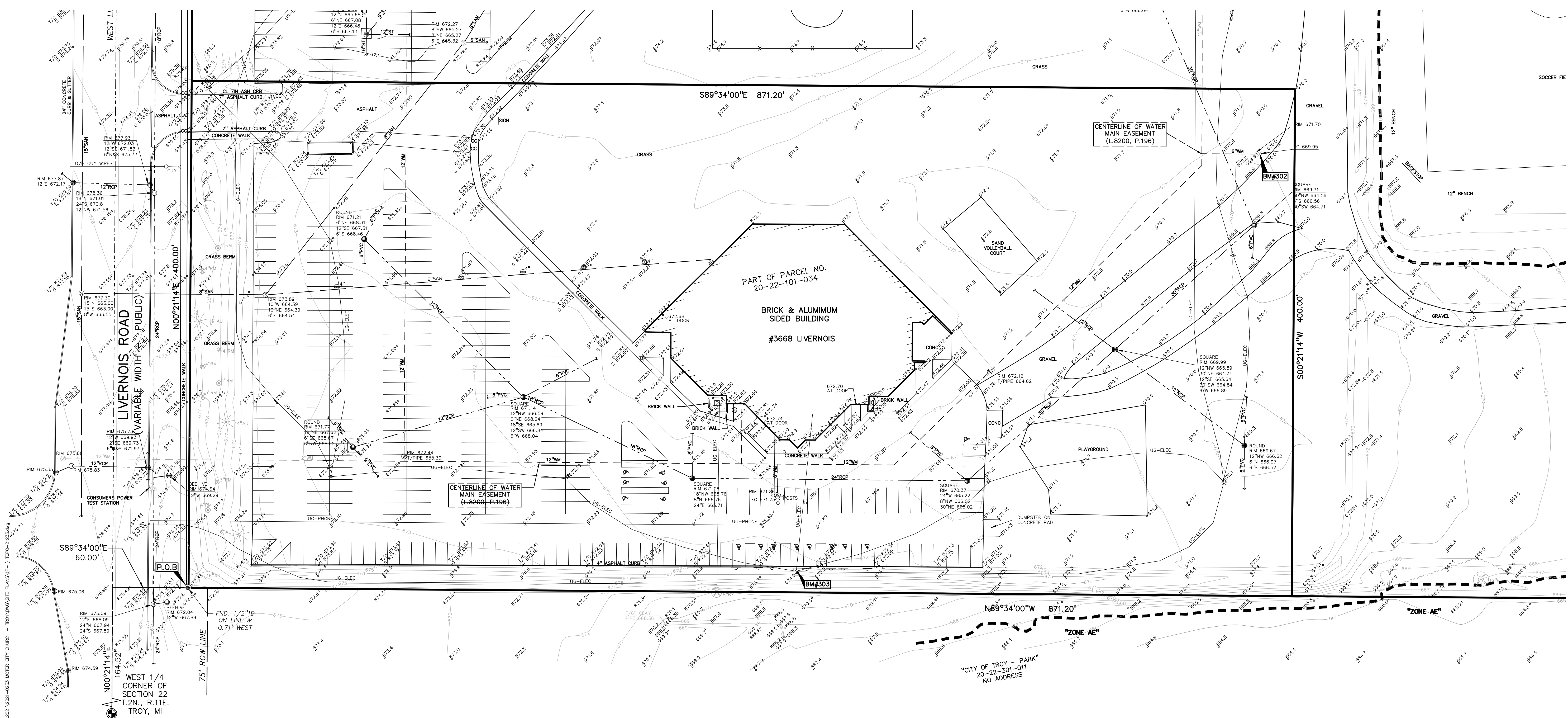
FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, A PORTION OF THE SITE IS WITHIN ZONE 'AE', AREA DETERMINED TO BE INSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN (100-YEAR FLOOD) PER FLOOD INSURANCE RATE MAP, OAKLAND COUNTY MICHIGAN, PANEL 534 OF 704, MAP NUMBER 26125C0534F, EFFECTIVE DATE SEPT. 29, 2006.

LEGEND

- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND
- SEC. CORNER FOUND
- R RECORDED
- M MEASURED
- C CALCULATED

EXISTING

- OH-ELEC-4" UG LINE, POLE & GUY WIRE
- UG-CATV
- UG-PHONE
- UG-ELEC-U.G. CABLE, MANHOLE, METER & HANDHOLE
- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS MAIN, VALVE & GAS LINE MARKER
- WATER MAIN, HYD. GATE VALVE, TAPPING BLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARDRAIL
- STREET LIGHT
- SIGN
- CONC. CONCRETE
- ASPH. ASPHALT



NOT FOR CONSTRUCTION

P-1

S:\PROJECTS\2021\0233 MOTOR CITY CHURCH - TROY\DWG\SITE PLANS\1-1 TOPO\DWG SITE PLANS\1-1 TOPO-210224.dwg

GENERAL NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
 - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
 - REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS

SIDEWALK RAMP LEGEND:

- SIDEWALK RAMP 'TYPE R' (R)
 - SIDEWALK RAMP 'TYPE F' (F)
 - SIDEWALK RAMP 'TYPE RF' (RF)
 - SIDEWALK RAMP 'TYPE M' (M)
- REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

SIGN LEGEND:

- 'NO PARKING FIRE LANE' SIGN (1)
 - 'STOP' SIGN (2)
 - 'BARRIER FREE PARKING' SIGN (3)
 - 'VAN ACCESSIBLE' SIGN (4)
- REFER TO DETAIL SHEET FOR SIGN DETAILS

SITE DATA TABLE:

SITE AREA: 8.00 ACRES (348,480 SQ.FT.) NET AND GROSS
 ZONING: R-1C (ONE-FAMILY RESIDENTIAL)
 PROPOSED USE: INSTITUTION/PLACE OF WORSHIP
BUILDING INFORMATION:
 BUILDING FOOTPRINT AREA = 44,055 SQ.FT.
 (EXISTING 24,875 SQ.FT.) (ADDITION 19,175 SQ. FT.)
 BUILDING LOT COVERAGE = 13%

SETBACK REQUIREMENTS:

	REQUIRED:	PROPOSED:
FRONT:	50'	341.09'
SIDE:	50'	54.22'
REAR:	50'	244.03'

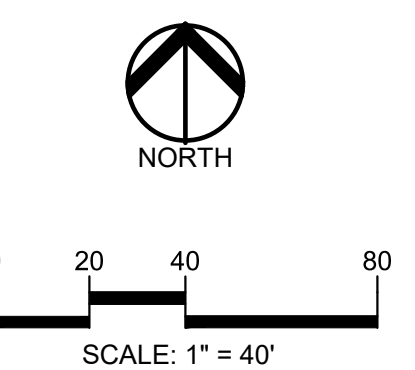
PARKING CALCULATIONS:
 1 SPACE PER EACH 3 SEATS IN MAIN UNIT OF WORSHIP
 TOTAL PARKING REQUIRED = 864 SEATS/3 = 288 SPACES
 TOTAL PROPOSED PARKING SPACES = 307 SPACES INC. 8 H/C SPACES

SITE SOILS INFORMATION:
 ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:
 LENAWEЕ SILTY CLAY LOAM, 0 TO 1 PERCENT SLOPES

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊙ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊗ NAIL & CAP SET	M MEASURED
		C CALCULATED

EXISTING	PROPOSED
—OH-ELEC—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG-PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG-ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS—	GAS MAIN, VALVE & GAS LINE MARKER
—WATER—	WATERMAIN, HYD. GATE VALVE, TAPPING BLEEVE & VALVE
—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE
—STORM—	STORM SEWER, CLEANOUT & MANHOLE
—COMB.—	COMBINED SEWER & MANHOLE
—SQUARE—	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
—POST—	POST INDICATOR VALVE
—WATER VALVE—	WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
—MBOX—	MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
—UNIDENT.—	UNIDENTIFIED STRUCTURE
—SPOT—	SPOT ELEVATION
—CONTOUR—	CONTOUR LINE
—FENCE—	FENCE
—GUARD RAIL—	GUARD RAIL
—STREET LIGHT—	STREET LIGHT
—SIGN—	SIGN
—CONC.—	CONCRETE
—ASPH.—	ASPHALT
—STD.—	STD. HEAVY DUTY ONLY
—STD.—	STD. HEAVY DEEP DUTY STRENGTH



CAUTION!
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CLIENT
MOTOR CITY CHURCH
 3668 LIVERNOIS ROAD
 TROY, MICHIGAN

PROJECT TITLE
MOTOR CITY CHURCH - TROY
 3668 LIVERNOIS ROAD
 TROY, MICHIGAN

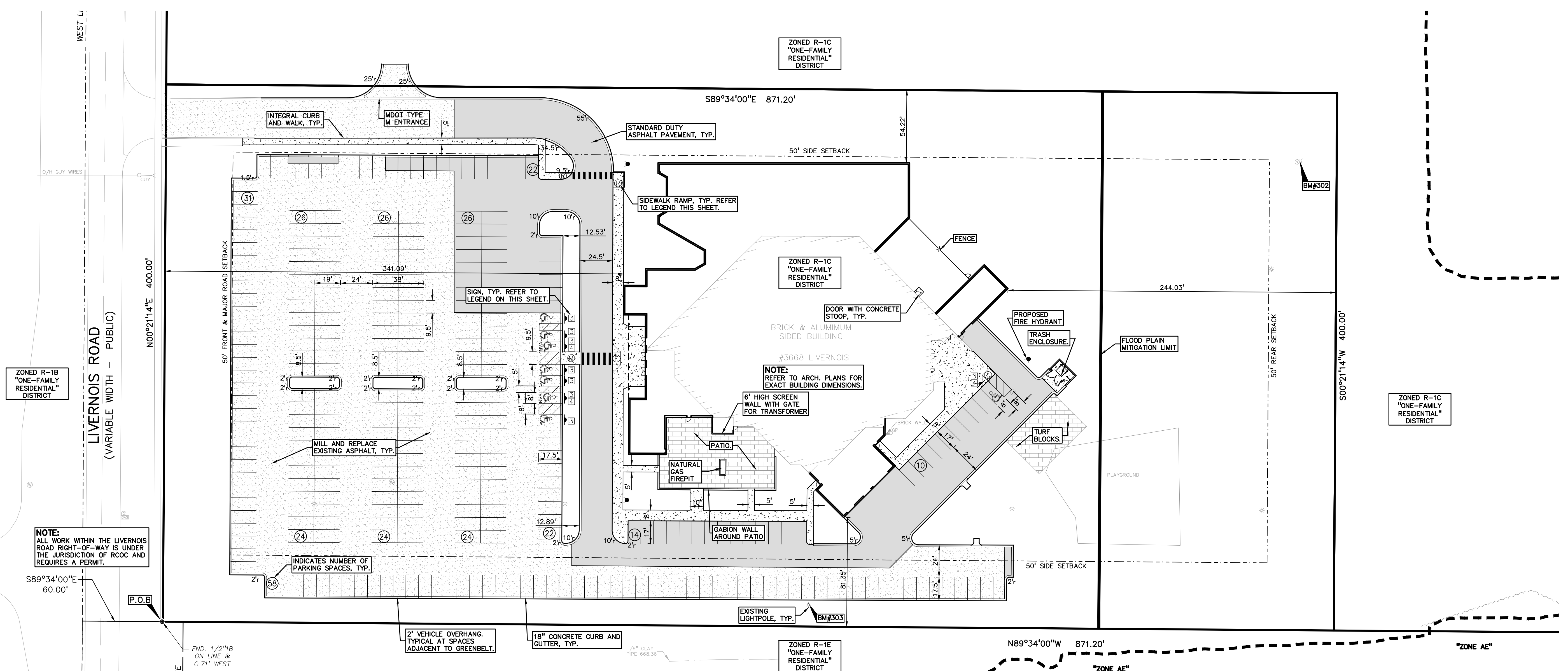
REVISIONS

SPR RESUBMITTAL	10/7/21
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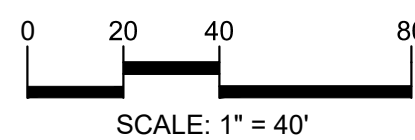
ORIGINAL ISSUE DATE:
 SEPTEMBER 24, 2021
 DRAWING TITLE
PRELIMINARY SITE PLAN

PEA JOB NO.	2021-0233
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **P-2**



S:\PROJECTS\2021\0233 MOTOR CITY CHURCH - TROY\DWG\SITE PLANS\01-2 SITE-21233.dwg



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CLIENT
MOTOR CITY CHURCH
3668 LIVERNOIS ROAD
TROY, MICHIGAN

PROJECT TITLE
MOTOR CITY CHURCH - TROY
3668 LIVERNOIS ROAD
TROY, MICHIGAN

REVISIONS	
SPR RESUBMITTAL	10/7/21

ORIGINAL ISSUE DATE:
SEPTEMBER 24, 2021

DRAWING TITLE
PRELIMINARY GRADING AND UTILITY PLAN

PEA JOB NO.	2021-0233
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

SYMBOLS: GRADING

PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.

PROPOSED CONTOUR LINE

ABBREVIATIONS:
T/C = TOP OF CURB
G = GUTTER GRADE
T/P = TOP OF PAVEMENT
T/S = TOP OF SIDEWALK
T/W = TOP OF WALL
B/W = BOTTOM OF WALL
F.G. = FINISH GRADE
RIM = RIM ELEVATION

SIDEWALK RAMP LEGEND:
SIDEWALK RAMP "TYPE R"
SIDEWALK RAMP "TYPE F"
SIDEWALK RAMP "TYPE RF"
SIDEWALK RAMP "TYPE M"
REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

LEGEND

EXISTING

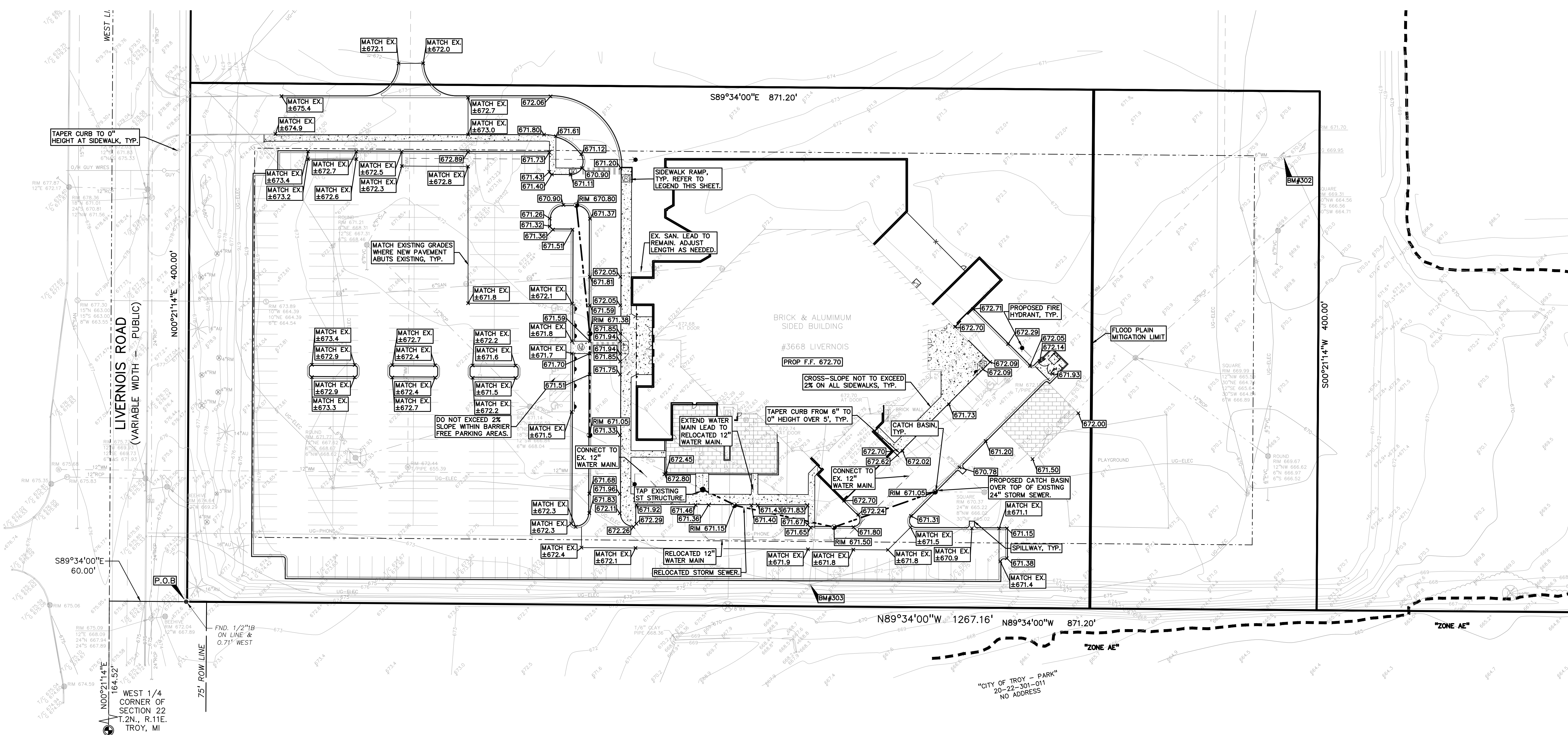
- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND
- MONUMENT SET

PROPOSED

- ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UNDERGROUND CABLE TV, CATV PEDESTAL
- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS MAIN, VALVE & GAS LINE MARKER
- WATERMAIN, HYD. GATE VALVE, TAPPING BLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARDRAIL
- STREET LIGHT
- SIEN
- CONC.
- ASPH.

SEC. CORNER FOUND
R RECORDED
M MEASURED
C CALCULATED

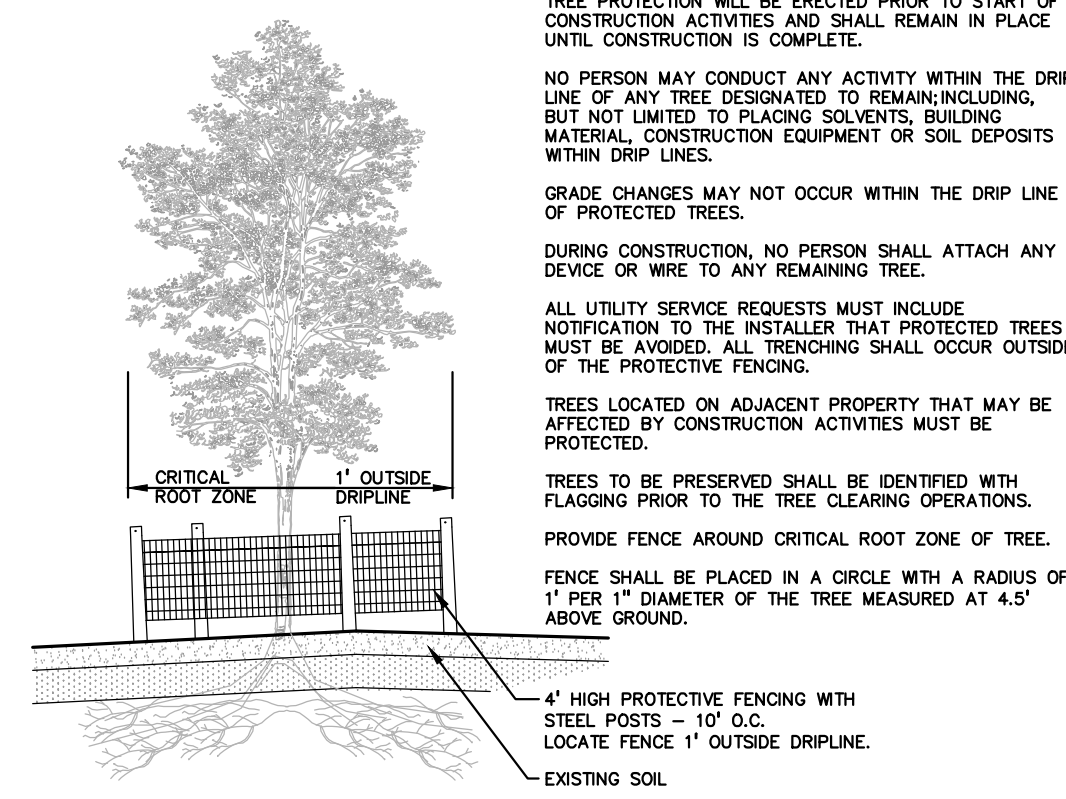
310 HEAVY FLOW DUTY ONLY
STD HEAVY DEEP DUTY STRENGTH



NOT FOR CONSTRUCTION

P-3

S:\PROJECTS\2021\0233 MOTOR CITY CHURCH - TROY\DWG\SITE PLANS\1P-3 GRAD-21233.dwg



TREE PROTECTION DETAIL
NOT TO SCALE

TREE PROTECTION WILL BE ERRECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES.

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES.

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE.

ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS.

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE. FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND.

4' HIGH PROTECTIVE FENCING WITH STEEL POSTS - 10" O.D.
LOCATE FENCE 1' OUTSIDE DRIPLINE.
EXISTING SOIL

EXISTING TREE LIST							
NOTE: -R = DENOTES TREE TO BE REMOVED S = TREE TO BE SAVED							
PLAN ID	CODE	DBH	COMMON NAME	LATIN NAME	COND.	NOTE	SAVE / REMOVE
100	RM	4	Red Maple	Acer rubrum	Fair		S
101	RM	4	Red Maple	Acer rubrum	Fair		S
102	AU	16	Austrian Pine	Pinus nigra	Good		S
103	RM	4	Red Maple	Acer rubrum	Fair		S
104	RM	4	Red Maple	Acer rubrum	Fair		S
105	RM	4	Red Maple	Acer rubrum	Fair		S
106	RM	5	Red Maple	Acer rubrum	Fair		S
107	AU	14	Austrian Pine	Pinus nigra	Fair		S
108	RM	3	Red Maple	Acer rubrum	Fair		S
109	RM	4	Red Maple	Acer rubrum	Fair		S
110	AU	16	Austrian Pine	Pinus nigra	Good		S
111	AU	16	Austrian Pine	Pinus nigra	Good		S
112	BX	8	Box elder	Acer negundo	Fair		S

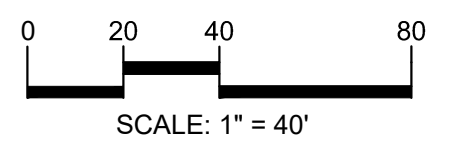
KEY:

EXISTING TREE / TAG TO REMAIN WITH TREE PROTECTION FENCING

NO TREES TO BE REMOVED; NO REPLACEMENT REQUIRED

NOTE:
TREE PROTECTION MUST BE INSTALLED AND INSPECTED PRIOR TO ANY RELEASE OF DEMO PERMITS.

PEA GROUP
t: 844.813.2949
www.peagroup.com



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CLIENT
MOTOR CITY CHURCH
3668 LIVERNOIS ROAD
TROY, MICHIGAN

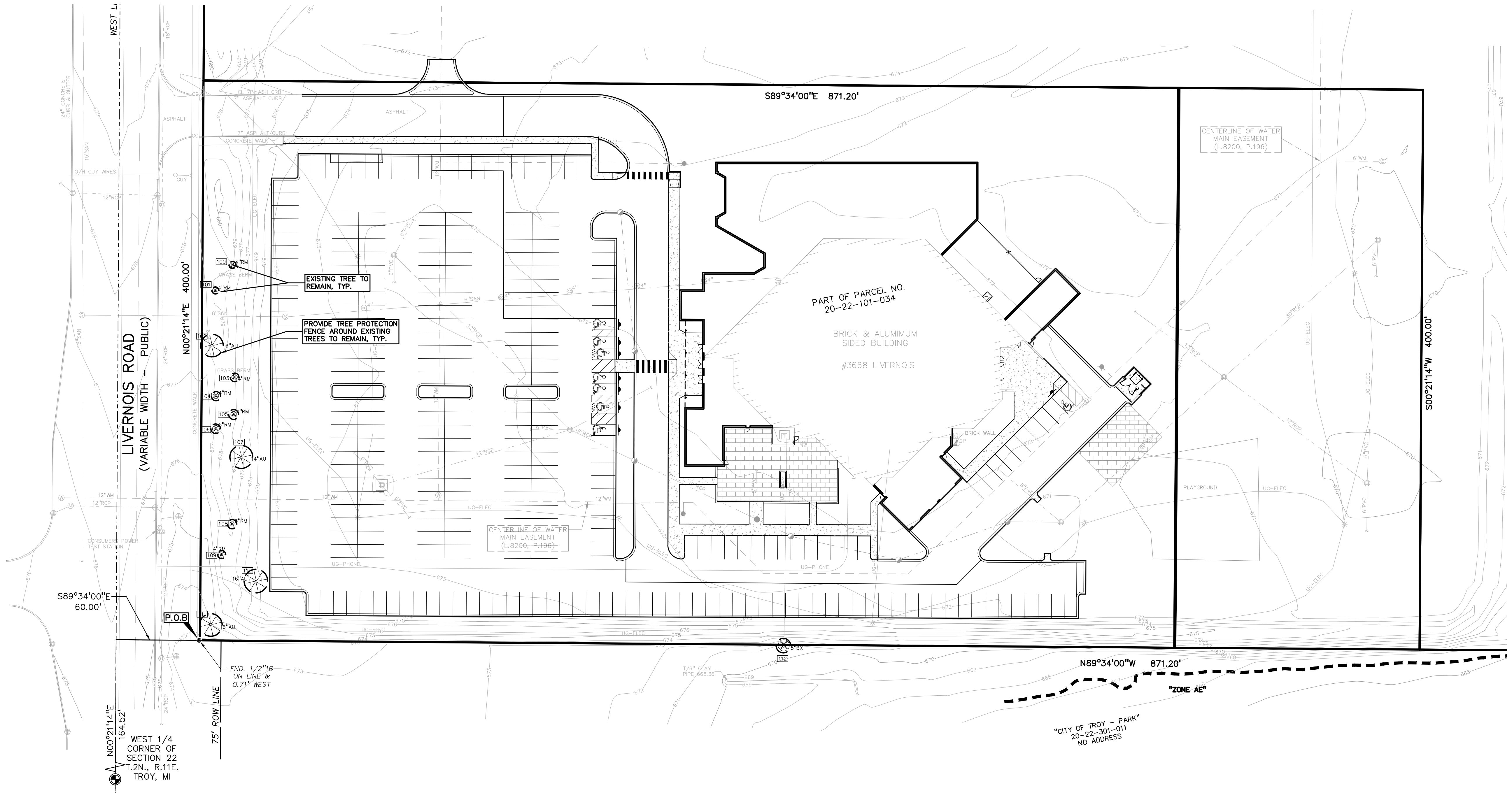
PROJECT TITLE
MOTOR CITY CHURCH - TROY
3668 LIVERNOIS ROAD
TROY, MICHIGAN

REVISIONS	
SPR RESUBMITTAL	10/7/21

ORIGINAL ISSUE DATE:
SEPTEMBER 24, 2021

DRAWING TITLE
TREE PRESERVATION PLAN

PEA JOB NO.	2021-0233
P.M.	JBT
DN.	AH
DES.	JLE
DRAWING NUMBER:	



NOT FOR CONSTRUCTION

T-1.0

S:\PROJECTS\2021\0233 MOTOR CITY CHURCH - TROY\DWG\SITE PLANS\T-1.0 TREE - 21233.dwg



0 20 40 80
SCALE: 1" = 40'



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CLIENT
MOTOR CITY CHURCH
3668 LIVERNOIS ROAD
TROY, MICHIGAN

PROJECT TITLE
MOTOR CITY CHURCH - TROY
3668 LIVERNOIS ROAD
TROY, MICHIGAN

REVISIONS
SPR RESUBMITTAL 10/7/21

ORIGINAL ISSUE DATE:
SEPTEMBER 24, 2021

DRAWING TITLE
PRELIMINARY LANDSCAPE PLAN

PEA JOB NO. 2021-0233

P.M. JBT

DN. JHT

DES. JLE

DRAWING NUMBER:

L-1.0

LANDSCAPE CALCULATIONS:
PER CITY OF TROY ZONING ORDINANCE; R1-C

GREENBELT
REQUIRED: 1 TREE / 30 LF OF FRONTAGE
LIVERNOIS RD.: 400 LF FRONTAGE/30 = 14 TREES
PROVIDED: 2 PROPOSED, 12 EXISTING TREES

PARKING LOT LANDSCAPING
REQUIRED: 1 TREE / 8 PARKING SPACES
307 PARKING SPACES / 8 = 39 TREES
PARKING LOTS THAT FACE R.O.W. MUST BE LANDSCAPED WITH MIN. 3' HT. BERM, SHRUB HEDGE OR 3' HT. SOLID WALL. CURBED ISLANDS CANNOT BE LESS THAN 200 SF. PLANTINGS MUST BE MIN. 3' FROM BACK OF CURB. AT VEHICLE OVERHANGS MIN. OF 5' FROM BACK OF CURB TO PLANTING.
PROVIDED: 39 PROPOSED TREES & EXISTING BERM AT LIVERNOIS

GENERAL SITE LANDSCAPE
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL
348,480 SQ FT * 20% = 69,696 SQ FT
PROVIDED: 86,801 SQ FT OF SOFT-SCAPE (AREA EAST OF FLOODPLAIN MITIGATION LINE NIC IN CALCULATION) (LAWN & PLANT BEDS) (25 % SOFT-SCAPE PROVIDED)

REPLACEMENT TREES
SEE SHEET T-1.0 FOR EXISTING TREE LIST AND TREE PRESERVATION PLAN.
REQUIRED: NONE; NO TREES REMOVED

KEY:

- ⊕ = REQUIRED GREENBELT TREES
- ⊙ = REQUIRED PARKING LOT TREES
- ▨ = IRRIGATED SEED LAWN
- ▩ = SEED LAWN RESTORATION
- ▧ = PLAZA AND FOUNDATION PLANTINGS TO BE DETAIL DURING CONSTRUCTION DRAWINGS
- ⊗ = EXISTING TREE / TAG TO REMAIN WITH TREE PROTECTION FENCING

PLANT BEDS TO BE IRRIGATED
TREES TO BE LOCATED MINIMUM OF 5' OFF UTILITY LINES TYP.
SEE SHT. T-1.0 FOR TREE PRESERVATION PLAN

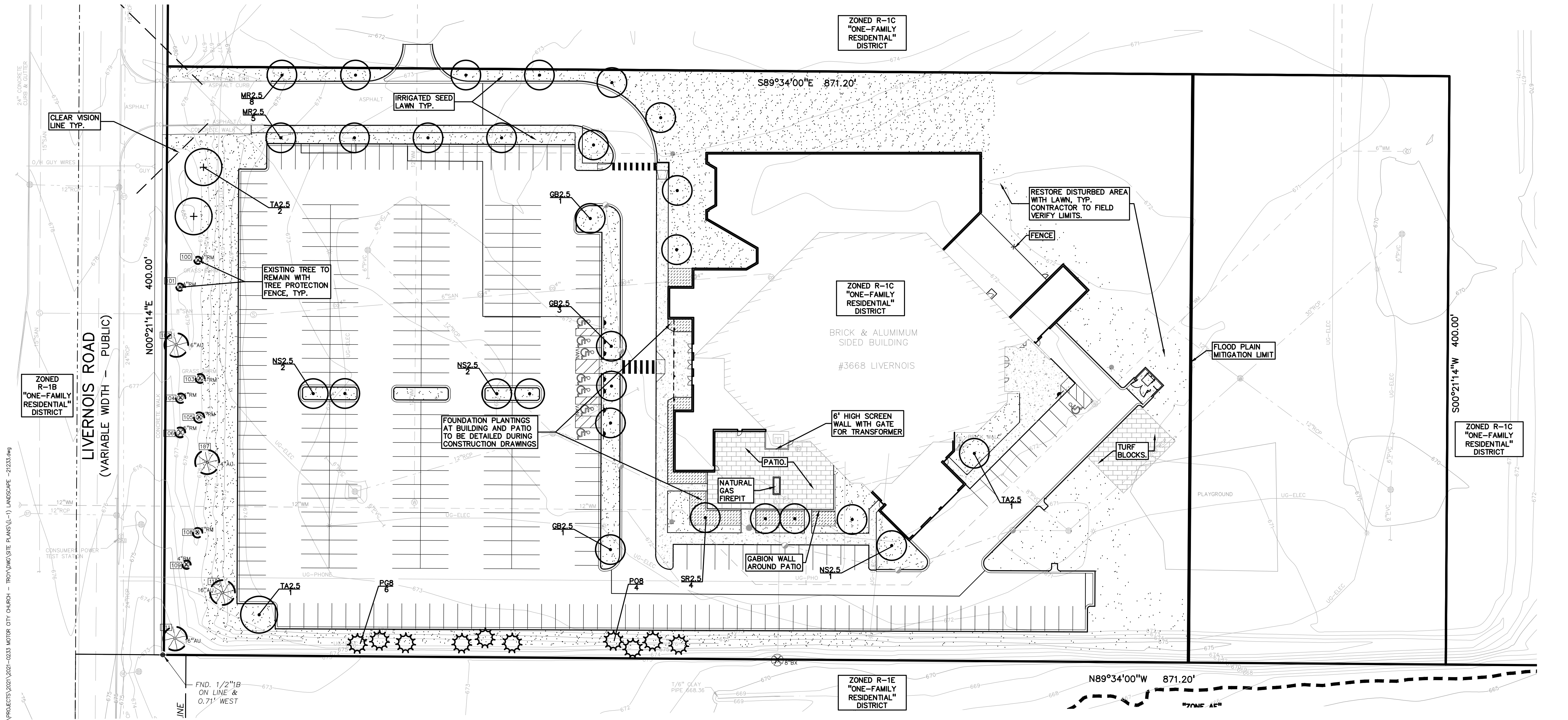
- GENERAL PLANTING NOTES:**
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
 - ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
 - THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
 - ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
 - ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
 - ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
 - ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
 - ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
 - NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
 - ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
 - IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
 - ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
 - ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
 - SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
 - FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
 - CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
 - NO TREE TO BLOCK DIRECTIONAL SIGN, GROUND SIGN, BUILDING SIGN OR ADDRESS, IF PRESENT, SHIFT TREE AS NECESSARY.

DECIDUOUS TREE PLANT LIST:

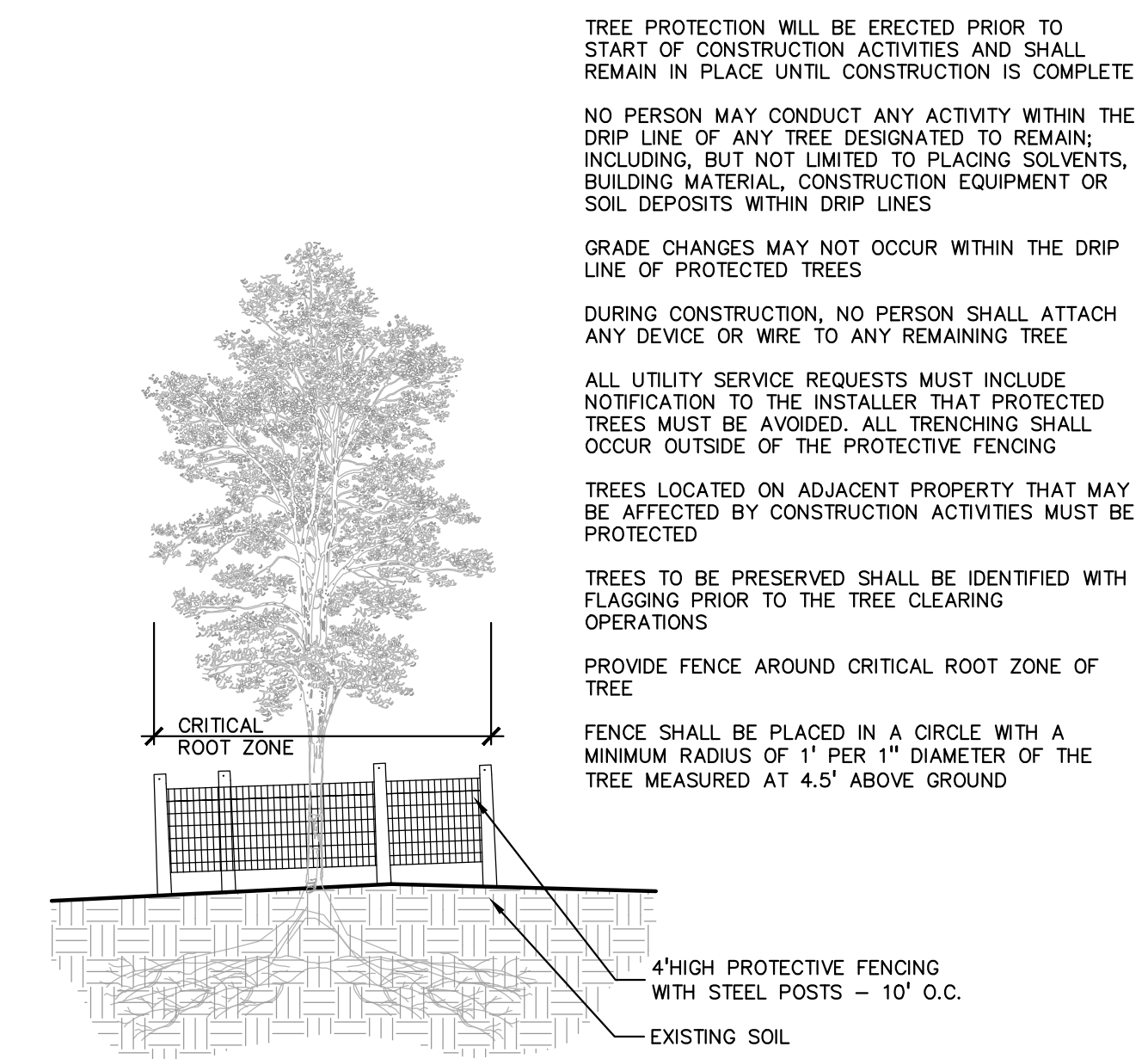
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	GB2.5	Magyar Ginkgo	<i>Ginkgo biloba 'Magyar'</i>	2.5" Cal.	B&B
13	MR2.5	Red Jewel Crab	<i>Malus 'Red Jewel' (white, pyramidal upright)</i>	2.5" Cal.	B&B
5	NS2.5	Black Gum	<i>Nyssa sylvatica 'Firestarter'</i>	2.5" Cal.	B&B
4	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata 'Ivory Silk' (white, upright)</i>	2.5" Cal.	B&B
4	TA2.5	Boulevard Linden	<i>Tilia americana 'Boulevard'</i>	2.5" Cal.	B&B
31	TOTAL DEC.				

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	PG8	White Spruce	<i>Picea glauca</i>	8' Ht.	B&B
4	PO8	Serbian Spruce	<i>Picea omorika</i>	8' Ht.	B&B
10	TOTAL EVG.				



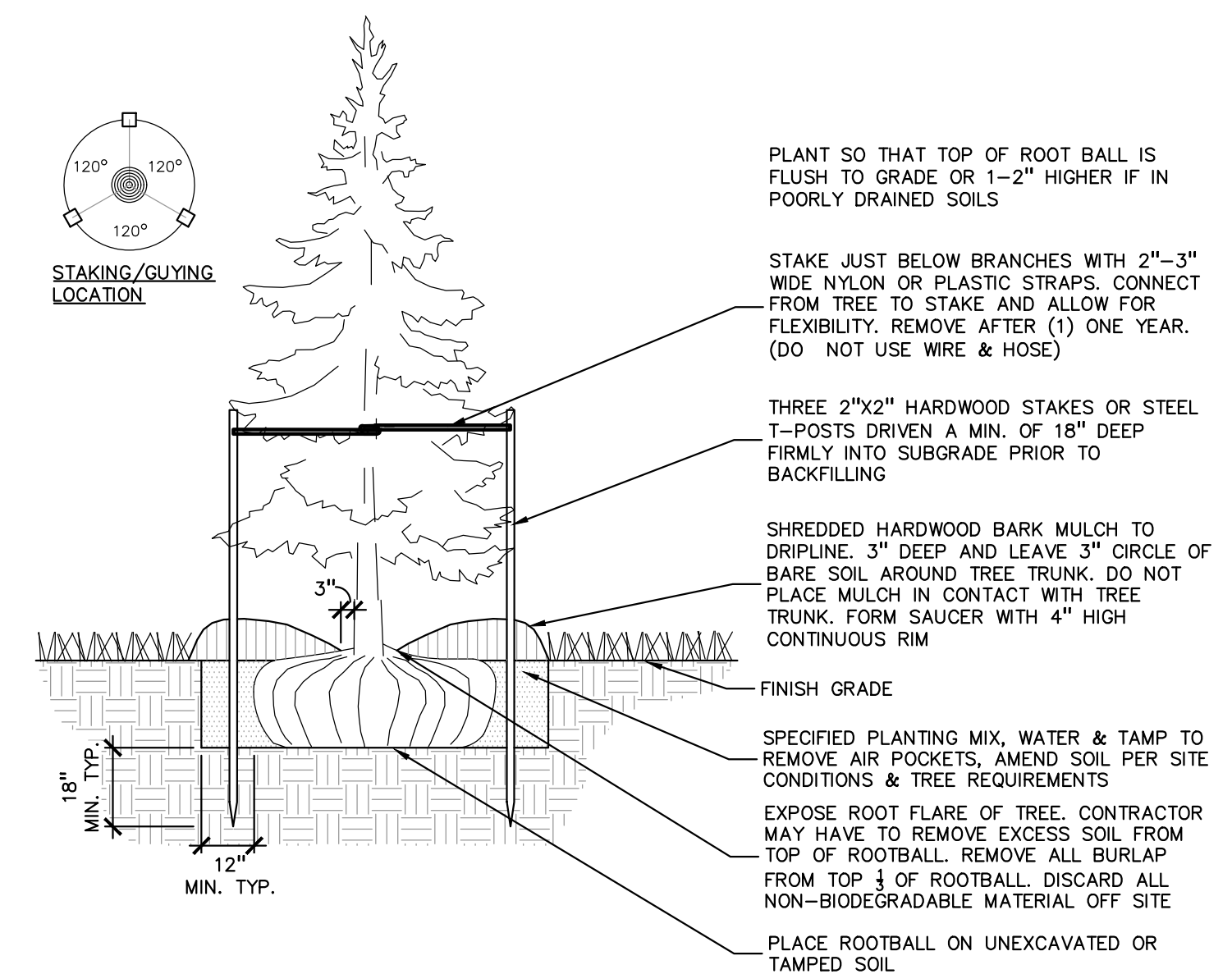
NOT FOR CONSTRUCTION



3 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"



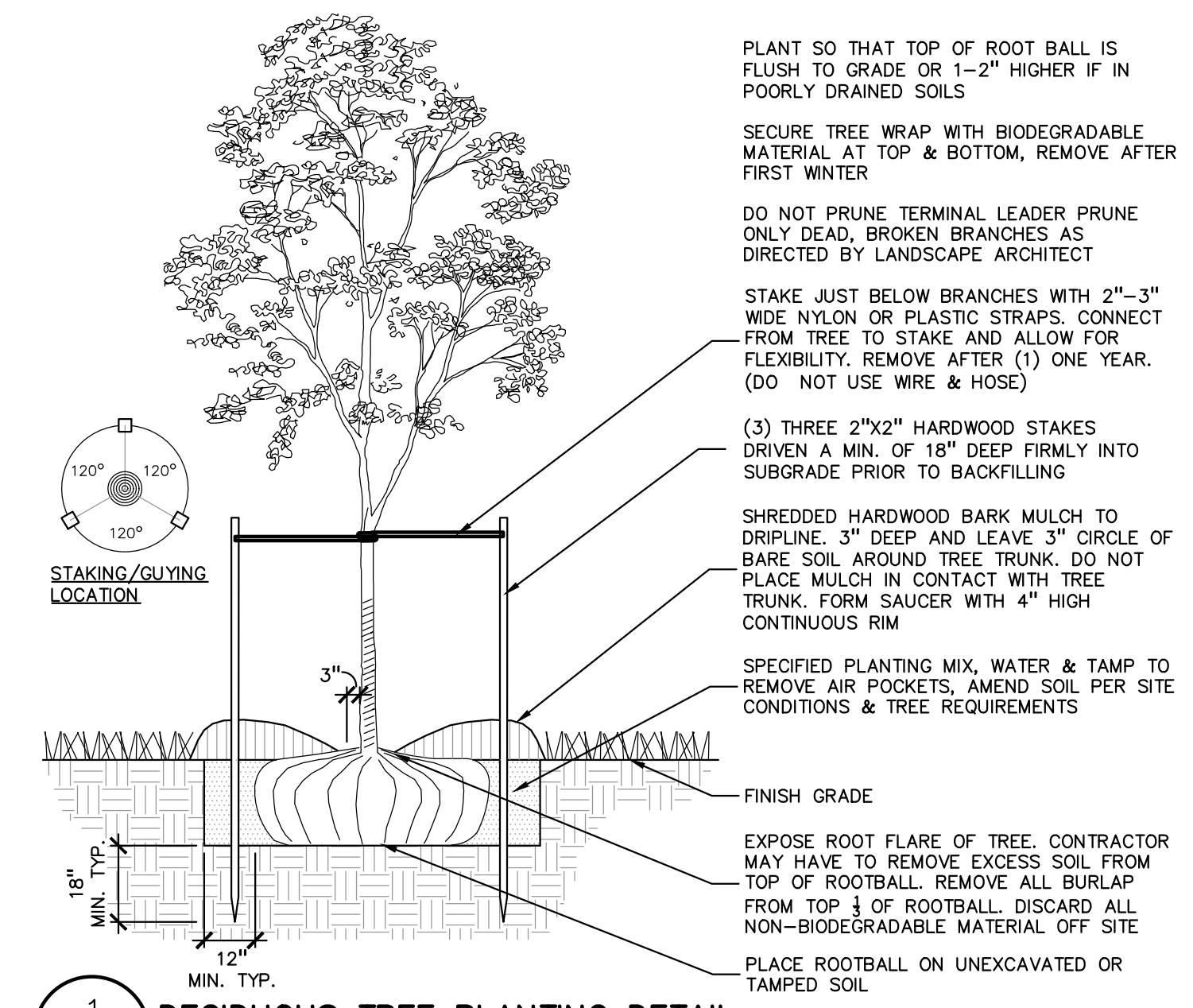
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2 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"

CLIENT
MOTOR CITY CHURCH
3668 LIVERNOIS ROAD
TROY, MICHIGAN

PROJECT TITLE
MOTOR CITY CHURCH - TROY
3668 LIVERNOIS ROAD
TROY, MICHIGAN



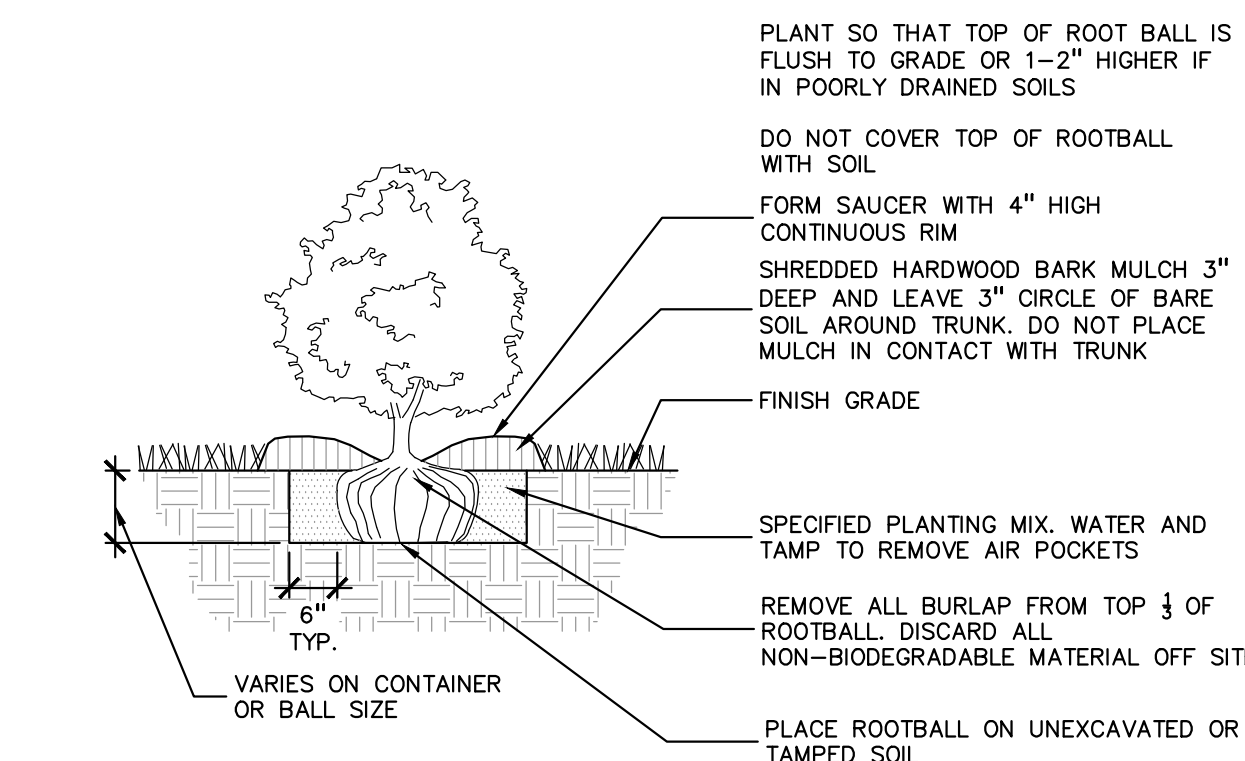
1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"

REVISIONS	
SPR RESUBMITTAL	10/7/21

ORIGINAL ISSUE DATE:
SEPTEMBER 24, 2021

DRAWING TITLE
LANDSCAPE DETAILS

PEA JOB NO.	2021-0233
P.M.	JBT
DN.	AH
DES.	JLE
DRAWING NUMBER:	



4 SHRUB PLANTING DETAIL
SCALE: 1" = 2'-0"

NOT FOR CONSTRUCTION

L-1.1



University of Central Florida
348-729-7505





Motor City
CHRYSLER

Enjoy
Coffee
BEST
TASTE







7. **PRELIMINARY SITE PLAN REVIEW (SP JPLN2021-0013)** – Proposed Center Court at Butterfield 48-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

DATE: October 21, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (SP JPLN2021-0013) – Proposed Center Court at Butterfield 48-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

The petitioner Eureka Building Co. submitted the above referenced Preliminary Site Plan application for a 48-unit condominium townhome development. Attached townhomes are permitted by right in the MF (Multiple-Family Residential) Zoning District.

This item was reviewed by the Planning Commission on October 12, 2021. The applicant has made numerous revisions to the site plan including reducing the number of units from 52 to 48 and adding more recreational open space.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Draft minutes from October 12, 2021 Planning Commission Regular meeting (excerpt)
4. Preliminary Site Plan.

G:\SITE PLANS\SP JPLN2021-0013 CENTER COURT AT BUTTERFIELD\PC Memo 2021 10 26.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (SP JPLN2021-0013) – Proposed Center Court at Butterfield 48-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

Resolution # PC-2021-10-

Moved by:

Seconded by:

RESOLVED, The Planning Commission recommends that Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Center Court at Butterfield 52-unit townhome development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District, be granted, subject to the following:

1. Revise guest parking spaces

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

MOTION CARRIED/FAILED



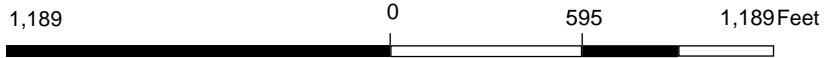
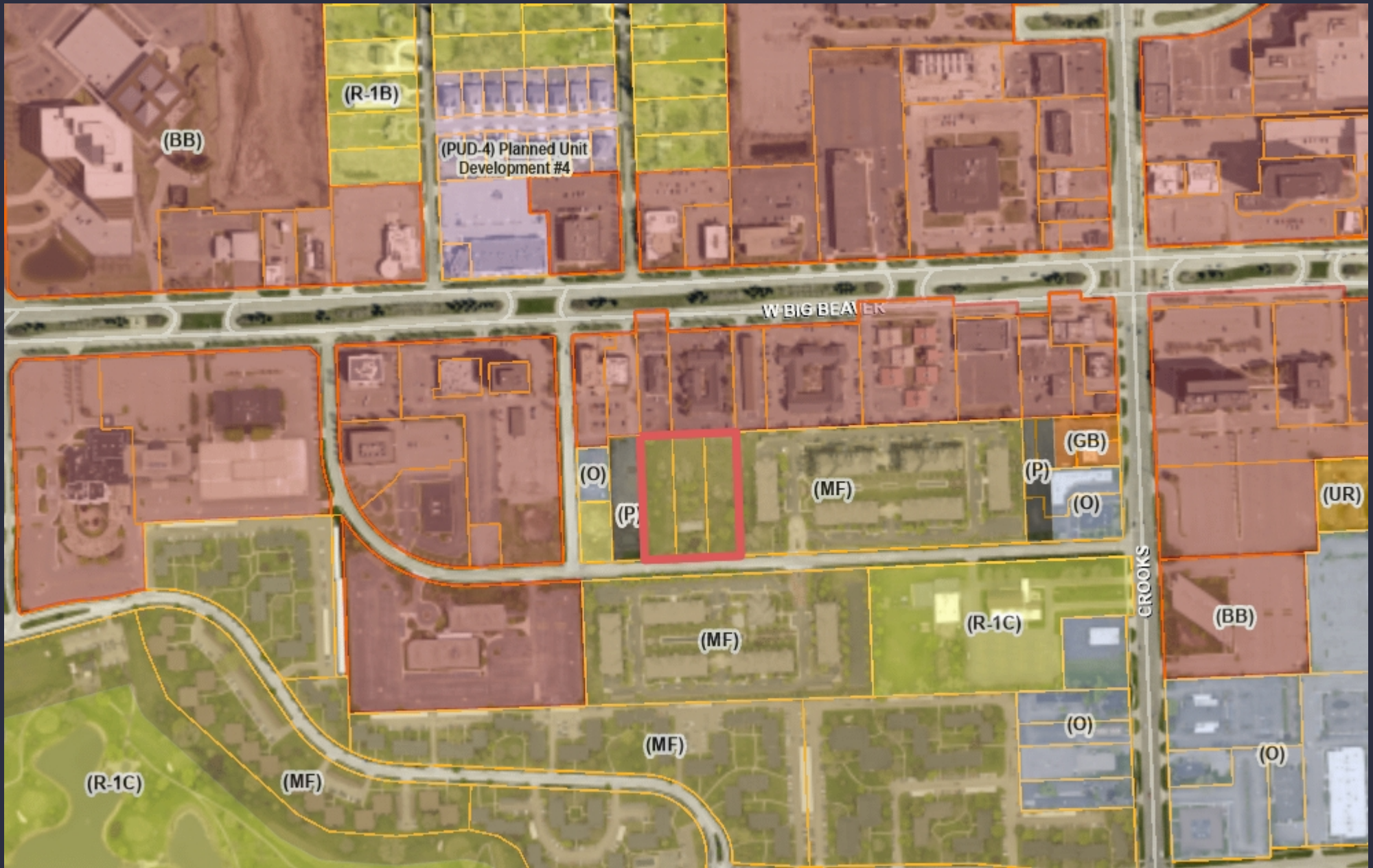
GIS Online



1,189 0 595 1,189 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: October 18, 2021

Preliminary Site Plan For City of Troy, Michigan

Applicant: Eureka Building Company

Project Name: Center Court at Butterfield

Plan Date: October 15, 2021

Location: Northside of Butterfield Road

Zoning: MF, Multiple Family Residential

Action Requested: Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

We are in receipt of a site plan application that includes a site plan, topographic survey, preliminary utility and grading plan, tree inventory, landscape plan, and floorplans and elevations. The subject site is 3.0 acres. The site is located on northside of Butterfield Road. Butterfield Road connects from Big Beaver to Crooks.

The applicant is requesting approval of a forty-eight (48) unit for sale attached condominium project. The forty-eight (48) units are distributed in ten (10) buildings. All buildings are three (3) stories, 37-feet (to peak) in height. The proposed residential use is permitted in the MF, Multiple Family district. The development is accessed of Butterfield and served with an internal private drive.

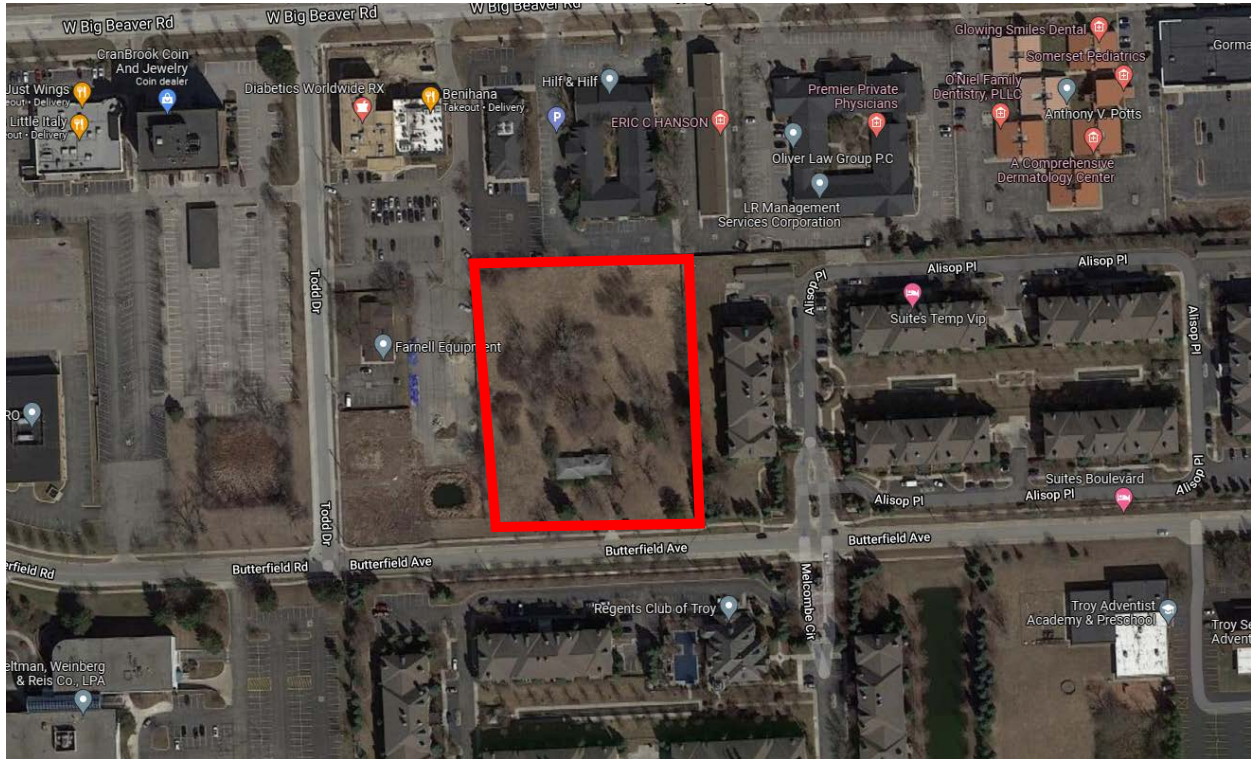
The site is currently three parcels, which will be combined as part of the development. The existing vacant home will be demolished as part of the development of the site.

Center Court at Butterfield.
October 18, 2021

Location of subject site:

Northside of Butterfield Road

Location and Aerial Image of Subject Site



Size of subject site:

The property is 3.0 acres in area.

Proposed use of subject site:

The proposed use is for forty-eight (48) for-sale attached condominium units.

Current use of subject site:

The property currently has one (1) vacant single-family home.

Current Zoning:

The property is currently zoned MF, Multiple Family Residential District.

Surrounding Property Details:

<u>Direction</u>	<u>Zoning</u>	<u>Use</u>
North	BB, Big Beaver	Office
South	MF, Multiple Family Residential District	Multiple Family Residential
East	MF, Multiple Family Residential District	Multiple Family Residential
West	P, Vehicle Parking District	Parking, Stormwater

PREVIOUS PLANNING COMMISSION REVIEW

The application was first reviewed by the Planning Commission on October 12, 2021. The Planning Commission held discussion on:

- Amount and type of recreational space
- Site amenities
- Guest parking location
- Architectural details and consistency to surrounding properties

The item was postponed allowing the applicant to revise their application.

CHANGES SINCE LAST REVIEW

The applicant has made the following changes to their plans since last Planning Commission review:

- Removed two buildings from the center. The remaining two buildings in the interior of the site were converted from 4-unit to 6-unit buildings. Overall the net loss is 4 units.
- Created larger recreational area in center of site, which includes a fire pit, playground area, and sitting area.
- Increased overall recreation space square footage from 30,212 to 36,710 square feet. Increase of 6,448 square feet
- Decreased building coverage from 27.4 to 25.3 percent. Decrease of 2.1 percent.

NATURAL RESOURCES

Topography – The site is relatively flat with little elevation changes.

Woodlands – The applicant has submitted a tree survey. Trees on site include Cottonwood, Ash, and Box Elder, which are non-regulated trees; however, the applicant is removing 10 protected trees.

Replacement Details		
Protected Tree	Inches Removed	Replacement Required
Landmark	102 inches	102 inches
Woodland	59 inches	30 inches
Preservation/Mitigation	Inches Preserved	Credit
Landmark	0 inches	0 inches

Woodland	0 inches	0 inches
Protected Replacement Required	132 Inches	
Preservation Credit	29.5 Inches	
Total	132-inches of replacement required	
Total Tree Mitigation	132 inches of replacement required. Replacement requirement shown on landscape plan	

Wetlands/Floodplain: 100 Year Flood Plain on site. EGLE Permit will be required. FEMA application may be necessary.

Items to be Addressed: None

SITE ARRANGEMENT

The forty-eight (48) units are distributed in ten (10) buildings. The development is accessed off Butterfield and served with an internal ring-private drive. Private garages are directly accessed from the private drive. Eight (8) of the buildings “circle” the exterior of the site, with the building fronting on the exterior of the site. Two (2) buildings are internal to the site, and front on an interior courtyard.

Items to be Addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Table 4.08.C establishes the requirements for the MF, Multiple Family District. The requirements and the proposed dimensions are as follows:

	<u>Required / Allowed:</u>	<u>Provided:</u>	<u>Compliance:</u>
Front	30 feet	30 feet	Complies
Rear	30 feet	30 feet	Complies
Side	30 feet	30 feet	Complies
Density	24 units an acre	17.3 units an acre	Complies
Maximum Height	8 stories	3 stories, 33-feet (to mid-point) 37-feet (to peak)	Complies
Maximum Lot Area Covered by Buildings	30%	25.3 %	Complies
Minimum Floor Area per Unit	600-1,200 sq/ft	Over 1,200 sq/ft per unit	Complies
Recreation Space. (450) square feet per dwelling unit. Such recreational facilities may include, but not be limited to, swimming pools, tennis courts, playgrounds, picnic areas, playfields, and jogging trails.	450 sq/ft x 48 = 21,600 sq/ft.	36,710 sq/ft.	Complies

Applicant has provided recreation space in the form of a perimeter sidewalk connection and an internal recreation space in the middle of the site.

Items to be addressed: None

SITE ACCESS AND CIRCULATION

Vehicular Access:

Site access is directly from Butterfield. Vehicular circulation is provided via internal drive. The Fire Department notes that the applicant should provide fire access plan to ensure adequate clearance for fire trucks to enter into the complex and turn right (east). Fire lanes will be required to be posted.

A traffic study was not required as part of Engineering review.

Pedestrian Circulation:

The applicant is providing a complete pedestrian circulation system within development

Items to be Addressed: *None*

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Condominium: 2 spaces per unit	48 Units = 96 spaces	96 spaces within garages + 22 at-grade guest spaces
Barrier Free	1	1
Bicycle Parking	2	2
Loading	0	0
Total	96 automobile + 2 bicycle	118 spaces + 2 bicycle

Bicycle rack proposed to the west of Building K. Applicant will need to revise some of the guest parking. Reversing out of some of these spaces would be difficult, as there isn't enough space for a traditional 3-point turn.

Items to be Addressed: *Revise guest parking spaces.*

LANDSCAPING

Landscaping is regulated by Section 13.02:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>Butterfield Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	318 feet = 11 trees	13 trees	Complies
<u>Site landscaping:</u> A minimum of fifteen (20%) of the site area shall be comprised of landscape material.	20%	30%	Complies
Parking Lot Trees: 1 per 8 spaces	22 spaces = 3 trees	4 trees	Complies
Mitigation	132 inches = 53 trees	53 trees	Complies

The applicant is proposing a 4-foot ornamental fence that runs along the front (Butterfield) and along the eastern property line. There is an existing wall along the northern and western property line that will remain.

Transformer / Trash Enclosure:

Each individual unit will have a trash bin and will be rolled out during trash pickup day.

Equipment:

Mechanical equipment, including HVAC, are not shown on the plans. Landscape Plan includes a detail indicating at grade utility/AC units to be screened with evergreen shrubs.

Items to be Addressed: None.

FLOOR PLANS AND ELEVATIONS

The applicant has submitted floor plans and elevations. Materials include a combination of brick, stone, and cement board siding. Based on Planning Commission feedback the applicant has made the following amendments elevations and floor plans:

1. Added window to the side elevation;
2. Added window to the front door.

Items to be Addressed: Make any changes to elevations and materials based on Planning Commission feedback.

RECOMMENDATIONS

We recommend preliminary site plan approval with the following conditions:

1. *Revise guest parking spaces*
2. *Address elevations and materials as directed by the Planning Commission*



CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, LEED AP, AICP

5. PRELIMINARY SITE PLAN REVIEW (SU JPLN 2021-0013) – Proposed Center Court at Butterfield 52-unit Townhome Development, North side of Butterfield, South of Big Beaver, West of Crooks (Parcels 88-20-29-226-021, -022, -023), Section 29, Currently Zoned MF (Multiple-Family Residential) District

Mr. Carlisle reviewed the Preliminary Site Plan application for Center Court at Butterfield, a permitted use in the Multiple Family Residential district. He addressed the site arrangement, proposed use, surrounding zoning districts, site access and circulation. Mr. Carlisle said the application meets the Zoning Ordinance requirements of the Multiple Family district. He reported the applicant shows it meets the open space requirement in the form of sidewalks and an internal playground area. Mr. Carlisle suggested consideration to add site amenities such as landscaping, lighting and seating areas to the recreation space.

Mr. Carlisle said the guest parking spaces should be revised to eliminate the difficulty in reversing out of some of the spaces. He addressed the elevations, floor plans and building materials. Mr. Carlisle asked the Planning Commission to consider discussion on the side elevations because they lack fenestration and architectural detail and to substantiate the architecture, material choice and color palette as relates to the Regents Club of Troy.

Mr. Carlisle recommended approval of the Preliminary Site Plan application with the conditions as identified in report dated October 7, 2021.

Discussion among administration:

- Recreation space requirement.
 - Calculation 450 square feet per dwelling unit.
- Internal sidewalks.
 - Questioned if considered a form of recreation space.
 - Consideration of deciduous/columnar trees in lieu of coniferous.
- Floodplain, wetlands designations.
 - GIS indicates no wetlands on site.
 - FEMA application might be required.
 - Determination during engineering review at final site plan approval.
- Building setback requirements.

Present were Erion Nikolla of Eureka Building Company, 5960 Livernois, Troy; Jonathan Sherman, 31700 Middlebelt Road, Farmington Hills, Regency Club of Troy owner and neighbor to the east and south; Project Architect Artur Kokaj of Arko Design Associates, 2298 Yasmin, Commerce Township; and Project Engineer Greg Bono of Professional Engineers Associates, 2430 Rochester Court, Suite 100, Troy.

Mr. Nikolla addressed the uniqueness in design and diversified nature of the building, the walkability of the site, landscaping and ornamental fence. He identified the locations of the common seating areas inclusive of benches, tables and barbeques at the north, east and west sides of the development and the playground located in the center of the development. Mr. Nikolla said their vision of the open space is to provide a safe play area for children and a social gathering area for adults and families. He portrayed the demographics as professional singles and young couples with children and stated market research finds that 3 bedroom units are preferential to 2 bedroom units. Mr. Nikolla said they are proposing one-half the density that is permitted. He said the selling point of a home in the luxury, contemporary development would be \$400,000 to \$500,000.

Mr. Nikolla said environmental due diligence was performed. He stated no wetlands are identified, and they will work with FEMA if required.

Mr. Sherman said he worked closely with the development team and believes the development would be a benefit to the community, his property and the neighborhood. Mr. Sherman said they are open for suggestions.

Mr. Bono shared the engineering thought process with a 3-point turn backing out of a guest parking space. He said the applicant wants to provide as many guest parking spaces as possible because it is an important element to a development. Mr. Bono said the applicant is willing to eliminate one space in each corner to provide additional green space, should the Planning Commission desire.

There was discussion on:

- Open space.
 - Calculations; interpretation of Zoning Ordinance.
 - Lack of open space amenities.
 - Definition (material, shape, use).
 - Lifestyle changes; passive vs active.
 - Site layout, dimensions of seating areas and playground.
 - Additional lighting for safety.
 - Sidewalks; questioned if considered open space amenities.
 - Comparison with Regents Club of Troy amenities as relates to property size.
 - Amenities offered not equivalent to price point of homes.
- Options to accommodate additional open space.
 - Seek variance of relief for required setbacks.
 - Add height to buildings.
 - Eliminate building(s).
 - Eliminate some guest parking spaces.

- Elevations.
 - Urban, contemporary design aesthetically pleasing.
 - Side elevations; interior natural lighting, windows, architectural detail.
 - Building height and materials complementary to Regents Club of Troy.
 - Suggestions/comments by members:
 - Contemporary design/products proposed universally used in last five years
 - Reinforced natural lighting in interior
 - Encouraged windows on side elevations
 - Make front entrance more inviting/exciting
 - Modernize fence to fit urban design

Mr. Perakis said she is not satisfied with the amount of open space offered by the applicant and shared a list of amenities that is provided by the Regents Club of Troy. She referenced Zoning Ordinance text in Sections 4.08 A and D.5. as relates to a requirement of *significant* open space and types of recreational facilities.

Mr. Rauch said he is not satisfied with the amount of open space offered by the applicant, and he disagrees with the Planning Consultant findings that the application complies with the open space requirement.

Mr. Savidant said the Planning Consultant report indicates the application meets the standard of 450 square feet per dwelling unit based on the way the applicant calculated the open space, but the report also mentions that the application is bereft of some recreational features. He said the administration is seeking feedback if the Planning Commission agrees with the applicant's calculations of open space and the amenities proposed. Mr. Savidant said the Zoning Ordinance does not specify how to calculate the open space requirements.

Mr. Savidant said the applicant could seek a variance in relief of the required building setbacks but the applicant would not meet the practical difficulty standards required for such a relief because the project can be constructed without a variance.

Mr. Nikolla said the urban contemporary design offers premium products. He feels windows on the side elevations would take away from the simplicity of the urban design, but they are open to the Planning Commission suggestions. He said the building height limitation to three stories is complementary to the Regents Club of Troy.

Mr. Sherman said the quality building materials and urban, contemporary design would complement the Regents Club of Troy and add to the aesthetics and urban feel in the neighborhood.

Resolution # PC-2021-10-073

Moved by: Lambert

Support by: Hutson

RESOLVED, To postpone action on this item so that the petitioner can resolve issues raised by both the Planning Consultant and the members of the Commission.

Yes: All present (9)

MOTION CARRIED

PRELIMINARY SITE PLANS

CENTER COURT DEVELOPMENT

BUTTERFIELD ROAD EAST OF TODD DR.
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



INDEX OF DRAWINGS	
Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	PRELIMINARY SITE PLAN
C-3.0	PRELIMINARY GRADING PLAN
C-4.0	PRELIMINARY UTILITY PLAN
C-5.0	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
T-1.0	TREE PRESERVATION PLAN
SL-1.0	PHOTOMETRIC PLAN
A0.1	4-UNIT FOUNDATION PLAN
A1.0	4-UNIT LOWER LEVEL FLOOR PLAN
A1.1	4-UNIT MAIN LEVEL FLOOR PLAN
A1.2	4-UNIT UPPER LEVEL FLOOR PLAN
A1.3	4-UNIT FRONT ELEVATION
A1.4	4-UNIT SIDE ELEVATION
A0.2	5-UNIT FOUNDATION PLAN
A2.0	5-UNIT LOWER LEVEL FLOOR PLAN
A2.1	5-UNIT MAIN LEVEL FLOOR PLAN
A2.2	5-UNIT UPPER LEVEL FLOOR PLAN
A2.3	5-UNIT FRONT ELEVATION
A2.4	5-UNIT SIDE ELEVATION
A0.3	6-UNIT FOUNDATION PLAN
A3.0	6-UNIT LOWER LEVEL FLOOR PLAN
A3.1	6-UNIT MAIN LEVEL FLOOR PLAN
A3.2	6-UNIT UPPER LEVEL FLOOR PLAN
A3.3	6-UNIT FRONT ELEVATION
A3.4	6-UNIT SIDE ELEVATION

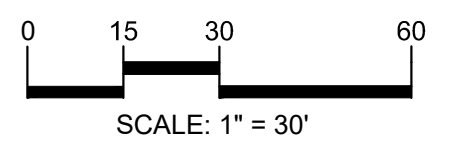
DESIGN TEAM

<p>DEVELOPER</p> <p>EUREKA BUILDING COMPANY 5960 LIVERNOIS TROY, MI 48065 CONTACT: ERION NIKOLLA PHONE: 586.405.4080 EMAIL: EUREKABLD@GMAIL.COM</p> <p>ARCHITECT</p> <p>ARKO DESIGN ASSOCIATES 2298 YASMIN DRIVE COMMERCE TWP., MI 48382 PHONE: 248.802.8409</p>	<p>CIVIL ENGINEER</p> <p>PEA GROUP 2430 ROCHESTER COURT, STE. 100 TROY, MI 48063-1872 CONTACT: GREG BONO, PE PHONE: 844.813.2949 EMAIL: GBONO@PEAGROUP.COM</p> <p>LANDSCAPE ARCHITECT</p> <p>PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: NOAH BIRMEIN, PLA, ASLA PHONE: 844.813.2949 EMAIL: NBIRMEIN@PEAGROUP.COM</p>
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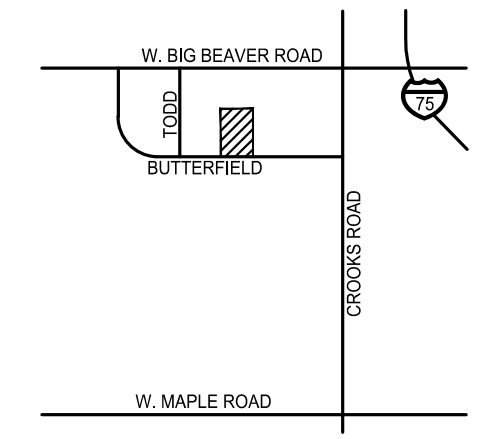


REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	9/10/2021
CITY COMMENTS	10/6/2021
CITY COMMENTS	10/15/2021





CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
EUREKA BUILDING COMPANY
5960 LIVERNOIS
TROY, MI

PROJECT TITLE
CENTER COURT DEVELOPMENT
BUTTERFIELD RD EAST OF TODD DR
TROY, MI

REVISIONS	CITY COMMENTS
	10/06/21
	10/15/21

ORIGINAL ISSUE DATE:
SEPTEMBER 10, 2021

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

LEGEND

- IRON FOUND
 - ⊗ IRON SET
 - ⊗ NAIL FOUND
 - ⊗ NAIL & CAP SET
 - ⊗ BRASS PLUG SET
 - ⊗ MONUMENT FOUND
 - ⊗ MONUMENT SET
 - ⊗ SEC. CORNER FOUND
 - ⊗ R. RECORDED
 - ⊗ M. MEASURED
 - ⊗ C. CALCULATED
- EXISTING**
- OH-ELEC— ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
 - UG-CATV— UNDERGROUND CABLE TV, CATV PEDESTAL
 - UG-PHONE— TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
 - UG-ELEC— ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
 - GAS— GAS MAIN, VALVE & GAS LINE MARKER
 - WATER— WATERMAIN, HYD. GATE VALVE, TAPPING BLEEDIE & VALVE
 - SEWER— SANITARY SEWER, CLEANOUT & MANHOLE
 - STORM— STORM SEWER, CLEANOUT & MANHOLE
 - COMBINED— COMBINED SEWER & MANHOLE
 - SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
 - POST— POST INDICATOR VALVE
 - WATER VALVE BOX— WATER VALVE BOX, HYDRANT VALVE BOX, SERVICE SHUTOFF
 - MAILBOX— MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
 - UNIDENTIFIED— UNIDENTIFIED STRUCTURE
 - SPOT ELEVATION
 - CONTOUR— CONTOUR LINE
 - FENCE— FENCE
 - GUARD RAIL— GUARD RAIL
 - STREET LIGHT— STREET LIGHT
 - SIGN— SIGN
 - CONC.— CONCRETE
 - ASPH.— ASPHALT
 - GRAVEL— GRAVEL SHOULDER
 - WETLAND— WETLAND



LEGAL DESCRIPTION
(Per Access Oakland)

PARCEL 20-029-226-021
Land in the City of Troy, Oakland County, Michigan, described as follows:
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 32

PARCEL 20-029-226-022
Land in the City of Troy, Oakland County, Michigan, described as follows:
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 31

PARCEL 20-029-226-023
Land in the City of Troy, Oakland County, Michigan, described as follows:
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 30

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON A HYDRANT LOCATED ON THE SOUTH SIDE OF BUTTERFIELD ROAD, APPROX. 340' EAST FROM THE CENTERLINE OF TODD ROAD.
ELEV. - 718.15

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'A'. AREA DETERMINED TO BE WITHIN A SPECIAL FLOOD HAZARD AREA WITHOUT BASE FLOOD ELEVATION PER FLOOD INSURANCE RATE MAP NUMBER 26125C0541F, EFFECTIVE AUGUST 29, 2006.

WETLAND NOTE:
THERE ARE NO REGULATED WETLANDS ON SITE.

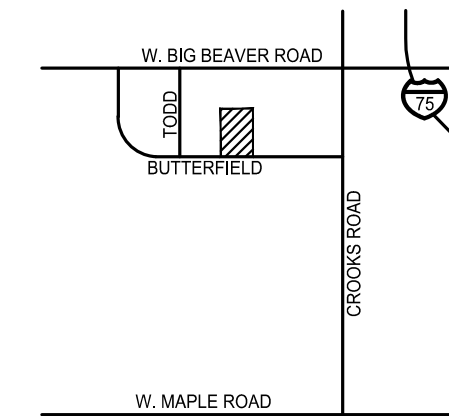
S:\PROJECTS\2021\0021-0134 EUREKA (BUTTERFIELD)\DWG\SITE PLANS\C-1.0 TOPO-21-0134.dwg



0 15 30 60
SCALE: 1" = 30'



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
EUREKA BUILDING COMPANY
5960 LIVERNOIS
TROY, MI

PROJECT TITLE
CENTER COURT DEVELOPMENT
BUTTERFIELD RD EAST OF TODD DR
TROY, MI

REVISIONS	
CITY COMMENTS	10/06/21
CITY COMMENTS	10/15/21

ORIGINAL ISSUE DATE:
SEPTEMBER 10, 2021

DRAWING TITLE
PRELIMINARY SITE PLAN

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

SIGN LEGEND:
"BARRIER FREE PARKING" SIGN
REFER TO C-5.0 SHEET FOR SIGN DETAILS

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊙ IRON SET	⊙ MONUMENT FOUND	⊙ R. RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	⊙ M. MEASURED
⊙ NAIL & CAP SET		⊙ C. CALCULATED

EXISTING

- OH-ELEC: W/O: ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV: UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE: TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC: U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS VALVE & GAS LINE MARKER
- WATERMAN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN

PROPOSED

- CONC.: CONCRETE
- ASPH.: ASPHALT
- GRAVEL: GRAVEL SHOULDER
- WETLAND
- 310: HEAVY FLOW DUTY ONLY
- 671: HEAVY FLOW DUTY STRENGTH

LEGAL DESCRIPTION
(Per Access Oaklands)
PARCEL 20-29-226-021
Land in the City of Troy, Oakland County, Michigan, described as follows:
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 32

PARCEL 20-29-226-022
Land in the City of Troy, Oakland County, Michigan, described as follows:
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 31

PARCEL 20-29-226-023
Land in the City of Troy, Oakland County, Michigan, described as follows:
T2N, R11E, SEC 29 SUPERVISOR'S PLAT OF BUTTERFIELD FARM LOT 30

SITE DATA TABLE:

SITE AREA: 3.0 ACRES (130,695 SF) NET AND GROSS
ZONING: MF MULTI-FAMILY RESIDENTIAL
PROPOSED USE: MULTI-FAMILY (130,695 SF / 48 UNITS)

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 100 FEET (8 STORIES)
PROPOSED BUILDING HEIGHT = 3 STORIES

4 UNIT BUILDING FOOTPRINT: 2,759 SF
5 UNIT BUILDING FOOTPRINT: 3,434 SF
6 UNIT BUILDING FOOTPRINT: 4,128 SF
BUILDING FOOTPRINT AREA = 5,42,759 SF + 2,43,434 SF + 3,44,128 SF = 13,795 SF + 6,868 SF + 12,384 SF = 33,047 SF

BUILDING LOT COVERAGE = (33,047/130,695) * 100 = 25.3%

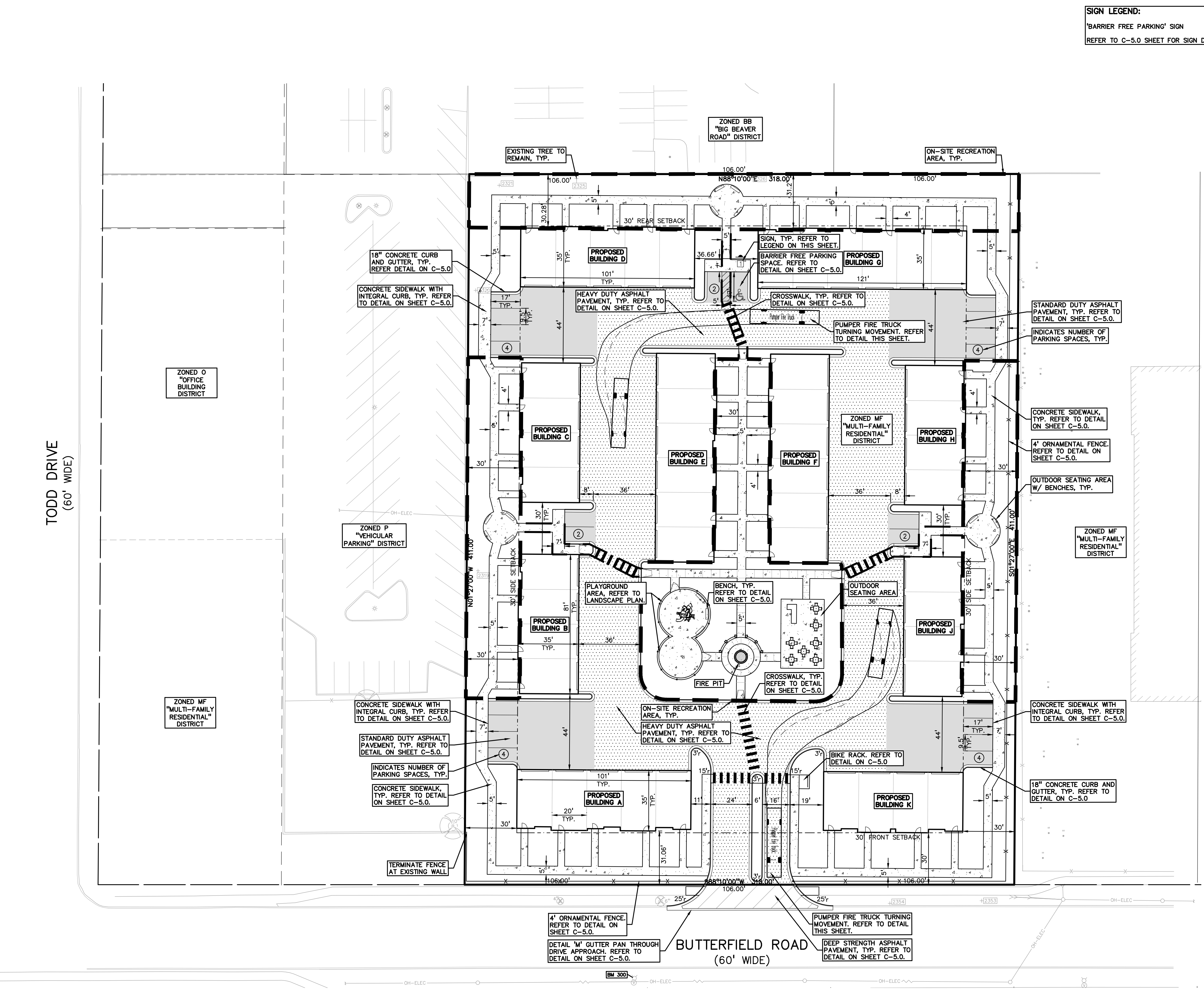
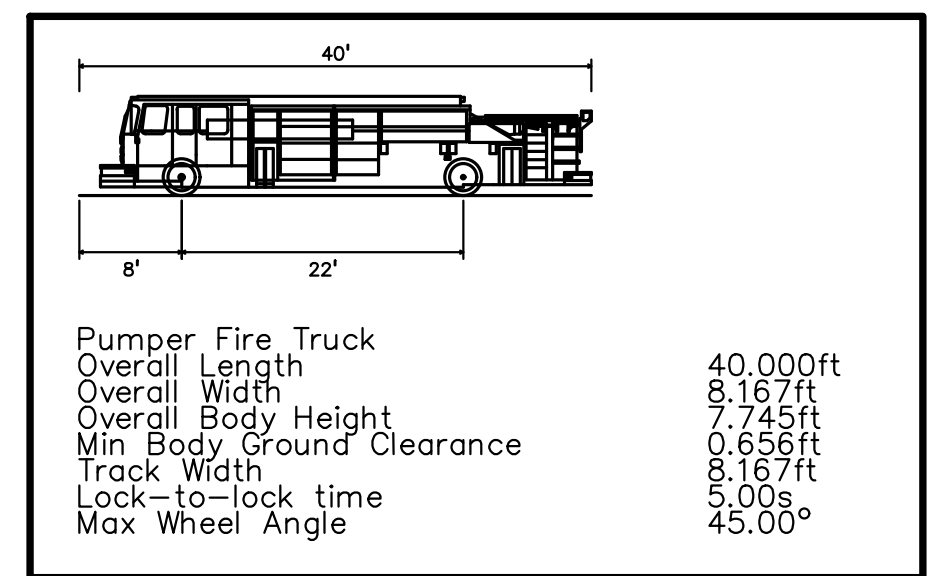
SETBACK REQUIREMENTS:	REQUIRED:	PROPOSED:
FRONT (SOUTH):	30'	30'
SIDE (EAST):	30'	30'
SIDE (WEST):	30'	30'
REAR (NORTH):	30'	30.28'

PARKING CALCULATIONS:
MULTI-FAMILY RESIDENTIAL = 2 SPACES PER DWELLING UNIT
REQUIRED PARKING = 48 UNITS * 2 SPACES PER UNIT = 96 SPACES
PROVIDED PARKING = 96 GARAGE + 22 SURFACE SPACES = 118 SPACES INC. 1 ADA SPACE

RECREATIONAL SPACE:
REQUIRED = 450 SF PER DWELLING UNIT * 48 UNITS = 21,600 SF
PROVIDED = 36,710 SF

SITE SOILS INFORMATION:
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:
-SELFREDGE LOAMY SAND
-SANDY LOAMY AQUENTS

TRASH PICKUP NOTE:
TRASH WILL BE COLLECTED USING CURBSIDE PICKUP.



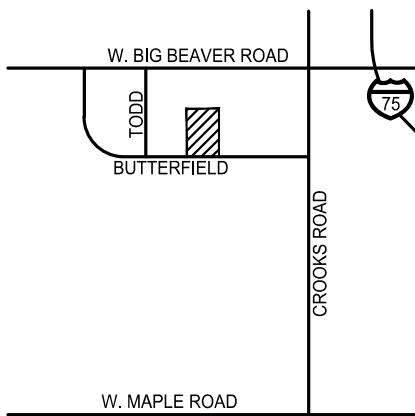
S:\PROJECTS\2021\0021-0134 EUREKA (BUTTERFIELD)\MGS\SITE PLANS\C-2.0 (DM-21-0134.dwg)



0 15 30 60
SCALE: 1" = 30'



CAUTION!
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CLIENT
EUREKA BUILDING COMPANY
5960 LIVERNOIS
TROY, MI

PROJECT TITLE
CENTER COURT DEVELOPMENT
BUTTERFIELD RD EAST OF TODD DR
TROY, MI

REVISIONS	
CITY COMMENTS	10/06/21
CITY COMMENTS	10/15/21

ORIGINAL ISSUE DATE:
SEPTEMBER 10, 2021

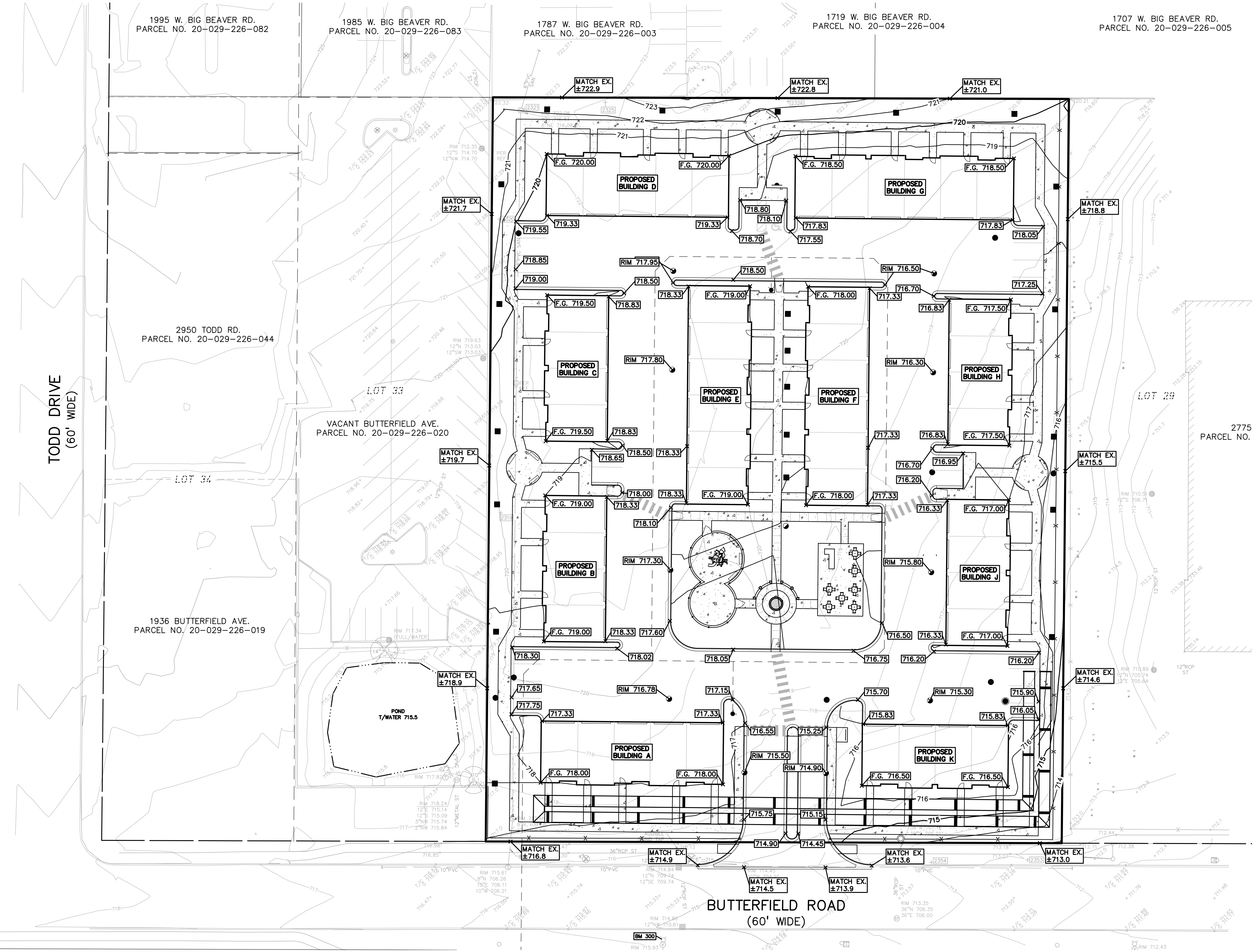
DRAWING TITLE
PRELIMINARY GRADING PLAN

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

LEGEND

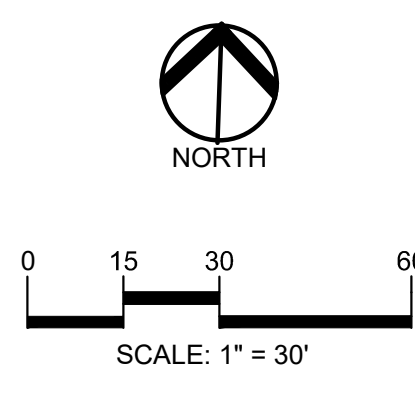
- | | | |
|------------------|------------------|---------------------|
| ● IRON FOUND | ⊗ BRASS PLUG SET | ⊙ SEC. CORNER FOUND |
| ⊗ IRON SET | ⊗ MONUMENT FOUND | ⊙ RECORDED |
| ⊗ NAIL FOUND | ⊗ MONUMENT SET | ⊙ MEASURED |
| ⊗ NAIL & CAP SET | | ⊙ CALCULATED |
-
- | | |
|---|--|
| — OH-ELEC— | ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE |
| — UG-CATV— | UNDERGROUND CABLE TV, CATV PEDESTAL |
| — UG-PHONE— | TELEPHONE U.G. CABLE, MANHOLE, METER & HANDHOLE |
| — UG-ELEC— | ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE |
| — GAS— | GAS MAIN, VALVE & GAS LINE MARKER |
| — WATER— | WATERMAIN, HYD. GATE VALVE, TAPPING BLEEVE & VALVE |
| — SANITARY— | SANITARY SEWER, CLEANOUT & MANHOLE |
| — STORM— | STORM SEWER, CLEANOUT & MANHOLE |
| — COMBINED— | COMBINED SEWER & MANHOLE |
| — SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN | |
| — POST INDICATOR VALVE | |
| — WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF | |
| — MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE | |
| — UNIDENTIFIED STRUCTURE | |
| — SPOT ELEVATION | |
| — CONTOUR LINE | |
| — FENCE | |
| — GUARD RAIL | |
| — STREET LIGHT | |
| — SIGN | |
| — CONC. | CONCRETE |
| — ASPHL. | ASPHALT |
| — GRAVEL | GRAVEL SHOULDER |
| — WETLAND | WETLAND |

SYMBOLS: GRADING
PROPOSED SPOT ELEVATION:
 TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES. — 622.50 —
PROPOSED CONTOUR LINE — 922 —
ABBREVIATIONS:
 T/C = TOP OF CURB
 G = GUTTER GRADE
 T/P = TOP OF PAVEMENT
 T/S = TOP OF SIDEWALK
 T/W = TOP OF WALL
 B/W = BOTTOM OF WALL
 F.G. = FINISH GRADE
 RIM = RIM ELEVATION

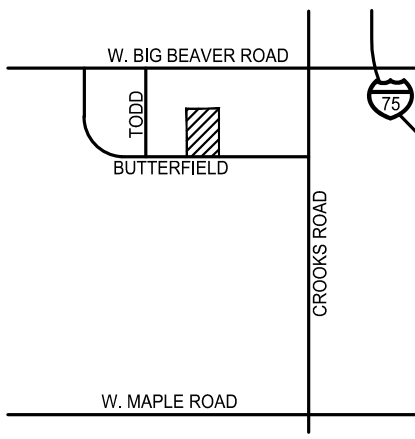


NOT FOR CONSTRUCTION

C-3.0



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CLIENT
EUREKA BUILDING COMPANY
5960 LIVERNOIS
TROY, MI

PROJECT TITLE
CENTER COURT DEVELOPMENT
BUTTERFIELD RD EAST OF TODD DR
TROY, MI

REVISIONS	
CITY COMMENTS	10/06/21
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ORIGINAL ISSUE DATE:
SEPTEMBER 10, 2021

DRAWING TITLE
PRELIMINARY UTILITY PLAN

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-4.0**

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED

EXISTING

- OH-ELEC: ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV: UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE: TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC: ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS: GAS MAIN, VALVE & GAS LINE MARKER
- WATER: WATERMAIN, HYD. GATE VALVE, TAPPING BLEEDIE & VALVE
- SEWER: SANITARY SEWER, CLEANOUT & MANHOLE
- STORM: STORM SEWER, CLEANOUT & MANHOLE
- CS: COMBINED SEWER & MANHOLE
- SQ: SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- PI: POST INDICATOR VALVE
- WV: WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MB: MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- US: UNIDENTIFIED STRUCTURE
- SL: SPOT ELEVATION
- CL: CONTOUR LINE
- F: FENCE
- GN: GUARDRAIL
- SL: STREET LIGHT
- S: SIGN
- CONC: CONCRETE
- ASPH: ASPHALT
- GRAVEL: GRAVEL SHOULDER
- WETLAND: WETLAND

PROPOSED

- 8" S: 8" SANITARY SEWER
- 12" S: 12" SANITARY SEWER
- 18" S: 18" SANITARY SEWER
- 24" S: 24" SANITARY SEWER
- 36" S: 36" SANITARY SEWER
- 48" S: 48" SANITARY SEWER
- 60" S: 60" SANITARY SEWER
- 12" W: 12" WATER MAIN
- 18" W: 18" WATER MAIN
- 24" W: 24" WATER MAIN
- 36" W: 36" WATER MAIN
- 48" W: 48" WATER MAIN
- 60" W: 60" WATER MAIN
- 12" ST: 12" STORM SEWER
- 18" ST: 18" STORM SEWER
- 24" ST: 24" STORM SEWER
- 36" ST: 36" STORM SEWER
- 48" ST: 48" STORM SEWER
- 60" ST: 60" STORM SEWER
- 12" RCP: 12" RCP
- 18" RCP: 18" RCP
- 24" RCP: 24" RCP
- 36" RCP: 36" RCP
- 48" RCP: 48" RCP
- 60" RCP: 60" RCP
- 12" PVC: 12" PVC
- 18" PVC: 18" PVC
- 24" PVC: 24" PVC
- 36" PVC: 36" PVC
- 48" PVC: 48" PVC
- 60" PVC: 60" PVC
- 12" HDPE: 12" HDPE
- 18" HDPE: 18" HDPE
- 24" HDPE: 24" HDPE
- 36" HDPE: 36" HDPE
- 48" HDPE: 48" HDPE
- 60" HDPE: 60" HDPE
- 12" CPVC: 12" CPVC
- 18" CPVC: 18" CPVC
- 24" CPVC: 24" CPVC
- 36" CPVC: 36" CPVC
- 48" CPVC: 48" CPVC
- 60" CPVC: 60" CPVC

100 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)

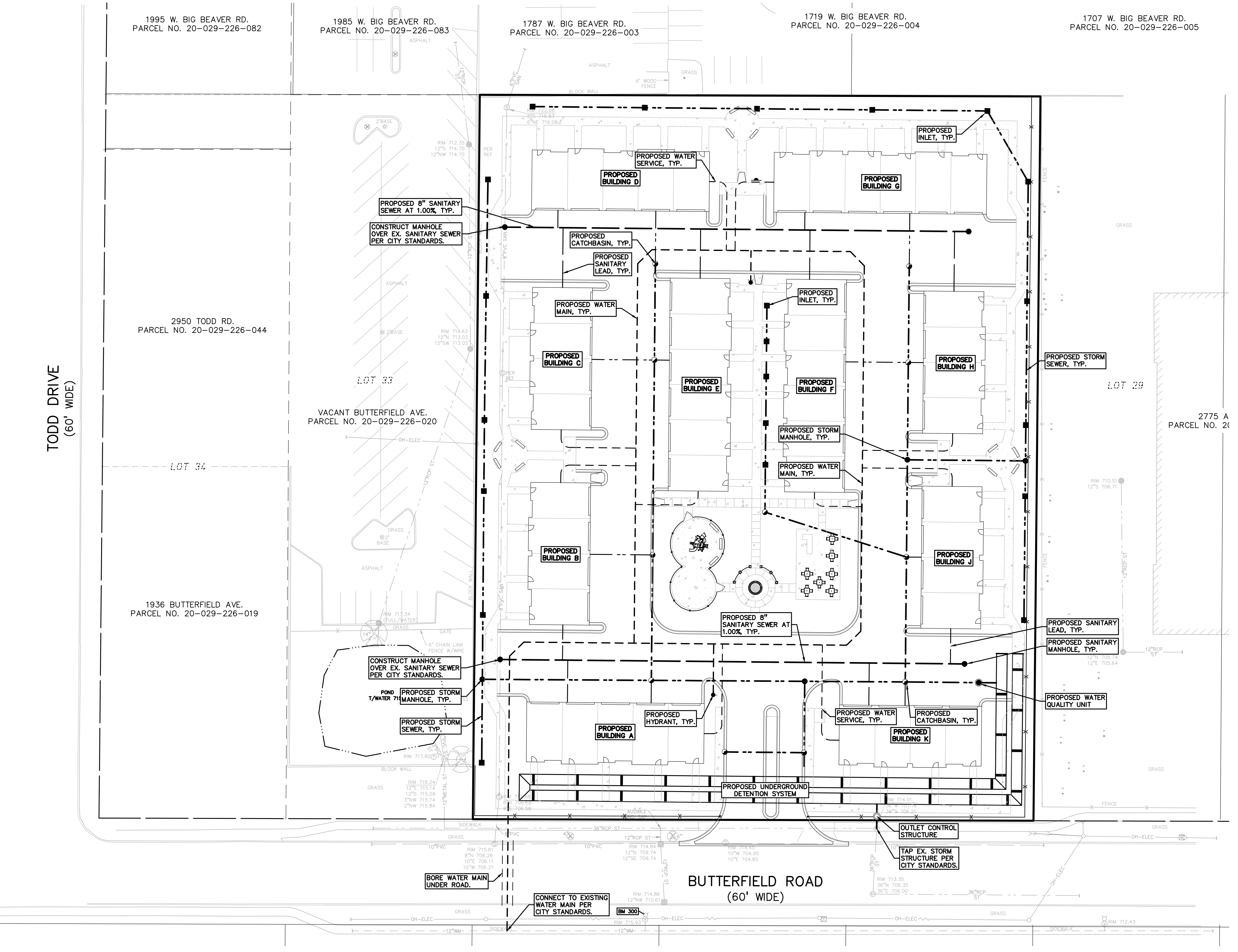
Contributing Area (A):	3.00 acre
Allowable Discharge (Qa):	0.60 cfs (0.2*area)
Coefficient of Runoff (Cr):	0.73

Site Drainage Data

Qo = ((Qa)/(A))(Cr):	0.27 cfs/acre impervious
T = -25 + ((10312.5(Qo))^0.5):	170.43 minutes
Vs = (16500(T)/(T+25)) - 40Qo(T):	12,549 cf/acre impervious
V1 = (Vs(A))(Cr):	27,543 cft

UNDERGROUND DETENTION SYSTEM:

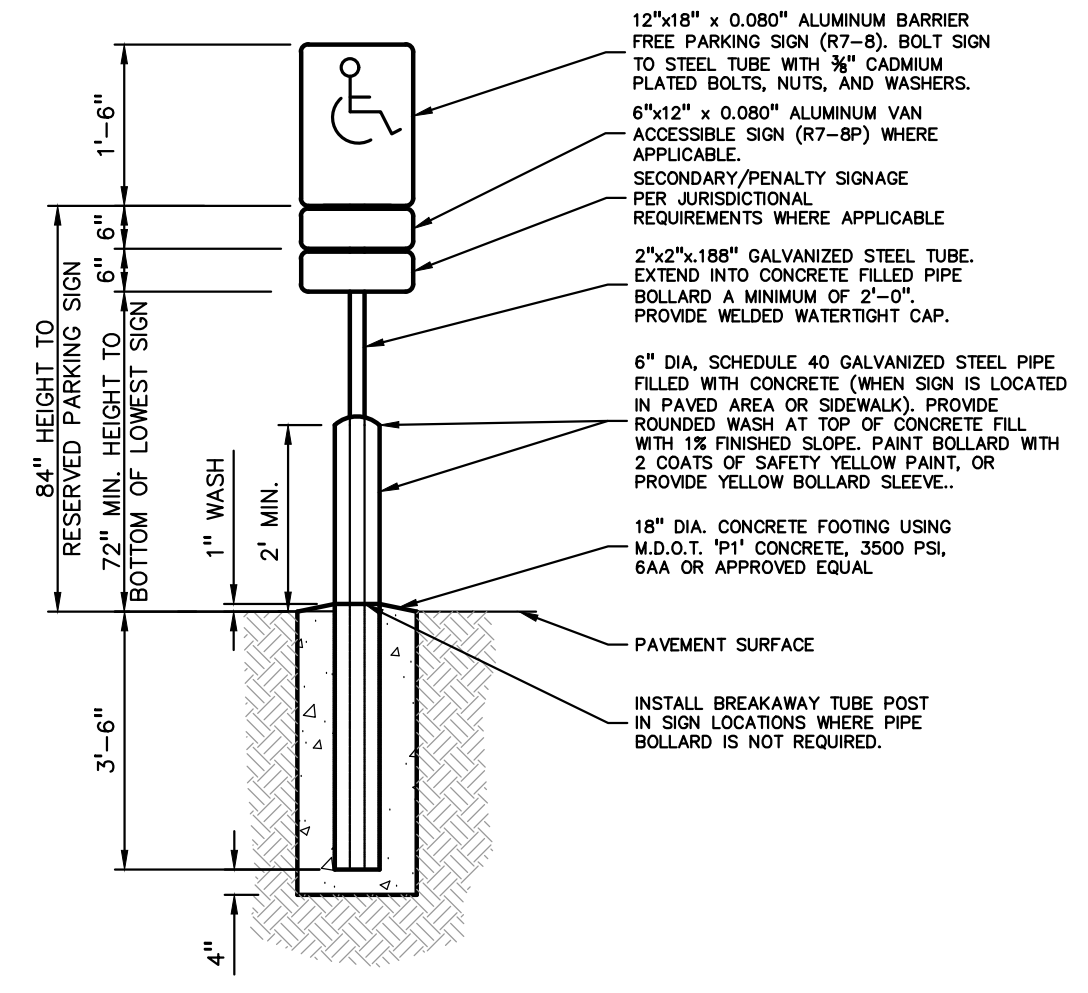
- STORAGE VOLUME REQUIRED = 27,543 cf.
- PIPE STORAGE VOLUME = 20,216 cf.
- BACKFILL STORAGE VOLUME = 7,626 cf.
- TOTAL STORAGE PROVIDED = 27,842 cf.



S:\PROJECTS\2021\0134 EUREKA (BUTTERFIELD)\DWG\SITE PLANS\C-4.0 UTILITY-2-0134.dwg

BARRIER FREE SIGN NOTES:

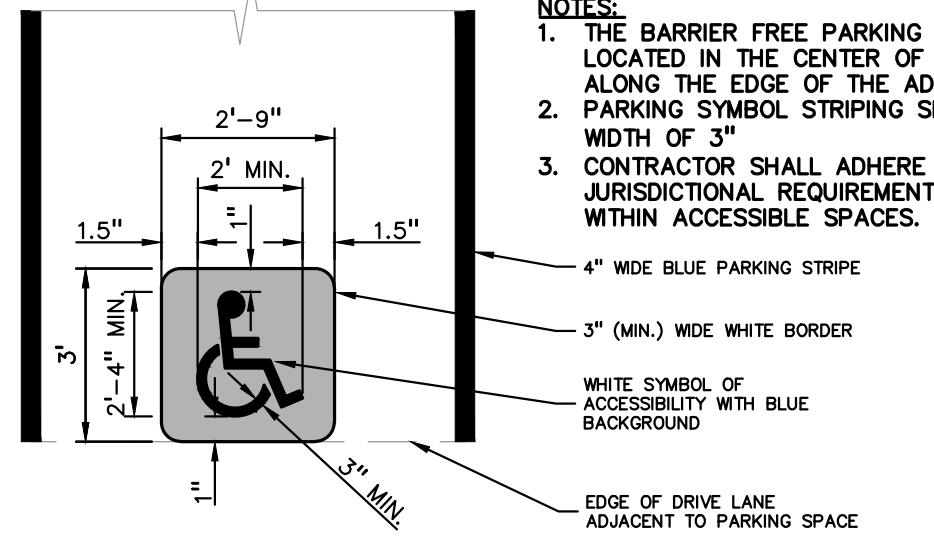
- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
- ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
- WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
- SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
- ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG.
- IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
- ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



BARRIER FREE SIGN AND POST DETAIL
NOT TO SCALE

NOTES:

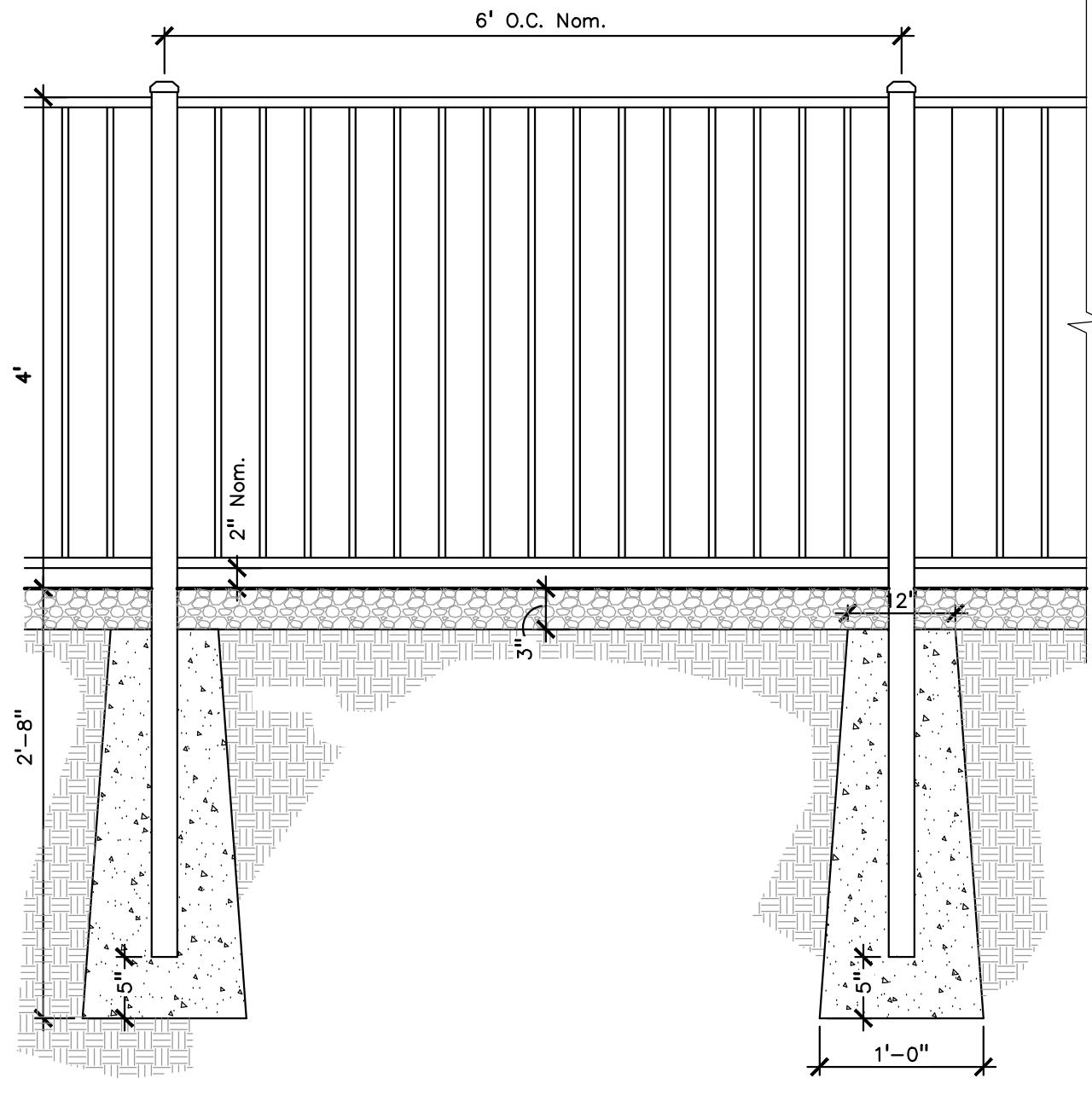
- THE BARRIER FREE PARKING SYMBOL SHALL BE LOCATED IN THE CENTER OF THE PARKING SPACE AND ALONG THE EDGE OF THE ADJACENT DRIVE AISLE, TYP.
- PARKING SYMBOL STRIPING SHALL HAVE A MINIMUM WIDTH OF 3".
- CONTRACTOR SHALL ADHERE TO LOCAL/STATE JURISDICTIONAL REQUIREMENTS FOR ALL PAINTING WITHIN ACCESSIBLE SPACES.



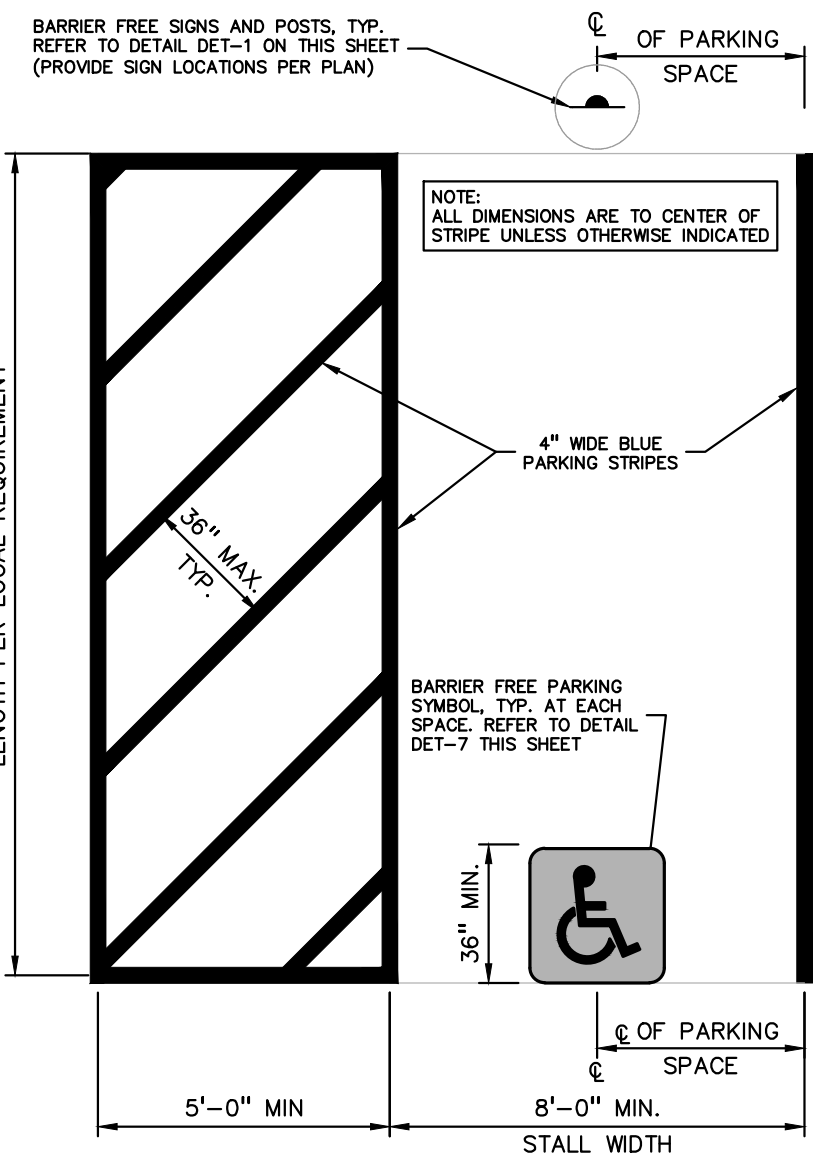
BARRIER FREE PARKING SYMBOL DETAIL (INTERNATIONAL SYMBOL OF ACCESSIBILITY)
NOT TO SCALE



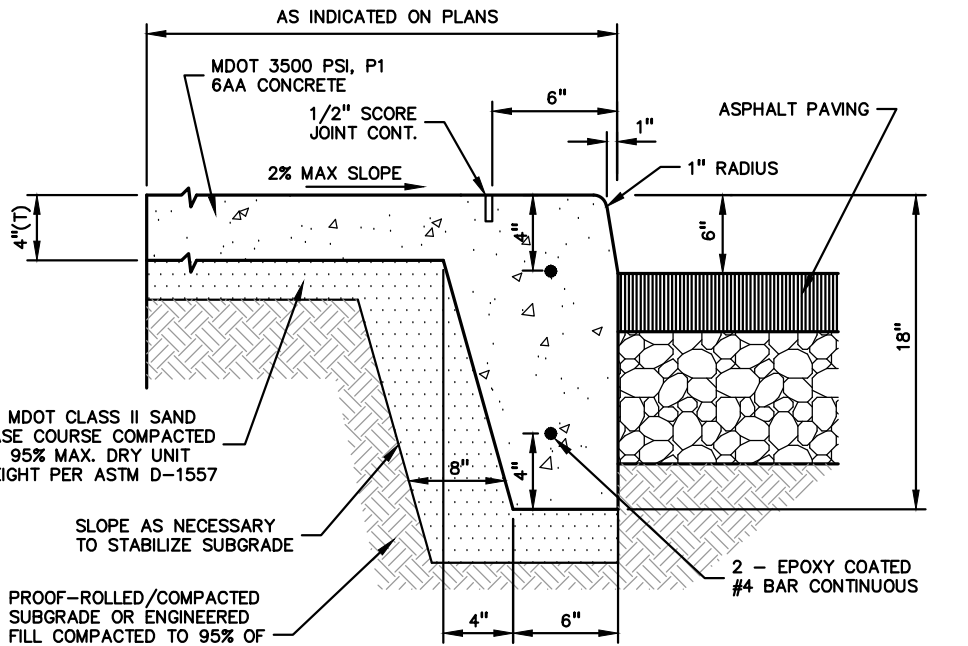
BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



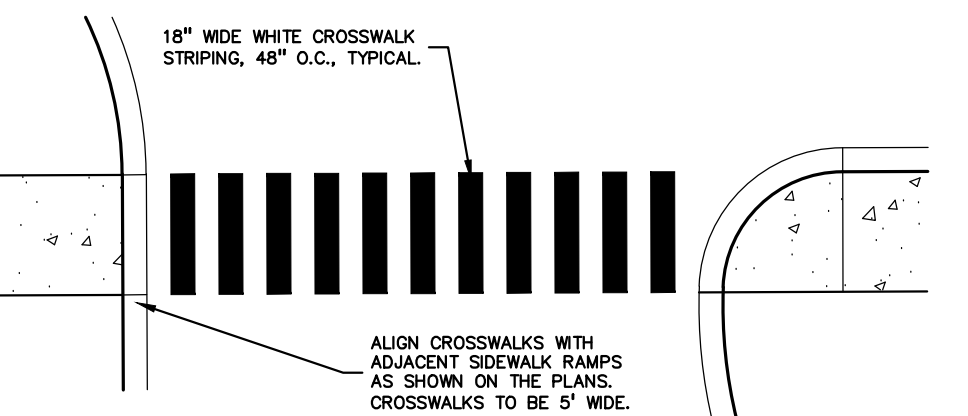
ORNAMENTAL FENCE DETAIL
NOT TO SCALE



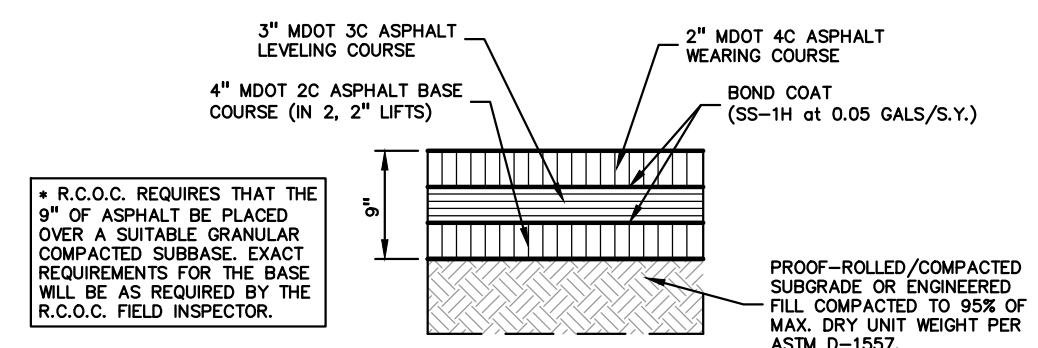
BARRIER FREE PARKING STALL DETAIL
NOT TO SCALE



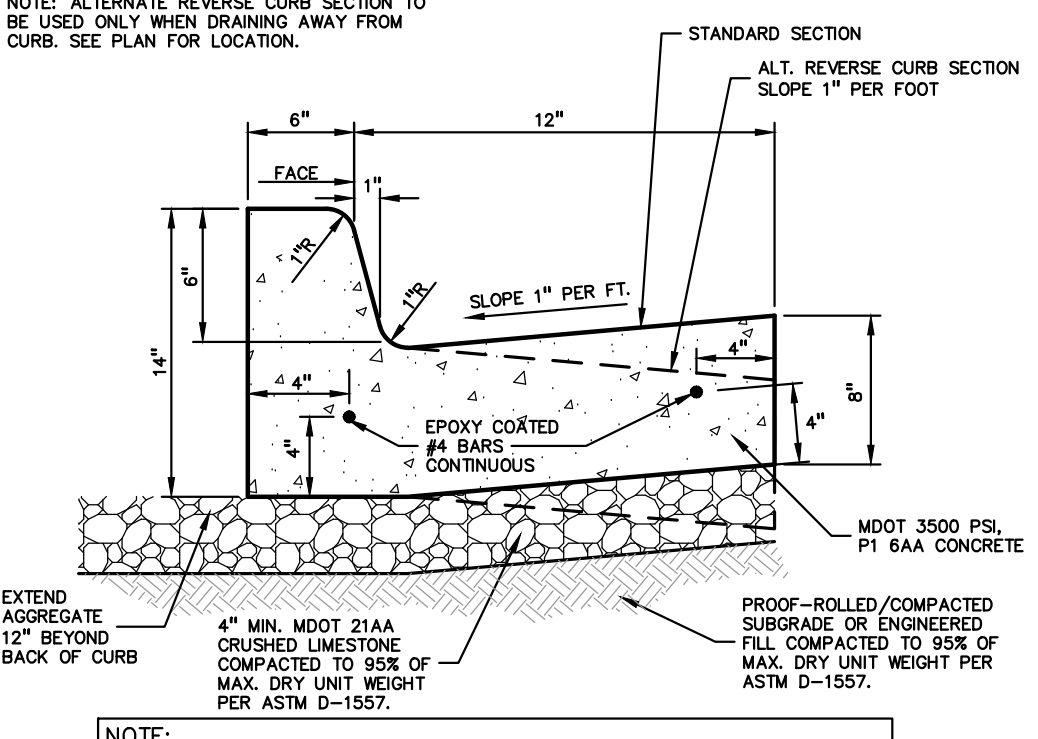
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



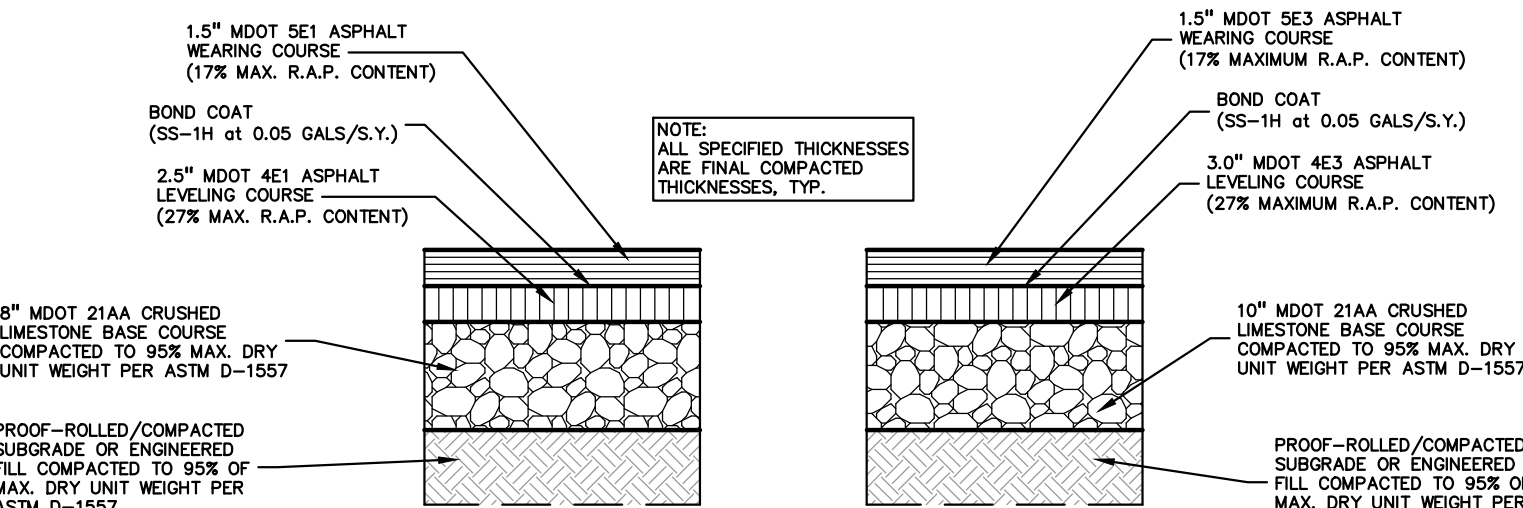
STRIPED CROSSWALK DETAIL
NOT TO SCALE



9" DEEP STRENGTH ASPHALT DETAIL (R.C.O.C.)
NOT TO SCALE



18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



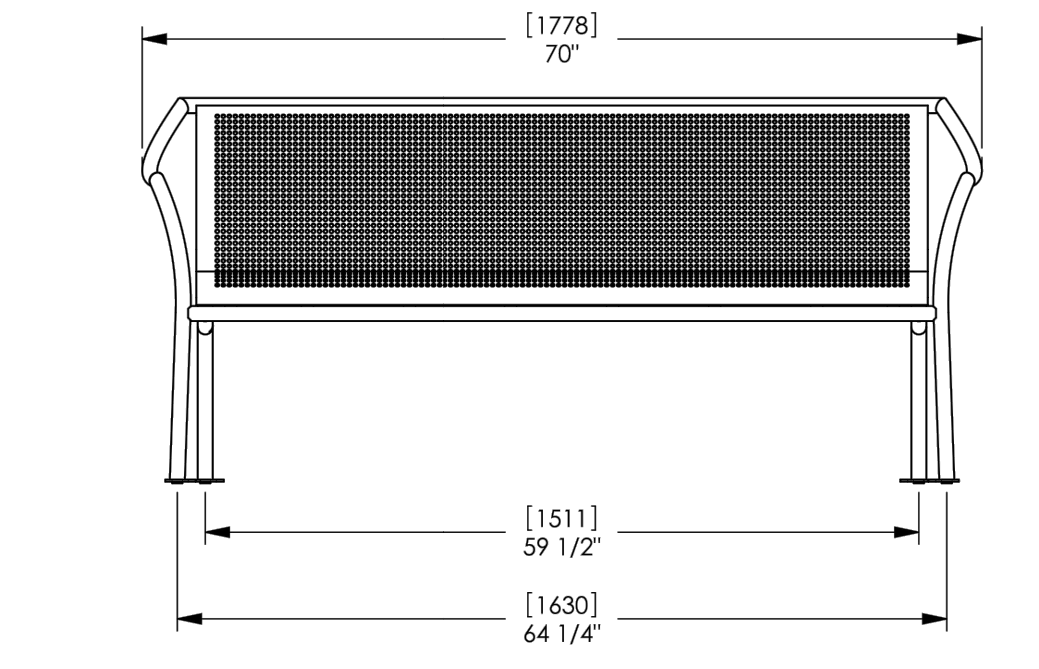
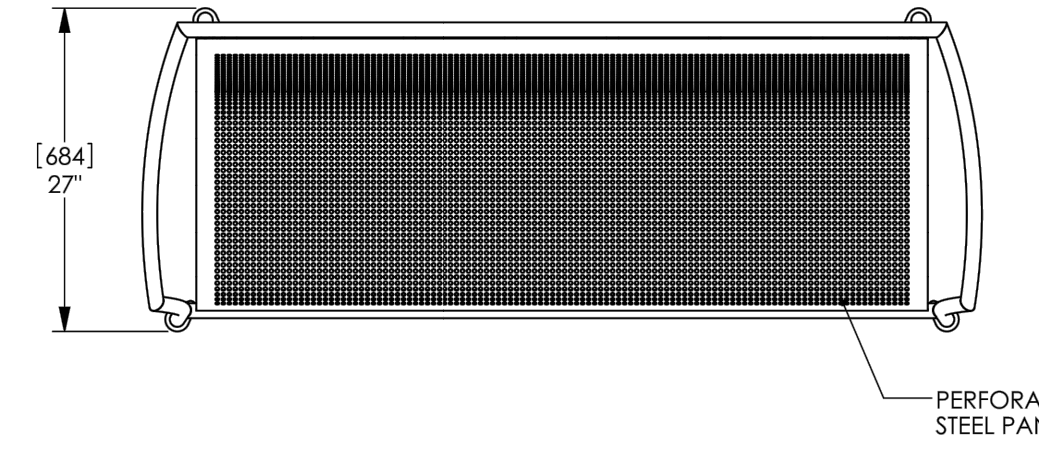
STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)

HEAVY DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)

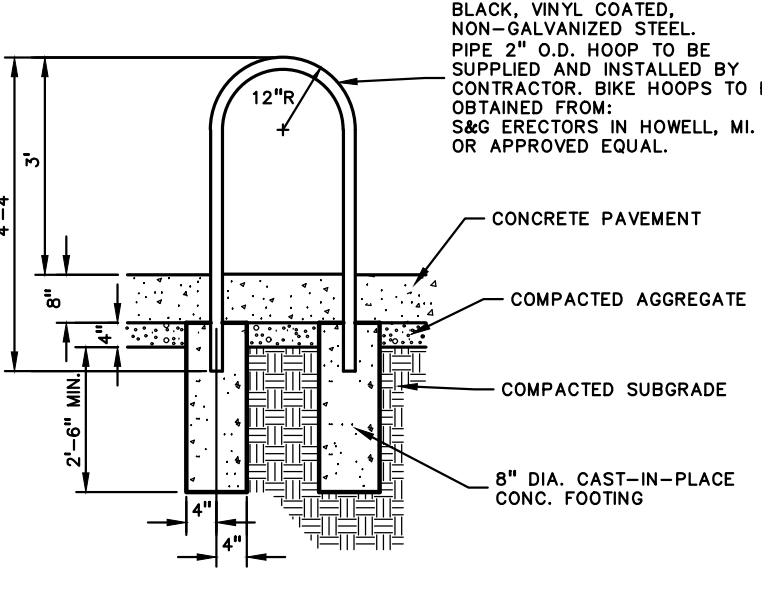


CONCRETE SIDEWALK
NOT TO SCALE

Towne Square™ Backed Bench, 70" Length, Perforated Steel Seat, No Dividers, Freestanding/Surface Mount
Product Drawing
Date: 5/17/2010
www.landscapiforms.com
Ph: 800.521.2546



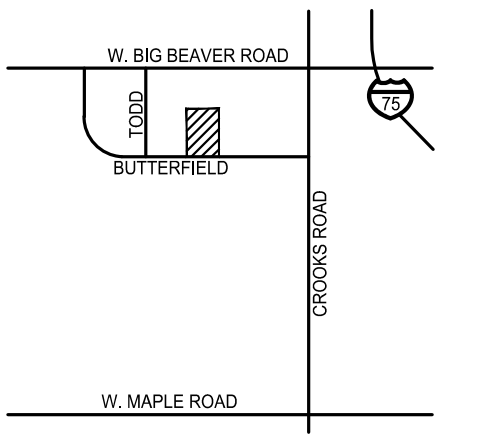
BENCH DETAIL
NOT TO SCALE



BIKE HOOP DETAIL
NOT TO SCALE



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CLIENT
EUREKA BUILDING COMPANY
5960 LIVERNOIS
TROY, MI

PROJECT TITLE
CENTER COURT DEVELOPMENT
BUTTERFIELD RD EAST OF TODD DR
TROY, MI

REVISIONS	CITY COMMENTS	DATE
		10/06/21
		10/15/21

ORIGINAL ISSUE DATE:
SEPTEMBER 10, 2021

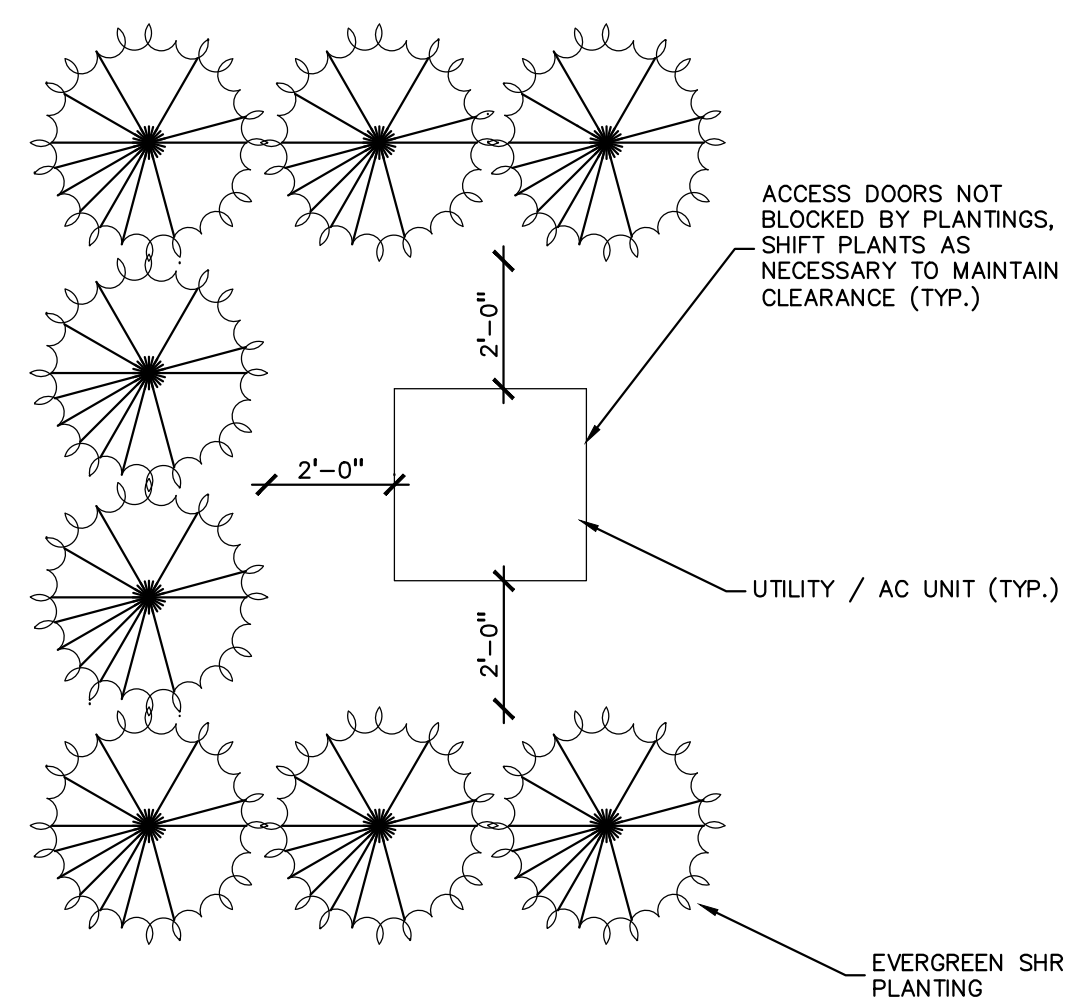
NOTES AND DETAILS

PEA JOB NO.	2021-0134
P.M.	JPB
DN.	KRD
DES.	GMB

DRAWING NUMBER:

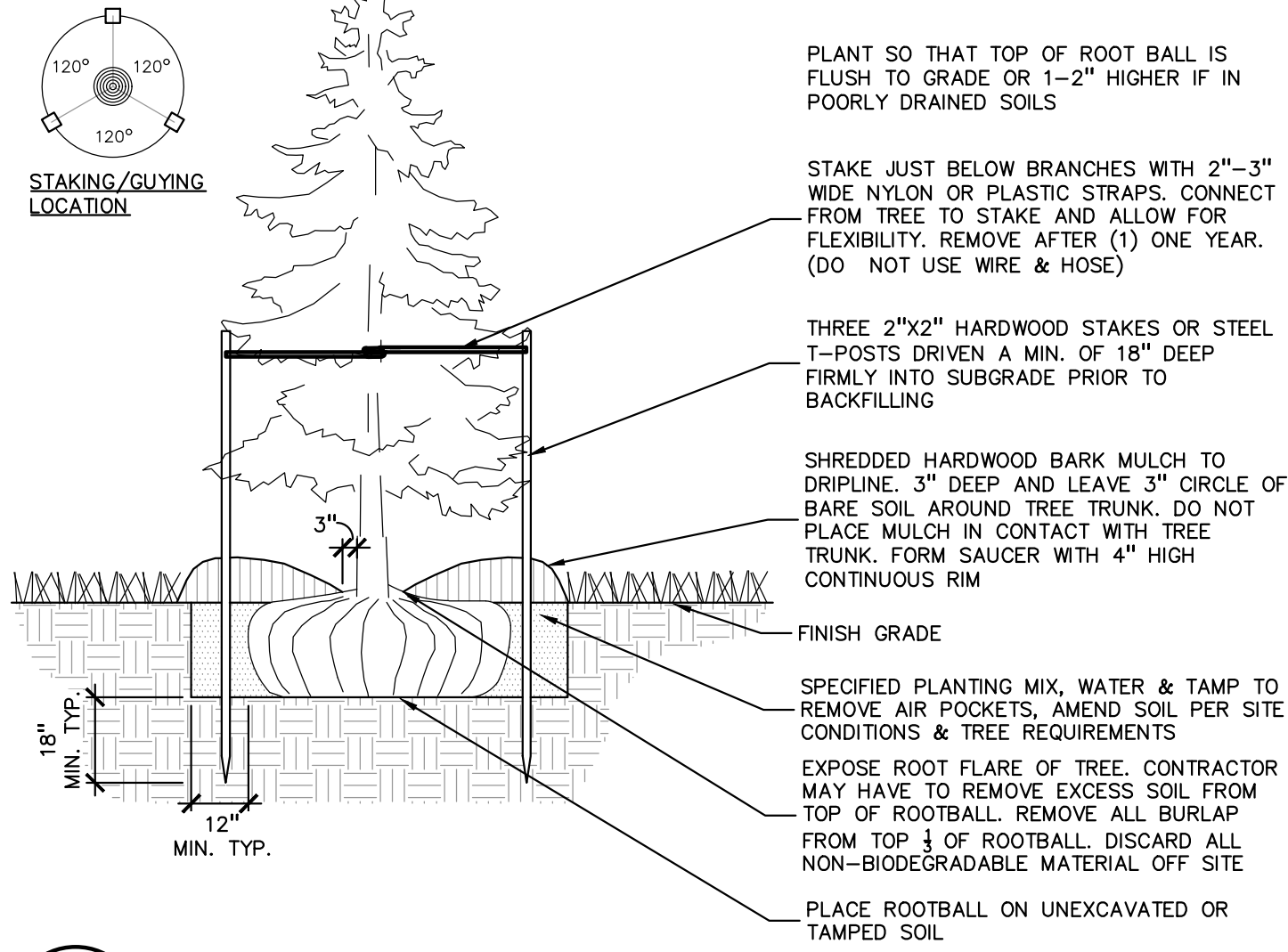
NOT FOR CONSTRUCTION

C-5.0



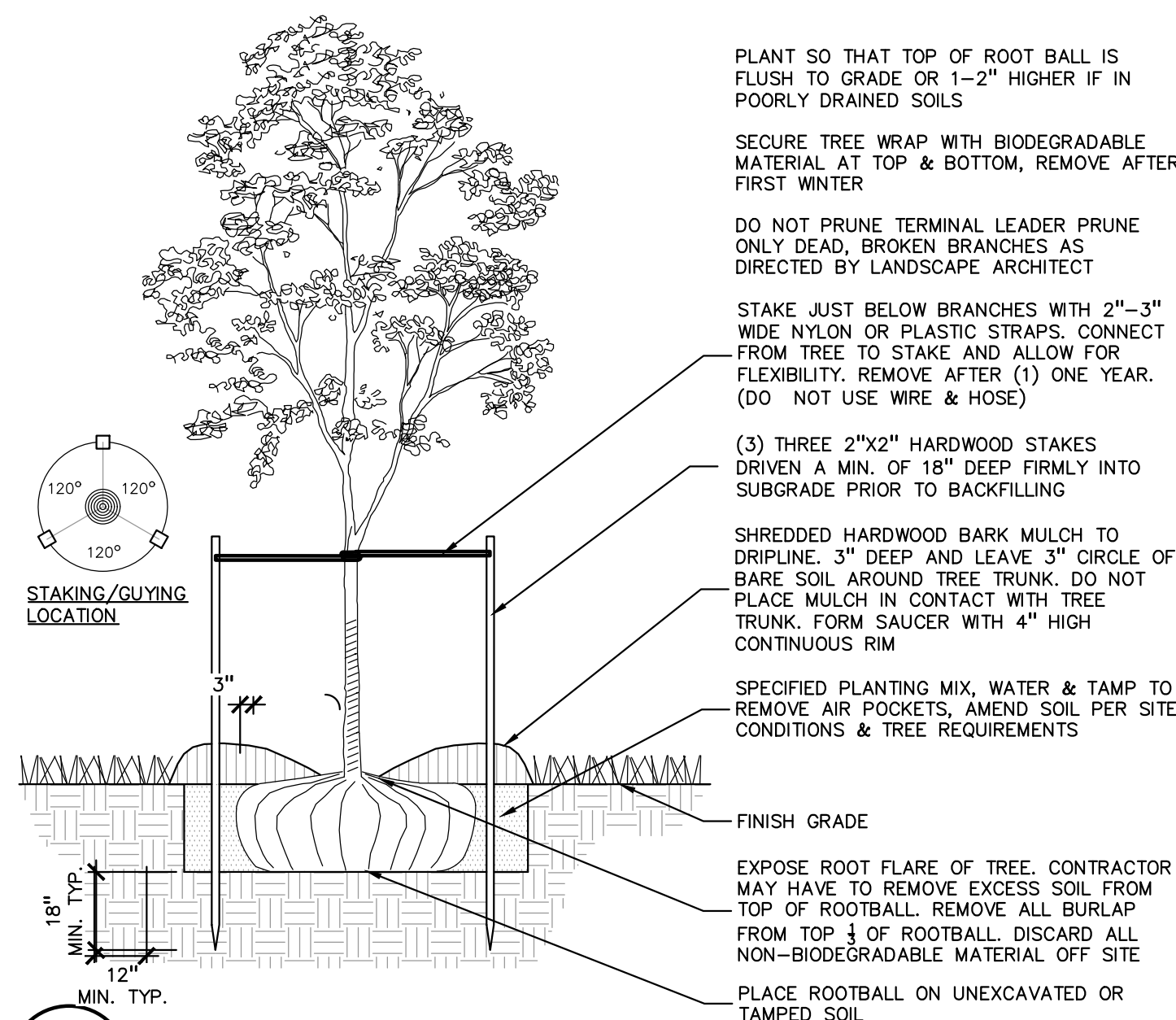
3 UTILITY SCREENING DETAIL

SCALE: 1" = 3'-0"



2 EVERGREEN TREE PLANTING DETAIL

SCALE: 1" = 3'-0"



1 DECIDUOUS TREE PLANTING DETAIL

SCALE: 1" = 3'-0"



MOTION PLAY STRUCTURE
MODEL #197057
AGES 2 TO 5

4 PLAY EQUIPMENT BY LANDSCAPE STRUCTURES

NOT TO SCALE

DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYM BOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
10	ARS.5	Scarlet Sentinel Maple	<i>Acer rubrum 'Scarson' (upright vase shape)</i>	2.5" Cal.	B&B
10	CC2.5	Eastern Redbud	<i>Cercis canadensis</i>	2.5" Cal.	B&B
8	MP2.5	Prairiefire Crab	<i>Malus Prairiefire</i>	2.5" Cal.	B&B
4	MS2.5	Sugar Tyme Crab	<i>Malus Sugar Tyme</i>	2.5" Cal.	B&B
6	GP2.5	Princeton Sentry Ginkgo	<i>Ginkgo biloba 'Princeton Sentry'</i>	2.5" Cal.	B&B
10	KQ2.5	Kindred Spirit Oak	<i>Quercus robur x bicolor 'Nadler' (columnar)</i>	2.5" Cal.	B&B
4	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata 'Ivory Silk'</i>	2.5" Cal.	B&B
15	LT2.5	Tulip Tree	<i>Liriodendron tulipifera</i>	2.5" Cal.	B&B
14	UF2.5	Frontier Bm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
81		TOTAL DECIDUOUS TREES			

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYM BOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	ABB	Balsam Fir	<i>Abies balsamea</i>	8" HL	B&B
5		TOTAL EVERGREEN TREES			

LANDSCAPE CALCULATIONS:

PER CITY OF TROY ZONING ORDINANCE FORM BASE DISTRICT MF, MULTIFAMILY

5.03 C-1a. = GENERAL SITE LANDSCAPE
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL
130,695 SQ.FT. SF x 20 % = 26,139 SF LANDSCAPE AREA REQUIRED
PROVIDED: 11,333 SF LANDSCAPED AREA (30%)

13.02 F. SUBDIVISION AND SITE CONDOMINIUM STANDARDS
REQUIRED: 13.02 F. = 1 TREE PER 50 LF OF INTERNAL ROADS
1075 LF / 50 = 21.5 = 22 TREES TREES REQUIRED
PROVIDED: 22 PROPOSED TREES

13.02 D2. = GREENBELT
REQUIRED: 1 TREE / 30 LF OF FRONTAGE TO PUBLIC RD.
E SQUARE LAKE ROAD = 318 LF FRONTAGE / 30 = 10.60 = 11 TREES
PROVIDED: 11 PROPOSED TREES

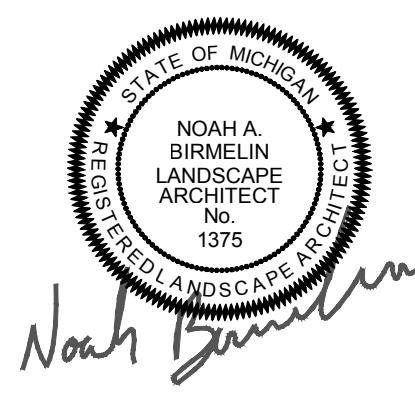
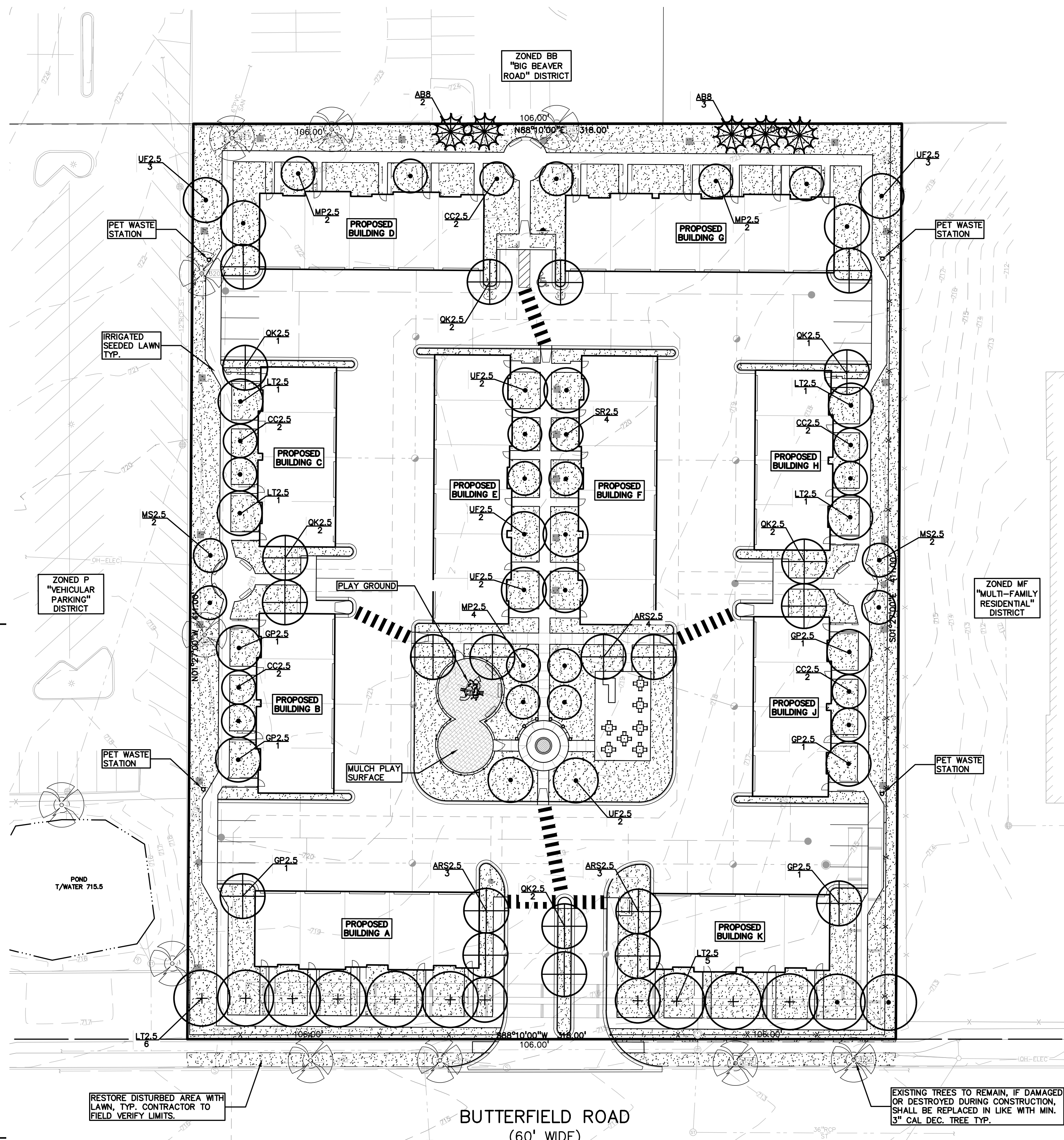
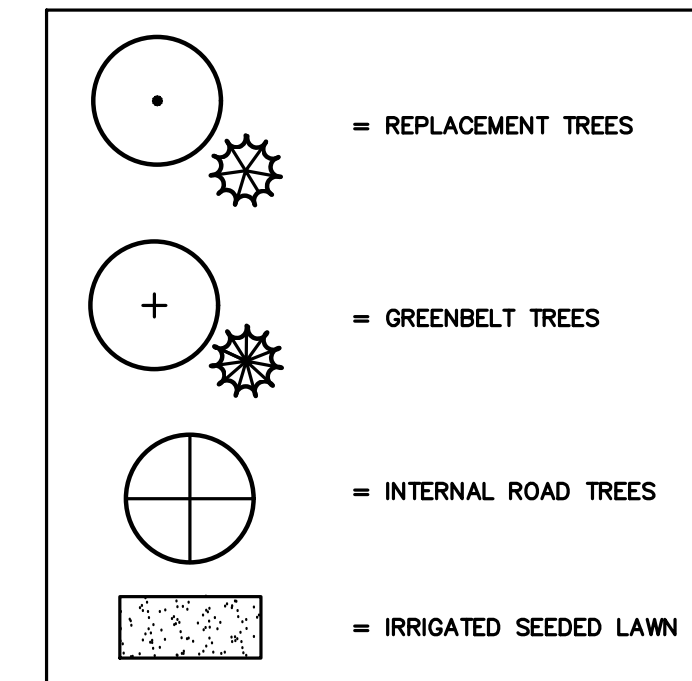
TREE REPLACEMENT:
REQUIRED:
WOODLAND: 30 CALIPER INCHES
LANDMARK: 102 CALIPER INCHES
TOTAL: 132 CALIPER INCHES OR (53) 2.5" TREES
PROVIDED: 53 TREES

SEE TREE PRESERVATION PLAN, T-1.0, FOR TREE REMOVALS AND CALCULATIONS.

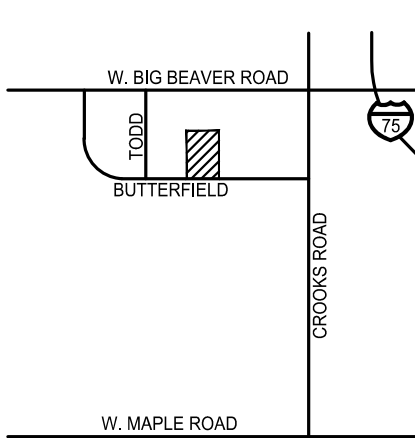
GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS, SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.

KEY:



CAUTION!!
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EUREKA BUILDING COMPANY
5960 LIVERNOIS
TROY, MI

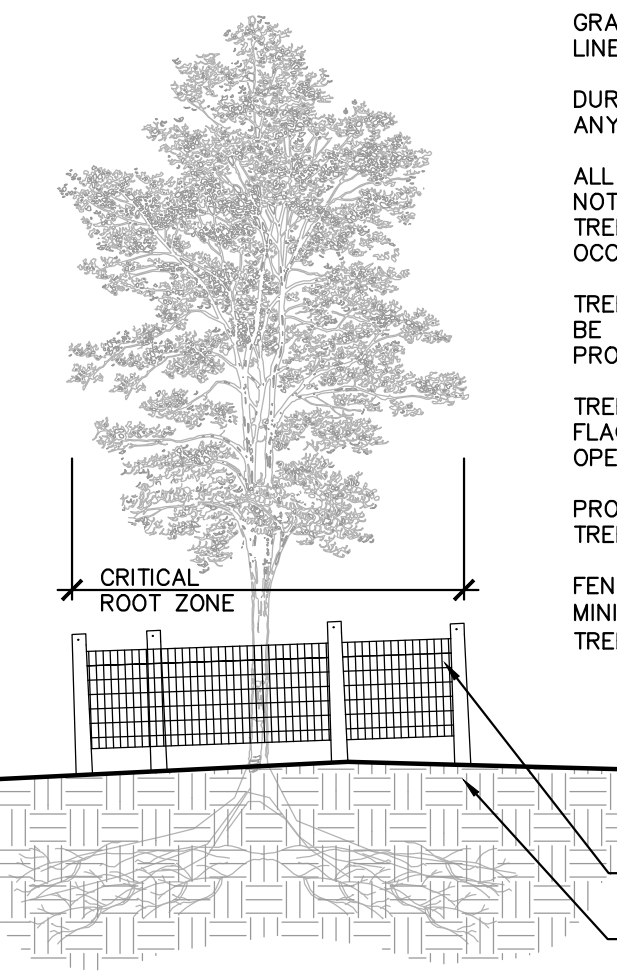
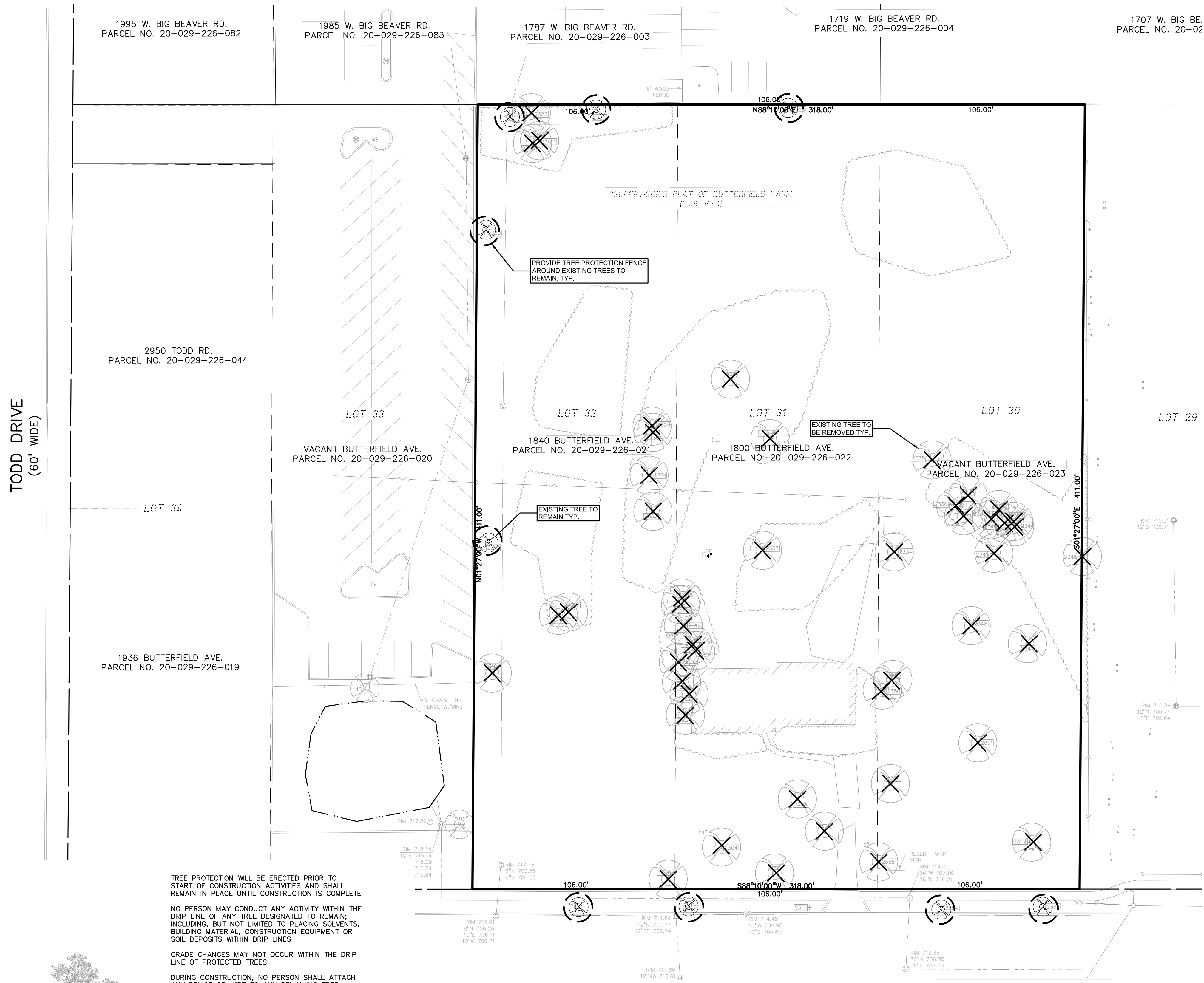
PROJECT TITLE
CENTER COURT DEVELOPMENT
BUTTERFIELD RD EAST OF TODD DR
TROY, MI

REVISIONS	CITY COMMENTS	DATE
		10/06/21
		10/15/21

ORIGINAL ISSUE DATE:
SEPTEMBER 10, 2021

DRAWING TITLE
PRELIMINARY LANDSCAPE PLAN

PEA JOB NO.	2021-0134
P.M.	JPB
D.N.	KRD
DES.	GMB
DRAWING NUMBER:	



TREE PROTECTION WILL BE ERRECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND

1 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"

TAG	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
2301	AM	6	Amur-Maple	Acer-Ginnala	Fair		INVASIVE	R	N	-
2302	SU	13	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
2303	NM	21	Norway-Maple	Acer-platanoides	Good		INVASIVE	R	Y	-
2304	WS	20	White-Spruce	Picea-glauca	Good		LANDMARK	R	Y	REPLACE
2305	SM	19	Silver-Maple	Acer-saccharinum	Fair	x2	INVASIVE	R	Y	-
2306	GA	7	Green-Ash	Fraxinus-pennsylvanica	Fair		INVASIVE	R	Y	-
2307	GA	7	Green-Ash	Fraxinus-pennsylvanica	Fair		INVASIVE	R	Y	-
2308	GA	6	Green-Ash	Fraxinus-pennsylvanica	Fair		INVASIVE	R	Y	-
2309	WC	7	White-Cedar	Thuja-occidentalis	Fair		WOODLAND	R	Y	REPLACE
2310	WC	7	White-Cedar	Thuja-occidentalis	Good		WOODLAND	R	Y	REPLACE
2311	BX	6	Box-elder	Acer-negundo	Fair		INVASIVE	R	Y	-
2312	WC	6	White-Cedar	Thuja-occidentalis	Fair		WOODLAND	R	Y	REPLACE
2313	WC	6	White-Cedar	Thuja-occidentalis	Poor		WOODLAND	R	Y	-
2314	WC	6	White-Cedar	Thuja-occidentalis	Poor		WOODLAND	R	Y	-
2315	WC	6	White-Cedar	Thuja-occidentalis	Poor		WOODLAND	R	Y	-
2316	SM	24	Silver-Maple	Acer-saccharinum	Good		INVASIVE	R	Y	-
2317	GA	7	Green-Ash	Fraxinus-pennsylvanica	Fair	x3	INVASIVE	R	Y	-
2318	GA	6	Green-Ash	Fraxinus-pennsylvanica	Poor	x2	INVASIVE	R	Y	-
2319	BX	6	Box-elder	Acer-negundo	Fair		INVASIVE	S	Y	-
2320	SM	11	Silver-Maple	Acer-saccharinum	Good	x5	INVASIVE	S	Y	-
2321	BX	6	Box-elder	Acer-negundo	Poor	x1	INVASIVE	S	Y	-
2322	BX	7	Box-elder	Acer-negundo	Fair		INVASIVE	R	Y	-
2324	BX	8	Box-elder	Acer-negundo	Fair		INVASIVE	R	Y	-
2325	BX	7	Box-elder	Acer-negundo	Fair	x2	INVASIVE	S	Y	-
2326	EE	12	Siberian Elm	Ulmus-pumila	Good		INVASIVE	S	Y	-
2327	CY	44	Bald-Cypress	Taxodium-distichum	Fair		LANDMARK	R	Y	REPLACE
2328	SM	20	Silver-Maple	Acer-saccharinum	Fair		INVASIVE	R	Y	-
2329	CT	7	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2330	CT	7	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2331	CT	7	Cottonwood	Populus-deltoidea	Fair		INVASIVE	R	Y	-
2332	CT	13	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2333	CT	13	Cottonwood	Populus-deltoidea	Good	x4	INVASIVE	R	Y	-
2334	WS	15	White-Spruce	Picea-glauca	Fair		WOODLAND	R	Y	REPLACE
2335	CT	10	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2336	CT	8	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2337	CT	12	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2338	CT	9	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2339	CT	6	Cottonwood	Populus-deltoidea	Fair		INVASIVE	R	Y	-
2340	CT	7	Cottonwood	Populus-deltoidea	Fair		INVASIVE	R	Y	-
2341	CT	9	Cottonwood	Populus-deltoidea	Good	x2	INVASIVE	R	Y	-
2342	CT	8	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2343	CT	6	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2344	CT	7	Cottonwood	Populus-deltoidea	Good		INVASIVE	R	Y	-
2345	CT	9	Cottonwood	Populus-deltoidea	Fair		INVASIVE	R	Y	-
2346	MV	6	White-Mulberry	Morus-alba	Fair		INVASIVE	R	Y	-
2347	SM	17	Silver-Maple	Acer-saccharinum	Fair		INVASIVE	R	Y	-
2348	RP	18	Red-Pine	Pinus-resinosa	Fair		LANDMARK	R	Y	REPLACE
2349	SM	20	Silver-Maple	Acer-saccharinum	Fair		INVASIVE	R	Y	-
2350	MV	6	White-Mulberry	Morus-alba	Fair		INVASIVE	R	Y	-
2351	SM	24	Silver-Maple	Acer-saccharinum	Poor		INVASIVE	R	Y	-
2352	AU	20	Australian-Pine	Pinus-nigra	Fair		LANDMARK	R	Y	REPLACE
2353	AM	6	Amur-Maple	Acer-Ginnala	Fair		INVASIVE	S	N	-
2354	AM	6	Amur-Maple	Acer-Ginnala	Poor		INVASIVE	S	N	-
2355	BS	11	Blue-Spruce	Picea-pungens	Fair		WOODLAND	R	Y	REPLACE
2356	SM	23	Silver-Maple	Acer-saccharinum	Fair		INVASIVE	R	Y	-
2357	SM	19	Silver-Maple	Acer-saccharinum	Poor		INVASIVE	R	Y	-

TREE INVENTORY/PRESERVATION CALCULATIONS

WOODLAND TREES	
WOODLAND TREES REMOVED: 6	(REPLACE AT 50% OF REMOVED DBH)
58" DBH x 0.5 =	30" REPLACEMENT
WOODLAND TREES SAVED: 0	(CREDIT OF 2X DBH)
" DBH x 2 =	" CREDIT
29.5 - 0 =	29.5
30" " DBH REQUIRED FOR WOODLAND REPLACEMENT	

LANDMARK TREES	
LANDMARK TREES REMOVED: 4	(REPLACE AT 100% OF REMOVED DBH)
102" DBH x 1 =	102" REPLACEMENT
LANDMARK TREES SAVED: 0	(CREDIT OF 2X DBH)
" DBH x 2 =	" CREDIT
102 - 0 =	102
131.5" TOTAL DBH REQUIRED FOR REPLACEMENT	

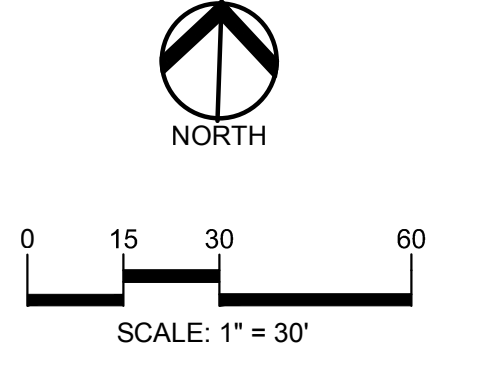
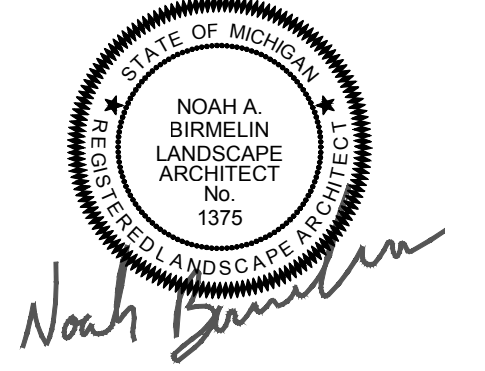
KEY:

- = EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCE
- = EXISTING TREES TO BE REMOVED

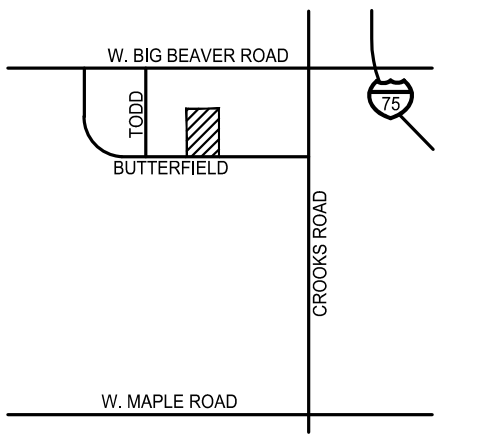
REPLACEMENT TREE SUMMARY:

NOT INCLUDED FOR REPLACEMENT ARE DEAD, DAMAGED, DISEASED, INVASIVE SPECIES AND OFF SITE TREES.

TREE REPLACEMENT: NONE REQUIRED, SINCE THE 21 TREES TO BE REMOVED ARE EXEMPT DUE TO SPECIES.



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CLIENT
EUREKA BUILDING COMPANY
5960 LIVERNOIS TROY, MI

PROJECT TITLE
CENTER COURT DEVELOPMENT
BUTTERFIELD RD EAST OF TODD DR TROY, MI

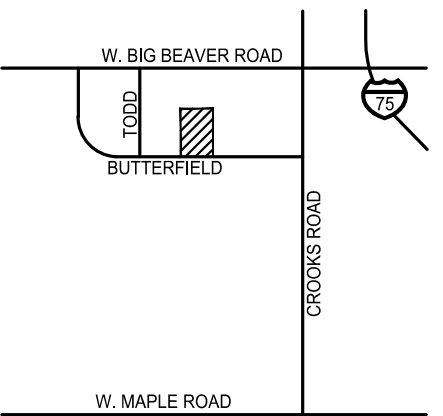
REVISIONS
CITY COMMENTS 10/06/21
CITY COMMENTS 10/15/21

ORIGINAL ISSUE DATE: SEPTEMBER 10, 2021
DRAWING TITLE
TREE PRESERVATION PLAN

PEA JOB NO. 2021-0134
P.M. JPB
DN. KRD
DES. GMB
DRAWING NUMBER:



CAUTION!
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CLIENT
EUREKA BUILDING COMPANY
5960 LIVERNOIS
TROY, MI

PROJECT TITLE
CENTER COURT DEVELOPMENT
BUTTERFIELD RD EAST OF TODD DR
TROY, MI

REVISIONS	
CITY COMMENTS	10/06/21
CITY COMMENTS	10/15/21

ORIGINAL ISSUE DATE:
SEPTEMBER 10, 2021

DRAWING TITLE
PRELIMINARY SITE LIGHTING

PEA JOB NO. 2021-0134

P.M. JPB

DN. KR D

DES. GMB

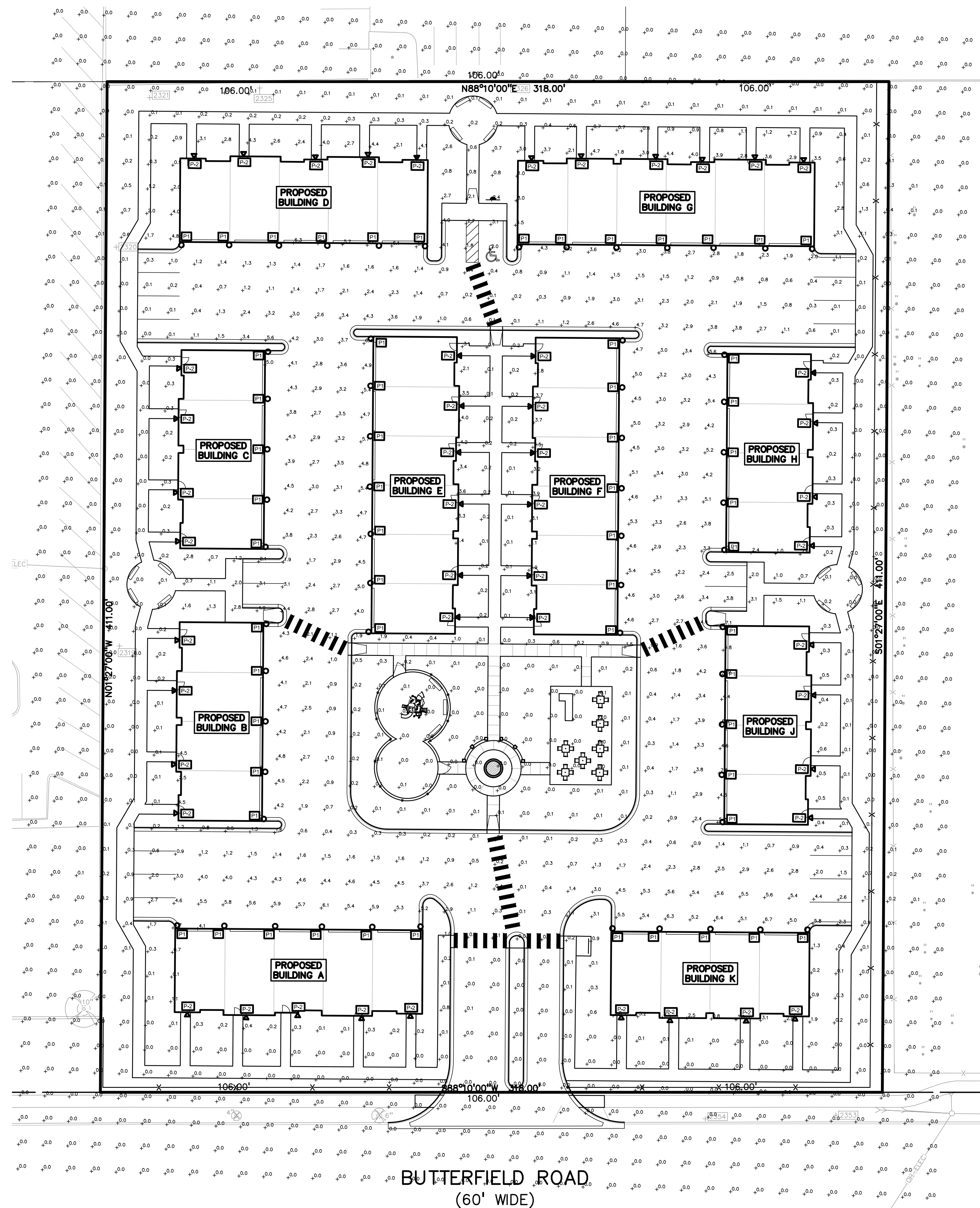
DRAWING NUMBER:

GENERAL SITE LIGHTING NOTES:

- THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- ALL POLES ARE TO BE MOUNTED ON CONCRETE PEDESTALS 2 FEET ABOVE GRADE AS SHOWN IN DETAIL.
- ALL POLES LOCATED OUTSIDE OF THE PARKING LOT AREA SHALL BE LOCATED 3 FEET FROM BACK OF CURB OR EDGE OF SIDEWALKS.
- SHOP DRAWINGS FOR THE ELECTRICAL WIRING OF THE FIXTURES NEED TO BE SUPPLIED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR COORDINATION OF UNDERGROUND CONDUIT AND APPROVAL OF LAYOUT.
- ALL AREA LIGHT FIXTURES ARE TO BE DOWNWARD DIRECTED.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIALS AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
- COORDINATE LIGHT FIXTURE PLACEMENT AND INSTALLATION WITH LANDSCAPE.
- ALL CONDUCTORS SHALL BE IN CONDUIT.

SITE PHOTOMETRIC DATA:

	ALLOWED	PROPOSED
1. FIXTURE HEIGHT SITE:	25 FT. (MAX)	10 FT. (MAX)
2. FOOTCANDLE AT PROP LINE:	1.0 Fc. (MAX)	0.4 Fc. (MAX)
3. FOOTCANDLE AT ROW LINE:	1.0 Fc. (MAX)	0.4 Fc. (MAX)
4. SITE FOOTCANDLE MAX.:	10.0 Fc. (MAX)	7.0 Fc. (MAX)



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
○	P1* (10' HEIGHT)	58	Lithonia Lighting	DSXW1 LED 20C 1000 AMBPC T4M MVOLT HS	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, AMBER PC. @ 1000mA WITH HOUSE-SIDE SHIELDS.	LED	1	DSXW1_LED_20C_10 00_AMBPC_T4M_MVO LT_HS.ies	3556	0.95	73.2
△	P2* (6' HEIGHT)	48	Lithonia Lighting	DSXW1 LED 10C 350 AMBPC T2S MVOLT HS	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, AMBPC. @ 700mA WITH HOUSE- SIDE SHIELDS.	LED	1	DSXW1_LED_10C_35 0_AMBPC_T2S_MVOL T_HS.ies	788	0.95	13.3

*BECAUSE AN IES FILE IS NOT AVAILABLE FOR THE FIXTURE TO BE INSTALLED, THE IES FILE FROM A COMPARABLE FIXTURE WAS USED.

Style to Live by™

1 Light Outdoor Wall Cylinder in BA 9234BA (Brushed Aluminum)

Product Description:
This one light Wall Cylinder features our Brushed Aluminum finish and uses a BR-30 bulb that produces 65-watts (max) of pure light. It measures 7" high, is U.L. listed for wet location, and is a Dark Skies compliant fixture.

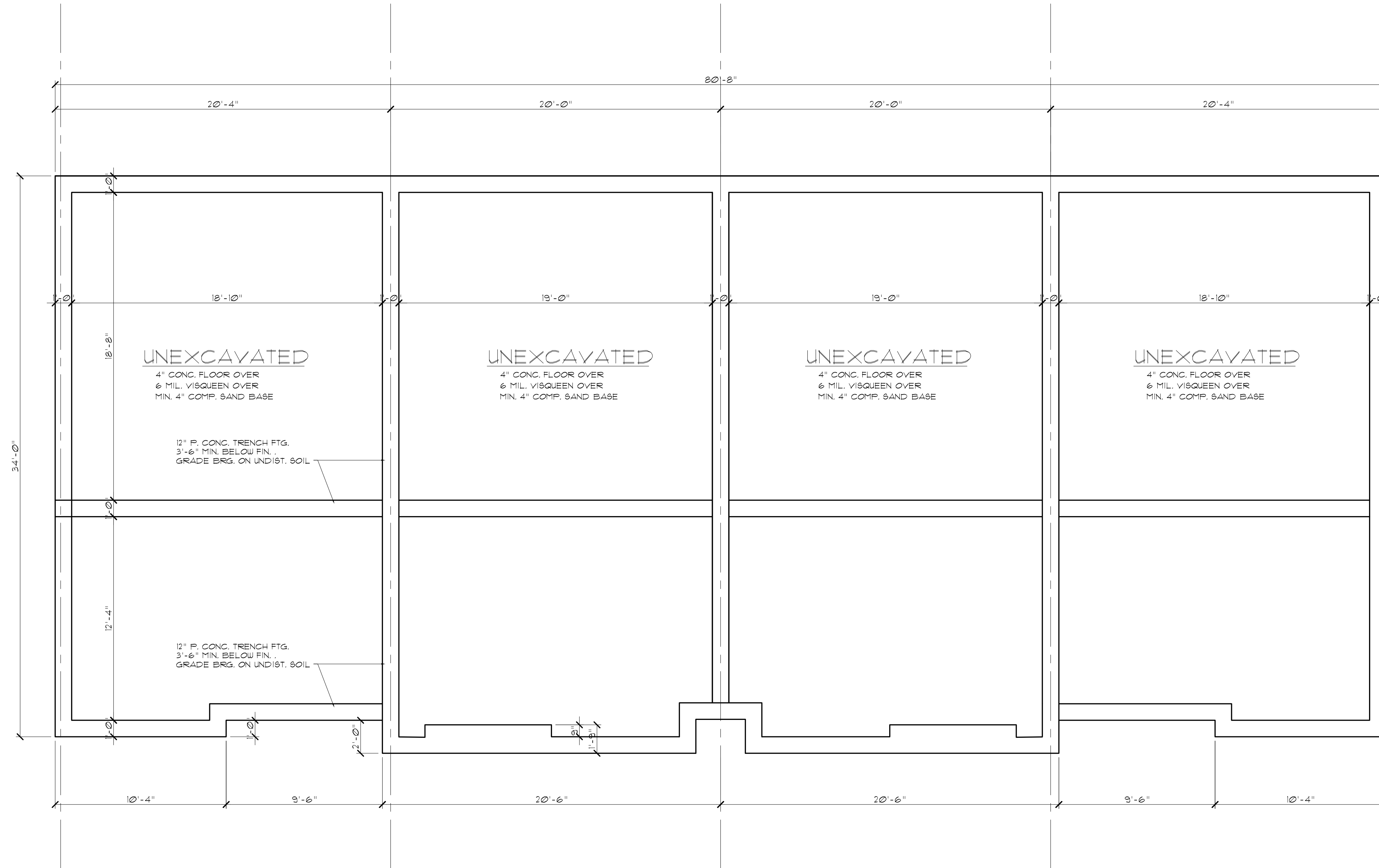
Available Finishes
Architectural Bronze
Brushed Aluminum
White

ADD TO PROJECT

Technical Information

Weight:	0.95 LBS
Safety Rated:	Wet
HCWC:	3.50"
Base Backplate:	5.00"
Width:	4.75"
Height:	7.00"
Lamp Included:	Not Included
Extension:	7.00"
Voltage:	120V
CFL Bulb Type:	HYBRID (13-15W)
Light Source:	Incandescent
Socket Base:	Medium
Number of Bulbs:	1
Lamp Type:	A19
Max Watt:	65W
Finish:	Brushed Aluminum

Project	Comments



**4-UNIT BUILDING
FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

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PROJECT
**CENTER COURT
DEVELOPMENT**
- TROY, MI

SUBJECT
FOUNDATIN PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-04-21

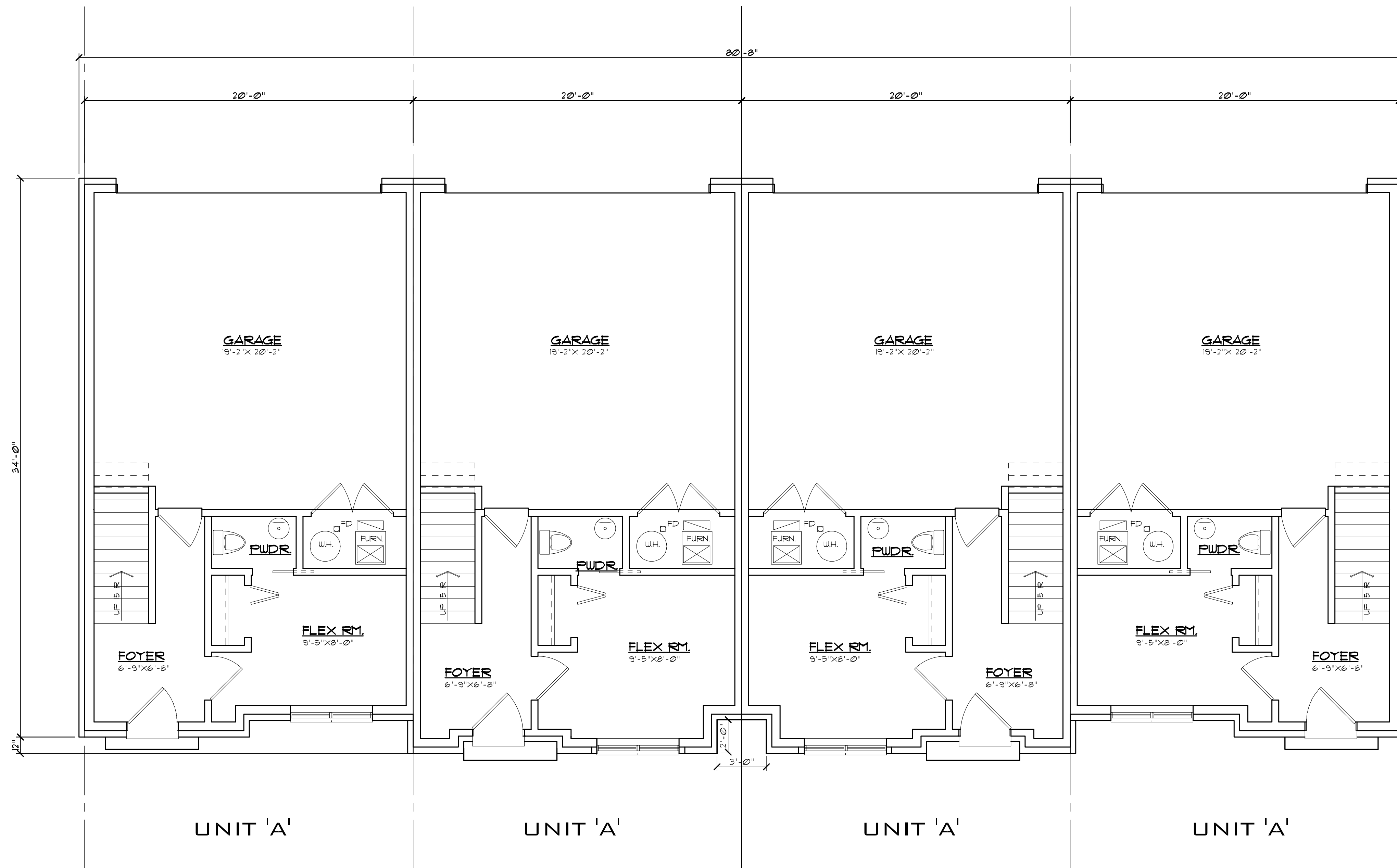
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APPROVED	AK
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CONSTR	

DO NOT SCALE
PRINTS - USE
DIMENSIONS ONLY

JOB NO.
2021-10

SHEET
A0.1

CONDO
DEVELOP.



4-UNIT BUILDING
LOWER LEVEL PLAN

260 SF
SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
TROY, MI

SUBJECT
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-08-21

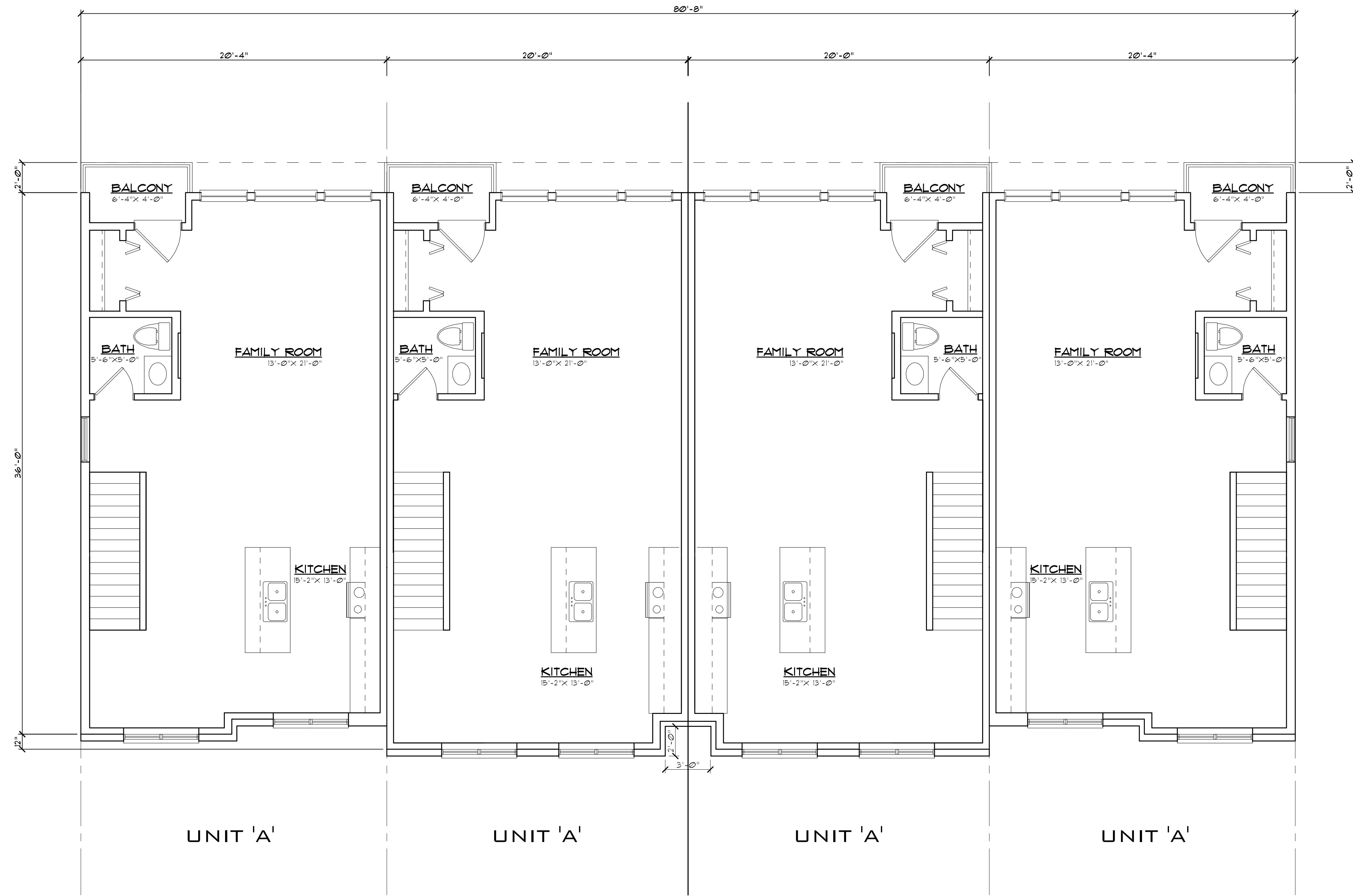
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DIMENSIONS ONLY

JOB NO.
2021-10

SHEET
A10

CONDO
DEVELOP.



4-UNIT BUILDING
MAIN LEVEL FLOOR PLAN

667 SF

SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
- TROY, MI

SUBJECT
FIRST FLOOR PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-24-21

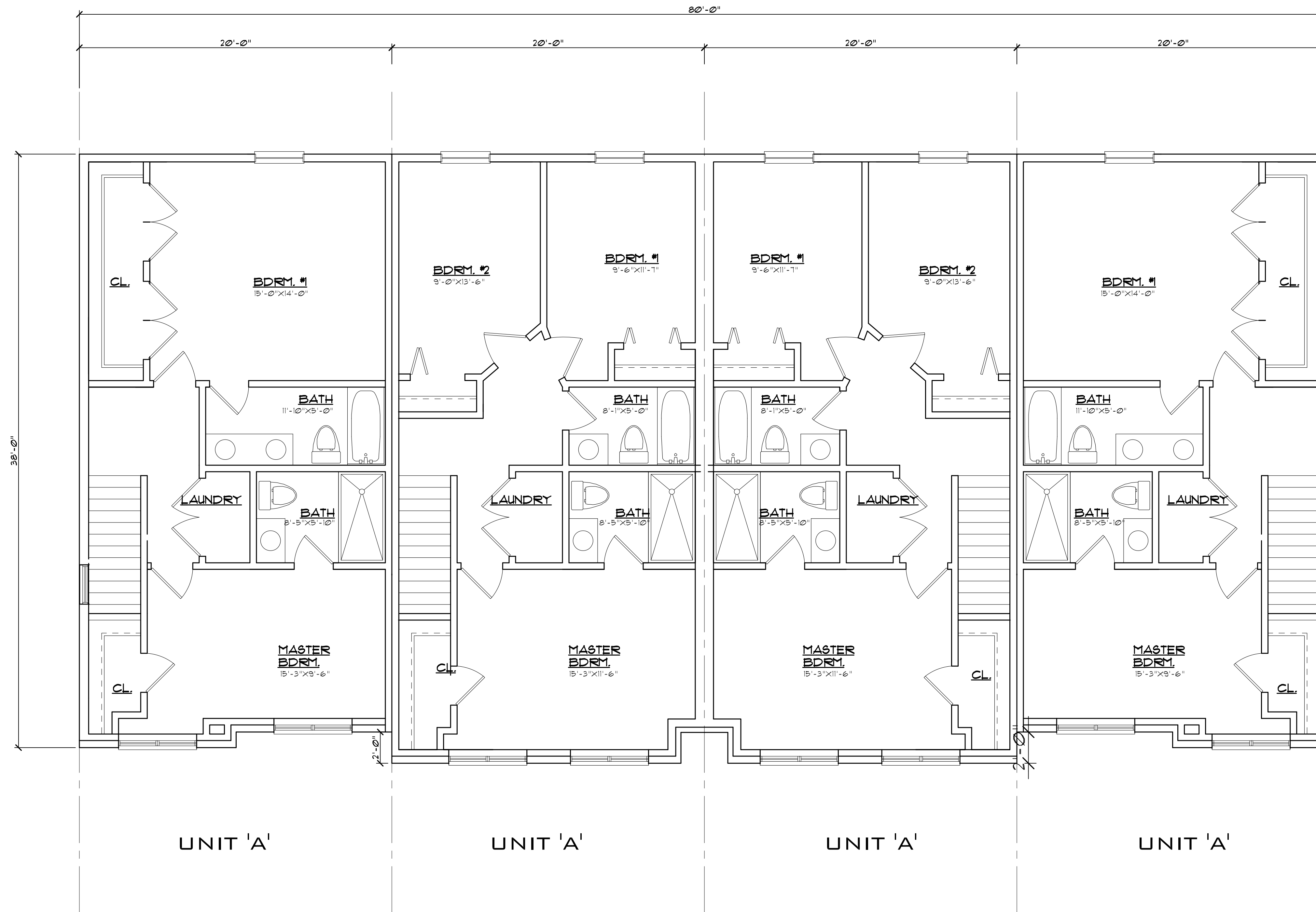
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JOB NO.
2021-10

SHEET
A.1

CONDO
DEVELOP.



4-UNIT BUILDING
UPPER FLOOR PLAN

700 SF

SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
TROY, MI

SUBJECT
UPPER LEVEL PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-29-21

DRAWN	AK
CHECKED	AK
APPROVED	AK
BDS	
CONTR	

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DIMENSIONS ONLY

JOB NO.
2021-10

SHEET
A1.2

CONDO
DEVELOP.



FRONT ELEVATION - 4 UNIT BLDG.

SCALE: 1/4" = 1'-0"

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PROJECT
 CENTER COURT
 DEVELOPMENT
 TROY, MI

SUBJECT
 FRONT ELEVATION

ARKO DESIGN ASSOCIATES
 2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
 PH. (248) 802-8409

ISSUED:
 SITE PLAN REVIEW
 03-20-21

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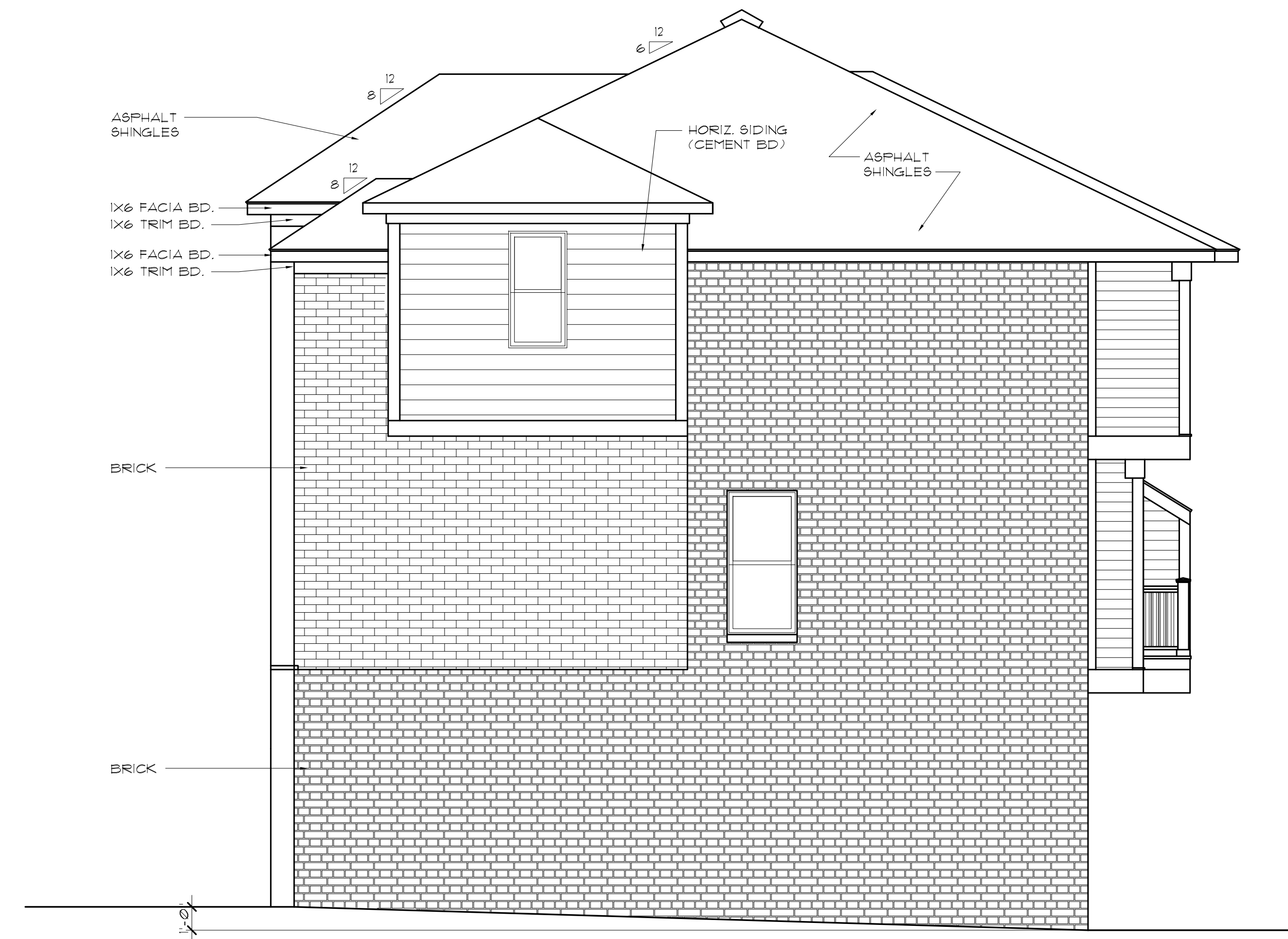
JOB NO.
 2021-10

SHEET
 A13

CONDO
 DEVELOP.



REAR ELEVATION - 4 UNIT BLDG.
SCALE: 1/4" = 1'-0"



SIDE ELEVATION - 4, 5 & 6 UNIT BLDG.
SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
- TROY, MI

SUBJECT
REAR ELEVATION,
SIDE ELEVATION

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-04-21
08-11-21

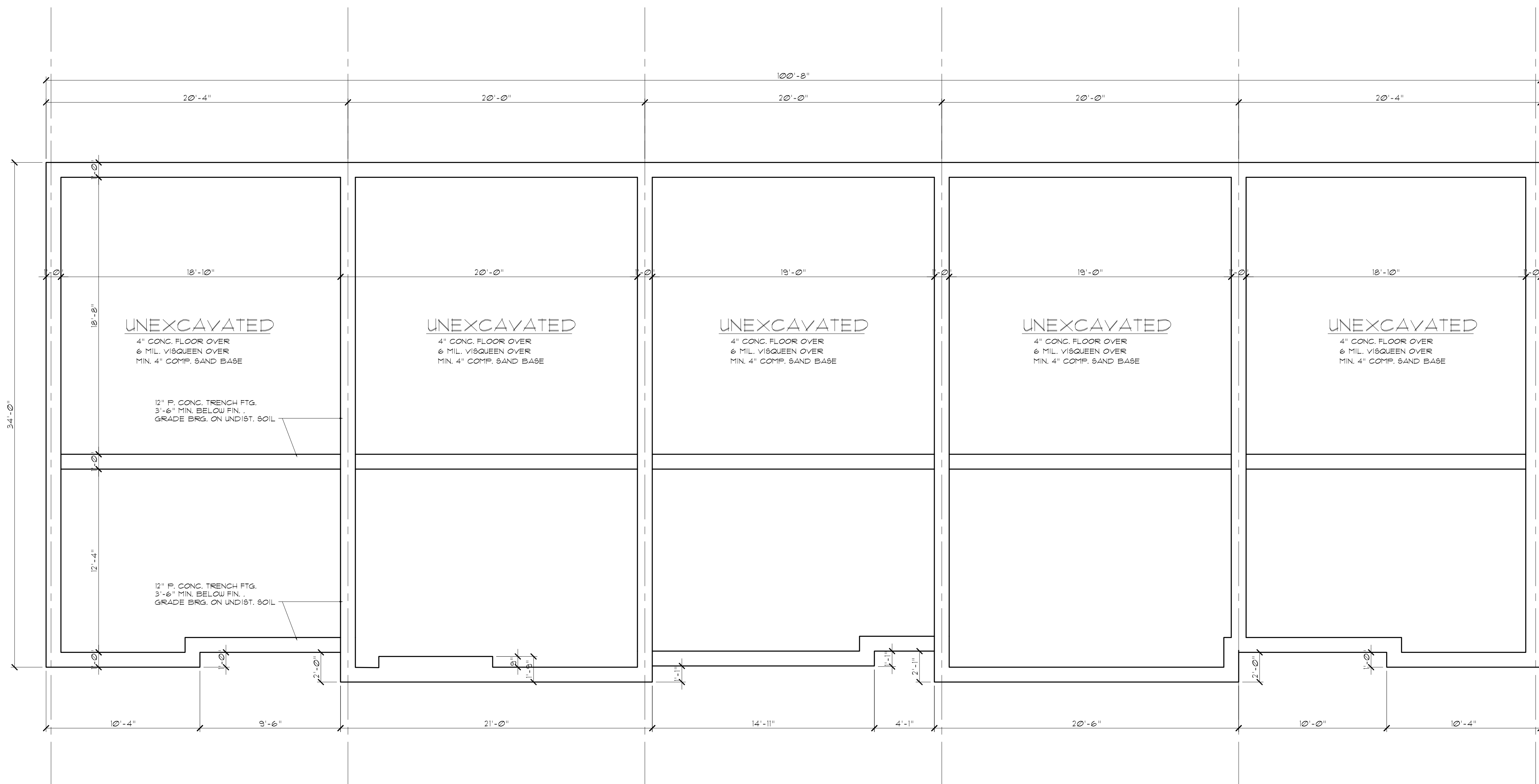
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APPROVED	AK
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PRINTS - USE
FOOTED
DIMENSIONS ONLY

JOB NO.
2021-10

SHEET
A14

CONDO
DEVELOP.



5-UNIT BUILDING
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
TROY, MI

SUBJECT
FOUNDATION PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-28-21

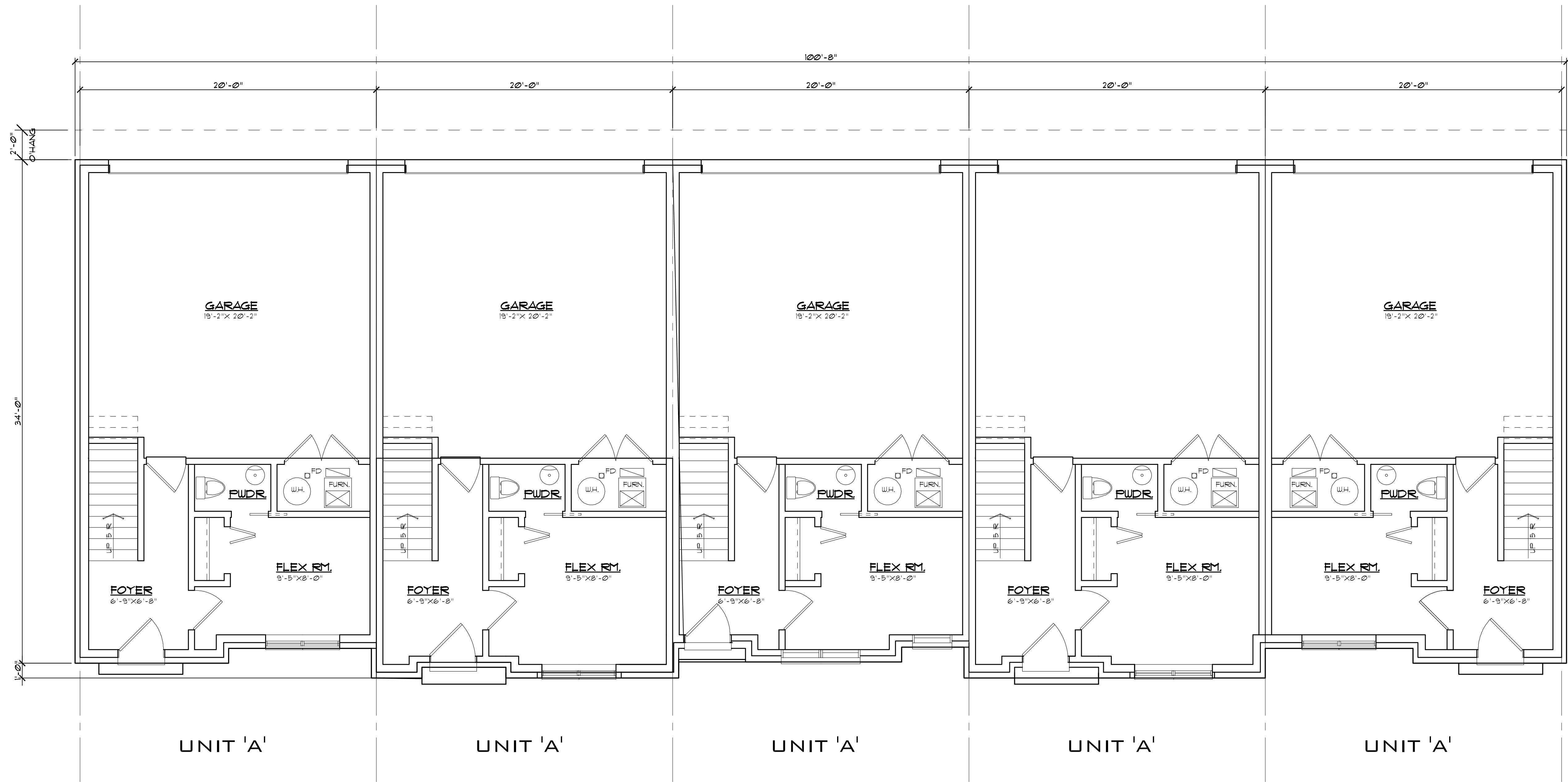
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DIMENSIONS ONLY

JOB NO.
2021-10

SHEET
A0.2

CONDO
DEVELOP.



5-UNIT BUILDING
LOWER LEVEL PLAN

285SF

SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
- TROY, MI

SUBJECT
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
09-28-21

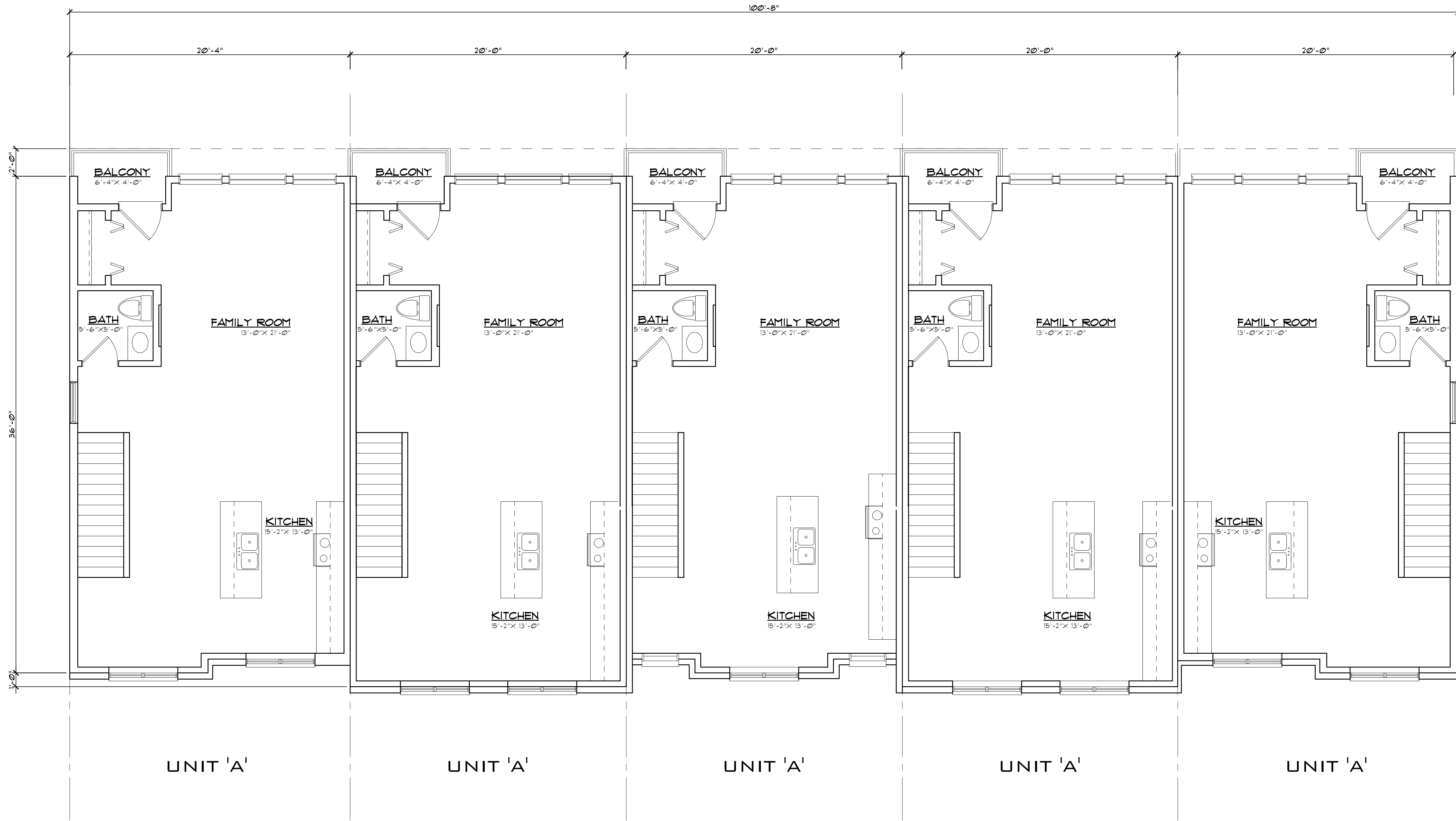
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JOB NO.
2021-10

SHEET
A20

CONDO
DEVELOP.



5-UNIT BUILDING
FIRST FLOOR PLAN

692 SF

SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
TROY, MI

SUBJECT
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES
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PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-04-21

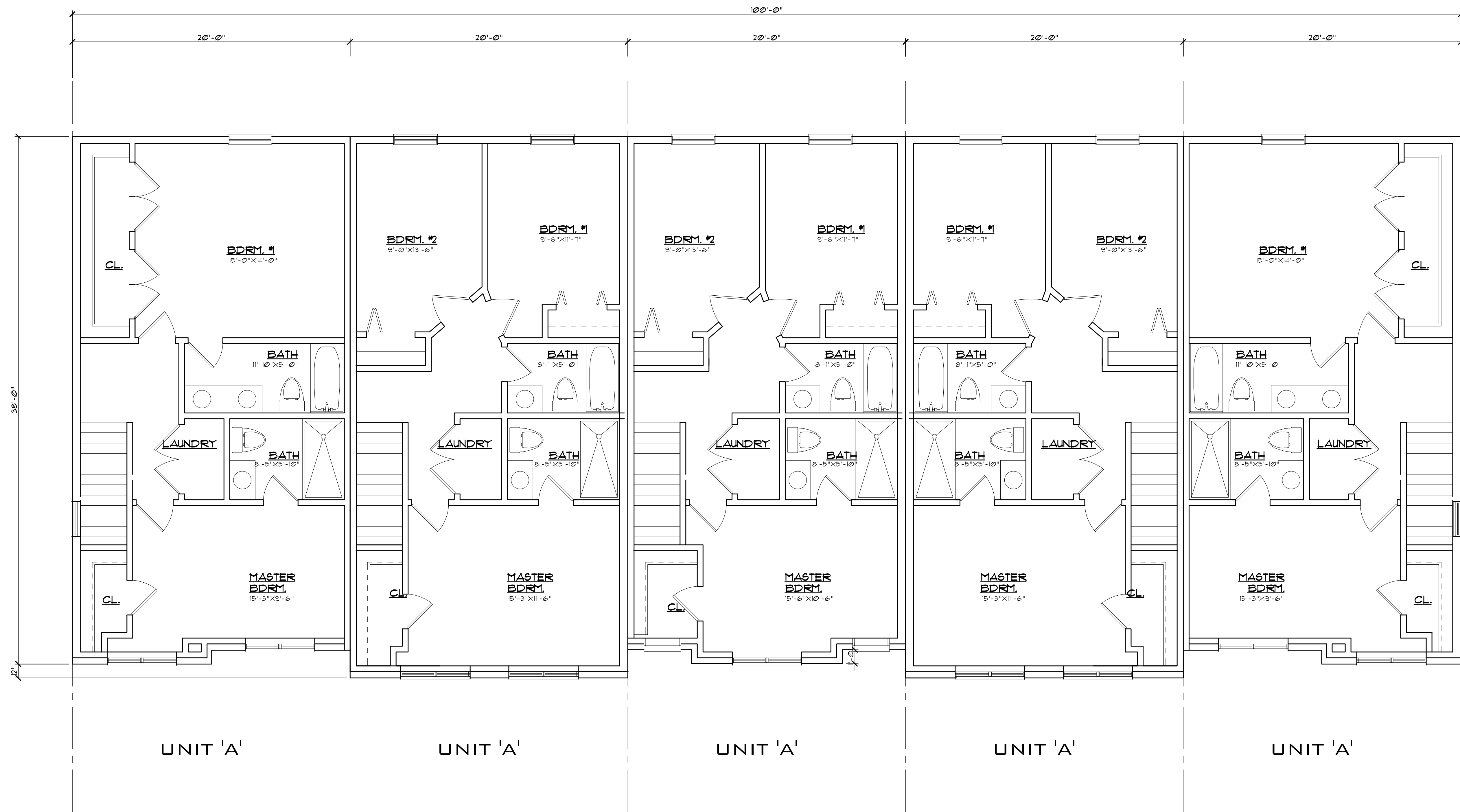
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JOB NO.
2021-10

SHEET
A2.1

CONDO
DEVELOP.



5-UNIT BUILDING
UPPER FLOOR PLAN

700 SF

SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
- TROY, MI

SUBJECT
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-04-21

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APPROVED	AK
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CONSTR	

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JOB NO.
2021-10

SHEET
A2.2

CONDO
DEVELOP.



FRONT ELEVATION - 5 UNIT BLDG.

SCALE: 1/4" = 1'-0"

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PROJECT
 CENTER COURT
 DEVELOPMENT
 TROY, MI

SUBJECT
 FRONT ELEVATION

ARKO DESIGN ASSOCIATES
 2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
 PH. (248) 802-8409

ISSUED:
 SITE PLAN REVIEW
 08-24-21

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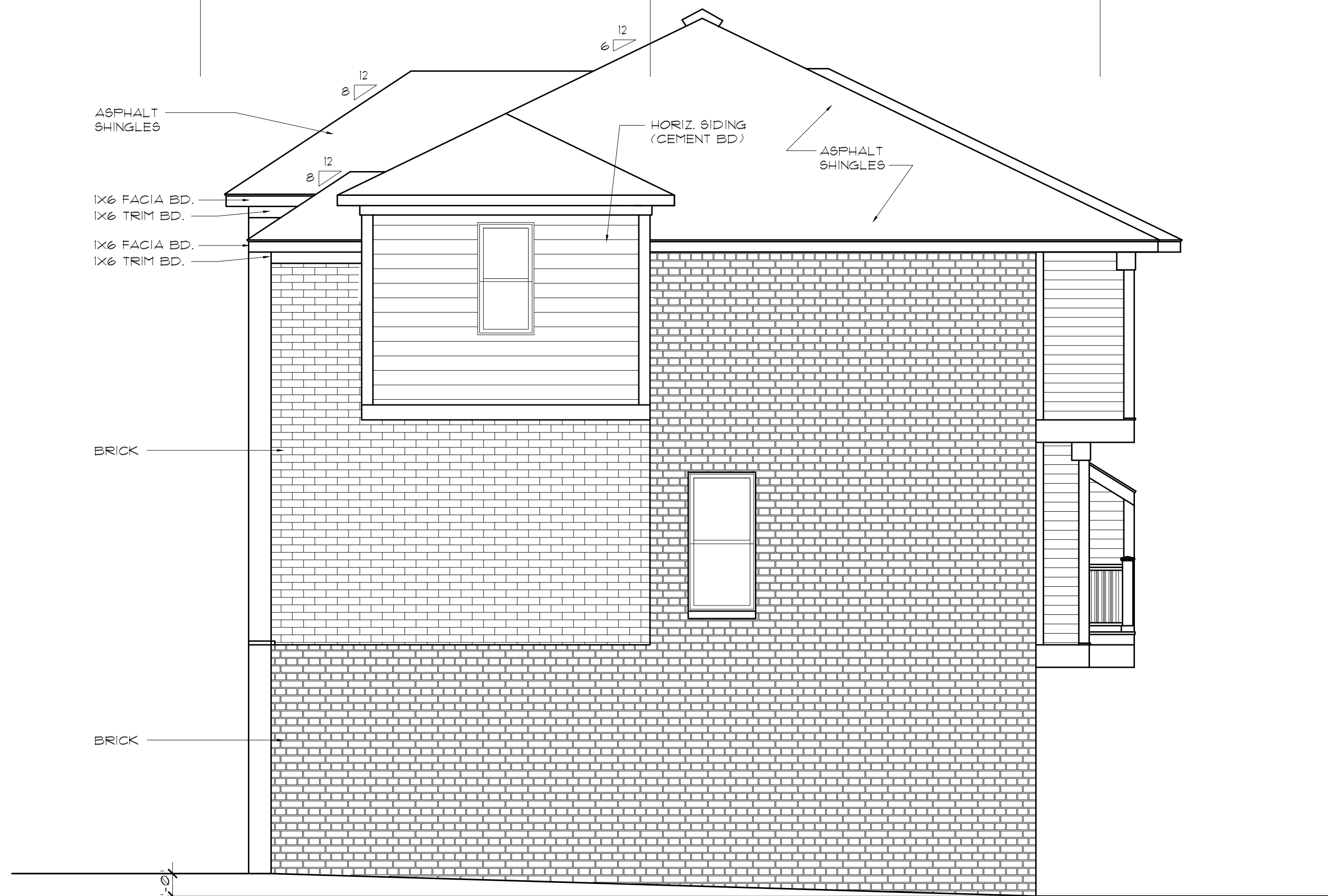
JOB NO.
 2021-10

SHEET
 A2.3

CONDO
 DEVELOP.



REAR ELEVATION - 5 UNIT BLDG.
SCALE: 1/4" = 1'-0"



SIDE ELEVATION - 4, 5 & 6 UNIT BLDG.
SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
- TROY, MI

SUBJECT
REAR ELEVATION,
SIDE ELEVATION

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
03-04-21
03-11-21

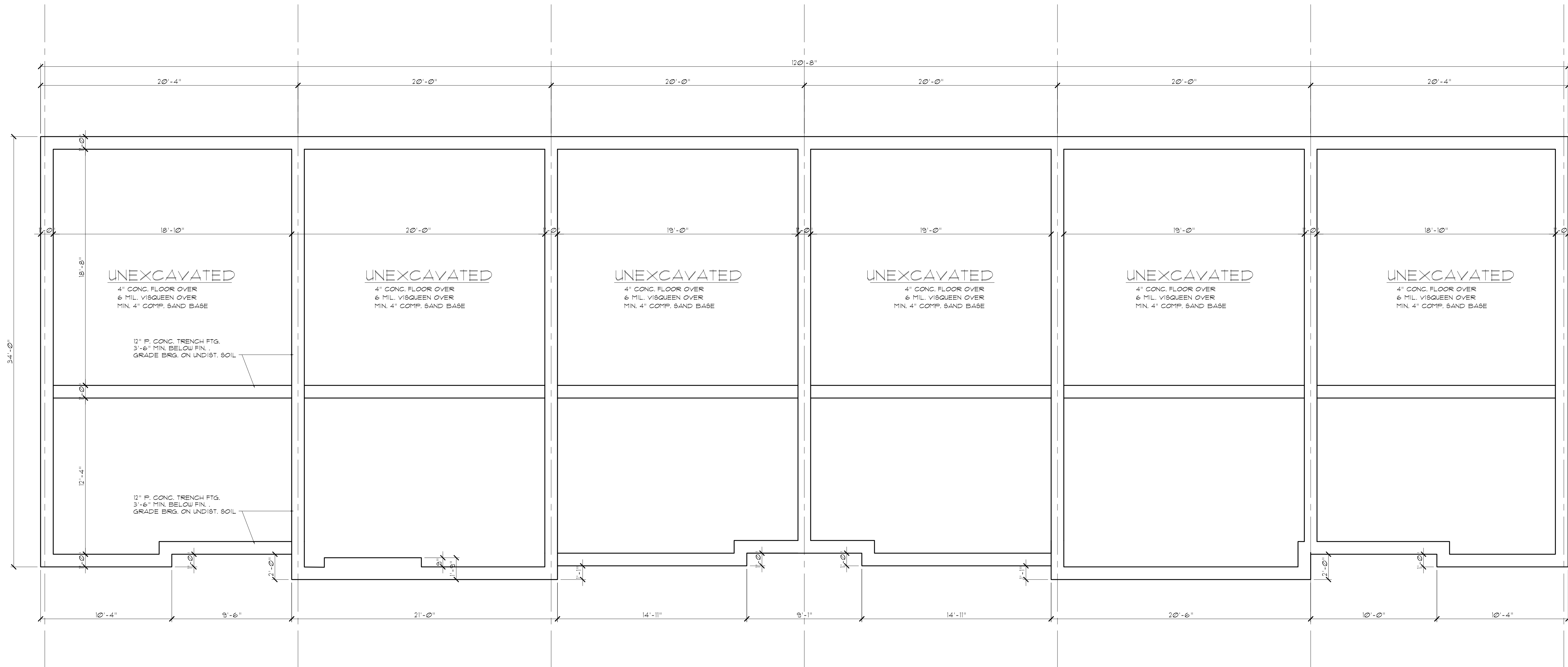
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JOB NO.
2021-10

SHEET
A24

CONDO
DEVELOP.



**6-UNIT BUILDING
FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

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PROJECT
**CENTER COURT
DEVELOPMENT**
TROY, MI

SUBJECT
FOUNDATION PLAN

ARKO DESIGN ASSOCIATES
2288 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-04-19

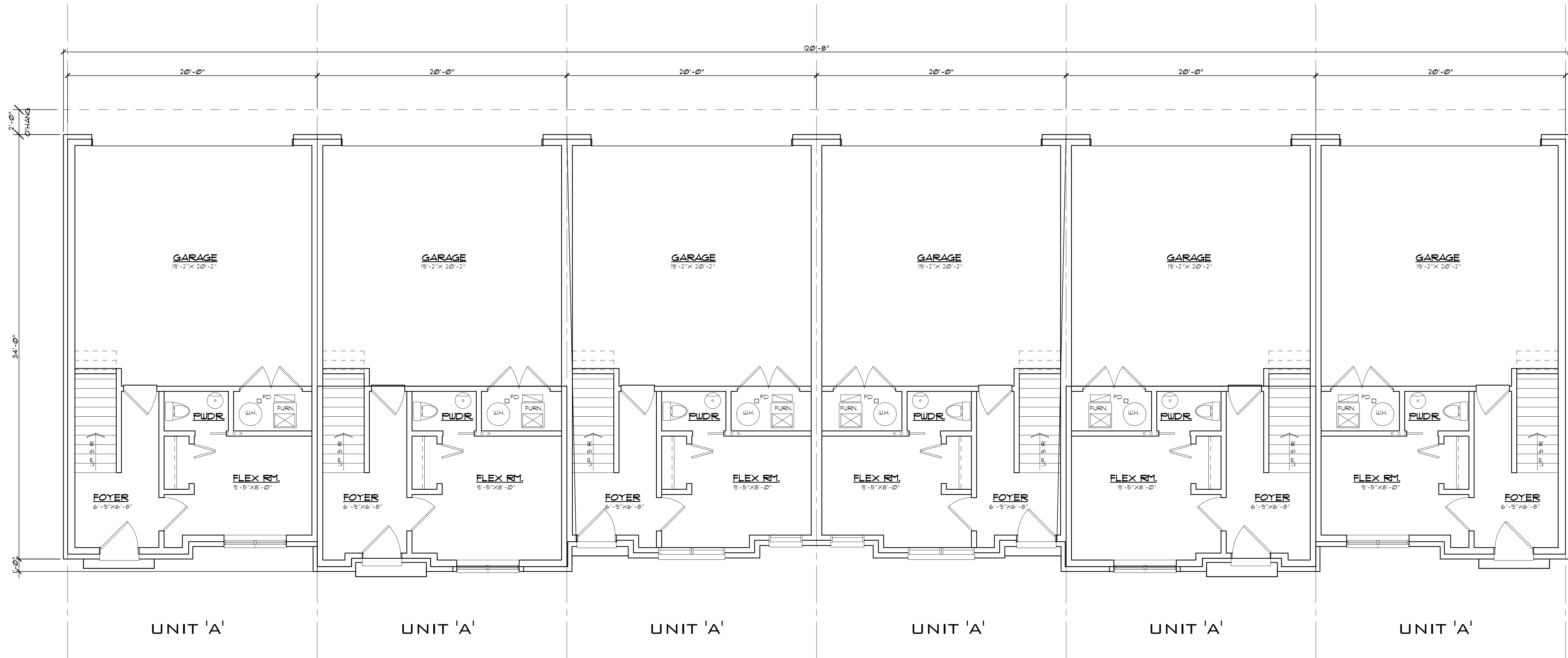
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JOB NO.
2021-10

SHEET
A0.3

CONDO
DEVELOP.



6-UNIT BUILDING
LOWER LEVEL PLAN

2855F

SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
TROY, MI

SUBJECT
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES
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PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
08-04-21

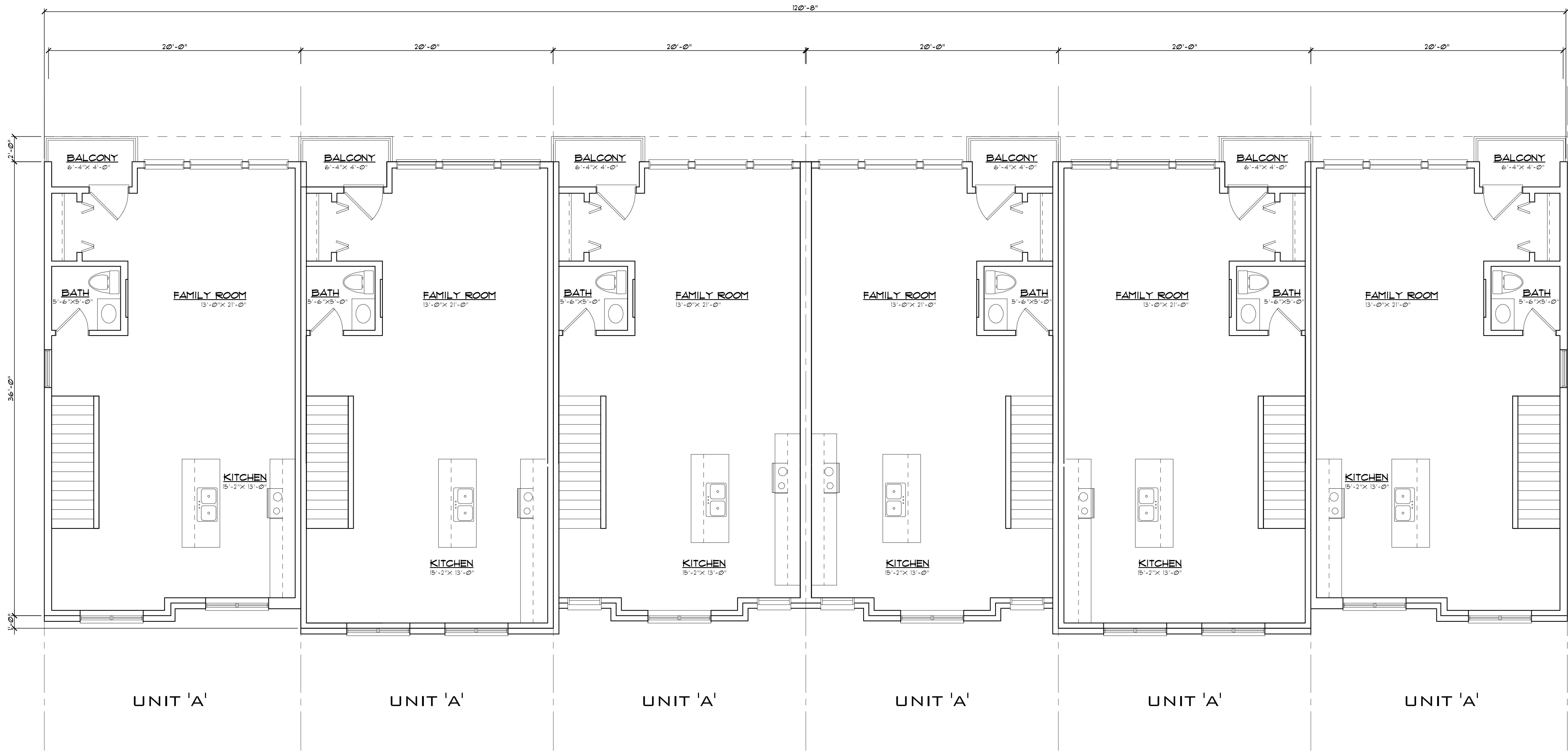
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JOB NO.
2021-10

SHEET
A3.0

CONDO
DEVELOP.



6-UNIT BUILDING
FIRST FLOOR PLAN

692 SF
SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
TROY, MI

SUBJECT
FIRST FLOOR PLAN

ARKO DESIGN ASSOCIATES
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PH. (248) 802-8409

ISSUED:
SITE PLAN REVIEW
10/11/21

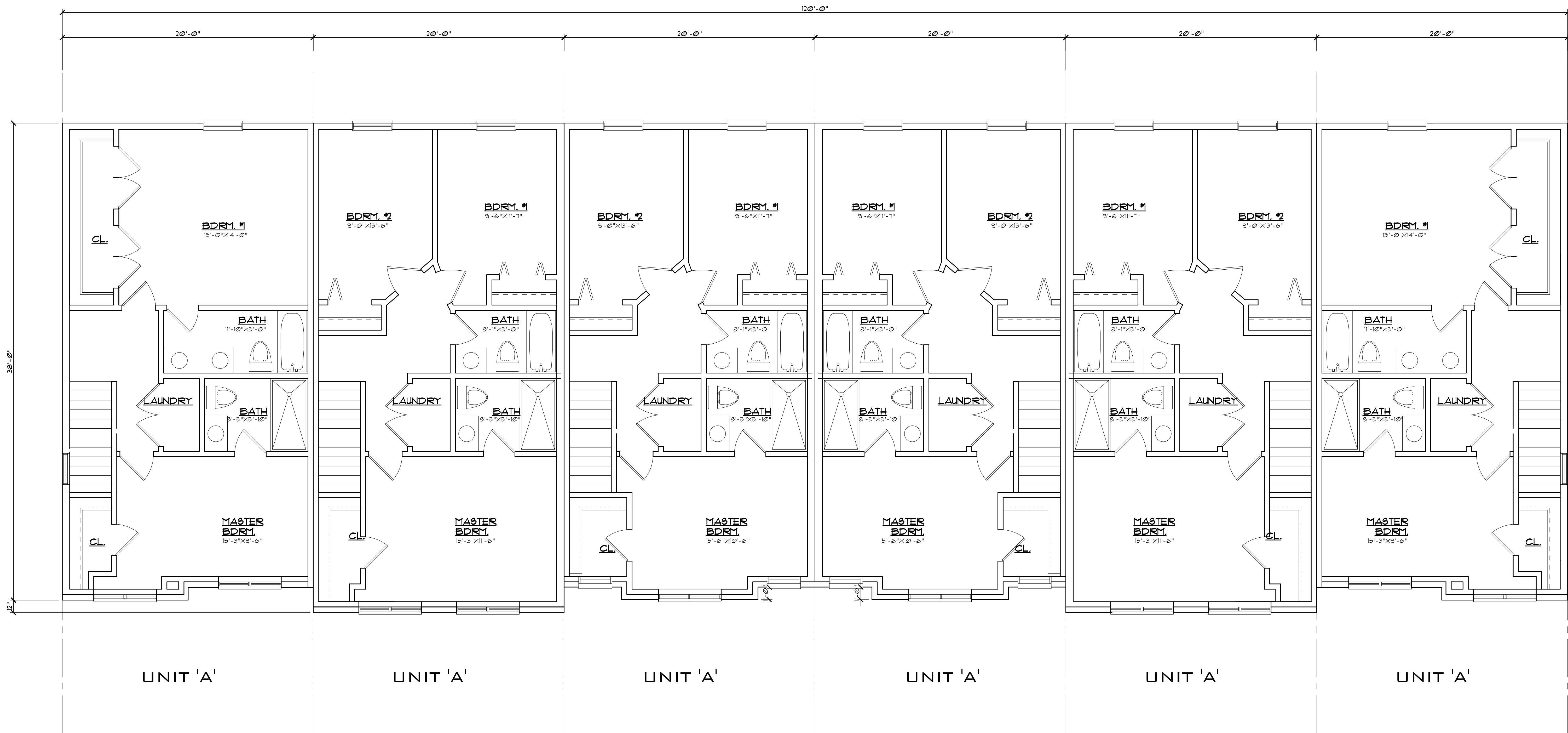
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JOB NO.
2021-10

SHEET
A31

CONDO



6-UNIT BUILDING
UPPER FLOOR PLAN

700 SF

SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
TROY, MI

SUBJECT
UPPER FLOOR PLAN

ISSUED:
DATE: 10/11/19
BY: [Signature]
FOR: [Signature]

ARKO DESIGN ASSOCIATES
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PH. (248) 802-8409

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APPROVED AK
BIDS
CONSTR

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DIMENSIONS ONLY

JOB NO.
2021-10
SHEET
A3.2
CONDO



FRONT ELEVATION - 6 UNIT BLDG.
SCALE: 1/4" = 1'-0"

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PROJECT
CENTER COURT
DEVELOPMENT
TROY, MI

SUBJECT
FRONT ELEVATION

ISSUED FOR PERMIT REVIEW

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
PH. (248) 802-8409

ISSUED FOR PERMIT REVIEW

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APPROVED AK
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CONSTR

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FIGURED
DIMENSIONS ONLY

JOB NO.
2021-10

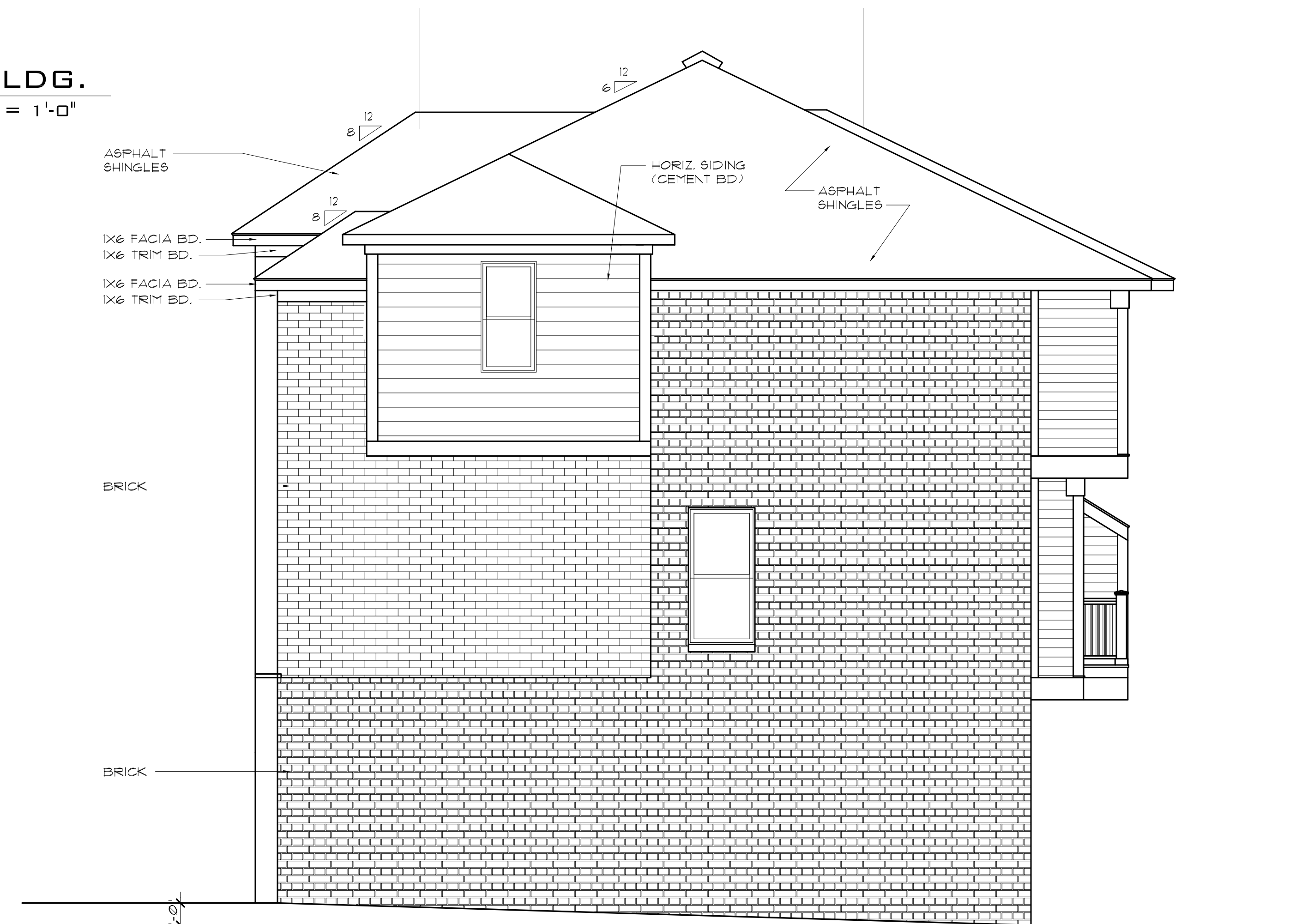
SHEET
A3.3

CONDO



REAR ELEVATION - 6 UNIT BLDG.

SCALE: 1/4" = 1'-0"



SIDE ELEVATION - 4,5 & 6 UNIT BLDG.

SCALE: 1/4" = 1'-0"

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PROJECT
 CENTER COURT
 DEVELOPMENT
 - TROY, MI

SUBJECT
 REAR ELEVATION,
 SIDE ELEVATION

ARKO DESIGN ASSOCIATES
 2298 YASMIN DRIVE, COMMERCE TOWNSHIP, MI 48382
 PH. (248) 802-8409

ISSUED:
 08-20-21
 08-20-21
 08-20-21

DRAWN	AK
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APPROVED	AK
BIDS	
CONSTR	

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JOB NO.
 2021-10

SHEET
 A3.4

CONDO
 DEVELOP.



Center Court Town Homes At Butterfield

REB

All information herein was accurate at the time of publication. We reserve the right to make updates and changes to specifications, material and price without notice and obligations.



DEVELOPMENT HIGHLIGHTS

- ❖ **New Construction / Maintenance Free Lifestyle**
- ❖ **48 Unit Development: 2 or 3 bedroom Town Homes**
- ❖ **SQFT Range: approx 1,700 (+/-).**
- ❖ **Featuring:**
 - **Private Ground Floor Suite / Office**
 - **Private Balcony / Veranda**
 - **In-Wall Fireplace - Napoleon Series**
 - **Attached 2 Car Garage**
 - **Pella® Windows & Doors or equal**
 - **Designed for Energy Efficiency**
 - ◆ **~ +30% Better Energy Efficiency than Code Required**
 - **Wireless / Ethernet Ready**
 - **Green Space Center Court with Extensive Landscaping & Common Areas**
 - **Units with modern features and open floor plans**

Eureka Building Co.



building into the future

All information herein was accurate at the time of publication. We reserve the right to make updates and changes to specifications, material and price without notice and obligations.

Community Plan



BUILDING FEATURES

Exterior features High Quality **Pella®** Windows & Doors with Charming Elevations highlighted by premium **Brick and Stone** veneer. Dimensional asphalt roof shingles, and Two Car Attached Garages with steel panel sectional doors, wired with a garage door opener and transmitters. Charming balcony off of main level with privacy wall between neighbors.

Interior features Open Space Concept with LED recess ceiling lights throughout, Hardwood Floors, Quality crafted 42" Cabinets, Granite Counter tops with **GE®** Stainless Steel kitchen appliances etc.,

Eureka Building Co.



building into the future

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Community Building Elevations



Eureka Building Co.



building into the future

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Community Landscape Plan



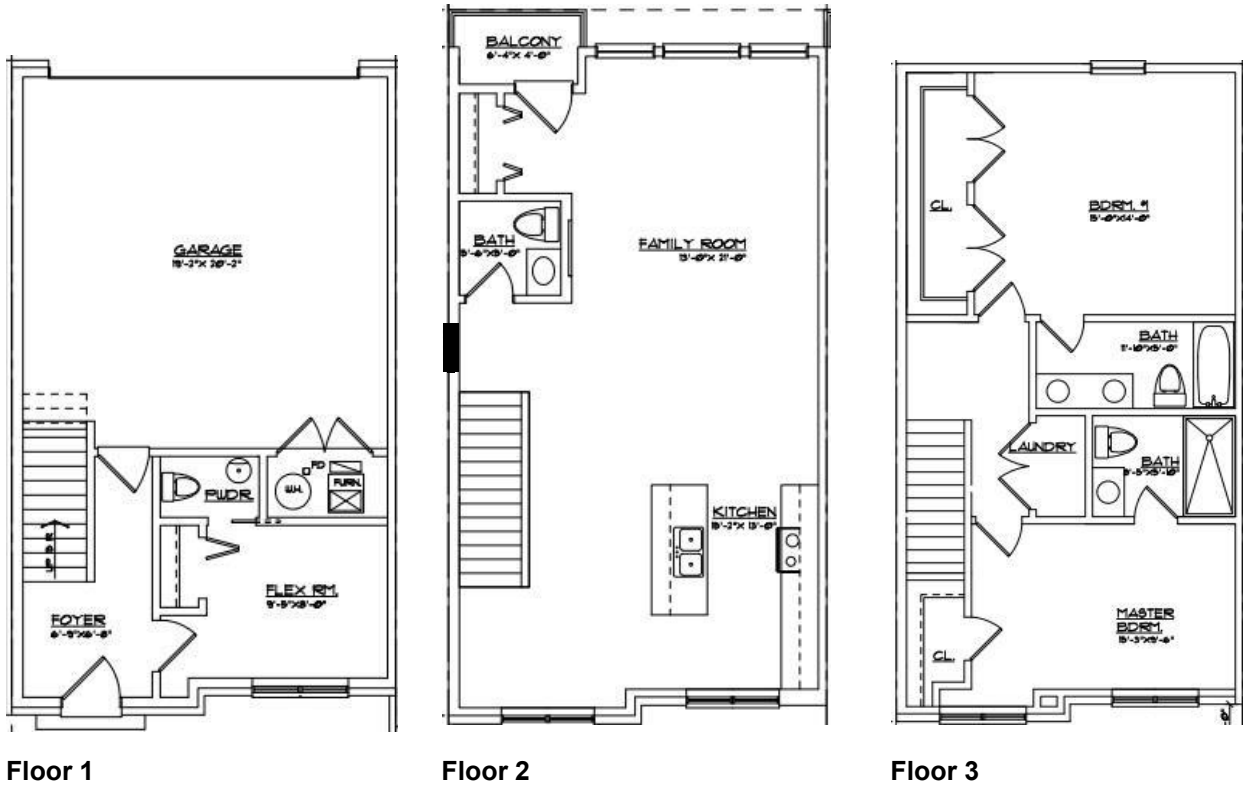
Eureka Building Co.



building into the future

All information herein was accurate at the time of publication. We reserve the right to make updates and changes to specifications, material and price without notice and obligations.

Community Floor Plans



Exterior Lighting



Exterior Lighting packages features very attractive wall luminaire for outdoor lighting. **Matte Black Dark Sky Outdoor Wall Mount LED.** Black finish outdoor wall light helps to keep the night skies dark while providing light where needed.

Eureka Building Co.

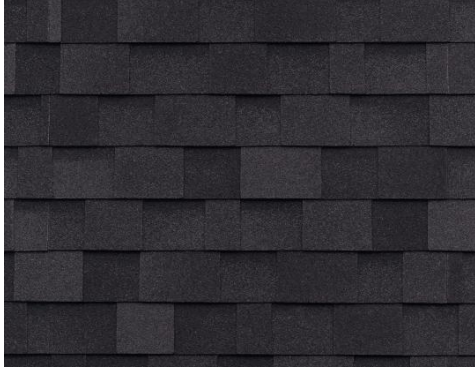


building into the future

All information herein was accurate at the time of publication. We reserve the right to make updates and changes to specifications, material and price without notice and obligations.

Exterior Building Materials

Roofing



IKO Cambridge Dual Black or equal

Brick



Midnight Mist or equal

Stone



Ivory White Opel or equal

Brick



Morning Snow or equal

Siding



Hardie James Lap or equal

Eureka Building Co.



building into the future

All information herein was accurate at the time of publication. We reserve the right to make updates and changes to specifications, material and price without notice and obligations.

Eureka Building Homes are engineered for energy efficiency.
 Our energy savings construction package includes:



Windows: U=0.29

Furnace: 95%+ AFUE

A/C: 13 SEER

DR Nelson Energy Seal

Plan/Model	1990's-2008 Energy Code Predicted performance of identical plan built to "Prescriptive" values of the 1997-2008 Michigan Energy Code.		Current Energy Code Predicted performance of identical plan built to "Prescriptive" values of our new Michigan Energy Code effective February 2016.		Eureka Building The dimensionally identical home built with the Eureka Building Company Energy package	
	Annual Energy Costs*	Home Energy Rating Score**	Annual Energy Costs*	Home Energy Rating Score**	Annual Energy Costs*	Home Energy Rating Score**
End Unit	\$ 1,284	123	\$ 928	96	\$ 750	69
Interior Unit	\$ 1,093	119	\$ 792	94	\$ 633	69

*Predicted Annual Heating, Cooling & Water Heating costs based on average climate data for SE MI and Electricity @ 12¢ /kWh, Natural Gas @ \$1.00/CCF

**HERS is a registered trademark of RESNET (Residential Energy Specialists Network). For more information about HERS ask your salesperson or visit: www.RESNET.us

This information does not constitute any warranty of energy costs or savings. This analysis was conducted using REM/Rate v15.3, the computer software program developed for the Energy Star® for homes program by the United States Environmental Protection Agency and the Department of Energy. D.R. Nelson & Associates, Inc. is a licensed, certified HERS Rater/Provider for RESNET and the Energy Star® Program. The energy costs above were calculated by comparing dimensionally identical homes with the values expressed – typical of the energy code at the time. Your heating, cooling and water heating energy costs may fluctuate depending upon such factors as, number of occupants, occupant behavior, temperature settings, window coverings and more.

Eureka Building Co.



building into the future

All information herein was accurate at the time of publication. We reserve the right to make updates and changes to specifications, material and price without notice and obligations.











Center Court Development

Preliminary site plan application section 6

6-A. The proposed development on north side of Butterfield road between Todd drive and Crooks road meets Multiple-Family role to serve as “go to” places that take on a social role, serving as a place to meet basic needs of the community including integrated residential development. Located in an area that already includes within walking distance existing and new restaurants, shops, office buildings, the proposed attached family single residence townhouse development offers an urban character while serving as transitional zone between areas of higher and lower intensity of development as identified in the Master Plan.

6-B. The proposed single family attached townhouse concept is based on an contemporary / urban architectural design. The unique urban architectural features visually distinguish it from the surrounding area because of the design and intensity. The urban design complements the traditional building design at Regency of Troy (nearby developments) by providing architectural design diversification in a key transitional area of Troy. Urban design developments are lacking in the nearby area and this development will provide with a unique different product while complementing adjacent surrounding developments.

6-C. The project achieves the design concept by incorporating variation of building elevations with urban architectural features such as hip low slope roof, extended overhangs, panoramic windows and high quality materials.

6-D The project achieves the design goal of a modern urban Multiple-Family development while diversifying the design and technique consistency with the latest urban character and trends. The single residential attached units will be intended for sale.

6-E The front building elevations emphasize contemporary design by utilizing high quality stone and brick veneer combinations while incorporating hip roof designs and color combinations. The side building elevation follow the urban design with simple - not too overwhelming details by incorporating high quality brick veneer throughout the elevation.

6-G

Building Orientation and Entrance:

Primary Entrance: The primary unit building entrance is identifiable and usable from Butterfield Road. Unit entrances utilize unique architectural features to identify each unit entrance.

Trash:

Units will utilize individual bins located near garage door.

At grade mechanical equipment:

Mechanical A/C units will be screened with wintergreen boxwood shrubs.

Parking:

Each unit will have an attached 2-car garage and there will be 22 total guest parking spots throughout the development

Parking Total = 118

Recreation Space and Landscaping

Multiple common outdoor seating, a children playground area, picnic areas are interconnected through continues walking areas to create a common recreation area of approximately 37,000 sq/ft.

8. **CONDITIONAL REZONING- (CR JPLN2021-001)** – Proposed Pine View Condominiums, West side of Dequindre, North of Long Lake (88-20-12-476-070), Section 12, From NN (Neighborhood Node “J” and EP (Environmental Protection) to NN (Neighborhood Node “J”).

DATE: October 21, 2021

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: CONDITIONAL REZONING- (CR JPLN2021-001) – Proposed Pine View Condominiums, West side of Dequindre, north of Long Lake (88-20-12-476-070), Section 12, From NN (Neighborhood Node “J” and EP (Environmental Protection) to NN (Neighborhood Node “J”).

The applicant GFA Development, Inc. seeks a conditional rezoning of the subject parcel from NN (Neighborhood Node “J” and EP (Environmental Protection) to NN (Neighborhood Node “J”). The applicant provided a complete Preliminary Site Plan application as a condition of approval, along with other conditions listed in the application. The Planning Commission is a recommending body for this application.

This item was considered by the Planning Commission on August 24, 2021. At that meeting, the vote on the motion to approve was 4-4. The vote on the motion to deny was 4-4. The item was placed on the September 27, 2021 City Council meeting for consideration. The applicant requested to be removed from the City Council agenda so that he could go back before the Planning Commission for reconsideration. Nothing has changed in the application from August 24, 2021. The applicant confirmed the exact height of the 3-story buildings to be 35’ 4”.

One of the residents who spoke at the public hearing referred to crashes at the entry drive to this site. The entry drive was constructed in 2006. Crash data was provided by the Transportation Improvement Association for the period of January 1, 2000 through December 31, 2006 and the period of January 1, 2007 through August 31, 2021.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Memo prepared by Carlisle/Wortman Associates, Inc., dated October 15, 2021
3. Report prepared by Carlisle/Wortman Associates, Inc., dated October 19, 2021
4. Minutes from November 12, 2019 Planning Commission meeting (excerpt)
5. Minutes from August 24, 2021 Planning Commission meeting (excerpt)
6. Minutes from September 27, 2021 City Council meeting (excerpt)
7. Anticipated Traffic Impacts, Memo prepared by OHM dated September 16, 2021
8. Crash data, 01-01-2000 to 12-31-2006, provided by TIA
9. Crash data, 01-01-2007 to 08-31-2021, provided by TIA
10. Preliminary Site Plan

G:\CONDITIONAL REZONING\JPCR2021-001 PINE VIEW CONDOMINIUMS\PC Memo 10 26 2021.docx

PROPOSED RESOLUTION RECOMMENDING APPROVAL

CONDITIONAL REZONING- (CR JPLN2021-001) – Proposed Pine View Condominiums, West side of Dequindre, north of Long Lake (88-20-12-476-070), Section 12, From NN (Neighborhood Node “J” and EP (Environmental Protection) to NN (Neighborhood Node “J”).

Resolution # PC-2021-10-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the NN “J” and EP to NN “J” conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Dequindre, north of Long Lake, within Section 12, being approximately 2.389 acres in size, be **GRANTED** for the following reasons:

1. The request complies with the Master Plan.
2. The EP district does not include any significant natural features.
3. The rezoning would permit greater flexibility in use and development of the property.
4. The conditions offered by the applicant reasonably protect the adjacent properties.
5. The rezoning would be compatible with surrounding zoning and land use.
6. The site can be adequately served with municipal water and sewer.

BE IT FURTHER RESOLVED, That the Planning Commission recommends the following site plan design considerations:

1. Submit photometric plans and fixture details prior to Final approval
2. Address Engineering Department comments related to pedestrian connection prior to Final approval.
3. Provide site landscaping calculation.
4. Indicate siding material.
5. Provide conditional rezoning agreement prior to City Council consideration.

Yes:

No:

MOTION PASSED / FAILED

PROPOSED RESOLUTION RECOMMENDING DENIAL

CONDITIONAL REZONING- (CR JPLN2021-001) – Proposed Pine View Condominiums, West side of Dequindre, north of Long Lake (88-20-12-476-070), Section 12, From NN (Neighborhood Node “J” and EP (Environmental Protection) to NN (Neighborhood Node “J”).

Resolution # PC-2021-10-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the NN “J” and EP to NN “J” conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Dequindre, north of Long Lake, within Section 12, being approximately 2.389 acres in size, be **DENIED** for the following reasons:

1. The request does not comply with the Master Plan.
2. The conditions offered by the applicant do not reasonably protect the adjacent properties.
3. The rezoning would be incompatible with surrounding zoning and land use.

Yes:

No:

MOTION PASSED / FAILED



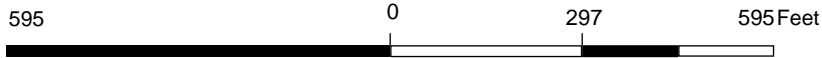
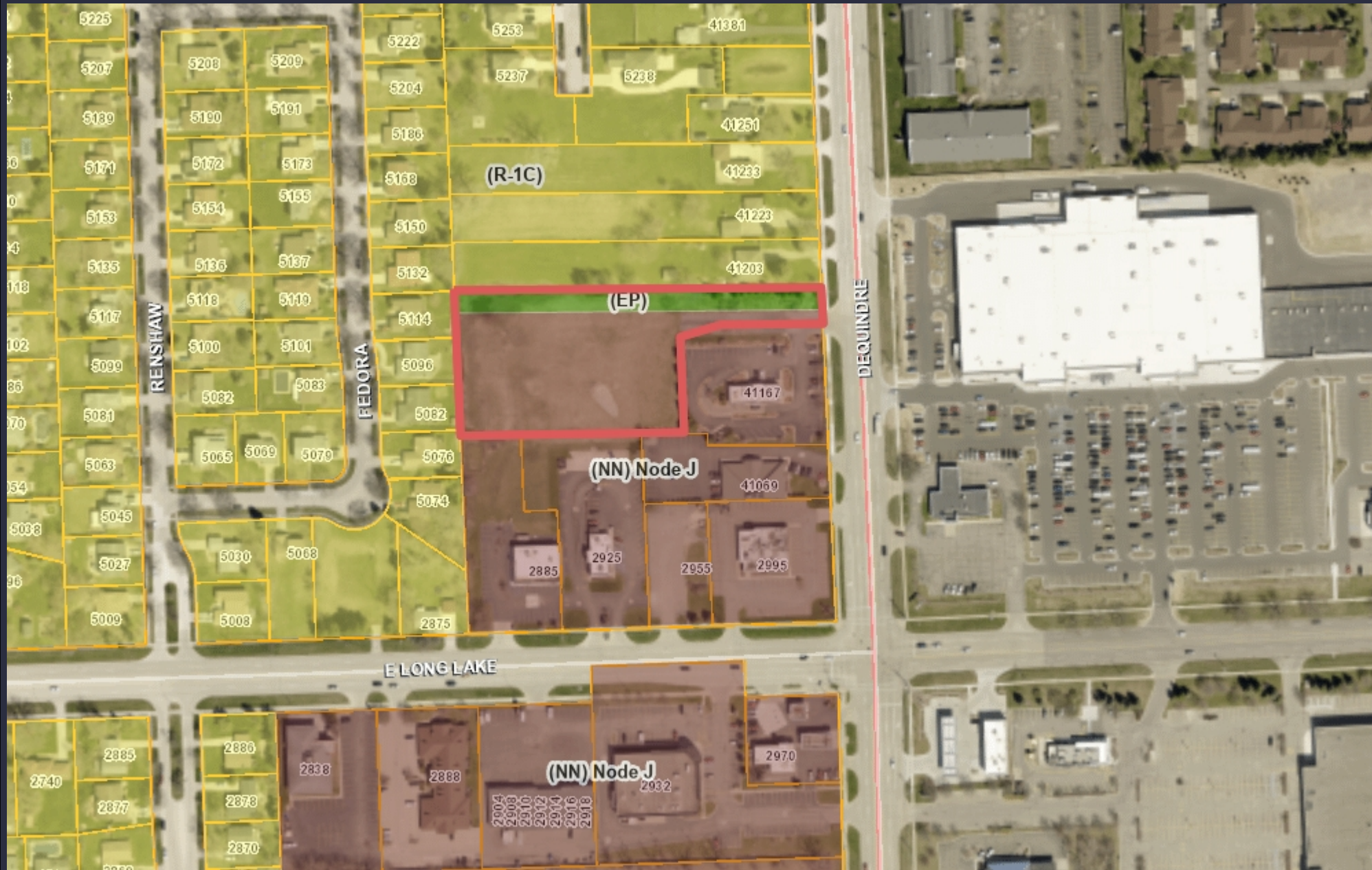
GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

To: Troy Planning Commission
Brent Savidant, AICP

From: Ben Carlisle, AICP

Date: October 15, 2021

RE: Pineview Conditional Rezoning

The application for the Pineview conditional rezoning was recently considered by the Planning Commission on August 24, 2021. At that meeting Planning Commission held a public hearing and had a lengthy discussion on:

- EP, Environmental Protection zoning district; uses, zoning tool to separate incompatible land uses.
- Landscaping buffer, amenity to application.
- Maintenance of EP, Environmental Protection zoning district strip of land.
- Height of surrounding residential homes.
- Shared driveway with Taco Bell; as relates to traffic, cross access easement.
- Elevations; garage and interior entrance on same side.
- Property to the north; open space, potential headlight shining on residential.
- Existing concrete wall at Taco Bell; applicant prefer trees and landscape.
- Proposed fence on south side; material and height.
- Guest parking; no requirement to provide, good design consideration, appropriate screening for headlights
- Maintenance responsibility of property to north.
- Pedestrian sidewalk as relates if EP, Environmental Protection zoning district stays in place.
- Density; building height, building form.
- Potential traffic congestion with shared access.
- Intent of applicant with by-right development on southern portion.
- Type of desired housing; results of Master Plan survey.

After the public hearing and discussion, there was a motion to recommend denial of the conditional rezoning. The vote to recommend denial failed 4-4. There was a follow-up motion to recommend approval. The vote to recommend approval failed 4-4.

The failed motions, minutes, and planning report were forwarded to the City Council. However, prior to City Council consideration, the applicant pulled their application from City Council and asked to be reconsidered by the Planning Commission.

The applicant has confirmed the height of the structures at 3 stories or 35'4".

The applicant is requesting to come back to the Planning Commission for further consideration, hopefully before a full Commission.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 5, 2019
August 16, 2021
October 19, 2021

Conditional Rezoning and Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	GFA Development 3301 Mirage Drive Troy, MI 48083
Project Name:	Pineview
Plan Date:	September 18, 2019
Location:	West side of Dequindre Road between 18 Mile Road and English Drive
Zoning:	EP, Environmental Protection Neighborhood Node (NN) – J
Action Requested:	Conditional Rezoning and Preliminary Site Plan Approval

SITE DESCRIPTION

The subject site is located on the west side of Dequindre Road between 18 Mile Road and English Drive. The site is 2.39 acres and is vacant, undeveloped property. There is a 40-foot wide strip of EP, Environmental Protection zoned property. The applicant is seeking to conditionally rezone the EP portion of the site to NN, in order to use that strip as landscaping, and provide guest parking.

A site plan application was previously reviewed by the Planning Commission. At that meeting the Planning Commission appeared generally in favor the development but the applicant noted

a desire to use the EP portion of the site for guest parking. It was noted that EP zoning did not allow parking. The item was postponed to allow the applicant to submit a conditional rezoning application to rezone the EP portion of the site.

The applicant proposes to landscape, install underground detention, put a sidewalk, and put guest parking within the currently EP zoned portion of the site. There is already a 60' storm drain and a concrete screenwall within the area zoned EP. These items will remain. The remaining (all of the building area) area of the property is zoned Neighborhood Node (NN).

The applicant proposes two different building types. The buildings in the interior are narrower and provide for a front porch and entrance. The exterior buildings have a front entrance on the garage elevation and an elevated deck on the rear elevation.

Figure 1: 60-inch drain



The applicant proposes to develop the site as twenty-five (25) attached townhomes, accessed by an existing shared access drive with Taco Bell off of Dequindre road. The buildings are proposed to have individual, direct unit access from the proposed interior drive. At the center of the development, twelve (12) of the units will have pedestrian access to a pedestrian circulation area and courtyard. All proposed townhomes are two (2) stories, accompanied by a 2-car garage.

Multiple family residential is a permitted use in the NN. An aerial image of the subject site, with a zoning districts overlay, is provided in **Figure 1**.

Figure 1. Subject Site



Size of Subject Property:

The parcel is 2.389 net acres

Proposed Uses of Subject Parcel:

Twenty-five (25) attached townhomes

Current Use of Subject Property:

The subject property is currently unimproved and vacant.

Current Zoning:

The property is currently zoned NN, Neighborhood Node District

Surrounding Property Details:

Direction	Zoning	Use
North	R1-C, Single Family	Single Family Residential
South	NN, Neighborhood Node	Neighborhood Commercial
East	NN, Neighborhood Node	Neighborhood Commercial
West	R1-C, Single Family	Single Family Residential

VOLUNTARY REZONING CONDITIONS

Voluntary conditions offered by the applicant include:

1. Site Plan as a condition of approval
2. Screen wall and trees adjacent to Taco Bell shall remain.
3. Development shall be limited to a maximum of 7-buildings and 25 total units.
4. Maximum building height shall be 3-story or 35'4" in height.
5. Minimum guaranteed open space shall be 15%
6. Minimum guaranteed landscape area shall be 15%
7. Building material shall be a mix of brick, asphalt shingles, plank siding, with variety of color palates and durable low-maintenance or maintenance free materials
8. Each unit shall have a 2-car garage. A minimum of 10-guest parking spaces shall be provided
9. No exterior refuse containers shall be proposed. Individual waste and recycling containers shall be stored in each unit's garage and placed at the curb on collection days
10. Minor modifications to the site plan shall be permitted and administratively approved by the Planning Director. Minor changes would not adversely or substantially affect the conditions of the rezoning.

Items to be addressed: A conditional rezoning agreement between the City and the applicant will be required prior to City Council consideration.

NATURAL FEATURES

Topography: A topographic survey has been provided on sheet C-1.0 and shows that the site has a generally flat landscape.

Wetlands: There are no wetlands on site.

Floodplain: There are no floodplains onsite.

Woodlands: The applicant has identified a total of 23 regulated trees on the site. Of the trees surveyed, 1 is a landmark tree and 22 are woodland trees. The applicant is preserving 21 of the 22 woodland trees.

Replacement Details		
Protected Tree	Inches Removed	Replacement Required
Landmark	22 inches	22 inches
Woodland	6 inches	3 inches

Preservation/Mitigation	Inches Preserved	Credit
Landmark	0 inches	0 inches
Woodland	197 inches	394 inches
Protected Replacement Required	25 Inches	
Preservation Credit	394 Inches	
Total	+ 369-inch credit	
Total Tree Mitigation	Zero. The number of inches preserved and credited exceed the mitigation required.	

Items to be addressed: None.

BUILDING ARRANGEMENT

The site configuration consists of twenty-five (25) townhomes in five clusters of three homes, one cluster of four homes, and a row of six homes. The clusters are configured around a central courtyard with pedestrian sidewalks connecting to a “meandering” sidewalk, through the currently EP zoned portion of the site, that provides access to the east and Dequindre Road. We find the proposed configuration suitable for the type and size of the development proposed.

Items to be addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

Table 5.03.B.3, Building Form C of Section 5.03, Standards Applicable to All Districts of the Zoning Ordinance establishes the dimensional requirements for the NN, Neighborhood Node District. The requirements and proposed dimensions are shown in the following table.

	Required	Provided	Compliance
Front (east property line)	10-foot build-to-line	25 feet (this property is a flag lot, however, and this requirement is not applicable)	Complies
Side (north)	N/A, building may be placed up to property line	40 feet	Complies
Side (south)	N/A, building may be placed up to property line	9 feet	Complies
Rear (west)	30-foot minimum setback	40 feet	Complies.
Building Height	Maximum 4 stories, 55 feet, Minimum 2 stories	3 stories, 35'-4"	Complies

Lot Coverage (Building)	30%	21%	Complies
Minimum Open Space	20%	Over 20%	Complies
Parking Location	Cannot be located in front yard	Within garages	Complies

Please note that the applicant is providing decks that project 2-feet into the required rear yard. Uncovered decks are permitted to encroach up to 15-feet into a rear yard.

Items to be addressed: None.

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Residential: 2 spaces per unit	25 Units = 50 spaces	50 garage spaces + 18 guest spaces = 68 spaces
Barrier Free	0	0
Bicycle Parking	1	1
Loading	0	0
Total	50 spaces	50 spaces within garages and 18 guest spaces

The applicant is providing 2-car garages and 10 surface guest spaces.

Items to be Addressed: None

SITE ACCESS AND CIRCULATION

Vehicular access to the site is via Dequindre Road. The Engineering Department and Fire Department have reviewed the vehicular circulation and find it sufficient.

The Engineering Department has reviewed the pedestrian circulation and notes the following comments:

- *Improve pedestrian connectivity within the site, by adding or extending sidewalks to provide a continuous internal pedestrian walkway around the site and to each unit.*
 - *As shown on the preliminary site plan, there are no sidewalks connecting to the (presumed) front entry for Units 1-6 and Units 13-19.*
 - *The existing lone crosswalk is inconvenient for pedestrians traveling to/from the easterly buildings.*
 - *Add crosswalk markings to emphasize pedestrian crossing locations within the site.*

Items to be addressed: Incorporate the Engineering Departments pedestrian connectivity comments.

LANDSCAPING

A landscaping plan has been provided on sheet L-1.0 and are supplemented by tree protection and planting details on sheet L-1.1. The applicant should verify that the plant list provided on sheet L-1.0 corresponds to drawings provided. The following table discusses the development's compliance with the landscape requirements set forth in Section 13.02.

	Required:	Provided:	Compliance:
North Property Line:			
<u>Landscape buffering:</u> Required buffering between two differentiating land uses. Alternative 1 or 2.	1 large evergreen every 10 feet or 1 narrow evergreen every 3 feet. Approx. $370' / 10 = 37$ trees	39 evergreen screening trees	Complies
East Property Line:			
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	60-foot ROW = 2 trees	2 trees	Complies
West Property Line:			
<u>Landscape buffering:</u>	1 large evergreen every 10 feet or 1 narrow evergreen every 3 feet. $240' / 10 = 24$ trees	26 evergreen screening trees	Complies
South Property Line:			
<u>Landscape buffering:</u>	1 large evergreen every 10 feet or 1 narrow evergreen every 3 feet. Alternative screening method may be considered by the Planning Commission.	Six (6) foot fence along property boundary.	Planning Commission shall consider alternative screening proposed.
Overall:			
<u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material. Up to twenty-five percent (25%) of the required landscape area may be brick, stone, pavers, or other public	20%	Figure not provided	Unknown

plaza elements, but shall not include any parking area or required sidewalks.			
<u>Mitigation:</u>	The tree inventory and calculations are in compliance with the requirements of the ordinance.		

Transformer / Trash Enclosure:

The applicant has not indicated a central trash enclosure. It is assumed that each unit will have trash bins in the garage to be rolled out for trash pickup.

Items to be Addressed: 1) *Planning Commission to consider the use of a fence in place of required screening at the south edge of the property; and 2). Provide site landscaping calculation.*

PHOTOMETRICS

A photometric plan has not been provided. For final site plan a photometric plan and fixture details are required to be submitted.

Items to be Addressed: *Submit photometric plans and fixture details.*

FLOOR PLAN AND ELEVATIONS

The applicant has provided floor plans, elevations, and renderings. Materials include brick veneer and siding. Type of siding is not indicated.

Items to be Addressed: *Siding material note indicated.*

DESIGN STANDARDS and SITE PLAN REVIEW STANDARDS

The Neighborhood Node design standards as well as Site Plan review standards provide the Planning Commission with direction when reviewing the proposed site plan and design features of this development.

Section 5.06.E. outlines Design Standards:

1. *Building Orientation and Entrance*
2. *Ground Story Activation*
3. *Transitional Features*
4. *Site Access, Parking, and Loading*

Please see Section 5.06.E for standard details.

We find that the design standards have been met.

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
2. *Development shall incorporate the recognized best architectural building design practices.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*

Please see Section 8.06 for standard details

The applicant is providing a medium density multiple family residential project. The project provides a transition from a number of commercial uses and the rear yards of single family residential to the north and east. We find that the site plan standards have been met.

REZONING STANDARDS

According to Rezoning Procedures in Section 16.04C, a conditional rezoning may only be approved upon a finding and determination that all of the following are satisfied:

- a. The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.

CWA: *The purpose of the rezoning is in significant part to allow for additional guest parking and include a pedestrian sidewalk. These improvements are not possible without the rezoning. The applicant has provided sufficient landscaping along the northern property to mitigate any potential impacts upon the northern property line. These improvements are conditions of rezoning as the site plan documents are conditions of approval.*

- b. The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:
 1. A change in City policy since the Master Plan was adopted.
 2. A change in conditions since the Master Plan was adopted.
 3. An error in the Master Plan.

CWA: *The purpose of the rezoning is in significant part to allow for additional guest parking and include a pedestrian sidewalk. These improvements are not possible without the rezoning. The applicant has provided sufficient landscaping along the northern property to mitigate any potential impacts upon the northern property line. Providing additional guest parking, when necessary, and better pedestrian connections, coupled landscaping buffer to protect adjacent properties is consistent with the Master Plan.*

- c. The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.

CWA: *The conditions provided by the applicant, including the site plan, are consistent with all terms and provisions of the zoning district.*

- d. Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

CWA: *The rezoning will not impact nor affect public services or facilities.*

- e. The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.

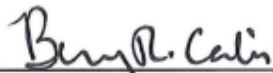
CWA: *The conditions provided by the applicant, including the site plan, insure compatibility with adjacent uses of land.*

RECOMMENDATION

Planning Commission to consider the use of a fence in place of required screening at the south edge of the property. Based on that discussion, we recommend that the Planning Commission recommend to the City Council conditional rezoning and preliminary site plan approval with the following conditions:

1. Submit photometric plans and fixture details
2. Address the Engineering Departments pedestrian connection comments
3. Provide site landscaping calculation.
4. Indicate siding material.
5. A conditional rezoning agreement between the City and the applicant.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

6. PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2019-0032) – Proposed GFA Long Lake Multifamily Development, West side of Dequindre, North of Long Lake (PIN 88-20-12-476-070), Section 12, Currently Zoned NN (Neighborhood Node “J”) and EP (Environmental Protection) Zoning Districts

Mr. Carlisle reviewed the Preliminary Site Plan application for the proposed multifamily development. He addressed the EP-zoned strip of property along the northern property line, shared access with Taco Bell, parking, landscaping and elevations. Mr. Carlisle said the application meets requirements of the NN zoning district and the Site Plan standards. He recommends shifting the development 10 feet to the east to provide a better transition with the residential homes on the west.

Mr. Carlisle recommended Preliminary Site Plan approval with the conditions as identified in his report dated November 5, 2019.

Gary Abitheira addressed the application as relates to the EP-zoned property along the northern property line, shared access and the target market for townhomes.

Chair Faison opened the floor for public comment.

- Avis Landmesser, 568 Ottawa; asked for clarification on general site plan specifics.
- Azhagu Subramanian, 5114 Fedora; addressed buffer transition and privacy.

Chair Faison closed the floor for public comment.

There was discussion on:

- Shared access drive with Taco Bell.
- Design layout as relates to proximity of Taco Bell.
- Courtyard and sidewalk connectivity; opportunity to create additional green space.
- Transition buffer to adjacent residential.
- Property zoned EP; intent of EP zoning district historically.
- Potential to rezone EP-zoned property for better design layout; traditional versus conditional rezoning.
- Building materials in relation to target market; millennials.

Resolution # PC-2019-11-078

Moved by: Krent

Support by: Tagle

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed GFA Long Lake Multifamily Development, located on the West side of Dequindre, North of Long Lake (PIN 88-20-12-476-070), Section 12, Currently Zoned NN (Neighborhood Node “J”) and EP (Environmental Protection) Zoning Districts, be postponed for the following reason:

1. To allow the developer ample time to consider all the opinions and ideas expressed by the Commission.

Yes: All present (9)

MOTION CARRIED

CONDITIONAL REZONING

7. PUBLIC HEARING - CONDITIONAL REZONING- (CR JPLN2021-001) – Proposed Pine View Condominiums, West side of Dequindre, north of Long Lake (88-20-12-476-070), Section 12, From NN (Neighborhood Node “J” and EP (Environmental Protection) to NN (Neighborhood Node “J”)

Mr. Carlisle presented a review of the Pine View Condominiums. He addressed the 40-foot wide strip of E-P zoning and referenced the previous action taken by the Planning Commission to postpone the item to allow the applicant to submit a conditional rezoning application to rezone the E-P portion so it could be used for guest parking. Mr. Carlisle said the layout design has not changed and noted the southern portion of the property is a by-right development. He noted of significant importance are the applicant’s voluntary conditions numbered 1, 4, 7 and 8. Mr. Carlisle addressed the landscaping, required screening at the south edge of the property, the engineering department pedestrian connection improvements and design and site plan standards. Mr. Carlisle recommended that the Planning Commission recommend to the City Council conditional rezoning and preliminary site plan approval with the conditions as identified in his report dated August 16, 2021.

Gary Abitheira clarified as a voluntary condition to the application, the maximum height would be a 3 story building, noting an error in the Planning Consultant report stating the maximum height of a 2-1/2 story building. He addressed the number of units, landscaping and elevations.

Mr. Savidant addressed the intent of the application dated November 12, 2019 and the recently adopted text amendment limiting the building height of development within the Neighborhood Node zoning district that abuts residential.

There was discussion on:

- E-P zoning district; uses, zoning tool to separate incompatible land uses.
- Landscaping buffer, amenity to application.
- Maintenance of E-P strip of land.
- Height of surrounding residential homes.
- Shared driveway with Taco Bell; as relates to traffic, cross access easement.
- Elevations; garage and interior entrance on same side.
- Property to the north; open space, potential headlight shining on residential.
- Existing concrete wall at Taco Bell; applicant prefer trees and landscape.
- Proposed fence on south side; material and height.
- Guest parking; no requirement to provide, good design consideration, appropriate screening for headlights.

PUBLIC HEARING OPENED

- Pamela Prewitt, 41203 Dequindre; addressed concerns with safety and traffic congestion relating to Taco Bell; traffic back-ups block her driveway, addressed maintenance of E-P strip of land.
- Doug Roach, 5237 Windmill; addressed concerns with safety, congestion, parking, and light pollution.

PUBLIC HEARING CLOSED

Mr. Carlisle and Mr. Savidant acknowledged the traffic concern addressed by the residents would be reported and looked into by the Engineering.

Mr. Savidant encouraged residents who experience light pollution from nearby commercial to contact the Planning Department and any violation of the Zoning Ordinance would be enforced.

Discussion continued on:

- Maintenance responsibility of property to north.
- Pedestrian sidewalk as relates if E-P zoning stays in place.
- Density; building height, building form.
- Potential traffic congestion with shared access.
- Intent of applicant with by-right development on southern portion.
- Type of desired housing; results of Master Plan survey.

Resolution # PC-2021-08-064

Moved by: Rauch

Seconded by: Perakis

RESOLVED, That the Planning Commission hereby recommends to the City Council that the NN “J” and EP to NN “J” conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Dequindre, north of Long Lake, within Section 12, being approximately 2.389 acres in size, be **denied**, for the following reasons:

1. The request does not comply with the Master Plan, including but not limited to its definition of transitional density.
2. The conditions offered by the applicant do not reasonably protect the adjacent properties.
3. The rezoning and conditions offered by the applicant would be incompatible with surrounding zoning and land use and do not comply with the Zoning Ordinance, including but not limited to building form.

Yes: Hutson, Malalahalli, Perakis, Rauch

No: Faison, Krent, Lambert, Rahman

Absent: Tagle

MOTION FAILED

Resolution # PC-2021-08-065

Moved by: Rahman
 Seconded by: Lambert

RESOLVED, That the Planning Commission hereby recommends to the City Council that the NN “J” and EP to NN “J” conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Dequindre, north of Long Lake, within Section 12, being approximately 2.389 acres in size, be **granted**, for the following reasons:

1. The request complies with the Master Plan.
2. The EP district does not include any significant natural features.
3. The rezoning would permit greater flexibility in use and development of the property.
4. The conditions offered by the applicant reasonably protect the adjacent properties.
5. The rezoning would be compatible with surrounding zoning and land use.
6. The site can be adequately served with municipal water and sewer.

BE IT FURTHER RESOLVED, That the Planning Commission recommends the following site plan design considerations:

1. Submit photometric plans and fixture details.
2. Address the Engineering Department pedestrian connection comments.
3. Provide site landscaping calculation.
4. Provide floor plans and elevations.
5. Consider residents’ feedback on headlight glaring and traffic safety.

Discussion on the motion on the floor.

Ms. Perakis addressed standards that must be met.

Mr. Rauch addressed primary entrance on interior streets and transitional density. Mr. Rauch stated Section 5.06.E.1.a. requires the primary entrance (to buildings) be on a street; there is no primary entrance on a street. He stated Table 5.03.B.3 Lot Access and Circulation it states Driveways must access garages, if provided, integrated into buildings from the rear, in an alley configuration. The buildings facing east and west, the driveways and the Primary Entrance are accessing an alley. And he was sorry this issue wasn’t raised previously. Transitional issues between four story buildings and single family residential, why aren’t we allowing duplexes, quads, attached residential Bungalow Court.

Ms. Dufrane addressed conditional rezoning applications with respect to conditions offered by applicant.

Vote on the motion on the floor.

Yes: Faison, Krent, Lambert, Rahman
 No: Hutson, Malalahalli, Perakis, Rauch
 Absent: Tagle

MOTION FAILED

Development on behalf of the City; a copy shall be **ATTACHED** to the original Minutes of this meeting.

BE IT FURTHER RESOLVED, That Troy City Council hereby **AUTHORIZES** City Administration to record the executed Troy Crossing Planned Unit Development Agreement with the Oakland County Register of Deeds.

BE IT FINALLY RESOLVED, That Troy City Council hereby **AUTHORIZES** the petitioner to submit the Final Development Plan pursuant to Section 11.08 of Chapter 39.

Yes: All-7
 No: None

MOTION CARRIED

E-2 Conditional Rezoning (CR JPLN2021-001) – Proposed Pine View Condominiums, West Side of Dequindre, North of Long Lake (Parcel 88-20-12-476-070), Section 12, From NN (Neighborhood Node “J”) and EP (Environmental Protection) to NN (Neighborhood Node “J”) (Introduced by: Brent Savidant, Community Development Director)

Mayor Baker announced that the Petitioner for this item has requested the item be removed from the Agenda and returned to the Planning Commission for reconsideration.

The Mayor opened the Public Hearing. The following individuals offered public comment:

Paul Balas	Commented in opposition to the rezoning
Susan Neely	Commented in opposition to the rezoning.
Daniel Raubinger	Commented in opposition to the rezoning.
Michael Lipinski	Commented in opposition to the rezoning.
Pamela Prewitt	Commented in opposition to the rezoning.

F. PUBLIC COMMENT:

G. CITY COUNCIL/CITY ADMINISTRATION RESPONSE/REPLY TO PUBLIC COMMENT:

H. POSTPONED ITEMS:

H-1 No Postponed Items

I. REGULAR BUSINESS:

I-1 Board and Committee Appointments: a) Mayoral Appointments – Downtown Development Authority; b) City Council Appointments – None

memorandum



Date: September 16, 2021

To: Bill Huotari, PE
From: Sara Merrill, PE, PTOE

Re: Pine View Condominiums
Anticipated Traffic Impacts

The purpose of this memorandum is to provide an overview of anticipated traffic impacts resulting from Pine View Condominiums, a proposed site condominium development consisting of 7-attached, 2.5 story single-family buildings with a total of 25 dwelling units. The development will utilize a shared driveway with an existing Taco Bell. The site is located on the east side of Dequindre Road, north of East Long Lake Road. In the immediate vicinity of the site, Dequindre Road is a 5-lane roadway, with two through lanes in each direction plus a center left turn lane.

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition, provides trip generation rates for numerous land uses, based on thousands of studies throughout the United States and Canada. This data can then be used to estimate the number of vehicle trips generated by a development. For residential housing, traffic impacts are usually most noticeable during the peak hour of adjacent street traffic – that is, during morning and evening “rush hour”, when traffic on the roads is most congested. In most areas, the morning (AM) peak is a one hour period that occurs between 7 am – 9 am, and the evening (PM) peak is a one hour period usually between 4 pm – 6 pm.

The table below provides the calculated number of trips generated for the proposed Pine View Condominiums, based on the ITE Trip Generation Manual for Multi-Family Housing, Low Rise (ITE Land Use Code #220). For comparison, the table also shows trip generation for a theoretical “by-right” project, a 20,000 square foot General Office Building (ITE Land Use Code #710).

Land Use	Number of Site-Generated Trips								
	AM Peak Hour			PM Peak Hour			Daily		
	In	Out	Total	In	Out	Total	In	Out	Total
Multi-Family Housing, Low-Rise (25 Units)	3	10	13	11	6	17	74	74	148
General Office Building (20,000 gross sq. ft.)	39	6	45	4	21	25	111	111	222

During the morning (AM) peak hour, the proposed Pine View Condominiums development is expected to generate 13 new trips: 3 inbound (entering the site), and 10 outbound (exiting the site). During the evening (PM) peak hour, the proposed site is expected to generate 17 new vehicle trips: 11 inbound (entering the site) trips, and 6 outbound (exiting the site). This pattern coincides with residents typically leaving in the morning for work, and returning home in the evening.

Under the NN zoning, office use would also be considered a by-right development. If, instead of a 25-unit multi-family development, this site was instead developed as 20,000 square foot office building, the site would be expected to generate 45 new trips (39 inbound, 6 outbound) during the morning peak hour, and 25 new trips (4 inbound, 21 outbound) during the evening peak hour. An office use would generate more trips than a comparably sized residential development.



As a multi-family land use, the traffic generated by the proposed development would be minimal, adding less than two dozen vehicle trips during the peak (“busiest”) hour. The traffic impact of this site on the adjacent road network is negligible and would be imperceptible to the majority of road users.

As a point of comparison Dequindre Road (at East Long Lake Road/ 18 Mile Road) carries over 2,200 vehicles during the PM peak hour, and with an annual average daily traffic count of almost 25,000 vehicles in 2020 (during the pandemic). Even amongst typical weekdays, traffic volumes during the peak hours alone often vary by 10%+ from one day to the next. The day-to-day fluctuations result in peak hour traffic volumes that vary by upwards of a couple hundred vehicles. The proposed Pine View Condominium homes are expected to generate fewer than 20 new vehicle trips during the peak hour.



Crash Detail Report

Request #: 0057228

Printed By: Chuck Keller

Printed On: 9/10/2021

Dequindre Rd n/o Long Lake, Toco Bell: 01/01/2000 and 12/31/2006

#1 Location: N DEQUINDRE (10.15) 390 feet N of E Long Lake Rd **Crash ID:** 4027710
Crash Date: 05/11/2000 **Day:** Thu **Hour:** 9am **Weather:** uncoded **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 1 **How:** ss-same
CVT: Sterling Heights **Area:** transition **HBD:** N **Drugs:** N **Complaint No:**

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	N	change lanes	veh in transpt	none	none	none	left of center	pickup	lftfront
2	N	go straight	veh in transpt	none	none	none	none	car	rtfront

UD-10: N/A

#2 Location: DEQUINDRE RD (10.21) 700 feet N of Heritage Pointe Dr **Crash ID:** 4357315
Crash Date: 01/26/2001 **Day:** Fri **Hour:** 6pm **Weather:** snow **Roadway:** snow **Light:** dark/unltd
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 4 **How:** rr-end
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:**

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	go straight	veh in transpt	none	none	none	unable to stop	pickup	ctrfront
2	S	stop on road	veh in transpt	none	none	none	none	car	rtrear

UD-10: N/A

#3 Location: DEQUINDRE (10.17) 500 feet N of E Long Lake Rd **Crash ID:** 4372829
Crash Date: 01/31/2001 **Day:** Wed **Hour:** unknown **Weather:** cloudy **Roadway:** wet **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** angle
CVT: Sterling Heights **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:**

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	NE	left turn	veh in transpt	none	none	none	failed to yield	car	rtfront
2	N	go straight	veh in transpt	none	none	none	none	car	lftside

UD-10: N/A

#4 Location: DEQUINDRE (10.15) 350 feet N of E Long Lake Rd **Crash ID:** 4988017
Crash Date: 03/20/2002 **Day:** Wed **Hour:** 7pm **Weather:** cloudy **Roadway:** dry **Light:** dark/ltd
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 3 **How:** angle
CVT: Sterling Heights **Area:** inter driveway **HBD:** Y **Drugs:** N **Complaint No:**

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	enter rdwy	veh in transpt	none	none	none	other	car	ctrfront
2	N	go straight	veh in transpt	none	none	none	none	car	rtside

UD-10: [029269834](#)

#5 Location: DEQUINDRE RD (10.18) 500 feet N of E Long Lake Rd **Crash ID:** 5688783
Crash Date: 06/29/2004 **Day:** Tue **Hour:** 1pm **Weather:** cloudy **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 1 **Inj 0:** 1 **How:** rr-end
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 0419288

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	go straight	veh in transpt	none	none	none	unable to stop	car	ctrfront
2	S	stop on road	veh in transpt	none	none	none	none	car	ctrear

UD-10: [041195150](#)

#6 Location: DEQUINDRE RD (10.18) 528 feet N of E Long Lake Rd **Crash ID:** 6275244
Crash Date: 02/13/2006 **Day:** Mon **Hour:** 4pm **Weather:** cloudy **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 1 **Inj C:** 0 **Inj 0:** 1 **How:** angle
CVT: Sterling Heights **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 065488

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	leaving parking	veh in transpt	none	none	none	failed to yield	car	lftfront
2	N	go straight	none	none	none	none	none	car	lftfront

UD-10: [061036005](#)

#7 Location: DEQUINDRE RD (10.18) 500 feet N of E Long Lake Rd **Crash ID:** 6360419
Crash Date: 06/03/2006 **Day:** Sat **Hour:** 10am **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 3 **How:** angle
CVT: Sterling Heights **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 0620485

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	left turn	veh in transpt	none	none	none	failed to yield	car	rtfront
2	S	change lanes	veh in transpt	none	none	none	none	motorhome	none

UD-10: [061123194](#)

Crash Type

Count	Type
0	uncoded
0	single
0	head-on
0	head-on/lt
4	angle
2	rr-end
0	rr-end/lt
0	rr-end/rt
1	ss-same
0	ss-opp
0	back
0	other
0	unknown
Totals: 7	

Light Conditions

Count	Type
0	uncoded
5	day
0	dawn
0	dusk
1	dark/ltd
1	dark/unltd
0	other
0	unknown
Totals: 7	

Weather

Count	Type
1	uncoded
1	clear
0	smoke
4	cloudy
0	fog
0	rain
1	snow
0	wind
0	sleet/hail
0	blowing snow
0	blowing sand
0	unknown
Totals: 7	

Road Condition

Count	Type
0	uncoded
5	dry
0	oily
1	wet
0	ice
1	snow
0	mud
0	slush
0	debris
0	water
0	sand
0	other
0	unknown
Totals: 7	

Crashes By Month

Count	Type
2	January
1	February
1	March
0	April
1	May
2	June
0	July
0	August
0	September
0	October
0	November
0	December
Totals: 7	

Hazardous Action

Count	Type
7	none
0	speeding
0	imprp/no signal
0	imprp backing
2	unable to stop
1	other
0	unknown
0	reckls driving
0	carels driving
0	spd too slow
3	failed to yield
0	disrgd traffic cntrl
0	wrong way
1	left of center
0	imprp passing
0	imprp lane use
0	imprp turn
Totals: 14	

Unit Type

Count	Type
0	Bicyclist
0	Engineer
12	Vehicle
0	Pedestrian
Totals: 12	

Crashes By Year

Count	Type
1	2000
2	2001
1	2002
0	2003
1	2004
0	2005
2	2006
0	2007
0	2008
0	2009
0	2010
0	2011
0	2012
0	2013
0	2014
0	2015
0	2016
0	2017
0	2018
0	2019
0	2020
0	2021
Totals: 7	

Crash Severity

	FATAL	A	B	C	No Inj	Total
Persons	0	0	1	1	15	17
Crashes	0	0	1	1	5	7

Alcohol in Crashes

	FATAL	PI	PD	Total
Drinking	0	0	1	1
Not Drinking	0	2	4	6
Total	0	2	5	7

Crashes per Hour by Day

	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Unknown	Total
12a - 1a	0	0	0	0	0	0	0	0	0
1a - 2a	0	0	0	0	0	0	0	0	0
2a - 3a	0	0	0	0	0	0	0	0	0
3a - 4a	0	0	0	0	0	0	0	0	0
4a - 5a	0	0	0	0	0	0	0	0	0
5a - 6a	0	0	0	0	0	0	0	0	0
6a - 7a	0	0	0	0	0	0	0	0	0
7a - 8a	0	0	0	0	0	0	0	0	0
8a - 9a	0	0	0	0	0	0	0	0	0
9a - 10a	0	0	0	0	1	0	0	0	1
10a - 11a	0	0	0	0	0	0	1	0	1
11a - 12p	0	0	0	0	0	0	0	0	0
12p - 1p	0	0	0	0	0	0	0	0	0
1p - 2p	0	0	1	0	0	0	0	0	1
2p - 3p	0	0	0	0	0	0	0	0	0
3p - 4p	0	0	0	0	0	0	0	0	0
4p - 5p	0	1	0	0	0	0	0	0	1
5p - 6p	0	0	0	0	0	0	0	0	0
6p - 7p	0	0	0	0	0	1	0	0	1
7p - 8p	0	0	0	1	0	0	0	0	1
8p - 9p	0	0	0	0	0	0	0	0	0
9p - 10p	0	0	0	0	0	0	0	0	0
10p - 11p	0	0	0	0	0	0	0	0	0
11p - 12a	0	0	0	0	0	0	0	0	0
Unknown Time	0	0	0	1	0	0	0	0	1
Total	0	1	1	2	1	1	1	0	7



Crash Detail Report

Request #: 0057229

Printed By: Chuck Keller

Printed On: 9/10/2021

Dequindre Rd n/o Long Lake, Toco Bell: 01/01/2007 and 08/31/2021

#1 Location: DEQUINDRE RD (10.19) 600 feet N of Heritage Pointe Dr **Crash ID:** 6687528
Crash Date: 06/05/2007 **Day:** Tue **Hour:** 10am **Weather:** cloudy **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** ss-same
CVT: Sterling Heights **Area:** transition **HBD:** N **Drugs:** N **Complaint No:** 0723327

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	N	go straight	cross ctrline	veh in transpt	none	none	other	car	rtrear
2	N	change lanes	veh in transpt	none	none	none	none	car	lftfront

UD-10: [075529322](#)

#2 Location: DEQUINDRE RD (10.18) 500 feet N of E Long Lake Rd **Crash ID:** 7119734
Crash Date: 10/20/2008 **Day:** Mon **Hour:** 5pm **Weather:** rain **Roadway:** wet **Light:** dusk
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 1 **Inj 0:** 1 **How:** head-on/lt
CVT: Troy **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 0836411

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	E	left turn	veh in transpt	none	none	none	failed to yield	car	rtfront
2	S	go straight	veh in transpt	none	none	none	imprp lane use	car	ctrfront

UD-10: [080497387](#), [080497387](#)

#3 Location: DEQUINDRE RD (10.19) 600 feet N of 18 MILE RD **Crash ID:** 7673296
Crash Date: 07/27/2010 **Day:** Tue **Hour:** 7pm **Weather:** cloudy **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** rr-end
CVT: Sterling Heights **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 1028035

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	N	slow/stop on rd	veh in transpt	none	none	none	unable to stop	car	rtfront
2	N	stop on road	veh in transpt	none	none	none	none	car	lftside

UD-10: [100401970](#)

#4 Location: DEQUINDRE RD (10.19) 554 feet N of E LONG LAKE RD **Crash ID:** 7948141
Crash Date: 02/04/2011 **Day:** Fri **Hour:** 7pm **Weather:** clear **Roadway:** dry **Light:** dark/unltd
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 5 **How:** ss-same
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 110003552

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	change lanes	veh in transpt	none	none	none	failed to yield	car	lftfront
2	S	go straight	veh in transpt	none	none	none	none	car	rtfront
3	S	stop on road	veh in transpt	none	none	none	none	car	rtfront

UD-10: [110117092](#)

#5 Location: DEQUINDRE RD (10.16) 400 feet N of E LONG LAKE RD **Crash ID:** 7985766
Crash Date: 03/05/2011 **Day:** Sat **Hour:** 7pm **Weather:** snow **Roadway:** snow **Light:** dark/unltd
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 3 **How:** ss-same
CVT: Troy **Area:** inter other **HBD:** N **Drugs:** N **Complaint No:** 110006904

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	change lanes	veh in transpt	none	none	none	other	car	lftside
2	S	go straight	veh in transpt	none	none	none	none	car	rtfront

UD-10: [110181773](#)

#6 Location: DEQUINDRE RD (10.18) 500 feet N of 18 MILE RD **Crash ID:** 8028371
Crash Date: 05/07/2011 **Day:** Sat **Hour:** 12pm **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 5 **How:** angle
CVT: Sterling Heights **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 1117719

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	E	go straight	veh in transpt	none	none	none	failed to yield	car	rtfront
2	N	go straight	veh in transpt	none	none	none	none	car	lftside

UD-10: [110296832](#)

#7 Location: DEQUINDRE RD (10.16) 450 feet N of E LONG LAKE RD **Crash ID:** 8109563
Crash Date: 08/24/2011 **Day:** Wed **Hour:** 4pm **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 1 **Inj 0:** 1 **How:** angle
CVT: Troy **Area:** inter driveway **HBD:** N **Drugs:** N **Complaint No:** 110025043

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	left turn	veh in transpt	none	none	none	failed to yield	car	ctrfront
2	S	go straight	veh in transpt	none	none	none	none	car	lftside

UD-10: [110520088](#)

#8 Location: DEQUINDRE RD (10.18) 500 feet N of E LONG LAKE RD **Crash ID:** 8398223
Crash Date: 07/19/2012 **Day:** Thu **Hour:** 10am **Weather:** rain **Roadway:** wet **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** ss-same
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:**

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	change lanes	veh in transpt	none	none	none	failed to yield	car	rtfront
2	S	go straight	veh in transpt	none	none	none	none	car	lftside

UD-10: [8398223](#)

#9 Location: DEQUINDRE RD (10.19) 554 feet N of E LONG LAKE RD **Crash ID:** 8673085
Crash Date: 06/22/2013 **Day:** Sat **Hour:** 9am **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 1 **Inj 0:** 3 **How:** other
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 130019432

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	N	left turn	veh in transpt	none	none	none	failed to yield	car	ctrfront
2	S	go straight	veh in transpt	none	none	none	none	car	ctrfront

UD-10: [8673085](#)

#10 Location: DEQUINDRE RD (10.16) 400 feet N of E LONG LAKE RD **Crash ID:** 8689141
Crash Date: 07/16/2013 **Day:** Tue **Hour:** 12pm **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 1 **Inj 0:** 2 **How:** angle
CVT: Troy **Area:** inter driveway **HBD:** N **Drugs:** N **Complaint No:** 130022323

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	left turn	veh in transpt	none	none	none	failed to yield	car	ctrfront
2	S	go straight	veh in transpt	none	none	none	none	car	lffront

UD-10: [8689141](#)

#11 **Location:** DEQUINDRE RD (10.21) 700 feet N of E LONG LAKE RD **Crash ID:** 8819544
Crash Date: 12/11/2013 **Day:** Wed **Hour:** 3pm **Weather:** cloudy **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 5 **How:** rr-end
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 130038928

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	slow/stop on rd	veh in transpt	none	none	none	unable to stop	car	ctrfront
2	S	stop on road	veh in transpt	none	none	none	none	car	ctrrear

UD-10: [8819544](#)

#12 **Location:** DEQUINDRE RD (10.16) 400 feet N of E LONG LAKE RD **Crash ID:** 9388769
Crash Date: 09/21/2015 **Day:** Mon **Hour:** 5pm **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** angle
CVT: Troy **Area:** inter driveway **HBD:** N **Drugs:** N **Complaint No:** 150031207

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	left turn	veh in transpt	none	none	none	failed to yield	car	rtside
2	S	go straight	veh in transpt	none	none	none	none	car	ctrfront

UD-10: [9388769](#)

#13 **Location:** DEQUINDRE RD (10.18) 500 feet N of E LONG LAKE RD **Crash ID:** 9473230
Crash Date: 12/15/2015 **Day:** Tue **Hour:** 6pm **Weather:** clear **Roadway:** dry **Light:** dark/unltd
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** rr-end
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 150040871

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	start on rdwy	veh in transpt	none	none	none	unable to stop	car	ctrfront
2	S	slow/stop on rd	veh in transpt	none	none	none	none	car	ctrrear

UD-10: [9473230](#)

#14 **Location:** DEQUINDRE RD (10.19) 600 feet N of E LONG LAKE RD **Crash ID:** 9989840
Crash Date: 03/13/2017 **Day:** Mon **Hour:** 7pm **Weather:** cloudy **Roadway:** snow **Light:** dark/ltd
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 1 **How:** single
CVT: Troy **Area:** straight **HBD:** Y **Drugs:** N **Complaint No:** 170007770

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	go straight	ran off road/r	mailbox	ditch	none	carels driving	pickup	multiple

UD-10: [9989840](#)

#15 **Location:** DEQUINDRE RD (10.15) 375 feet N of E LONG LAKE RD **Crash ID:** 1484607
Crash Date: 09/11/2018 **Day:** Tue **Hour:** 3pm **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 1 **Inj 0:** 1 **How:** angle
CVT: Troy **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 180031587

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	left turn	veh in transpt	none	none	none	unable to stop	car	rtside
2	S	go straight	veh in transpt	none	none	none	none	car	ctrfront

UD-10: [1484607](#)

#16 **Location:** DEQUINDRE RD (10.17) 470 feet N of E LONG LAKE RD **Crash ID:** 1485982
Crash Date: 09/14/2018 **Day:** Fri **Hour:** 7am **Weather:** fog **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** angle
CVT: Troy **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 180031860

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	go straight	veh in transpt	none	none	none	failed to yield	car	lffront
2	N	go straight	veh in transpt	none	none	none	none	car	rtfront

UD-10: [1485982](#)

#17 Location: DEQUINDRE RD (10.18) 528 feet N of 18 MILE RD **Crash ID:** 1518234
Crash Date: 11/01/2018 **Day:** Thu **Hour:** 5pm **Weather:** rain **Roadway:** wet **Light:** dusk
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** ss-same
CVT: Sterling Heights **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 1842770

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	NE	enter rdwy	veh in transpt	none	none	none	failed to yield	car	rtside
2	N	go straight	veh in transpt	none	none	none	none	car	lftside

UD-10: 1518234

#18 Location: DEQUINDRE RD (10.16) 400 feet N of E LONG LAKE RD **Crash ID:** 1697010
Crash Date: 04/24/2019 **Day:** Wed **Hour:** 2pm **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** rr-end
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 190014244

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	go straight	veh in transpt	none	none	none	unable to stop	car	ctrfront
2	S	stop on road	veh in transpt	none	none	none	none	car	ctrrear

UD-10: 1697010

#19 Location: DEQUINDRE RD (10.19) 600 feet N of E LONG LAKE RD **Crash ID:** 1720931
Crash Date: 05/23/2019 **Day:** Thu **Hour:** 7am **Weather:** rain **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** angle
CVT: Troy **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 190017832

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	go straight	veh in transpt	none	none	none	imprp passing	car	rtside
2	E	enter rdwy	veh in transpt	none	none	none	none	car	ctrfront

UD-10: 1720931

#20 Location: DEQUINDRE RD (10.16) 450 feet N of E LONG LAKE RD **Crash ID:** 1772216
Crash Date: 07/24/2019 **Day:** Wed **Hour:** 12pm **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 5 **How:** rr-end
CVT: Troy **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 190025332

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	S	go straight	veh in transpt	none	none	none	unable to stop	car	ctrfront
2	S	stop on road	veh in transpt	none	none	none	none	car	ctrrear

UD-10: 1772216

#21 Location: DEQUINDRE RD (10.16) 428 feet N of 18 MILE RD **Crash ID:** 1766635
Crash Date: 08/02/2019 **Day:** Fri **Hour:** 7am **Weather:** clear **Roadway:** dry **Light:** day
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 4 **How:** rr-end
CVT: Sterling Heights **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 1929929

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	N	change lanes	veh in transpt	veh in transpt	none	none	other	pickup	rtfront
2	N	go straight	veh in transpt	none	none	none	none	car	rtrear
3	N	right turn	veh in transpt	none	none	none	none	truck/bus	none

UD-10: 1766635

#22 Location: NB DEQUINDRE RD (10.20) 528 feet S of HERITAGE POINTE DR **Crash ID:** 1860574
Crash Date: 10/26/2019 **Day:** Sat **Hour:** 10pm **Weather:** clear **Roadway:** wet **Light:** dark/lt
Injuries K: 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** ss-same
CVT: Sterling Heights **Area:** straight **HBD:** N **Drugs:** N **Complaint No:** 1942782

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	N	avoid obj	cross ctrline	veh in transpt	none	none	imprp lane use	car	lftside
2	N	go straight	veh in transpt	none	none	none	none	pickup	rtside

UD-10: 1860574#23 **Location:** DEQUINDRE RD (10.19) 600 feet N of W LONG LAKE RD **Crash ID:** 1895811**Crash Date:** 11/26/2019 **Day:** Tue **Hour:** 12pm **Weather:** clear **Roadway:** dry **Light:** day**Injuries K:** 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** angle**CVT:** Troy **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 190041098

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	E	enter rdwy	veh in transpt	none	none	none	failed to yield	car	lfffront
2	S	go straight	veh in transpt	none	none	none	none	car	rtrear

UD-10: 1895811#24 **Location:** DEQUINDRE RD (10.21) 454 feet N of E LONG LAKE RD **Crash ID:** 1970997**Crash Date:** 02/17/2020 **Day:** Mon **Hour:** 11pm **Weather:** snow **Roadway:** snow **Light:** dark/unltd**Injuries K:** 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** head-on/lt**CVT:** Troy **Area:** straight **HBD:** Y **Drugs:** N **Complaint No:** 200005381

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	NW	left turn	veh in transpt	none	none	none	imprp turn	car	ctrfront
2	S	go straight	veh in transpt	none	none	none	none	pickup	lftrear

UD-10: 1970997#25 **Location:** DEQUINDRE RD (10.17) 456 feet N of 18 MILE RD **Crash ID:** 2336651**Crash Date:** 08/10/2021 **Day:** Tue **Hour:** 4pm **Weather:** clear **Roadway:** dry **Light:** day**Injuries K:** 0 **Inj A:** 0 **Inj B:** 0 **Inj C:** 0 **Inj 0:** 2 **How:** rr-end**CVT:** Sterling Heights **Area:** driveway **HBD:** N **Drugs:** N **Complaint No:** 2153305

Unit No	Veh Dir	Action Prior	Event 1	Event 2	Event 3	Event 4	Haz Action	Veh Type	Damage
1	W	start on rdwy	veh in transpt	none	none	none	unable to stop	pickup	ctrfront
2	W	stop on road	veh in transpt	none	none	none	none	car	ctrrear

UD-10: 2336651

Crash Type

Count	Type
0	uncoded
1	single
0	head-on
2	head-on/lt
8	angle
7	rr-end
0	rr-end/lt
0	rr-end/rt
6	ss-same
0	ss-opp
0	back
1	other
0	unknown
Totals: 25	

Light Conditions

Count	Type
0	uncoded
17	day
0	dawn
2	dusk
2	dark/ltd
4	dark/unltd
0	other
0	unknown
Totals: 25	

Weather

Count	Type
0	uncoded
14	clear
0	smoke
4	cloudy
1	fog
4	rain
2	snow
0	wind
0	sleet/hail
0	blowing snow
0	blowing sand
0	unknown
Totals: 25	

Road Condition

Count	Type
0	uncoded
18	dry
0	oily
4	wet
0	ice
3	snow
0	mud
0	slush
0	debris
0	water
0	sand
0	other
0	unknown
Totals: 25	

Crashes By Month

Count	Type
0	January
2	February
2	March
1	April
2	May
2	June
4	July
3	August
3	September
2	October
2	November
2	December
Totals: 25	

Hazardous Action

Count	Type
25	none
0	speeding
0	imprp/no signal
0	imprp backing
7	unable to stop
3	other
0	unknown
0	reckls driving
1	carels driving
0	spd too slow
11	failed to yield
0	disrgd traffic cntrl
0	wrong way
0	left of center
1	imprp passing
2	imprp lane use
1	imprp turn
Totals: 51	

Unit Type

Count	Type
0	Bicyclist
0	Engineer
51	Vehicle
0	Pedestrian
Totals: 51	

Crashes By Year

Count	Type
0	2000
0	2001
0	2002
0	2003
0	2004
0	2005
0	2006
1	2007
1	2008
0	2009
1	2010
4	2011
1	2012
3	2013
0	2014
2	2015
0	2016
1	2017
3	2018
6	2019
1	2020
1	2021
Totals: 25	

Crash Severity

	FATAL	A	B	C	No Inj	Total
Persons	0	0	0	5	62	67
Crashes	0	0	0	5	20	25

Alcohol in Crashes

	FATAL	PI	PD	Total
Drinking	0	0	2	2
Not Drinking	0	5	18	23
Total	0	5	20	25

Crashes per Hour by Day

	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Unknown	Total
12a - 1a	0	0	0	0	0	0	0	0	0
1a - 2a	0	0	0	0	0	0	0	0	0
2a - 3a	0	0	0	0	0	0	0	0	0
3a - 4a	0	0	0	0	0	0	0	0	0
4a - 5a	0	0	0	0	0	0	0	0	0
5a - 6a	0	0	0	0	0	0	0	0	0
6a - 7a	0	0	0	0	0	0	0	0	0
7a - 8a	0	0	0	0	1	2	0	0	3
8a - 9a	0	0	0	0	0	0	0	0	0
9a - 10a	0	0	0	0	0	0	1	0	1
10a - 11a	0	0	1	0	1	0	0	0	2
11a - 12p	0	0	0	0	0	0	0	0	0
12p - 1p	0	0	2	1	0	0	1	0	4
1p - 2p	0	0	0	0	0	0	0	0	0
2p - 3p	0	0	0	1	0	0	0	0	1
3p - 4p	0	0	1	1	0	0	0	0	2
4p - 5p	0	0	1	1	0	0	0	0	2
5p - 6p	0	2	0	0	1	0	0	0	3
6p - 7p	0	0	1	0	0	0	0	0	1
7p - 8p	0	1	1	0	0	1	1	0	4
8p - 9p	0	0	0	0	0	0	0	0	0
9p - 10p	0	0	0	0	0	0	0	0	0
10p - 11p	0	0	0	0	0	0	1	0	1
11p - 12a	0	1	0	0	0	0	0	0	1
Unknown Time	0	0	0	0	0	0	0	0	0
Total	0	4	7	4	3	3	4	0	25

PRELIMINARY SITE PLANS

GFA 18 MILE & DEQUINDRE

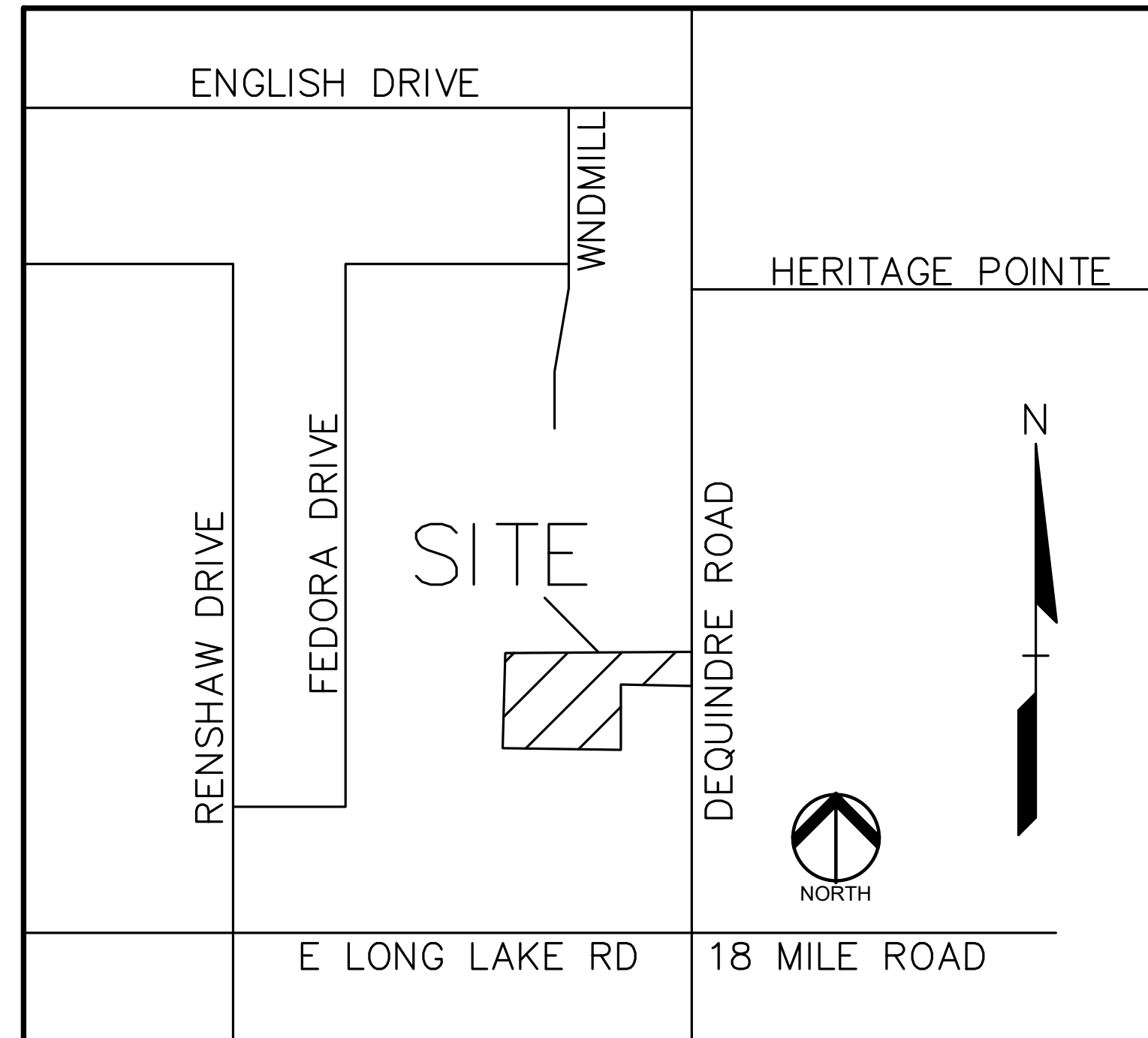
PART OF THE SOUTHEAST 1/4 OF SECTION 12, T.02N., R. 11E.,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL

LEGAL DESCRIPTION
(Per City of Troy Assessor)

PARCEL ID 20-12-476-070
Land in the City of Troy, Oakland County, Michigan, described as follows:

Part of Lots 10, 11 and 12 of JENNINGS SUBDIVISION, as recorded in Liber 59, Page 8, Oakland County Records, beginning at point distant North 00 degrees 08 minutes 52 seconds West 60 feet and North 89 degrees 32 minutes 26 seconds West 60 feet and North 00 degrees 08 minutes 52 seconds West 493.11 feet from the Southeast section corner; thence North 88 degrees 10 minutes 33 seconds West 170 feet; thence South 75 degrees 18 minutes 21 seconds West 70.21 feet; thence South 00 degrees 08 minutes 52 seconds East 159.88 feet; thence North 88 degrees 11 minutes 10 seconds West 371.57 feet; thence North 00 degrees 08 minutes 43 seconds West 240 feet; thence South 88 degrees 10 minutes 33 seconds East 609.56 feet; thence South 00 degrees 08 minutes 52 seconds East 59.99 feet to beginning.



LOCATION MAP
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
C-0.0	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	PRELIMINARY SITE PLAN
C-3.0	PRELIMINARY GRADING PLAN
C-4.0	PRELIMINARY UTILITY PLAN
L-1.0	PRELIMINARY LANDSCAPE PLAN
T-1.0	PRELIMINARY PRESERVATION PLAN

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
GFA DEVELOPMENT, INC. 986 ELMSFORD DRIVE TROY, MI 48083 CONTACT: GARY ABITHEIRA PHONE: 248.840.2828 EMAIL: GFAHOMES@GMAIL.COM	PEA GROUP 2430 ROCHESTER COURT, STE. 100 TROY, MI 48083-1872 CONTACT: JOHN B. THOMPSON, PE PHONE: 844.813.2949 EMAIL: JTHOMPSON@PEAGROUP.COM

ARCHITECT	LANDSCAPE ARCHITECT
MGA ARCHITECTS/DESIGNERS MOISEV/GORDON ASSOCIATES, INC. 4351 DELEMERE COURT ROYAL OAK, MI 48073 CONTACT: ANDREW J. MOISEEV, RA PHONE: 248.549.4500 EXT. 221 EMAIL: ANDREWWM@MGA-ARCHITECTS.NET	PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: KIMBERLY DIETZEL, RLA PHONE: 844.813.2949 EMAIL: KDIEZEL@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	9/18/2019
CONDITIONAL REZONE APPLICATION	6/8/2021



LEGAL DESCRIPTION
(Per City of Troy Assessor)

PARCEL ID 20-12-476-070
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BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
PUNCH MARK ON ARROW OF A HYDRANT LOCATED ON THE WEST SIDE OF DEQUINDRE ROAD, APPROX. 45± NORTHWEST OF THE NORTHEAST PROPERTY CORNER.
ELEV. - 645.78

BM #301
PUNCH MARK ON THE NORTHWEST BOLT OF A LIGHT POLE LOCATED AT THE NORTH SIDE OF THE ARBY'S PARKING LOT, APPROX. 26± SOUTH OF THE SOUTH PROPERTY LINE.
ELEV. - 645.29

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0552F, DATED SEPTEMBER 29, 2006.

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊙ R. RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	⊙ M. MEASURED
⊗ NAIL & CAP SET		⊙ C. CALCULATED

EXISTING

- OH-ELEC- W-O- ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV- UG-CATV
- UG-PHONE- UG-PHONE
- UG-ELEC- UG-ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS- GAS MAIN, VALVE & GAS LINE MARKER
- WATER- WATERMAIN, HYD. GATE VALVE, TAPPING BLEEVE & VALVE
- SEWER- SANITARY SEWER, CLEANOUT & MANHOLE
- CS- STORM SEWER, CLEANOUT & MANHOLE
- CSE- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHED/POST
- MBOX- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNID- UNIDENTIFIED STRUCTURE
- SPOT- SPOT ELEVATION
- 670- CONTOUR LINE
- FENCE- FENCE
- GUARD- GUARDRAIL
- STREET- STREET LIGHT
- SIGN- SIGN
- CONC- CONCRETE
- ASPH- ASPHALT
- GRAVEL- GRAVEL SHOULDER
- WETLAND- WETLAND

PEA GROUP
t. 844.813.2949
www.peagroup.com

NORTH

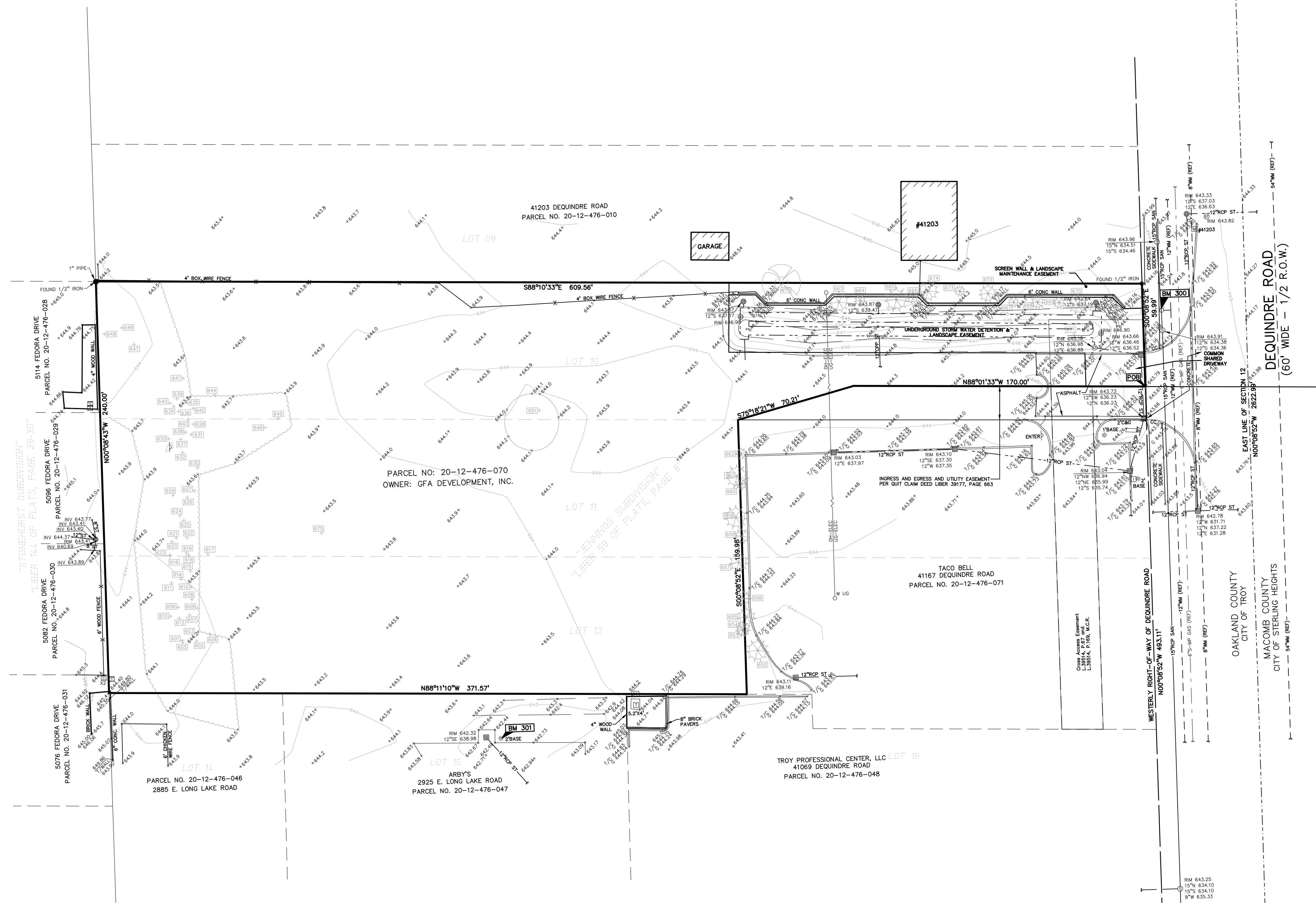
0 15 30 60
SCALE: 1" = 30'

REFERENCE DRAWINGS

GAS - CONSUMERS ENERGY QUARTER SECTION MAP 02-61-12-4, DATED 10-21-05
CITY OF TROY UTILITY GIS MAP
TACO BELL GRADING AND UTILITY PLAN, DESIGN, INC. PROJECT NO. 61955, DWG. NAME 066UT, DATED 11-07-07
TACO BELL SITE PLAN, DESIGN, INC. PROJECT NO. 61955, DWG. NAME 055SP, DATED 09-27-07

811 Know what's below. Call before you dig.

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR IS ENTIRELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
GFA DEVELOPMENT, INC.
988 ELMFORD DR.
TROY, MI 48063

PROJECT TITLE
GFA 18 MILE & DEQUINDRE
PART OF THE SE 1/4 OF SECTION 12, T.02N., R.11E, TROY, OAKLAND COUNTY, MI

REVISIONS

CONDITIONAL REZONE APP.	6/8/21
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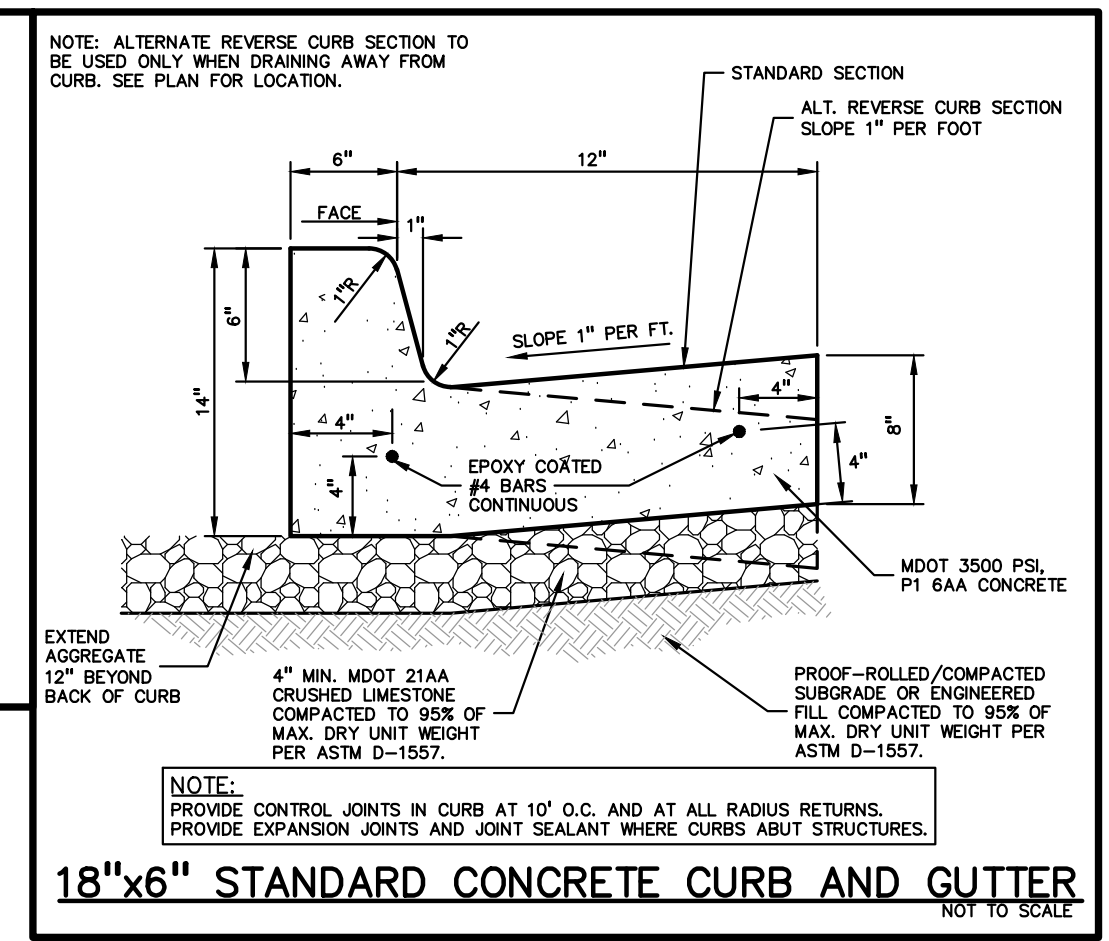
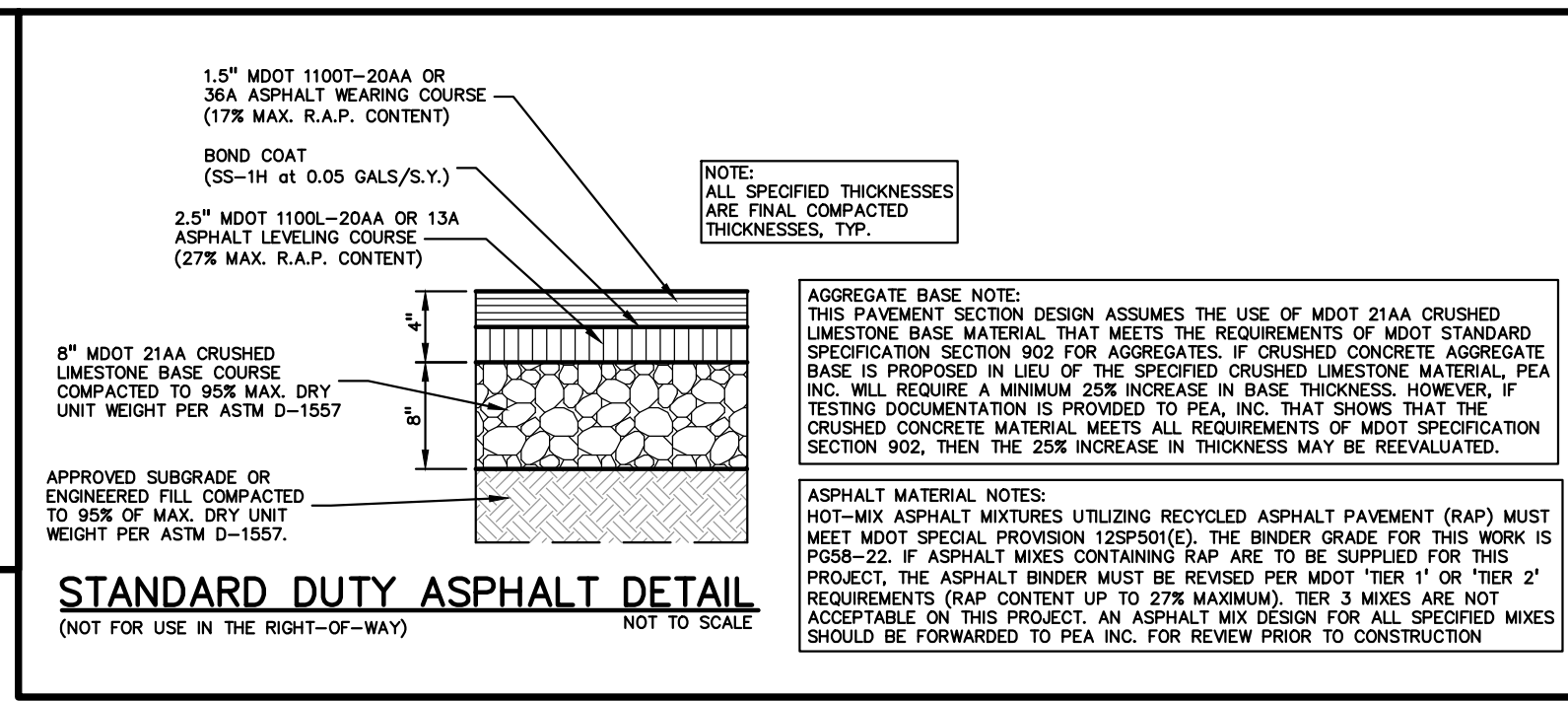
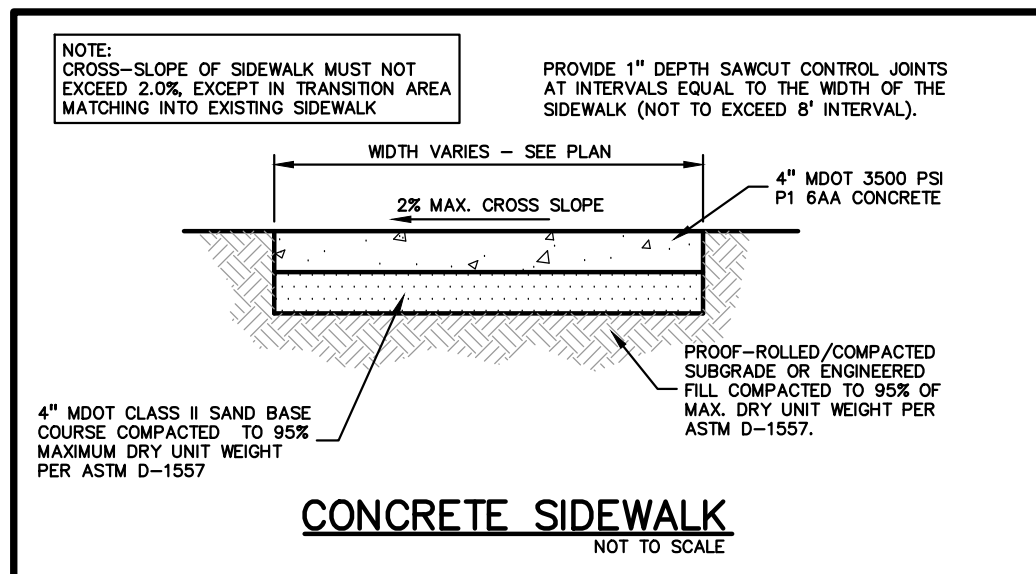
ORIGINAL ISSUE DATE:
SEPTEMBER 18, 2019

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO.	2016-368
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

NOT FOR CONSTRUCTION C-1.0

S:\PROJECTS\2016\2016-368 GFA 18 MILE & DEQUINDRE-180918\DWG\180918-180918.dwg



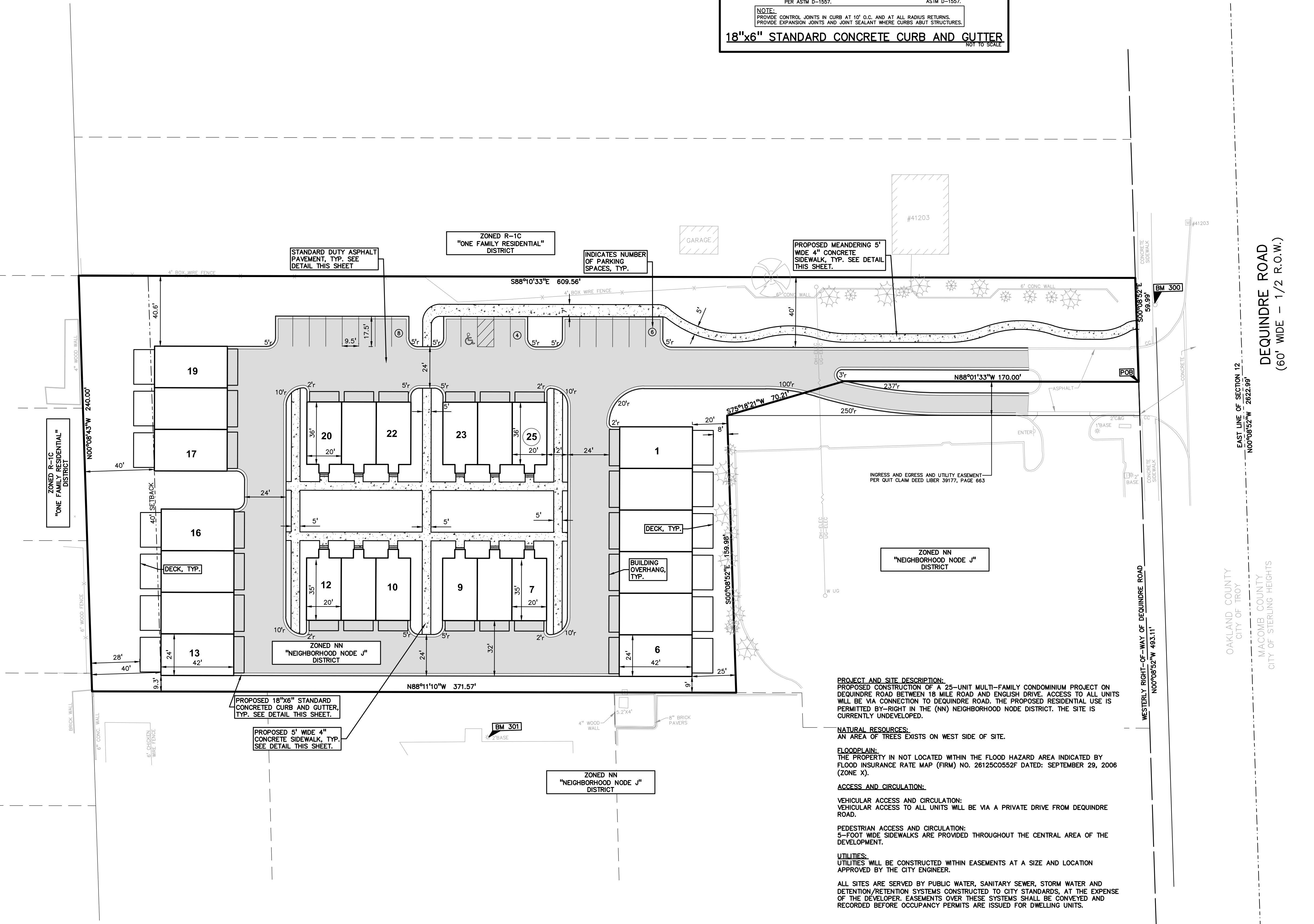
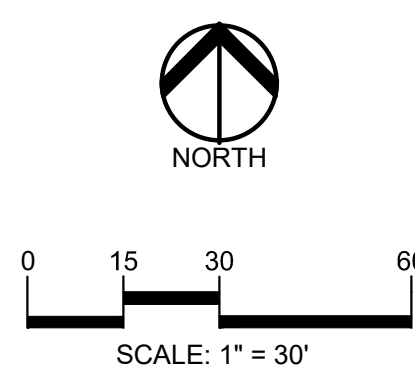
LEGEND

EXISTING:
 -OH-ELEC-W-W- ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
 -UG-CATV- UNDERGROUND CABLE TV, CATV PEDESTAL
 -UG-PHONE- UNDERGROUND U.G. CABLE, PEDESTAL & MANHOLE
 -UG-ELEC- UNDERGROUND U.G. CABLE, MANHOLE, METER & HANDHOLE
 -GAS- GAS MAIN, VALVE & GAS LINE MARKER
 -WATER- WATER MAIN, HYD. GATE VALVE, TAPPING BLEWIE & VALVE
 -SEWER- SANITARY SEWER, CLEANOUT & MANHOLE
 -STORM- STORM SEWER, CLEANOUT & MANHOLE
 -COMB- COMBINED SEWER & MANHOLE
 -SQU- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
 -R- POST INDICATOR VALVE
 -WV- WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF
 -MB- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
 -U- UNIDENTIFIED STRUCTURE
 -S- SPOT ELEVATION
 -670- CONTOUR LINE
 -F- FENCE
 -GR- GUARD RAIL
 -SL- STREET LIGHT
 -S- SIGN

PROPOSED:
 -CONC- CONCRETE
 -ASPH- ASPHALT
 -GRAV- GRAVEL SHOULDER
 -WET- WETLAND

SEC. CORNER FOUND:
 R- RECORDED
 M- MEASURED
 C- CALCULATED

REFERENCE DRAWINGS:
 GAS - CONSUMERS ENERGY QUARTER SECTION MAP 02-61-12-4, DATED 10-21-05
 CITY OF TROY UTILITY GIS MAP
 TACO BELL GRADING AND UTILITY PLAN, DESIGN, INC. PROJECT NO. 61955, DWG. NAME 066UT, DATED 11-07-07
 TACO BELL SITE PLAN, DESIGN, INC. PROJECT NO. 61955, DWG. NAME 055SP, DATED 09-27-07



NOTE:
ALL WORK IN THE DEQUINDRE ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE ROAD COMMISSION FOR OAKLAND COUNTY AND REQUIRES A PERMIT.

SITE DATA TABLE:

SITE AREA: 2.389 ACRES (104,056.4021 SQ.FT.) NET AND GROSS

EX. ZONING: (NN) NODE J AND EP

PR. ZONING: (NN), NODE J; SITE TYPE NN:B, STREET TYPE: A

PROPOSED USE: TOWNHOMES

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 72 FEET (6 STORIES)
PROPOSED BUILDING HEIGHT = 3 STORY

SETBACK REQUIREMENTS:

NN:B ZONING DISTRICT:
 FRONT SETBACK (EAST): 0 FEET REQUIRED 20' PROVIDED
 SIDE SETBACK (NORTH): 0 FEET REQUIRED 40' PROVIDED
 SIDE SETBACK (SOUTH): 0 FEET REQUIRED 9' PROVIDED
 REAR SETBACK (WEST): 40 FEET REQUIRED 40' PROVIDED

PARKING CALCULATIONS:
 MULTIFAMILY = 2 SPACES PER UNIT REQUIRED
 TOTAL REQUIRED PARKING = 2 X 25 GARAGE = 50 SPACES
 TOTAL GUEST PARKING = 18 SPACES
 TOTAL PROVIDED PARKING = 68 SPACES (INCLUDES 2-CAR GARAGES)

OPEN SPACE:
 MINIMUM OPEN SPACE REQUIRED = 15% + 15% LANDSCAPE
 PROVIDED OPEN SPACE = 15%
 PROVIDED LANDSCAPE > 15%

SITE SOILS INFORMATION:
 ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:
 92A - SELFRIDGE LOAMY SAND, 0 TO 3 PERCENT SLOPES

CAUTION!
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CLIENT
GFA DEVELOPMENT, INC.
988 ELMSFORD DR.
TROY, MI 48063

PROJECT TITLE
GFA 18 MILE & DEQUINDRE
PART OF THE SE 1/4 OF SECTION 12, T.02N., R.11E, TROY, OAKLAND COUNTY, MI

REVISIONS

CONDITIONAL REZONE APP.	6/8/21
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ORIGINAL ISSUE DATE:
SEPTEMBER 18, 2019

DRAWING TITLE
PRELIMINARY SITE PLAN

PEA JOB NO.	2016-368
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

S:\PROJECTS\2016\2016-368_GFA_18_MILE_&_DEQUINDRE--JBT.dwg (S:\Projects\2016\2016-368_GFA_18_MILE_&_DEQUINDRE--JBT.dwg) (S:\Projects\2016\2016-368_GFA_18_MILE_&_DEQUINDRE--JBT.dwg)

FLOODPLAIN NOTE:
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X", AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0552F, DATED SEPTEMBER 29, 2006.

BENCHMARKS
 (GPS DERIVED - NAVD88)

BM #300
 PUNCH MARK ON ARROW OF A HYDRANT LOCATED ON THE WEST SIDE OF DEQUINDRE ROAD, APPROX. 45'± NORTHEAST OF THE NORTHEAST PROPERTY CORNER.
 ELEV. - 645.78

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 PUNCH MARK ON THE NORTHWEST BOLT OF A LIGHT POLE LOCATED AT THE NORTH SIDE OF THE ARBY'S PARKING LOT, APPROX. 28'± SOUTH OF THE SOUTH PROPERTY LINE.
 ELEV. - 645.29

LEGEND

- IRON FOUND
- ⊗ IRON SET
- NAIL FOUND
- ⊗ NAIL & CAP SET
- ⊗ BRASS PLUG SET
- ⊗ MONUMENT FOUND
- ⊗ MONUMENT SET
- SEC. CORNER FOUND
- R RECORDED
- M MEASURED
- C CALCULATED

EXISTING

- OH-ELEC- V-O- ELEC. PHONE OR CABLE TV O/L LINE, POLE & GUY WIRE
- UG-CATV- UG-CABLE TV, CATV PEDESTAL
- UG-PHONE- UG-CABLE, PEDESTAL & MANHOLE
- UG-ELEC- UG-ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- ⊗ GAS VALVE & GAS LINE MARKER
- ⊗ WATERMANN, HYD. GATE VALVE, TAPPING BLEWIE & VALVE
- ⊗ SANITARY SEWER, CLEANOUT & MANHOLE
- ⊗ STORM SEWER, CLEANOUT & MANHOLE
- ⊗ COMBINED SEWER & MANHOLE
- ⊗ SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
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- CONTOUR LINE
- FENCE
- GUARDRAIL
- STREET LIGHT
- SIGN
- CONC. CONCRETE
- ASPH. ASPHALT
- GRAVEL GRAVEL SHOULDER
- WETLAND WETLAND

PROPOSED

- ⊗ 671.21
- 310 HEAVY FLOW DUTY ONLY
- STD HEAVY BEEP DUTY STRENGTH

REFERENCE DRAWINGS

GAS - CONSUMERS ENERGY QUARTER SECTION MAP 02-61-12-4, DATED 10-21-05
 CITY OF TROY UTILITY GIS MAP
 TACO BELL GRADING AND UTILITY PLAN, DESIGN, INC. PROJECT NO. 61965, DWG. NAME 068UT, DATED 11-07-07
 TACO BELL SITE PLAN, DESIGN, INC. PROJECT NO. 61955, DWG. NAME 055SP, DATED 09-27-07

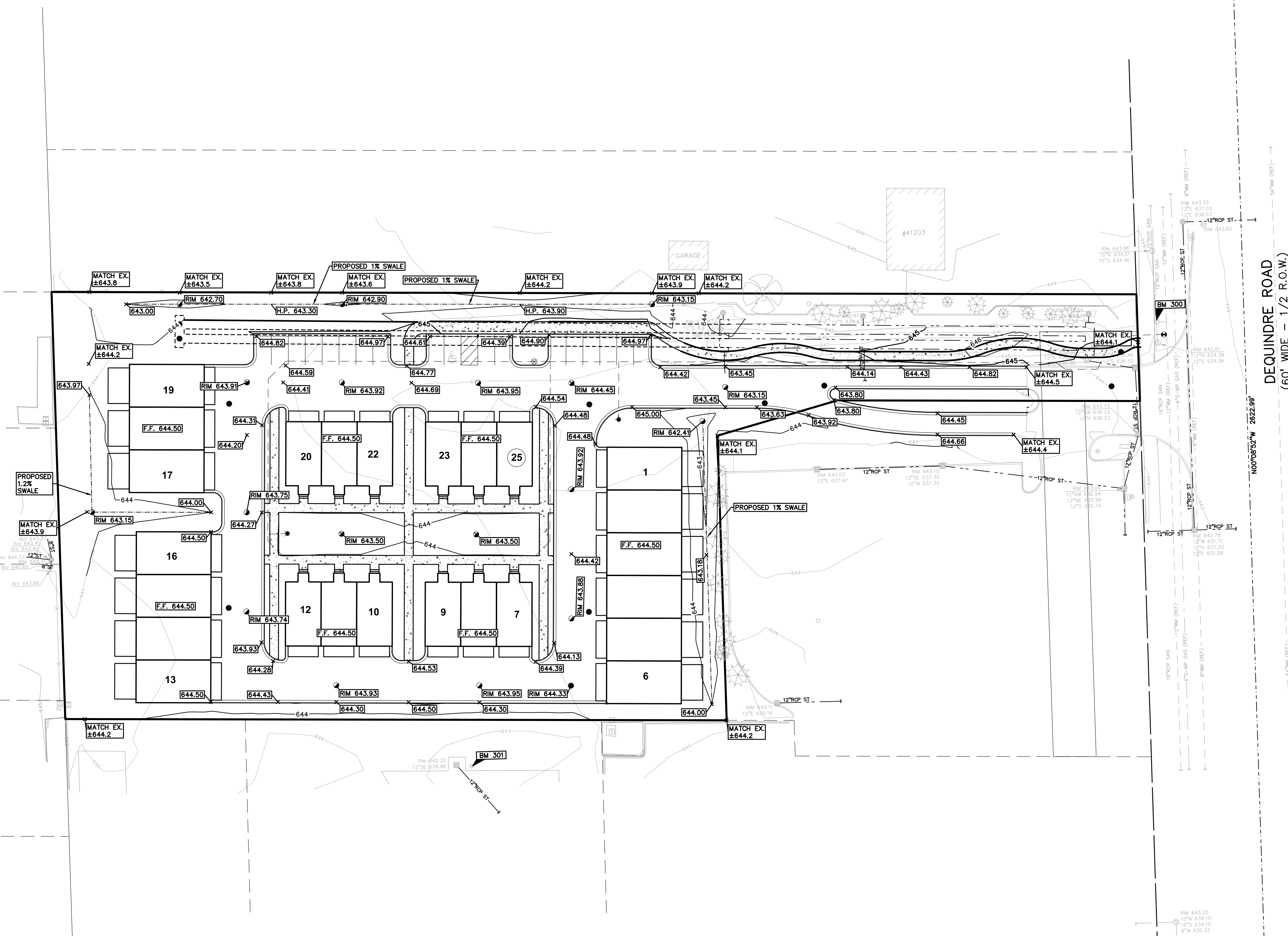
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 www.peagroup.com

NORTH

0 15 30 60
 SCALE: 1" = 30'

811 Know what's below. Call before you dig.

CAUTION!
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NOTE:
 ALL WORK IN THE DEQUINDRE ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE ROAD COMMISSION FOR OAKLAND COUNTY AND REQUIRES A PERMIT.

CLIENT
GFA DEVELOPMENT, INC.
 988 ELMSFORD DR.
 TROY, MI 48063

PROJECT TITLE
GFA 18 MILE & DEQUINDRE
 PART OF THE SE 1/4 OF SECTION 12, T.02N., R.11E, TROY, OAKLAND COUNTY, MI

REVISIONS	
CONDITIONAL REZONE APP.	6/8/21

ORIGINAL ISSUE DATE:
 SEPTEMBER 18, 2019

DRAWING TITLE
PRELIMINARY GRADING PLAN

PEA JOB NO.	2016-368
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-3.0**

S:\PROJECTS\2016\2016-368 GFA 18 MILE & DEQUINDRE-APP\DWG\18 MILE & DEQUINDRE-APP\DWG\18 MILE & DEQUINDRE-APP\DWG\18 MILE & DEQUINDRE-APP.dwg

Project: GFA 18 MILE & DEQUINDRE
Location: TROY, MI
Date: 9/16/2019
Project No: 2016-368

25 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)

Contributing Area (A): 2.39 AC.
Allowable Discharge (Qa): 0.48 C.F.S. (+0.2 CFS/AC)
Coefficient of Runoff (Cr): 0.56

Calculation of Required Discharge/Acre

$Q_o = ((Q_a)/(A))(C_r)$: 0.36
 $T = -25 + ((8062.5/Q_o))0.5$: 125.25

Storage Volume Required:

$V_s = (12900(T))/(T+25) - 40Q_o(T)$: 8964.29
 $V_t = (V_s)(A)(C_r)$: 11997.8

PIPE STORAGE:	
L=	612 ft
SIZE=	60 in.
C.F./F.T.=	19.625 c.f./ft.
VOLUME=	12,010.50 c.f.

**CALCULATIONS OF EXISTING U.G. DETENTION:
PER TACO BALL AS-BUILT DRAWINGS DATED 11-09-07.**

EXISTING UNDERGROUND 25 YEAR STORM DETENTION DESIGN
Contributing Area (A): 1.35 AC.
Allowable Discharge (Qa): 0.27 C.F.S. (+0.2 CFS/AC)
Coefficient of Runoff (Cr): 0.59

Calculation of Required Discharge/Acre

$Q_o = ((Q_a)/(A))(C_r)$: 0.34
 $T = -25 + ((8062.5/Q_o))0.5$: 129

Storage Volume Required:

$V_s = (12900(T))/(T+25) - 40Q_o(T)$: 9057
 $V_t = (V_s)(A)(C_r)$: 7214

PROVIDED STORAGE IN UNDERGROUND DETENTION

DETENTION SYSTEM PROVIDED: 80' SLOPP PIPE
STORAGE PER LINEAR FOOT OF PIPE: 19.63 C.F.
NUMBER OF ROWS PROVIDED: 2
LENGTH OF ROWS PROVIDED: 200 L.F.
TOTAL STORAGE VOLUME PROVIDED (2 X 200 X 19.63): 7852 C.F.

NOTE:
ALL WORK IN THE DEQUINDRE ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE ROAD COMMISSION FOR OAKLAND COUNTY AND REQUIRES A PERMIT.

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊗ NAIL & CAP SET	M MEASURED
		C CALCULATED

EXISTING

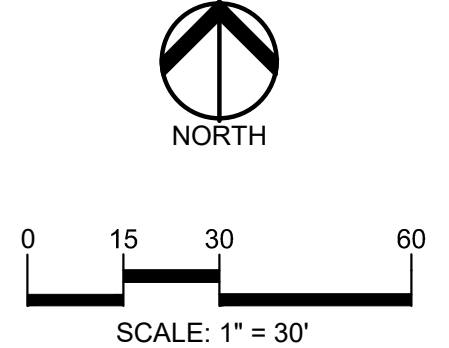
- OH-ELEC-W-ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV-UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE-TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC-ELECTRIC U.G. CABLE, MANHOLE, METER & MANHOLE
- GAS-MAN-VALVE & GAS LINE MANHOLE
- WATER-MAN-HYD. GATE VALVE, TAPPING BLEEDIE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIEN
- CONC. CONCRETE
- ASPH. ASPHALT
- GRAVEL SHOULDER
- WETLAND

PROPOSED

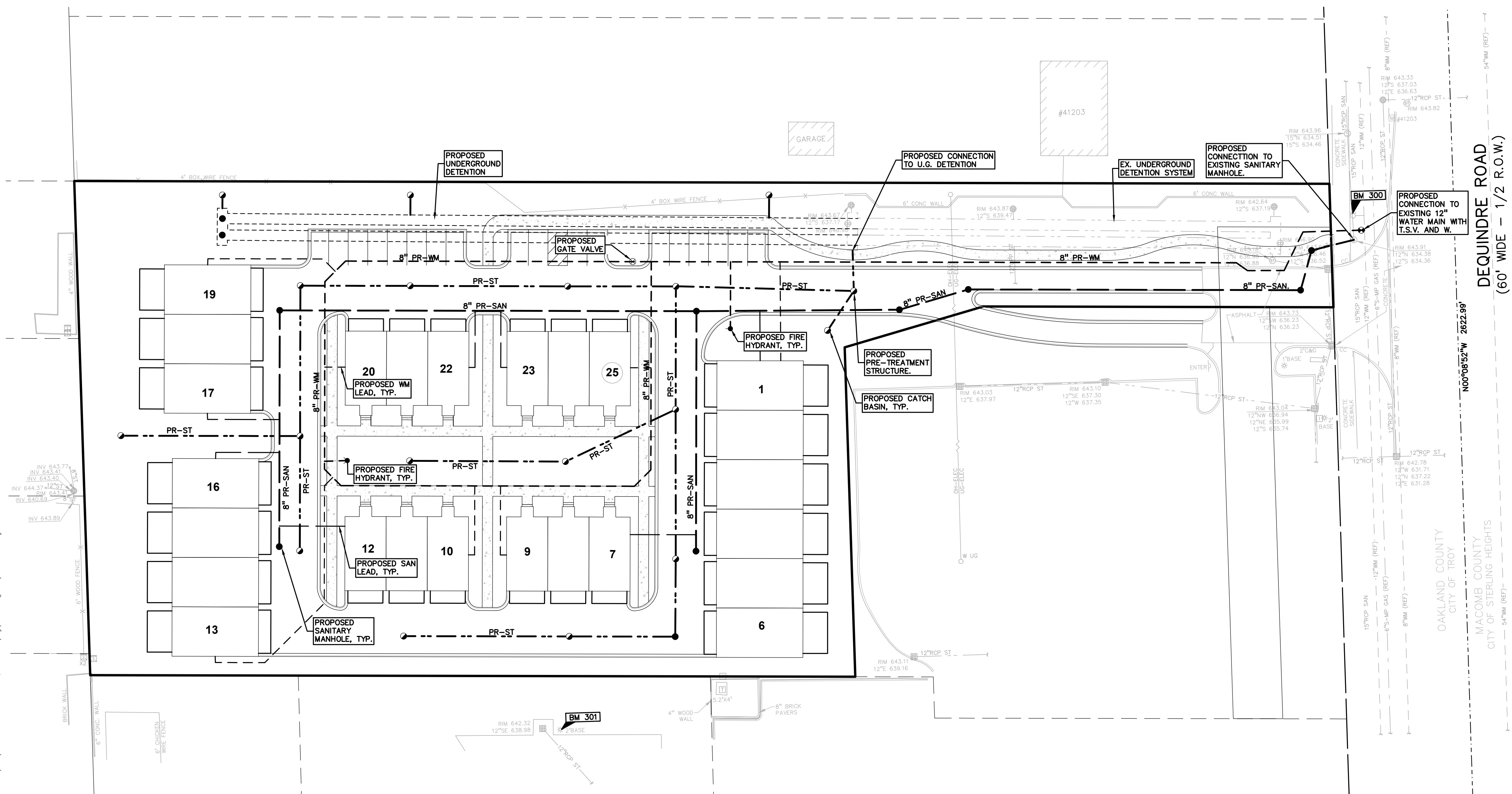
- 871.21
- 310 HEAVY FLOW DUTY ONLY
- 310 HEAVY FLOW DUTY STRENGTH

REFERENCE DRAWINGS

GAS - CONSUMERS ENERGY QUARTER SECTION MAP 02-61-12-4, DATED 10-21-05
CITY OF TROY UTILITY GIS MAP
CITY OF TROY UTILITY GIS MAP
TACO BELL GRADING AND UTILITY PLAN, DESIGN, INC. PROJECT NO. 61955, DWG. NAME 0662, DATED 11-07-07
TACO BELL SITE PLAN, DESIGN, INC. PROJECT NO. 61955, DWG. NAME 0555P, DATED 09-27-07



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CLIENT
GFA DEVELOPMENT, INC.
988 ELMSFORD DR.
TROY, MI 48063

PROJECT TITLE
GFA 18 MILE & DEQUINDRE
PART OF THE SE 1/4 OF SECTION 12,
T.02N., R.11E,
TROY, OAKLAND COUNTY, MI

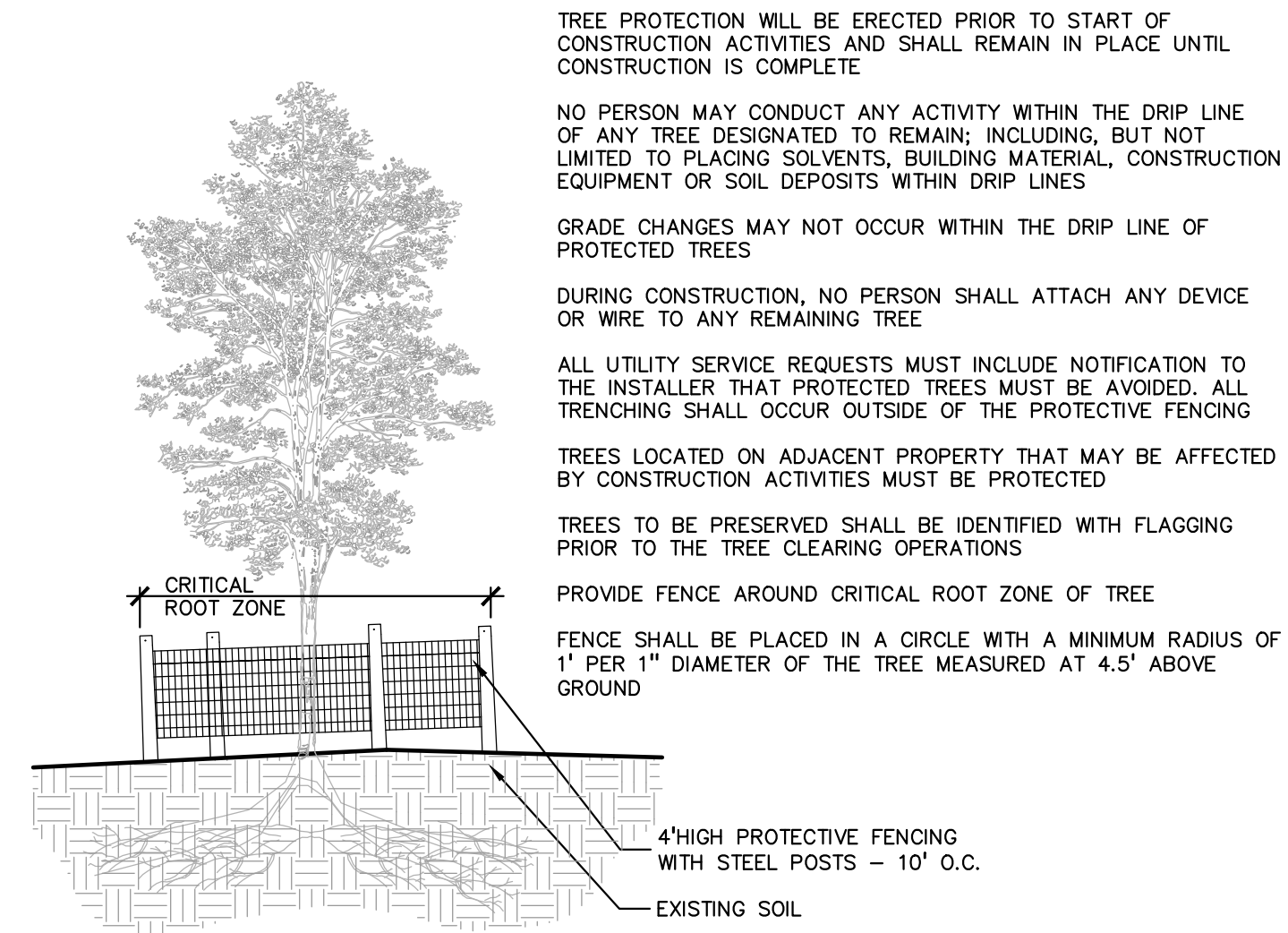
REVISIONS	
CONDITIONAL REZONE APP.	6/8/21

ORIGINAL ISSUE DATE:
SEPTEMBER 18, 2019

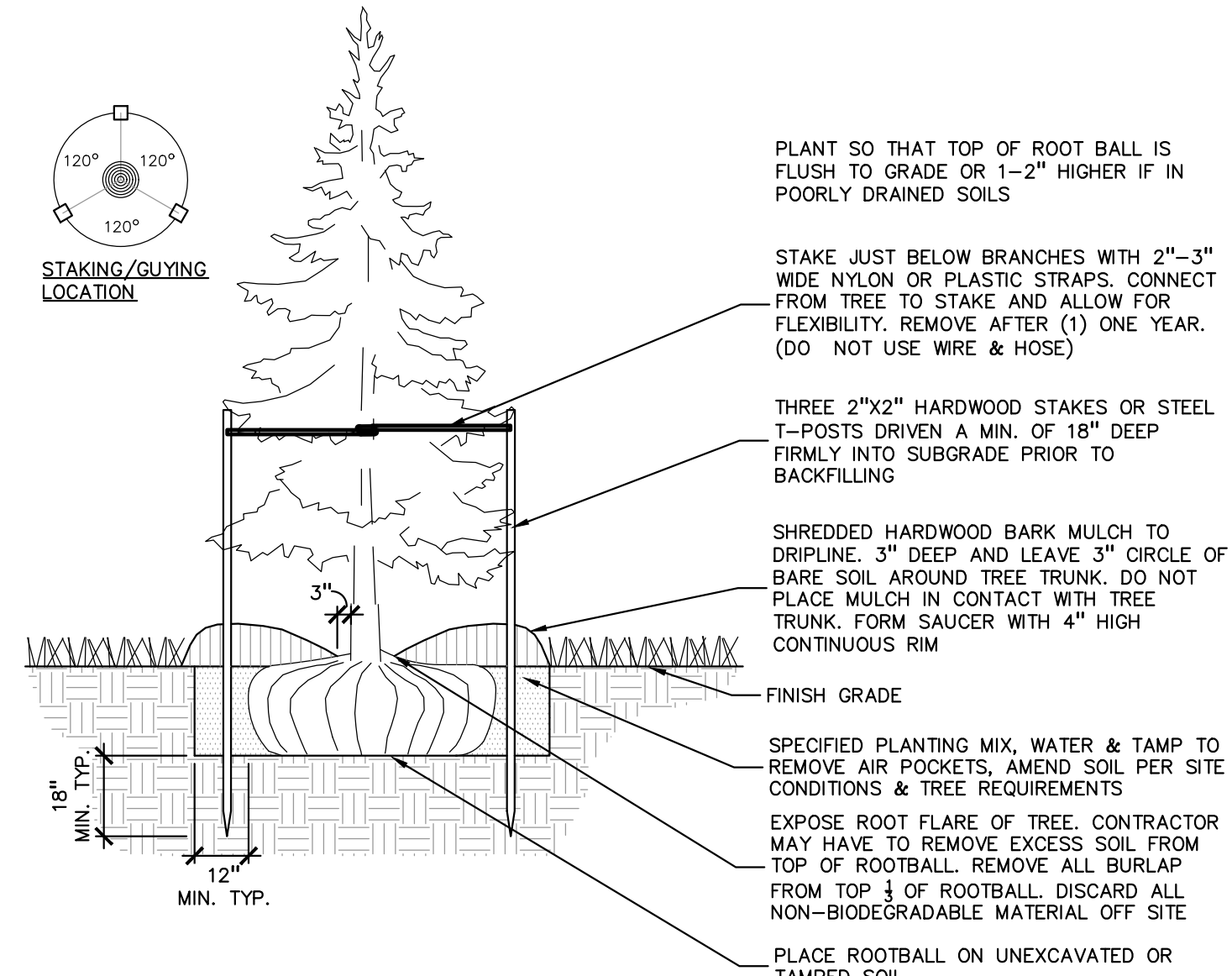
DRAWING TITLE
PRELIMINARY UTILITY PLAN

PEA JOB NO.	2016-368
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

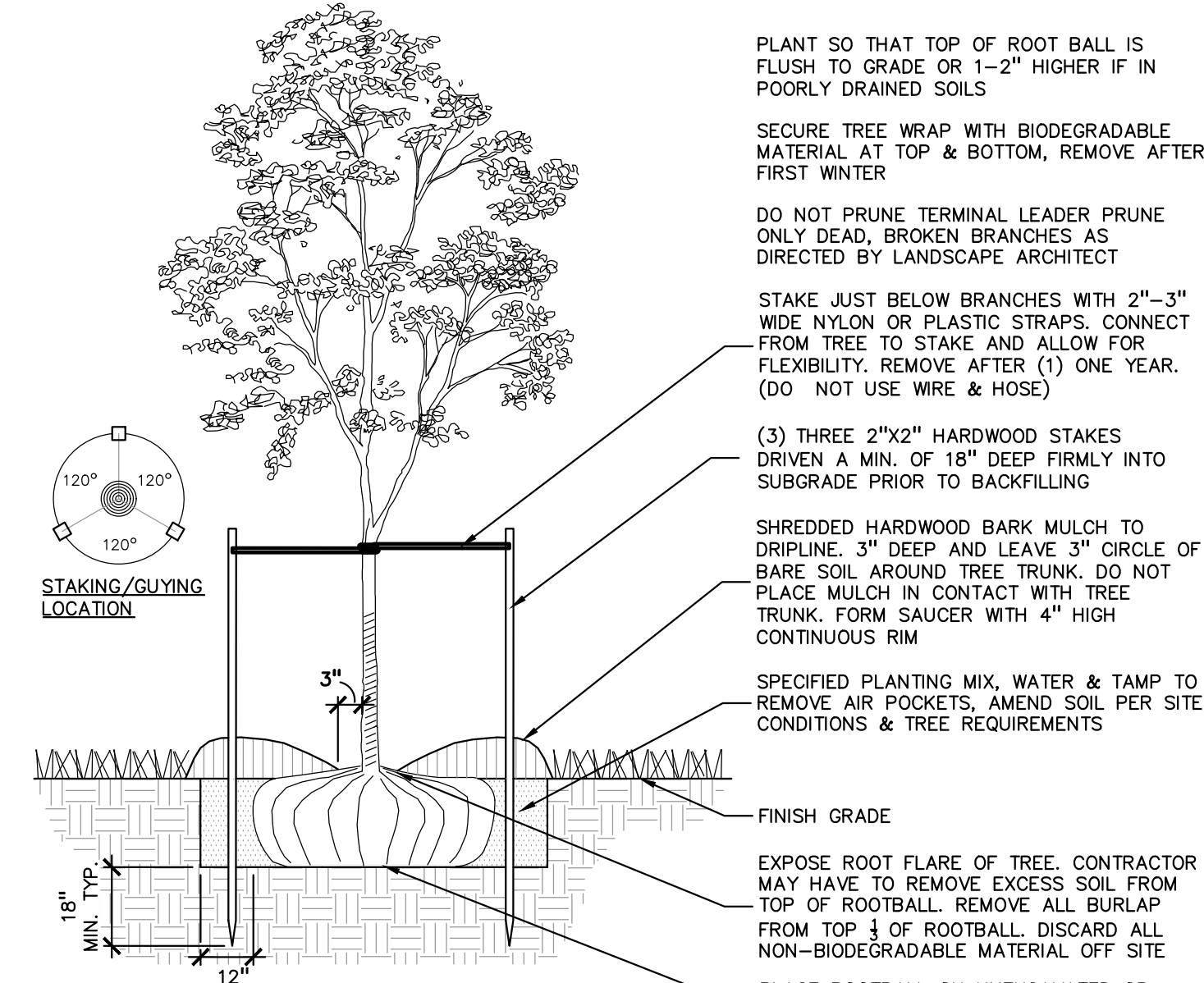
DECIDUOUS TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	AS2.5	Sugar Maple	<i>Acer saccharum</i> 'Green Mountain'	2.5" Cal.	B&B
2	QR2.5	Red Oak	<i>Quercus rubra</i>	2.5" Cal.	B&B
5	TOTAL DEC.				
EVERGREEN TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
7	AC8	Concolor Fir	<i>Abies concolor</i>	8' Ht.	B&B
7	PA8	Norway Spruce	<i>Picea abies</i>	8' Ht.	B&B
8	PC8	Columnar Norway Spruce	<i>Picea abies</i> 'Cupressina'	8' Ht.	B&B
14	PG8	Black Hills Spruce	<i>Picea glauca</i> 'Densata'	8' Ht.	B&B
5	PO8	Serbian Spruce	<i>Picea omorika</i>	8' Ht.	B&B
6	PB8	Lacebark Pine	<i>Pinus bungeana</i>	8' Ht.	B&B
11	PN8	Austrian Pine	<i>Pinus nigra</i>	8' Ht.	B&B
7	PS8	Eastern White pine	<i>Pinus strobus</i>	8' Ht.	B&B
65	TOTAL EVG.				



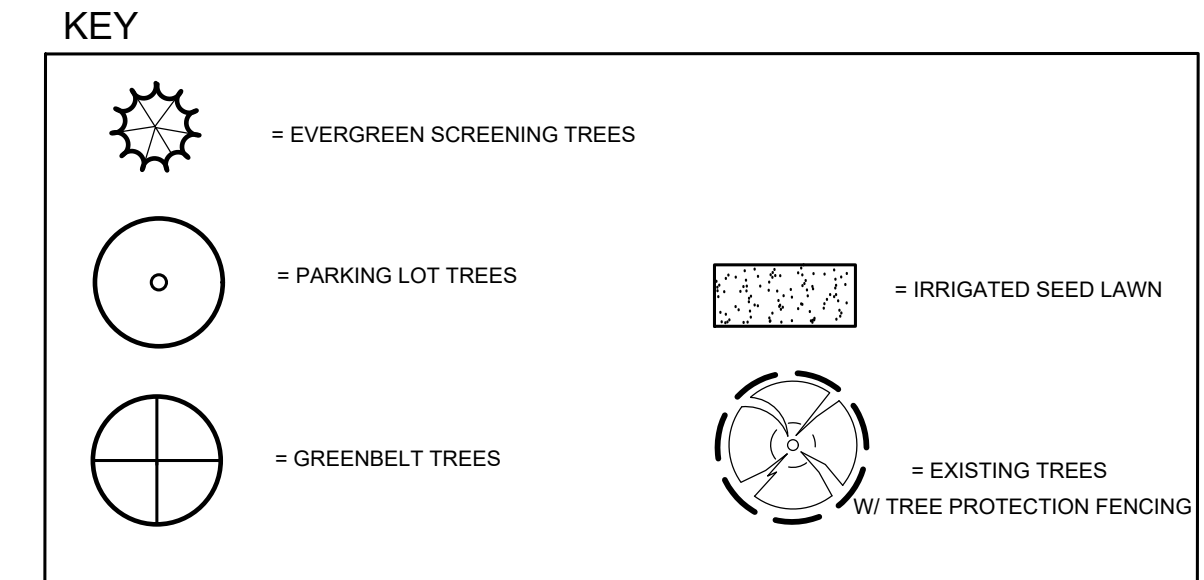
3 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"



2 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



LANDSCAPE CALCULATIONS:
PER CITY OF TROY ZONING ORDINANCE; NN

GREENBELT TREES
REQUIRED: 1 DEC TREE / 30 LF OF STREET FRONTAGE. 60' OF RIGHT OF WAY / 30 = 2 DEC TREES REQUIRED.
PROVIDED: 2 PROPOSED TREES

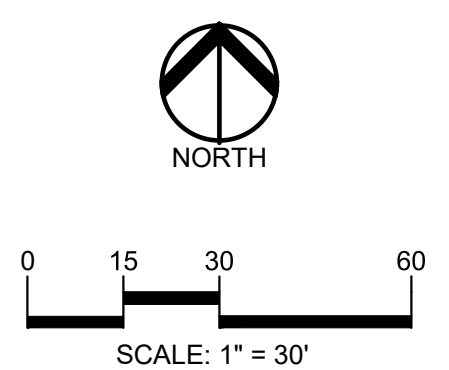
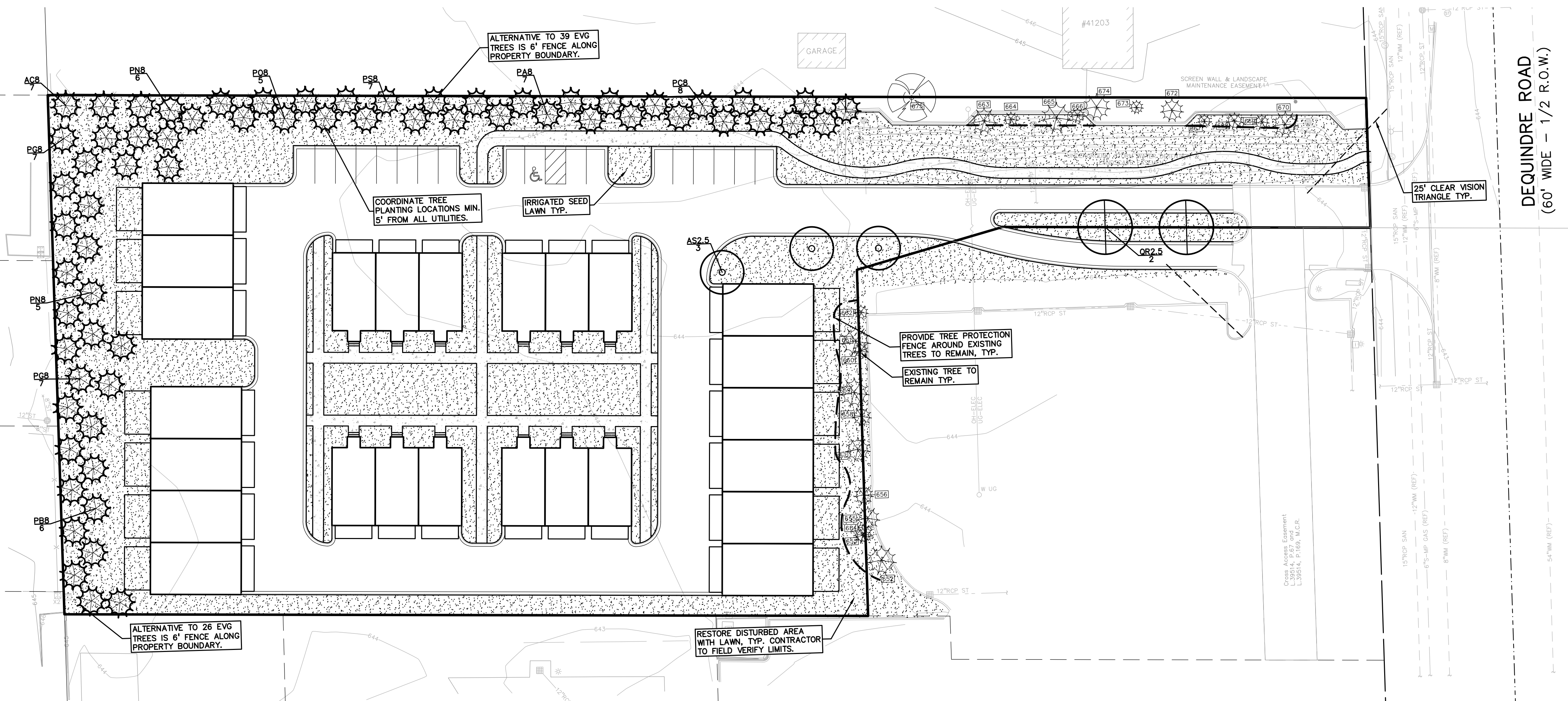
PARKING LOT TREES
REQUIRED: 1 TREE / 8 PARKING SPACES. 18 SPACES / 8 = 3 TREES
PROVIDED: 3 TREES

REPLACEMENT TREES
REQUIRED: REPLACE 50% OF REMOVED DBH OF WOODLAND TREES, AND 100% OF REMOVED LANDMARK TREES DBH. 1 WOODLAND AND 1 LANDMARK TREES REMOVED, SEE CALCULATIONS THIS SHEET. 38+ DBH CREDIT SAVED, 0 REPLACEMENT TREES REQUIRED.
PROVIDED: 27 EXISTING TREES SAVED, NO REPLACEMENT REQUIRED.

SCREENING TREES
REQUIRED: 1 LARGE EVG TREE / 10 LF (USE ALT 2: MULTIFAMILY ADJACENT TO SINGLE FAMILY RESIDENTIAL -NORTH & WEST).
- NORTH: 370 LF / 10 = 37 LG EVG (6' FENCE ALONG REMAINING PROPERTY BOUNDARY).
- WEST: 240 LF / 10 = 24 LG EVG
PROVIDED: 65 TREES (NORTH- 39 LG EVG; WEST- 26 LG EVG)

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.



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REVISIONS
CONDITIONAL REZONE APP. 6/8/21

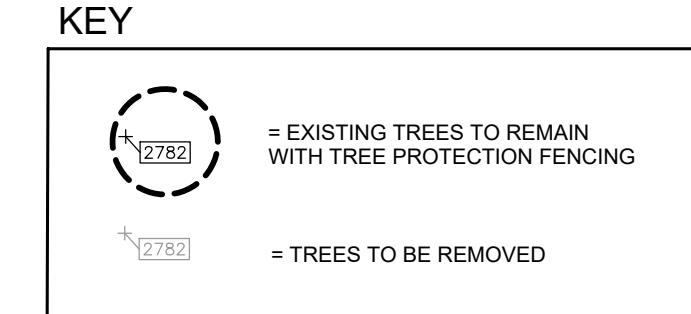
ORIGINAL ISSUE DATE:
SEPTEMBER 18, 2019

DRAWING TITLE
PRELIMINARY LANDSCAPE PLAN

PEA JOB NO. 2016-368
P.M. JBT
DN. TMK
DES. TMK
DRAWING NUMBER:

TAG	CODE	DBH	COMMON NAME	LATIN NAME	COND	NOTE	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
601	EE	25	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
602	NS	6	Norway Spruce	Picea Abies	Very Poor		WOODLAND	R	Y	-
603	EE	14	Siberian Elm	Ulmus pumila	Fair	1	INVASIVE	R	Y	-
604	GC	6	Choke Cherry	Prunus-virginia	Poor		WOODLAND	R	Y	-
605	EE	6	Siberian Elm	Ulmus pumila	Good		INVASIVE	R	Y	-
606	EE	22	Siberian Elm	Ulmus pumila	Good		INVASIVE	R	Y	-
607	EE	7	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
608	EE	22	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
609	EE	25	Siberian Elm	Ulmus pumila	Good		INVASIVE	R	Y	-
610	EE	6	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
611	EE	13	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
612	EE	14	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
613	EE	17	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
614	EE	13	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
615	EE	19	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
616	EE	8	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
617	EE	24	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
618	EE	14	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
619	EE	12	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
620	EE	13	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
621	EE	18	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
622	EE	8	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
623	EE	8	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
624	EE	9	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
625	EE	20	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
626	EE	9	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
627	EE	11	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
628	EE	8	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
629	EE	20	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
630	EE	13	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
631	EE	6	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
632	EE	19	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
633	MW	8	White Mulberry	Morus-alba	Fair		INVASIVE	R	Y	-
634	EE	12	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
635	EE	14	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
636	EE	8	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
637	EE	20	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-

TAG	CODE	DBH	COMMON NAME	LATIN NAME	COND	NOTE	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
638	EE	9	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
639	EE	22	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
640	MW	7	White Mulberry	Morus-alba	Poor		INVASIVE	R	Y	-
641	E	12	American Elm	Ulmus-americana	Fair		INVASIVE	R	Y	-
642	EE	8	Siberian Elm	Ulmus pumila	Very Poor		INVASIVE	R	Y	-
643	EE	22	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
644	BW	7	Black Walnut	Juglans-nigra	Poor		WOODLAND	R	Y	-
645	CA	11	Crab Apple	Malus-cornifolia	Very Poor		WOODLAND	R	Y	-
646	EE	20	Siberian Elm	Ulmus pumila	Poor		INVASIVE	R	Y	-
647	E	10	American Elm	Ulmus-americana	Good		INVASIVE	R	Y	-
648	EE	16	Siberian Elm	Ulmus pumila	Good		INVASIVE	R	Y	-
649	EE	7	Siberian Elm	Ulmus pumila	Fair		INVASIVE	R	Y	-
650	BX	20	Box elder	Acer-negundo	Very Poor		INVASIVE	S	Y	-
651	EE	13	Siberian Elm	Ulmus pumila	Fair	1	INVASIVE	R	Y	-
652	DF	13	Douglas Fir	Pseudotsuga-menziessii	Good		WOODLAND	S	Y	-
653	BS	6	Blue Spruce	Picea-pungens	Good		WOODLAND	S	Y	-
654	NS	8	Norway Spruce	Picea-Abies	Good		WOODLAND	S	Y	-
655	NS	10	Norway Spruce	Picea-Abies	Good		WOODLAND	S	Y	-
656	BS	7	Blue Spruce	Picea-pungens	Poor		WOODLAND	S	Y	-
657	NS	10	Norway Spruce	Picea-Abies	Good		WOODLAND	S	Y	-
658	BS	7	Blue Spruce	Picea-pungens	Good		WOODLAND	S	Y	-
659	NS	13	Norway Spruce	Picea-Abies	Fair		WOODLAND	S	Y	-
660	NS	6	Norway Spruce	Picea-Abies	Good		WOODLAND	S	Y	-
661	NS	14	Norway Spruce	Picea-Abies	Good		WOODLAND	S	Y	-
662	BS	6	Blue Spruce	Picea-pungens	Good		WOODLAND	S	Y	-
663	DF	13	Douglas Fir	Pseudotsuga-menziessii	Good		WOODLAND	S	Y	-
664	BS	7	Blue Spruce	Picea-pungens	Good		WOODLAND	S	Y	-
665	DF	15	Douglas Fir	Pseudotsuga-menziessii	Good		WOODLAND	S	Y	-
666	BS	6	Blue Spruce	Picea-pungens	Good		WOODLAND	S	Y	-
667	BS	6	Blue Spruce	Picea-pungens	Fair		WOODLAND	S	Y	-
668	DF	8	Douglas Fir	Pseudotsuga-menziessii	Good		WOODLAND	S	Y	-
669	BS	7	Blue Spruce	Picea-pungens	Good		WOODLAND	S	Y	-
670	NS	12	Norway Spruce	Picea-Abies	Good		WOODLAND	S	Y	-
671	FC	6	Flowering Cherry	Prunus-spp.	Good		WOODLAND	R	Y	REPLACE
672	DF	11	Douglas Fir	Pseudotsuga-menziessii	Good		WOODLAND	S	Y	-
673	BS	7	Blue Spruce	Picea-pungens	Good		WOODLAND	S	Y	-
674	NS	12	Norway Spruce	Picea-Abies	Good		WOODLAND	S	Y	-
675	RB	22	River Birch	Betula-nigra	Fair		LANDMARK	R	Y	REPLACE



WOODLAND TREES

WOODLAND TREES REMOVED: 1 (REPLACE AT 50% OF REMOVED DBH)

6" DBH x 0.5 = 3" REPLACEMENT

WOODLAND TREES SAVED: 21 (CREDIT OF 2X DBH)

197 DBH x 2 = 394" CREDIT

3 - 394 = -391

" " DBH REQUIRED FOR WOODLAND REPLACEMENT

LANDMARK TREES

LANDMARK TREES REMOVED: 1 (REPLACE AT 100% OF REMOVED DBH)

22" DBH x 1 = 22" REPLACEMENT

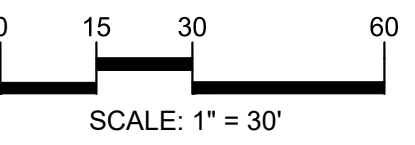
LANDMARK TREES SAVED: 0 (CREDIT OF 2X DBH)

" " DBH x 2 = " CREDIT

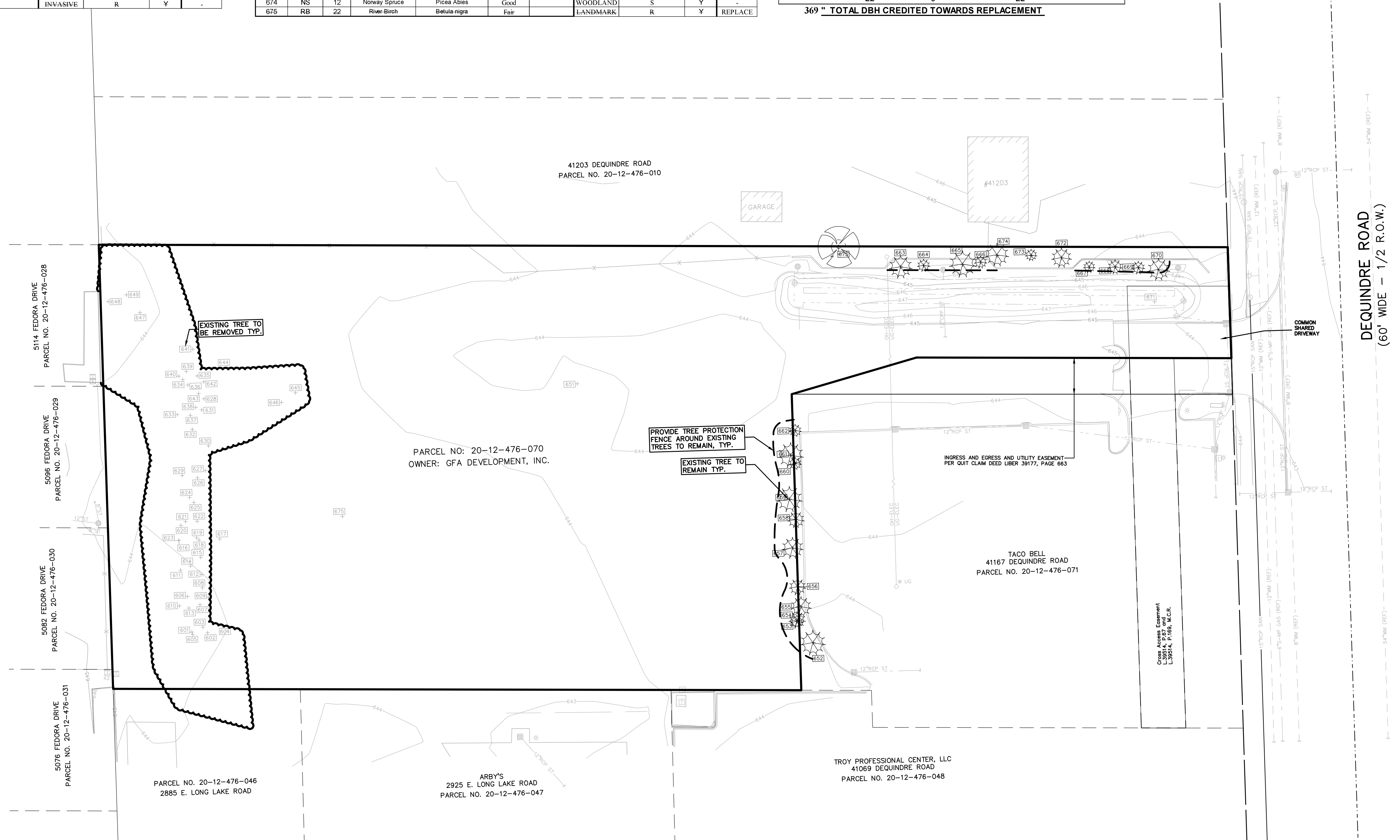
22 - 0 = 22

369" TOTAL DBH CREDITED TOWARDS REPLACEMENT

PEA GROUP
t: 844.813.2949
www.peagroup.com



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
GFA DEVELOPMENT, INC.
988 ELMFORD DR.
TROY, MI 48063

PROJECT TITLE
GFA 18 MILE & DEQUINDRE
PART OF THE SE 1/4 OF SECTION 12,
T.02N., R.11E.
TROY, OAKLAND COUNTY, MI

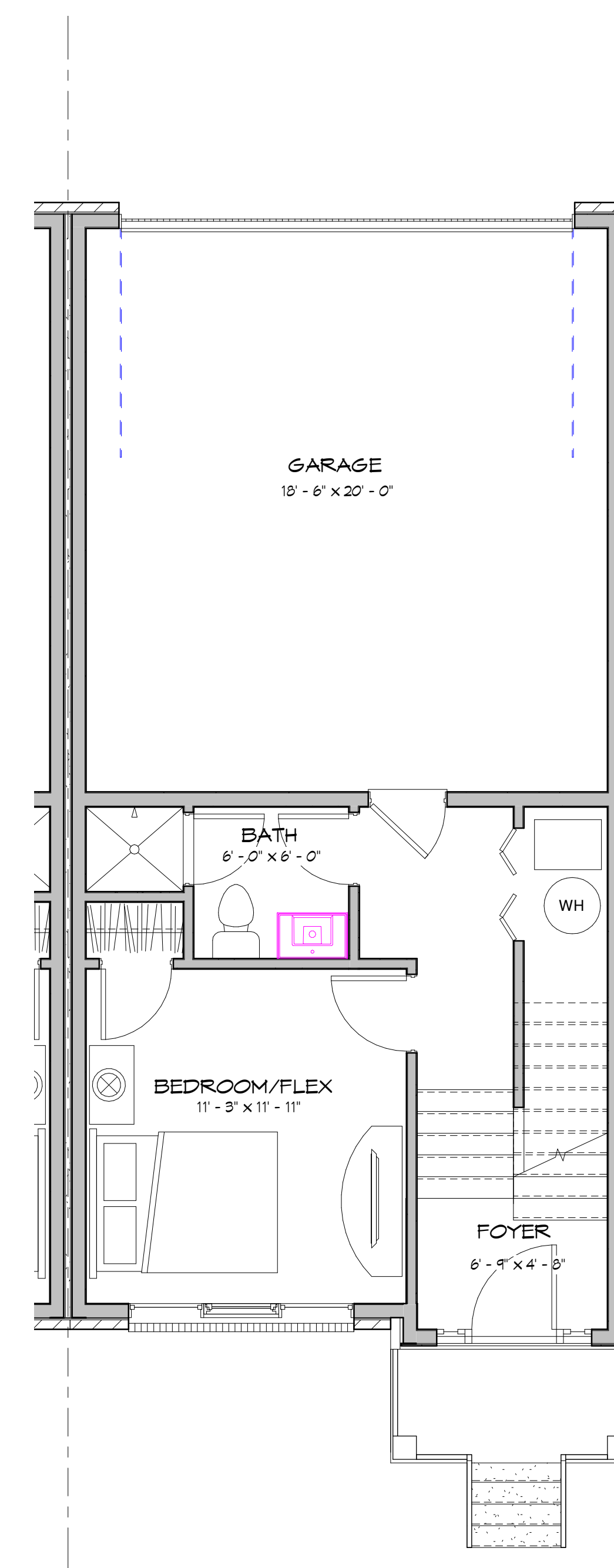
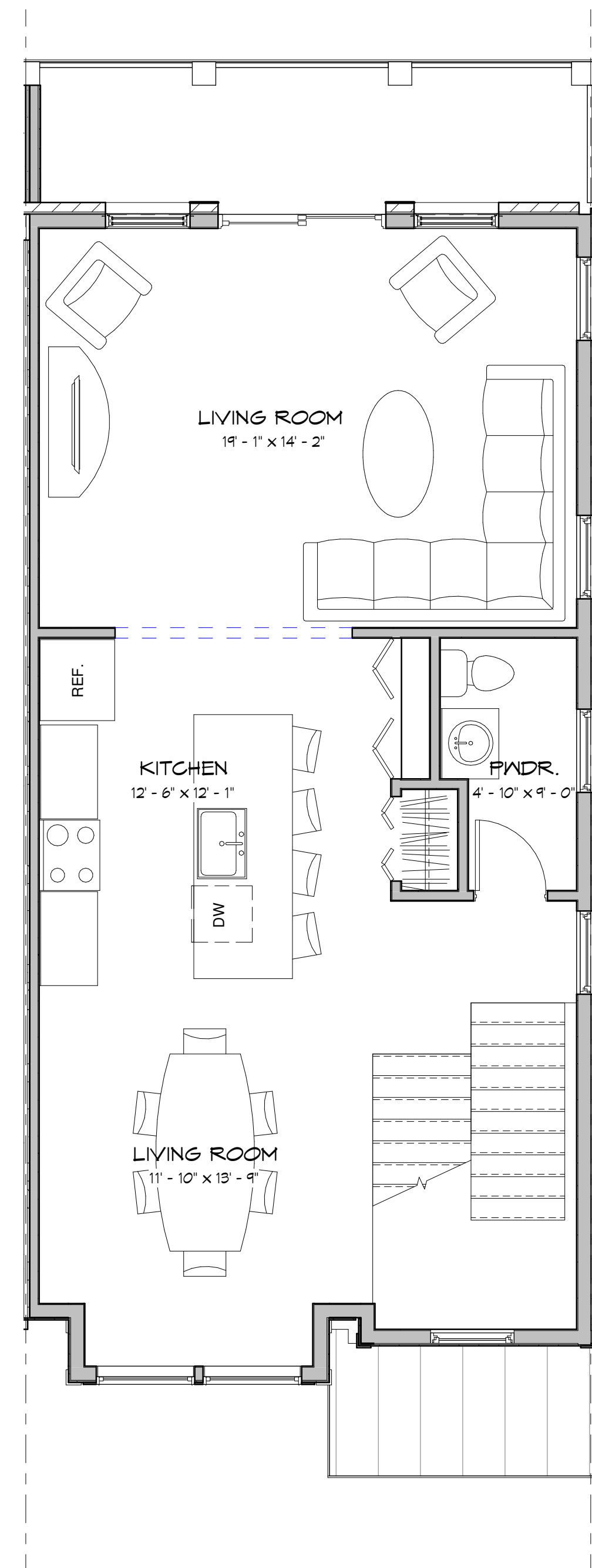
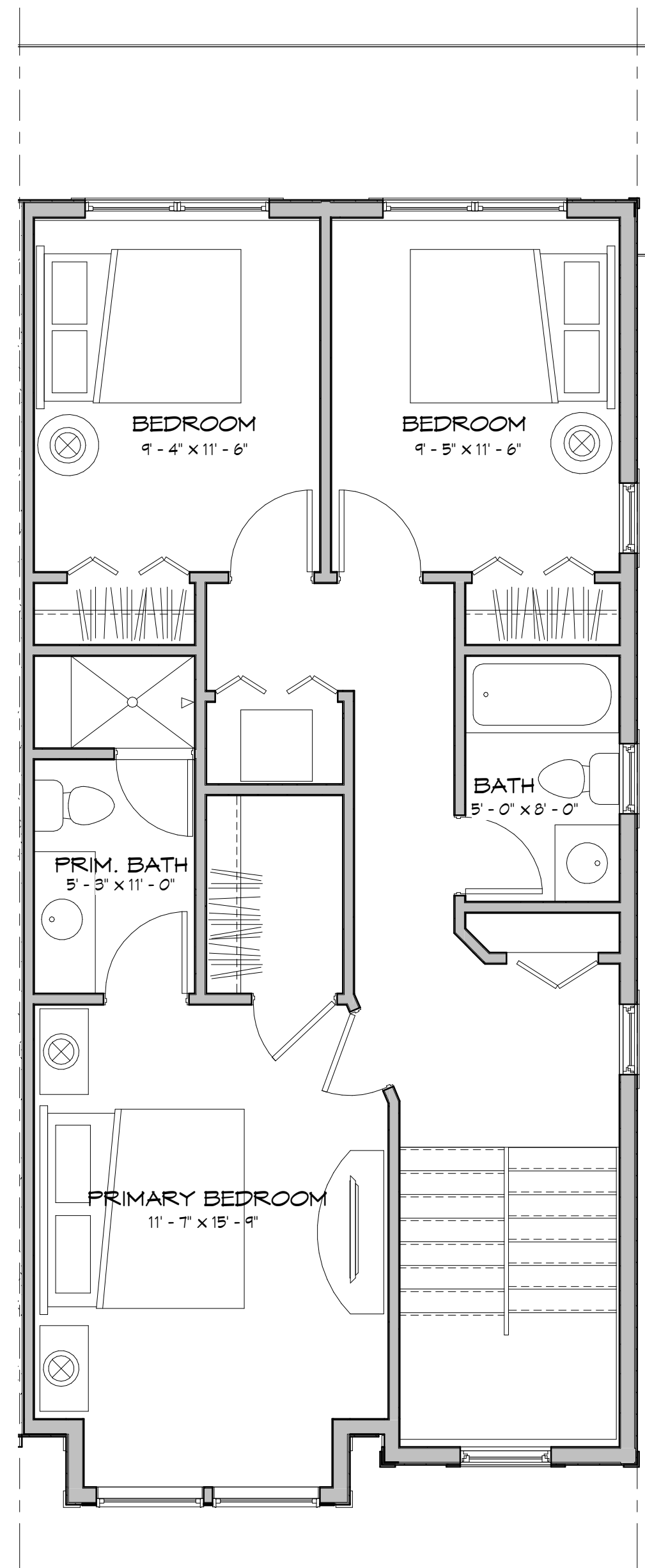
REVISIONS	DATE
CONDITIONAL REZONE APP.	6/8/21

ORIGINAL ISSUE DATE:
SEPTEMBER 18, 2019
DRAWING TITLE
PRELIMINARY PRESERVATION PLAN

PEA JOB NO.	2016-368
P.M.	JBT
DN.	TMK
DES.	TMK
DRAWING NUMBER:	

NOT FOR CONSTRUCTION T-1.0

S:\PROJECTS\2016\2016-368_GFA_18_MILE & DEQUINDRE--P5\04\PreservPlan\1-10_TREE_PRESERVATION-0368.dwg



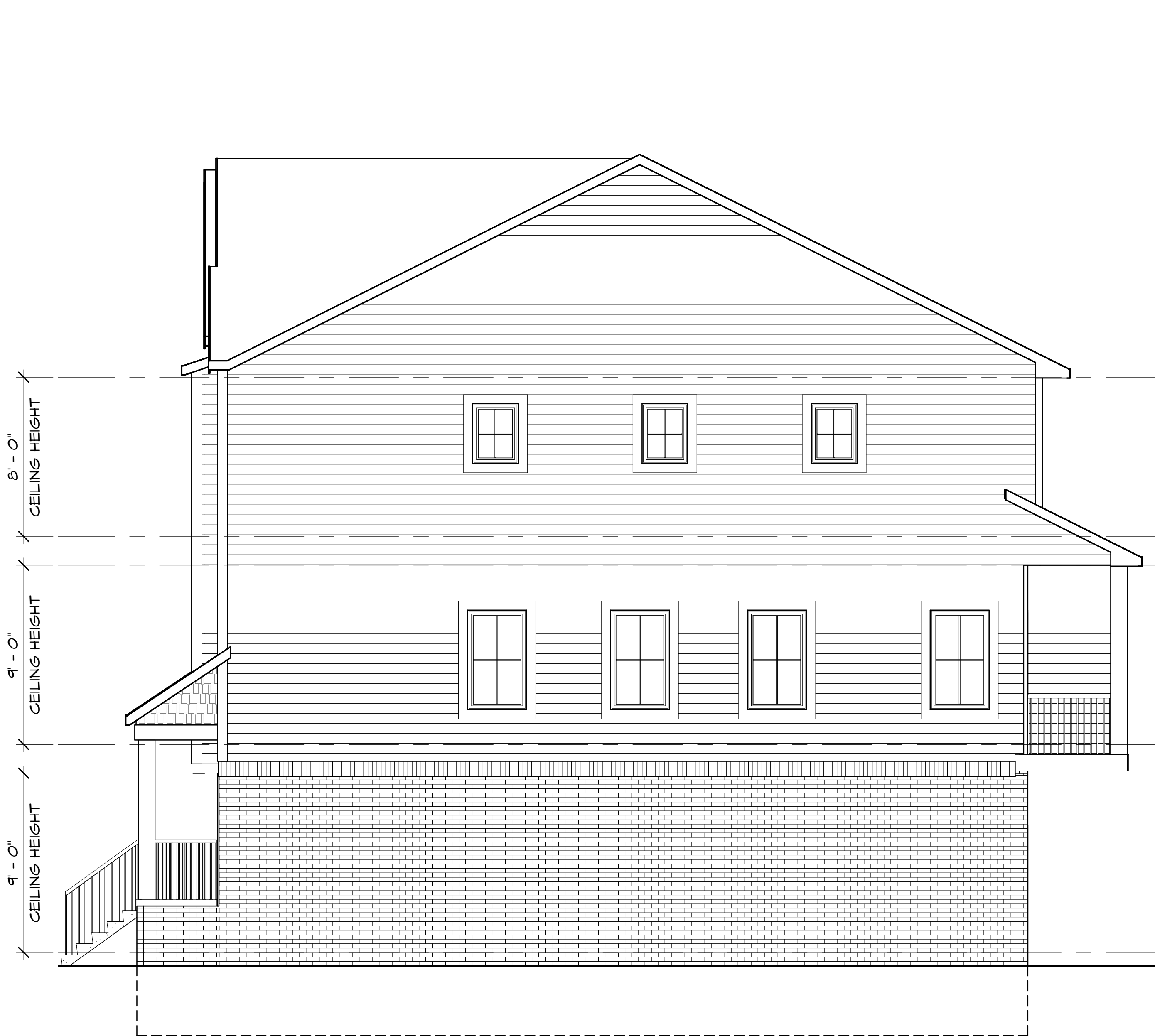


Left Elevation

Scale: 1/4" = 1'-0"

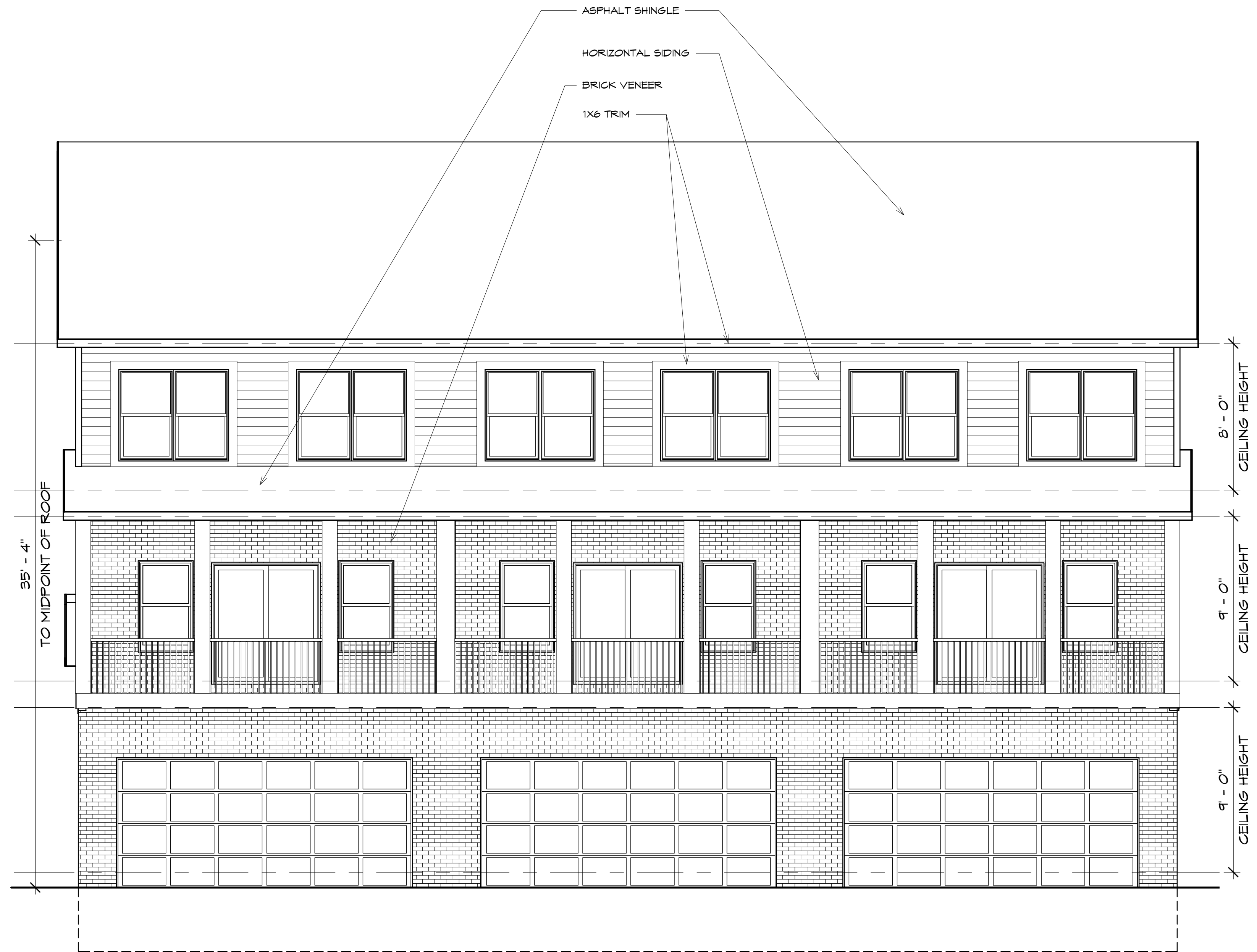
Front Elevation

Scale: 1/4" = 1'-0"



Right Elevation

Scale: 1/4" = 1'-0"



Rear Elevation

Scale: 1/4" = 1'-0"



3D VIEW

PEA GROUP



2430 Rochester Court, Suite 100
Troy, MI 48083

844.813.2949
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October 21, 2021
PEA Project No: 2016-368

Mr. Brent Savidant
Community Development Director
City of Troy Planning Department
500 W. Big Beaver
Troy, MI 48084

**RE: Conditional Rezoning Application
Parcel # 20-12-476-070
Dequindre Road, north of E. Long Lake Road
City of Troy, Oakland County, Michigan**

Dear Mr. Savidant:

On behalf of **GFA Development, Inc**, we respectfully request a change in the zoning for Parcel # 20-12-476-070.

Pursuant to the provisions of the Michigan Zoning Enabling Act, P.A. 110 of 2006, as amended, and pursuant to all applicable provisions of law, we are requesting the Zoning Map of the City of Troy be amended to conditionally rezone Parcel Number 20-12-476-070, from Neighborhood Node J and EP to Neighborhood Node J, in order to construct 7-attached single-family dwelling buildings totally 25-units.

Location & Existing Conditions:

The property is located on the east side of Dequindre Road just north of the East Long Lake Road intersection (behind Taco Bell). The parcel is 2.389 acres in size and is currently undeveloped. Surrounding uses include single-family dwellings to the north and west. To the east and south are commercial businesses.

A shared drive exists for the subject parcel and Taco Bell. A landscaped berm, mature trees and 6' high concrete screen wall separate the adjacent residential home and Taco Bell. Underground detention for the Taco Bell is located under the berm.

Existing Zoning & Future Land Use:

Most of the site is zoned NN (Neighborhood Node). The northerly 40-feet of the property is zoned EP (Environmental Protection), to provide a buffer to the adjacent R-1C zoning (One Family Residential District). **(See Exhibit A)**

Prior to 2006, the City of Troy Zoning Ordinance did not have a zoning mechanism to provide open space buffers. Even though there may not be environmentally sensitive issues, the EP (Environmental Protection) zoning district was commonly used to provide a buffer between two different zoning classifications.

According to the Master Plan, The Future Land Use for the subject parcel is Neighborhood Node.

Proposed Use & Site Plan:

Under the proposed rezoning (*see Exhibit B*), the entire site would become a part of the Neighborhood Node J. The existing screen wall and trees would remain adjacent to Taco Bell and new Landscape screening would be provided along the northerly and westerly property lines (residential zoned areas).

With exception to the proposed guest parking, the area currently designated EP will remain an open space buffer.

The existing underground detention area will be expanded to the west to provide the required storm water detention for this development.

The proposed development (*see Site Plan Sheets C-0.0, C-1.0, C-2.0, C-3.1, C-4.0, L-1.0, T-1.0*), shall be limited to 7-buildings and 25 total units. Each unit is an attached three-story single-family residential unit. Each unit will be 1,400 to 1,700-SF and include an attached 2-car garage. The buildings materials shall consist of a mix of brick, asphalt shingles, plank siding, with variety of color palates and durable low-maintenance or maintenance free materials.

Voluntary Conditions:

Under Section 405 of the Zoning Enabling Act, the petitioner voluntarily offers uses and restrictions of the property as a condition to rezoning the land. These conditions result in recognizable and material benefits to the city that would unlikely be achieved otherwise under the site's existing zoning.

The following conditions are provided voluntarily as conditions of rezoning approval:

1. The Site Plan is a condition of approval.
2. Screen wall and trees adjacent to Taco Bell shall remain.
3. Development shall be limited to a maximum of 7-buildings with 25 total units.
4. Maximum Building Height shall not exceed 3 story or 35'4" in height.
5. Minimum guaranteed Open Space shall be 15%.
6. Minimum guaranteed Landscape Area shall be 15%
7. Building Materials shall be a mix of brick, asphalt shingles, plank siding, with variety of color palates and durable low-maintenance or maintenance free materials.
8. Each Unit shall have a 2-car garage. A minimum of 10-guest parking space shall be provided.
9. No exterior refuse containers shall be proposed. Individual waste and recycling containers shall be stored in each unit's garage and placed at the curb on collection days.
10. Minor modifications to the site plan shall be permitted and administratively approved by the Community Development Director. Minor changes would not adversely or substantially affect the conditions of the rezoning.

Rezoning Standards:

As set forth in Section 16.03.C, the Planning Commission shall consider the following:

1. The proposed rezoning is consistent with the Master Plan. If the current zoning is in the material conflict with the Master Plan, such conflict is does to one of the following:

- a. A change in City policy since the Master Plan was adopted.*
- b. A change in conditions since the Master Plan was adopted.*
- c. An error in the Master Plan.*

- The City of Troy Master Plan designates the subject parcel as Neighborhood Node J.
- Node J is defined as predominantly commercial, catering to both local needs and regional traffic, new development and redevelopment should be mostly commercial, identifying opportunities for small office mixed-use and variations in floor area to allow for a wide range of commercial types. Pedestrian access to the adjoining area and effective screening should be primary areas of focus during the site design process.
- The proposed townhouse development is a less intense use than a commercial or small office mixed-use.
- Landscape screening will be provided along residential zoning districts.

2. The proposed rezoning will not cause nor increase any non-conformity.

- There are no natural features to protect on this parcel, as per the definition of EP. The EP zoned area was provided to create an open space buffer from the commercial businesses to the single-family residence.
- Rezoning the EP area to Neighborhood Node will not provide any noticeable visual difference to what is currently provided. The proposed screening satisfies the intent to provide a buffer as was intended by the then Planning Commission. Additional landscape screening will be provided along the northerly property line.

3. Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

- The proposed number of multiple-family dwelling units is compatible with surrounding uses and zoning in terms of:
 - Environment
 - Density
 - Traffic volumes
 - Aesthetics
 - Infrastructure
 - Potential influence on property values
- All public utilities are available at the property and sized to accommodate the develop.
- Dequindre Road is capable of safely and efficiently accommodating expected traffic volumes generated by the proposed number of multiple-family dwelling units.

4. The rezoning will not impact public health, safety, or welfare.

- The capacity of public utilities and services is sufficient to accommodate the proposed number of multiple-family dwelling units without compromising the city's health, safety and welfare.

5. The rezoning will ensure compatibility with adjacent uses of land.

- Rezoning to NN is constant with the Future Land Use Map.
- The proposed number of multiple-family dwelling units is consistent with the characteristics of surrounding buildings and uses.
- Rezoning would create a uniform district that could not be provided prior to the Michigan Zoning Enabling Act.
- The Townhouse development will provide a transition between the Commercial Businesses and the Single-Family District.

Rezoning Standards / Reasons of Recommendation:

- A. Creates a uniform Zoning district that could not be provided prior to the Michigan Zoning Enabling Act.
- B. The site's physical and other environmental features are compatible with the proposed number of multiple-family dwelling units.
- C. The proposed number of multiple-family dwelling units is compatible with surrounding uses and zoning in terms of the environment, density, traffic volumes, aesthetics, infrastructure, and potential influence on property values.
- D. The street system is capable of safely and efficiently accommodating expected traffic volumes generated by the proposed number of multiple-family dwelling units.
- E. The capacity of public utilities and services is sufficient to accommodate the proposed number of multiple-family dwelling units without compromising the city's health, safety and welfare.
- F. There is an apparent demand in the City for multiple-family dwelling units in relation to the amount of land in the city currently zoned and available to accommodate the demand.
- G. The rezoning of the property does not unreasonably impact the adjacent properties.

The proposed rezoning will allow the site to be developed in a manner consistent with the City of Troy's Master Plan and maintain the intended open space buffer between proposed condominium and the existing single-family homes.

Thank you for your consideration,

PEA Group, Inc.

John B. Thompson, PE
Senior Project Manager

Cc: Gary Abitheira, GFA Development, Inc.

Attachment: Application
Exhibit A – Existing Zoning
Exhibit B – Proposed Zoning
Exhibit C – Site Plan