



500 West Big Beaver
Troy, MI 48084
troymi.gov

248.524.3364
planning@troymi.gov

PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

David Lambert, Chairman, Marianna Perakis, Vice Chairman
Carlton Faison, Michael W. Hutson, Tom Krent,
Lakshmi Malalahalli, Sadek Rahman and John J. Tagle

February 22, 2022

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – February 8, 2022
4. PUBLIC COMMENT – For Items Not on the Agenda

SPECIAL USE APPROVAL

5. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN APPROVAL (File Number SP JPLN2021-0027) – Proposed 780 West Maple (North) Industrial Building, East side of Barrett, North of Maple (PIN 88-20-28-304-029), Section 28, Currently Zoned MR (Maple Road) District.

OTHER ITEMS

6. PUBLIC COMMENTS – For Items on the Agenda
7. PLANNING COMMISSION COMMENT
8. ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Lambert called the Regular meeting of the Troy City Planning Commission to order at 7:01 p.m. on February 8, 2022, in the Council Chamber of the Troy City Hall. Chair Lambert and Vice Chair Perakis presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Carlton M. Faison
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- Sadek Rahman
- John J. Tagle

Also Present:

- R. Brent Savidant, Community Development Director
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2022-02-009

- Moved by: Tagle
- Support by: Faison

RESOLVED, To approve the Agenda as prepared.

Yes: All present (8)

MOTION CARRIED

3. APPROVAL OF MINUTES – January 25, 2022

Resolution # PC-2022-02-010

- Moved by: Krent
- Support by: Rahman

RESOLVED, To approve the minutes of the January 25, 2022 Regular meeting as submitted.

Yes: All present (8)

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

PLANNED UNIT DEVELOPMENT

5. PLANNED UNIT DEVELOPMENT (File Number PUD 2020-0018) – Proposed Concept Development Plan (CDP) for Long Lake and Crooks Masterplan Development, Northwest Corner of Long Lake and Crooks, Section 8, Currently Zoned O (Office) District

Mr. Savidant explained the approval process of a Planned Unit Development (PUD) application. A brief question and answer session followed.

Present were Anthony Antone and Chris Kojaian of Kojaian Properties and project architect Chris Beck of Gensler.

Mr. Antone gave a brief introduction of Kojaian Properties and noted some of their prominent projects in Troy. Mr. Antone referenced the proposed development as the gateway to North Troy. He stated the revised concept plan before the Board this evening incorporates the preservation of natural features identified by the Department of Environment, Great Lakes and Energy (EGLE). He noted the wetlands are regulated and must be preserved and remain untouched.

Mr. Antone addressed how the development team is using the site's natural features as its focal point. He said they would like the Board's feedback on the revised concept plan prior to their submission of a formal application. Mr. Antone said the development team believes it has incorporated most of the items discussed at the January 12, 2021 Planning Commission meeting.

There was lengthy dialogue among Board members and the applicant. Board members shared their personal visions of the proposed project.

Board comments related to:

- Create a destination point to attract people from within the complex and throughout the City.
- Integrate a plaza, pedestrian path, promenade, village-like characteristics.
- Reduce surface parking.
- Provide more walkability.
- Centrally relocate parking deck.
- Reconfigure placement of buildings to connect to public amenity space.
- Expand and centrally relocate public amenity space.
- Be bold and creative with expanse of property.
- Provide a visual illustration of project, such as a three-dimensional model.

Some members expressed the revised concept plan offers no significant changes from the concept plan presented in January 2021.

Mr. Antone addressed the “block” conceptual plan and detailed their vision of a live/work/play development. He said the development team has had conversations with high-end, luxury developers for all components of the project; residential, restaurant and retail, anchor hotel and anchor office headquarters. He addressed how the project is market-driven and site configurations must be effectual for various clients.

Mr. Antone said building heights would be:

- Office professional building, up to 10 stories.
- Centrally located building, 6 to 8 stories.
- Residential, 6 to 7 stories.
- Hotel, up to 5 or 6 stories.
- Restaurant/retail, up to 2 stories.
- Parking deck, 10 levels.

Mr. Antone thanked the Board for their comments and visions and said they look forward to coming back in front of the Board.

OTHER ITEMS

6. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

7. **PLANNING COMMISSION COMMENT**

Ms. Perakis acknowledged the Board’s receipt of an email communication from John Shepherd that addresses transition of mixed housing with single family residential, zoning options and affordability of housing in Troy. She encouraged engagement of all residents.

There were general comments, some relating to:

- Opposition to higher density projects expressed by residents.
- Transition between higher density projects and single family residential.
- Housing trends; housing deficiency, accessory dwellings to accommodate family lifestyles.
- Affordable housing; property values, land and construction costs.

8. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 8:27 p.m.

Respectfully submitted,

David Lambert, Chair

Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2022/2022 02 08 Draft.doc](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2022/2022%2002%2008%20Draft.doc)

DATE: February 18, 2022

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN APPROVAL (File Number SP JPLN2021-0027) – Proposed 780 West Maple (North) Industrial Building, East side of Barrett, North of Maple (PIN 88-20-28-304-029), Section 28, Currently Zoned MR (Maple Road) District.

The petitioner Tiseo Architects, Inc. submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for construction of a new 7,420 square foot industrial building. Industrial uses are permitted in the MR (Maple Road) District subject to special use approval.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SITE PLANS\SP JPLN2021-0027 780 WEST MAPLE (NORTH)\PC Memo 02 22 2022.docx

PROPOSED RESOLUTION

PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN APPROVAL (File Number SP JPLN2021-0027) – Proposed 780 West Maple (North) Industrial Building, East side of Barrett, North of Maple (PIN 88-20-28-304-029), Section 28, Currently Zoned MR (Maple Road) District.

Resolution # PC-2022-02-

Moved by:

Seconded by:

RESOLVED, The Planning Commission hereby approves a reduction in the total number of required parking spaces for the proposed 780 West Maple (North) Industrial Building to 19 when a total of 20 spaces are required on the site based on the off-street parking space requirements for industrial and office. This 1-space reduction is sufficient to meet parking demands based on shared ownership with the property to the south; and,

RESOLVED, The Planning Commission hereby waives the loading space requirement; and,

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed 780 West Maple (North) Industrial Building, East side of Barrett, north of Maple, Section 28, Currently Zoned MR (Maple Road) District, be (granted, subject to the following conditions):

1. Provide bicycle rack for two bicycles
2. Provide cross access easement
3. Provide transparency calculations
4. Provide transparency along rear elevation

_____) or

(denied, for the following reasons: _____) or

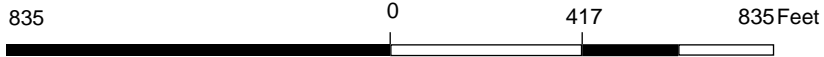
(postponed, for the following reasons: _____)

Yes:

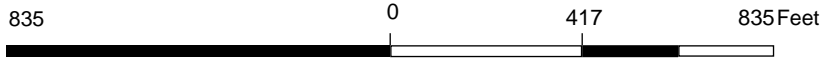
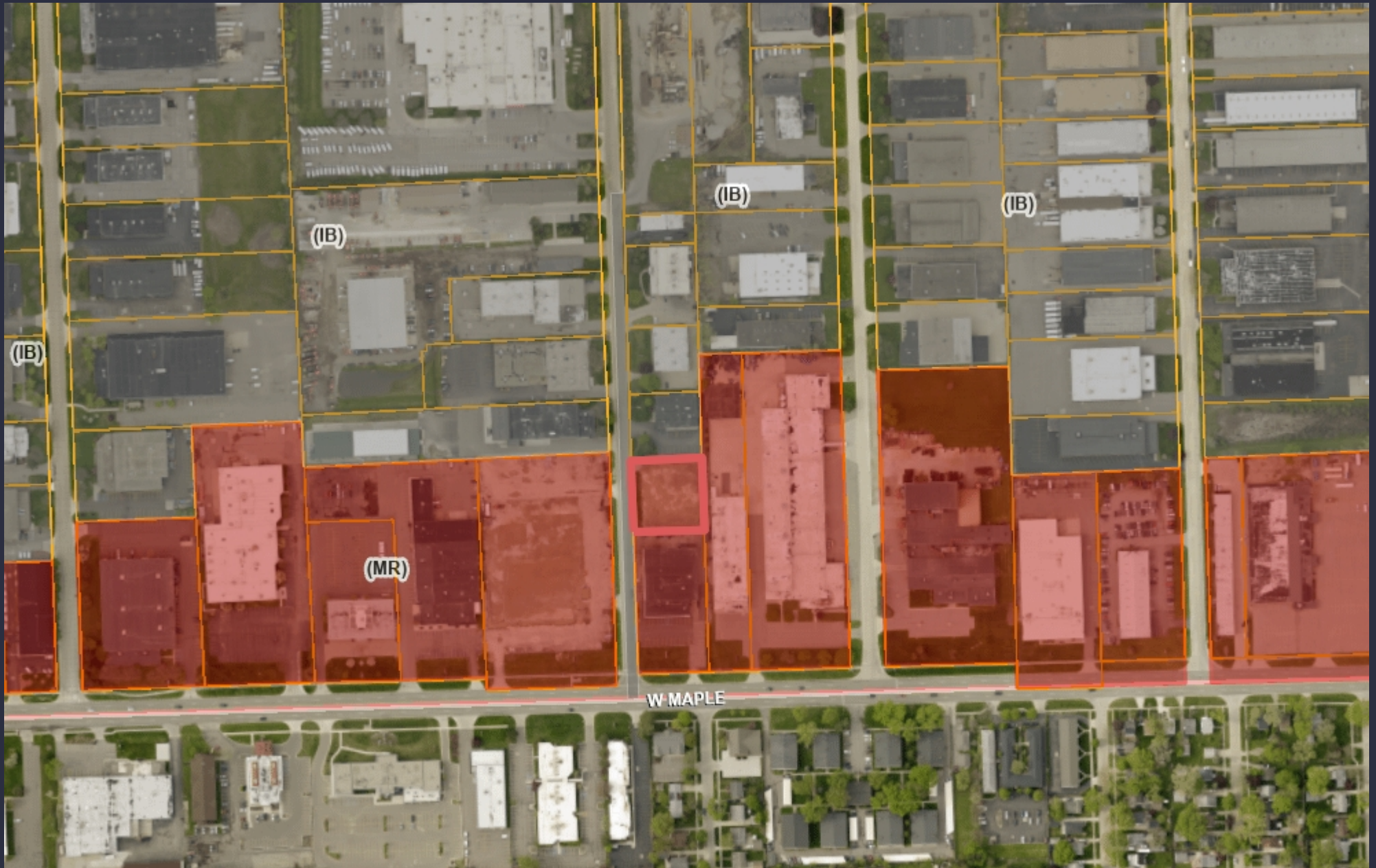
No:

Absent:

MOTION CARRIED / FAILED



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: January 18, 2022
February 15, 2022

Preliminary Site Plan and Special Use Review For Troy, Michigan

Applicant:	Kevin Denha, Big Tom Properties
Project Name:	Barrett and Maple Commercial Building
Plan Date:	December 22, 2021, supplement with additional information on
Location:	Barrett Road, just north of Maple Road
Zoning:	Maple Road
Action Requested:	Preliminary Site Plan and Special Use Approval

PROJECT AND SITE DESCRIPTION

The applicant is requesting Special Use and preliminary site plan to construct a +/- 7,400 square-foot one-story light-industrial / commercial building. The building will be divided into four (4) tenant suites, each totaling +/- 1,840 square feet. The tenants have not been provided but the parking is based on light industrial / and office parking requirements.

The 0.64-acre site is currently two vacant parcels north of Maple. The site is surrounded by a number of light industrial, office, and commercial uses. The site is zoned Maple Road form-based. As noted the building is being built on speculation of light industrial and office uses. Light industrial requires a Special Use. Office and accompanying light industrial (shop-type spaces) are very common in this area.

Figure 1. Location of the Subject Site

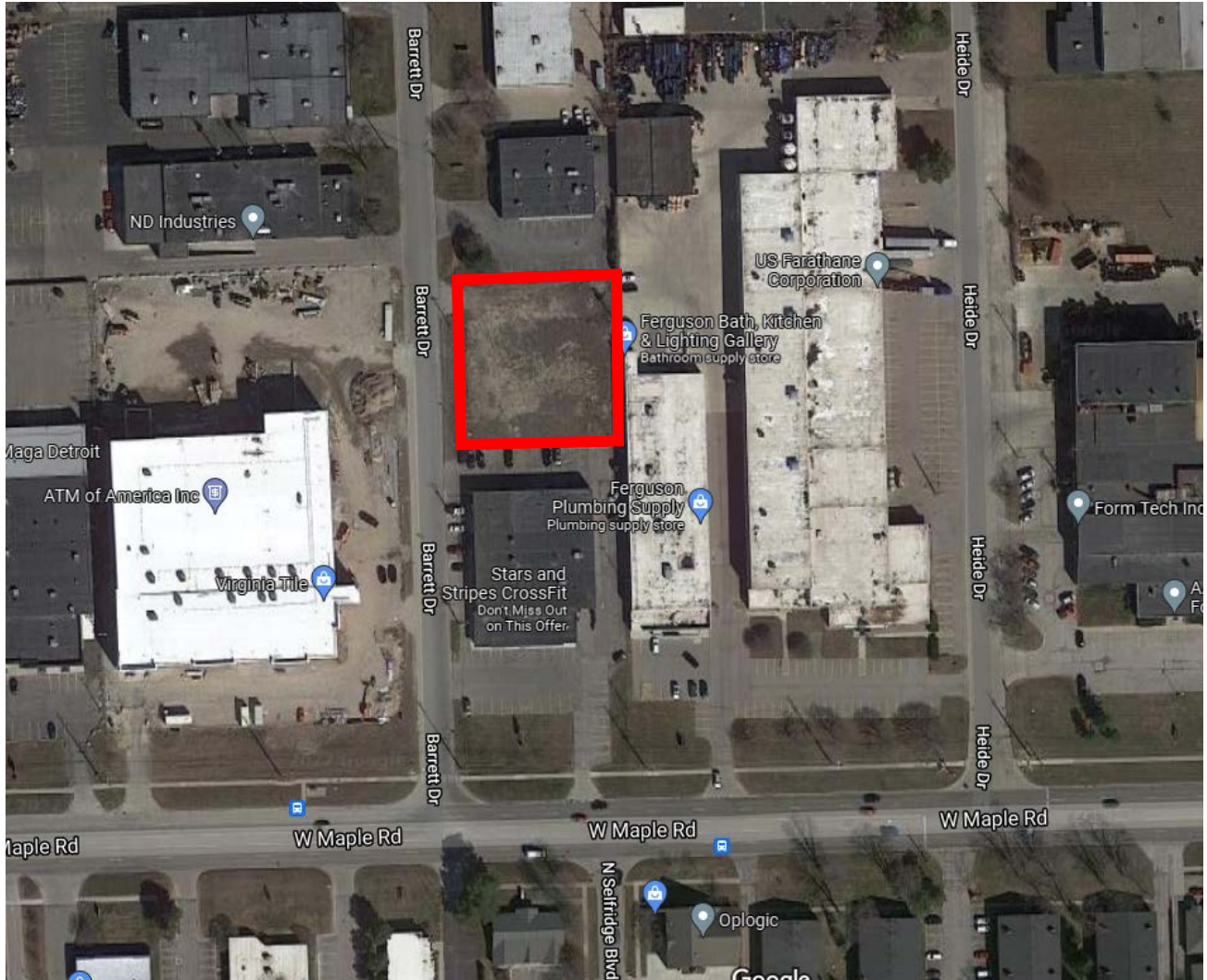


Table 1. Zoning of Adjacent Properties

	Zoning	Uses
North	IB, Integrated Industrial and Business District	Light Industrial
South	MR, Maple Road	Office/Light Industrial
East	MR, Maple Road	Office/Light Industrial
West	MR, Maple Road	Office/Light Industrial

Items to be Addressed: None.

NATURAL RESOURCES

The site has been graded for development. No natural resources exist.

Items to be Addressed: None.

BUILDING LOCATION AND SITE ARRANGEMENT

The building is placed 10-feet from Barrett Drive, with a drive-aisle just south of the building. Parking is located on the side and rear of the building. Loading and access to the light industrial portions of the building are located in the rear of the building.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

	MR	Provided	Compliance
Max. Building Height			
Stories	1 to 3 stories	1	Yes
Feet	14 to 45 feet	27 feet	Yes
Minimum Building Line			
Front	10 Feet	10 feet	Yes
Side	0 feet	11 feet (north) Over 45 feet (south) Combined	Yes
Rear	30 Feet	84.5 feet	Yes
Open Space	30%	30.45%	Yes
Parking	Behind or Side of Building or Screened	Behind	Yes

Items to be Addressed: None

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Office: 1 space for each 300 square feet of gross floor area	Each suite ranges from 922 to 933 spaces: 922 square feet / 300 = 3.07 933 square feet / 300 = 3.11	4.75 to 4.81 (round up to 5) x 4 = 20 spaces
Light Industrial: 1 space for each 550 square feet of gross floor area	Each suite ranges from 922 to 933 spaces: 922 square feet / 550 = 1.68 933 square feet / 550 = 1.70	
Barrier Free	1	1
Bicycle Parking	2	0
Loading	1	2. See discussion below
Total	20	19

Each suite requires 5 spaces each. As such, the total parking requirement is 20. The applicant is under parked by 1 space.

The applicant is not providing any bicycle parking. The applicant is providing loading, which is directly adjacent to the rear of the building. It is not clear how trucks will be able maneuver to and from the loading spaces, and how truck loading located here blocks access to the rear of the building.

Items to be Addressed: 1). Reduce building size, add additional parking space, or seek parking waiver from Planning Commission; 2). Provide two bicycle parking spaces; and 3). Seek alternative location for loading or seek waiver from loading space requirement.

SITE ACCESS AND CIRCULATION

Access to the site will be via a full access off Barrett Drive and a cross access to the property to the south. The two sites are owned by the same owner. The owner shall provide a cross access easement as part of final site plan approval.

Please note that cross access will require the removal of a portion of the existing fence and three (3) parking spaces on the southern site.



Items to be Addressed: Provide cross access easement.

LANDSCAPING

The application includes a landscape plan and calculations.

	Required:	Provided:	Compliance:
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	167 / 30 = 6 trees	6 trees	Compliant with Planning Commission approval
<u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of hardscape and landscape material.	20%	25% landscaping.	Compliant
<u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	20 surface spaces = 3 trees	3 trees	Compliant

The applicant is providing six (6) street trees, but they are located along the northern property line. The applicant notes that they aren't able to plant along Barrett Drive due to overhead wires.

Trash enclosure screening is provided with a masonry wall and evergreen screening.

Items to be Addressed: Planning Commission to consider street tree location.

LIGHTING

The applicant has provided a lighting (photometric) plan and lighting fixture details. The applicant is proposing four (4) building sconces. The photometric plan and lighting fixture comply with ordinance requirements.

Items to be Addressed: None

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations have been provided on Sheets P3 and P4. Primary materials for the front and side elevation are brick, metal panels, composite wood, and glass. Primary materials for rear of building is CMU, and overhead metal doors. It appears that the applicant complies with the transparency requirement on the front and side elevations. Since the rear elevation faces parking, the applicant shall provide 30% transparency. However, the applicant is able to provide 80% of that 30% with transparency alternative.

Items to be Addressed: 1). Provide transparency calculations; and 2). Provide transparency along rear elevation.

SPECIAL USE STANDARDS

For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.”

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses.*
2. *Compatibility with the Master Plan.*
3. *Traffic Impact.*
4. *Impact on Public Services.*
5. *Compliance with Zoning Ordinance Standards.*
6. *Impact on the Overall Environment.*
7. *Special Use Approval Specific Requirements.*

With regards with the Special Use itself:

1. The proposed use as office/light industrial is consistent with surrounding land uses.
2. The architecture and material details are of a higher quality than surrounding properties.
3. The use is compatible with the Master Plan, which calls for a variety of uses.
4. The applicant is repurposing a vacant site.

5. The proposed use should not require any additional public services that required for a public use.

Items to be addressed: None

RECOMMENDATIONS

As part of the Special Use and site plan deliberation, the Planning Commission shall consider:

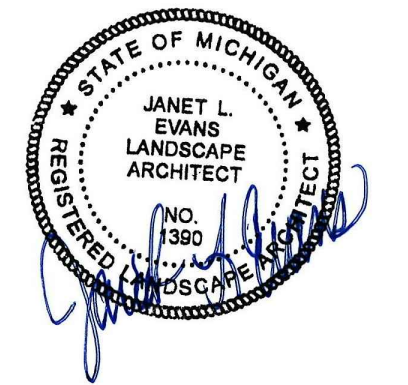
1. Location of proposed loading spaces
2. 1 space parking deviation
3. Alternative location of street trees

If the Planning Commission grants Special Use and preliminary site plan approval, we recommend the following conditions:

1. Provide two bicycle parking spaces
2. Provide cross access easement
3. Provide transparency calculations
4. Provide transparency along rear elevation.



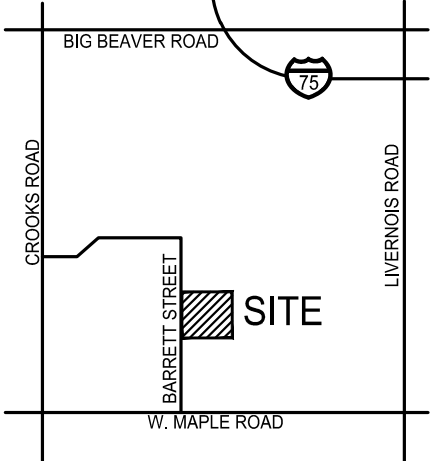
CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal



0 10 20 40
SCALE: 1" = 20'



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
BIG TOM PROPERTIES, LLC
700 NORTH OLD WOODWARD, SUITE 300
BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE
780 WEST MAPLE
780 WEST MAPLE RD
TROY, MICHIGAN

REVISIONS

ORIGINAL ISSUE DATE:
DECEMBER 17, 2021

DRAWING TITLE

PRELIMINARY LANDSCAPE PLAN

PEA JOB NO. 2021-0159

P.M. JPB

DN. AEH

DES. JLE

DRAWING NUMBER:

KEY:

- = GREENBELT TREES
- = PARKING LOT TREES
- = SCREENING SHRUBS
- = IRRIGATED SEED LAWN
- = LAWN SEED RESTORATION

PLANT BEDS AND SEED LAWN AREAS TO BE IRRIGATED
TREES TO BE LOCATED MINIMUM OF 5' OFF UTILITY LINES TYP.
SEE SHT. L-1.1 FOR LANDSCAPE DETAILS

TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
2	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	2.5" Cal.	B&B
4	MJ2.5	Marilee Crab	<i>Malus 'Jarmir' PP14337 (upright, fruitless, 10' x 24' ht.)</i>	2.5" Cal.	B&B
2	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata 'Ivory silk' (15x 20'ht. utility tree)</i>	2.5" Cal.	B&B
1	QS2.5	Streetspire Oak	<i>Quercus robur x alba 'JFS-KW1QX' (columnar, 14' x 45' ht.)</i>	2.5" Cal.	B&B
9		Total Dec.			

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	TM30	Dense Yew	<i>Taxus x media 'Densiformis'</i>	30" Ht.	Cont.
14	TO6	Techny Arborvitae	<i>Thuja occidentalis 'Techny'</i>	6'	B&B
19		Total Shrubs			

LANDSCAPE CALCULATIONS:
PER CITY OF TROY ZONING ORDINANCE: MR-MAPLE ROAD FORMED BASE DISTRICT, OFFICE/INDUSTRIAL

PARKING LOT LANDSCAPING
REQUIRED: 1 TREE / 8 PARKING SPACES
19 PARKING SPACES / 8 = 3 TREES
PROVIDED: 3 CANOPY TREES

PARKING LOT SCREENING
REQUIRED: PARKING LOTS THAT FRONT ON A ROADWAY SHALL BE SCREENED BY A LANDSCAPED BERM OR ALTERNATIVE LANDSCAPE PLANTINGS
PROVIDED: SHRUB HEDGE SCREEN FOR THAT PORTION OF PARKING LOT WHICH FRONTS BARRETT STREET

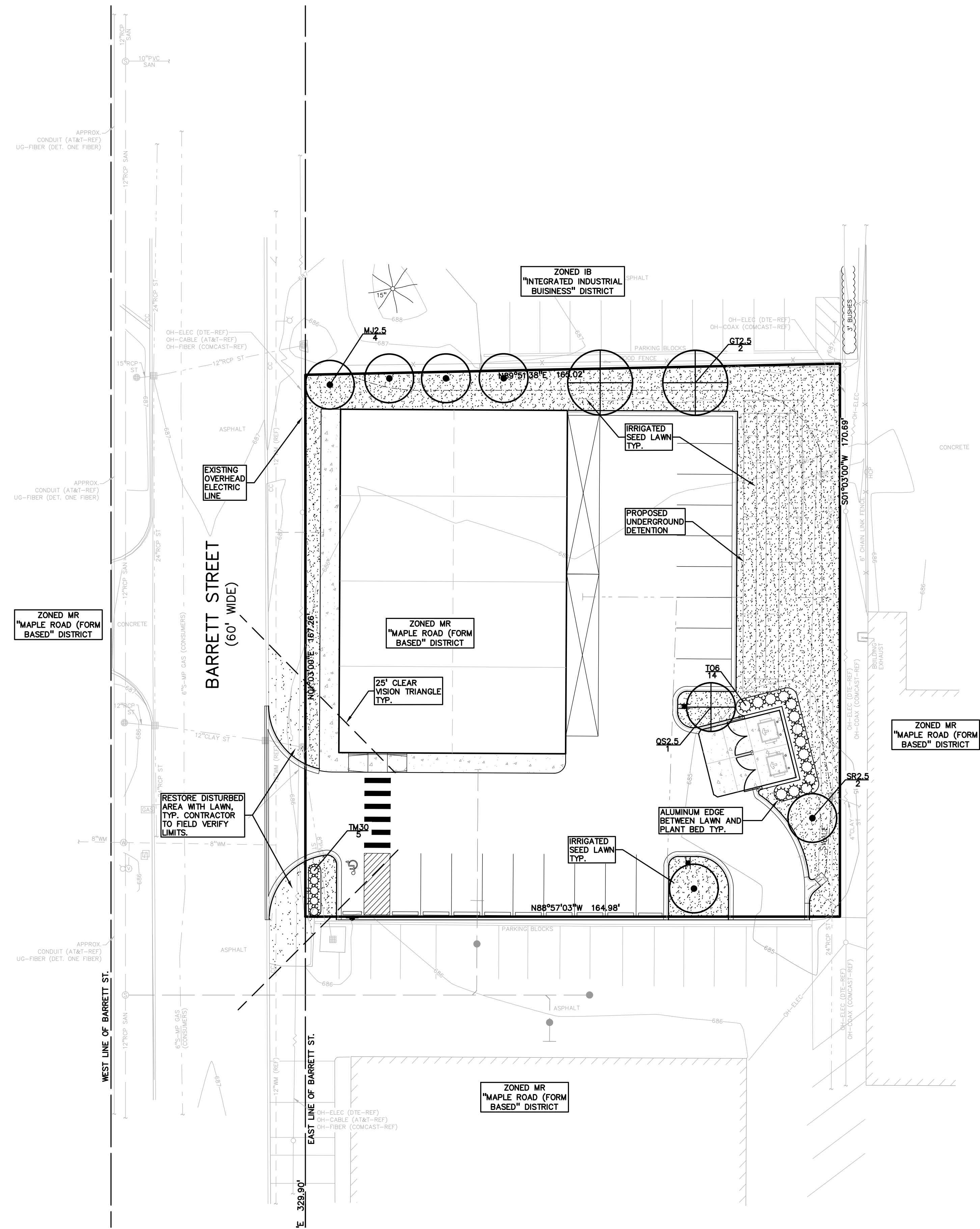
GREENBELT
REQUIRED: 1 TREE / 30 LF OF FRONTAGE
BARRETT STREET: 167 LF FRONTAGE/30 = 6 TREES
PROVIDED: 6 TREES; 4 TREES SITED TO THE NORTH, 2 TREES TO THE EAST DUE TO CONFLICT WITH OVERHEAD AND UNDERGROUND UTILITIES

GENERAL SITE LANDSCAPE
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL
27,900 SQ FT * 20% = 5580 SQ FT
PROVIDED: 7106 SQ FT OF SOFT-SCAPE

AT GRADE EQUIPMENT SCREENING
REQUIRED: SCREEN EQUIPMENT WITH EVERGREEN LANDSCAPE MATERIALS, HT. MINIMUM TO EQUAL EQUIPMENT HT.
PROVIDED: EVERGREEN/ SHRUBS AT TRASH ENCLOSURE

TREE REPLACEMENT:
REQUIRED: HEALTHY 6" REG. TREE, NOT ON EXEMPT SPECIES LIST. REPLACE AT 50% OF DBH.
LANDMARK REPLACE AT 100% OF DBH (2X INCH FOR INCH CREDIT FOR SAVED TREES)
REMOVED: 0
PROVIDED: NONE REQUIRED

- GENERAL PLANTING NOTES:**
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
 - ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
 - THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
 - ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
 - ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
 - ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
 - ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
 - ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
 - NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
 - ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
 - IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
 - ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT. SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
 - ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
 - SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
 - FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
 - CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
 - TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



\\work\paw\PROJECTS\2021\2021-0159 780 WEST MAPLE-PB\DWG\SITE PLANS (BUILDING)\L-1 0 LANDSCAPE PLAN-210189.dwg

CITY OF TROY
PRELIMINARY SITE PLAN APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
248- 524-3364
FAX: 248-524-3382
E-MAIL: planning@troymi.gov



PRELIMINARY SITE PLAN REVIEW FEE
\$1,000.00
ESCROW FEE
\$1,500.00
ADMINISTRATIVE SITE PLAN REVIEW FEE
\$300.00

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE PRELIMINARY SITE PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

1. NAME OF THE PROPOSED DEVELOPMENT: 780 West Maple (North)
2. ADDRESS OF THE SUBJECT PROPERTY: TBD
3. ZONING CLASSIFICATION OF THE SUBJECT PROPERTY: MR (Maple Road)
4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 20-28-304-029
5. DESCRIPTION OF PROPOSED USE: _____
Construction of a new 7,420 sq. ft. building and parking

- | | |
|--|---|
| 6. APPLICANT: | PROPERTY OWNER: |
| NAME <u>Benedetto Tiseo, FAIA, NCARB</u> | NAME <u>Kevin Denha</u> |
| COMPANY <u>Tiseo Architects, Inc.</u> | COMPANY <u>Big Tom Properties, LLC</u> |
| ADDRESS <u>19815 Farmington Rd</u> | ADDRESS <u>700 North Old Woodward, Suite 300</u> |
| CITY <u>Livonia</u> STATE <u>MI</u> ZIP <u>48152</u> | CITY <u>Birmingham</u> STATE <u>MI</u> ZIP <u>48009</u> |
| TELEPHONE <u>(248) 888-1300</u> | TELEPHONE <u>(248) 865-1515</u> |
| E-MAIL <u>ben@tiseo.com</u> | E-MAIL <u>kdenha@visioninpartners.com</u> |

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:
Architect Hired by the Property Owner

8. SIGNATURE OF APPLICANT [Signature] DATE 21 DEC 2021
9. SIGNATURE OF PROPERTY OWNER [Signature] DATE 12-21-21

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PRELIMINARY SITE PLAN.

GREAT LAKES CHEESE HQ, OH

SOLAR PREPARATORY SCHOOL, TX

PRODUCT CATALOG

ARCHITECTURAL ELEMENTS, CLADDING & DECKING

Geolam®

Architectural Eco-Technology

MARS PETCARE HQ, TN

BLACKBAUD HQ, SC



Geolam products are light, easy to install and exceed the strength and durability of natural wood. Wood's warmth and aesthetic look is perfectly reproduced using our unique, sustainable, patented technology.

With over 500 installations across North America, Geolam products require very little maintenance, are fade resistant and can withstand extreme climates. They are ideal for façades, sunshades, rainscreens, other architectural accents, cladding, soffits and decking.

	Dimensions	Weight	End caps		Connectors	
			Plastic	WPC	Straight	Corner
Soleo 6034 Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.		1.94 kg/lm 1.30 lb/ft	✓			
Soleo 6031 Teak and Rosewood stocked in the US, no minimum. Minimum 1,000 lineal ft for Moleskin and Ebony. Standard Length - 9 ft 10 in.		1.60 kg/lm 1.08 lb/ft		✓	✓	
Soleo 6010 Teak and Rosewood stocked in the US, no minimum. Minimum 1,000 lineal ft for Moleskin and Ebony. Standard Length - 9 ft 10 in.		2.30 kg/lm 1.55 lb/ft		✓	✓	✓
Soleo 6038 Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.		2.00 kg/lm 1.34 lb/ft				
Soleo 6024 Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.		2.06 kg/lm 1.38 lb/ft				
Soleo 6040 Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.		2.40 kg/lm 1.61 lb/ft				
Soleo 6050 Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.		3.90 kg/lm 2.62 lb/ft				
Soleo 6033 Teak and Rosewood stocked in the US, no minimum. Minimum 1,000 lineal ft for Moleskin and Ebony. Standard Length - 9 ft 10 in.		3.30 kg/lm 2.22 lb/ft	✓		✓	
Planeo 4010 Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.		2.21 kg/lm 1.49 lb/ft				
Planeo 4044 Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.		4.52 kg/lm 3.04 lb/ft				
Planeo 4123 Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.		3.74 kg/lm 2.51 lb/ft				
Planeo 4048 Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.		4.80 kg/lm 3.23 lb/ft				

	Dimensions	Weight	End caps		Connectors	
			Plastic	WPC	Straight	Corner
Careo 7015 <i>Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.</i>		0.82 kg/lm 0.55 lb/ft				
Careo 7031 <i>Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.</i>		0.82 kg/lm 0.55 lb/ft				
Careo 7011 <i>Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.</i>		1.34 kg/lm 0.90 lb/ft			✓	
Careo 7035 <i>Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.</i>		2.28 kg/lm 1.53 lb/ft				
Careo 7014 <i>Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.</i>		2.80 kg/lm 1.88 lb/ft		✓		
Careo 7016 <i>Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.</i>		4.00 kg/lm 2.69 lb/ft				

End Caps

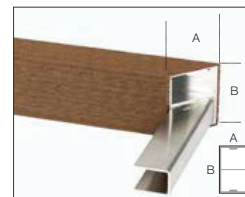
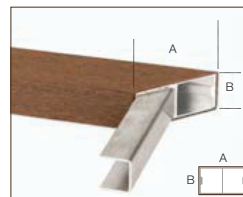


Non standard End Caps & Splicers/Connectors available on request.

Splicers/Connectors

Corners

Française (Lying Down) Belge (Standing Up)



Straight

Note: bumps to prevent sliding during installation

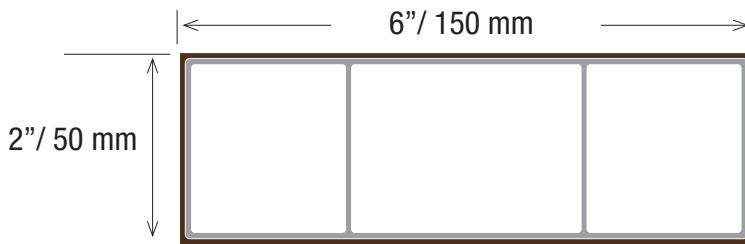
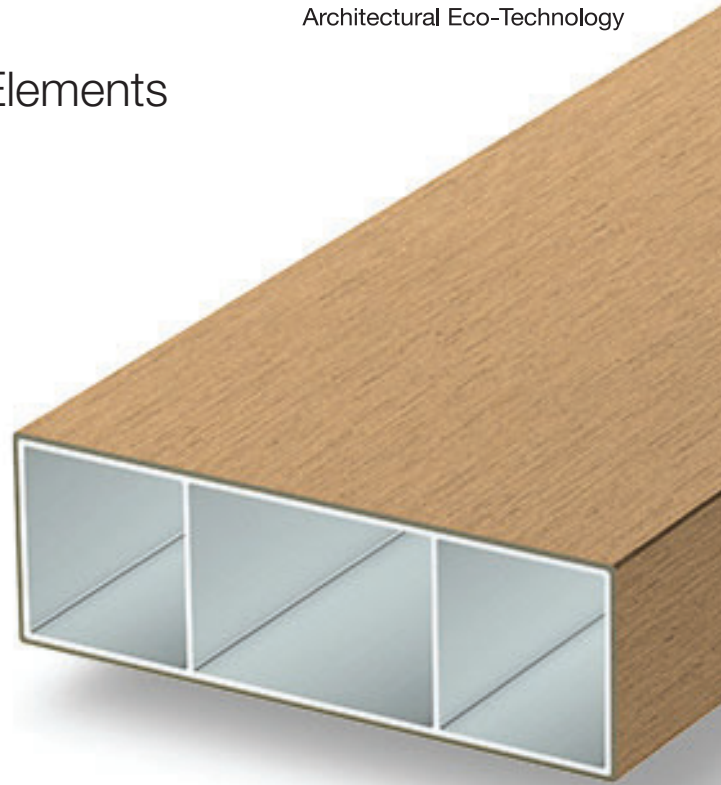


Soleo 6040

Geolam[®]
Architectural Eco-Technology

Hybrid Aluminum/WPC Architectural Elements

Datasheet



Thickness: 50 mm | 2 in
Width: 150 mm | 6 in
Section tolerances in mm: + 0.5 / - 2.0

Fire rating:
On request before order

Surfaces finish: sanded

Standard length: 3.00 m | 9 ft 10 in

Or order any length from:
2.45 m | 8 ft to 5.48 m | 18 ft

Weight: 3.34 kg/lm | 2.02 lb/ft

Secondary moment Ix (cm⁴): 26.9

Secondary moment Iy (cm⁴): 156.1

Section modulus Zx (cm³): 11.4

Section modulus Zy (cm³): 21.2

Core in anodized aluminum alloy:
A6063S-T5

Coefficient of Thermal Expansion:
(20-100°C) : 23.4 µm/m/°C

Modulus of Elasticity: 68.6 GPa

Tensile Strength: 186 Mpa min

Core cross section (mm²): 689.1

Color Selected

Standard Colors - Minimum 1,800 ft for all colors:



Teak



Moleskin



Rosewood



Ebony

Non-Standard Colors - 90 day lead time - Minimum order quantities apply:



Ivory



Blackwood

Custom Colors Available for orders >6,000 sq. ft.

www.geolaminc.com
Toll free: 1-877-627-3530
info@geolaminc.com



EAST COAST

METAL SYSTEMS

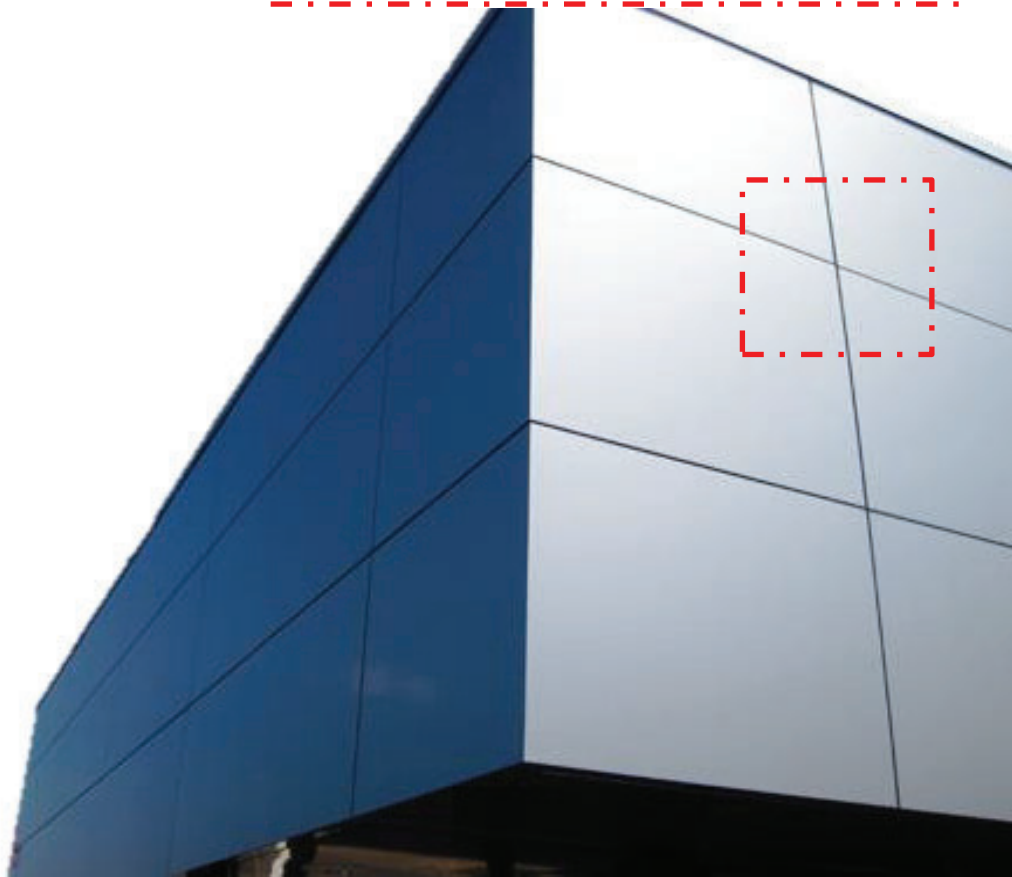
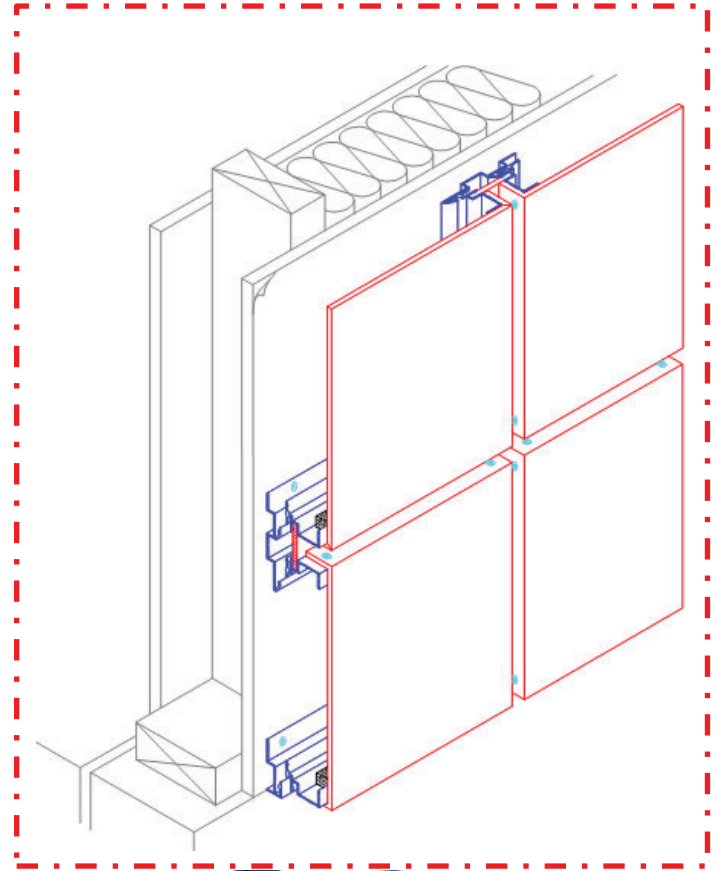
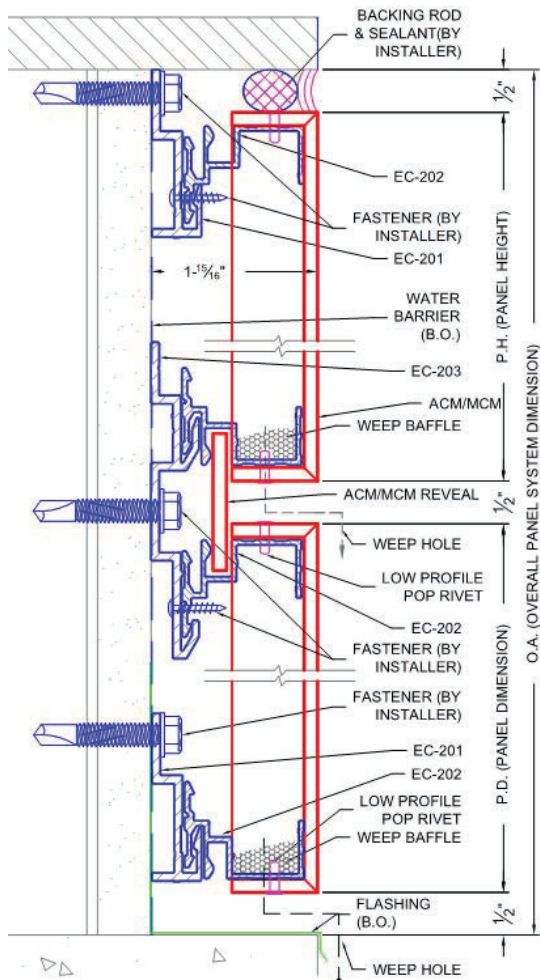
PRODUCT DATA

ECMS EC-200 SYSTEM

COMPOSITE WALL PANEL

EC-200 SYSTEM

The Pressure Equalized Rain Screen System is based upon the “rainscreen principle” and allows incidental water to enter the cladding cavity but then be drained via weep holes. Utilizing formed panels, this system is mounted using aluminum extrusions. Panel joints are finished using color matched or complementary accent strips that ‘float’ within the extrusions allowing a reveal from 1/2" to 12". The EC-200 system is compatible with 4mm, 6mm, & 8mm ACM Panels.





EC-200 SYSTEM

System:	EC-200 (Dry-Joint)
Panel Type:	Composite Wall Panel
Material Options:	4-mm, 6-mm, 8-mm
Core Options:	Polyethylene-PE, Polyethylene-FR, Phenolic-FR
Color:	Available in over 100 standard colors through a variety of ACM Suppliers (Request Color Chart or metal samples) Custom Color available
Finish:	Kynar, PEVE, Woodgrain Anodized, Natural Metals available
Substrate:	Subgirt or Plywood
Standard Panel Surface:	Smooth
Max Panel Width:	60" (1524 mm) ¹
Min. Panel Width:	4" (101.6 mm)
Max Panel Length:	194" (4927.6mm)
Min. Panel Length:	4" (101.6 mm)

PERFORMANCE TESTING

<u>Test Method</u>	<u>Title of Test</u>	<u>Results</u>
ASTM E 330	Uniform Load Deflection	Pass ³
ASTM E 330	Uniform Load Deflection	Pass ³
<u>Test Method</u>	<u>Title of Test</u>	<u>Results</u>
ASTM E 283-04	Air Infiltration	Pass ^{2,3}
ASTM 1233-06	Pressure Cyclic	Pass ^{2,3}
ASTM E 331-00	Static Water Penetration	Pass ^{2,3}
AAMA 501.1-05	Dynamic Water Penetration	Pass ^{2,3}

Note

1. Max panel width subject to change based on vendor material
2. Passes AAMA 508-07
3. Test Repots available upon request

**Test Date 1/30/16

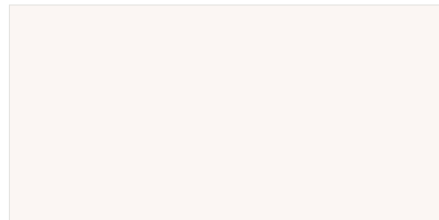


30 Year Architectural Coatings

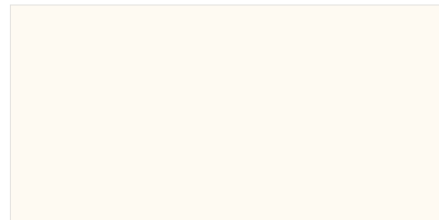
larson® by Alucoil® ACM is coil coated utilizing Duranar® coatings from PPG. Backed by a 30-year exterior performance warranty, these (PVdF) fluoropolymer paint finishes contain 70% Kynar 500®/Hylar 5000® resins and are formulated to meet or exceed industry performance requisites such as AAMA 620. Our 25 standard colors are matched to a combination of popular ACM and steel foam panel colors – enabling greater flexibility and design choice.

Solid Color Series

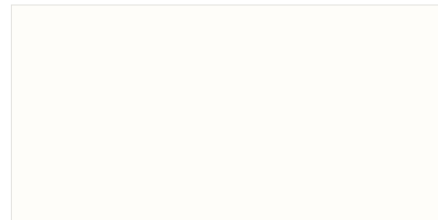
These Duranar® 2-coat colors consist of a 0.2 mil primer and a 0.8 mil color coat, for a nominal dry film thickness of 1.0 mil.



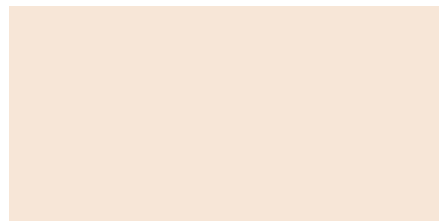
Regal White S-31



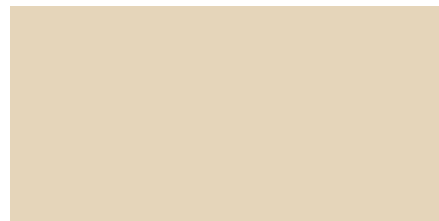
Off White S-91



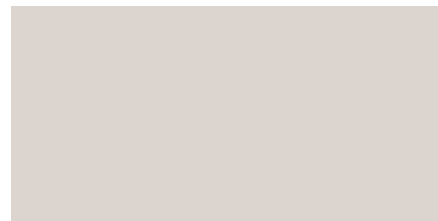
Bone White S-30



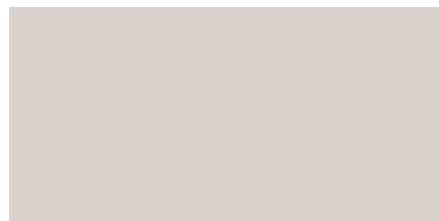
Oyster White S-70



Marble S-112



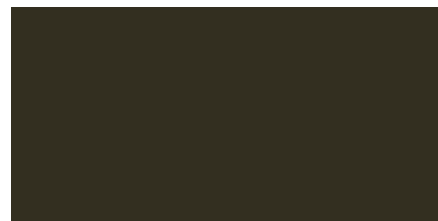
Sandstone S-84



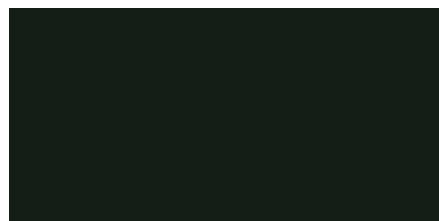
Limestone S-58



Cadet Grey S-32



Classic Bronze S-33



Classic Black S-34



Marakesh Red S-48



Deep Sea Blue S-74

All standard colors are stocked in 62" coil. Select colors are also available in 50" width. Inquire for details and finished panel inventory in key colors.

Greater Flexibility in Custom Colors

With a 1,000 square foot minimum for custom colors, **larson**® by Alucoil® takes a different approach to address a growing trend in the market. Available in 62", 50" and 39.37" widths, there are no hidden set up charges – just one price for the quantity required.

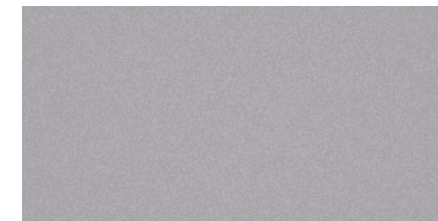
Due to variations in computer monitors, we cannot guarantee the accuracy of colors presented on-screen with actual products.

Mica Color Series

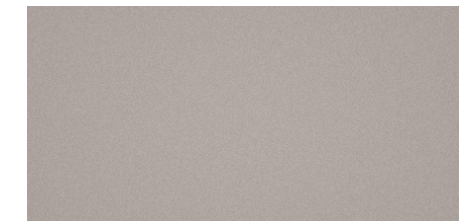
These Duranar® 2-coat mica colors consist of a 0.2 mil primer and a 0.8 mil color coat, for a nominal dry film thickness of 1.0 mil. Mica flakes are suspended in the color coat – giving the appearance of a metallic finish.



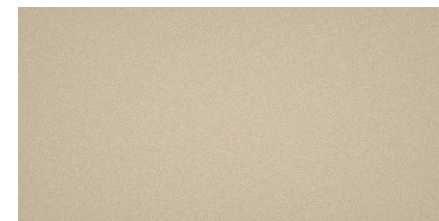
Anodic Clear M-35



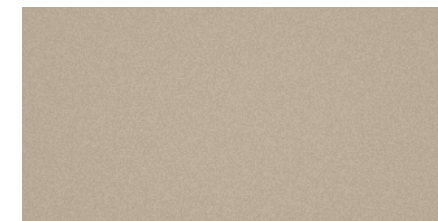
Platinum M-36



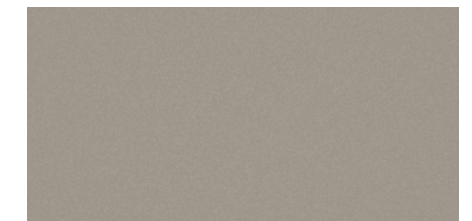
Silversmith M-115



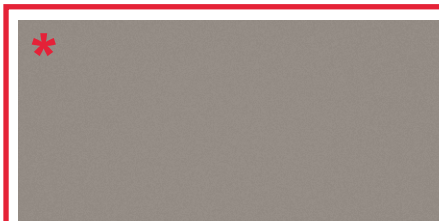
Champagne Mica M-38



Champagne Pearl M-60



Champagne Bronze M-94

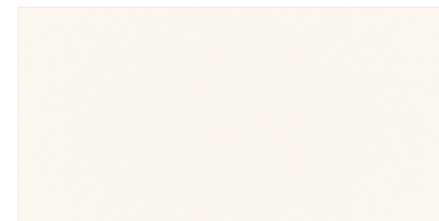


Pewter M-37

Color Selected

Metallic Color XL Series

These Duranar® 3-coat metallic colors consist of a 0.2 mil primer, a 0.8 mil color coat, and a 0.5 mil clear coat, for a nominal dry film thickness of 1.5 mils.



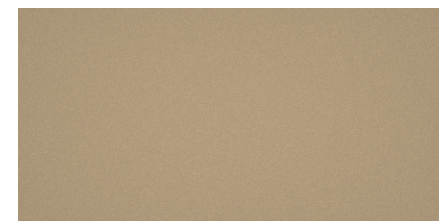
Pearl Metallic XL-29



Silver Metallic XL-25



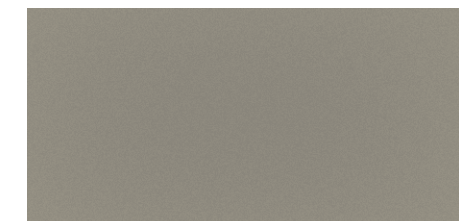
Champagne Metallic XL-26



Rustic Copper Metallic XL-27



Bright Copper Metallic XL-28



Pewter Metallic XL-65

Mica and Metallic XL Colors are directional in nature therefore proper estimating and installation precautions should be taken to ensure that panels are all installed in the same direction. Directional arrows are printed on panel protective film to aid in this practice.

Due to the reflectivity of these finishes, optical perception of color tone may vary according to the angle from which panels are viewed, reflected light off of other structures, and different angles or planes on which panels are installed on a building elevation.

To ensure color consistency with these finishes, it is highly recommended to order all material required at the same time, be they in single or multiple widths.



8530



AVAILABLE IN THIN BRICK

STANDARDS (Meets ASTM Grade SW for ALL)		TYPE	TEXTURE	COMP.	CW	IRA
PLANT 8 EXTRUDED	FACE BRICK ASTM C 216	FBX				
	THIN BRICK ASTM C 1088	TBX	COARSE VELOUR	13,982 PSI	2.94	4.0
	THIN BRICK PCI	PCI				

SIZES	DIMENSIONS IN INCHES	THIN FLAT BACK	THIN DOVETAIL	UNITS/SQ.FT.
Modular	3 5/8 x 2 1/4 x 7 5/8	5/8", 16MM	3/4", 19MM	6.86
Roman	3 5/8 x 1 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	6.00
Norman	3 5/8 x 2 1/4 x 11 5/8	5/8", 16MM	3/4", 19MM	4.57
Ambassador	3 5/8 x 2 1/4 x 15 5/8	X	X	3.43
Modular Economo	3 5/8 x 3 5/8 x 7 5/8	5/8", 16MM	3/4", 19MM	4.55
Utility	3 5/8 x 3 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	3.00
Monarch	3 5/8 x 3 5/8 x 15 5/8	X	X	2.25

8531



AVAILABLE IN THIN BRICK

STANDARDS (Meets ASTM Grade SW for ALL)		TYPE	TEXTURE	COMP.	CW	IRA
PLANT 8 EXTRUDED	FACE BRICK ASTM C 216	FBX				
	THIN BRICK ASTM C 1088	TBX	COARSE VELOUR	13,982 PSI	2.94	4.0
	THIN BRICK PCI	PCI				

SIZES	DIMENSIONS IN INCHES	THIN FLAT BACK	THIN DOVETAIL	UNITS/SQ.FT.
Modular	3 5/8 x 2 1/4 x 7 5/8	5/8", 16MM	3/4", 19MM	6.86
Roman	3 5/8 x 1 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	6.00
Norman	3 5/8 x 2 1/4 x 11 5/8	5/8", 16MM	3/4", 19MM	4.57
Ambassador	3 5/8 x 2 1/4 x 15 5/8	X	X	3.43
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Utility	3 5/8 x 3 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	3.00
Monarch	3 5/8 x 3 5/8 x 15 5/8	X	X	2.25

8532



AVAILABLE IN THIN BRICK

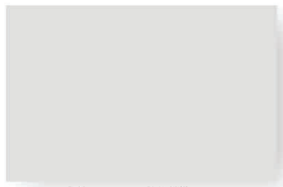
STANDARDS (Meets ASTM Grade SW for ALL)		TYPE	TEXTURE	COMP.	CW	IRA
PLANT 8 EXTRUDED	FACE BRICK ASTM C 216	FBX				
	THIN BRICK ASTM C 1088	TBX	COARSE VELOUR	13,982 PSI	2.94	4.0
	THIN BRICK PCI	PCI				

SIZES	DIMENSIONS IN INCHES	THIN FLAT BACK	THIN DOVETAIL	UNITS/SQ.FT.
Modular	3 5/8 x 2 1/4 x 7 5/8	5/8", 16MM	3/4", 19MM	6.86
Roman	3 5/8 x 1 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	6.00
Norman	3 5/8 x 2 1/4 x 11 5/8	5/8", 16MM	3/4", 19MM	4.57
Ambassador	3 5/8 x 2 1/4 x 15 5/8	X	X	3.43
Modular Economo	3 5/8 x 3 5/8 x 7 5/8	5/8", 16MM	3/4", 19MM	4.55
Utility	3 5/8 x 3 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	3.00
Monarch	3 5/8 x 3 5/8 x 15 5/8	X	X	2.25

Selected Brick

Any Size not listed is Unavailable

Standard Colors



Shasta White



Parchment



Almond



Sierra Tan



Buckskin



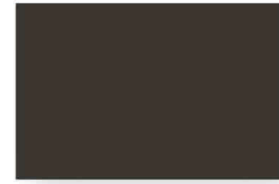
Medium Bronze



Aged Bronze



Copper Brown



Dark Bronze



Terra-Cotta



Deep Red



Colonial Red



Burgundy



Bristol Blue



Royal Blue



Patina Green



Hemlock Green



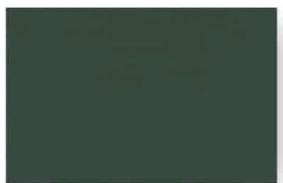
Teal Green



Forest Green



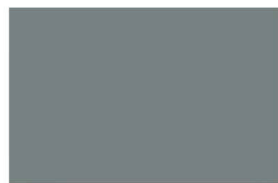
Evergreen



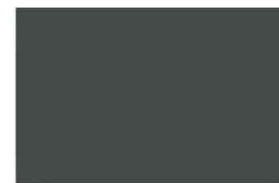
Hartford Green



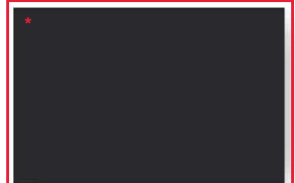
Cityscape



Zinc Grey



Charcoal Grey



Matte Black

**Metal Cap
Selected Color**

Premium Colors

Berridge premium colors require a nominal surcharge.



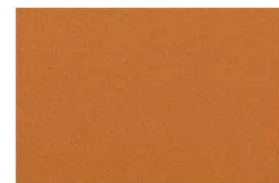
Natural White



Award Blue



Champagne



Copper-Cote™



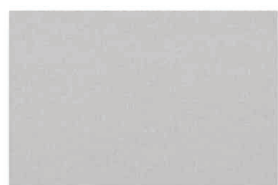
Antique
Copper-Cote

Natural Metal Finish

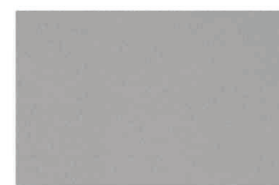
Berridge Acrylic-Coated Galvalume® is a coated sheet product that combines the corrosion resistance of GALVALUME® steel sheet with a clear, organic resin applied to the top side and bottom side of GALVALUME® substrate.



Acrylic-Coated
Galvalume®



Zinc-Cote™



Lead-Cote™



Prewathered
Galvalume®

Metallic Colors

Berridge metallic colors are premium finishes which require a nominal surcharge.

SW 6991

Black Magic

Interior / Exterior

Location Number: 251-C3

Exposed Steel I-Beam Paint

OWNER

Kevin Denha
Big Tom Properties, LLC
700 N Old Woodward, Suite 300
Birmingham, MI 48009
(248) 865-1515

ARCHITECT

Benedetto Tiseo, FAIA, NCARB
Tiseo Architects, Inc.
19815 Farmington Road
Livonia, MI 48152-1444
(248) 888-1300

CIVIL ENGINEER & PROFESSIONAL SURVEYOR

James P. Butler, PE
PEA Group
2430 Rochester Ct, Suite 100
Troy, MI 48083
(248) 689-9090

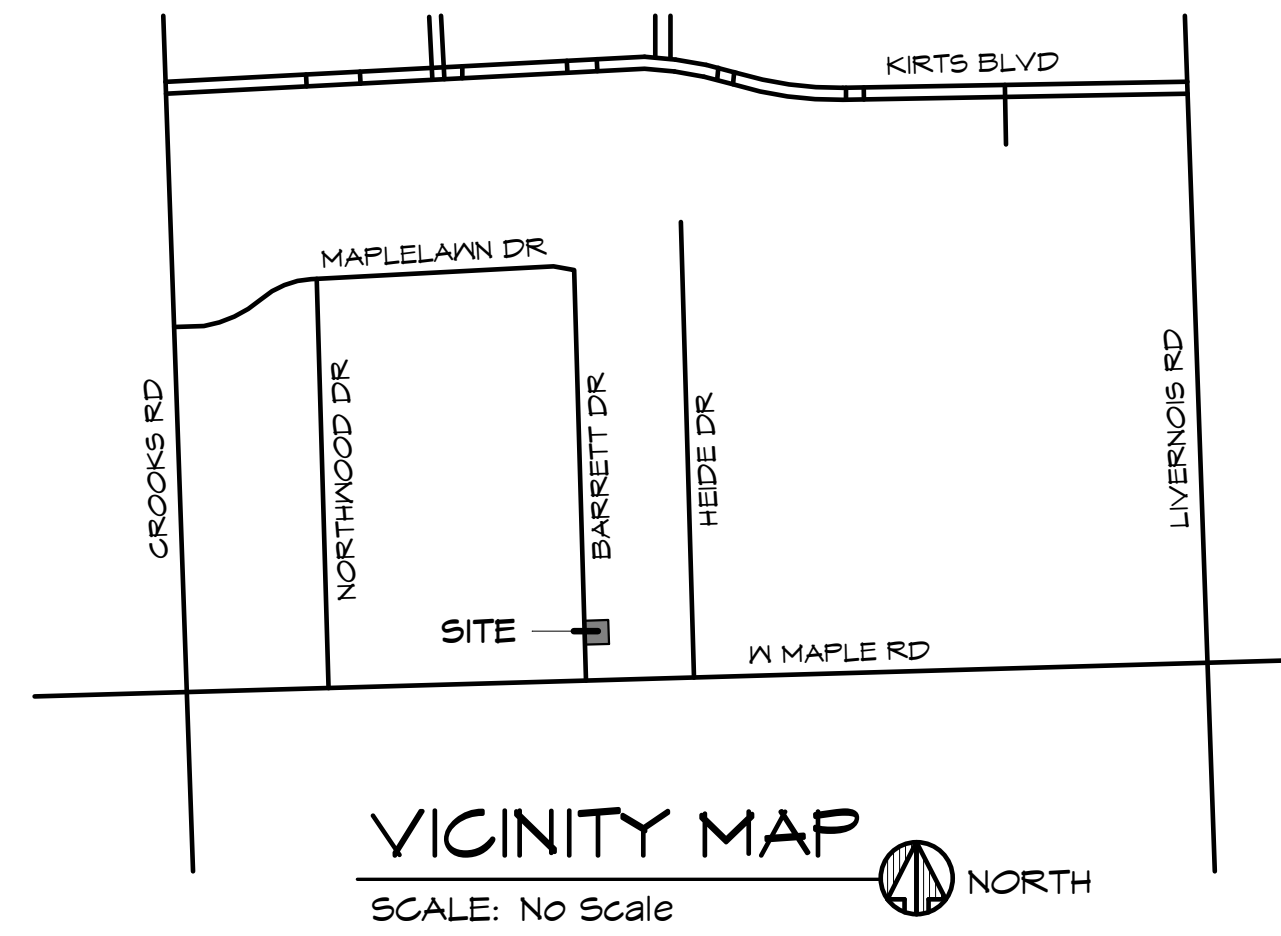
DRAWING INDEX

ARCHITECTURAL

- P1 CONCEPTUAL SITE PLAN, SITE DETAILS
- P2 PRELIMINARY FLOOR PLAN
- P3 PRELIMINARY ELEVATIONS
- P4 PRELIMINARY ELEVATIONS & SECTIONS

CIVIL/LANDSCAPE

- C-0.0 COVER SHEET
- C-1.0 TOPOGRAPHIC SURVEY
- C-3.0 PRELIMINARY SITE PLAN
- C-4.0 PRELIMINARY GRADING PLAN
- C-6.0 PRELIMINARY UTILITY PLAN
- C-8.0 STORM SEWER MANAGEMENT PLAN
- C-9.0 NOTES AND DETAILS
- L-1.0 LANDSCAPE PLAN
- L-1.1 LANDSCAPE DETAILS
- PHOTOMETRICS TO BE PROVIDED (FUTURE)



LEGAL DESCRIPTION

AS SURVEYED BY FEA, GROUP

PARCEL 20-28-204-024
Land in a part of the Southwest 1/4 of Section 28, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan more particularly described as:

Commencing at the Southwest corner of said Section 28; thence South 89 degrees 02 minutes 00 seconds East 1396.66 feet along south line of said Section 28; thence continuing along said south line South 88 degrees 39 minutes 00 seconds East 162.55 feet; thence North 01 degree 03 minutes 00 seconds East 60.00 feet to the intersection of the north line of Maple Road (120 feet wide) and east line of Barrett Drive (60 feet wide); thence continuing along said east line of Barrett Drive, North 01 degree 03 minutes 00 seconds East 324.90 feet to the POINT OF BEGINNING; thence continuing North 01 degree 03 minutes 00 seconds East 167.26 feet thence North 89 degrees 51 minutes 39 seconds East 165.02 feet; thence South 01 degree 03 minutes 00 seconds West 170.64 feet; thence North 88 degrees 51 minutes 03 seconds West 164.98 feet to the POINT OF BEGINNING.

Site/Building Data

Zoning Section 5.05: Formed Based Zoning - MR-B Maple Road
Regulating Plan Section B.3.b:

Site Area:	27,878 Sq Ft	0.64 Acres
Table 5.03.B.1 Open Space Min Req 30%:	8,363 Sq Ft	
Open Space Actual:	8,489 Sq Ft	30.45%

Table 5.05 C-1 Uses Permitted: Residential/Lodging
Office/Institution
Retail/Entertainment/Service

Table 5.05 C-1 Special Approval Uses: Auto/Transportation
Misc. Commercial
Industrial
Large Format Commercial

Table 5.03 A-1 Use Groups: Actual #3/Office & #7/Industrial

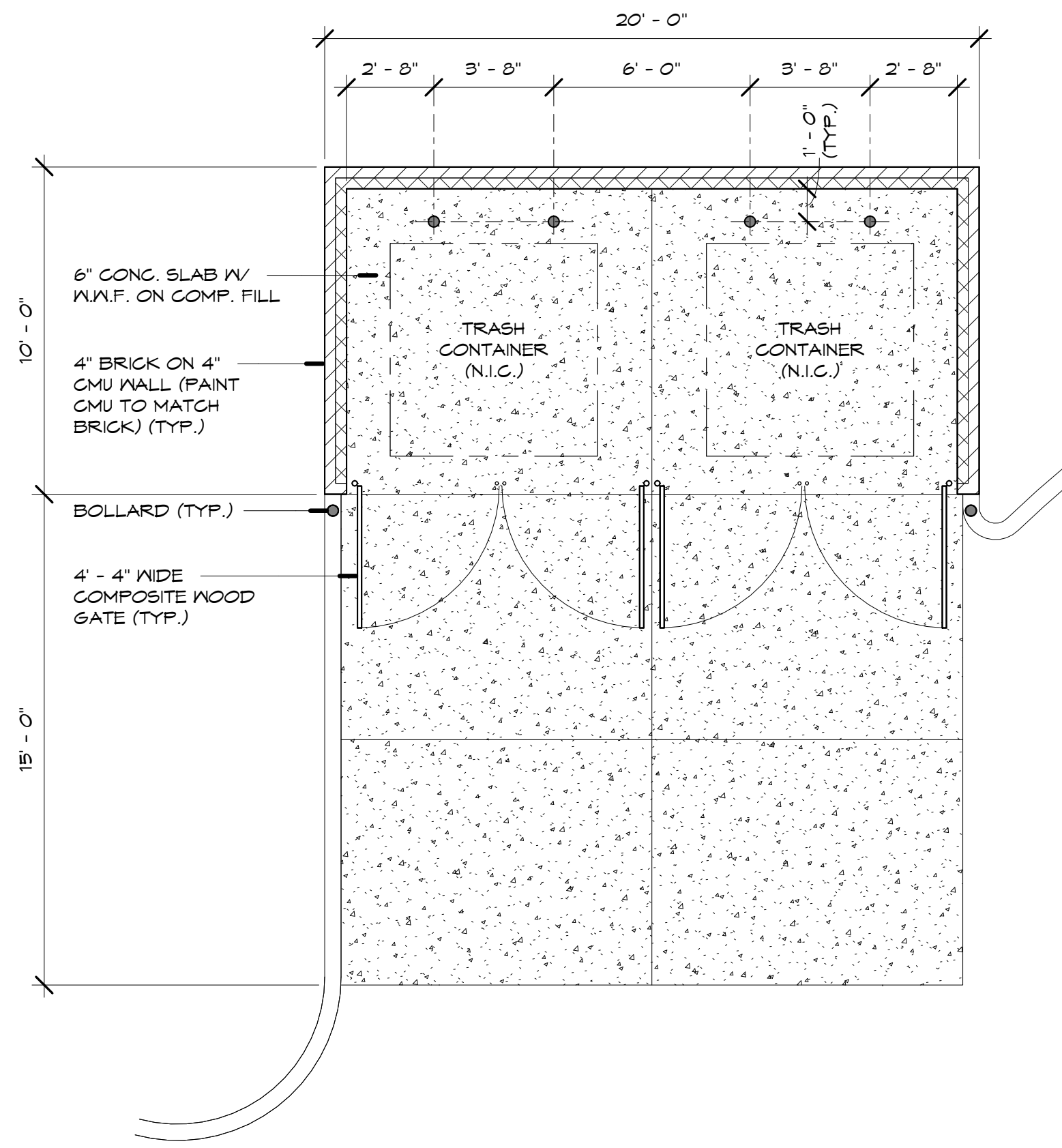
Table 5.03 B-1 Building Form: Type A
Bldg Height
Min (Stories): 1
Min (Feet): 14
Actual Stories & Height: 1 Story & 30'-10"
Max (Stories): 3
Max (Feet): 45

Table 5.03 B-1 Bldg Set Backs (Feet)
Required Max Front: 10
Actual Front: 10'-0"
Min Front: N/A
Min Side: N/A
Required Min Rear: 30
Actual Rear: 84'-6"

Table 13.09-A Loading/Unloading
Size: 10' x 50'
Up to 5,000 Gross Sq Ft: 1
5,001 to 60,000 Gross Sq Ft: 1 + 1 per each 20,000 Sq Ft
Actual: 2 at 10' x 50'

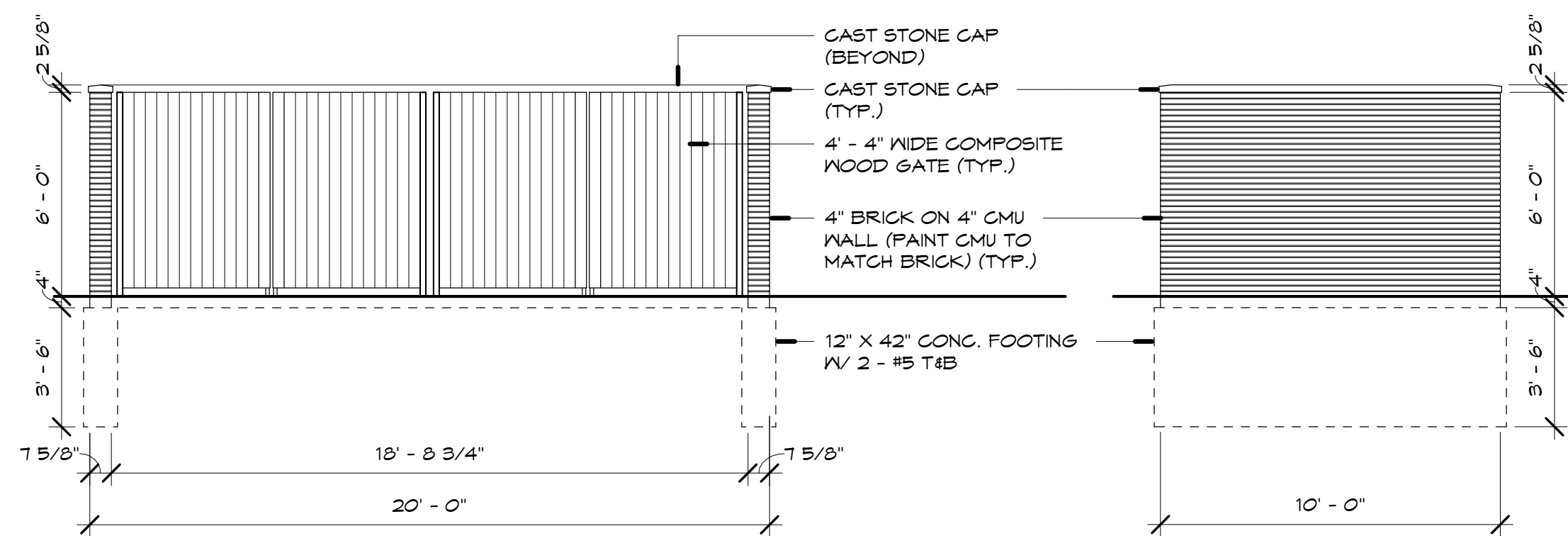
Tenant Information/Parking

Tenant	Rentable Area (Sq Ft)	Area (Sq Ft)	Use	Ratio/ Use Sq Ft	Parking Required
New Building					
1 Tenant A - Office	1,867	933	Office	300	3.11
Tenant A - Industrial	933	933	Industrial	550	1.70
2 Tenant B - Office	1,843	922	Office	300	3.07
Tenant B - Industrial	922	922	Industrial	550	1.68
3 Tenant C - Office	1,843	922	Office	300	3.07
Tenant C - Industrial	922	922	Industrial	550	1.68
4 Tenant D - Office	1,867	933	Office	300	3.11
Tenant D - Industrial	933	933	Industrial	550	1.70
Totals	7,420				19.11
Parking Required					19
Parking Provided					19
Over/Under					0



DUMPSTER ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"

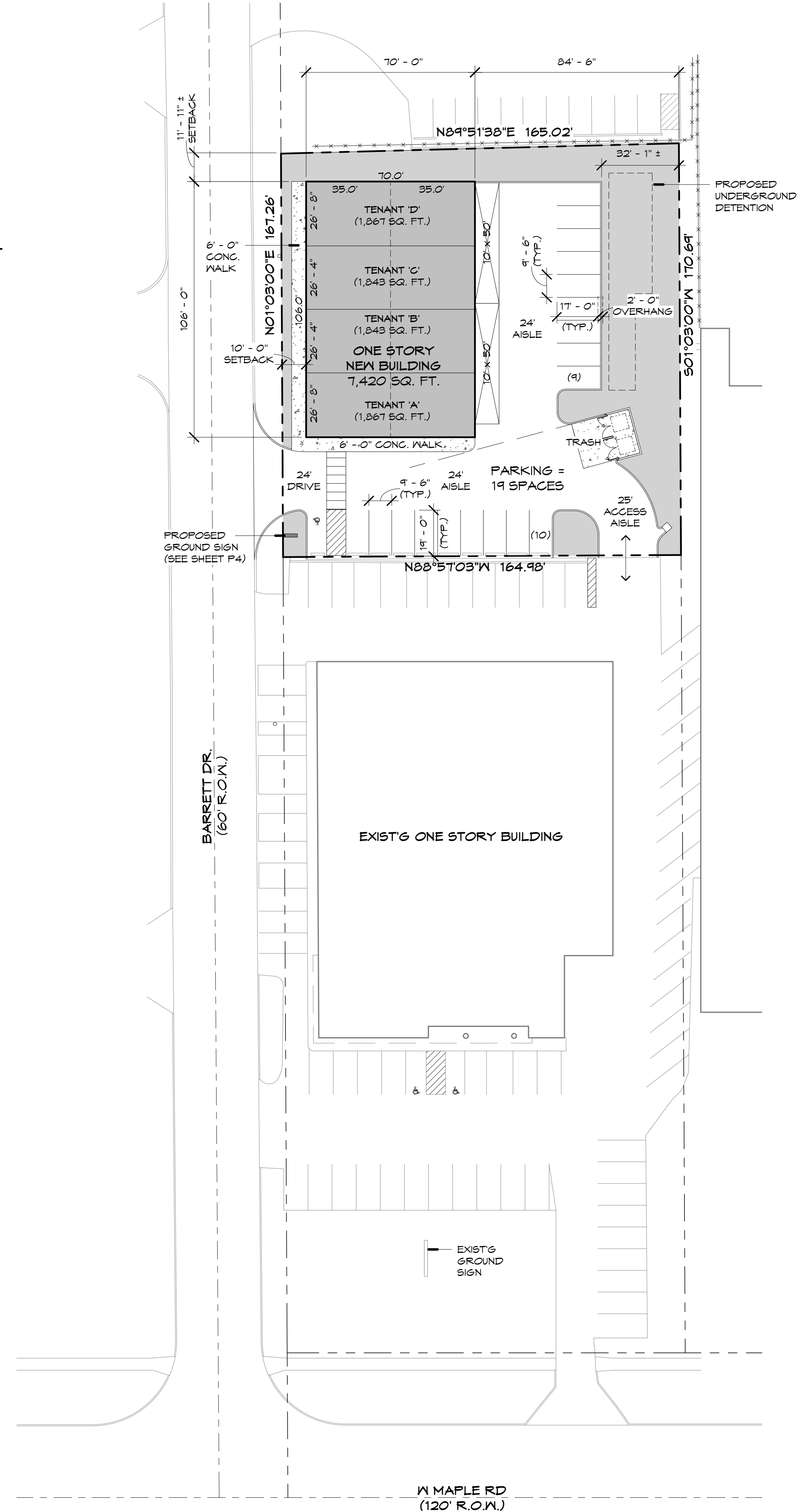


DUMPSTER ENCLOSURE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

DUMPSTER ENCLOSURE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



CONCEPTUAL SITE PLAN

SCALE: 1" = 30'-0"

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Tiseo Architects, Inc.
19815 Farmington Road
Livonia, Michigan
48152-1444
248.888.1300
fax 248.888.1313
www.tiseo.com

New Building
Barrett Dr & W Maple Rd
Troy, Michigan

Drawn by: Kimberly Nakhleh
Checked by: Benedetto Tiseo

Seal / Signature

Date: 22 DEC 2021

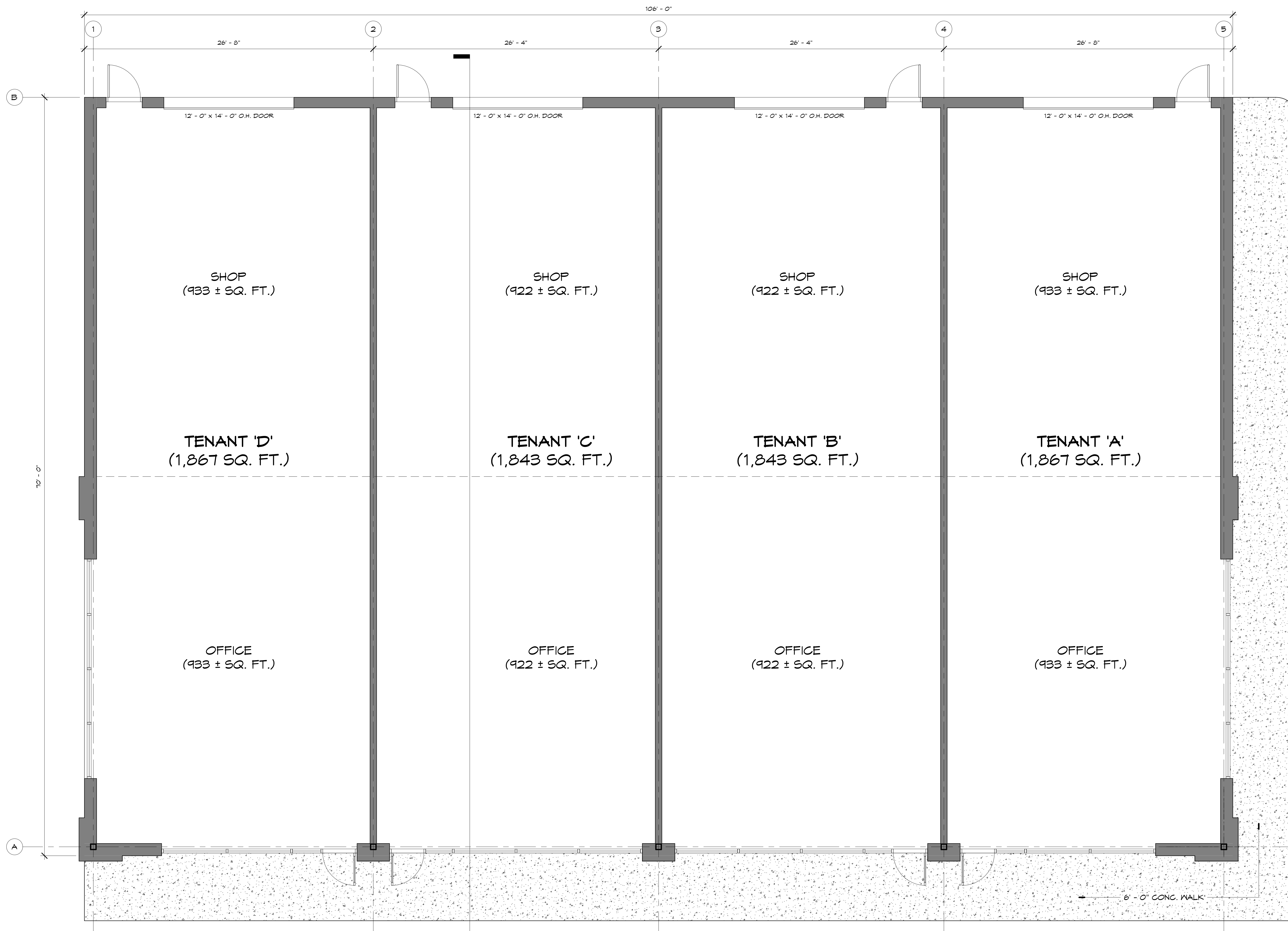
Issued for: PRELIM SITE PLAN SUBMIT
Date: 22 DEC 2021

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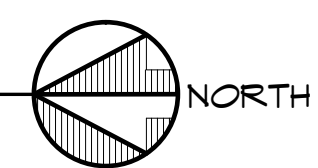
CONCEPTUAL SITE PLAN, SITE DETAILS

Project No. 21015
Sheet No. P1
Date Printed:

12/21/2021 2:24:19 PM T:\Projects\21015 New Building\302 New Building (Troy)\Preliminary\CD\CD15 - Plan Drawn



PRELIMINARY FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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New Building

Barrett Dr & W Maple Rd
 Troy, Michigan

Drawn by: Kimberly Nakhleh
 Checked by: Benedetto Tiseo

Seal / Signature



B. Tiseo

Date: 22 DEC 2021

Issued for: PRELIM SITE PLAN SUBMIT
 Date: 22 DEC 2021

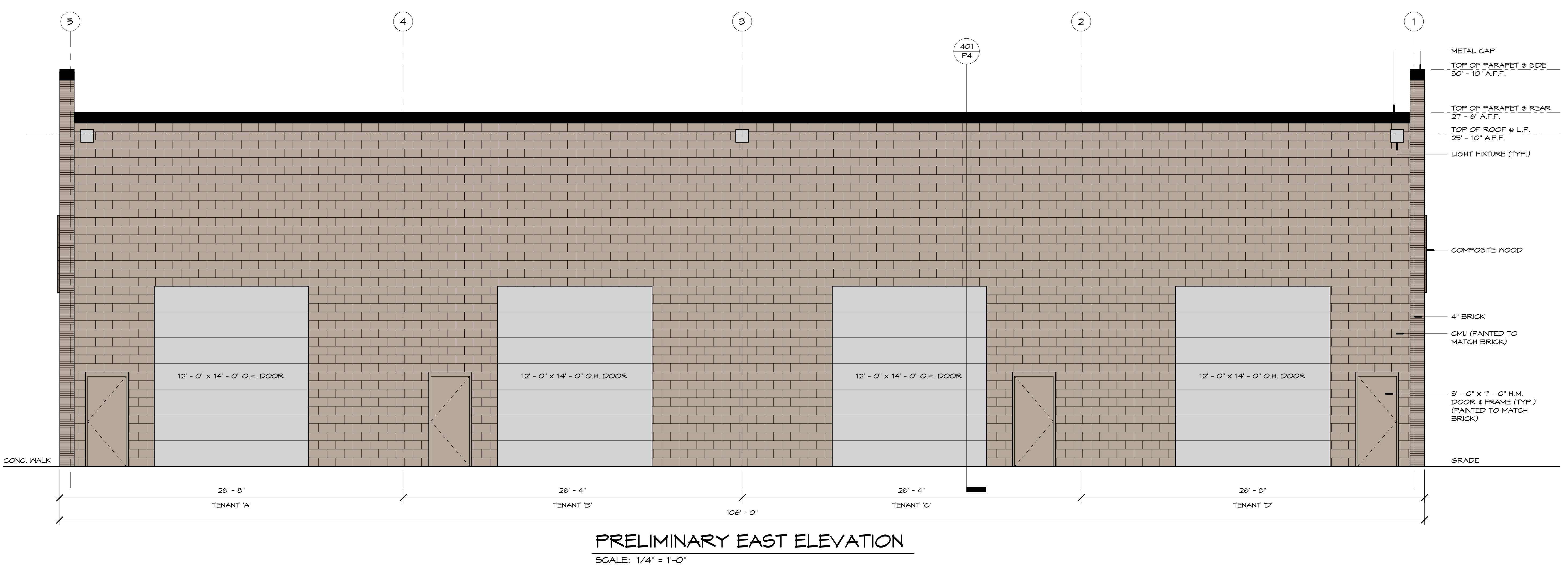
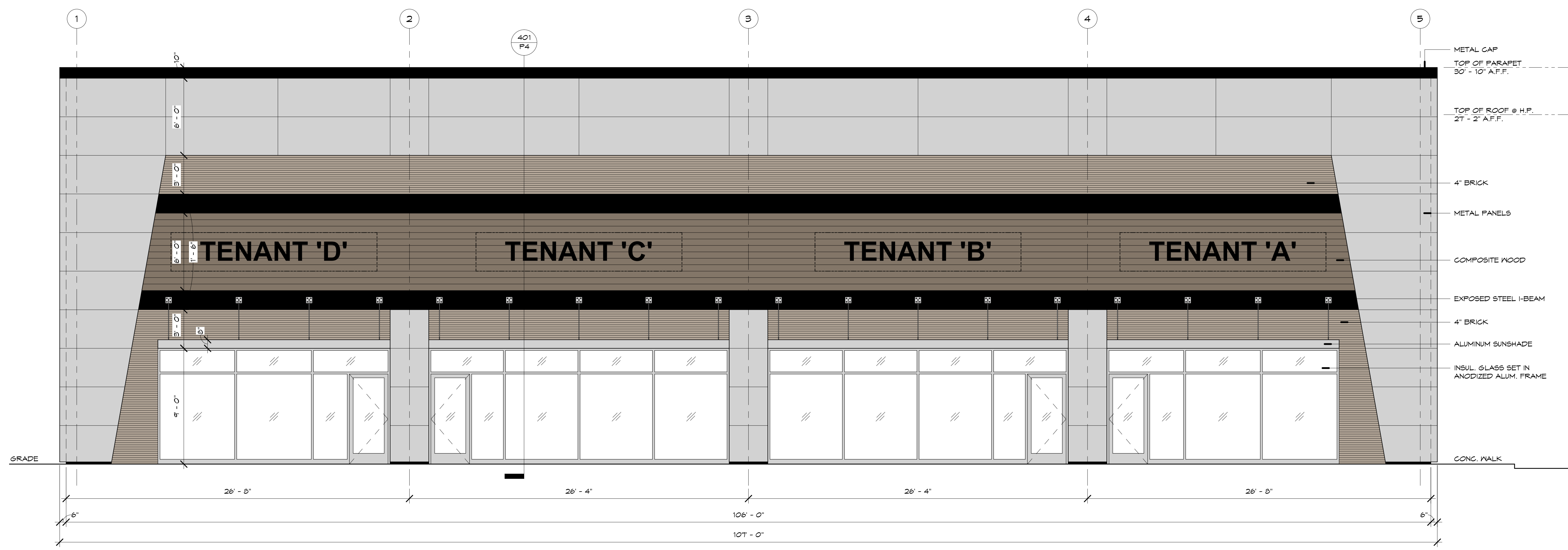
I:\Projects\21015 New Building\21015 New Building\21015 Prelim\21015 Prelim.dwg

NOT FOR CONSTRUCTION

PRELIMINARY FLOOR PLAN

Project No. 21015 Sheet No. P2

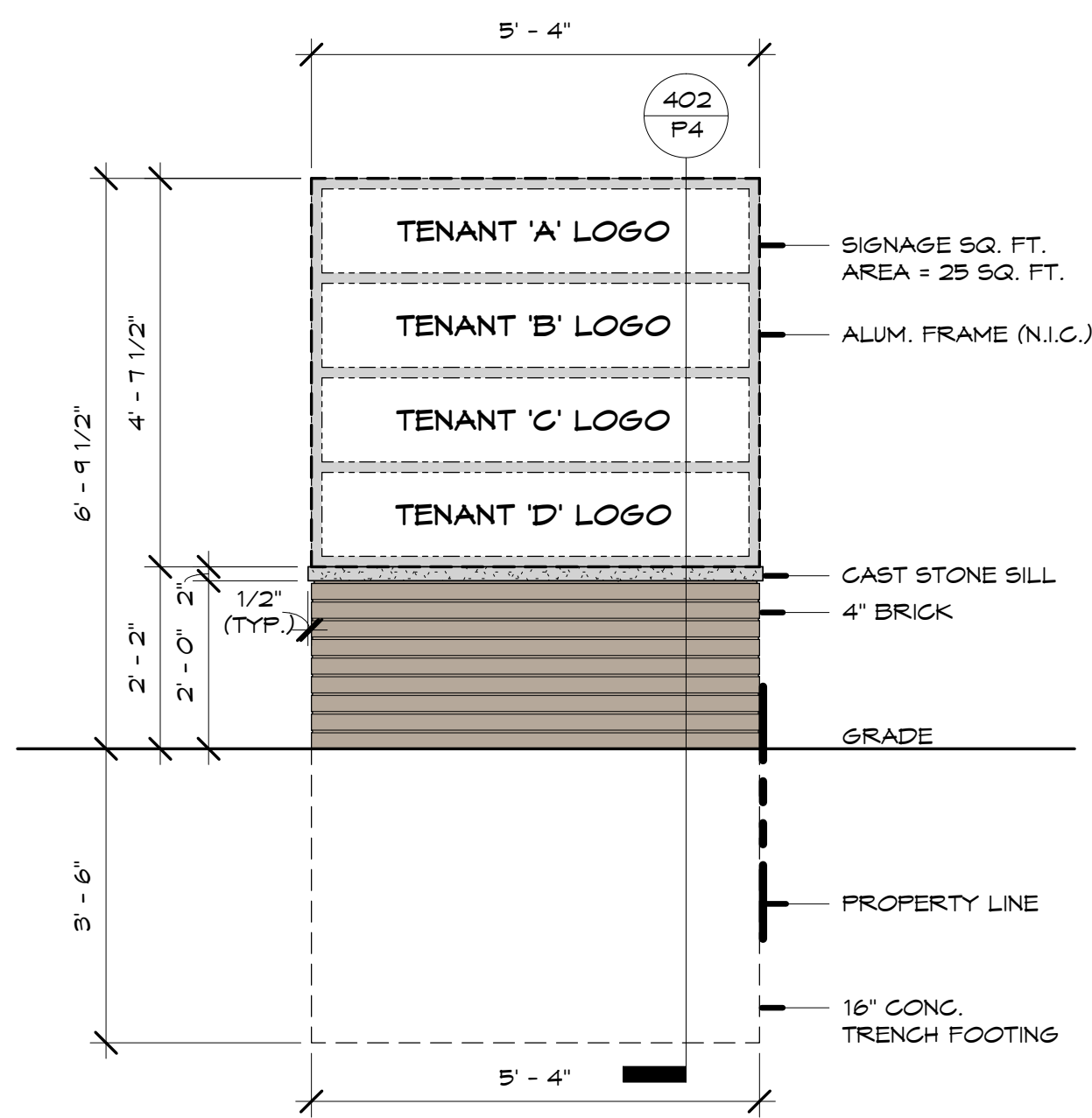
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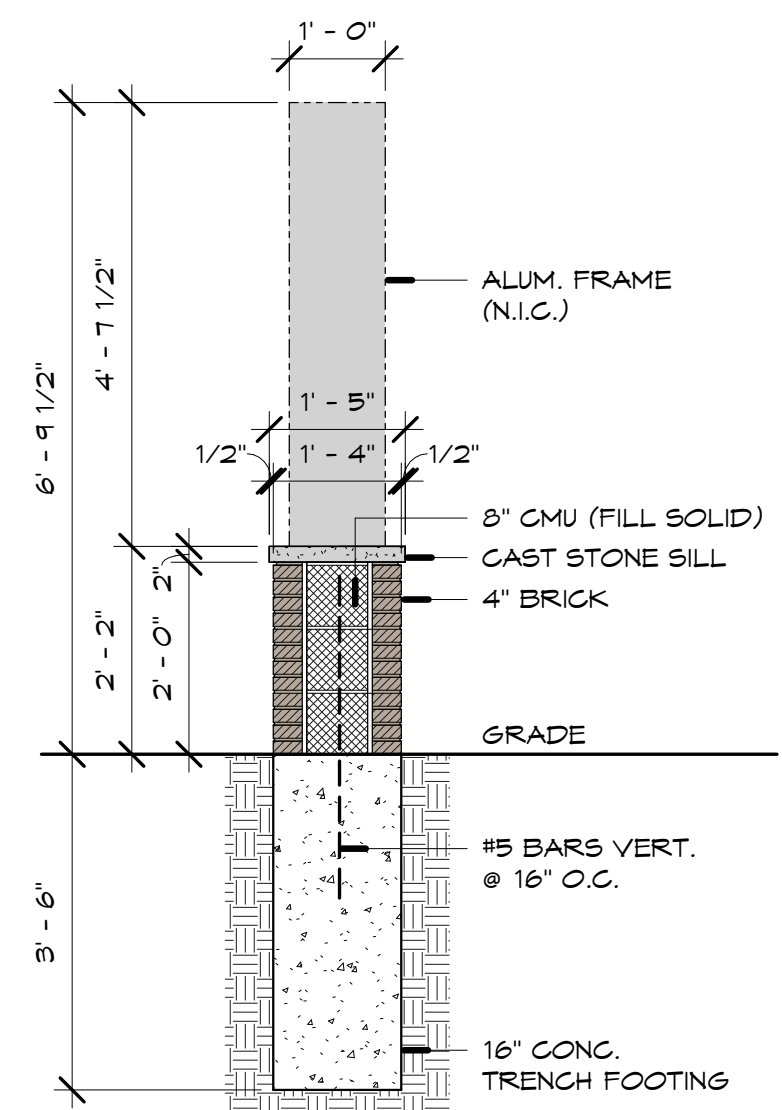
COLOR/FINISH SCHEDULE

- DIV 4 Brick: 4" Roman, Belden Brick
Color: 8532 Velour
- DIV 7 Composite Wood: "Geolam" Soleo 6040
Color: Moleskin
- DIV 7 Metal Panels: East Coast Metal Systems: Factory Finish "Larson by Alucol"
Color: Pewter M-37
- DIV 7 Metal Cap: "Berridge" Kynar 500
Color: Matte Black
- DIV 8 Storefront: Color: Clear Anodized
- DIV 9 Paint: "Sherwin Williams"
Color: To Match Exterior Brick
- DIV 9 Paint: "Sherwin Williams" - Exposed Steel I-Beam
Color: SW 6941 Black Magic
- DIV 10 Sunshades: "Intertec" Factory Applied "Larson by Alucol"
Color: Pewter M-37



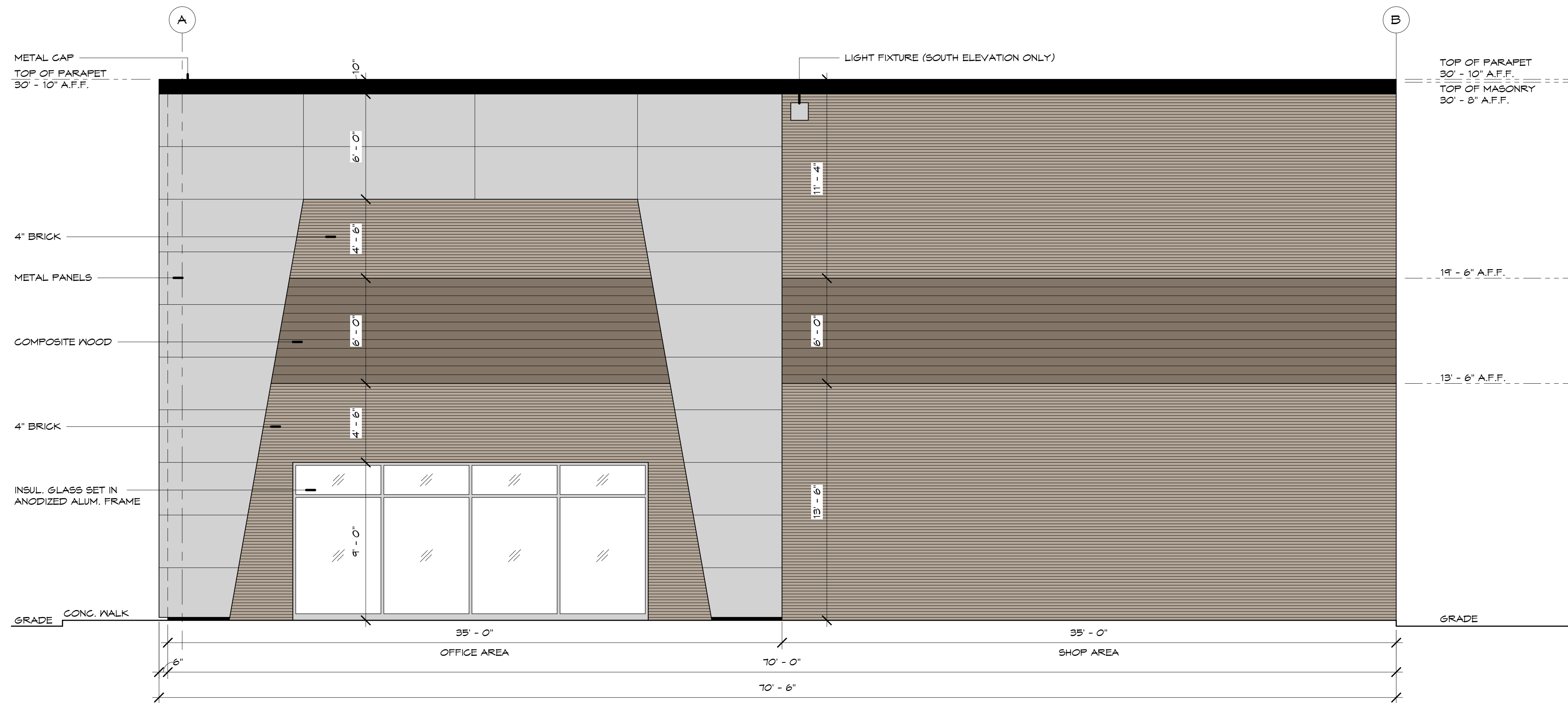
GROUND SIGN ELEVATION

SCALE: 1/2" = 1'-0"



GROUND SIGN SECTION

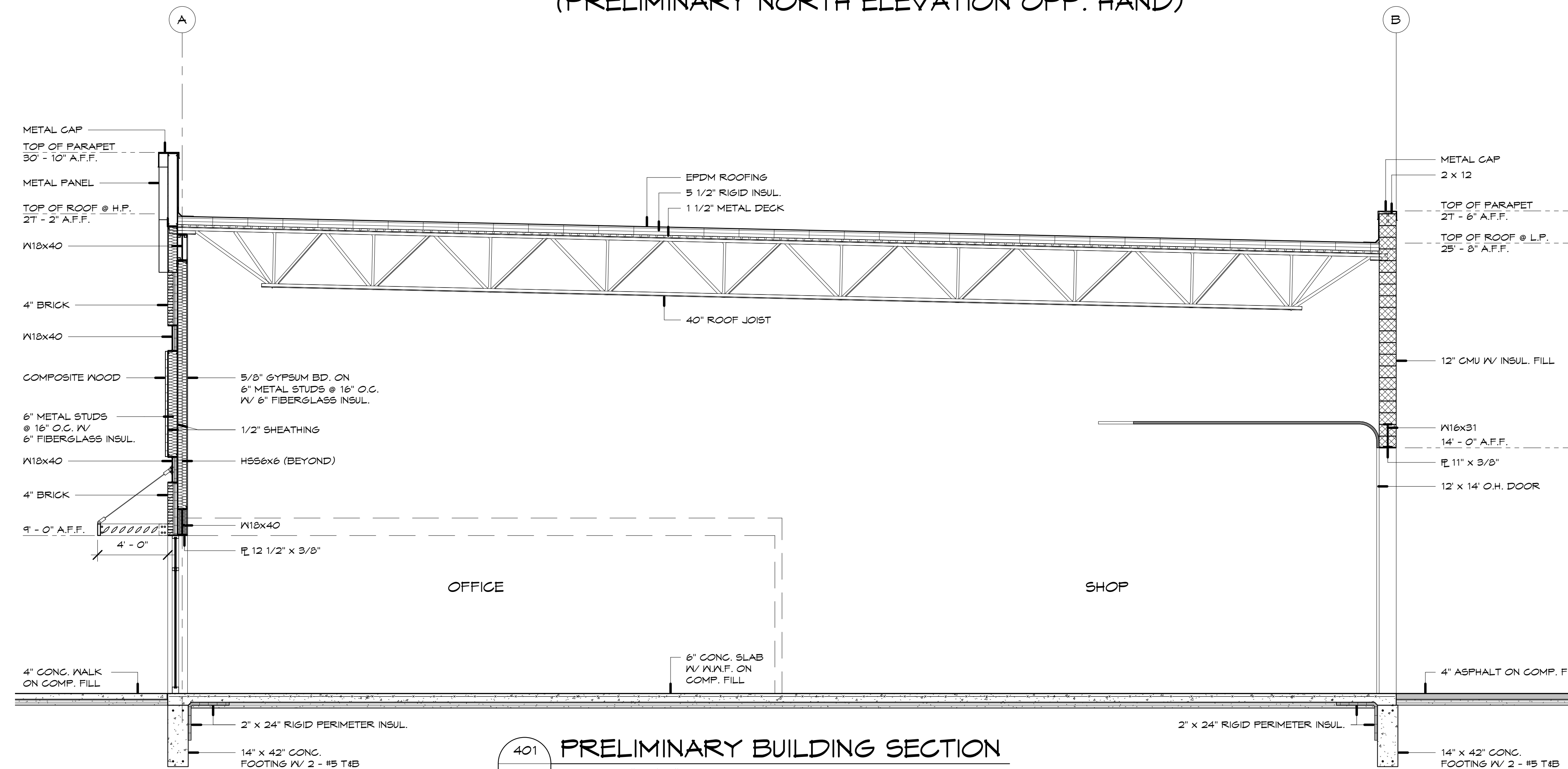
402
P4 SCALE: 1/2" = 1'-0"



PRELIMINARY SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

(PRELIMINARY NORTH ELEVATION OPP. HAND)



PRELIMINARY BUILDING SECTION

401
A2
A3 SCALE: 1/4" = 1'-0"

New Building

Barrett Dr & W Maple Rd
Troy, Michigan

Drawn by: Kimberly Nakhleh
Checked by: Benedetto Tiseo

Seal / Signature



Date: 22 DEC 2021

Issued for: PRELIM SITE PLAN SUBMIT
Date: 22 DEC 2021

NOT FOR CONSTRUCTION

PRELIMINARY ELEVATIONS & SECTIONS

Project No. 21015
Sheet No. P4

Date Printed:

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WDGE2 LED Architectural Wall Sconce

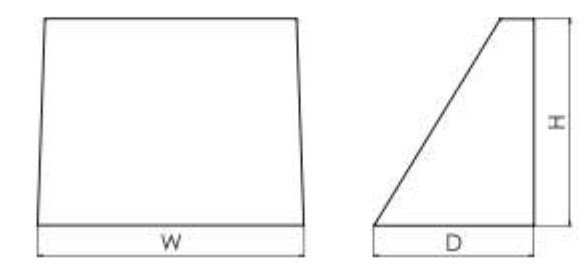


Catalog Number:
Notes:
Type:

Introduction
The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.
WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications

Depth: 7"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs (without options)



WDGE2 LED Family Overview

Luminaire	Standard Efficacy, ft/c	Cold Efficacy, 30°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE2 LED	4W	—	—	1,200	2,000	—	—	—	—
WDGE3 LED	10W	15W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	—
WDGE3 LED	15W	15W	Standalone / nLight	7,500	8,500	10,000	12,000	—	—
WDGE4 LED	—	—	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT DDBXD

Series	Package	Color Temperature	CR	Distribution	Voltage	Mounting	Shipped included	Shipped separately	
WDGE2 LED	P1	P1SW	27K	2700K	80CRI	VF	Visual comfort forward throw	MVOLT	347V
	P2	P2SW	30K	3000K	90CRI	VF	Visual comfort wide	SRM	Surface mounting bracket
	P3	P3SW	33K	3300K	—	—	—	—	—
	P4	P4SW	40K	4000K	—	—	—	—	—
	P5	P5SW	50K	5000K	—	—	—	—	—

Options

Options	Stand-alone Sensors/Controls	Networked Sensors/Controls	Finish		
E4WH	Emergency battery backup, CE compliant (400, 0°C min)	PIR	PIR	DDBXD	Dark bronze
E4WHN	Emergency battery backup, CE compliant (1000, 5°C min)	PIR	PIR	DDBXD	Black
E20WH	Emergency battery backup, CE compliant (1800, -20°C min)	PIR	PIR	DDBXD	Natural aluminum
P4	PhotoCell, Button Type	PIR	PIR	DDBXD	White
DS1	Dual switching (comes with 2 drivers and 2 light engines, see page 3 for details)	PIR/FCV	PIR/FCV	DDBXD	Sandstone
DM5*	3-1/8" diameter wire-pull-out socket feature (for use with an external control, ordered separately)	PIR/FCV	PIR/FCV	DDBXD	Textured dark bronze
BCE	Bottom conduit entry for premium back box (PBB6), total of 4 entry points.	PIR/FCV	PIR/FCV	DDBXD	Textured black
		PIR/FCV	PIR/FCV	DDBXD	Textured natural aluminum
		PIR/FCV	PIR/FCV	DDBXD	Textured white
		PIR/FCV	PIR/FCV	DDBXD	Textured sandstone

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com WDGE2 LED Rev. 01/07/20

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
OVERALL	+	0.5 fc	3.8 fc	0.0 fc	N/A	N/A	0.1:1
PARKING LOT	+	1.4 fc	3.8 fc	0.1 fc	38.0:1	14.0:1	0.4:1

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
⊡	A	4	Lithonia Lighting	WDGE2 LED P5 40K 80CRI VW	WDGE2 LED WITH P5 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT WIDE OPTIC	LED	1	6151	0.9	48.44

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Mounting Height Note

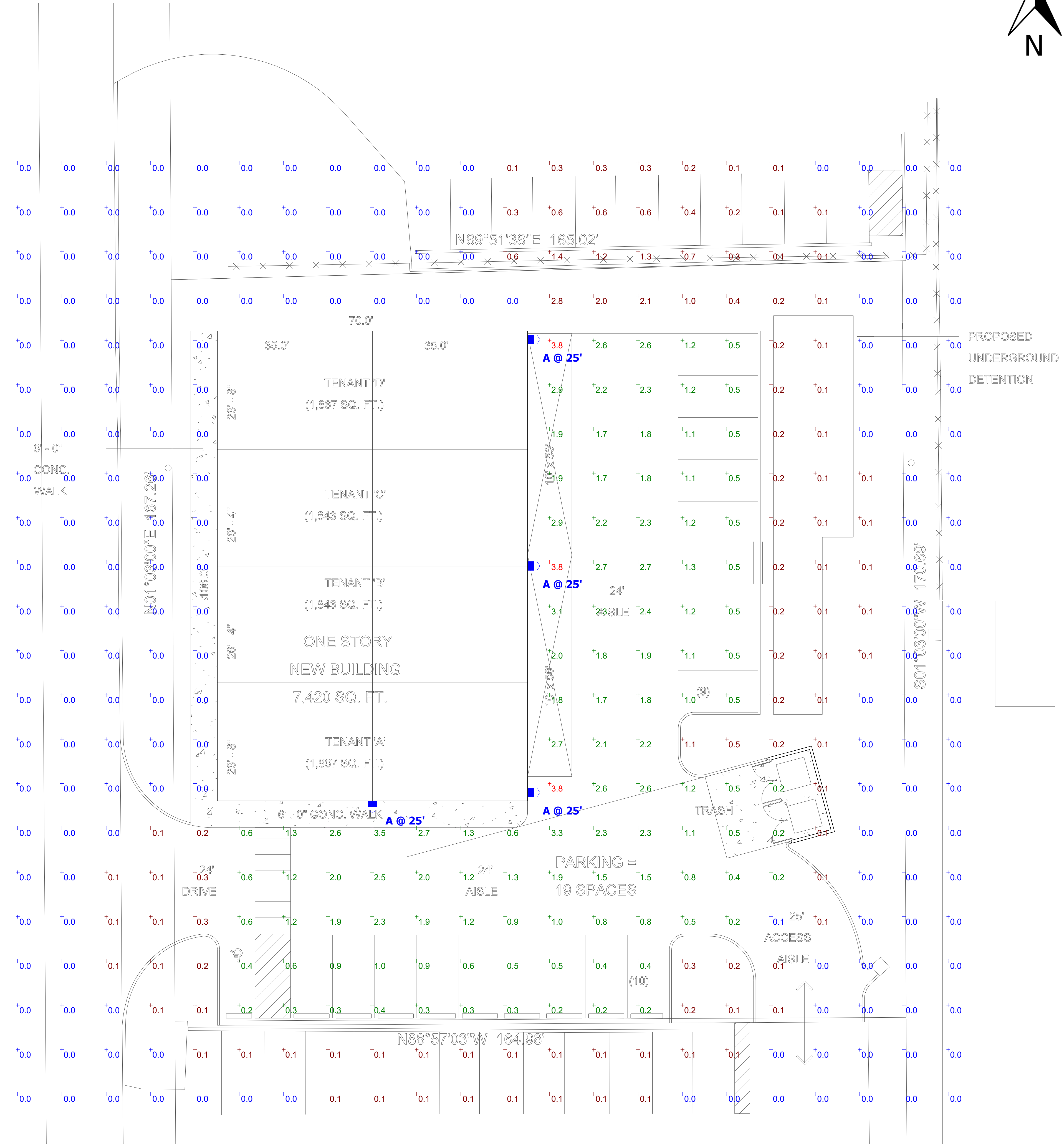
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.



Plan View
Scale - 1" = 12ft

New Building - Barrett Dr. & West Maple
 PHOTOMETRIC SITE PLAN
 PREPARED FOR: Tiseo Architects, Inc.
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM



Tiseo Architects, Inc.

19815 Farmington Road
Livonia, Michigan
48152-1444

Phone: 248.888.1300
Fax: 248.888.1313
www.tiseo.com

January 20, 2022

Mr. Brent Savidant, AICP
City of Troy Planning Dept
500 W Big Beaver Rd
Troy, MI 48084
Email: SavidantB@troymi.gov

Re: New Building
Barrett Dr & W Maple Rd
Troy, Michigan
Project No. 21015

Dear Mr. Savidant,

Below is our Statement of Compatibility for a Special Land Use application submittal for the project referenced above as required in Section 9.03 Special Use Standards of the current Zoning Ordinance.

The project is a Single-Story Multi-Tenant Speculative Office & Industrial Building of approximately 7,420 Sq Ft on a vacant 0.64-acre site. The property is zoned MR Maple Road and is bounded by additional MR properties to the south, east and across the street to the west. The adjacent property to the north is zoned IB Integrated Industrial Business District.

Section 9.03 Special Use Standards

Paragraph A General Standards.

1. **Compatibility with Adjacent Uses:** This development has been designed in a manner harmonious with the character of adjacent properties and the surrounding area and will not create a significant detrimental impact, as compared to the impacts of permitted uses.
2. **Compatibility with the Master Plan:** This development shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and corridor plans.
3. **Traffic Impact:** This development is designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety: vehicle trip generation, types of traffic, access location, and design, circulation and parking design, traffic operations at nearby intersections and access points. Efforts have been made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternative modes of access and alleviate vehicular traffic congestion.
4. **Impact on Public Services:** This development will be adequately served by essential public facilities and services, such as: existing streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage



Veteran Owned
Small Business

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facilities. Such services will be provided and accommodated without an unreasonable public burden.

5. ***Compliance with Zoning Ordinance Standards:*** This development will be designed, constructed, operated and maintained to meet the stated intent of the zoning district and shall comply with all applicable ordinance standards.
6. ***Impact on the Overall Environment:*** This development will not unreasonably impact the quality of natural features and the environment in comparison to the impacts associated with typical permitted uses.

Paragraph B Factors.

1. ***The nature & character of the activities, processes, materials, equipment, or conditions of operation; either specificity or typically associated with the use:*** This development will be a benefit to the community by allowing the continued growth of small business along a popular and well-traveled main artery in the city. The new building is designed with durable materials and to be aesthetically pleasing.
2. ***Vehicular circulation and parking areas:*** This development has been designed to provide adequate parking, loading/unloading, refuse pick up and vehicular circulation including a driveway between the adjoining south property which has the same ownership.
3. ***Outdoor activity, storage and work areas:*** This development has been designed to accommodate standard business functions and not any exterior storage.
4. ***Hours for operation.*** The hours of operation for this development will be compatible with the surrounding business and therefore will not create a nuisance to the community.
5. ***Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light:*** This development will not increase or create undesirable amounts of traffic, noise vibration, smoke, fumes odors, dust, glare and light.

Based on the information above we request approval for this new building and look forward to the coming months to achieve that goal.

Sincerely,

TISEO ARCHITECTS, INC.

A handwritten signature in black ink, appearing to read 'Benedetto Tiseo', is written over a horizontal line. The signature is stylized and cursive.

Benedetto Tiseo, FAIA, NCARB

President

ben@tiseo.com

Cc. Kevin Denha, James Butler



Tiseo Architects, Inc.

19815 Farmington Road
Livonia, Michigan
48152-1444

Phone: 248.888.1300
Fax: 248.888.1313
www.tiseo.com

January 20, 2022

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Veteran Owned
Small Business

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Benedetto Tiseo, FAIA, NCARB

President

ben@tiseo.com

Cc. Kevin Denha, James Butler



Tiseo Architects, Inc.

RECEIVED
JAN 20 2022
CITY OF TROY
BUILDING DEPT

TRANSMITTAL

Date: 22 Dec 2021

To:	Project:	Project No:
Mr. Brent Savidant, AICP	New Building	21015
City of Troy Planning Dept	Barrett Dr & W Maple Rd	
500 W Big Beaver Rd	Troy, Michigan	
Troy, MI 48084		

WE ARE FORWARDING:

Copies:	Date:	Description:
1	20 Jan 2022	Signed Special Use Request Application
1	18 Jan 2022	Check #001144 for Required Fees (\$800)
2	20 Jan 2022	Statement of Compatibility as Per Section 9.03 of the Zoning Ordinance

<input type="checkbox"/> For Your Use	<input type="checkbox"/> Approved	<input checked="" type="checkbox"/> Hand Delivery
<input type="checkbox"/> For Your Action	<input type="checkbox"/> Approved As Noted	<input type="checkbox"/> Pick Up
<input type="checkbox"/> For Your Approval & Signature	<input type="checkbox"/> Revise & Resubmit	<input type="checkbox"/> Regular Mail
<input checked="" type="checkbox"/> For Your Review & Comment	<input type="checkbox"/> Not Approved	<input type="checkbox"/> Express Mail
		<input type="checkbox"/> Other

REMARKS:

The enclosed are being submitted as supplements to the documents submitted 12/22/2021 for Preliminary Site Plan Approval. The PDF files of the application and statement were emailed to you today. If you have any questions or need any additional information, please just let me know.

Copy to: File
Kevin Denha (Electronically)
James Butler (Electronically)

Signed: 
Kimberly Nakhleh, Associate AIA
Sr Project Manager & Lead Designer
TISEO ARCHITECTS, INC.
kim@tiseo.com