

#### PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

David Lambert, Chairman, Marianna Perakis, Vice Chairman Carlton Faison, Michael W. Hutson, Tom Krent, Lakshmi Malalahalli, Sadek Rahman and John J. Tagle

February 22, 2022 7:00 P.M. Council Chambers

- 1. ROLL CALL
- 2. APPROVAL OF AGENDA
- 3. <u>APPROVAL OF MINUTES</u> February 8, 2022
- 4. PUBLIC COMMENT For Items Not on the Agenda

#### **SPECIAL USE APPROVAL**

 PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN APPROVAL (File Number SP JPLN2021-0027) – Proposed 780 West Maple (North) Industrial Building, East side of Barrett, North of Maple (PIN 88-20-28-304-029), Section 28, Currently Zoned MR (Maple Road) District.

#### **OTHER ITEMS**

- 6. <u>PUBLIC COMMENTS</u> For Items on the Agenda
- 7. PLANNING COMMISSION COMMENT
- 8. ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at <a href="clerk@troymi.gov">clerk@troymi.gov</a> or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Lambert called the Regular meeting of the Troy City Planning Commission to order at 7:01 p.m. on February 8, 2022, in the Council Chamber of the Troy City Hall. Chair Lambert and Vice Chair Perakis presented opening remarks relative to the role of the Planning Commission and procedure of tonight's meeting.

#### 1. ROLL CALL

#### Present:

Carlton M. Faison Michael W. Hutson Tom Krent David Lambert Lakshmi Malalahalli Marianna Perakis Sadek Rahman John J. Tagle

#### Also Present:

R. Brent Savidant, Community Development Director Julie Quinlan Dufrane, Assistant City Attorney Kathy L. Czarnecki, Recording Secretary

#### 2. <u>APPROVAL OF AGENDA</u>

#### Resolution # PC-2022-02-009

Moved by: Tagle Support by: Faison

**RESOLVED**, To approve the Agenda as prepared.

Yes: All present (8)

#### **MOTION CARRIED**

#### 3. <u>APPROVAL OF MINUTES</u> – January 25, 2022

#### Resolution # PC-2022-02-010

Moved by: Krent Support by: Rahman

**RESOLVED**, To approve the minutes of the January 25, 2022 Regular meeting as submitted.

Yes: All present (8)

#### **MOTION CARRIED**

#### 4. <u>PUBLIC COMMENT</u> – For Items Not on the Agenda

There was no one present who wished to speak.

#### PLANNED UNIT DEVELOPMENT

 PLANNED UNIT DEVELOPMENT (File Number PUD 2020-0018) – Proposed Concept Development Plan (CDP) for Long Lake and Crooks Masterplan Development, Northwest Corner of Long Lake and Crooks, Section 8, Currently Zoned O (Office) District

Mr. Savidant explained the approval process of a Planned Unit Development (PUD) application. A brief question and answer session followed.

Present were Anthony Antone and Chris Kojaian of Kojaian Properties and project architect Chris Beck of Gensler.

Mr. Antone gave a brief introduction of Kojaian Properties and noted some of their prominent projects in Troy. Mr. Antone referenced the proposed development as the gateway to North Troy. He stated the revised concept plan before the Board this evening incorporates the preservation of natural features identified by the Department of Environment, Great Lakes and Energy (EGLE). He noted the wetlands are regulated and must be preserved and remain untouched.

Mr. Antone addressed how the development team is using the site's natural features as its focal point. He said they would like the Board's feedback on the revised concept plan prior to their submission of a formal application. Mr. Antone said the development team believes it has incorporated most of the items discussed at the January 12, 2021 Planning Commission meeting.

There was lengthy dialogue among Board members and the applicant. Board members shared their personal visions of the proposed project.

#### Board comments related to:

- Create a destination point to attract people from within the complex and throughout the City.
- Integrate a plaza, pedestrian path, promenade, village-like characteristics.
- Reduce surface parking.
- Provide more walkability.
- Centrally relocate parking deck.
- Reconfigure placement of buildings to connect to public amenity space.
- Expand and centrally relocate public amenity space.
- · Be bold and creative with expanse of property.
- Provide a visual illustration of project, such as a three-dimensional model.

Some members expressed the revised concept plan offers no significant changes from the concept plan presented in January 2021.

Mr. Antone addressed the "block" conceptual plan and detailed their vision of a live/work/play development. He said the development team has had conversations with high-end, luxury developers for all components of the project; residential, restaurant and retail, anchor hotel and anchor office headquarters. He addressed how the project is market-driven and site configurations must be effectual for various clients.

Mr. Antone said building heights would be:

- Office professional building, up to 10 stories.
- Centrally located building, 6 to 8 stories.
- Residential, 6 to 7 stories.
- Hotel, up to 5 or 6 stories.
- Restaurant/retail, up to 2 stories.
- Parking deck, 10 levels.

Mr. Antone thanked the Board for their comments and visions and said they look forward to coming back in front of the Board.

#### OTHER ITEMS

#### 6. PUBLIC COMMENT – For Items on the Agenda

There was no one present who wished to speak.

#### 7. PLANNING COMMISSION COMMENT

Ms. Perakis acknowledged the Board's receipt of an email communication from John Shepherd that addresses transition of mixed housing with single family residential, zoning options and affordability of housing in Troy. She encouraged engagement of all residents.

There were general comments, some relating to:

- Opposition to higher density projects expressed by residents.
- Transition between higher density projects and single family residential.
- Housing trends; housing deficiency, accessory dwellings to accommodate family lifestyles.
- Affordable housing; property values, land and construction costs.

#### 8. ADJOURN

The Regular meeting of the Planning Commission adjourned at 8:27 p.m.

Respectfully submitted,	
David Lambert, Chair	•
Kathy L. Czarnecki, Recording Secretary	•

https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2022/2022 02 08 Draft.doc

DATE: February 18, 2022

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN APPROVAL

(File Number SP JPLN2021-0027) – Proposed 780 West Maple (North) Industrial Building, East side of Barrett, North of Maple (PIN 88-20-28-304-029), Section 28,

Currently Zoned MR (Maple Road) District.

The petitioner Tiseo Architects, Inc. submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for construction of a new 7,420 square foot industrial building. Industrial uses are permitted in the MR (Maple Road) District subject to special use approval.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

#### Attachments:

- 1. Maps
- 2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SITE PLANS\SP JPLN2021-0027 780 WEST MAPLE (NORTH)\PC Memo 02 22 2022.docx

#### PROPOSED RESOLUTION

<u>PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN APPROVAL (File Number SP JPLN2021-0027)</u> – Proposed 780 West Maple (North) Industrial Building, East side of Barrett, North of Maple (PIN 88-20-28-304-029), Section 28, Currently Zoned MR (Maple Road) District.

#### Resolution # PC-2022-02-

Moved by: Seconded by:

**RESOLVED**, The Planning Commission hereby approves a reduction in the total number of required parking spaces for the proposed 780 West Maple (North) Industrial Building to 19 when a total of 20 spaces are required on the site based on the off-street parking space requirements for industrial and office. This 1-space reduction is sufficient to meet parking demands based on shared ownership with the property to the south; and.

**RESOLVED**, The Planning Commission hereby waives the loading space requirement; and.

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed 780 West Maple (North) Industrial Building, East side of Barrett, north of Maple, Section 28, Currently Zoned MR (Maple Road) District, be (granted, subject to the following conditions):

- 1. Provide bicycle rack for two bicycles
- 2. Provide cross access easement
- 3. Provide transparency calculations
- 4. Provide transparency along rear elevation

	) or
(denied, for the following reasons:	) or
(postponed, for the following reasons:	)
Yes: No:	
Absent:	

#### **MOTION CARRIED / FAILED**

G:\SITE PLANS\SP JPLN2021-0027 780 WEST MAPLE (NORTH)\Proposed Resolution 2022 02 22.doc



## **GIS Online**



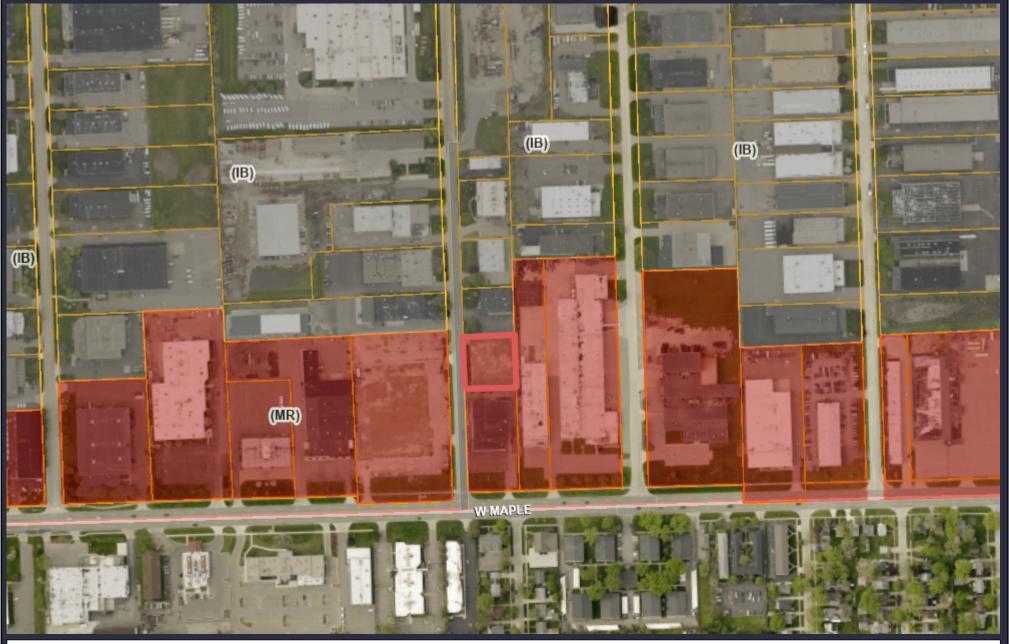
835 0 417 835 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



## **GIS Online**



835 0 417 835 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date:

January 18, 2022 February 15, 2022

# Preliminary Site Plan and Special Use Review For Troy, Michigan

**Applicant:** Kevin Denha, Big Tom Properties

**Project Name:** Barrett and Maple Commercial Building

Plan Date: December 22, 2021, supplement with additional information on

**Location:** Barrett Road, just north of Maple Road

**Zoning:** Maple Road

**Action Requested:** Preliminary Site Plan and Special Use Approval

#### PROJECT AND SITE DESCRIPTION

The applicant is requesting Special Use and preliminary site plan to construct a +/- 7,400 square-foot one-story light-industrial / commercial building. The building will be divided into four (4) tenant suites, each totaling +/- 1,840 square feet. The tenants have not been provided but the parking is based on light industrial / and office parking requirements.

The 0.64-acre site is currently two vacant parcels north of Maple. The site is surrounded by a number of light industrial, office, and commercial uses. The site is zoned Maple Road form-based. As noted the building is being built on speculation of light industrial and office uses. Light industrial requires a Special Use. Office and accompanying light industrial (shop-type spaces) are very common in this area.



Figure 1. Location of the Subject Site

**Table 1. Zoning of Adjacent Properties** 

	Zoning	Uses
North	North IB, Integrated Industrial and Business Light Industria	
	District	
South	MR, Maple Road	Office/Light Industrial
East	MR, Maple Road	Office/Light Industrial
West	MR, Maple Road	Office/Light Industrial

Items to be Addressed: None.

#### NATURAL RESOURCES

The site has been graded for development. No natural resources exist.

Items to be Addressed: None.

#### BUILDING LOCATION AND SITE ARRANGEMENT

The building is placed 10-feet from Barrett Drive, with a drive-aisle just south of the building. Parking is located on the side and rear of the building. Loading and access to the light industrial portions of the building are located in the rear of the building.

Items to be Addressed: None.

#### AREA, WIDTH, HEIGHT, SETBACKS

	MR	Provided	Compliance
Max. Building Height			
Stories	1 to 3 stories	1	Yes
Feet	14 to 45 feet	27 feet	Yes
Minimum Building Line			
Front	10 Feet	10 feet	Yes
Side	0 feet	11 feet (north)	
		Over 45 feet (south)	Yes
		Combined	
Rear	30 Feet	84.5 feet	Yes
Open Space	30%	30.45%	Yes
Parking	Behind or Side of Building	Behind	Yes
	or Screened		163

Items to be Addressed: None

#### PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Office: 1 space for each 300 square feet of gross floor area	Each suite ranges from 922 to 933 spaces: 922 square feet / 300 = 3.07 933 square feet / 300 = 3.11	4.75 to 4.81 (round up to 5) x 4 = 20 spaces
Light Industrial: 1 space for each 550 square feet of gross floor area	Each suite ranges from 922 to 933 spaces: 922 square feet / 550 = 1.68 933 square feet / 550 = 1.70	
Barrier Free	1	1
Bicycle Parking	2	0
Loading	1	2. See discussion below
Total	20	19

Each suite requires 5 spaces each. As such, the total parking requirement is 20. The applicant is under parked by 1 space.

The applicant is not providing any bicycle parking. The applicant is providing loading, which is directly adjacent to the rear of the building. It is not clear how trucks will be able maneuver to and from the loading spaces, and how truck loading located here blocks access to the rear of the building.

**Items to be Addressed:** 1). Reduce building size, add additional parking space, or seek parking waiver from Planning Commission; 2). Provide two bicycle parking spaces; and 3). Seek alternative location for loading or seek waiver from loading space requirement.

#### SITE ACCESS AND CIRCULATION

Access to the site will be via a full access off Barrett Drive and a cross access to the property to the south. The two sites are owned by the same owner. The owner shall provide a cross access easement as part of final site plan approval.

Please note that cross access will require the removal of a portion of the existing fence and three (3) parking spaces on the southern site.



Items to be Addressed: Provide cross access easement.

#### LANDSCAPING

The application includes a landscape plan and calculations.

	Required:	<u>Provided:</u>	<u>Compliance:</u>
Street Trees: The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	167 / 30 = 6 trees	6 trees	Compliant with Planning Commission approval
Site landscaping: A minimum of twenty percent (20%) of the site area shall be comprised of hardscape and landscape material.	20%	25% landscaping.	Compliant
Parking Lot Landscaping: 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	20 surface spaces = 3 trees	3 trees	Compliant

The applicant is providing six (6) street trees, but they are located along the northern property line. The applicant notes that they aren't able to plant along Barrett Drive due to overhead wires.

Trash enclosure screening is provided with a masonry wall and evergreen screening.

**Items to be Addressed:** Planning Commission to consider street tree location.

#### LIGHTING

The applicant has provided a lighting (photometric) plan and lighting fixture details. The applicant is proposing four (4) building sconces. The photometric plan and lighting fixture comply with ordinance requirements.

**Items to be Addressed:** None

#### FLOOR PLAN AND ELEVATIONS

Floor plans and elevations have been provided on Sheets P3 and P4. Primary materials for the front and side elevation are brick, metal panels, composite wood, and glass. Primary materials for rear of building is CMU, and overhead metal doors. It appears that the applicant complies with the transparency requirement on the front and side elevations. Since the rear elevation faces parking, the applicant shall provide 30% transparency. However, the applicant is able to provide 80% of that 30% with transparency alternative.

**Items to be Addressed:** 1). Provide transparency calculations; and 2). Provide transparency along rear elevation.

#### SPECIAL USE STANDARDS

For any special use, according to Section 9.02.D, the Planning Commission shall "...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department's report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions."

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

- 1. Compatibility with Adjacent Uses.
- 2. Compatibility with the Master Plan.
- 3. Traffic Impact.
- 4. Impact on Public Services.
- 5. Compliance with Zoning Ordinance Standards.
- 6. Impact on the Overall Environment.
- 7. Special Use Approval Specific Requirements.

With regards with the Special Use itself:

- The proposed use as office/light industrial is consistent with surrounding land uses.
- 2. The architecture and material details are of a higher quality than surrounding properties.
- 3. The use is compatible with the Master Plan, which calls for a variety of uses.
- 4. The applicant is repurposing a vacant site.

Barrett and Maple Commercial Building February 15, 2022

5. The proposed use should not require any additional public services that required for a public use.

Items to be addressed: None

#### RECOMMENDATIONS

As part of the Special Use and site plan deliberation, the Planning Commission shall consider:

- 1. Location of proposed loading spaces
- 2. 1 space parking deviation
- 3. Alternative location of street trees

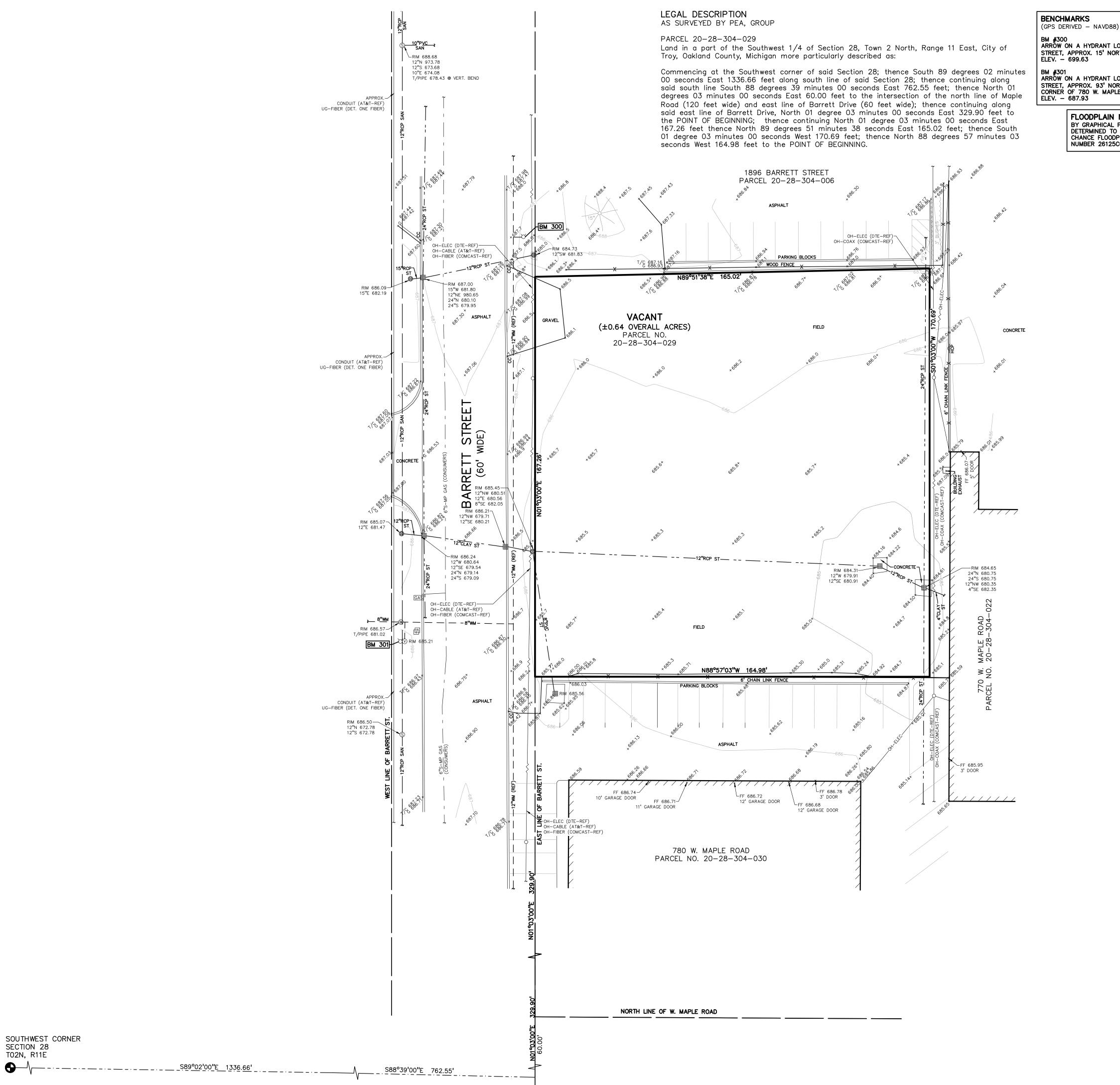
If the Planning Commission grants Special Use and preliminary site plan approval, we recommend the following conditions:

- 1. Provide two bicycle parking spaces
- 2. Provide cross access easement
- 3. Provide transparency calculations
- 4. Provide transparency along rear elevation.

CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, AICP, LEED AP

**Principal** 



SOUTHWEST CORNER

SECTION 28 T02N, R11E

BM #300
ARROW ON A HYDRANT LOCATED ON THE EAST SIDE OF BARRETT STREET, APPROX. 15' NORTH OF GRAVEL STREET ON SITE.

BM #301
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF BARRETT STREET, APPROX. 93' NORTHWEST FROM THE NORTHWEST BUILDING CORNER OF 780 W. MAPLE ROAD.

> FLOODPLAIN NOTE: BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0541F, DATED SEPTEMBER 29, 2006.

LEGEND

IRON FOUND BRASS PLUG SET Ø NAIL & CAP SET

-UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL

- ,- G-GAS MAIN, VALVE & GAS LINE MARKER

SANITARY SEWER, CLEANOUT & MANHOLE

— – — STORM SEWER, CLEANOUT & MANHOLE

-⊠-UG-PHONE-①---- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE

-UG-ELEC-E-E-E- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE

POST INDICATOR VALVE

SPOT ELEVATION

GRAVEL SHOULDER

STORM SEWER

CONTOUR LINE

☆ STREET LIGHT SIGN

-X-X-X- FENCE

 $\overline{\phantom{a}}$ 

ntr ntr ntr MELTAND

CONC. -

✓ ASPH. ✓

\_\_GRAVEL\_\_

- WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE

M T I MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE

MAIL FOUND

SEC. CORNER FOUND MONUMENT FOUND MONUMENT SET

SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN

WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF

REFERENCE DRAWINGS

ALTA/NSPS LAND TITLE CURVEY, PEA GROUP JOB NO. 2015-159, DATED APRIL 26, 2021 ,REVISED 06/22/2021

02-61-28-3, DATED 03/18/2021

AT&T MAP A1, DATED 04/16/2021

SANITARY SEWER CITY OF TROY GIS MAP, DATED 04/15/2021

COMCAST MAP, EMAIL DATED 04/16/2021

CITY OF TROY GIS MAP, DATED 04/15/2021 CITY OF TROY GIS MAP, DATED 04/15/2021

CONSUMERS ENERGY QUARTER SECTION MAP

HENELS & McCOY ROUTE PLAN, SHEET 01, DATED 07/11/2019, DETROIT ONE FIBER EMAIL DATED 04/2 COMCAST MAP, EMAIL DATED 04/16/2021

DTE ELECTRIC FACILITY MAP 316-384, DATED 04/28/2021"

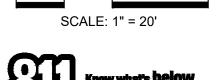
R RECORDED M MEASURED C CALCULATED OH-ELEC-W-O---- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE

GROUP t: 844.813.2949 www.peagroup.com

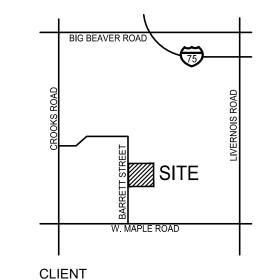








CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



BIG TOM PROPERTIES, LLC 700 NORTH OLD WOODWARD, SUITE 300

PROJECT TITLE

780 WEST MAPLE
780 WEST MAPLE RD
TROY, MICHIGAN

REVISIONS
<u> </u>

ORIGINAL ISSUE DATE: **DECEMBER 17, 2021** DRAWING TITLE

**TOPOGRAPHIC SURVEY** 

PEA JOB NO.	2021-0159
P.M.	JPB
DN.	JKS
DES.	JKS
DRAWING NUMBER	⊋.

seconds West 164.98 feet to the POINT OF BEGINNING. ZONED IB "INTEGRATED INDUSTRIAL BUISINESS" DISTRICT OH-ELEC (DTE-REF)-OH-COAX (COMCAST-REF) OH-ELEC (DTE-REF)-OH-CABLE (AT&T-REF)
OH-FIBER (COMCAST-REF) HYDRANT LOCATION. 84.11 ------50'x10' LOADING SPACE, TYP. 70' 18.5 18" CONCRETE CURB AND GUTTER, TYP. REFER TO DETAIL ON SHEET C-9.0. CONCRETE SIDEWALK, TYP. REFER TO DETAIL ON SHEET C-9.0. PROPOSED BUILDING TREE'E) 7,420 SQ.FT. 1-STORY REFER TO ARCH, PLANS FO EXACT BUILDING DIMENSIONS. ZONED MR ARRETT (60' v ZONED MR "MAPLE ROAD (FORM DASHED CURB LINE INDICATES
REVERSE SLOPE CURB AND BASED" DISTRICT "MAPLE ROAD (FORM BASED" DISTRICT GUTTER, TYP. REFER TO DETAIL ON SHEET C-9.0. SIGN, TYP. REFER  $\mathbf{\Omega}$ TO LEGEND ON THIS SHEET. INTEGRAL CURB AND ZONED MR MATCH EXISTING CURB WALK, TYP. REFER TO DETAIL ON SHEET C-9.0. "MAPLE ROAD (FORM TYPE AND WIDTH IN BASED" DISTRICT TRASH ENCLOSURE. REFER BARRETT STREET, TYP. TO DETAIL ON SHEET C-9.0. O' HEIGHT CONCRETE CURB AND GUTTER THROUGH DRIVE SIDEWALK RAMP, TYP. REFER TO STANDARD DUTY ASPHALT APPROACH. LEGEND THIS SHEET. -PAVEMENT, TYP. REFER TO-DETAIL ON SHEET C-9.0. PR CROSSWALK OH-ELEC (DTE-REF)-CONCRETE PARKING OH-CABLE (AT&T-REF) BUMPER, TYP. REFER TO DETAIL ON SHEET C-9.0. OH-FIBER (COMCAST-REF) PROPOSED CONCRETE CURB SPILLWAY, REFER TO DETAIL ON SHEET C-9.0. BM 301 TYP. N88°57'03"W 164.98'/ INDICATES NUMBER -HOF PARKING SAWCUT EXISTING SPACES, TYP. PAVEMENT FOR CLEAN STRAIGHT EDGE, TYP. -PARKING SPACES. REFER TO

GENERAL NOTES THIS SHEET.

ELEC (DTE-REF) -FIBER (COMCAST-REF)

ZONED MR

"MAPLE ROAD (FORM BASED" DISTRICT

LEGAL DESCRIPTION AS SURVEYED BY PEA, GROUP

PARCEL 20-28-304-029

Land in a part of the Southwest 1/4 of Section 28, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan more particularly described as:

Commencing at the Southwest corner of said Section 28; thence South 89 degrees 02 minutes 00 seconds East 1336.66 feet along south line of said Section 28; thence continuing along said south line South 88 degrees 39 minutes 00 seconds East 762.55 feet; thence North 01 degrees 03 minutes 00 seconds East 60.00 feet to the intersection of the north line of Maple Road (120 feet wide) and east line of Barrett Drive (60 feet wide); thence continuing along said east line of Barrett Drive, North 01 degree 03 minutes 00 seconds East 329.90 feet to the POINT OF BEGINNING; thence continuing North 01 degree 03 minutes 00 seconds East 167.26 feet thence North 89 degrees 51 minutes 38 seconds East 165.02 feet; thence South 01 degree 03 minutes 00 seconds West 170.69 feet; thence North 88 degrees 57 minutes 03

BENCHMARKS (GPS DERIVED - NAVD88)

ARROW ON A HYDRANT LOCATED ON THE EAST SIDE OF BARRETT STREET, APPROX. 15' NORTH OF GRAVEL STREET ON SITE.

ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF BARRETT STREET, APPROX. 93' NORTHWEST FROM THE NORTHWEST BUILDING CORNER OF 780 W. MAPLE ROAD. ELEV. - 687.93

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING. SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0541F, DATED SEPTEMBER 29, 2006.

**GENERAL NOTES:** 

SIGN LEGEND: 'NO PARKING FIRE LANE' SIGN 'BARRIER FREE PARKING' SIGN 'VAN ACCESSIBLE' SIGN REFER TO DETAIL SHEET FOR SIGN DETAILS

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE P'

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT. REFER TO LATEST MDOT R-28 STANDARD ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, RAMP AND DETECTABLE WARNING DETAILS FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.

> 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE

REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS. REFER TO NOTES & DETAILS SHEET FOR

ON-SITE SIDEWALK RAMP DETAILS

OH-ELEC-W-O- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -⊠-UG-PHONE-①--- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE -UG-ELEC-E-E-E-ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE GAS MAIN, VALVE & GAS LINE MARKER SANITARY SEWER, CLEANOUT & MANHOLE STORM SEWER, CLEANOUT & MANHOLE COMBINED SEWER & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN

LEGEND

SEC. CORNER FOUND

R RECORDED

M MEASURED

C CALCULATED

BRASS PLUG SET

MONUMENT SET

MONUMENT FOUND

IRON FOUND

Ø NAIL & CAP SET

POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE

SPOT ELEVATION 671 CONTOUR LINE **\_X** FENCE -x----x---x-0 0 0 0 ☆ STREET LIGHT SIGN \_ CONCRETE CONC. -ASPHALT

\_— ASPH. — GRAVEL SHOULDER \_\_GRAVEL\_

WETLAND आहर आहर आहर REFERENCE DRAWINGS

ALTA/NSPS LAND TITLE CURVEY, PEA GROUP JOB NO. 2015-159, DATED APRIL 26, 2021 ,REVISED 06/22/2021 CONSUMERS ENERGY QUARTER SECTION MAP 02-61-28-3, DATED 03/18/2021 HENELS & McCOY ROUTE PLAN, SHEET 01, DATED 07/11/2019, DETROIT ONE FIBER EMAIL DATED 04/ COMCAST MAP, EMAIL DATED 04/16/2021 AT&T MAP A1, DATED 04/16/2021 COMCAST MAP, EMAIL DATED 04/16/2021

WATER MAIN

SITE DATA TABLE: SITE AREA: 0.64 ACRES NET AND GROSS ZONING: (FORM BASED) MR - MAPLE ROAD DISTRICT PROPOSED USE: OFFICE/INDUSTRIAL

BUILDING INFORMATION:
PROPOSED BUILDING HEIGHT = 1-STORY

PROPOSED BUILDING FOOTPRINT AREA = 7,420 SF. SETBACK REQUIREMENTS: FRONT (WEST) SIDE (NORTH) 10.87 ¹ SIDE (SOUTH) 50.26 REAR (EAST) 84.11'

PARKING CALCULATIONS: INDUSTRIAL = 1 SPACE PER 550 SF. OF NET FLOOR AREA OFFICE = 1 SPACE PER 300 SF. OF NET FLOOR AREA

1) TENANT A - OFFICE = 1,190 SF./300 SF. = 3.97 SPACES TENANT A - INDUSTRIAL = 1190 SF./550 SF. = 2.16 SPACES 2) TENANT B - OFFICE = 1,330 SF./300 SF. = 4.43 SPACESTENANT B - INDUSTRIAL = 1,330 SF./550 SF. = 2.42 SPACES ) TENANT C - OFFICE = 1,190 SF./300 SF. = 3.97 SPACESTENANT C - INDUSTRIAL = 1190 SF./550 SF. = 2.16 SPACES

TOTAL PROPOSED PARKING SPACES = 19 SPACES INC. 1 H/C SPACES

= 1,000 SF. AT BACK OF BUILDING

LOADING CALCULATIONS: LOADING REQUIRED = 10'x50' SIZE PROVIDED LOADING = (2) 10'x50' LOADING AREAS

DTE ELECTRIC FACILITY MAP 316-384, DATED 04/28/2021" SANITARY SEWER CITY OF TROY GIS MAP, DATED 04/15/2021 CITY OF TROY GIS MAP, DATED 04/15/2021 CITY OF TROY GIS MAP, DATED 04/15/2021

MINIMUM OPEN SPACE REQUIREMENT: 30% PROPOSED OPEN SPACE: 30%

TOTAL PARKING REQUIRED =

UP TO 5,000 GROSS SF. = 1 5,001 TO 60,000 GROSS SF. = 1 + PER EACH 20,000 SF. = 2 PROJECT TITLE

BIRMINGHAM, MICHIGAN 48009

CLIENT

RIC TOM

**780 WEST MAPLE** 780 WEST MAPLE RD

t: 844.813.2949

www.peagroup.com

SCALE: 1" = 20'

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

W. MAPLE ROAD

PROPERTIES, LLC

700 NORTH OLD WOODWARD, SUITE 300

CAUTION!!

BIG BEAVER ROAD

REVISIONS

ORIGINAL ISSUE DATE: **DECEMBER 17, 2021** DRAWING TITLE

**PRELIMINARY** SITE PLAN

2021-0159 PEA JOB NO. JPB JKS DES. JKS DRAWING NUMBER:

LEGAL DESCRIPTION

AS SURVEYED BY PEA, GROUP

PARCEL 20-28-304-029

1896 BARRETT STREET

PARCEL 20-28-304-006

MATCH EX. ±687.0

686.95

686.95

4 FLUSH √T/S 686.95

T/P 686.95

T/S 686.86 T/P 686.86

MATCH EXISTING GRADES WHERE NEW PAVEMENT ABUTS EXISTING, TYP.

12' GARAGE DOOR

MATCH EX. ±685.3

MATCH EX. ±685.2

FF 686.78 6

3' DOOR

H.P. 686.90

686.46

RIM 685.56 RIM 685.72 685.83

DASHED CURB LINE INDICATES REVERSE SLOPE CURB AND GUTTER, TYP. REFER TO DETAIL ON SHEET C-9.0.

687.19

PROPOSED

UNDERGROUND

DETENTION

686.85

230 LF OF 48" CMP

MATCH EX ±686.9

**VACANT** (±0.64 OVERALL ACRES)

PARCEL NO. 20-28-304-029

F.F. 686.95

PROPOSED BUILDING

CROSS-SLOPE NOT TO EXCEED 2% ON ALL SIDEWALKS, TYP.

T/S 686.95 T/P 686.45

SIDEWALK RAMP, TYP. REFER TO

/P 686.45

T/S 686.86

/P 686.36

/S 686.86 T/P 686.36

T/S 686.86

T/P 686.36

FREE PARKING AREAS. N88°57'03"W 164.98"

MATCH EX. ±685.5

780 W. MAPLE ROAD PARCEL NO. 20-28-304-030

SLOPE WITHIN BARRIER

BY OTHERS, SEE REF UTILITY PLAN.

11' GARAGE DOOR

10' GARAGE DOOR

►RIM 688.68 12"N 973.78 12"S 673.68

10"E 674.08

CONDUIT (AT&T-REF) UG-FIBER (DET. ONE FIBER

RIM 686.09-15"E 682.19

CONDUIT (AT&T-REF)

RIM 685.0 12"E 681.4

RIM 686.57 T/PIPE 681.02

CONDUIT (AT&T-REF UG-FIBER (DET. ONE FIBER

UG-FIBER (DET. ONE FIBER)

T/PIPE 678.43 @ VERT. BEND

±686.8

RIM 686.

MATCH EX

±686.4

T/P 686.36 T/S 686.86

T/P 686.36

MATCH EX. ±685.7

W RIM 685.45
12"NW 680.51
12"E 680.56

M S'SE 682.05

MATCH EX. ±686.5

MATCH EX. ±686.2

MATCH EXISTING GRADE AT DRIVEWAYS, TYP.

MATCH EX. ±686.6

15"W 681.80

Land in a part of the Southwest 1/4 of Section 28, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan more particularly described as:

±687.3

MATCH EX. ±684.9

MATCH EX.

Commencing at the Southwest corner of said Section 28; thence South 89 degrees 02 minutes 00 seconds East 1336.66 feet along south line of said Section 28; thence continuing along said south line South 88 degrees 39 minutes 00 seconds East 762.55 feet; thence North 01 degrees 03 minutes 00 seconds East 60.00 feet to the intersection of the north line of Maple Road (120 feet wide) and east line of Barrett Drive (60 feet wide); thence continuing along said east line of Barrett Drive, North 01 degree 03 minutes 00 seconds East 329.90 feet to the POINT OF BEGINNING; thence continuing North 01 degree 03 minutes 00 seconds East 167.26 feet thence North 89 degrees 51 minutes 38 seconds East 165.02 feet; thence South 01 degree 03 minutes 00 seconds West 170.69 feet; thence North 88 degrees 57 minutes 03 seconds West 164.98 feet to the POINT OF BEGINNING.



ARROW ON A HYDRANT LOCATED ON THE EAST SIDE OF BARRETT STREET, APPROX. 15' NORTH OF GRAVEL STREET ON SITE. ELEV. - 699.63

ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF BARRETT STREET, APPROX. 93' NORTHWEST FROM THE NORTHWEST BUILDING CORNER OF 780 W. MAPLE ROAD. ELEV. - 687.93

#### FLOODPLAIN NOTE: BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0541F, DATED SEPTEMBER 29, 2006.

## LEGEND

OH-ELEC-W-O-C ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE

-UG-ELEC-E-E-E-ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE

-UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL

GAS MAIN, VALVE & GAS LINE MARKER

SANITARY SEWER, CLEANOUT & MANHOLE

— — STORM SEWER, CLEANOUT & MANHOLE

IRON FOUND

Ø NAIL & CAP SET

 $M \top \Box$ 

CONC. -

BRASS PLUG SET MONUMENT FOUND MONUMENT SET

SEC. CORNER FOUND R RECORDED M MEASURED C CALCULATED

> GROUP t: 844.813.2949 www.peagroup.com

> > SCALE: 1" = 20'

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W. MAPLE ROAD

PROPERTIES, LLC

CAUTION!!

BIG BEAVER ROAD



671

-x----x---x-0 0 0 0

\_

**—**922**—** 

COMBINED SEWER & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE

SPOT ELEVATION CONTOUR LINE -X-X-X- FENCE ☆ STREET LIGHT SIGN  $\overline{\phantom{a}}$ 

✓ ASPH. ✓ ASPHALT GRAVEL SHOULDER \_\_GRAVEL \_\_\_\_

## REFERENCE DRAWINGS

ALTA/NSPS LAND TITLE CURVEY, PEA GROUP JOB NO. 2015-159, DATED APRIL 26, 2021 ,REVISED 06/22/2021 CONSUMERS ENERGY QUARTER SECTION MAP 02-61-28-3, DATED 03/18/2021 HENELS & McCOY ROUTE PLAN, SHEET 01, DATED 07/11/2019, DETROIT ONE FIBER EMAIL DATED 04/27

COMCAST MAP, EMAIL DATED 04/16/2021 AT&T MAP A1, DATED 04/16/2021 COMCAST MAP, EMAIL DATED 04/16/2021

DTE ELECTRIC FACILITY MAP 316-384, DATED 04/28/2021" SANITARY SEWER CITY OF TROY GIS MAP, DATED 04/15/2021 CITY OF TROY GIS MAP, DATED 04/15/2021 STORM SEWER CITY OF TROY GIS MAP, DATED 04/15/2021 WATER MAIN

### SYMBOLS: GRADING

PROPOSED SPOT ELEVATION: PROPOSED SPOT ELEVATION:
TYPICALLY TOP OF PAVEMENT IN PAVED

622.50 AREAS, GUTTER GRADE IN CURB LINES.

#### PROPOSED CONTOUR LINE ABBREVIATIONS:

T/C = TOP OF CURBG' = GUTTER GRADET/P = TOP OF PAVEMENTT/S = TOP OF SIDEWALK

T/W = TOP OF WALLB/W = BOTTOM OF WALLF.G. = FINISH GRADE RIM = RIM ELEVATION

## SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE P' REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

### SIGN LEGEND:

'NO PARKING FIRE LANE' SIGN 'BARRIER FREE PARKING' SIGN 'VAN ACCESSIBLE' SIGN

PROJECT TITLE

**BIG TOM** 

REFER TO DETAIL SHEET FOR SIGN DETAILS **780 WEST MAPLE** 780 WEST MAPLE RD

REVISIONS

ORIGINAL ISSUE DATE: **DECEMBER 17, 2021** DRAWING TITLE

**PRELIMINARY GRADING PLAN** 

PEA JOB NO.	2021-0159
P.M.	JPB
DN.	JKS
DES.	JKS
DRAWING NUMBER:	

LEGAL DESCRIPTION

AS SURVEYED BY PEA, GROUP

PARCEL 20-28-304-029

OH-ELEC (DTE-REF)-OH-COAX (COMCAST-REF)

PROPOSED **UNDERGROUND** 

DETENTION

230 LF OF

48" CMP

1896 BARRETT STREET

PARCEL 20-28-304-006

ASPHALT

PROPOSED WATER QUALITY UNIT.

PROPOSED CATCH

BASIN IN PAVEMENT.

PR STORM\_

PROPOSED CATCH

BASIN IN CURB.

N88°57'03"W 164.98'

EXISTING 6" STUB

(BY OTHERS) INV = 677.83±

780 W. MAPLE ROAD PARCEL NO. 20-28-304-030 PR STORM

PROPOSED OUTLET CONTROL STRUCTURE.

SEWER PUMP STATION.

PROPOSED CONCRETE

CURB SPILLWAY, REFER TO DETAIL ON SHEET C-9.0.

RIM 688.68 12"N 973.78 12"S 673.68

CONDUIT (AT&T-REF) UG-FIBER (DET. ONE FIBER

RIM 686.09-15"E 682.19

CONDUIT (AT&T-REF)

RIM 685.07 12"E 681.47

BM 301

CONDUIT (AT&T-REF) UG-FIBER (DET. ONE FIBER

UG-FIBER (DET. ONE FIBER)

10"E 674.08

T/PIPE 678.43 @ VERT. BEND

OH-ELEC (DTE-REF)-

OH-CABLE (AT&T-REF)

OH-FIBER (COMCAST-REF)

15"W 681.80 12"NE 980.65

24"S 679.95

PR 12"x2" SADDLE TAP

STREET (DE)

BARRE 12"N 12"N 12"E 8"SE

12"W 680.64 12"SE 679.54 24"N 679.14 24"S 679.09

OH-ELEC (DTE-REF)

OH-CABLE (AT&T-REF) OH-FIBER (COMCAST-REF)

EXISTING FIRE

HYDRANT LOCATION.

**EXISTING CATCH BASIN** 

PROPOSED TO REMAIN.

PR 2" COPPER 'K'
WATER LEAD

PR 2" CURB STOP

EXISTING CATCH BASIN PROPOSED TO REMAIN.

EXISTING CATCH BASIN PROPOSED TO REMAIN.

-FIBER (COMCAST-REF)

SANITARY DESIGN BY OTHERS, SEE REF UTILITY PLAN.

PROPOSED BUILDING

7,420 SQ.FT.

1-STORY

**VACANT** (±0.64 OVERALL ACRES)

PARCEL NO. 20-28-304-029

PROPOSED BUILDING LEAD.

Land in a part of the Southwest 1/4 of Section 28, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan more particularly described as:

Commencing at the Southwest corner of said Section 28; thence South 89 degrees 02 minutes 00 seconds East 1336.66 feet along south line of said Section 28; thence continuing along said south line South 88 degrees 39 minutes 00 seconds East 762.55 feet; thence North 01 degrees 03 minutes 00 seconds East 60.00 feet to the intersection of the north line of Maple Road (120 feet wide) and east line of Barrett Drive (60 feet wide); thence continuing along said east line of Barrett Drive, North 01 degree 03 minutes 00 seconds East 329.90 feet to the POINT OF BEGINNING; thence continuing North 01 degree 03 minutes 00 seconds East 167.26 feet thence North 89 degrees 51 minutes 38 seconds East 165.02 feet; thence South 01 degree 03 minutes 00 seconds West 170.69 feet; thence North 88 degrees 57 minutes 03 seconds West 164.98 feet to the POINT OF BEGINNING.

CONCRETE

PROPOSED CONSTRUCT MANHOLE OVER EXISTING 24" RCP STORM SEWER. APPROX.

EXISTING INV. 681.00±

EXISTING CATCH BASIN PROPOSED TO REMAIN.

24"N 680.75 24"S 680.75 12"NW 680.35

BENCHMARKS (GPS DERIVED - NAVD88) IRON FOUND ARROW ON A HYDRANT LOCATED ON THE EAST SIDE OF BARRETT Ø NAIL & CAP SET STREET, APPROX. 15' NORTH OF GRAVEL STREET ON SITE. ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF BARRETT STREET, APPROX. 93' NORTHWEST FROM THE NORTHWEST BUILDING CORNER OF 780 W. MAPLE ROAD. ELEV. - 687.93 FLOODPLAIN NOTE: BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0541F, DATED SEPTEMBER 29, 2006. MTI -X-X-X- FENCE  $\overline{\phantom{a}}$ CONC. -✓ ASPH. ✓ ASPHALT GRAVEL SHOULDER \_GRAVEL \_ 

LEGEND BRASS PLUG SET SEC. CORNER FOUND MONUMENT FOUND R RECORDED MONUMENT SET M MEASURED C CALCULATED GROUP OH-ELEC-V-O-C ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL -⊠-UG-PHONE-Ū-- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE t: 844.813.2949 -UG-ELEC-E-E-E- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE www.peagroup.com - , \_\_\_\_\_\_ GAS MAIN, VALVE & GAS LINE MARKER SANITARY SEWER, CLEANOUT & MANHOLE — – — STORM SEWER, CLEANOUT & MANHOLE COMBINED SEWER & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE SPOT ELEVATION 671 CONTOUR LINE -x----x---x-0 0 0 ☆ STREET LIGHT SIGN \_ CONCRETE

## REFERENCE DRAWINGS

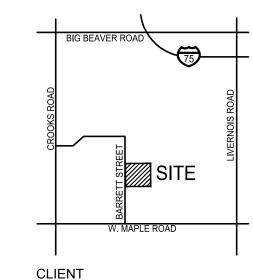
ALTA/NSPS LAND TITLE CURVEY, PEA GROUP JOB NO. 2015-159, DATED APRIL 26, 2021 ,REVISED 06/22/2021 02-61-28-3, DATED 03/18/2021 COMCAST MAP, EMAIL DATED 04/16/2021 AT&T MAP A1, DATED 04/16/2021

COMCAST MAP, EMAIL DATED 04/16/2021 DTE ELECTRIC FACILITY MAP 316-384, DATED 04/28/2021" SANITARY SEWER CITY OF TROY GIS MAP, DATED 04/15/2021 STORM SEWER CITY OF TROY GIS MAP, DATED 04/15/2021

## SCALE: 1" = 20'

CONSUMERS ENERGY QUARTER SECTION MAP HENELS & McCOY ROUTE PLAN, SHEET 01, DATED 07/11/2019, DETROIT ONE FIBER EMAIL DATED 04/27/2021

CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. CITY OF TROY GIS MAP, DATED 04/15/2021



**BIG TOM** PROPERTIES, LLC 700 NORTH OLD WOODWARD, SUITE 300 BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE

**780 WEST MAPLE** 780 WEST MAPLE RD

REVISIONS

ORIGINAL ISSUE DATE: **DECEMBER 17, 2021** DRAWING TITLE

**PRELIMINARY UTILITY PLAN** 

PEA JOB NO.	2021-0159
P.M.	JPE
DN.	JKS
DES.	JKS
DRAWING NUMBER	<b>:</b>

LEGAL DESCRIPTION AS SURVEYED BY PEA, GROUP

1896 BARRETT STREET

PARCEL 20-28-304-006

VACANT (±0.64 OVERALL ACRES) PARCEL NO. 20-28-304-029

PROPOSED BUILDING

7,420 SQ.FT. 1-STORY

FLUSH

AREA=0.58 Ac 'C'=0.84

780 W. MAPLE ROAD PARCEL NO. 20-28-304-030

N88°57'03"W 164.98'

T/S 686.86 T/P 686.86

T/P 686.45

T/P 686.36

T/P 686.36

T/P 686.36

RIM 688.68 12"N 973.78 12"S 673.68

CONDUIT (AT&T-REF)

RIM 686.09 15"E 682.19

CONDUIT (AT&T-REF)

RIM 685.07 12"E 681.47

CONDUIT (AT&T-REF UG-FIBER (DET. ONE FIBER

> 12"N 672.78 12"S 672.78

UG-FIBER (DET. ONE FIBER)

UG-FIBER (DET. ONE FIBER

10"E 674.08

T/PIPE 678.43 @ VERT. BEND

OH-ELEC (DTE-REF)-OH-CABLE (AT&T-REF)

OH-FIBER (COMCAST-REF)

15"W 681.80

12"NE 980.65

BARRETT BINE 15, WI 15,

RIM 686.24 12"W 680.64 12"SE 679.54 24"N 679.14 1 24"S 679.09

MATCH EX.

OH-ELEC (DTE-REF)-

OH-CABLE (AT&T-REF) OH-FIBER (COMCAST-REF)

PARCEL 20-28-304-029

OH-ELEC (DTE-REF)-OH-COAX (COMCAST-REF)

PROPOSED UNDERGROUND

DETENTION

230 LF OF 48" CMP

Land in a part of the Southwest 1/4 of Section 28, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan more particularly described as:

Commencing at the Southwest corner of said Section 28; thence South 89 degrees 02 minutes 00 seconds East 1336.66 feet along south line of said Section 28; thence continuing along said south line South 88 degrees 39 minutes 00 seconds East 762.55 feet; thence North 01 degrees 03 minutes 00 seconds East 60.00 feet to the intersection of the north line of Maple Road (120 feet wide) and east line of Barrett Drive (60 feet wide); thence continuing along said east line of Barrett Drive, North 01 degree 03 minutes 00 seconds East 329.90 feet to the POINT OF BEGINNING; thence continuing North 01 degree 03 minutes 00 seconds East 167.26 feet thence North 89 degrees 51 minutes 38 seconds East 165.02 feet; thence South 01 degree 03 minutes 00 seconds West 170.69 feet; thence North 88 degrees 57 minutes 03 seconds West 164.98 feet to the POINT OF BEGINNING.

BENCHMARKS (GPS DERIVED - NAVD88)

ARROW ON A HYDRANT LOCATED ON THE EAST SIDE OF BARRETT STREET, APPROX. 15' NORTH OF GRAVEL STREET ON SITE.

BM #301
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF BARRETT STREET, APPROX. 93' NORTHWEST FROM THE NORTHWEST BUILDING CORNER OF 780 W. MAPLE ROAD. ELEV. - 687.93

> FLOODPLAIN NOTE: BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA

> DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0541F, DATED SEPTEMBER 29, 2006.

780 WEST MAPLE TROY, MICHIGAN Location: 12/17/2021 2021-0159 Project No:

25 YEAR STORM DETENTION DESIGN (CITY OF TROY DESIGN METHOD)

0.58 Contributing Area (A): Allowable Discharge (Qa) 0.12 Coefficient of Runoff (Cr): 0.84 Calculation of Required Discharge/Acre

Qo = ((Qa)/(A)(Cr): 0.24 159.02 T = -25 + ((8062.5/Qo))0.5:

Storage Volume Required:

9633.00 Vs = (12900(T)/(T+25)) - 40Qo(T):

Vt = (Vs)(A)(Cr): 4693.196

PIPE STORAGE 230 ft. 48 in. C.F./FT.= 20.66 c.f./ft.

VOLUME= 4,751.80 c.f.

LEGEND

IRON FOUND

Ø NAIL & CAP SET

 BRASS PLUG SET MONUMENT FOUND MONUMENT SET

SEC. CORNER FOUND R RECORDED M MEASURED C CALCULATED

OH-ELEC-V-O-C ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL -⊠-UG-PHONE-Ū-- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE -UG-ELEC-E-E-E-ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE - \_- G-GAS- GAS MAIN, VALVE & GAS LINE MARKER SANITARY SEWER, CLEANOUT & MANHOLE — – CO ST)— STORM SEWER, CLEANOUT & MANHOLE COMBINED SEWER & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN

POST INDICATOR VALVE

WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF MTI MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE UNIDENTIFIED STRUCTURE SPOT ELEVATION 671 CONTOUR LINE **\_X** FENCE -x----x---x-0 0 0 0 STREET LIGHT

\_

CONC. -∕— ASPH. → ASPHALT

WETLAND और और और

\_\_GRAVEL\_

GRAVEL SHOULDER

REFERENCE DRAWINGS

ALTA/NSPS LAND TITLE CURVEY, PEA GROUP JOB NO. 2015-159, DATED APRIL 26, 2021 ,REVISED 06/22/2021 CONSUMERS ENERGY QUARTER SECTION MAP 02-61-28-3, DATED 03/18/2021 HENELS & McCOY ROUTE PLAN, SHEET 01, DATED 07/11/2019, DETROIT ONE FIBER EMAIL DATED 04/27/2021 COMCAST MAP, EMAIL DATED 04/16/2021

AT&T MAP A1, DATED 04/16/2021 COMCAST MAP, EMAIL DATED 04/16/2021 SANITARY SEWER CITY OF TROY GIS MAP, DATED 04/15/2021

DTE ELECTRIC FACILITY MAP 316-384, DATED 04/28/2021" STORM SEWER CITY OF TROY GIS MAP, DATED 04/15/2021 CITY OF TROY GIS MAP, DATED 04/15/2021





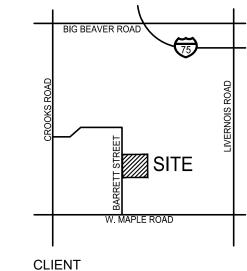








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BIG TOM PROPERTIES, LLC 700 NORTH OLD WOODWARD, SUITE 300 BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE

780 WEST MAPLE
780 WEST MAPLE RD
TROY, MICHIGAN

REVISIONS

ORIGINAL ISSUE DATE: DECEMBER 17, 2021 DRAWING TITLE

**STORM SEWER MANAGEMENT PLAN** 

PEA JOB NO.	2021-0159
P.M.	JPB
DN.	JKS
DES.	JKS
DRAWING NUMBER	:

#### GENERAL BARRIER FREE NOTES:

THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE

- DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST. 1. AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES, ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- 2. THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48). 3. WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL NOT TO EXCEED 1/4", OR BEVELED CHANGES IN LEVEL NOT TO EXCEED 1/2". REFER TO DETAIL DET-8 THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN
- 1/2" MUST BE RAMPED. 4. TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2%
- SLOPE (1:48) IN ANY DIRECTION. ACCESSIBLE ROUTES WILL BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE. THE MINIMUM CLEAR WIDTH IS 3 FEET.
- 6. RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND LESS THAN 8.3% (1:12). 7. THE CROSS-SLOPE OF RAMP RUNS SHALL NOT EXCEED 2% (1:48) 8. THE MINIMUM CLEAR WIDTH OF ANY RAMP IS 36 INCHES.

9. THE MAXIMUM RISE FOR ANY RAMP (NOT INCLUDING CURB RAMPS) SHALL NOT EXCEED 30 INCHES. LANDINGS ARE REQUIRED

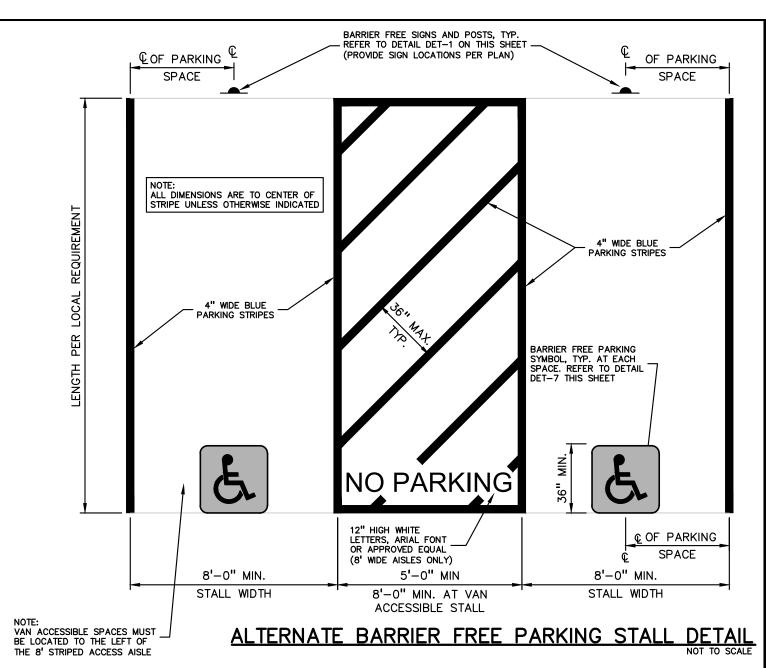
- AT THE TOP AND BOTTOM OF EACH RAMP. LANDINGS SHALL HAVE A CROSS-SLOPE NOT EXCEEDING 2% (1:48), SHALL BE 5 FEET LONG AND AT LEAST AS WIDE AS THE RAMP CLEAR WIDTH. IF THERE IS A CHANGE OF DIRECTION AT A LANDING, THEN THE LANDING MUST BE AT LEAST 5 FEET WIDE AND 5 FEET LONG. 10. HANDRAILS ARE REQUIRED FOR ANY RAMP (NOT INCLUDING CURB RAMPS) WITH A RISE GREATER THAN 6 INCHES. ALL
- HANDRAILS ARE REQUIRED TO HAVE EDGE PROTECTION UNLESS ADJOINING ANOTHER ACCESS POINT OR IF THE VERTICAL DROP-OFF AT THE EDGE OF THE RAMP DOES NOT EXCEED 1/2" IN 10 FEET. EDGE PROTECTION CAN BE PROVIDED BY MEANS OF A 4" MIN. CURB OR BARRIER.
- 11. CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT RISE MORE THAN 6 INCHES, NOR BE STEEPER THAN 8.3% (1:12). APPROACHING SLOPES TO THE RAMP CANNOT EXCEED 5%, WHICH INCLUDES SIDEWALKS, PAVEMENT, GUTTERS ETC.
- 12. IF CURB RAMP SIDES ARE FLARED, THE FLARES SHALL NOT BE STEEPER THAN 10% (1:10). 13. LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE A MINIMUM OF 36" AND WILL BE AS WIDE AS THE CURB RAMP.
- 14. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- 15. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. 16. WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.
- 17. ACCESSIBLE PARKING SPACES ON SITE SHALL BE PROVIDED AS REQUIRED IN SECTION 502 OF THE A.D.A. IF THE SITE HAS MORE THAN ONE PARKING FACILITY, EACH FACILITY IS REQUIRED TO MEET THESE REQUIREMENTS SEPARATELY. THE REQUIRED NUMBER OF SPACES SHALL BE BASED ON THE TOTAL NUMBER OF PARKING SPACES IN EACH PARKING FACILITY
- 18. FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED. 19. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE. IF THERE IS MORE THAN ONE ACCESSIBLE ENTRANCE, PARKING SHALL BE DISPERSED ALONG THE SHORTEST
- ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES. 20. BARRIER FREE CAR PARKING SPACES SHALL BE A MINIMUM OF 8 FEET WIDE WITH AN ACCESS AISLE 5 FEET WIDE MINIMUM. VAN ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 11 FEET WIDE WITH A 5' WIDE ACCESS AISLE. VAN ACCESSIBLE SPACES ARE ALSO ACCEPTABLE WITH AN 8 FOOT WIDTH AND 8 FOOT WIDE ACCESS AISLE. THE ACCESS AISLE IN ALL CASES MUST EXTEND THE FULL LENGTH OF THE PARKING SPACE.
- 21. SURFACE SLOPES WITHIN THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48) 22. ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM VERTICAL CLEARANCE OF 98
- 23. ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBLE". REFER TO
- 24. ACCESSIBLE STAIRS SHALL HAVE A UNIFORM RISER HEIGHT AND UNIFORM TREAD DEPTH. RISERS SHALL BE 4 INCHES MINIMUM AND 7 INCHES MAXIMUM. TREADS SHALL BE AT LEAST 11 INCHES IN DEPTH. OPEN RISERS ARE NOT PERMITTED.

## BARRIER FREE SIGN NOTES:

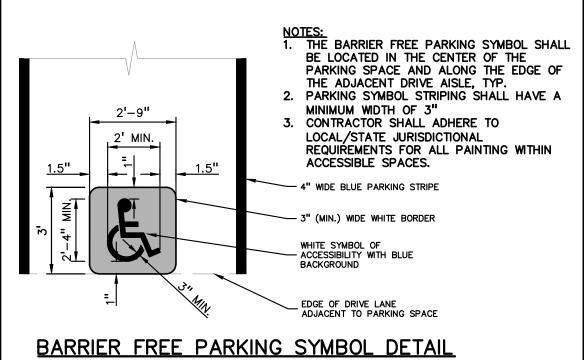
AND LOCAL REQUIREMENTS.

- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE. . ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
- WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST. SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
- ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG. IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED. ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES
- 12"x18" x 0.080" ALUMINUM BARRIER FREE PARKING SIGN (R7-8). BOLT SIGN TO STEEL TUBE WITH %" CADMIUM PLATED BOLTS, NUTS, AND WASHERS. 6"x12" x 0.080" ALUMINUM VAN ACCESSIBLE SIGN (R7-8P) WHERE APPLICABLE. SECONDARY/PENALTY SIGNAGE - PER JURISDÍCTIONAL REQUIREMENTS WHERE APPLICABLE 2"x2"x.188" GALVANIZED STEEL TUBE. EXTEND INTO CONCRETE FILLED PIPE BOLLARD A MINIMUM OF 2'-0". PROVIDE WELDED WATERTIGHT CAP. 6" DIA, SCHEDULE 40 GALVANIZED STEEL PIPE FILLED WITH CONCRETE (WHEN SIGN IS LOCATED IN PAVED AREA OR SIDEWALK), PROVIDE WITH 1% FINISHED SLOPE. PAINT BOLLARD WITH 2 COATS OF SAFETY YELLOW PAINT, OR PROVIDE YELLOW BOLLARD SLEEVE... 18" DIA. CONCRETE FOOTING USING M.D.O.T. 'P1' CONCRETE, 3500 PSI,
   6AA OR APPROVED EQUAL PAVEMENT SURFACE INSTALL BREAKAWAY TUBE POST — IN SIGN LOCATIONS WHERE PIPE BOLLARD IS NOT REQUIRED.

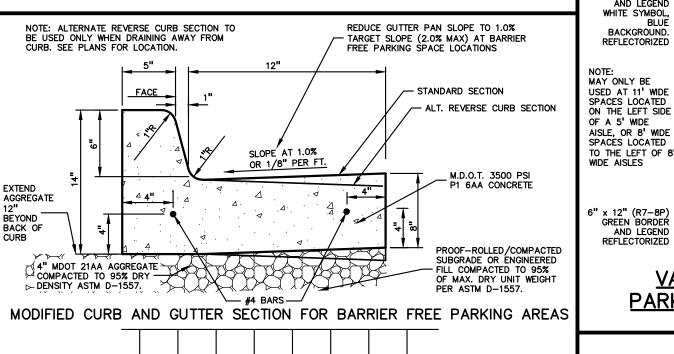
BARRIER FREE SIGN AND POST DETAIL

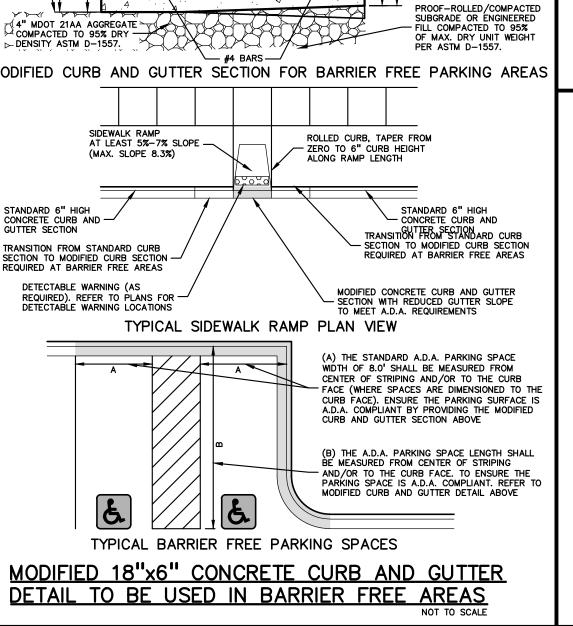


THREE 9/16" DIA. x 18" LONG STEEL RETAINING PINS DRIVEN FLUSH WITH TOP. MAXIMUM CHANGE IN LEVEL - TWO 3/8" DIA. RODS - CONTINUOUS MAXIMUM BEVELED CHANGE IN LEVEL CONCRETE PARKING BUMPER BARRIER FREE SURFACE CHANGE IN LEVEL TOLERANCE



(INTERNATIONAL SYMBOL OF ACCESSIBILITY)





ASPHALT MIX AFTER MILLING.
REMOVE WEDGE BEFORE
OVERLAY OCCURS.

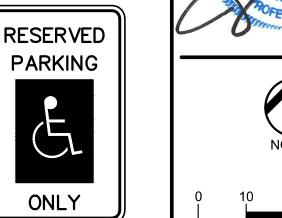


(R7-8) GREEN BORDER

AND LEGEND WHITE SYMBOL, BLUE

BACKGROUND. REFLECTORIZED



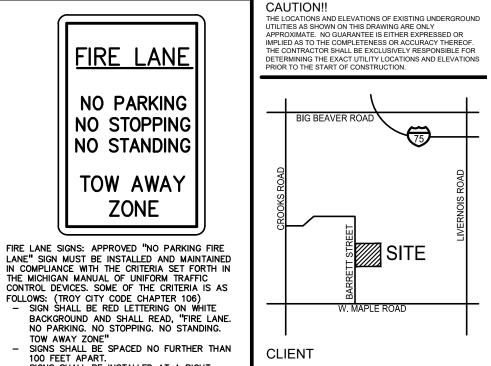






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BIG TOM SIGN SHALL BE SEVEN (7) FEET FROM THE BOTTOM OF SIGN TO GRADE
SIGNS SHALL BE DOUBLE FACED WHERE THE PROPERTIES, LLC 700 NORTH OLD WOODWARD, SUITE 300 BIRMINGHAM, MICHIGAN 48009

CURB PARKING.
SIGNS SHALL BE 12 INCES IN WIDTH AND 18 INCHES IN HEIGHT. CITY OF TROY FIRE LANE SIGN DETAIL

SIGNS SHALL BE INSTALLED AT A RIGHT ANGLE 90° TO CURB

POSSIBILITY EXIST FOR LEFT WHEEL TO

VAN ACCESSIBLE

PARKING SIGN DETAIL

FIRE LANE

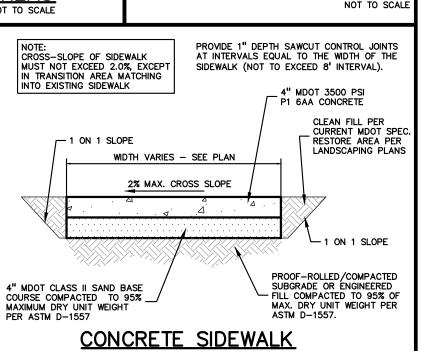
NO PARKING

NO STOPPING

NO STANDING

TOW AWAY

ZONE



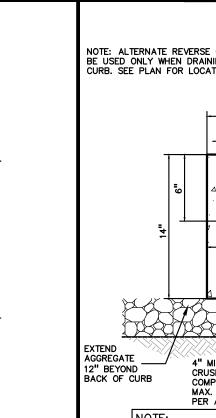
TOW AWAY ZONE'

780 WEST MAPLE 780 WEST MAPLE RD

PROJECT TITLE

REVISIONS

MEET EXISTING PAVEMENT VERTICAL FACE -- EXISTING PAVEMENT COLD-MILL EXISTING SURFACE.
- DEPTH TO MATCH NEW PAVEMENT WEARING COURSE THICKNESS. **BUTT JOINT DETAIL** AS INDICATED ON PLANS



ASPHALT OVERLAY. MATCH
THICKNESS OF WEARING
COURSE OF ADJACENT NEW
PAVEMENT, TYP.

PAVEMENT SECTION. REFER

NOTE: ALTERNATE REVERSE CURB SECTION TO BE USED ONLY WHEN DRAINING AWAY FROM CURB. SEE PLAN FOR LOCATION. STANDARD SECTION ALT. REVERSE CURB SECTION SLOPE 1" PER FOOT SLOPE 1" PER FT. MDOT 3500 PSI, P1 6AA CONCRETE 4" MIN. MDOT 21AA CRUSHED LIMESTONE COMPACTED TO 95% OF SUBGRADE OR ENGINEERED FILL COMPACTED TO 95% OF MAX. DRY UNIT WEIGHT PER ASTM D-1557. MAX. DRY UNIT WEIGHT PER ASTM D-1557. PROVIDE CONTROL JOINTS IN CURB AT 10' O.C. PROVIDE EXPANSION JOINT AND JOINT SEALANT AT END OF RADIUS RETURNS PER MDOT AND ACA STANDARDS. PROVIDE EXPANSION JOINTS AND JOINT SEALANT WHERE CURBS ABUT STRUCTURES. 18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE

**NOTES AND DETAILS** 

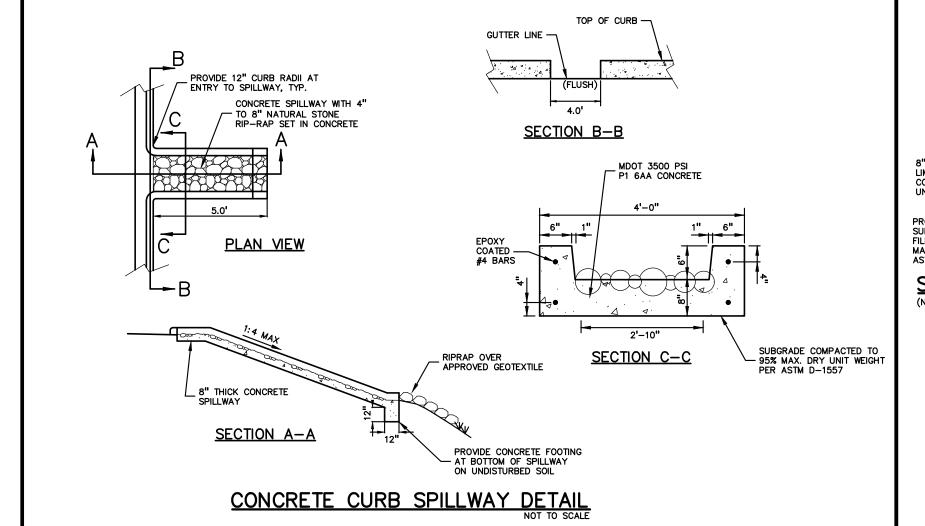
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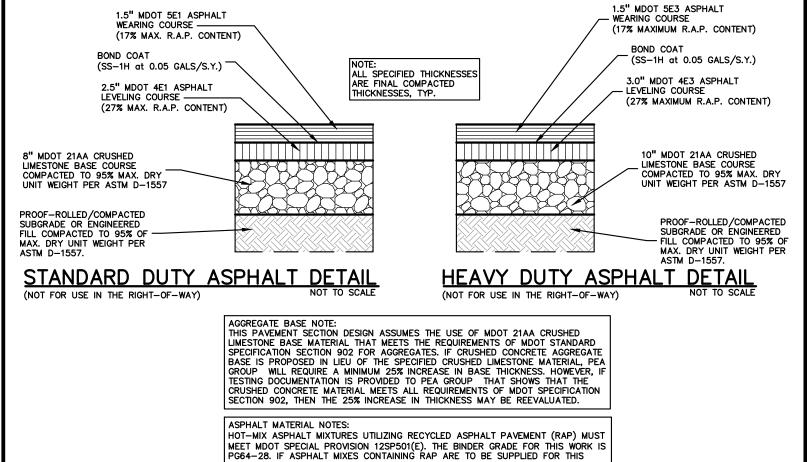
ORIGINAL ISSUE DATE: **DECEMBER 17, 2021** 

DRAWING TITLE

PEA JOB NO.

JPB JKS DES. JKS DRAWING NUMBER: C - 9.0



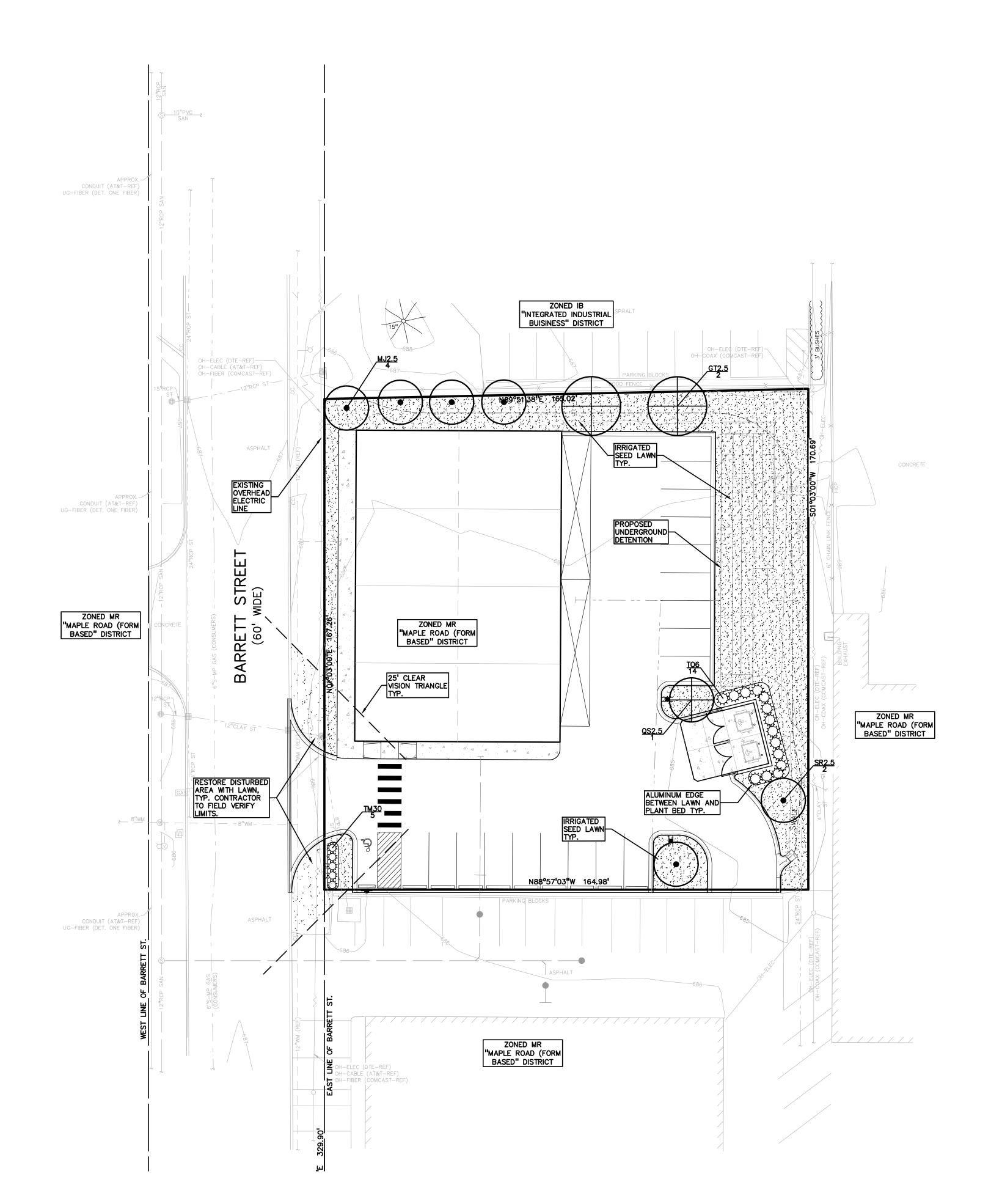


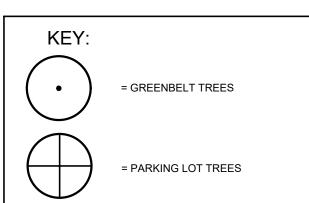
PROJECT, THE ASPHALT BINDER MUST BE REVISED PER MDOT 'TIER 1' OR 'TIER 2' REQUIREMENTS (RAP CONTENT UP TO 27% MAXIMUM). TIER 3 MIXES ARE NOT

ACCEPTABLE ON THIS PROJECT. AN ASPHALT MIX DESIGN FOR ALL SPECIFIED MIXES SHOULD BE FORWARDED TO PEA GROUP FOR REVIEW PRIOR TO CONSTRUCTION

\_\_ MDOT 3500 PSI, P<sup>.</sup> 6AA CONCRETE ASPHALT PAVING -1/2" SCORE JOINT CONT. 2% MAX SLOPE 4" MDOT CLASS II SAND BASE COURSE COMPACTED \_\_ TO 95% MAX. DRY UNIT WEIGHT PER ASTM D-1557 SLOPE AS NECESSARY TO STABILIZE SUBGRADE - FPOXY COATED SUBGRADE OR ENGINEERED
FILL COMPACTED TO 95% OF CONTRACTION JOINTS TO BE T/4 DEEP. SPACED AT INTERVALS TO MATCH SIDEWALK WIDTH (SAWCUT). 1/2-INCH PRE-MOLDED FILLER EXPANSION JOINTS WITH JOINT SEALANT SHALL BE PLACED ONLY WHERE SIDEWALK ABUTS A STRUCTURE. INTEGRAL CURB AND SIDEWALK

NOT FOR CONSTRUCTION





= SCREENING SHRUBS
= IRRIGATED SEED LAWN

: = LAWN SEED RESTORATION

PLANT BEDS AND SEED LAWN AREAS TO BE IRRIGATED
TREES TO BE LOCATED MINIMUM OF 5' OFF UTILITY LINES TYP

TREES TO BE LOCATED MINIMUM OF 5' OFF UTILITY LINES TYP.

SEE SHT. L-1.1 FOR LANDSCAPE DETAILS

TREE PLAN	NT LIST:				
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
2	GT2.5	Skyline Honeylocust	Gleditsia triacanthos 'Skyline' Inermis	2.5" Cal.	B&B
4	MJ2.5	Marilee Crab	Malus 'Jarmin' PP14337 (upright, fruitless, 10' x 24' ht.)	2.5" Cal.	B&B
2	SR2.5	Japanese Tree Lilac	Syringa reticulata 'Ivory silk' (15'x 20'ht. utility tree)	2.5" Cal.	B&B
1	QS2.5	Streetspire Oak	Quercus robur x alba 'JFS-KW1QX' (columnar, 14' x 45' ht.)	2.5" Cal.	B&B
9	Total Dec.				
SHRUB PL	ANT LIST:				
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	TM30	Dense Yew	Taxus x media 'Densiformis'	30" Ht.	Cont
14	TO6	Techny Arborvitae	Thuja occidentalis 'Techny'	6'	B&B
19	Total Shrubs				

LANDSCAPE CALCULATIONS: PER CITY OF TROY ZONING ORDINANCE; MR-MAPLE ROAD FORMED BASE DISTRICT, OFFICE/INDUSTRIAL
PARKING LOT LANDSCAPING REQUIRED: 1 TREE / 8 PARKING SPACES 19 PARKING SPACES / 8 = 3 TREES
PROVIDED: 3 CANOPY TREES

PARKING LOT SCREENING
REQUIRED: PARKING LOTS THAT FRONT ON A ROADWAY SHALL
BE SCREENED BY A LANDSCAPED BERM OR ALTERNATIVE
LANDSCAPE PLANTINGS

PROVIDED: SHRUB HEDGE SCREEN FOR THAT PORTION OF PARKING LOT WHICH FRONTS BARRETT STREET

REQUIRED: 1 TREE / 30 LF OF FRONTAGE

BARRETT STREET: 167 LF FRONTAGE/30 = 6 TREES

PROVIDED: 6 TREES; 4 TREES SITED TO THE NORTH, 2 TREES
TO THE EAST DUE TO CONFLICT WITH OVERHEAD AND
UNDERGROUND UTILITIES

GENERAL SITE LANDSCAPE
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL
27,900 SQ FT \* 20% = 5580 SQ FT
PROVIDED: 7106 SQ FT OF SOFT—SCAPE

AT GRADE EQUIPMENT SCREENING
REQUIRED: SCREEN EQUIPMENT WITH EVERGREEN LANDSCAPE
MATERIALS, HT. MINIMUM TO EQUAL EQUIPMENT HT.

PROVIDED: EVERGREEN/ SHRUBS AT TRASH ENCLOSURE

TREE REPLACEMENT:
REQUIRED: HEALTHY 6" REG. TREE, NOT ON EXEMPT SPECIES
LIST, REPLACE AT 50% OF DBH.
LANDMARK REPLACE AT 100% OF DBH
(2X INCH FOR INCH CREDIT FOR SAVED TREES)

REMOVED: 0
PROVIDED: NONE REQUIRED

#### GENERAL PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.

2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.

3. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.

4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.

5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.

6. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.

7. ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.

8. ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.

9. ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.

10. ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.

11. NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.

THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.

13. IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.

12. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF

14. ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.

15. ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.

16. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.

17. FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.

18. CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.

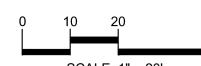
19. TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY

GROUP

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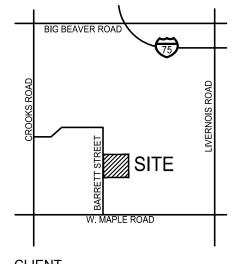
LANDSCAPE





CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



JLIENI

BIG TOM PROPERTIES, LLC 700 NORTH OLD WOODWARD, SUITE 300 BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE

780 WEST MAPLE

REVISIONS	;		
-			-

ORIGINAL ISSUE DATE: DECEMBER 17, 2021 DRAWING TITLE

## PRELIMINARY LANDSCAPE PLAN

·	PEA JOB NO.	2021-0159
,	P.M.	JPB
	DN.	AEH
	DES.	JLE
•	DRAWING NUMBER:	



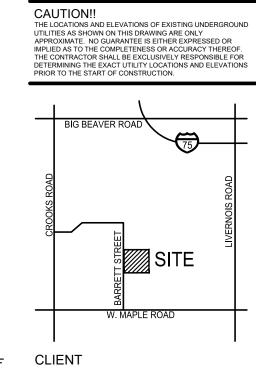
PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS DO NOT COVER TOP OF ROOTBALL WITH SOIL FORM SAUCER WITH 4" HIGH CONTINUOUS RIM SHREDDED HARDWOOD BARK MULCH 3" \_ DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TRUNK - FINISH GRADE SPECIFIED PLANTING MIX. WATER AND TAMP TO REMOVE AIR POCKETS REMOVE ALL BURLAP FROM TOP 1 OF ROOTBALL, DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE VARIES ON CONTAINER OR BALL SIZE PLACE ROOTBALL ON UNEXCAVATED OR



SHRUB PLANTING DETAIL SCALE: 1'' = 2'-0''



PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS STAKE JUST BELOW BRANCHES WITH 2"-3" WIDE NYLON OR PLASTIC STRAPS. CONNECT STAKING/GUYING LOCATION FROM TREE TO STAKE AND ALLOW FOR FLEXIBILITY. REMOVE AFTER (1) ONE YEAR. (DO NOT USE WIRE & HOSE) THREE 2"X2" HARDWOOD STAKES OR STEEL T-POSTS DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING SHREDDED HARDWOOD BARK MULCH TO DRIPLINE. 3" DEEP AND LEAVE 3" CIRCLE OF CLIENT BARE SOIL AROUND TREE TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FORM SAUCER WITH 4" HIGH MXMXMX MX CONTINUOUS RIM — FINISH GRADE SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS, AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS EXPOSE ROOT FLARE OF TREE. CONTRACTOR MAY HAVE TO REMOVE EXCESS SOIL FROM — TOP OF ROOTBALL. REMOVE ALL BURLAP FROM TOP 3 OF ROOTBALL. DISCARD ALL MIN. TYP. NON-BIODEĞRADABLE MATERIAL OFF SITE \_ PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL EVERGREEN TREE PLANTING DETAIL



**BIG TOM** PROPERTIES, LLC 700 NORTH OLD WOODWARD, SUITE 300 BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE

REVISIONS

**780 WEST MAPLE** 780 WEST MAPLE RD TROY, MICHIGAN

MATERIAL AT TOP & BOTTOM, REMOVE AFTER 120° STAKING/GUYING LOCATION DECIDUOUS TREE PLANTING DETAIL

SCALE: 1'' = 3'-0''

SCALE: 1'' = 3'-0''

PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS SECURE TREE WRAP WITH BIODEGRADABLE

FIRST WINTER DO NOT PRUNE TERMINAL LEADER PRUNE

ONLY DEAD, BROKEN BRANCHES AS DIRECTED BY LANDSCAPE ARCHITECT

STAKE JUST BELOW BRANCHES WITH 2"-3" WIDE NYLON OR PLASTIC STRAPS. CONNECT FLEXIBILITY. REMOVE AFTER (1) ONE YEAR. (DO NOT USE WIRE & HOSE)

(3) THREE 2"X2" HARDWOOD STAKES DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING

SHREDDED HARDWOOD BARK MULCH TO DRIPLINE. 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TREE TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FORM SAUCER WITH 4" HIGH CONTINUOUS RIM

DRAWING TITLE LANDSCAPE SPECIFIED PLANTING MIX, WATER & TAMP TO **DETAILS** - REMOVE AIR POCKETS, AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS

- FINISH GRADE EXPOSE ROOT FLARE OF TREE. CONTRACTOR MAY HAVE TO REMOVE EXCESS SOIL FROM

- TOP OF ROOTBALL. REMOVE ALL BURLAP FROM TOP 1 OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE \_ PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL

PEA JOB NO. 2021-0159

ORIGINAL ISSUE DATE:

**DECEMBER 17, 2021** 

P.M. JPB AEH DN. DES. JLE DRAWING NUMBER:

ALUMINUM EDGE DETAIL SCALE: 1/2'' = 1'-0''

PERMALOC ALUMINUM EDGING OR APPROVED

EQUAL WITH BLACK FINISH

- COMPACTED SUBGRADE

LANDSCAPE BED EDGING SHALL BE ALUMINUM AS MANUFACTURED BY

8' OR 16' SECTIONS SHALL BE USED WITH ONE STAKE PER 38" OF

EDGING SHALL BE 语" THICK X 4" DEPTH WHEN ADJ. TO MULCH AND

경" THICK X 5 ½" DEPTH WHEN ADJ. TO ROCK, FINISH: BLACK DURAFLEX MEETING AAMA 2603

STAKE SHALL SECURELY ENGAGE EDGING AND SHALL BE ENTIRELY BELOW TOP SURFACE OF EDGING

EDGING SHALL HAVE A MINIMUM OF 2" OF INTERLOCKING OVERLAP

INSTALL AS PER MANUFACTURER'S SPECIFICATIONS WITH TOP OF EDGING  $\frac{1}{4}$ " ABOVE COMPACTED FINISH GRADE. FINISH GRADE TO BE COMPACTED ON BOTH SIDES OF EDGING TO MAINTAIN STABILITY

- BED MEDIA

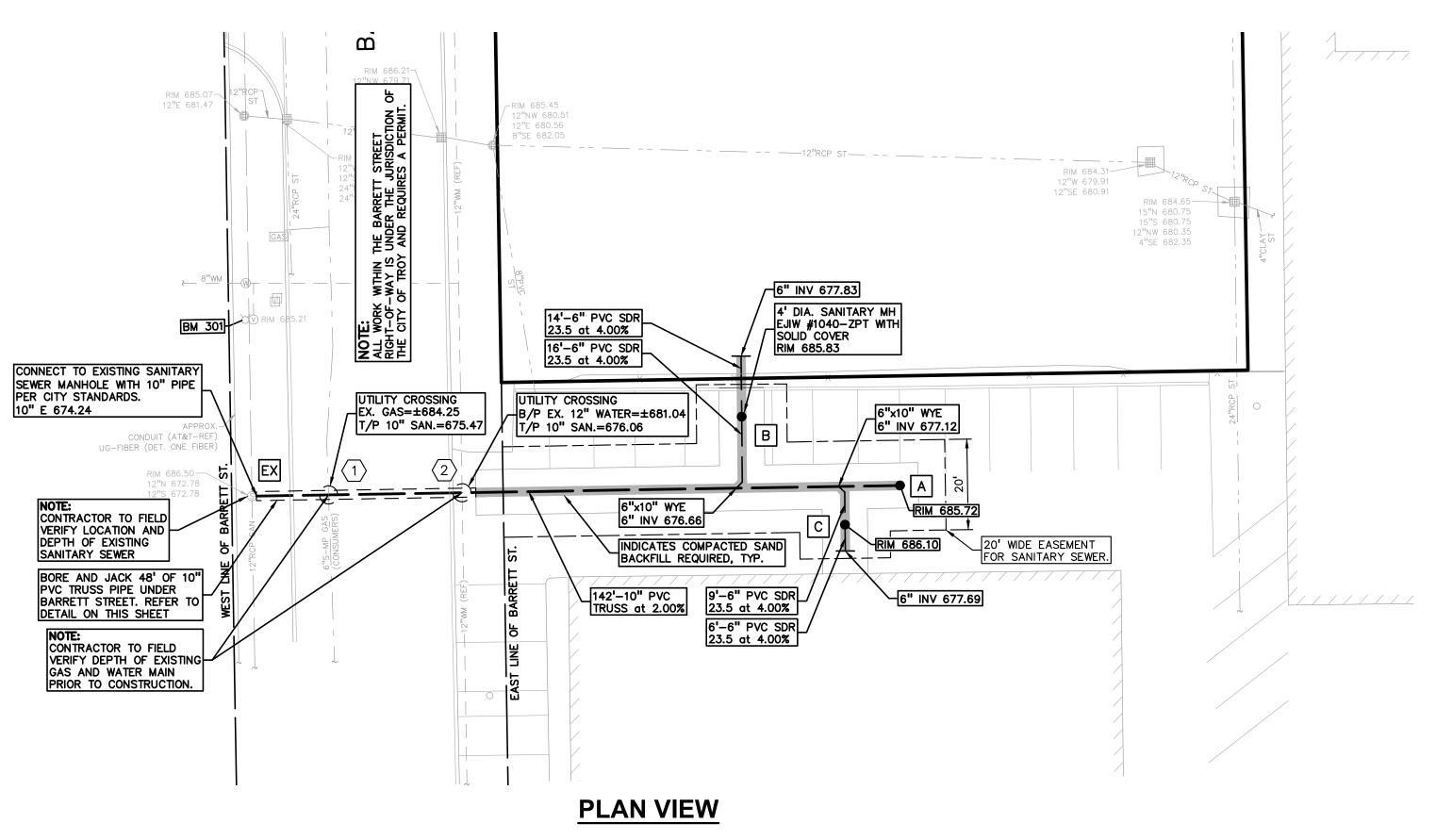
SPECIFICATIONS FOR LANDSCAPE BED EDGING:

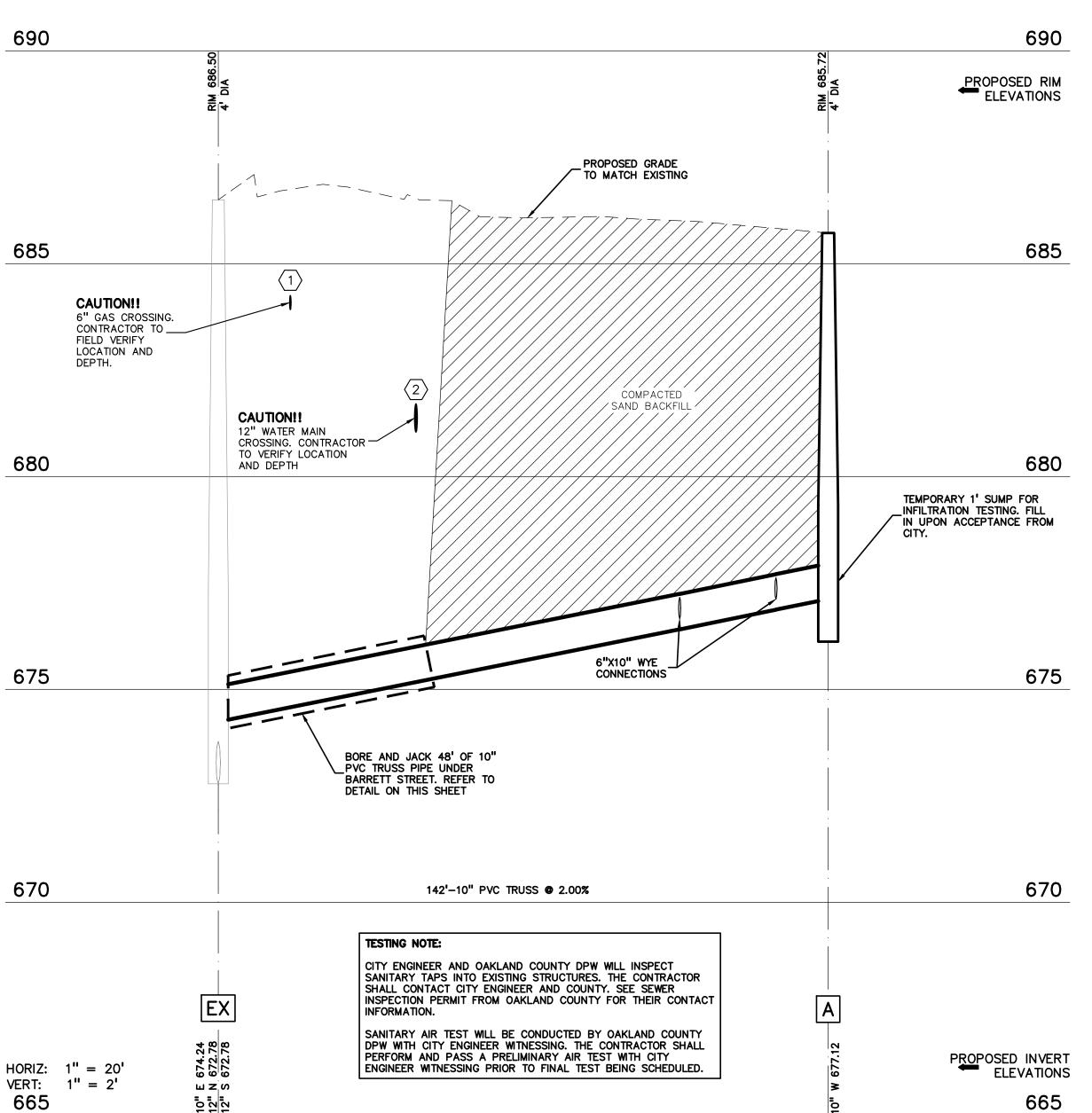
PERMALOC 1.800.356.9660

BETWEEN SECTIONS

**EDGING** 

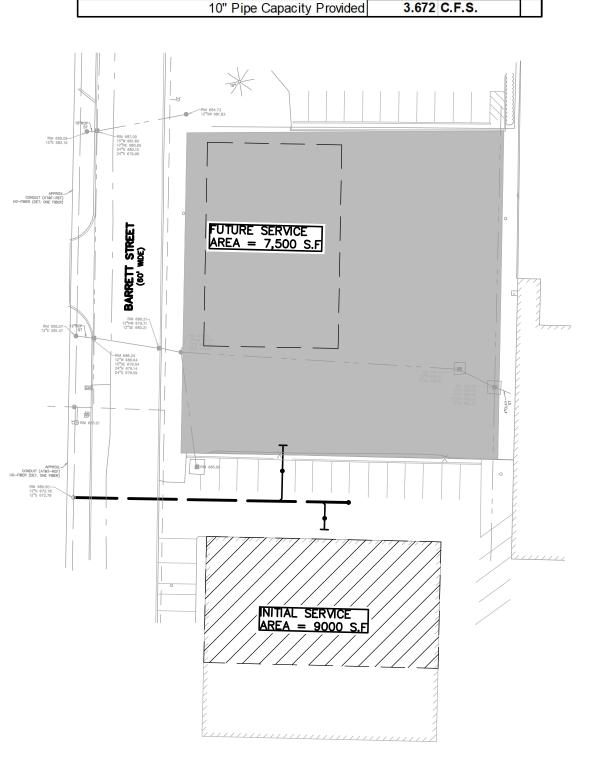
NOT FOR CONSTRUCTION





**PROFILE VIEW** 

(Unit Factors Based on Oakland County Unit Assig	nment Fac	tors)
Office		
Square Footage	9,000	S E
Unit Factor		per 1,000 s.f
REU	3.6	per 1,000 S.I
Population (P) (3.5 PEOPLE/EDU)		People
TOTAL	12.0	reopie
REU	3.6	
TREO		People
Average Flow (100 GPCPD)		G.P.D.
,g ( c. c. c. c. c. c.	•	C.F.S.
P (1000s)	0.013	
Peaking Factor (PF)	4.40	
PF = (18 + sqrt(P))/(4 + sqrt(P))		
Peak Flow (G.D.P.)	5,724	G.P.D.
Peak Flow (C.F.S.)		C.F.S.
SANITARY SEWER BASIS OF DESIGN (ULTIMA	TE):	
(Unit Factors Based on Oakland County Unit Assig	nment Fact	ors)
Office		
Square Footage	16,500	S.F.
Unit Factor	0.4	per 1000 sf
REU	6.6	
Population (P) (3.5 PEOPLE/EDU)	23.1	People
TOTAL		
REU	6.6	
	23	People
August Flow (400 CDCDD)	•	G.P.D.
Average Flow (100 GPCPD)	0.004	C.F.S.
Average Flow (100 GPCPD)	0.004	
P (1000s)	0.023	
P (1000s) Peaking Factor (PF)		
P (1000s)	0.023	
P (1000s)  Peaking Factor (PF)  PF = (18+sqrt(P))/(4+sqrt(P))  Peak Flow (G.D.P.)	0.023 4.37 10,056	G.P.D.
P (1000s) Peaking Factor (PF) PF = (18+sqrt(P))/(4+sqrt(P))	0.023 4.37 10,056	
P (1000s)  Peaking Factor (PF)  PF = (18+sqrt(P))/(4+sqrt(P))  Peak Flow (G.D.P.)	0.023 4.37 10,056	G.P.D. C.F.S.



SANITARY SEWER SERVICE AREA SKETCH

## IRON FOUND

Ø NAIL & CAP SET

LEGEND BRASS PLUG SET MONUMENT FOUND MAIL FOUND MONUMENT SET

SEC. CORNER FOUND R RECORDED M MEASURED C CALCULATED

671.21

671

-x----x---x-

0 0 0 0

-OH-ELEC-W-O- ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE -UG-CATV-TV- UNDERGROUND CABLE TV, CATV PEDESTAL -⊠-UG-PHONE-①--- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE -UG-ELEC-E-E- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE — \_ \_ \_ GAS MAIN, VALVE & GAS LINE MARKER SANITARY SEWER, CLEANOUT & MANHOLE

— - STORM SEWER, CLEANOUT & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF M T I MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE

UNIDENTIFIED STRUCTURE SPOT ELEVATION CONTOUR LINE -X-X-X- FENCE ☆ STREET LIGHT SIGN CONC. →

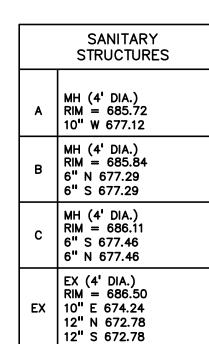
✓ ASPH. ✓ ASPHALT GRAVEL SHOULDER \_\_\_GRAVEL\_\_\_\_

ALTA/NSPS LAND TITLE CURVEY, PEA GROUP JOB NO. 2015-159, DATED APRIL 26, 2021 ,REVISED 06/22/2021 CONSUMERS ENERGY QUARTER SECTION MAP

REFERENCE DRAWINGS

02-61-28-3, DATED 03/18/2021 HENELS & McCOY ROUTE PLAN, SHEET 01, DATED 07/11/2019, DETROIT ONE FIBER EMAIL DATED 04/27/2021 FIBER OPTIC COMCAST MAP, EMAIL DATED 04/16/2021 AT&T MAP A1, DATED 04/16/2021 COMCAST MAP, EMAIL DATED 04/16/2021 DTE ELECTRIC FACILITY MAP 316-384, DATED 04/28/2021" ELECTRIC CITY OF TROY GIS MAP, DATED 04/15/2021

CITY OF TROY GIS MAP, DATED 04/15/2021 CITY OF TROY GIS MAP, DATED 04/15/2021

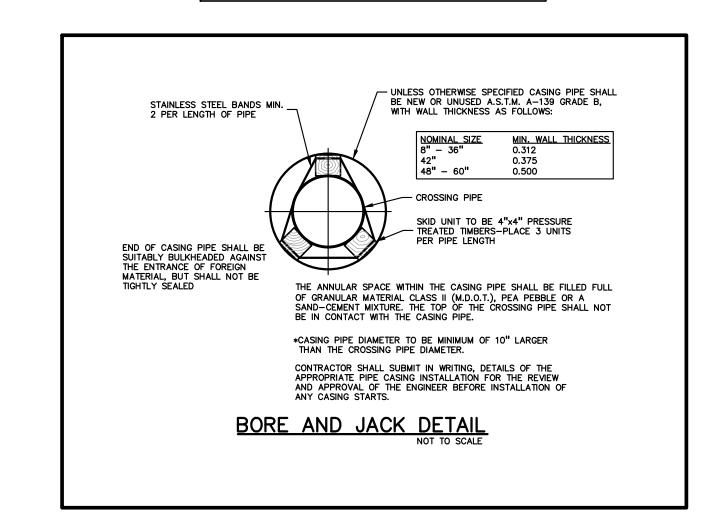


SANITARY SEWER QUANTITIES: 6" PVC SDR 23.5 PIPE 10" PVC TRUSS PIPE 142 LF 48 LF BORE AND JACK PIPE 4' DIA. MANHOLE TAP EXISTING MANHOLE 3 EA. 1 EA.

NOTE:
CONTRACTOR SHALL VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PEA GROUP FOR VERIFICATION, PRIOR TO BIDDING.

PREMIUM TRENCH BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45° LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS
II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).

PUBLIC UTILITY EASEMENTS: ALL SANITARY SEWERS 10" AND LARGER IN DIAMETER ARE TO BE PUBLIC AND SHALL BE LOCATED IN A 20' WIDE EASEMENT.



GROUP

t: 844.813.2949 www.peagroup.com

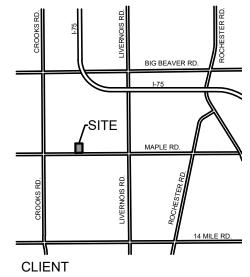








CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**BIG TOM** PROPERTIES, LLC

BIRMINGHAM, MICHIGAN, 48009

700 NORTH OLD WOODWARD, SUITE 300

PROJECT TITLE

780 WEST MAPLE **SEWER EXTENSION** 780 WEST MAPLE RD TROY, MICHIGAN

REVISIONS ENGINEERING REVIEW #1

ORIGINAL ISSUE DATE: OCTOBER 4, 2021

DRAWING TITLE **UTILITY PLAN** 

2021-0159 PEA JOB NO. P.M. JPB AJM DN. DES. JPB DRAWING NUMBER:

## CITY OF TROY PRELIMINARY SITE PLAN APPLICATION

CITY OF TROY PLANNING DEPARTMENT 500 W. BIG BEAVER TROY, MICHIGAN 48084 248-524-3364

FAX: 248-524-3382

E-MAIL: planning @ troymi.gov



PRELIMINARY SITE PLAN REVIEW FEE
\$1,000.00
ESCROW FEE
\$1,500.00
ADMINISTRATIVE SITE PLAN REVIEW FEE
\$300.00

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION A EACH MONTH AT 7:00 P.M. AT CITY HALL.	ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF
PLEASE FILE A COMPLETE PRELIMINARY SITE PLAN APPLICATION THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING	
4 NAME OF THE PROPOSED REVELOPMENT. 780 W	/est Maple (North)
1. WINE OF THE FROM OOLD BEVELOT MENT.	
2. ADDRESS OF THE SUBJECT PROPERTY: TBD	
3. ZONING CLASSIFICATION OF THE SUBJECT PROPERTY	
4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPER	RTY: 20-28-304-029
5. DESCRIPTION OF PROPOSED USE:	
Construction of a new 7,420 sq. ft. building ar	nd parking
6. APPLICANT:  NAME Benedetto Tiseo, FAIA, NCARB  COMPANY Tiseo Architects, Inc.  ADDRESS 19815 Farmington Rd  CITY Livonia STATE MI ZIP 48152  TELEPHONE (248) 888-1300	PROPERTY OWNER:  NAME Kevin Denha  COMPANY Big Tom Properties, LLC  ADDRESS 700 North Old Woodward, Suite 300  CITY Birmingham STATE MI ZIP48009  TELEPHONE (248) 865-1515
E-MAIL ben@tiseo.com	E-MAIL kdenha@visioninvpartners.com
7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHI Architect Hired by the Property Owner	IP TO THE OWNER OF THE SUBJECT PROPERTY:
8. SIGNATURE OF APPLICANT	DATE 12-21-21
9. SIGNATURE OF PROPERTY OWNER	DATE_12-21-21
BY THIS SIGNATURE, THE PROPERTY OWNER AUTHO	DRIZES PLACEMENT OF A SIGN ON THE PROPERTY

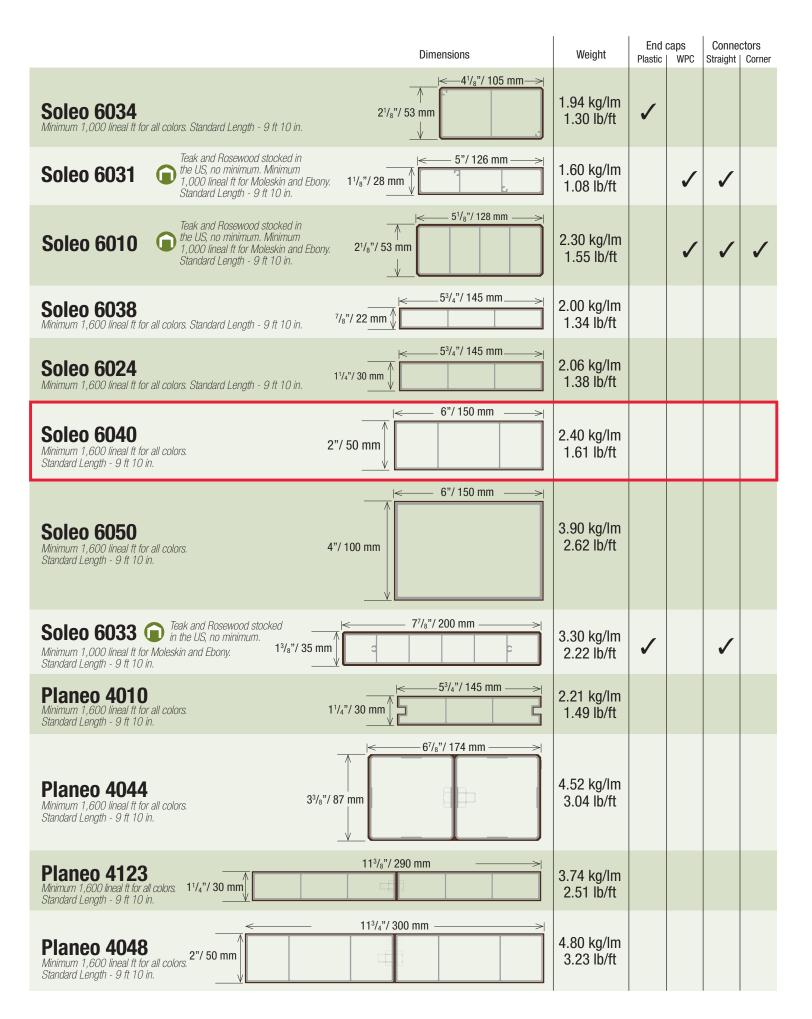
TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PRELIMINIARY SITE PLAN.





natural wood. Wood's warmth and aesthetic look is perfectly reproduced using our unique, sustainable, patented technology.

With over 500 installations across North America, Geolam products require very little maintenance, are fade resistant and can withstand extreme climates. They are ideal for façades, sunshades, rainscreens, other architectural accents, cladding, soffits and decking.



		Dimensions	Weight	End (	caps WPC	Conne Straight	
<b>Careo 7015</b>	Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.	1 <sup>3</sup> / <sub>4</sub> "/45 mm 1 <sup>3</sup> / <sub>4</sub> "/45 mm	0.82 kg/lm 0.55 lb/ft				
Careo 7031	Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.	1 <sup>3</sup> / <sub>4</sub> "/45 mm	0.82 kg/lm 0.55 lb/ft				
Careo 7011	Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.	2 <sup>1</sup> / <sub>8</sub> "/53 mm	1.34 kg/lm 0.90 lb/ft			1	
<b>Careo 7035</b>	Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.	3 <sup>3</sup> / <sub>8</sub> "/ 87 mm	2.28 kg/lm 1.53 lb/ft				
Careo 7014	Minimum 1,000 lineal ft for all colors. Standard Length - 9 ft 10 in.	3 <sup>1</sup> / <sub>2</sub> "/ 88 mm	2.80 kg/lm 1.88 lb/ft		1		
<b>Careo 7016</b>	Minimum 1,600 lineal ft for all colors. Standard Length - 9 ft 10 in.	4 <sup>3</sup> / <sub>4</sub> "/ 120 mm	4.00 kg/lm 2.69 lb/ft				

## **End Caps**



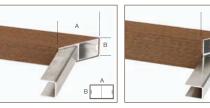


Non standard End Caps & Splicers/Connectors available on request.

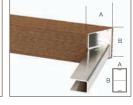
## **Splicers/Connectors**

#### Corners

Française (Lying Down) Belge (Standing Up)









**Straight**Note: bumps to prevent sliding during installation



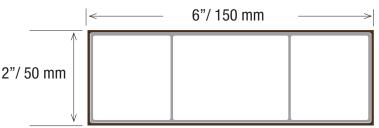


## Soleo 6040



Hybrid Aluminum/WPC Architectural Elements

Datasheet





Thickness: 50 mm | 2 in Width: 150 mm | 6 in

Section tolerances in mm: + 0.5 / - 2.0

Fire rating:

On request before order

Surfaces finish: sanded

Standard length: 3.00 m | 9 ft 10 in

Or order any length from: 2.45 m | 8 ft to 5.48 m | 18 ft

Weight: 3.34 kg/lm | 2.02 lb/ft

Secondary moment lx (cm4): 26.9

Secondary moment ly (cm4): 156.1

Section modulus Zx (cm³): 11.4

Section modulus Zy (cm³): 21.2

Core in anodized aluminum alloy:

A6063S-T5

**Coefficient of Thermal Expansion:** 

 $(20-100^{\circ}C): 23.4 \,\mu\text{m/m/°C}$ 

Modulus of Elasticity: 68.6 GPa

Tensile Strength: 186 Mpa min

Core cross section (mm²): 689.1

#### Color **Selected**

Standard Colors - Minimum 1,800 ft for all colors:









Non-Standard Colors - 90 day lead time - Minimum order quantities apply:

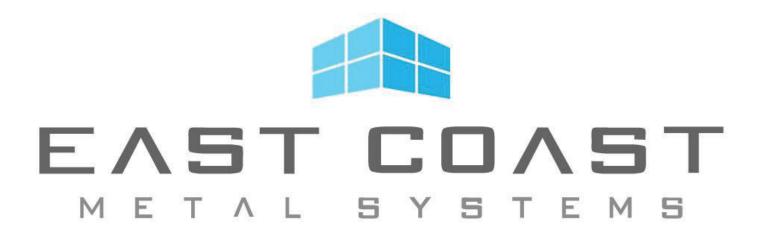




Blackwood

Custom Colors Available for oders >6,000 sq. ft.

www.geolaminc.com Toll free: 1-877-627-3530 info@geolaminc.com



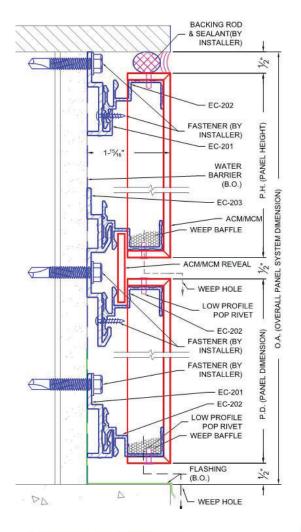
## PRODUCT DATA

ECMS EC-200 SYSTEM COMPOSITE WALL PANEL

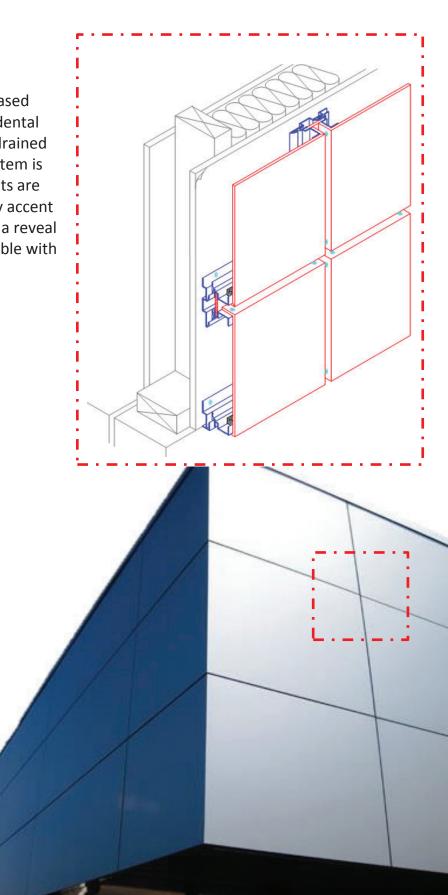


#### EC-200 SYSTEM

The Pressure Equalized Rain Screen System is based upon the "rainscreen principle" and allows incidental water to enter the cladding cavity but then be drained via weep holes. Utilizing formed panels, this system is mounted using aluminum extrusions. Panel joints are finished using color matched or complementary accent strips that 'float' within the extrusions allowing a reveal from 1/2" to 12". The EC-200 system is compatible with 4mm, 6mm, & 8mm ACM Panels.









#### EC-200 SYSTEM

#### PERFORMANCE TESTING

System: EC-200 (Dry-Joint)

Panel Type: Composite Wall Panel

Material Options: 4-mm, 6-mm, 8-mm

Core Options: Polyethylene-PE, Polyethylene-FR,

Phenolic-FR

Color: Available in over 100 standard

colors through a variety of ACM Suppliers (Request Color Chart or

metal samples)

**Custom Color available** 

Finish: Kynar, PEVE, Woodgrain

**Anodized, Natural Metals** 

available

Substrate: Subgirt or Plywood

Standard Panel

Surface: Smooth

Max Panel Width: 60" (1524 mm)<sup>1</sup>
Min. Panel Width: 4" (101.6 mm)

Max Panel Length: 194" (4927.6mm)

Min. Panel Length: 4" (101.6 mm)

Test Method	Title of Test	Results
ASTM E 330		
	Uniform Load Deflection	Pass <sup>3</sup>
ASTM E 330		
	Uniform Load Deflection	Pass <sup>3</sup>
Test Method	Title of Test	<u>Results</u>
ASTM E 283-04		
	Air Infiltration	Pass <sup>2,3</sup>
ASTM 1233-06		
	Pressure Cyclic	Pass <sup>2,3</sup>
ASTM E 331-00		
	Static Water Penetration	Pass <sup>2,3</sup>
AAMA 501.1-05		
	Dynamic Water Penetration	Pass <sup>2,3</sup>

#### Note

- 1. Max panel width subject to change based on vendor material
- 2. Passes AAMA 508-07
- 3. Test Repots available upon request

<sup>\*\*</sup>Test Date 1/30/16



#### **30 Year Architectural Coatings**

larson® by Alucoil® ACM is coil coated utilizing Duranar® coatings from PPG. Backed by a 30-year exterior performance warranty, these (PVdF) fluoropolymer paint finishes contain 70% Kynar 500<sup>®</sup>/ Hylar 5000<sup>®</sup> resins and are formulated to meet or exceed industry performance requisites such as AAMA 620. Our 25 standard colors are matched to a combination of popular ACM and steel foam panel colors - enabling greater flexibility and design choice.

#### **Solid Color Series**

These Duranar® 2-coat colors consist of a 0.2 mil primer and a 0.8 mil color coat, for a nominal dry film thickness of 1.0 mil. Regal White S-31 Off White S-91 Bone White S-30



Limestone S-58





Classic Black S-34 Marakesh Red S-48



Deep Sea Blue S-74

Sandstone S-84

All standard colors are stocked in 62" coil. Select colors are also available in 50" width. Inquire for details and finished panel inventory in key colors.

#### **Greater Flexibility in Custom Colors**

With a 1,000 square foot minimum for custom colors, **larson®** by Alucoil® takes a different approach to address a growing trend in the market. Available in 62", 50" and 39.37" widths, there are no hidden set up charges – just one price for the quantity required.

Due to variations in computer monitors, we cannot guarantee the accuracy of colors presented on-screen with actual products.

#### **Mica Color Series**

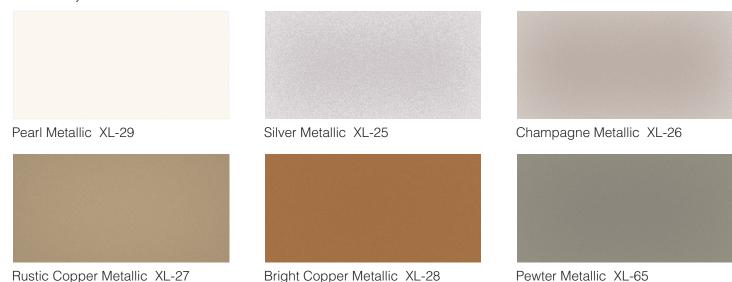
These Duranar<sup>®</sup> 2-coat mica colors consist of a 0.2 mil primer and a 0.8 mil color coat, for a nominal dry film thickness of 1.0 mil. Mica flakes are suspended in the color coat – giving the appearance of a metallic finish.





#### **Color Selected Metallic Color XL Series**

These Duranar® 3-coat metallic colors consist of a 0.2 mil primer, a 0.8 mil color coat, and a 0.5 mil clear coat, for a nominal dry film thickness of 1.5 mils.



Mica and Metallic XL Colors are directional in nature therefore proper estimating and installation precautions should be taken to ensure that panels are all installed in the same direction. Directional arrows are printed on panel protective film to aid in this practice.

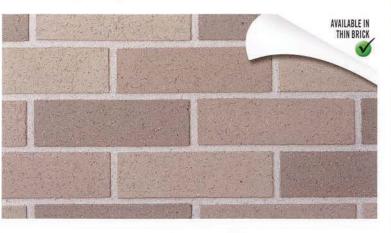
Due to the reflectivity of these finishes, optical perception of color tone may vary according to the angle from which panels are viewed, reflected light off of other structures, and different angles or planes on which panels are installed on a building elevation.

To ensure color consistency with these finishes, it is highly recommended to order all material required at the same time, be they in single or multiple widths.





### 8530



STANDARDS (Meets	ASTM Grade SW for ALL)	TYPE	TEXTURE	COMP.	CW	IRA
PLANT 8 EXTRUDED	FACE BRICK ASTM C 216	FBX				
	THIN BRICK ASTM C 1088	TBX	COARSE VELOUR	13,982 PSI	2.94	4.0
	THIN BRICK PCI	PCI			7.2	

SIZES	DIMENSIONS IN INCHES	THIN FLAT BACK	THIN DOVETAIL	UNITS/SQ.FT.
Modular	3 5/8 x 2 1/4 x 7 5/8	5/8", 16MM	3/4", 19MM	6.86
Roman	3 5/8 x 1 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	6.00
Norman	3 5/8 x 2 1/4 x 11 5/8	5/8", 16MM	3/4", 19MM	4.57
Ambassador	3 5/8 x 2 1/4 x 15 5/8	X	X	3.43
Modular Economo	3 5/8 x 3 5/8 x 7 5/8	5/8", 16MM	3/4", 19MM	4.55
Utility	3 5/8 x 3 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	3.00
Monarch	3 5/8 x 3 5/8 x 15 5/8	X	X	2.25

-	_	_	-
O	_	2	7
$\sim$	•	7	



STANDARDS (Meets	ASTM Grade SW for ALL)	TYPE	TEXTURE	COMP.	CW	IRA
PLANT 8 EXTRUDED	FACE BRICK ASTM C 216	FBX				
	THIN BRICK ASTM C 1088	TBX	COARSE VELOUR	13,982 PSI	2.94	4.0
	THIN BRICK PCI	PCI				

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Roman	3 5/8 x 1 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	6.00
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Ambassador	3 5/8 x 2 1/4 x 15 5/8	X	χ	3.43
Modular Economo	3 5/8 x 3 5/8 x 7 5/8	5/8", 16MM	3/4", 19MM	4.55
Utility	3 5/8 x 3 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	3.00
Monarch	3 5/8 x 3 5/8 x 15 5/8	X	X	2.25

8532	
	AVAILABLE IN THIN BRICK

**Selected Brick** 

STANDARDS (Meets ASTM Grade SW for ALL)	TYPE	TEXTURE	COMP.	CW	IRA
PLANT 8 EXTRUDED FACE BRICK ASTM C 216	FBX				
THIN BRICK ASTM C 1088	TBX	COARSE VELOUR	13,982 PSI	2.94	4.0
THIN BRICK PCI	PCI				

SIZES	DIMENSIONS IN INCHES	THIN FLAT BACK	THIN DOVETAIL	UNITS/SQ.FT.
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Utility	3 5/8 x 3 5/8 x 11 5/8	5/8", 16MM	3/4", 19MM	3.00
Monarch	3 5/8 x 3 5/8 x 15 5/8	X	X	2.25

#### Standard Colors



Please consult the BMC Technical department at Technical@Berridge.com for LEED and Energy Star compliance information. Due to limitations in the printing process, please request actual color chips for accurate color viewing.

ENERGY Star is only volid in the PARTNER United States.



**Exposed Steel I-Beam Paint** 

## **OWNER**

Kevin Denha
Big Tom Properties, LLC
700 N Old Woodward, Suite 300
Birmingham, MI 48009
(248) 865-1515

## **ARCHITECT**

Benedetto Tiseo, FAIA, NCARB Tiseo Architects, Inc. 19815 Farmington Road Livonia, MI 48152-1444 (248) 888-1300

# CIVIL ENGINEER & PROFESSIONAL SURVEYOR

James P. Butler, PE PEA Group 2430 Rochester Ct, Suite 100 Troy, MI 48083 (248) 689-9090

## DRAWING INDEX

## ARCHITECTURAL

P1 CONCEPTUAL SITE PLAN, SITE DETAILS

P2 PRELIMINARY FLOOR PLAN P3 PRELIMINARY ELEVATIONS

PRELIMINARY ELEVATIONS & SECTIONS

## CIVIL/LANDSCAPE

C-O.O COVER SHEET

C-1.0 TOPOGRAPHIC SURVEY

C-3.0 PRELIMINARY SITE PLAN

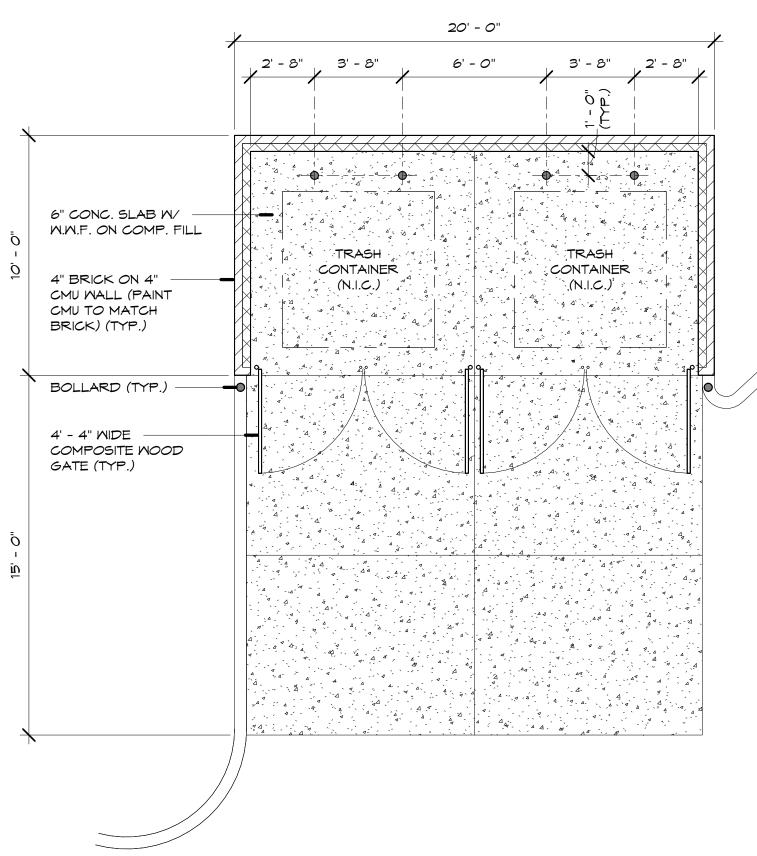
C-4.0 PRELIMINARY GRADING PLAN
C-6.0 PRELIMINARY UTILITY PLAN

C-8.0 STORM SEMER MANAGEMENT PLAN

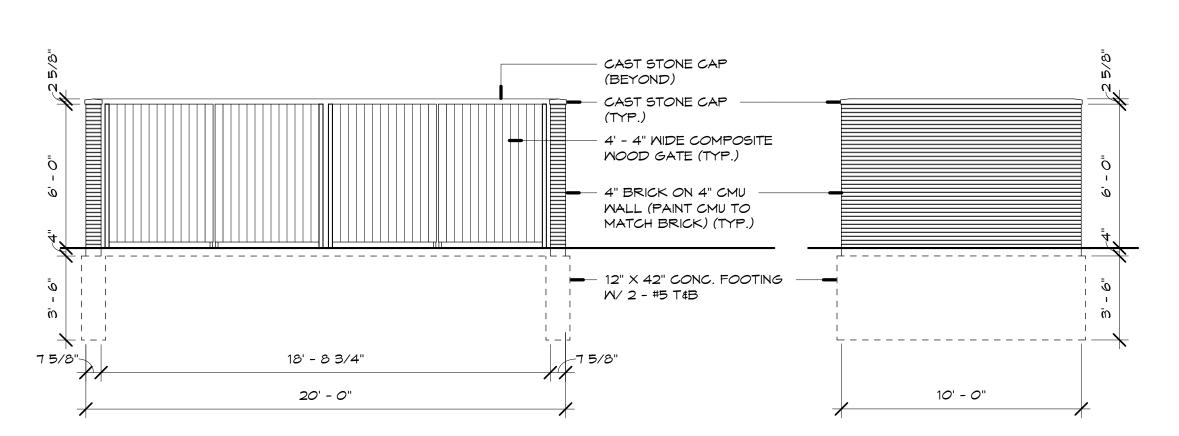
C-9.0 NOTES AND DETAILS L-1.0 LANDSCAPE PLAN

L-1.1 LANDSCAPE DETAILS

PHOTOMETRICS TO BE PROVIDED (FUTURE)



## DUMPSTER ENCLOSURE PLAN

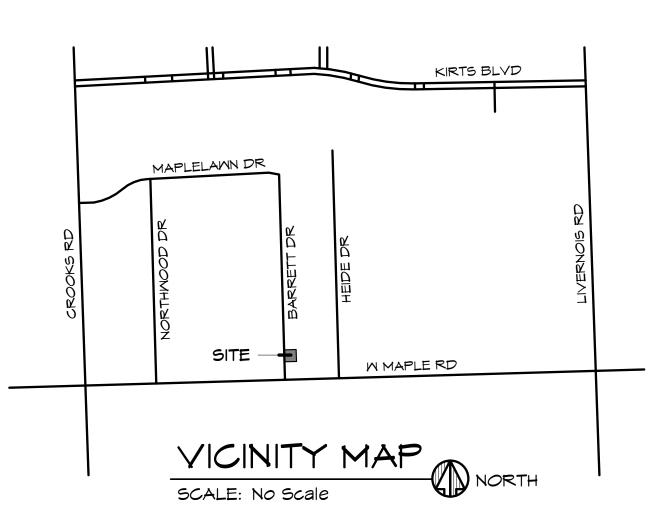


SCALE: 1/4" = 1'-0"

# DUMPSTER ENCLOSURE FRONT ELEVATION SCALE: 1/4" = 1'-0"

DUMPSTER ENCLOSURE
SIDE ELEVATION

SCALE: 1/4" = 1'-0"



## LEGAL DESCRIPTION

AS SURVEYED BY PEA, GROUP

PARCEL 20-28-304-029

Land in a part of the Southwest 1/4 of Section 28, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan more particularly described as:

Commencing at the Southwest corner of said Section 28; thence South 89 degrees O2 minutes OO seconds East 1336.66 feet along south line of said Section 28; thence continuing along said south line South 88 degrees 39 minutes OO seconds East 762.55 feet; thence North O1 degrees O3 minutes OO seconds East 60.00 feet to the intersection of the north line of Maple Road (120 feet wide) and east line of Barrett Drive (60 feet wide); thence continuing along said east line of Barrett Drive, North O1 degree O3 minutes OO seconds East 329.90 feet to the POINT OF BEGINNING; thence continuing North O1 degree O3 minutes OO seconds East 167.26 feet thence North 89 degrees 51 minutes 38 seconds East 165.02 feet; thence South O1 degree O3 minutes OO seconds West 170.69 feet; thence North 88 degrees 57 minutes O3 seconds West 164.98 feet to the POINT OF BEGINNING.

## Site/Building Data

**Zoning Section 5.05:** Formed Based Zoning - MR:B Maple Road Regulating Plan Section B.3.b:

 Site Area:
 27,878 Sq Ft
 0.64 Acres

 Table 5.03.B.1 Open Space Min Req 30%:
 8,363 Sq Ft
 0.64 Acres

 Open Space Actual:
 8,489 Sq Ft
 30.45%

Table 5.05 C-1 Uses Permitted: Residential/Lodging
Office/Institution
Retail/Entertainment/Service

Table 5.05 C-1 Special Approval Uses: Auto/Transportation

Misc. Commercial
Industrial

Large Format Commercial

### Table 5.03 A-1 Use Groups: Actual #3/Office & #7/Industrial

Table 5.03 B-1 Building Form: Type A

Bldg Height

Min (Stories): 1

Min (Feet): 14

Actual Stories & Height: 1 Story & 30'-10"

Max (Stories): 3

Max (Feet): 45

Table 5.03 B-1 Bldg Set Backs (Feet)

Required Max Front: 10

Actual Front: 10'-0"

Min Front: NA

Min Side: N/A

Required Min Rear: 30

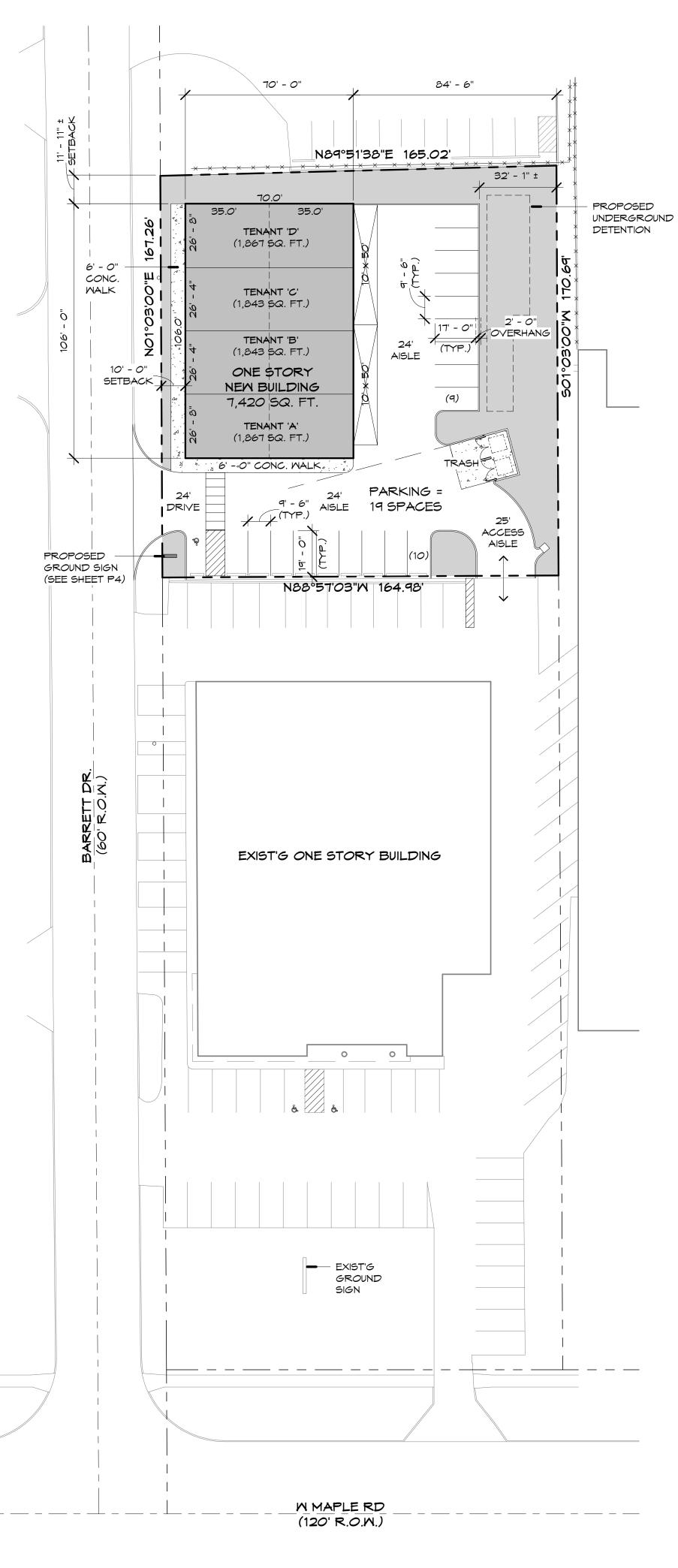
Actual Rear: 84'-6"

### Table 13.09-A Loading/Unloading

Up to 5,000 Gross Sq Ft: 1 5,001 to 60,000 Gross Sq Ft: 1 + 1 per each 20,000 Sq Ft Actual: 2 at 10' x 50'

## **Tenant Information/Parking**

Tenant	Rentable Area (Sq Ft)	Area (Sq Ft)	Use	Ratio/ Sq Ft	Parking Required
New Building	,	,		•	•
1 Tenant A - Office	1,867	933	Office	300	3.11
Tenant A - Industrial	1,007	933	Industrial	550	1.70
2 Tenant B - Office	1,843	922	Office	300	3.07
Tenant B - Industrial	1,043	922	Industrial	550	1.68
3 Tenant C - Office	1,843	922	Office	300	3.07
Tenant C - Industrial	1,043	922	Industrial	550	1.68
4 Tenant D - Office	1,867	933	Office	300	3.11
Tenant D- Industrial			Industrial	550	1.70
Totals	7,420				19.11
Parking Required					19
<b>Parking Provided</b>					19
Over/Under					0



CONCEPTUAL SITE PLAN

SCALE: 1" = 30'-0"



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Tiseo Architects, Inc.

19815 Farmington Road Livonia, Michigan 48152-1444

248.888.1300

www.tiseo.com

fax 248.888.1313

New Building
Barrett Dr & W Maple Rd
Troy, Michigan

Drawn by:

Checked by:

Benedetto Tiseo

Seal / Signature

BENEDETTO
TISEO
ARCHITECT
No.
1301027088

Date 22 DEC 2021

Issued for:

PRELIM SITE PLAN SUBMIT 22 DEC 2021

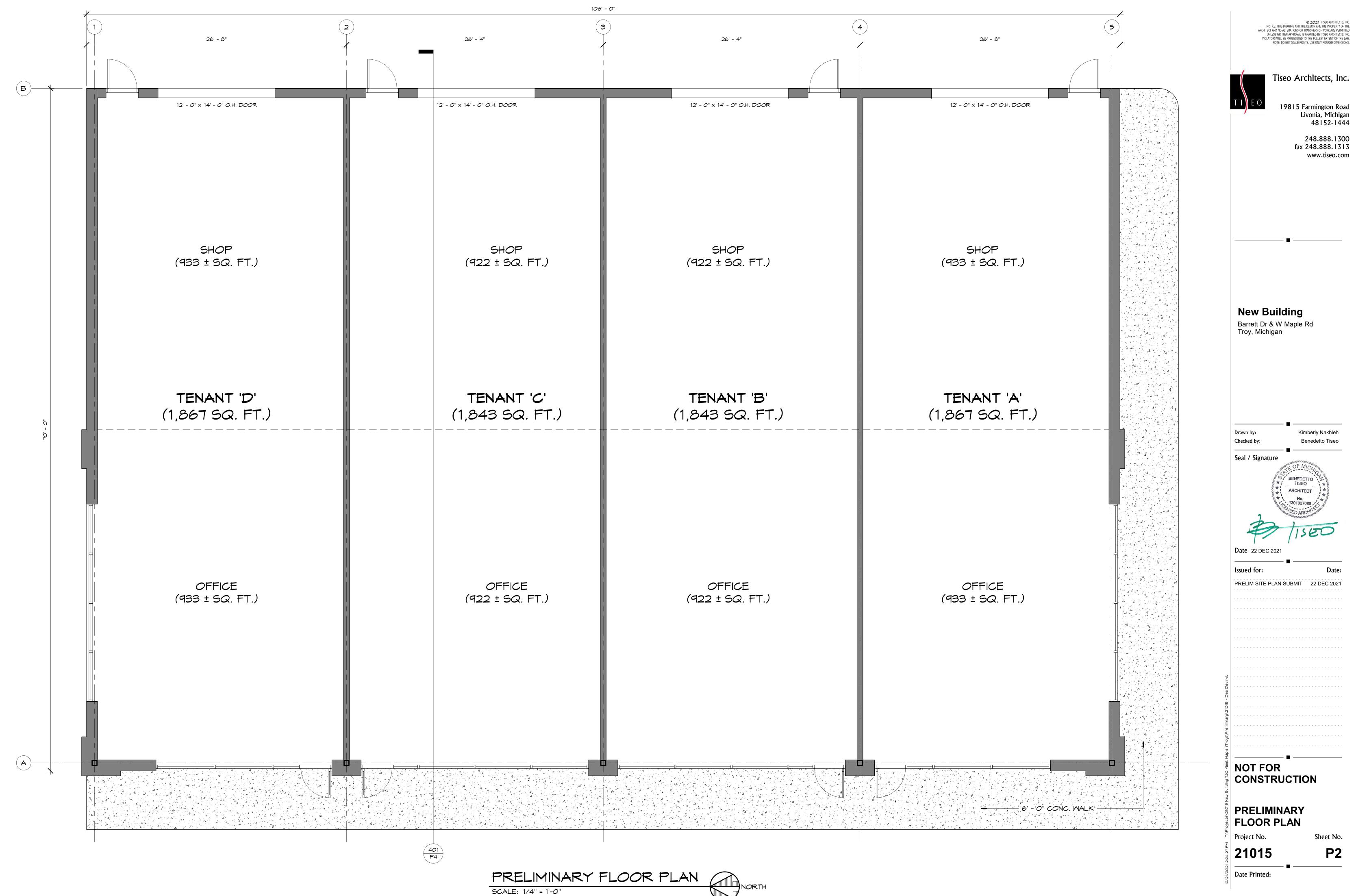
NOT FOR CONSTRUCTION

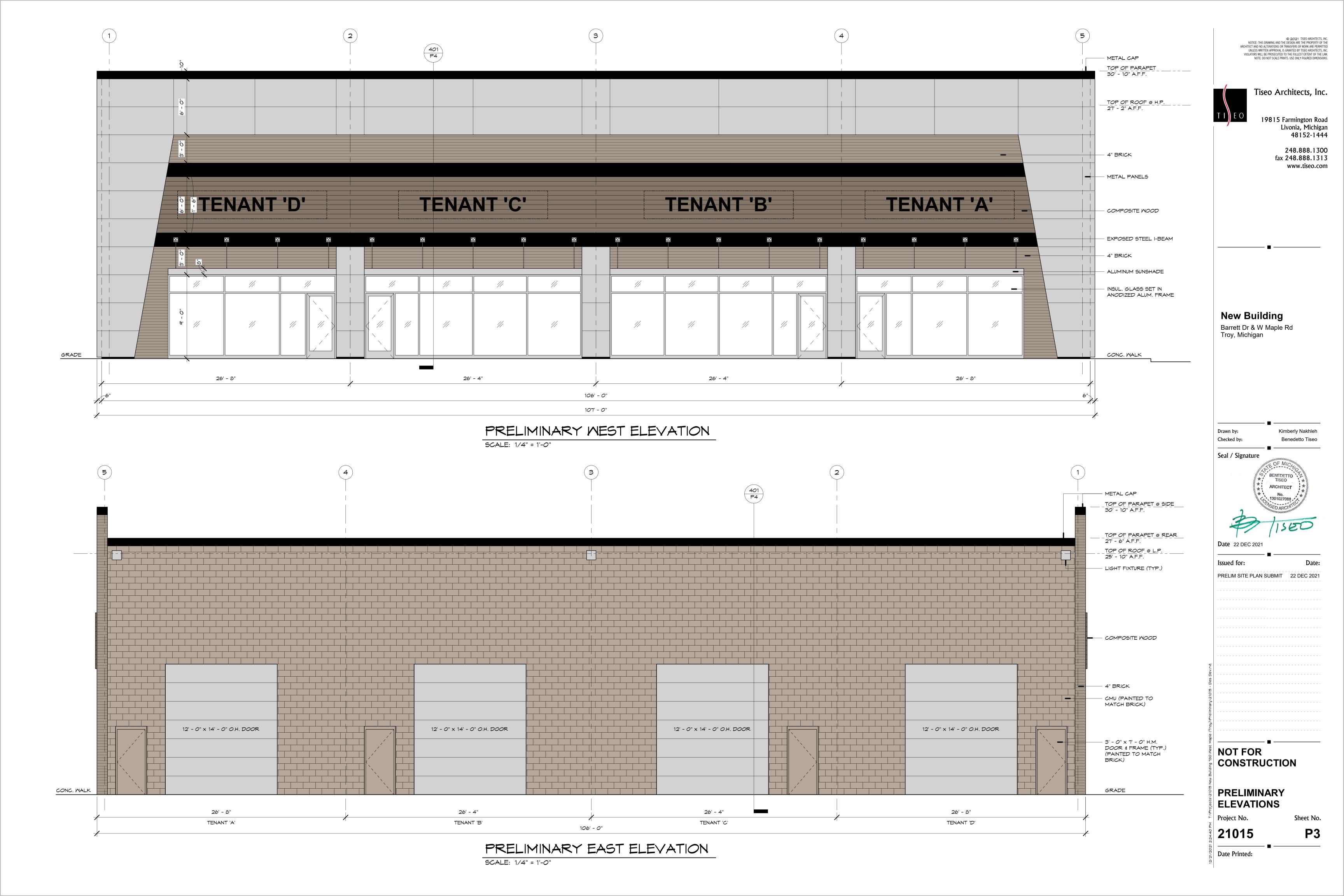
CONCEPTUAL SITE PLAN, SITE DETAILS

Project No. **21015** 

Date Printed:

Sheet No.





## COLOR/FINISH SCHEDULE

DIV 4 Brick: 4" Roman: Belden Brick Color: 8532 Velour

DIV 7 Composite Mood: "Geolam" Soleo 6040 Color: Moleskin

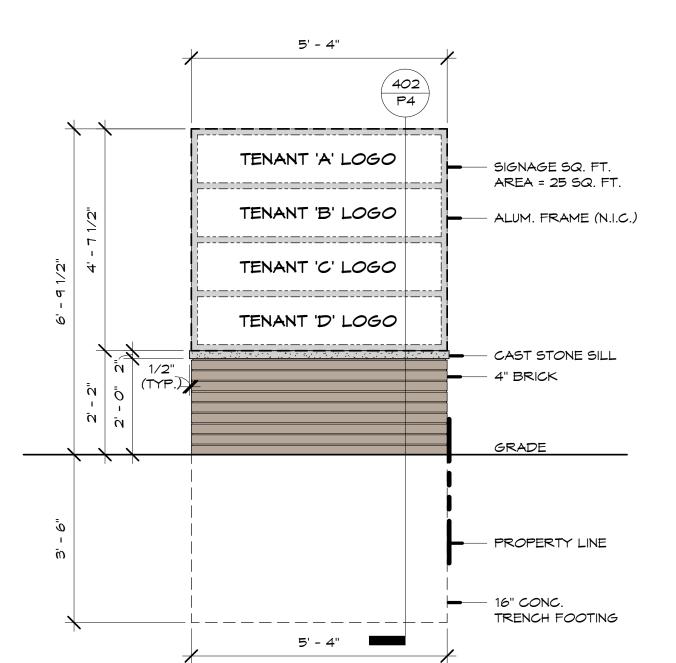
East Coast Metal Systems: Factory Finish "Larson by Alucoil" DIV 7 Metal Panels: Color: Pewter M-37

"Berridge" Kynar 500 DIV 7 Metal Cap: Color: Matte Black DIV 8 Storefront: Color: Clear Anodized

DIV 9 Paint: "Sherwin Milliams" Color: To Match Exterior Brick

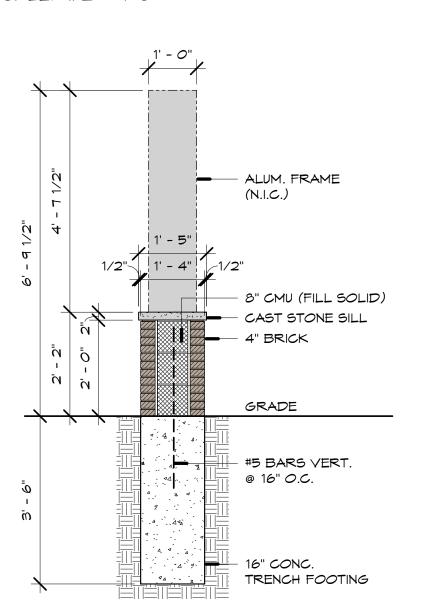
DIV 9 Paint: "Sherwin Milliams" - Exposed Steel I-Beam Color: SW 6991 Black Magic

DIV 10 Sunshades: "Intertec" Factory Applied "Larson by Alucoil" Color: Pewter M-37



## GROUND SIGN ELEVATION

SCALE: 1/2" = 1'-0"



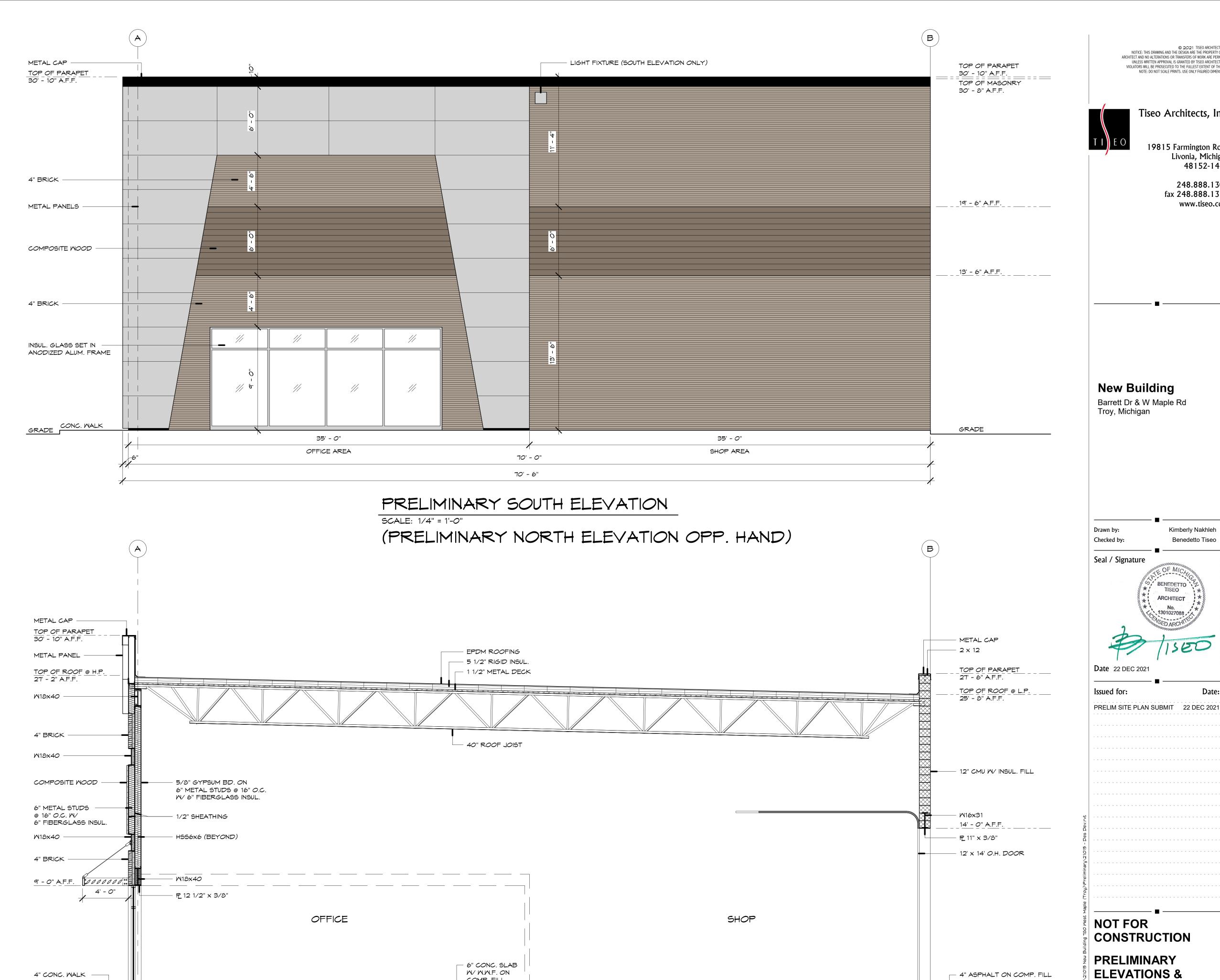
4" CONC. WALK ON COMP. FILL

- 2" imes 24" RIGID PERIMETER INSUL

 $-14" \times 42"$  CONC.

FOOTING W/ 2 - #5 T&B





COMP. FILL

A2 | SCALE: 1/4" = 1'-0"

PRELIMINARY BUILDING SECTION

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Tiseo Architects, Inc.

19815 Farmington Road

Livonia, Michigan

248.888.1300 fax 248.888.1313

www.tiseo.com

Kimberly Nakhleh

BENEDETTO TISEO ARCHITECT

- 4" ASPHALT ON COMP. FILL

- 14" x 42" CONC.

FOOTING W/ 2 - #5 T&B

2" x 24" RIGID PERIMETER INSUL.

**SECTIONS** 

Sheet No.

Project No.

21015

Date Printed:

Benedetto Tiseo

48152-1444



WDGE2 LED

Architectural Wall Sconce

**Specifications** 11.5" (without options)

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wallmounted lighting solution for pedestrian scale

WDGE L	ED Family O	verview							
Opposition	Delication and the second	Telephone Same	7,000,000			(4000K)			
Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Pi	<b>P</b> 2	P3	P4	PS	P6
WDGE1 LED	4W	) <del>P</del>	( <del>12</del> )	1,200	2,000		100		. <del></del>
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	143
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	8	1723
WDGE4 LED	8	) <del>ja</del>	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

rdering Information

**EXAMPLE:** WDGE2 LED P3 40K 80CRI VF MVOLT DDBXD

applications in any environment.

WDGE2 LED P11 P21 P31 P41	P1SW P2SW P3SW	27K 2700K 30K 3000K 35K 3500K	80CRI 90CRI	VF Visual comfort forward throw	MVOLT 3473	Shipped included SRM Surface mounting	Shipped separately AWS 3/8inch Architectural wall spacer
PS1	Door with small window (SW) is required to accommodate sensors. See page 2 for more details.	40K 4000K 50K <sup>2</sup> 5000K		VW Visual comfort wide	4803	bracket	BBW Surface-mounted back box PBBW Premium surface-mounted back b (top, left, right conduit entry)
Options .		40					Finish

en e			
E4WH	Emergency battery backup, CEC compliant (4W, 0°C min)	Standalone S	ensors/Controls (only available with P15W, P25W & P35W)
E10WH E20WC	Emergency battery backup, CEC compliant (10N/, 5°C min)  Emergency battery backup, CEC compliant (18W: -20°C min)	PIR	Bi-level (100/35%) motion sensor for 8-15' mounting heights, Intended for use on switched circuits with external dusk to dawn switching.
PE4	Photocell, Button Type	PIRH	Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching
DS <sup>3</sup>	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	PIR1FC3V	Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre- programmed for dusk to dawn operation.
DMG*	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	PIRH1FC3V	Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-
BCE	Bottom conduit entry for premium back box (PBBW). Total of 4 entry points.	Networked S	programmed for clusk to dawn operation. ensors/Controls (only available with P15W, P25W & P35W)
		NLTAIR2 PIR NLTAIR2 PIRH	ni.ightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. ni.ightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.

See page 4 for out of box functionality

COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DBLXD Black

DWHXD White DSSXD Sandstone

DDBTXD Textured dark bronze DBLBXD Textured black

DWHGXD Textured white

DSSTXD Textured sandstone

DNATXD Textured natural aluminum

Rev. 01/07/20

Statistics								
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max	
OVERALL	+	0.5 fc	3.8 fc	0.0 fc	N/A	N/A	0.1:1	
PARKING LOT	+	1.4 fc	3.8 fc	0.1 fc	38.0:1	14.0:1	0.4:1	

5	Schedule										
	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
		A	4	Lithonia Lighting	WDGE2 LED P5 40K 80CRI VW	WDGE2 LED WITH P5 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT WIDE OPTIC	LED	1	6151	0.9	48.44

### **General Note**

- 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

### **Alternates Note**

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

## **Mounting Height Note**

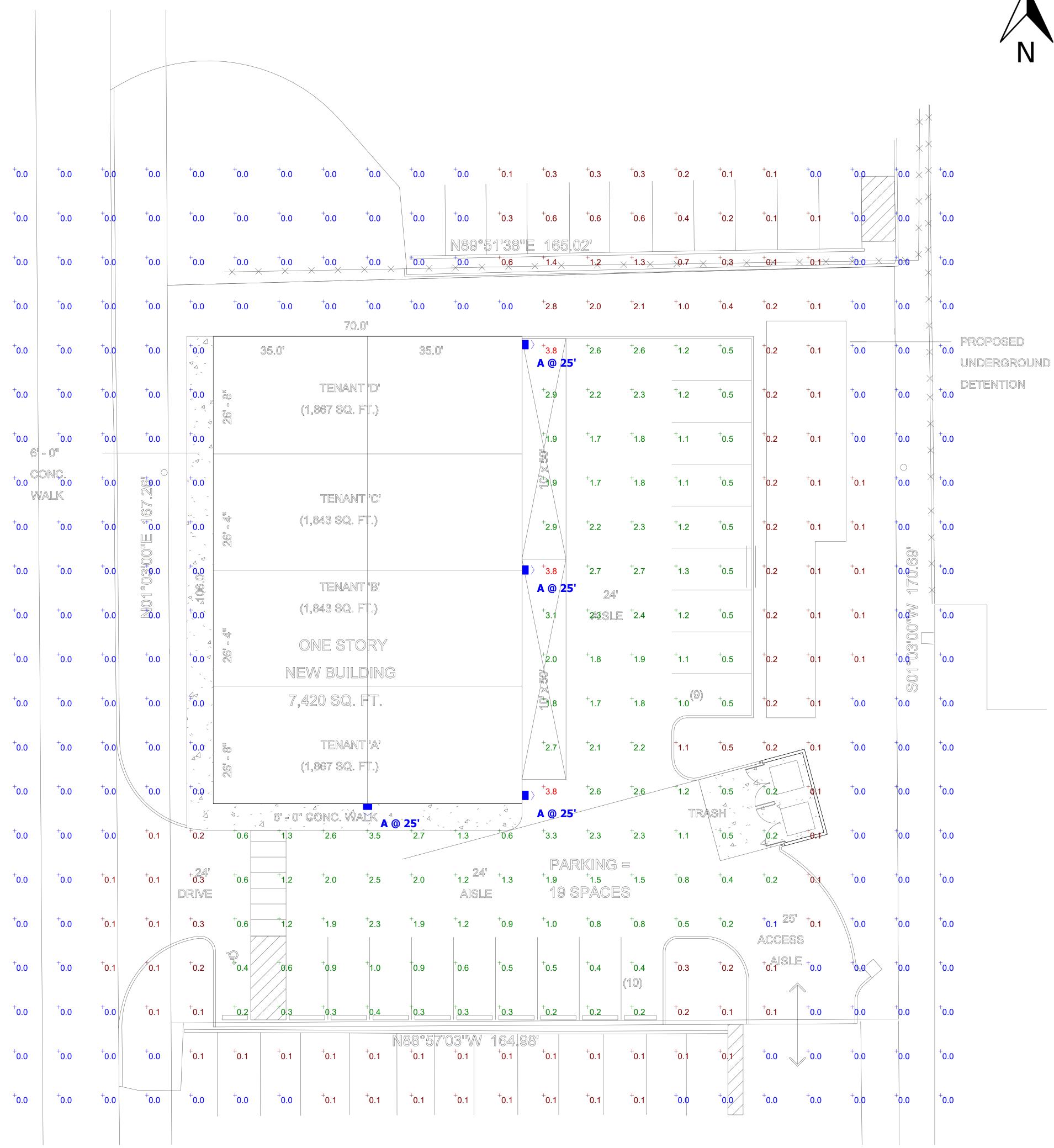
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

### Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

### **Drawing Note**

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.



Plan View

Scale - 1'' = 12ft



Designer

12/23/2021 Scale

Not to Scale Drawing No.

#21-70190-V1

1 of 1

TV/KB

Date

New



#### Tiseo Architects, Inc.

19815 Farmington Road Livonia, Michigan 48152-1444

> Phone: 248.888.1300 Fax: 248.888.1313 www.tiseo.com

January 20, 2022

Mr. Brent Savidant, AICP City of Troy Planning Dept 500 W Big Beaver Rd Troy, MI 48084

Email: SavidantB@troymi.gov

Re: New Building

Barrett Dr & W Maple Rd

Troy, Michigan Project No. 21015

Dear Mr. Savidant,

Below is our Statement of Compatibility for a Special Land Use application submittal for the project referenced above as required in Section 9.03 Special Use Standards of the current Zoning Ordinance.

The project is a Single-Story Multi-Tenant Speculative Office & Industrial Building of approximately 7,420 Sq Ft on a vacant 0.64-acre site. The property is zoned MR Maple Road and is bounded by additional MR properties to the south, east and across the street to the west. The adjacent property to the north is zoned IB Integrated Industrial Business District.

#### Section 9.03 Special Use Standards

#### Paragraph A General Standards.

- Compatibility with Adjacent Uses: This development has been designed in a manner harmonious with the character of adjacent properties and the surrounding area and will not create a significant detrimental impact, as compared to the impacts of permitted uses.
- 2. Compatibility with the Master Plan: This development shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and corridor plans.
- 3. *Traffic Impact:* This development is designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety: vehicle trip generation, types of traffic, access location, and design, circulation and parking design, traffic operations at nearby intersections and access points. Efforts have been made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternative modes of access and alleviate vehicular traffic congestion.
- 4. *Impact on Public Services:* This development will be adequately served by essential public facilities and services, such as: existing streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage



ARCHITECTURE
PLANNING
INTERIORS

To: BrentSavidant
Date: 01/20/2022
Page: 2 of 2



facilities. Such services will be provided and accommodated without an unreasonable public burden.

- 5. Compliance with Zoning Ordinance Standards: This development will be designed, constructed, operated and maintained to meet the stated intent of the zoning district and shall comply with all applicable ordinance standards.
- 6. *Impact on the Overall Environment:* This development will not unreasonably impact the quality of natural features and the environment in comparison to the impacts associated with typical permitted uses.

#### Paragraph B Factors.

- 1. The nature & character of the activities, processes, materials, equipment, or conditions of operation; either specificity or typically associated with the use: This development will be a benefit to the community by allowing the continued growth of small business along a popular and well-traveled main artery it the city. The new building is designed with durable materials and to be aesthetically pleasing.
- 2. Vehicular circulation and parking areas: This development has been designed to provide adequate parking, loading/unloading, refuse pick up and vehicular circulation including a driveway between the adjoining south property which has the same ownership.
- 3. *Outdoor activity, storage and work areas:* This development has been designed to accommodate standard business functions and not any exterior storage.
- 4. *Hours for operation.* The hours of operation for this development will be compatible with the surrounding business and therefore will not create a nuisance to the community.
- 5. Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light: This development will not increase or create undesirable amounts of traffic, noise vibration, smoke, fumes odors, dust, glare and light.

Based on the information above we request approval for this new building and look forward to the coming months to achieve that goal.

Sincerely,

TISEO ARCHITECTS, INC

Benedetto Tiseo, FAIA, NCARB

President

ben@tiseo.com

Cc. Kevin Denha, James Butler



#### Tiseo Architects, Inc.

19815 Farmington Road Livonia, Michigan 48152-1444

> Phone: 248.888.1300 Fax: 248.888.1313 www.tiseo.com

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Email: SavidantB@troymi.gov

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Veteran Owned Small Business

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To: BrentSavidant
Date: 01/20/2022
Page: 2 of 2



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TISEO ARCHITECTS, INC.

Benedetto Tiseo, FAIA, NCARB

President

ben@tiseo.com

Cc. Kevin Denha, James Butler



## Tiseo Architects, Inc.

CITY OF TROY BUILDING DEPT.

3202 0 8 NAU

BECEIVED

TRAN	SMITTAL		Date:	22 Dec 2021	
To:		Project:		Project No:	
Mr. Bren	t Savidant, AICP	New Building		21015	
•	roy Planning Dept	Barrett Dr & W Maple Rd			
500 W B	ig Beaver Rd	Troy, Michigan			
Troy, MI	48084				
	E FORWARDING:				
Copies:	Date:	Description:			
1	20 Jan 2022	Signed Special Use Request Applica	tion		
1	18 Jan 2022	Check #001144 for Required Fees (\$	800)		
2	20 Jan 2022	Statement of Compatibility as Per Se	ction 9.0	3 of the Zoning	
		Ordinance			
☐ For You	* I I a a		X7 VI.	. 1 D. P	
☐ For You		☐ Approved		nd Delivery	
		☐ Approved As Noted☐ Revise & Resubmit	☐ Pick Up		
☐ For Your Approval & Signature X For Your Review & Comment			☐ Regular Mail ☐ Express Mail		
A FOL TOU	r Keview & Comment	☐ Not Approved		•	
		•	☐ Oti	ner	
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		al. The PDF files of the application an			
		questions or need any additional info			
know.	my r ir you navo arry	questions of freed any additional info	imation,	prease just for me	
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Copy to: 1	File	Signed:		$\wedge$	
~ -	Kevin Denha (Electr		Khieh, As	ssociate AIA	
	James Butler (Electro			Lead Designer	
	·	TISEO ARCHIT	_		
		kim@tiseo.co	•		