



500 West Big Beaver
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troymi.gov

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**PLANNING COMMISSION
MEETING AGENDA
REGULAR MEETING**

David Lambert, Chairman, Marianna Perakis, Vice Chairman
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,
Lakshmi Malalahalli and John J. Tagle

May 9, 2023

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – April 11, 2023
4. PUBLIC COMMENT – For Items Not on the Agenda

SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN APPROVAL

5. PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0002) - Proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 & -021), Section 26, Currently Zoned IB (Integrated Industrial & Business) District

OTHER ITEMS

6. PUBLIC COMMENT – For Items on the Agenda
7. PLANNING COMMISSION COMMENT
8. ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Lambert called the Regular meeting of the Troy City Planning Commission to order at 7:02 p.m. on April 11, 2023, in the Council Boardroom of the Troy City Hall. Chair Lambert and Vice Chair Perakis presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Absent:

- Michael W. Hutson

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- R. Brent Savidant, Community Development Director
- Julie Quinlan Dufrane, Assistant City Attorney
- Jackie Ferencz, City of Troy staff

2. APPROVAL OF AGENDA

Resolution # PC-2023-04-22

- Moved by: Perakis
- Support by: Fox

RESOLVED, To approve the Agenda as prepared.

- Yes: All present (8)
- Absent: Michael W. Hutson

MOTION CARRIED

3. APPROVAL OF MINUTES – March 14, 2023

Resolution # PC-2023-04-23

- Moved by: Buechner
- Support by: Krent

RESOLVED, To approve the minutes of the March 14, 2023 Regular meeting as submitted.

Yes: All present (8)
Absent: Michael W. Hutson

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

5. MASTER PLAN –

Presentation of completed Master Plan given by Mr. Carlisle.

Mr. Carlisle gave emphasis to:

- Neighborhood Nodes and updates in language.
- Process, as it relates to approval of Masterplan

Discussion followed.

Some key discussion points:

- 63 Public Review period
- The Master Plan survey
- Dates to be corrected or placed in the Master Plan document
- Census data
- LEED businesses in Troy
- Sustainability
- Parks and Recreation Plan

Resolution # PC-2023-04-24

Moved by: Perakis

Support by: Buechner

RESOLVED, to recommend to the City Council to release the Master Plan for the 63 day public review period.

Yes: All present (8)
Absent: Michael W. Hutson

MOTION CARRIED

6. BYLAWS

Ms. Dufrane reviewed input received from Planning Commission members. Ms. Dufrane will make corrections as discussed with Board.

7. PLANNING COMMISSION COMMENT –

Mr. Savidant gave an update from March 20, 2023 City Council meeting relating to the Estates of Eckford project.

There were general comments some related to:

- ZBA representative will provide updates to Planning Commission going forward
- Turtle Creek Preserve parking for visitors

8. ADJOURN

The Regular meeting of the Planning Commission adjourned at 8:50 p.m.

Respectfully submitted,

David Lambert, Chair

Jackie Ferencz, Planning Department staff

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ITEM #5

DATE: May 4, 2023

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0002) - Proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 & -021), Section 26, Currently Zoned IB (Integrated Industrial & Business) District

The petitioner The Kroger Company submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a new fuel station on a vacant site.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Special Use Application.

G:\SPECIAL USE\SU JPLN2023-0002 KROGER D-463 FUEL STATION\PC Memo 05 09 2023.docx

PROPOSED RESOLUTION

PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0002) - Proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 & -021), Section 26, Currently Zoned IB (Integrated Industrial & Business) District

Resolution # PC-2023-05-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 & -021), Section 26, Currently Zoned IB (Integrated Industrial & Business) District, be (granted, subject to the following conditions):

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

- 1) Allow the applicant the opportunity to amend the application, if necessary, based on Planning Commission discussion.
- 2) Allow the applicant the opportunity to submit an alley vacation application and the Planning Commission to hold a public hearing.

Yes:

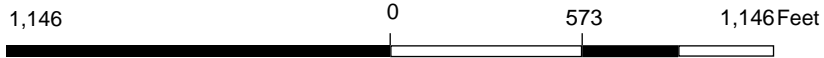
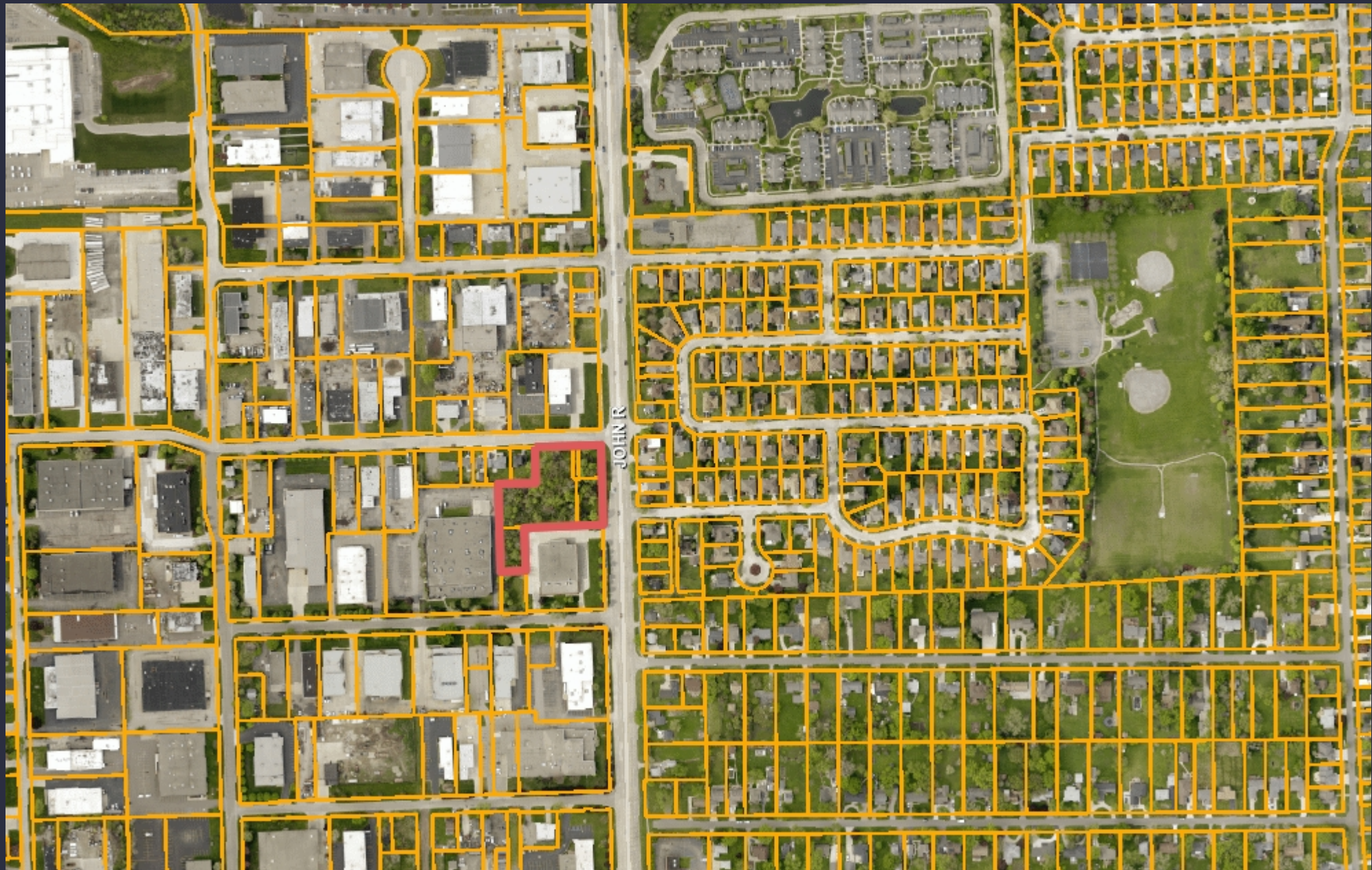
No:

Absent:

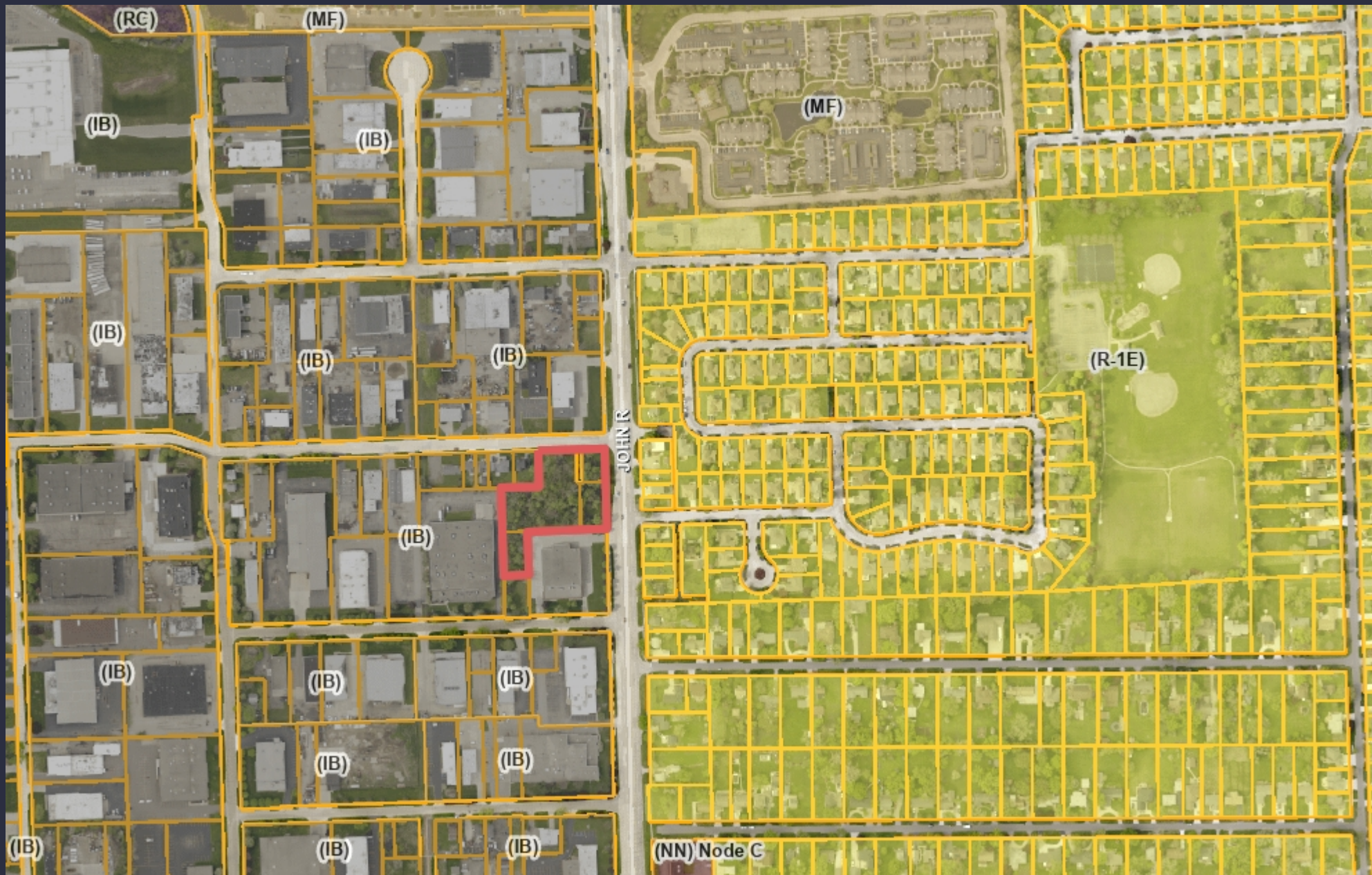
MOTION CARRIED / FAILED



GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 20, 2023
May 2, 2023

Preliminary Site Plan and Special Use Review For City of Troy, Michigan

Project Name:	Kroger D463 Retail Fuel Center
Plan Date:	April 28, 2023
Location:	SW Corner of Larchwood Drive and John R Road
Zoning:	IB, Integrated Industrial and Business
Action Requested:	Site Plan and Special Use Approval

PROJECT AND SITE DESCRIPTION

The applicant is proposing to construct a fuel center on a portion of a currently vacant wooded lot. The 1.87-acre site is located at the southwest corner of John R and Larchwood Drive.

The applicant is proposing the construction of a fuel center on the east side of the property with eight (8) fueling stations totaling 8 islands (16 pumps), a five hundred and thirty-four (534) square foot store, and four (4) parking spaces (one handicap). The portions of the property nearest to the southwestern neighboring parcels will be left vacant and wooded. The site is currently vacant. Access will be via one point off John R Road and one point off Larchwood Drive.

Fuel centers are a special use in the IB, Integrated Industrial and Business District.

Location of Subject Property:

SW Corner of Larchwood Drive and John R Road



Proposed Use of Subject Parcel:

Fuel Center

Current Zoning:

The property is zoned IB, Integrated Industrial and Business

Surrounding Property Details

Direction	Zoning	Use
North	IB, Integrated Industrial and Business	Office/Light Industrial/Warehouse
South	IB, Integrated Industrial and Business	Office/Light Industrial/Warehouse
East	IB, Integrated Industrial and Business R-1E, One Family Residential	Office/Light Industrial/Warehouse Single family residences

West	IB, Integrated Industrial and Business	Office/Light Industrial/Warehouse Single family residences
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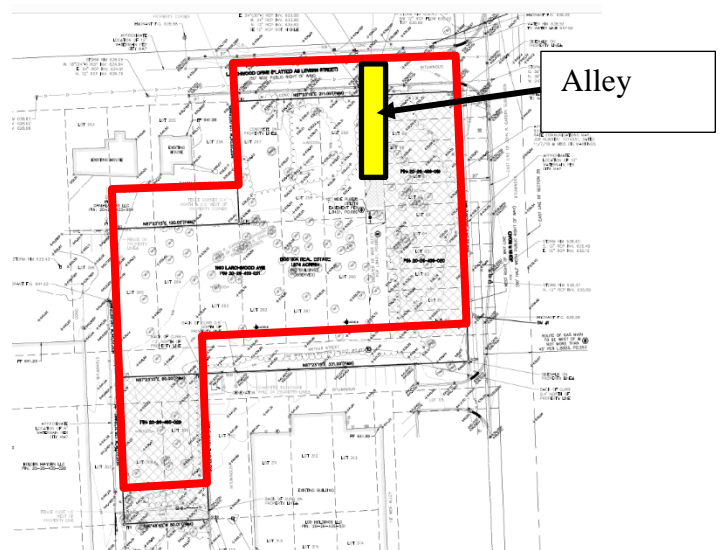
NATURAL FEATURES

A land survey is included in the site plan. The applicant has included a tree inventory and removal plan on sheet L1.21. Ninety-six (96) trees will be removed and twenty-three (23) will be preserved. We note that most of the trees removed are on the prohibited list and include box elder, silver maple, elm, and cottonwood. The applicant is removing 20.5 inches of protected trees and replacing them with five (5) new trees.

Items to be Addressed: None

ALLEY VACATION

There is a small portion of an unimproved alley that is located off Larchwood, which partially bisects the site. The site cannot be developed as is without a alley vacation. An alley vacation is a type of easement in which the City transfers the right-of-way of the alley to a private property owner.



Alley vacation can be considered as part of the site plan process; however, it does require a public hearing by the Planning Commission.

Items to be Addressed: The applicant shall submit a vacation application in order to schedule the public hearing.

SITE AND BUILDING ARRANGEMENT

The applicant is proposing the construction of a fuel center on the east side of the property with eight (8) fueling stations totaling 8 islands (16 pumps), a five hundred and thirty-four (534) square foot store, and four (4) parking spaces (one handicap). One twenty thousand (20,000) gallon storage tank and one eighteen thousand (18,000) gallon underground storage tank are proposed in the southwestern corner of the development area. The portions of the property nearest to the southwestern neighboring parcels will be left vacant and wooded.

The proposed developed portion of this subject site occupies a twenty-four thousand (24,000) square feet rectangular area, situated in the northwest corner of the property. The fueling station will be arranged in the center of this developed area, with drive access around the entire fueling area. The transaction kiosk will sit in the center of the fueling area. The four parking spaces will be lined up on the northwestern corner of the developed area, running in a row from north to south.

As part of the Planning Commission discussion, there should be consideration if a larger convenience store should be provided, which would better serve the surrounding neighborhood, including the neighborhood across John R. Road.

Items to be Addressed: *As part of the Planning Commission discussion, there should be consideration if a larger convenience store should be provided, which may better serve the surrounding neighborhood, including across John R. Road.*

BULK STANDARDS

The dimensional requirements for the IB district are indicated below.

	Required	Provided	Compliance
Front Setback (John Road)	30 feet	80 feet	Complies
Rear Setback	20 feet	100 feet	Complies
Side Setbacks: Least	10 feet	50-feet	Complies
Side Setbacks: Total	20 feet	95-feet	Complies
Maximum building lot coverage	40%	7%	Complies
Maximum building height	50 feet	20 feet	Complies

Items to be Addressed: *None*

SITE ACCESS AND CIRCULATION

Two access points are proposed: one along Larchwood Avenue and one along John R Road. Both access drives will offer two-way traffic into and out of the fueling center.

Items to be Addressed: *None*

PARKING

Vehicle fueling centers require the following parking as set forth in table 13.06.a:

	Required	Provided
1 space for each 125 square feet of net floor area, plus 2 parking spaces per fueling station	16 spaces at 8 fueling islands + 375 square feet / 125 = 3 spaces	16 at fueling pumps and 4 spaces for kiosk
Loading zone	10 feet x 50 feet	10 feet x 50 feet

Based on the size of the store, the parking provided is sufficient. However, if the store is enlarged based on discussion with the Planning Commission, there is room to add additional parking on site. The applicant should consider adding a few additional spaces to accommodate EV fueling.

Items to be Addressed: *The applicant should consider adding a few additional spaces to accommodate EV fueling.*

LANDSCAPING

A landscaping plan has been provided on Sheet L-1.0. The following table discusses the development’s compliance with the landscape requirements set forth in Section 13.02.

	Required:	Provided:	Compliance:
Greenbelt Planting			
John R: 1 tree every 30 feet	255 ft / 30 = 9 trees	9 trees	Complies
Larchwood: 1 tree every 30 feet	210 ft/ 30 = 7 trees	7 trees	Complies
Parking Lot Landscaping			
1 tree per every 8 parking spaces	4 spaces / 8 = 1 tree	1 tree	Complies
Screening Between Land Use			
1 tree per 10 lineal feet or wall	11 large deciduous	11 trees	Complies
Overall			
<u>Site landscaping</u>	20%	47%	Complies

A trash enclosure is located at the southwest portion of the site. The applicant proposes to screen the enclosure with a masonry wall.

Items to be Addressed: *None*

PHOTOMETRICS

The applicant has provided a photometric plan indicating the placement of thirty (30) ceiling-mounted lights on the fueling station canopy, six (6) parking lot lights, and two (2) building lights. The photometrics are compliant at the property lines but we note that the footcandles are a maximum of 53.9 under the canopy. That is extremely bright, especially in consideration of residential across John R.

There is no specific lighting requirement for gas station canopy lighting but we note that for pole mounted lights the maximum is 20 foot candles. Because this is a special use the Planning Commission may place conditions upon the application including restricting light intensity. The applicant should reduce lighting intensity under the canopy.

Items to be Addressed: *Reduce light intensity under the canopy.*

ELEVATIONS AND FLOOR PLANS

The applicant has provided elevations and floor plans for the transaction kiosk, canopy, and fueling stations. The elevations indicate a typical fueling center design with a CMU base, brick façade and metal fascia. The canopy matches the material of the building with a CMU base, brick façade and metal fascia. The canopy and kiosk fascia colors are sandstone and oyster, and six (6) red bollards are proposed around the kiosk perimeter.

To better understand the proposed color scheme, the applicant has provided a color rendering. Planning Commission should consider the proposed architectural details.

Items to be Addressed: Planning Commission should consider the proposed architectural details.

FUELING CENTER DESIGN STANDARDS

There are specific provisions for fueling centers, set forth in Section 6.28:

- A. *The minimum lot area shall be one (1) acre.*
The site is +/- 1.844 acres.

The following minimum setbacks shall apply to canopies and pump facilities construction in conjunction with fueling centers.

Setback	Canopy Support Required	Canopy Support Provided	Pump Island Required	Pump Island Provided	Canopy Edge Required	Canopy Edge Provided
Front	35 feet	65.8 feet	30 feet	65.5 feet	25 feet	55 feet
Side	20 feet	50.8 feet	20 feet	50.5 feet	10 feet	40 feet
Rear	30 feet	100.8 feet	20 feet	94.5 feet	20 feet	88 feet

- 1. *All fueling areas shall be arranged so that motor vehicles do not park on or extend over abutting landscaped areas, sidewalks, streets, buildings, or adjoining property while being served.*

- B. *Canopy structures shall be designed and constructed in a manner which is architecturally compatible with the principal building. The canopy structure shall be attached to and made an integral part of the principal building unless can be demonstrated that the design of the building and canopy in combination would be more functional and aesthetically pleasing if the canopy was not physically attached to the principal building. Required fire protection devices under the canopy shall be architecturally screened so that the tanks are not directly visible from the street. The screens shall be compatible with the design and color of the canopy.*

- C. *Pedestrian Circulation*
 - 1. *Vehicle Fueling / multi-use stations shall be designed in a manner which promotes pedestrian and vehicular safety.*

2. *The parking and circulation system within each development shall accommodate the safe movement of vehicles, bicycles, pedestrians and refueling activities throughout the proposed development and to and from surrounding areas in a safe and convenient manner.*

Items to be addressed: None

SPECIAL USE STANDARDS

For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.”

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses.*
2. *Compatibility with the Master Plan.*
3. *Traffic Impact.*
4. *Impact on Public Services.*
5. *Compliance with Zoning Ordinance Standards.*
6. *Impact on the Overall Environment.*
7. *Special Use Approval Specific Requirements.*

Provided that the applicant addresses our site plan issues noted above, we support the special use and find:

1. The IB District provides for a variety of uses including fueling centers.
2. There are several auto-oriented uses along Larchwood Drive and John R. The use of a fueling center is compatible with surrounding automobile, office, light industrial and warehouse uses.
3. If the applicant were to incorporate EV parking, the installation would be consistent with City sustainability goals.
4. The proposed use should not require any additional public services that required for a permitted use.
5. Traffic should not be significantly impacted by the use.

Items to be addressed: Address site plan uses as noted

SITE PLAN REVIEW STANDARDS

The Site Plan review standards provide the Planning Commission with direction when reviewing the proposed site plan and design features of this development.

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*

- a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
 - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
 - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
- a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
 - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
 - c. *Develop buildings with creativity that includes balanced compositions and forms.*
 - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
 - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
 - f. *Include community amenities that add value to the development such as patio/ seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
- a. *Provide elements that define the street and the pedestrian realm.*
 - b. *Create a connection between the public right of way and ground floor activities.*
 - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
 - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
 - e. *Improve safety for pedestrians through site design measures.*

Items to be Addressed: *Planning Commission to consider if the site plan standards have been met.*

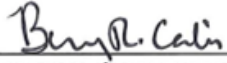
SUMMARY

The Planning Commission is asked to hold a public hearing and have discussion on the following items:

1. Use of the property as a gas station
2. Consideration if a larger convenience store should be provided, which would better serve the surrounding neighborhood, including across John R. Road.
3. Adding additional parking spaces for EV fueling.
4. Architecture and design of kiosk.
5. Reduce light intensity under the canopy.
6. Special Use standards set forth in Section 9.02.D
7. Site plan standards set forth in Section 8.06

We recommend the Planning Commission postpone approval to 1); allow the applicant to amend the application, if necessary, based on Planning Commission discussion, and 2). Allow the applicant to submit an alley vacation application and the Planning Commission to hold a public hearing.

Kroger Fuel Center
May 2, 2023

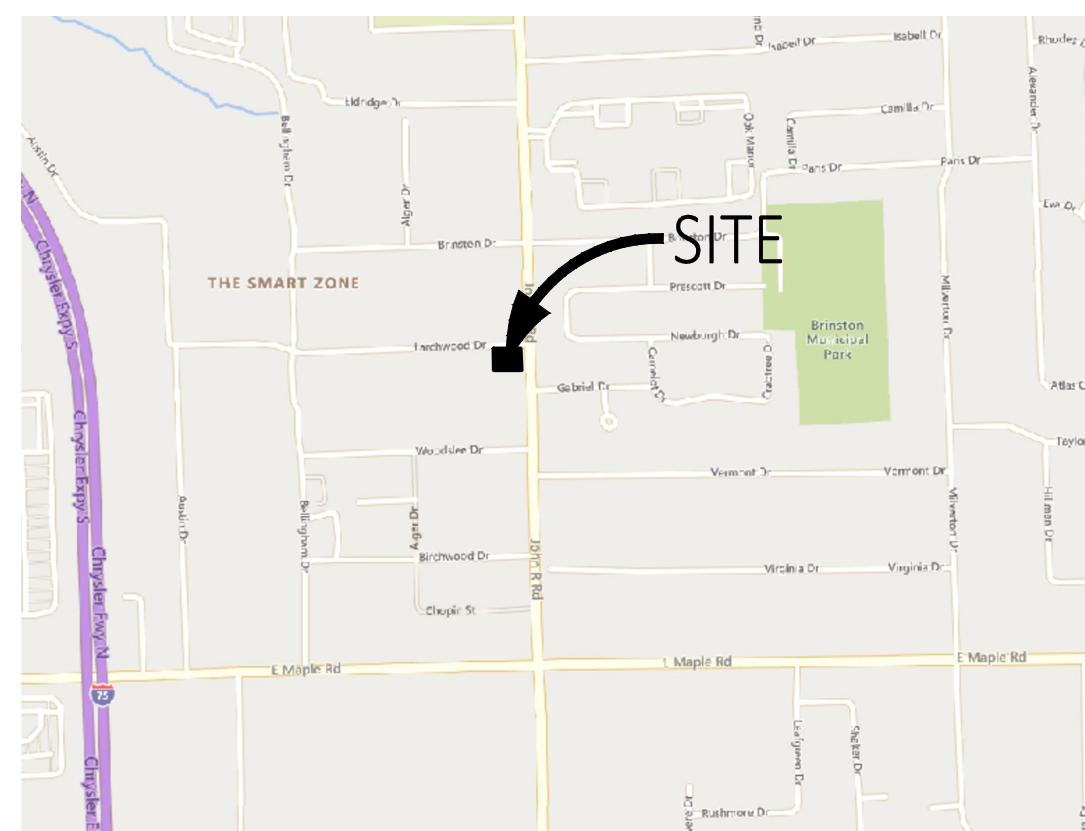


CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



**Kroger D463
Retail Fuel Center**

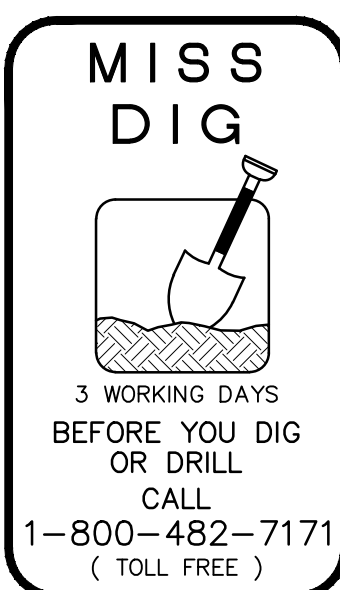
**JOHN R ROAD AT LARCHWOOD DRIVE
TROY, MI 48083**



LOCATION MAP
NO SCALE



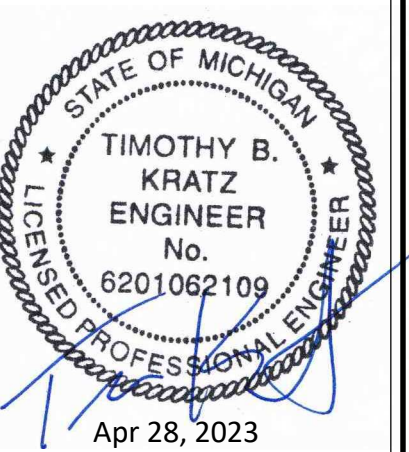
ZONING MAP
SCALE: NTS



PROJECT DESCRIPTION			
CONSTRUCTION OF A RETAIL FUEL CENTER ON A VACANT PARCEL CONSISTING OF:			
<ul style="list-style-type: none"> ONE (1) 6,880 SF CANOPY ONE (1) 534 GSF KIOSK BUILDING EIGHT (8) DISPENSER ISLANDS 			
SITE NOTES			
1. THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY ATWELL-GROUP DATED: 03/16/2023			
PARCEL INFORMATION			
PARCEL NUMBERS:	20-26-433-019	20-26-433-020	20-26-433-021
	20-26-433-029		
OWNER:	BOSTIC REAL ESTATE, LLC.		
ACRES:	OUTLOT: +/- 1.874 ACRES		
BUILDING CODE REVIEW			
ACCESSIBILITY CODE	ANSI/ICC A117.1 - 2009		
BUILDING CODE	2015 MICHIGAN BUILDING CODE		
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NEC)		
ENERGY CODE	2015 MICHIGAN ENERGY CODE		
MECHANICAL CODE	2015 MICHIGAN MECHANICAL CODE		
PLUMBING CODE	2018 MICHIGAN PLUMBING CODE		
FUEL GAS CODE	2015 INTERNATIONAL FUEL GAS CODE (2015 IFGC) - MICHIGAN UPDATE		
ZONING ORDINANCE REVIEW			
ZONING ORDINANCE	TROY, MICHIGAN ZONING ORDINANCE - EFFECTIVE NOVEMBER 17, 2021		
ZONING MAP	TROY, MICHIGAN ZONING OVERVIEW MAP - ADOPTED APRIL 18, 2011 - REVISED MARCH 24, 2022		
SITE ZONING	IB - INTEGRATED INDUSTRIAL AND BUSINESS		
PERMITTED USE	NO - ARTICLE 6.28 VEHICLE FUELING/MULTI-USE STATION		
BULK REGULATIONS			
ITEM	REQUIRED	PROPOSED	ORDINANCE
LOT REQUIREMENTS:			
MIN. LOT AREA	1 ACRE	70,610 ± SF (1.62 AC)	SECTION 6.28
SETBACK REQUIREMENTS:			
CANOPY SUPPORT	REQUIRED	PROPOSED	
FRONT (JOHN R / LARCHWOOD)	35'	80.0' / 65.8'	SECTION 6.28
SIDE (SOUTH)	20'	50.8'	
REAR (WEST)	30'	100.8'	
PUMP ISLAND SETBACK	REQUIRED	PROPOSED	
FRONT (JOHN R / LARCHWOOD)	30.0'	86.5' / 65.5'	SECTION 6.28
SIDE (SOUTH)	20'	50.5'	
REAR (WEST)	20'	94.5'	
CANOPY EDGE SETBACK	REQUIRED	PROPOSED	
FRONT (JOHN R / LARCHWOOD)	25'	80.0' / 55.0'	SECTION 13.06.a
SIDE (SOUTH)	10'	40.0'	
REAR	20'	88.0'	
PARKING REQUIREMENTS:			
MIN. STANDARD SPACE SIZE	9.5' x 19.0'	9.5' x 19.0'	
PARKING CALCULATION	(1) SPACE FOR EACH 125 SF OF NET FLOOR AREA, AND (2) PARKING SPACES PER FUELING STATION.	(16) PARKING SPACES AT THE FUELING PUMPS AND (4) PARKING SPACES FOR THE KIOSK.	
ADA SPACES	1	1	
TOTAL SPACES	19	20	
LOADING ZONE	1 - 10'x50'	1 - 10'x50'	

	DESCRIPTION	ADDRESS	CONTACT
SITE (FUEL)	DEVELOPER	THE KROGER CO. OF MICHIGAN 40393 GRAND RIVER AVENUE NOVI, MICHIGAN 48375	GARETT FOLEY 248.957.2261
	PROJECT CONSULTANT	SEVAN MULTI-SITE SOLUTIONS 3025 HIGHLAND PARKWAY, SUITE 850 DOWNERS GROVE, IL 60515	TIM KRATZ 219.841.6535
	SURVEYOR	ATWELL TWO TOWNE SQUARE SUITE 700 SOUTHFIELD, MI 48076	MICHAEL D. EMBREE 248.447.2000
DESIGN CONTACTS (FUEL)	CIVIL ENGINEER	SEVAN ENGINEERING 3025 HIGHLAND PARKWAY, SUITE 850 DOWNERS GROVE, IL 60515	TIM KRATZ, P.E. 219.841.6535
	FUEL ARCHITECT	GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	DAVID JONES 303.770.8884
	TANK AND PIPING	GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	DAVID JONES 303.770.8884
	KIOSK VENDOR	MCGEE CORPORATION 12701 EAST INDEPENDENCE BLVD. MATTHEWS, NC 28105	KENNETH EARLEY 918.622.1191
GOVERNMENT	CANOPY VENDOR	FASHION 1019 NORTH STREET - P.O. BOX 1050 OTTAWA, KANSAS 66067	-- 785.242.8111
	PLANNING DEPARTMENT	COMMUNITY DEVELOPMENT DIRECTOR 500 W. BIG BEAVER RD TROY, MI 48084	R. BRENT SAVIDANT 248.524.3364
	ENGINEER	CITY ENGINEER 500 W. BIG BEAVER RD TROY, MI 48084	G. SCOTT FINLAY 248.524.3383
BUILDING DEPARTMENT	BUILDING DEPARTMENT 500 W. BIG BEAVER RD TROY, MI 48084	FRONT DESK 248.524.3344	

SHEET INDEX										
GENERAL	COVER SHEET	0	1	2	3	4	5	6	7	8
SURVEY										
1 OF 2	ALTA/NSPS LAND TITLE SURVEY	•	•							
2 OF 2	ALTA/NSPS LAND TITLE SURVEY WITH TOPOGRAPHY	•	•							
CIVIL										
C1.02	COMPOSITE SITE PLAN	•	•							
C1.20	DIMENSION CONTROL SITE PLAN	•	•							
C1.30	GRADING PLAN	•	•							
C5.02	TRASH ENCLOSURE DETAILS		•							
C6.00	TREE INVENTORY AND REMOVAL PLAN		•							
LANDSCAPE ARCHITECTURE - EVERGREEN DESIGN CONSULTANTS										
LP.1	LANDSCAPE PLAN		•							
LP.2	LANDSCAPE DETAILS		•							
LP.3	LANDSCAPE SPECIFICATIONS		•							
LP.4	TREE PROTECTION DETAILS & SPECIFICATIONS		•							
PHOTOMETRIC SITE PLAN - COOPER LIGHTING SOLUTIONS										
1 OF 1	KROGER D463 - PHOTOMETRIC PLAN		•							
ARCHITECTURE - GALLOWAY										
A0.0	FUEL CENTER ELEVATIONS		•							
A1.01	FLOOR PLAN		•							



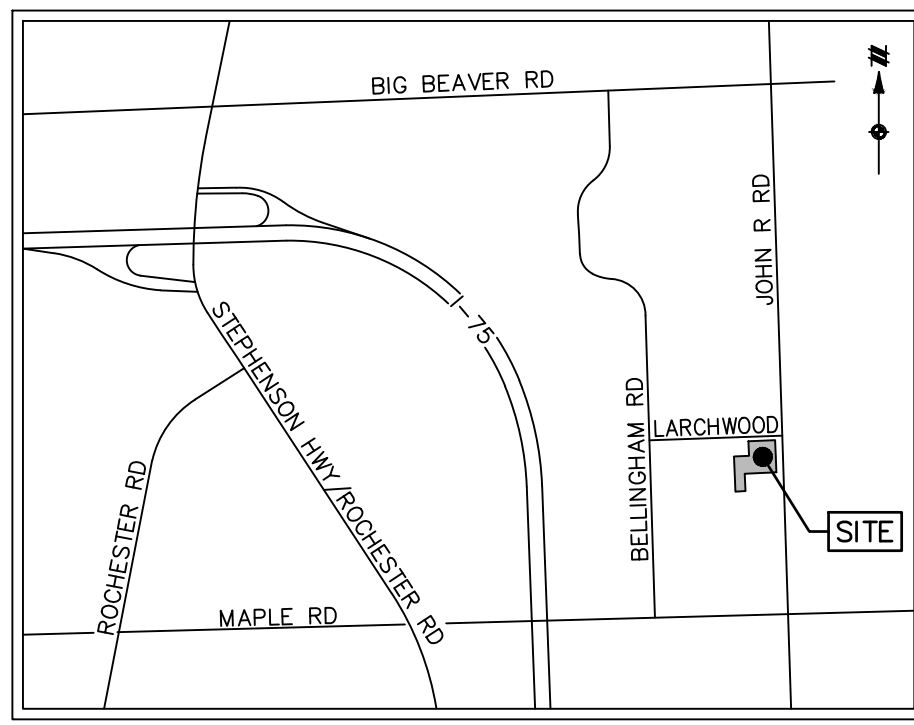
REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS

PROJECT INFORMATION
COVER SHEET
KROGER D463 RETAIL FUEL CENTER
1980 LARCHWOOD DRIVE
TROY, MI 48083

PROJECT NUMBER:	D463
ISSUED DATE:	02.13.2023
DRAWN BY:	--
CHECKED BY:	TK
PROJ. MGR:	TK

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ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP
NOT TO SCALE

SITE BENCHMARKS:

BM #1: ARROW ON FIRE HYDRANT IN WEST RIGHT OF WAY OF JOHN R ROAD
ELEVATION: 642.00 (NAVD88)

BM #2: ARROW ON FIRE HYDRANT IN NORTH RIGHT OF WAY OF LARCHWOOD DRIVE
ELEVATION: 641.57 (NAVD88)

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-019 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R. GARDEN SUB LOTS 66 TO 70 INCL EXC E 27 FT OF EACH TAKEN FOR JOHN R RD

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-020 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R. GARDEN SUB LOTS 60 TO 65 INCL EXC E 27 FT OF EACH TAKEN FOR JOHN R RD, ALSO 1/2 OF VAC ALLEY ADJ TO LOT 260, ALSO 1/2 OF VAC ARTHUR AVE ADJ TO LOT 60 3/15/90 COR L 11277 P 41

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-021 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R GARDEN SUB LOTS 257 TO 265 INCL, ALSO 1/2 VAC ALLEY ADJ TO S 10 FT OF LOT 259, ALSO 1/2 VAC ALLEY ADJ TO LOT 260, ALSO 1/2 OF VAC ARTHUR AVE ADJ TO LOTS 260 TO 265 INCL 5-27-88 FR 006 & 013 TO 018 3/15/90 COR L 11277 P 41

DESCRIPTION OF TAX PARCEL NUMBER 20-26-435-029 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R GARDEN SUB LOTS 308 & 309 5-27-88 FR 007 & 008

NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS AS SHOWN DIFFER FROM RECORD TITLE BEARINGS. VERTICAL DATUM IS BASED ON NAVD88.
- THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO MAP NUMBER 26125C0561G OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE JANUARY 16, 2009.
- WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- ZONING LETTER OR REPORT NOT PROVIDED AT THE DATE OF THE SURVEY.
- THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THERE WAS OBSERVED EVIDENCE OF SOIL BORINGS AT THE DATE OF SURVEY.
- THE SURVEYED PROPERTY CONTAINS NO PARKING STALLS AT THE DATE OF THE SURVEY.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS MAY EXIST THAT ARE NOT SHOWN HEREON.



EXHIBIT A -- LEGAL DESCRIPTION PER INFORMATIONAL TITLE REPORT ISSUED BY AMROCK, LLC, ORDER NO: C000126451, EFFECTIVE DATE: JANUARY 10, 2023:

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND AND STATE OF MICHIGAN:

LOTS 257, 258, 259, 260, 261, 262, 263, 264, 265 OF JOHN R. GARDEN SUBDIVISION, AS RECORDED IN LIBER 31, PAGE 8 OF PLATS, OAKLAND COUNTY RECORDS. TOGETHER WITH THE ONE HALF VACATED ALLEY ADJACENT TO LOT 259 AND 260 AND ONE HALF OF VACATED ARTHUR AVE ADJACENT TO LOTS 260 TO 265.

SCHEDULE B -- PART II (EXCEPTIONS) PER INFORMATIONAL TITLE REPORT ISSUED BY AMROCK, LLC, ORDER NO: C000126451, EFFECTIVE DATE: JANUARY 10, 2023:

- INTEREST OF JOHN P. LOSIER AS EVIDENCED IN WARRANTY DEED RECORDED NOVEMBER 5, 1979 IN LIBER 7663, PAGE 621. (AS TO LOTS 257, 258, 259) NOTE: JOHN P. LOSIER HAD A LAND CONTRACT INTEREST IN INSTRUMENT RECORDED JUNE 28, 1968 IN LIBER 5208, PAGE 182. JOHN AND GENE LOSIER DIVORCED AND HE ASSIGNED HIS LAND CONTRACT INTEREST AND QUIT CLAIMED HIS INTEREST IN LIBER 5920, PAGE 846 AND LIBER 5920, PAGE 847. JOHN P. LOSIER INTEREST WAS RECREATED IN THE SATISFACTION OF THE LAND CONTRACT IN LIBER 7663, PAGE 621. JOHN P. LOSIER NEVER DEEDS OUT AFTER LIBER 7663, PAGE 621
RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY.
- RESOLUTION RECORDED JULY 19, 1983 IN LIBER 8421, PAGE 680.
RESPONSE: AS SHOWN HEREON.
- RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY, RECORDED FEBRUARY 16, 1983 IN LIBER 8323, PAGE 253. (AS TO LOTS 60 THROUGH 65)
RESPONSE: AS SHOWN HEREON.
- RESOLUTION RECORDED FEBRUARY 28, 1990 IN LIBER 11277, PAGE 41.
RESPONSE: VACATED STREET AS SHOWN HEREON. EASEMENT LOCATED SOUTH OF SUBJECT PROPERTY.
- EASEMENTS, RESTRICTIONS AND SET BACK LINES, AS SHOWN ON THE PLAT RECORDED IN LIBER 31, PAGE 8 OF PLATS.
RESPONSE: COVERS SUBJECT PROPERTY AND ADDITIONAL LAND.

SURVEYOR'S CERTIFICATE

TO:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 8, 9, 11(a), 11(b), 13, 17, 21 AND 22 (LOCATIONS/ELEVATION OF SOIL BORINGS) OF TABLE A THEREOF.

FIELD WORK WAS COMPLETED ON NOVEMBER 16, 2022.

MICHAEL D. EMBREE
PROFESSIONAL SURVEYOR NO. 4001056860
MEMBREE@ATWELL-GROUP.COM
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076
248.447.2000

DATE _____

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

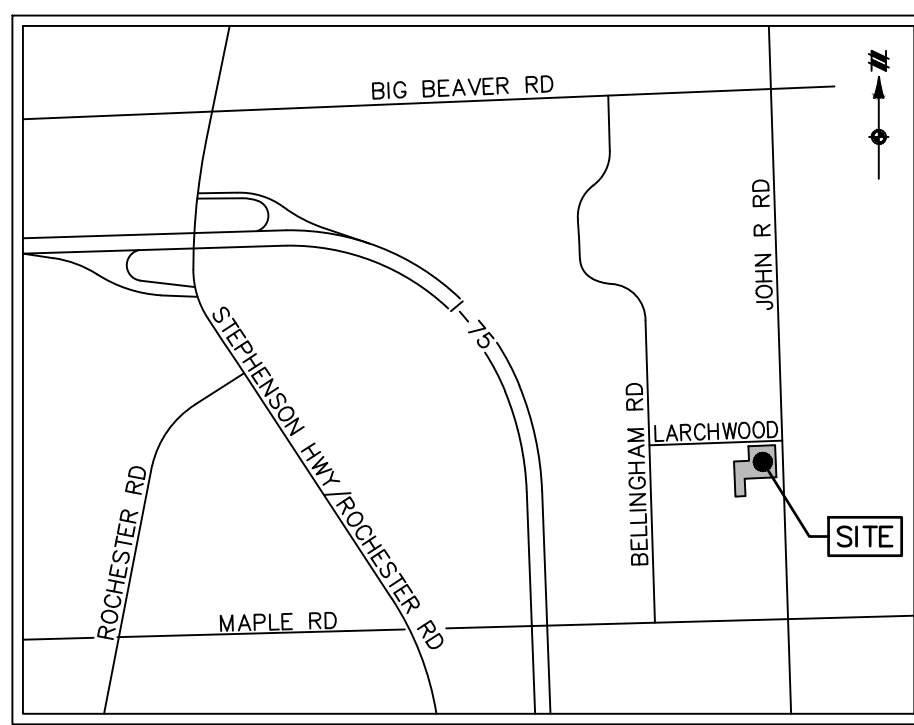
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248.447.2000

SECTION 26	TOWN 2 NORTH, RANGE 11 EAST	CITY OF TROY	OAKLAND COUNTY, MICHIGAN																												
CLIENT	THE KROGER COMPANY																														
DATE	11/14/2022																														
ALTA/NSPS LAND TITLE SURVEY	LOCATED IN																														
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>SCALE</td> <td>0</td> <td>15</td> <td>30</td> </tr> <tr> <td></td> <td colspan="3" style="text-align: center;">1" = 30 FEET</td> </tr> <tr> <td>DR.</td> <td>JR</td> <td>GH</td> <td>ME</td> </tr> <tr> <td>P.M.</td> <td colspan="3">M. EMBREE</td> </tr> <tr> <td>BOOK</td> <td colspan="3">NA</td> </tr> <tr> <td>JOB</td> <td colspan="3">22004415</td> </tr> <tr> <td>SHEET NO.</td> <td colspan="3">1 OF 2</td> </tr> </table>			SCALE	0	15	30		1" = 30 FEET			DR.	JR	GH	ME	P.M.	M. EMBREE			BOOK	NA			JOB	22004415			SHEET NO.	1 OF 2		
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JOB	22004415																														
SHEET NO.	1 OF 2																														

CAD FILE: 22004415TP-01.DWG

ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP
NOT TO SCALE

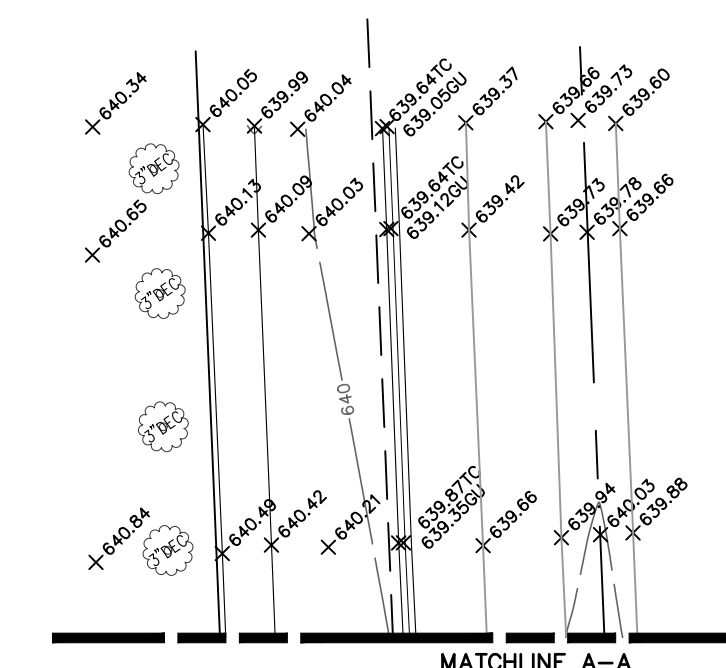
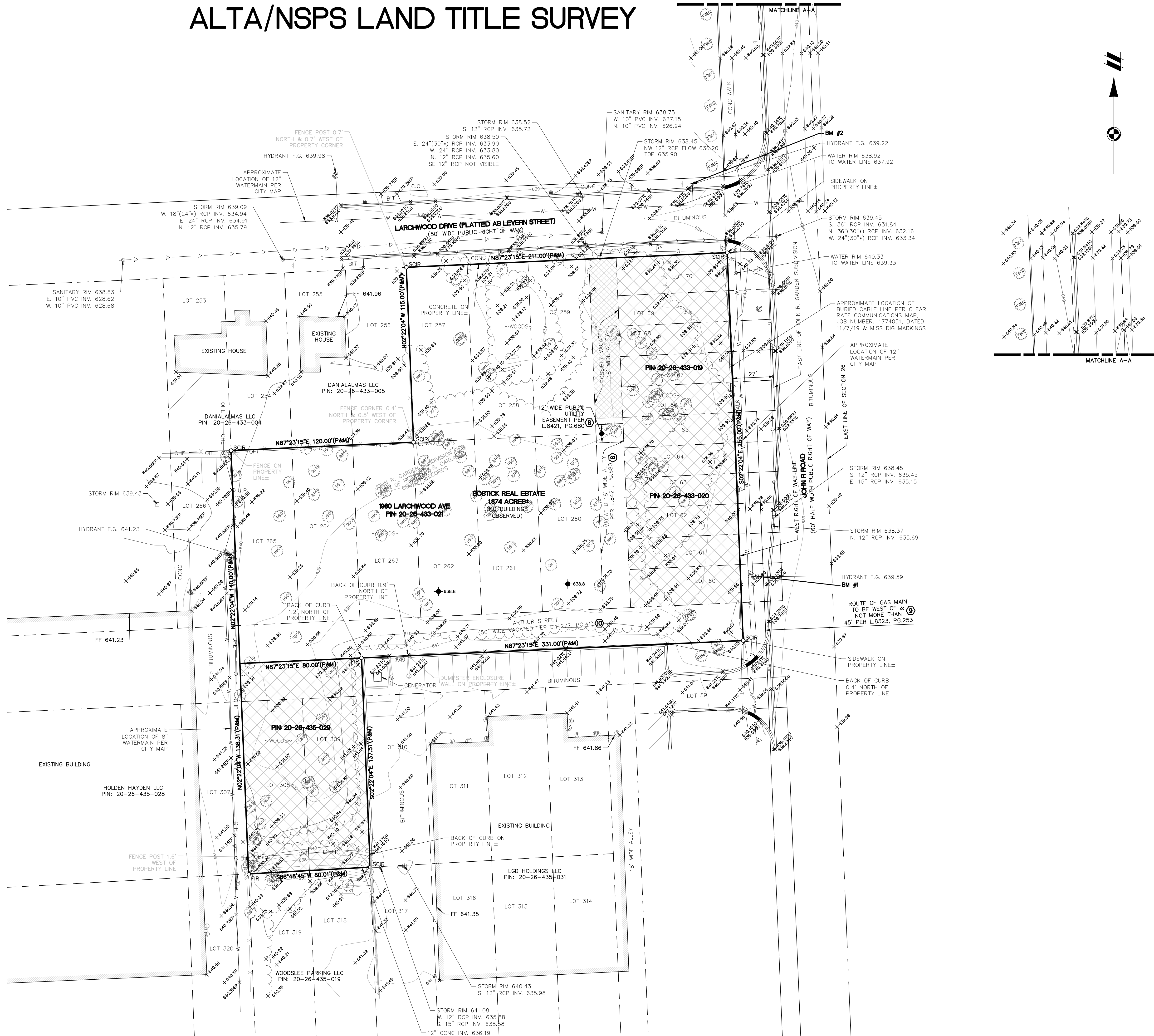
SITE BENCHMARKS:

BM #1: ARROW ON FIRE HYDRANT IN WEST RIGHT OF WAY OF JOHN R ROAD
ELEVATION: 642.00 (NAVD88)

BM #2: ARROW ON FIRE HYDRANT IN NORTH RIGHT OF WAY OF LARCHWOOD DRIVE
ELEVATION: 641.57 (NAVD88)

LEGEND

	SECTION CORNER
	FOUND IRON ROD
	SET CAPPED IRON ROD
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING TREE
	EXISTING TELEPHONE RISER
	EXISTING GUY ANCHOR WITH WIRE
	EXISTING UTILITY POLE
	EXISTING WATER BBOX
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING MANHOLE/CATCH BASIN
	EXISTING CULVERT
	EXISTING SANITARY CLEANOUT
	EXISTING BOLLARD
	EXISTING ELECTRIC METER
	EXISTING GAS METER
	EXISTING SOIL BORING AND ELEVATION
	638.8
	UNDERGROUND GAS MARKER
	UNDERGROUND TELEPHONE MARKER
	UNDERGROUND WATER MARKER
	EXISTING GROUND ELEVATION
	EXISTING CURB ELEVATION
	EXISTING GUTTER ELEVATION
	EXISTING PAVEMENT ELEVATION
	PLATTED
	MEASURED BOUNDARY LINE
	BOUNDARY ADJACENT LINE
	SECTION LINE
	OVERHEAD UTILITY LINE
	EXISTING FENCE LINE
	EXISTING LIMITS OF VEGETATION
	APPROXIMATE UNDERGROUND TELEPHONE LINE
	UNDERGROUND STORM LINE
	UNDERGROUND SANITARY LINE
	APPROXIMATE UNDERGROUND WATER LINE
	EXISTING CURB AND GUTTER
	EXISTING GROUND CONTOUR
	EXISTING BUILDING
	PER CITY MAPS
	POSSIBLE VACATED ALLEY NOT INCLUDED IN TITLE COMMITMENT
	AREA NOT INCLUDED IN EXHIBIT A - LEGAL DESCRIPTION PER TITLE COMMITMENT REFERENCED HEREON



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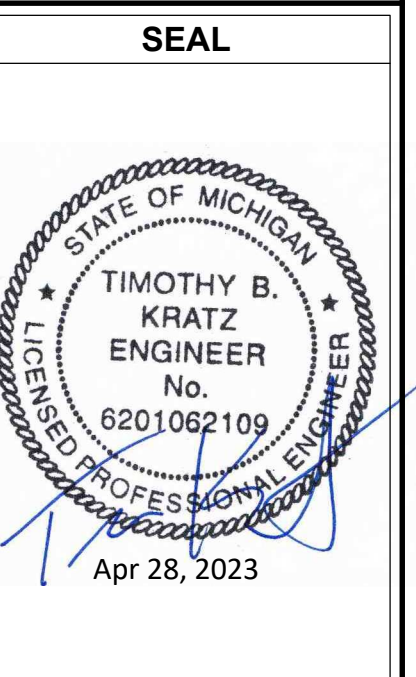
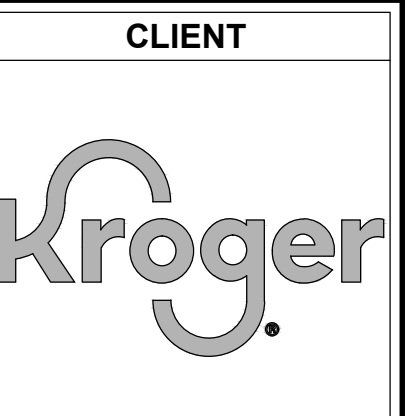
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SECTION 26	TOWN 2 NORTH, RANGE 11 EAST	CITY OF TROY	OAKLAND COUNTY, MICHIGAN												
CLIENT	THE KROGER COMPANY ALTA/NSPS LAND TITLE SURVEY														
DATE	11/14/2022														
SCALE	<p>1" = 30 FEET</p>														
DR.	JR	GH	ME												
BOOK	NA														
JOB	22004415														
SHEET NO.	2 OF 2														
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>			NO.	DATE	DESCRIPTION									
NO.	DATE	DESCRIPTION													

CADD FILE: 22004415TP-01.DWG



REVISIONS

REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS

CONSULTANTS

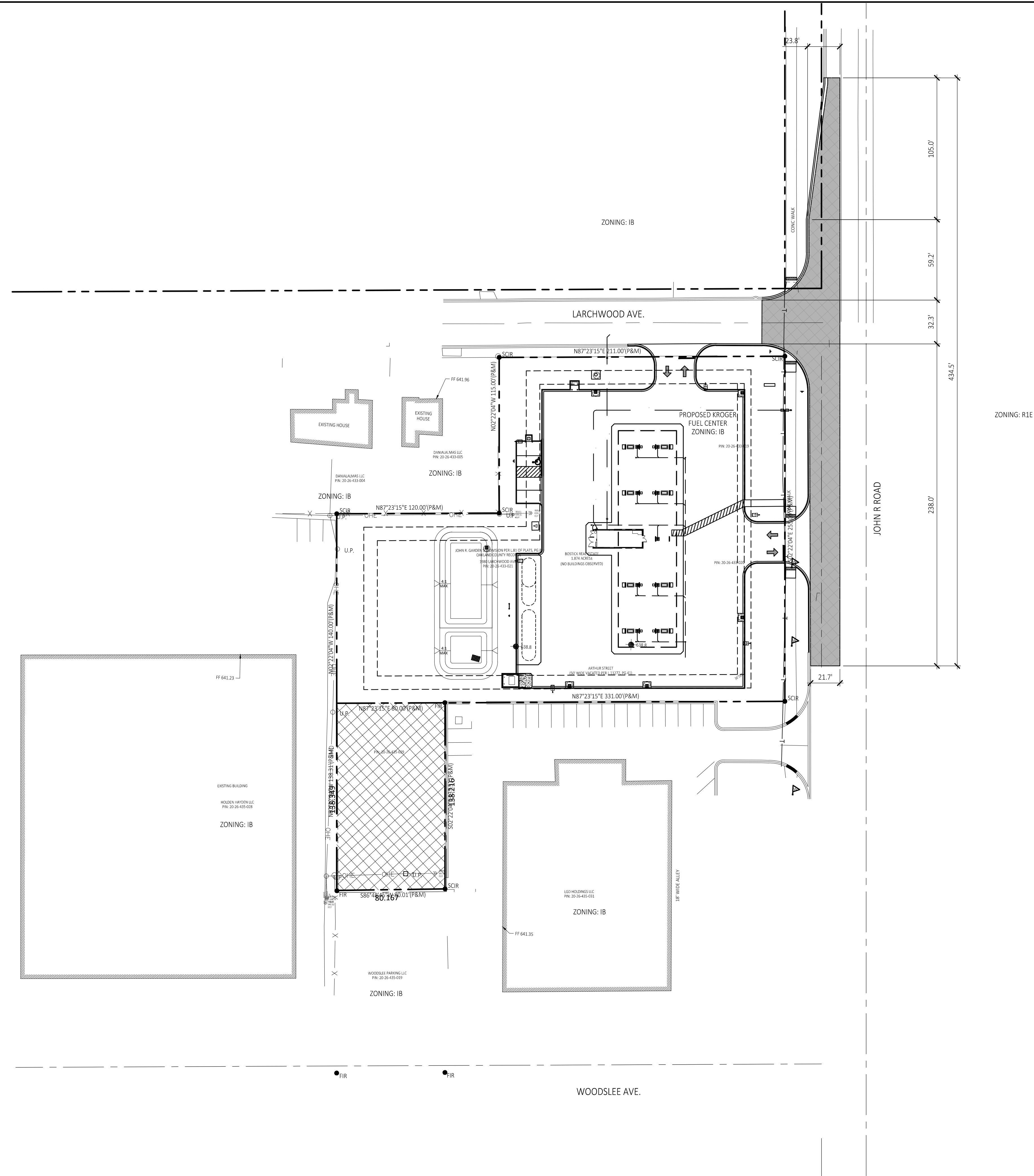
PROJECT INFORMATION
COMPOSITE SITE PLAN
KROGER D463 RETAIL FUEL CENTER
1980 LARCHWOOD DRIVE
TROY, MI 48063

SHEET MANAGEMENT

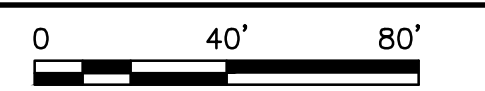
PROJECT NUMBER:	D463
ISSUED DATE:	02.13.2023
DRAWN BY:	TK
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PROJ. MGR:	TK

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SHEET NUMBER
C1.02



COMPOSITE SITE PLAN
SCALE: 1" = 40'-0"



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PLOT: 4/28/2023 3:05 PM BY: K.Krz, Tm

CLIENT



SEAL



REVISIONS

REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS

CONSULTANTS

PROJECT INFORMATION
DIMENSION CONTROL SITE PLAN

KROGER D463 RETAIL FUEL CENTER
1980 LARCHWOOD DRIVE
TROY, MI 48063

SHEET MANAGEMENT

PROJECT NUMBER:	D463
ISSUED DATE:	02.13.2023
DRAWN BY:	
CHECKED BY:	TK
PRJ. MGR:	TK

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SHEET NUMBER

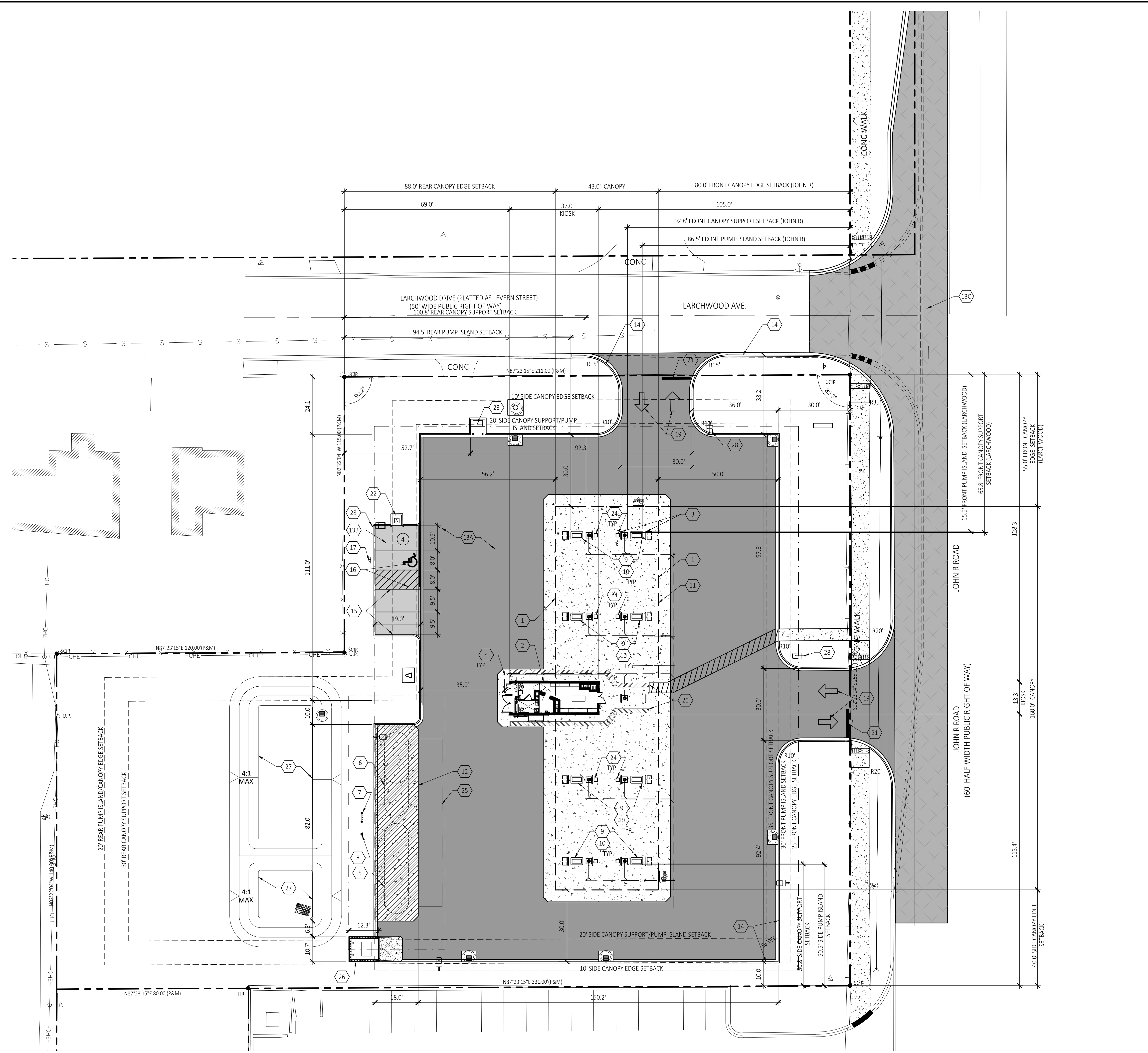
C1.20

PROPOSED SITE IMPROVEMENTS

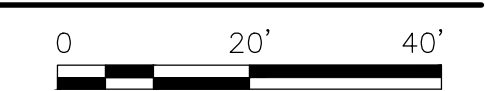
- DISPENSER CANOPY, COLUMNS, AND FOOTINGS.
- TRANSACTION KIOSK.
- U-SHAPED BOLLARD AT CANOPY COLUMNS.
- KIOSK BOLLARD.
- 20,000 GALLON DOUBLE-WALL UNDERGROUND STORAGE TANK (UNLEADED).
- 18,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK 8,000 GALLONS PREMIUM/10,000 GALLONS DIESEL.
- TANK VENT RISER.
- TANK OVERFLOW ALARM.
- 3.00' X 5.00' DISPENSER ISLAND.
- AUTOMOBILE MULTI-PRODUCT DISPENSER WITH CARD READER.
- CONCRETE DISPENSER MAT.
- CONCRETE TANK MAT.
- HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL 2D/C5.00.
- LIGHT DUTY BITUMINOUS PAVEMENT. SEE DETAIL 2C/C5.00.
- D.O.T. ROAD PAVEMENT.
- CONCRETE CURB AND GUTTER.
- 4" PAINTED PARKING STRIPE. COLOR: WHITE.
- BARRIER-FREE PARKING SPACE AND INTERNATIONAL PARKING SPACE SYMBOL. COLOR BLUE. SEE DETAIL 3/C5.00.
- BARRIER-FREE ACCESSIBLE PARKING SIGN. SEE DETAIL 5/C5.00.
- MONUMENT SIGN. SIGNS UNDER SEPARATE PERMIT.
- PAINTED DIRECTIONAL ARROW. SEE DETAIL 1/C5.00.
- PAINTED PEDESTRIAN WARNING ZONE.
- PAINTED STOP BAR. SEE DETAIL 1/C5.00.
- AIR TOWER.
- PROPANE STORAGE CAGE.
- WASTE RECEPTACLE / WINDSHIELD SERVICE CENTER.
- 10.0' X 50.0' LOADING ZONE
- CONSTRUCT TRASH ENCLOSURE PER SHEET C5.02.
- CONSTRUCT BASIN PER SHEET C1.31.
- SITE LIGHTING

GENERAL SITE NOTES

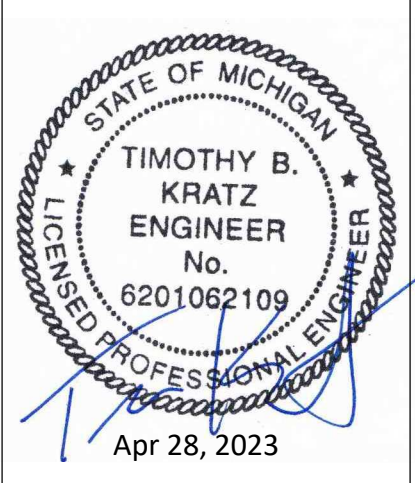
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- NOTIFY OWNER OF ANY DISCREPANCIES.
- SEE SURVEY FOR ALL EXISTING CONDITIONS.
- ALL WORK IN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
- PARKING SPACES TO THE WEST AND BUILDING ARE PARALLEL AND PERPENDICULAR TO THE NORTH PROPERTY LINE.



DIMENSION CONTROL SITE PLAN
SCALE: 1" = 20'-0"



FILE: \\g:\proj\Drawings\Shared\Drawings\Kroger\Design\463\C1.20\ControlC1.20.dwg
 PLOT: 04/28/2023 3:58 PM BY: Kkratz, Tim



REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS

PROJECT INFORMATION
GRADING PLAN
KROGER D463 RETAIL FUEL CENTER
1980 LARCHWOOD DRIVE
TROY, MI 48063

PROJECT NUMBER: D463
ISSUED DATE: 02.13.2023
DRAWN BY: --
CHECKED BY: TK
PRJ. MGR: TK
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GRADING LEGEND:

- TG GUTTER GRADE
- TC TOP OF CURB
- BW FINISHED GRADE AT WALL
- FG FINISHED GRADE
- FL DITCH FLOW LINE
- BI PUMP ISLAND BOTTOM
- TI PUMP ISLAND TOP
- TP TOP OF PAVEMENT
- RIM UNDERGROUND STRUCTURE RIM
- TW TOP OF WALK
- FEE FINISHED FLOOR ELEVATION
- ME MATCH EXISTING
- 2.0% PROPOSED SLOPE

NOTES:

GENERAL CONTRACTOR SHALL REVIEW GRADES AT DISPENSER ISLANDS PRIOR TO CONSTRUCTION TO ENSURE TOP OF ISLAND TO BOTTOM OF ISLAND RELATION SHIP WILL MATCH GALLOWAY DETAILS ON T-DRAWINGS.

GRADING NOTES:

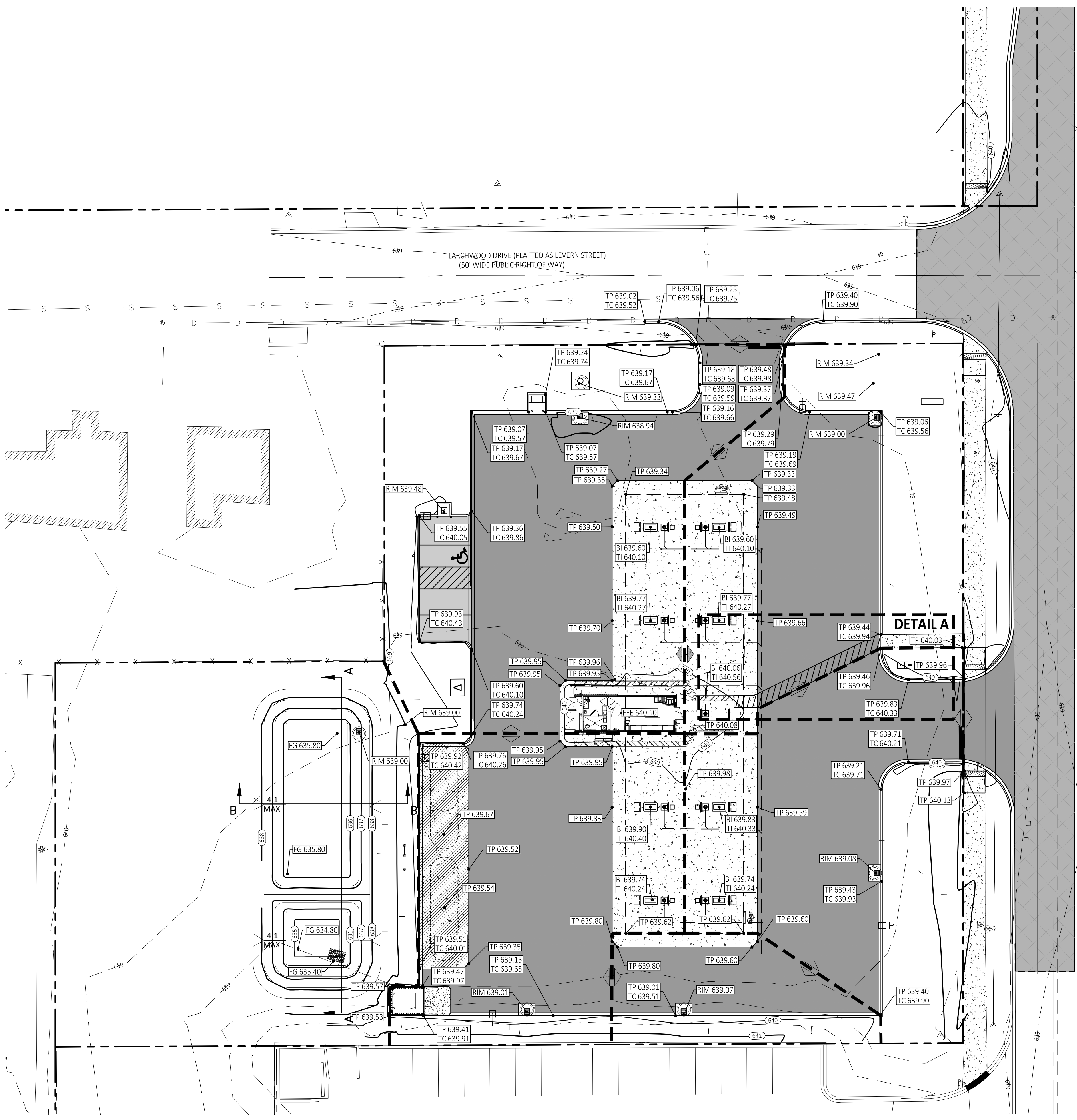
1. REFER TO SHEET C1.11 FOR EROSION CONTROL NOTES AND DETAILS.
2. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
3. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.
4. ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
5. THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.
6. THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
7. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.
8. UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.
9. THE GENERAL CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. SEE SEC PLAN ON SHEET C1.11 FOR LIMIT OF DISTURBANCE. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
10. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION PER THE DRAWINGS AND PROJECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.

FUEL GRADING DESIGN STANDARDS:

1. PROVIDE POSITIVE DRAINAGE AWAY FROM FUEL CENTER CONCRETE PAD(S). PER GRADING/SECTION DRAWINGS, 1%-3% SLOPE IS TYPICAL WITH A MAXIMUM SLOPE OF 5%. UNLESS EXPRESSLY AUTHORIZED BY THE OWNER'S REPRESENTATIVE, SURFACE WATER SHALL NOT DRAIN THROUGH THE FUEL/CANOPY AREAS.
2. PROVIDE MAXIMUM OF 2% SLOPES/GRADES ACROSS FUEL CENTER CONCRETE PADS (UNDER CANOPY AREA), WHILE MAINTAINING POSITIVE DRAINAGE AWAY FROM THE FUEL CENTER KIOSK AND DISPENSER ISLANDS. GRADES AT TANK PAD SHALL NOT EXCEED 3% SLOPE.
3. SPECIAL ATTENTION IS REQUIRED AT THE DOORWAY OF THE KIOSK. IN GENERAL, THE KIOSK FINISH FLOOR IS TO BE 1" HIGHER THAN THE SURROUNDING EXTERIOR GRADE. SLOPE DRIVEWAY PAVING TO MEET THE FINISH FLOOR GRADE AT ANY DOORWAY, AND COORDINATE WITH FUEL CENTER CONTRACTOR. ADA GUIDELINES MUST BE VERIFIED FOR DOOR ENTRANCES AND FOR THE CUSTOMER SERVICE DRAWER AT THE KIOSK WINDOW.

SITE SPECIFIC GRADING GENERAL NOTES:

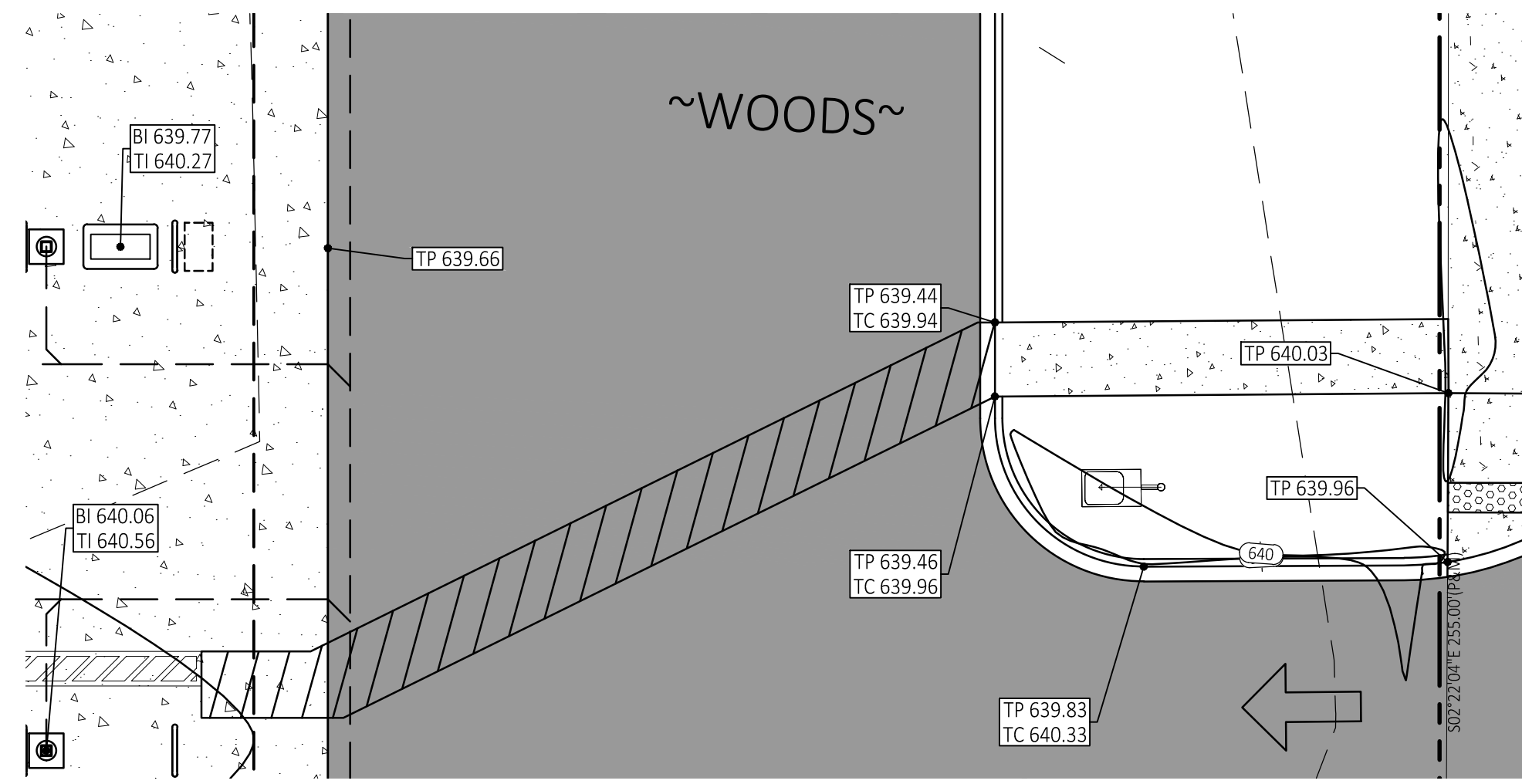
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY EXISTING SITE IMPROVEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT NECESSARILY LIMITED TO:
(A) EXISTING CURB THAT MAY BE DISTURBED DURING INSTALLATION OF VENT STANDS, AIR STANDS, ETC.
(B) EXISTING ASPHALT THAT MAY BE DISTURBED DURING TANK INSTALLATION,
(C) EXISTING LANDSCAPING,
(D) EXISTING LIGHT STANDARD(S) AND WIRING.



SEE SHEET C1.31 FOR STREET PLAN

JOHN R ROAD
(60' HALF WIDTH PUBLIC RIGHT OF WAY)

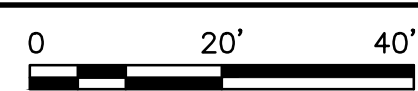
DETAIL A



DETAIL A

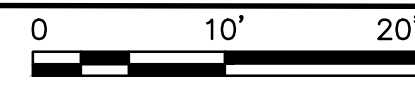
GRADING PLAN

SCALE: 1" = 20'-0"



DETAIL A

SCALE: 1" = 10'-0"

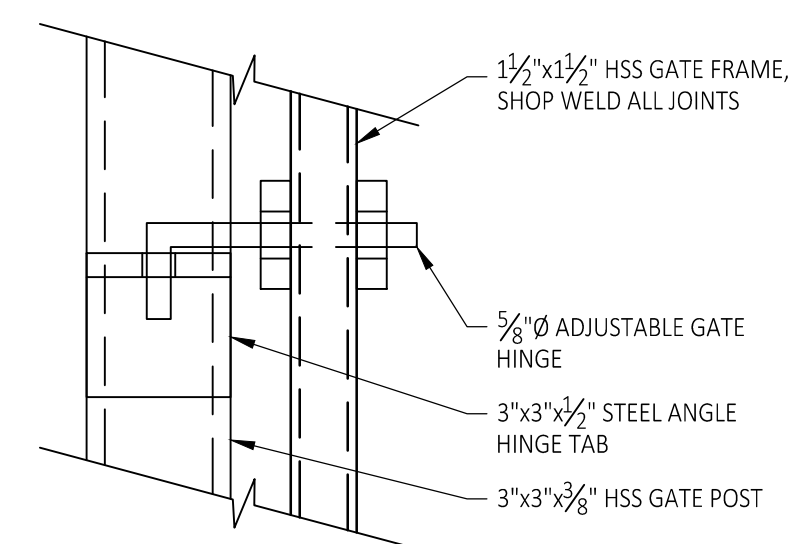


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PLOT: 02/28/23 3:58 PM BY: KRM, Tm

REV.	DATE	DESCRIPTION
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1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS

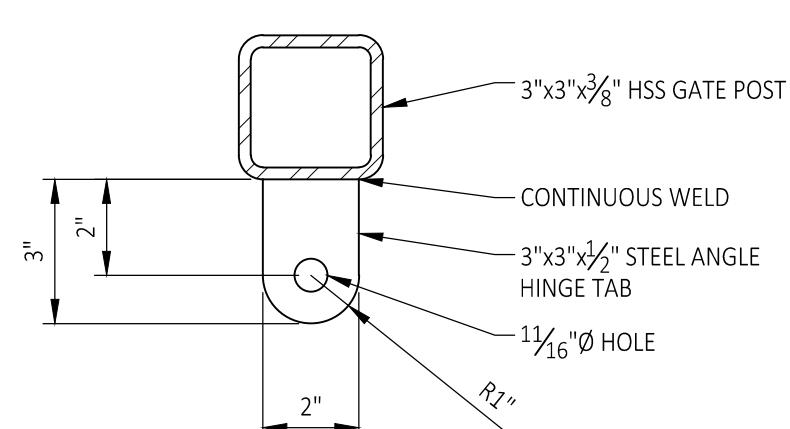
PROJECT NUMBER:	D463
ISSUED DATE:	02.13.2023
DRAWN BY:	---
CHECKED BY:	TK
PROJ. MGR:	TK

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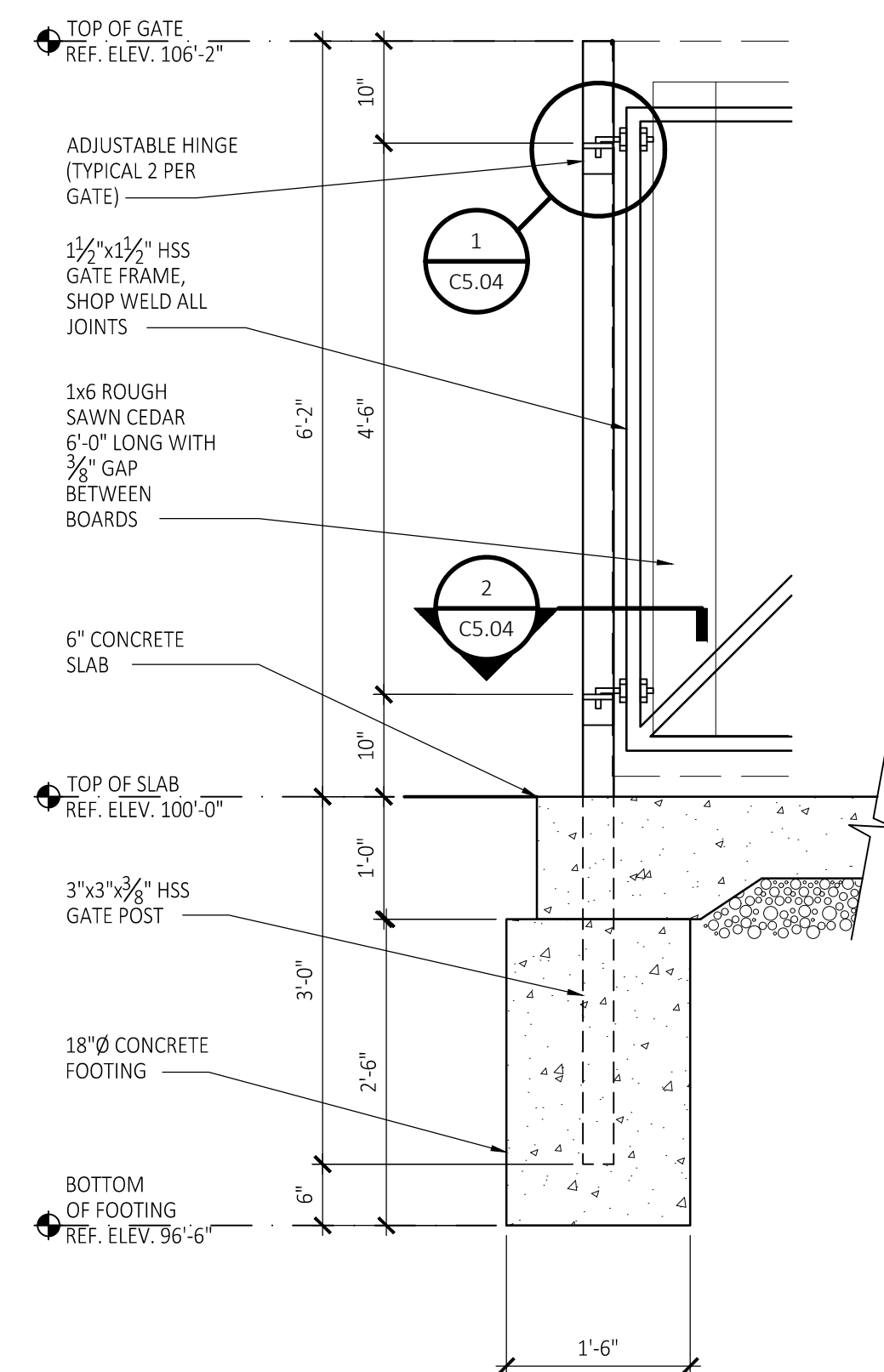
1 ENLARGED HINGE ELEVATION

SCALE: 3" = 1'-0"



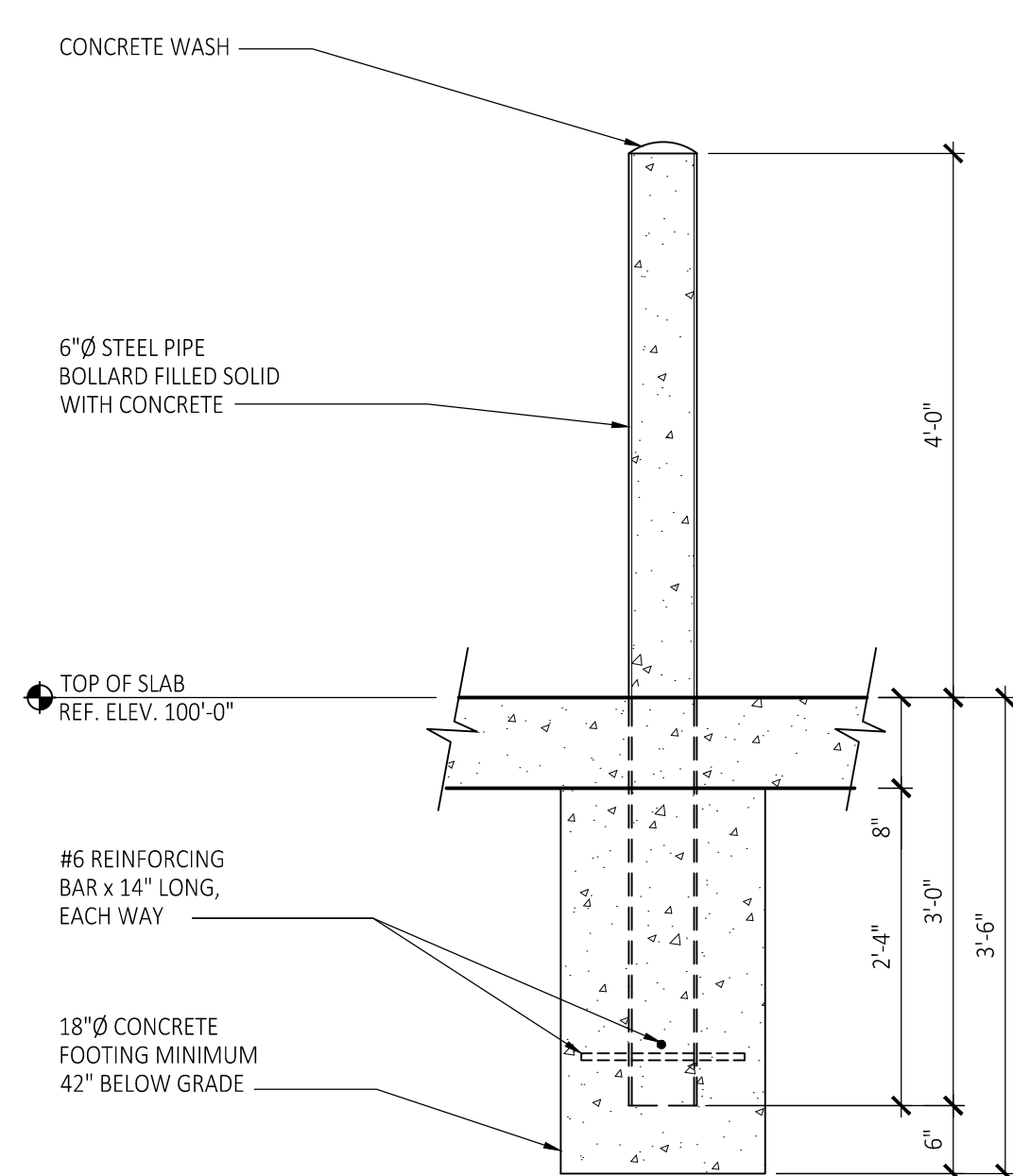
2 ENLARGED HINGE PLAN

SCALE: 3" = 1'-0"



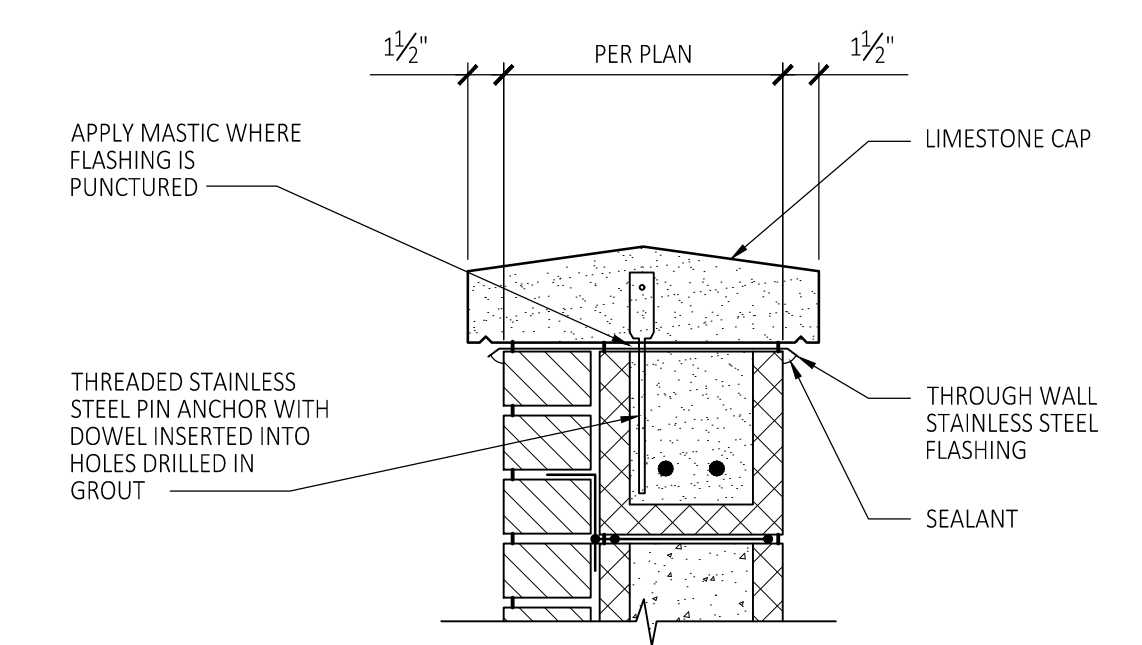
3 GATE POST

SCALE: 3/4" = 1'-0"



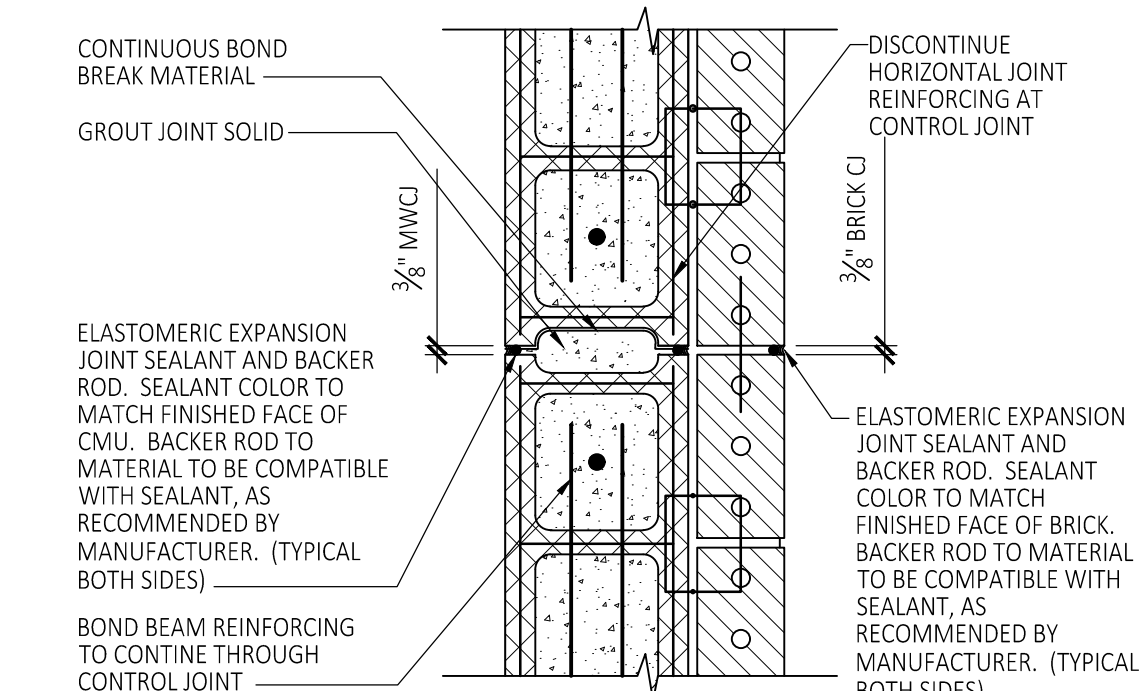
7 BOLLARD DETAIL

SCALE: 3/4" = 1'-0"



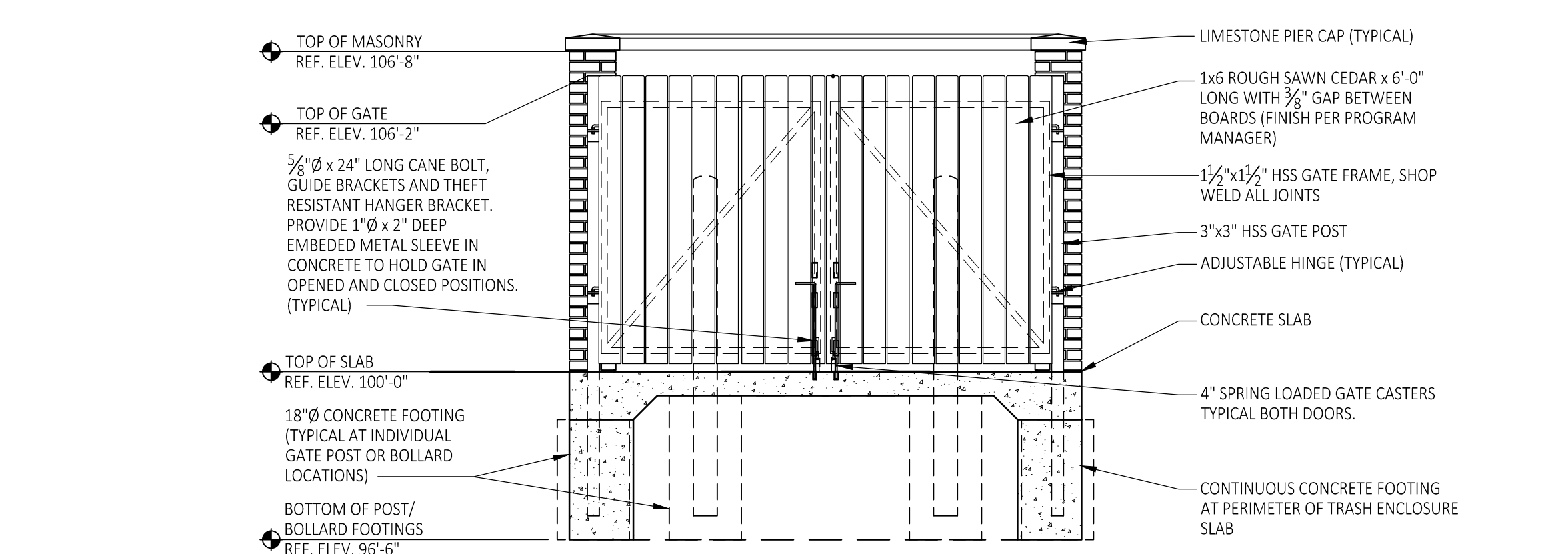
4 DETAIL AT WALL CAP

SCALE: 1 1/2" = 1'-0"



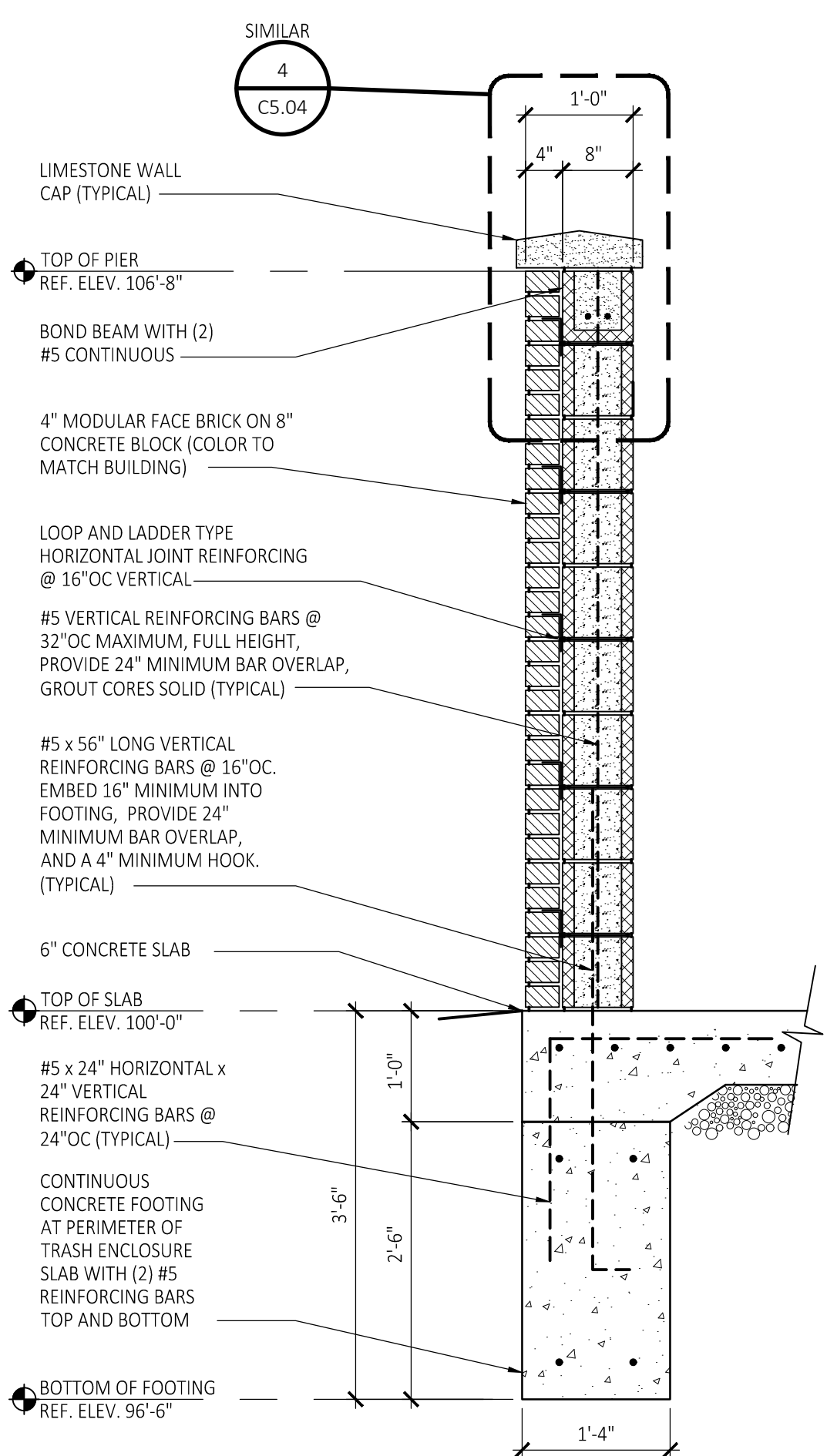
5 MWJC - BLOCK/BRICK

SCALE: 3/4" = 1'-0"



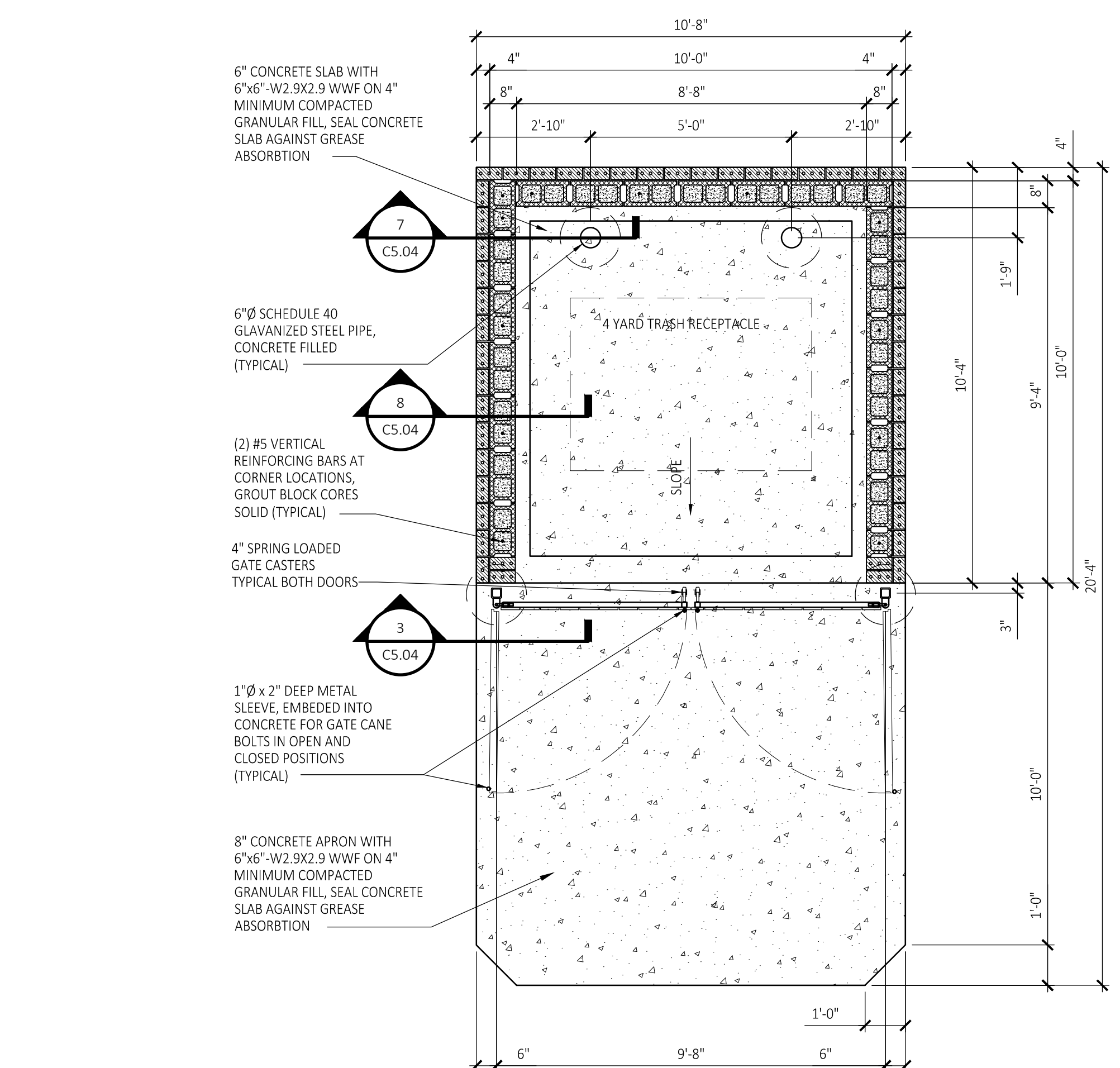
6 TRASH ENCLOSURE FRONT ELEVATION

SCALE: 3/8" = 1'-0"



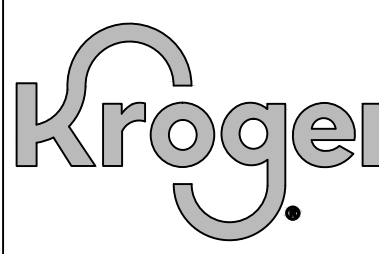
8 WALL SECTION

SCALE: 3/4" = 1'-0"



9 TRASH ENCLOSURE PLAN

SCALE: 3/8" = 1'-0"



REV.	DATE	DESCRIPTION



LANDSCAPE PLAN
KROGER D463 RETAIL FUEL CENTER
JOHN R ROAD AT LARCHWOOD DRIVE
TROY, MI 48063

PROJECT NUMBER:	D463
ISSUED DATE:	04.27.2023
DRAWN BY:	SS
CHECKED BY:	SSRM
PROJ. MGR:	RM

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GENERAL GRADING & PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGNOMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT FOR GROUNDCOVER PATTERNS SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- THE TURF BOUNDARY SHOWN ON THESE PLANS HAS BEEN ESTIMATED BASED ON THE CURRENT PROJECT INFORMATION. CONTRACTOR SHALL ADJUST THE LIMITS OF TURF TO COVER ALL DISTURBED AREAS DURING CONSTRUCTION.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAWING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

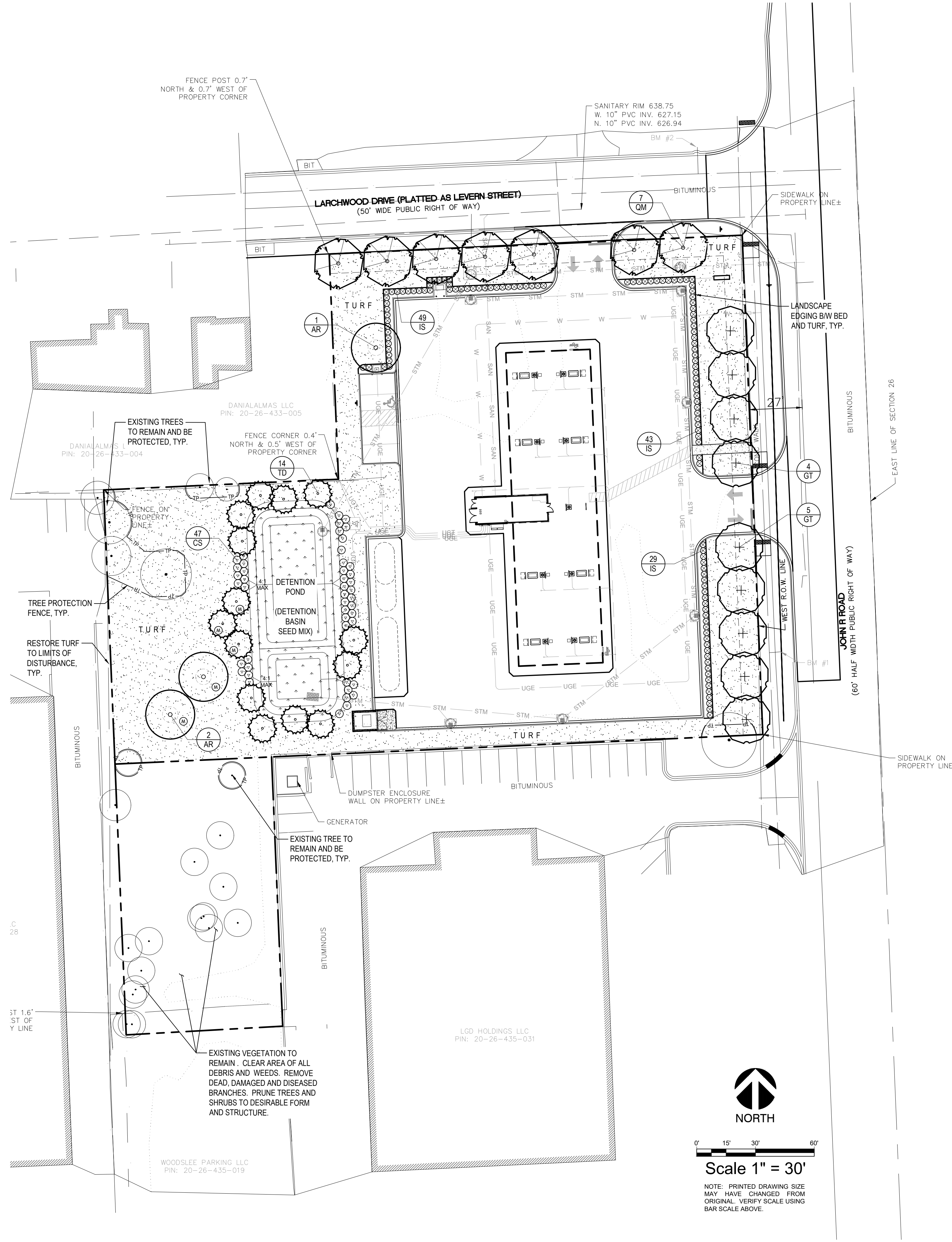
IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SOODED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE CALCULATIONS			
JURISDICTION: CITY OF TROY MI	ZONING: IB (INTEGRATED INDUSTRIAL BUSINESS DISTRICT)	SITE AREA: 81,637.8 SF (1.87 AC)	
PROVISION	REQUIRED	PROVIDED	COMMENT(S)
TREE REPLACEMENT REQUIREMENTS			
WOODLAND TREES 6" DBH OR LARGER SHALL BE MITIGATED W/ REPLACEMENT TREES EQ. TO MIN 50% OF ORIGINAL DBH REMOVED.	20.5 DBH REMOVED X 0.5 = 10.25 DBH REPLACEMENT	12 DBH (5 TREES @ 2.5" CAL)	"M" ON PLAN INDICATES TREE USED FOR MITIGATION. MITIGATION NOT REQ'D FOR REMOVAL OF INVASIVES. SEE SHEET L1.21 FOR TREE INVENTORY AND REMOVALS
SCREENING BETWEEN LAND USES			
NORTH BOUNDARY: 331 LF - ADJOINING PUBLIC ROW / COMPATIBLE LAND USE- NO SCREENING REQ'D	NONE REQUIRED	--	ADJACENT TO R.O.W. AND ZONING DISTRICT IB
EAST BOUNDARY: 255 LF - ADJOINING PUBLIC ROW - NO SCREENING REQ'D	NONE REQUIRED	--	ADJACENT TO R.O.W.
SOUTH BOUNDARY: 331 LF - ADJOINING COMPATIBLE LAND USE- NO SCREENING REQ'D	NONE REQUIRED	--	ADJACENT ZONING IS IB
WEST BOUNDARY: 255 LF - ADJOINING COMPATIBLE LAND USE- NO SCREENING REQ'D	NONE REQUIRED	--	ADJACENT ZONING IS IB
PARKING LOT LANDSCAPING			
1 TREE PER 8 PARKING SPACES MINIMUM	4 / 8 = 0.5 TREES	1 TREE	--
PARKING LOTS THAT FRONT PUBLIC R.O.W. SHALL BE SCREENED BY 3' HT LANDSCAPED BERM, 3' HT WALL OR 3' HT LANDSCAPE SCREEN.	CONTINUOUS 3' SCREEN ALONG LARCHWOOD AVE. FRONTAGE	3' HT. HEDGE PROVIDED AS REQUIRED	3' HT. HEDGE PROVIDED AS ALTERNATE TO LANDSCAPED BERM DUE TO SPACE LIMITATIONS.
GREENBELT			
LARCHWOOD AVE (211 LF): 10' WIDE + 1 TREE PER 30 LF OF R.O.W. FRONTAGE	211/30 = 7 TREES	7 TREES PROVIDED	--
JOHN R. ROAD (255 LF): 10' WIDE + 1 TREE PER 30 LF OF R.O.W. FRONTAGE	255/30 = 8.5 TREES	9 TREES PROVIDED	--
SITE LANDSCAPING			
20% MIN. LANDSCAPE AREA	81637.8 X 0.20 = 16,327.6 SF	38,481 SF PROVIDED (47.14%)	LANDSCAPE AREA INCLUDES PRESERVED WOODLAND PARCEL SOUTH OF THE DEVELOPMENT PARCEL
SCREENING OF POTENTIALLY OBJECTIONABLE SITE FEATURES	SCREENING OF DETENTION POND AND DUMPSTER.	SCREENING OF DETENTION POND + DUMPSTER ENCLOSURE PROVIDED	--

PLANTING SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	MIN. SIZE	QTY.	REMARKS
TREES						
	AR	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5" cal	3	Matched specimen
	GT	Gleditsia triacanthos f. inermis 'Skyline'	Skyline Honey Locust	2.5" cal	9	Matched specimen
	QM	Quercus macrocarpa	Bur Oak	2.5" cal	7	Matched specimen
	TD	Taxodium distichum 'Shawnee Brave'	Bald Cypress	2.5" cal, 6' ht	14	Matched specimen
SHRUBS/PERENNIALS/GROUNDCOVER						
	CS	Cornus sericea 'Isanti'	Red Twig Dogwood	3 gal. min	47	Full, unshaded
	IS	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 gal. min	121	Full, sheer to hedge
TURF / SEED						
		Kentucky Bluegrass blend	Kentucky Blue Grass	Sod	--	Min. 1 year old, uniform color & texture
		Detention Basin Mix	40% Forbs, 60% Grasses/Sedge/Rush	Seed	--	Apply at rate of 3 oz / 1000 SF or 6lbs / acre



NOTE: TREE PROTECTION FOR ANY PRESERVED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET LP-3. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

FILE: C:\Users\mweid\OneDrive\EGD - Shared\2023\2023\Kroger - Troy MI - John R Road\KROGER FC - Troy MI - LP.dwg
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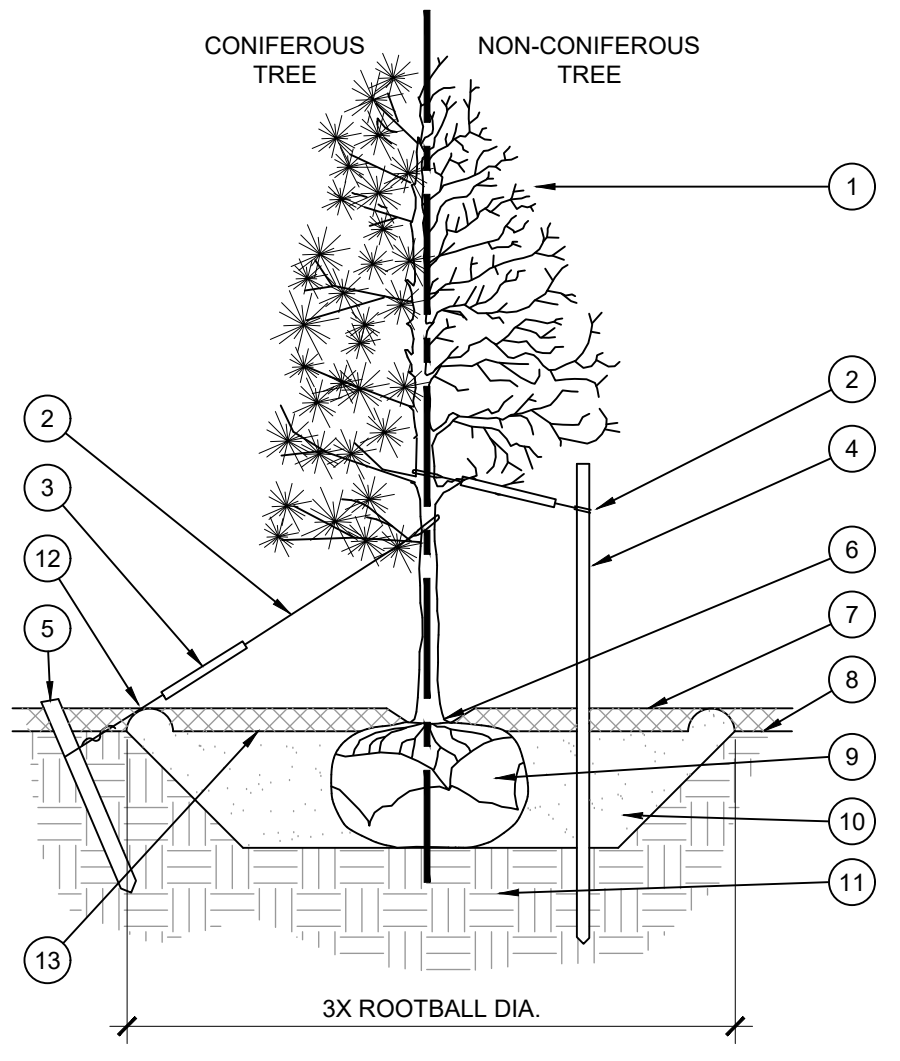
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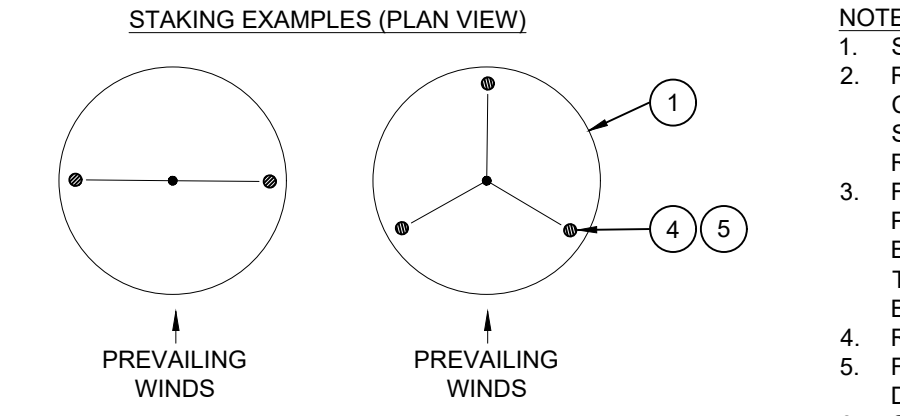
PROJECT INFORMATION
LANDSCAPE DETAILS
KROGER D463 RETAIL FUEL CENTER
JOHN R. ROAD AT LARCHWOOD DRIVE
TROY, MI 48063

PROJECT NUMBER:	D463
ISSUED DATE:	04.27.2023
DRAWN BY:	SS
CHECKED BY:	SSRM
PROJ. MGR:	RM

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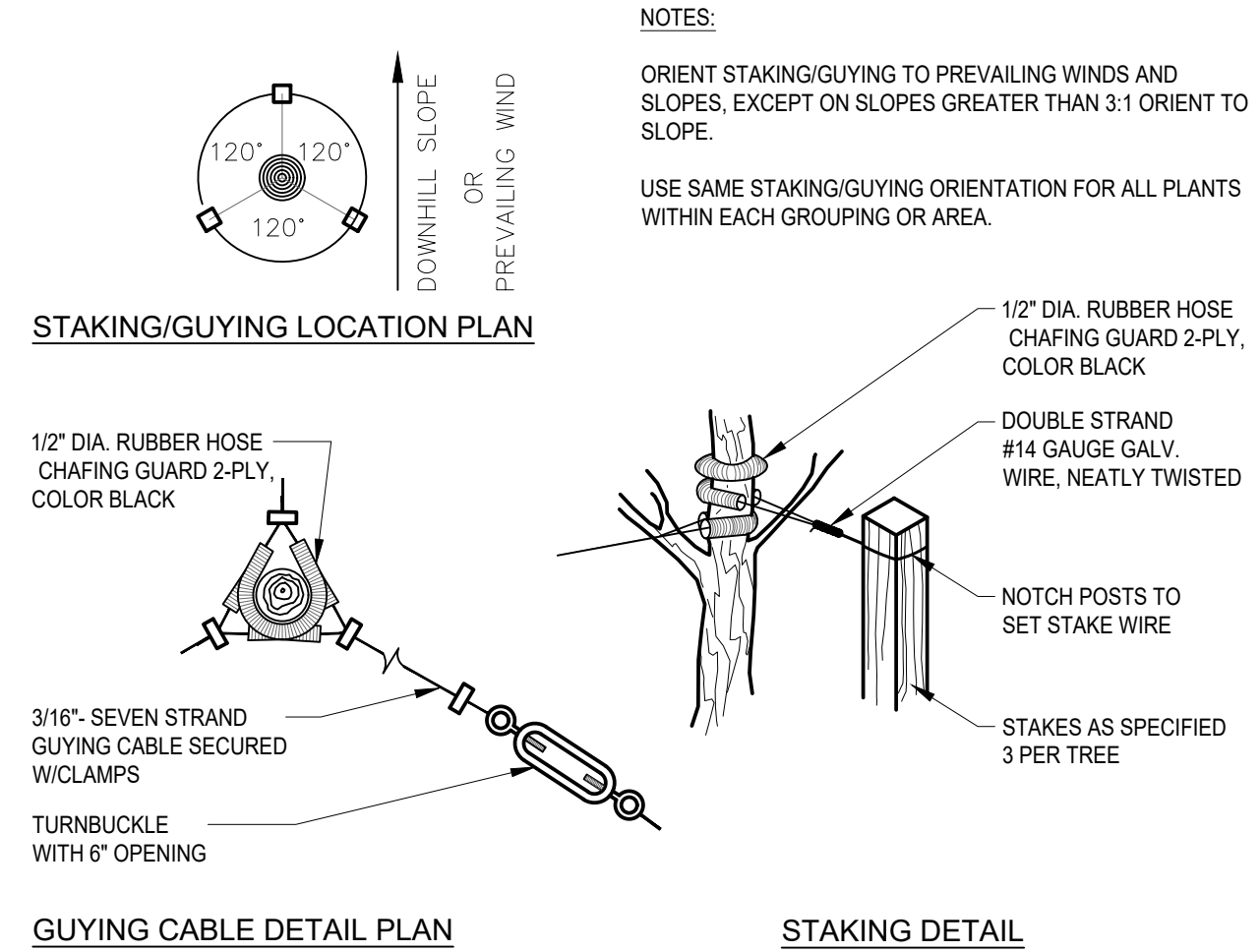


- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.



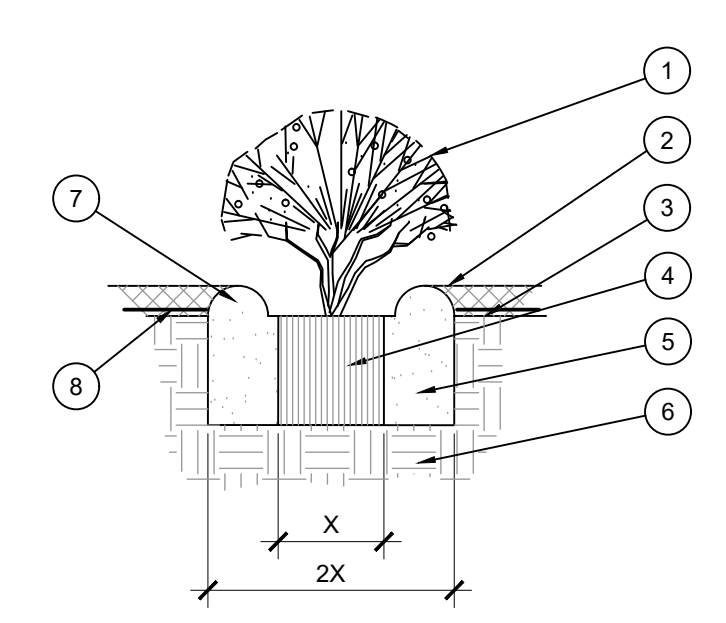
- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
 3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
SCALE: NOT TO SCALE



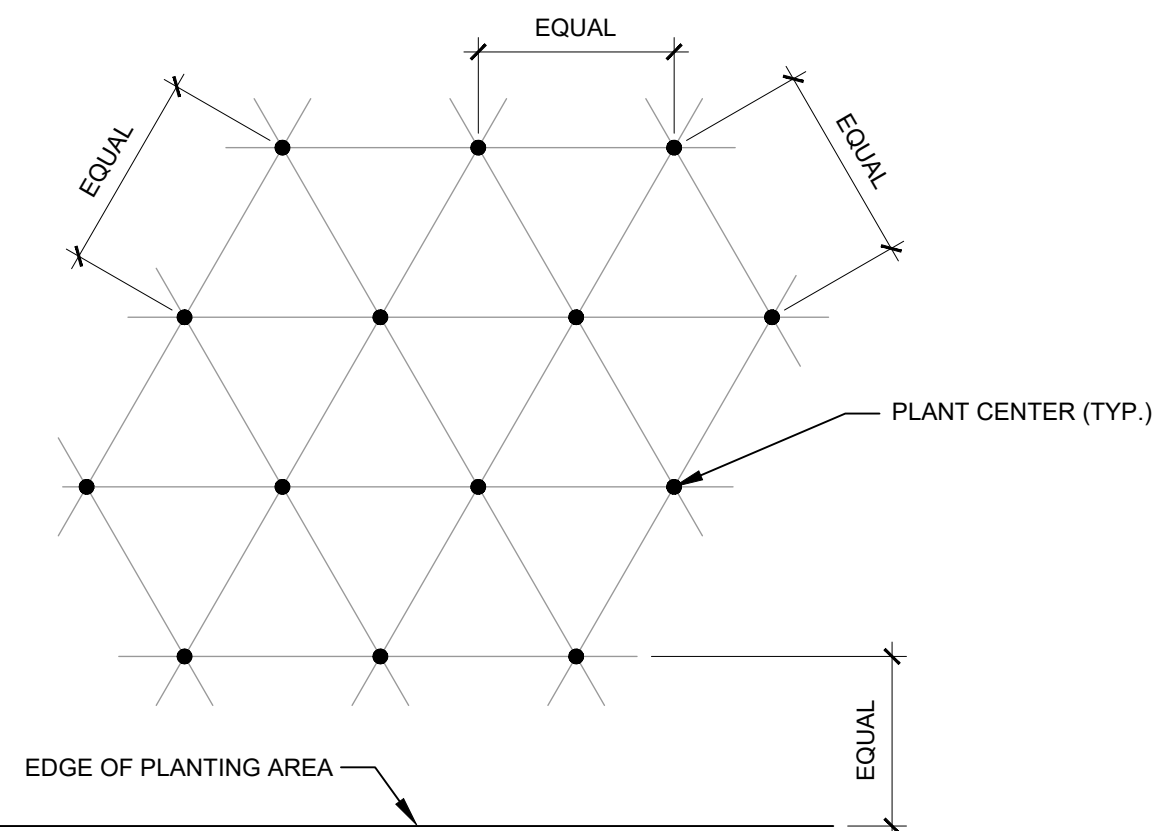
NOTES:
ORIENT STAKING/GUYING TO PREVAILING WINDS AND SLOPES, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.
USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.

B TREE STAKING AND GUYING
SCALE: NTS



- 1 SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- 2 MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- 3 FINISH GRADE.
- 4 ROOT BALL.
- 5 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 6 UNDISTURBED NATIVE SOIL.
- 7 3" HIGH EARTHEN WATERING BASIN.
- 8 WEED FABRIC UNDER MULCH.

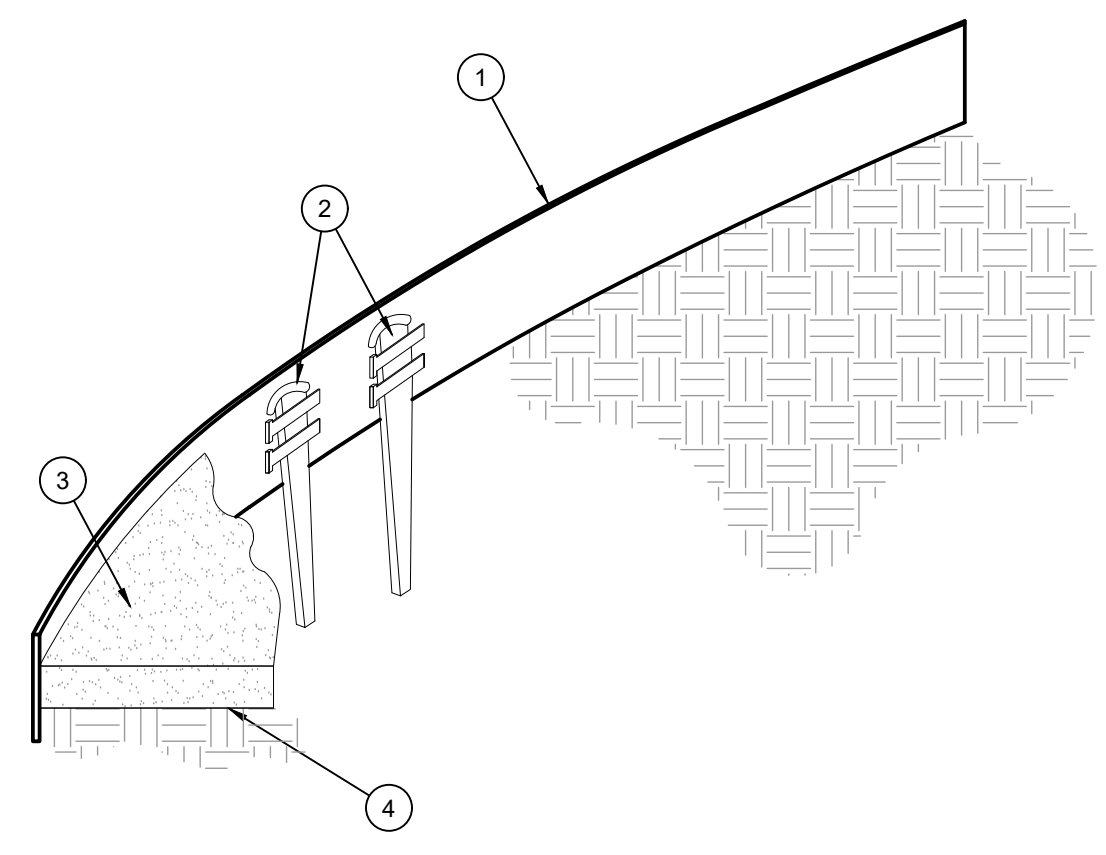
C SHRUB AND GROUNDCOVER PLANTING
SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

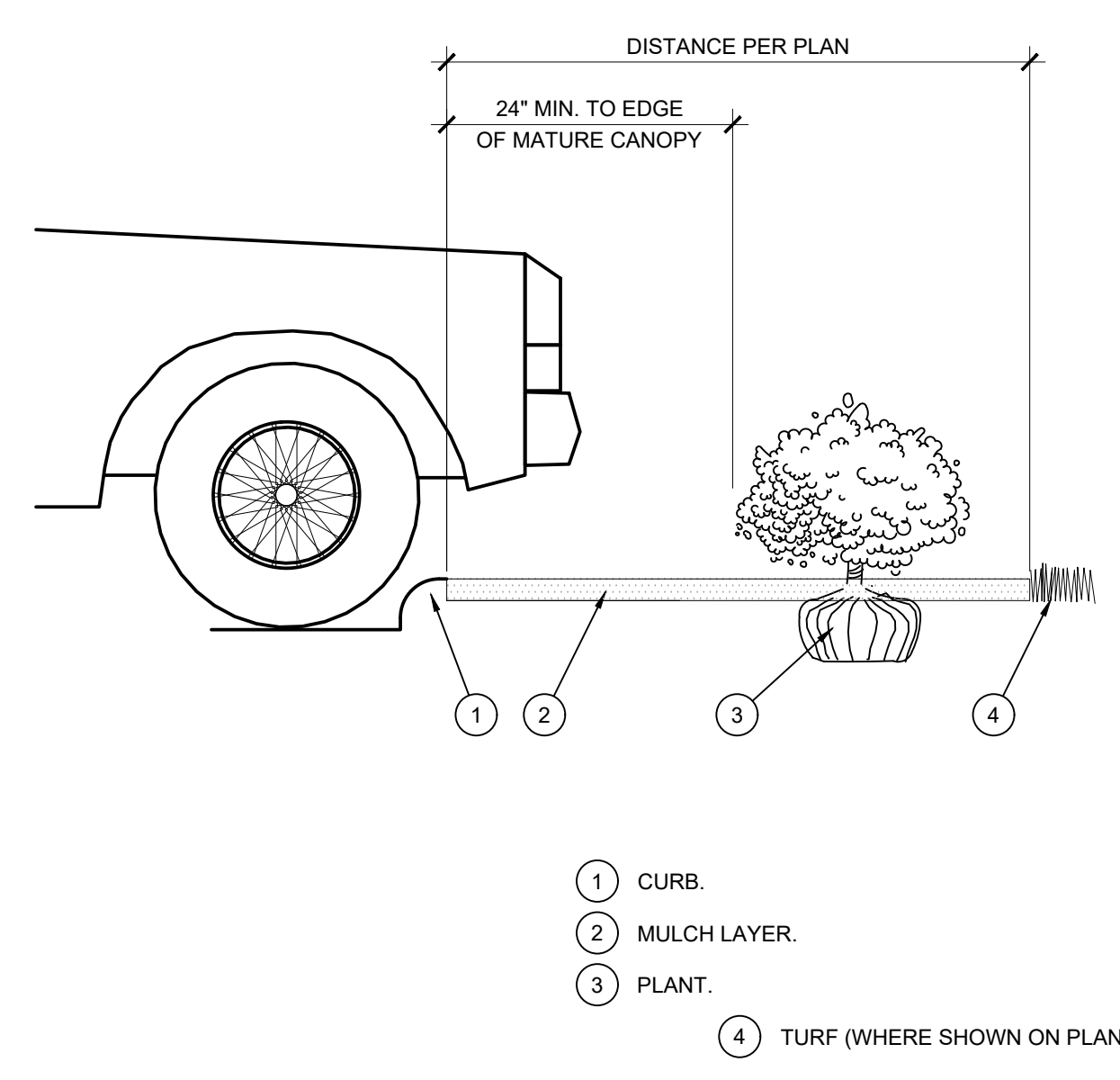
- 1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS
- | PLANT SPACING | AREA DIVIDER | PLANT SPACING | AREA DIVIDER |
|---------------|--------------|---------------|--------------|
| 6" | 0.22 | 18" | 1.95 |
| 8" | 0.39 | 24" | 3.46 |
| 10" | 0.60 | 30" | 5.41 |
| 12" | 0.87 | 36" | 7.79 |
| 15" | 1.35 | | |
- 2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

D PLANT SPACING
SCALE: NTS

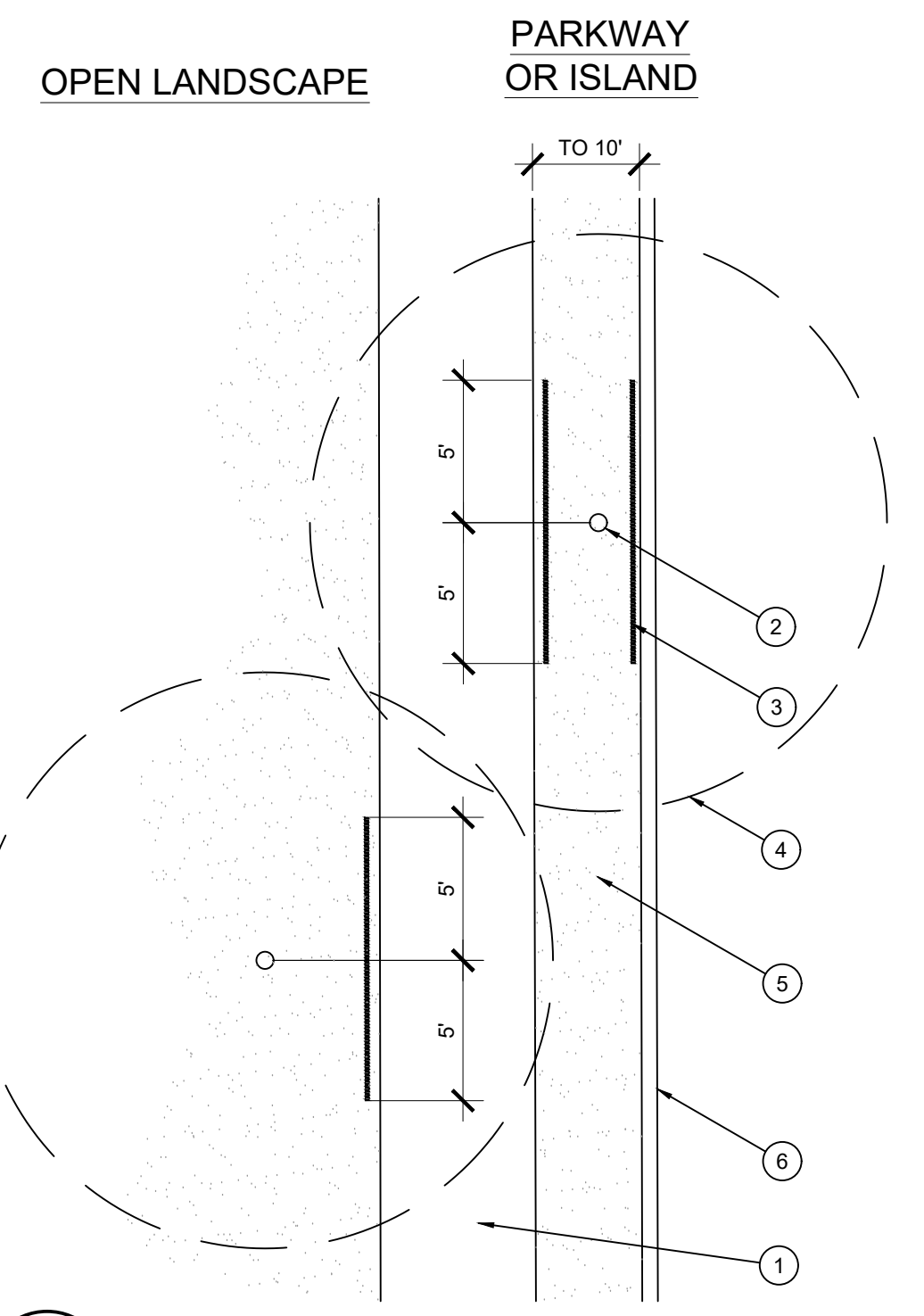


- 1 ROLLED-TOP STEEL EDGING PER PLANS.
 - 2 TAPERED STEEL STAKES.
 - 3 MULCH, TYPE AND DEPTH PER PLANS.
 - 4 FINISH GRADE.
- NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

E STEEL EDGING
SCALE: NOT TO SCALE



F PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



- 1 TYPICAL WALKWAY OR PAVING
 - 2 TREE TRUNK
 - 3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 - 4 TREE CANOPY
 - 5 TYPICAL PLANTING AREA
 - 6 TYPICAL CURB AND GUTTER
- NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

G ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



04/27/2023

REV.	DATE	DESCRIPTION



PROJECT INFORMATION
TREE PROTECTION DETAILS & SPECIFICATIONS
KROGER D463 RETAIL FUEL CENTER
JOHN R. ROAD AT LARCHWOOD DRIVE
TROY, MI 48063

PROJECT NUMBER:	D463
ISSUED DATE:	04.27.2023
DRAWN BY:	SS
CHECKED BY:	SS/PM
PROJ. MGR:	RM

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LP.4

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

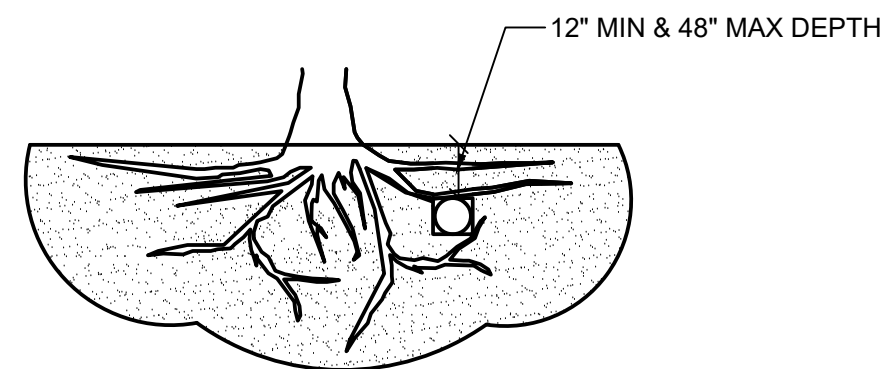
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

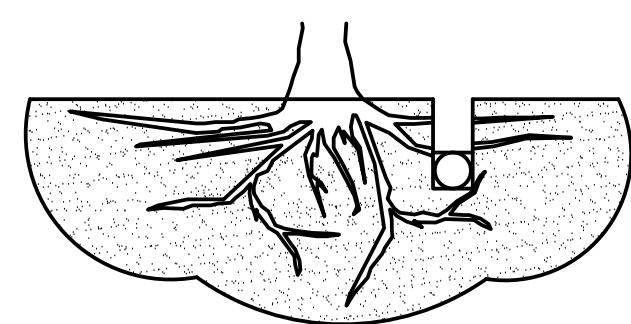
- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

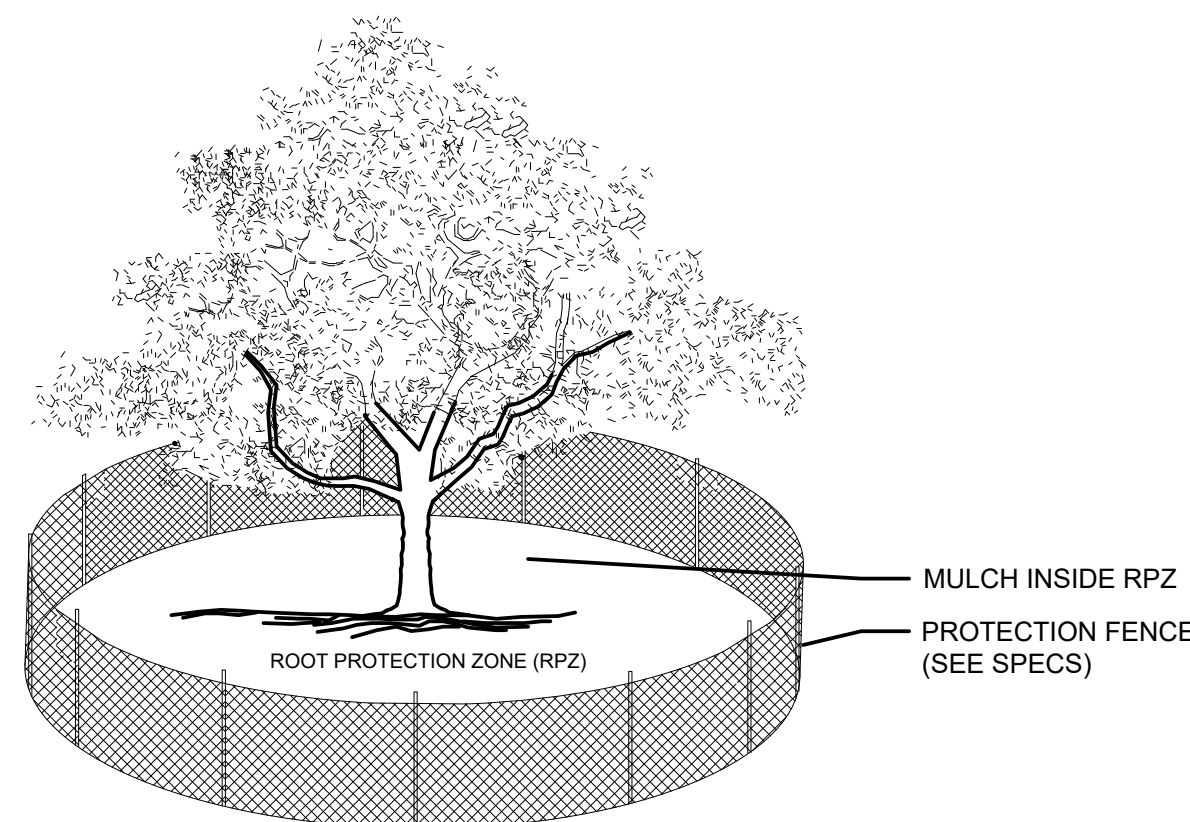
TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

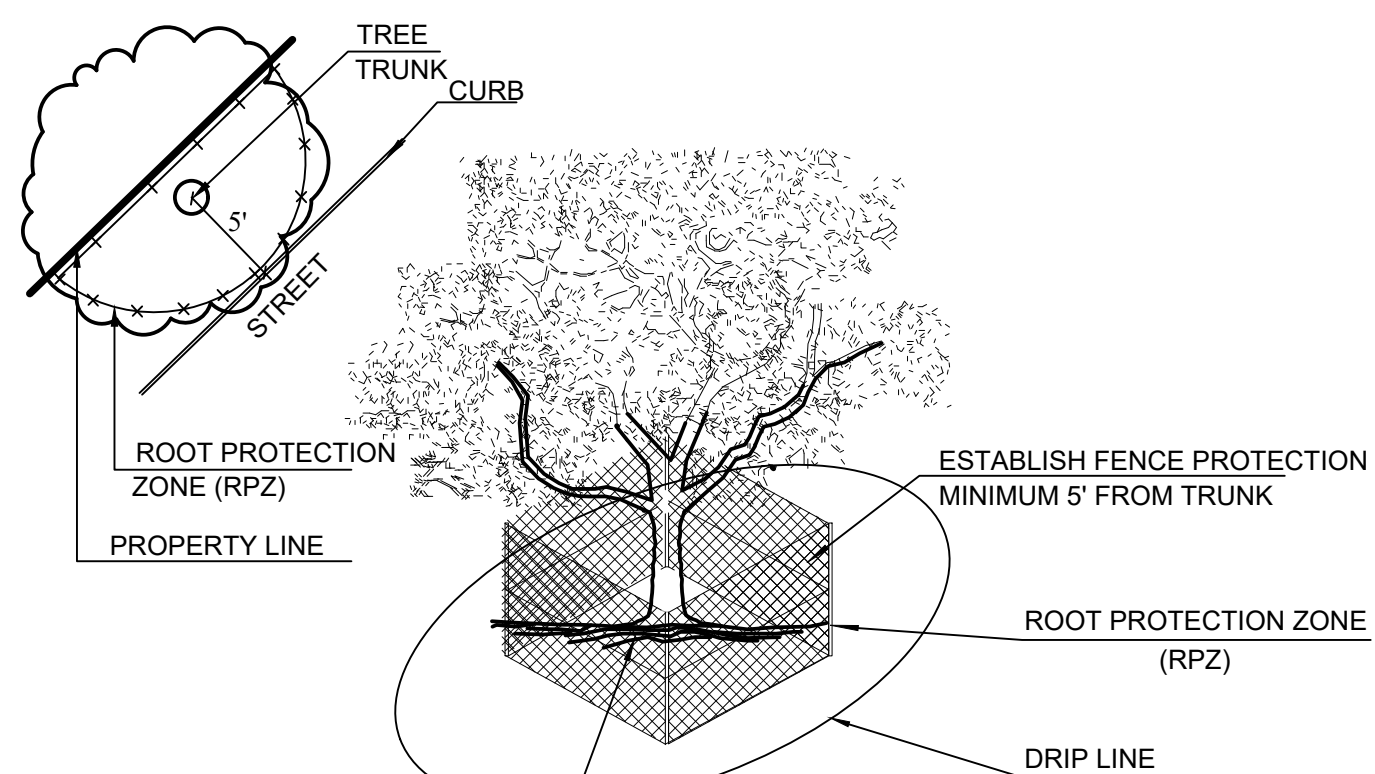


NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIPLINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.
-

A TREE PROTECTION FENCE

SCALE: NOT TO SCALE



NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

B TREE PROTECTION FENCE - TIGHT CONSTRUCTION

SCALE: NOT TO SCALE

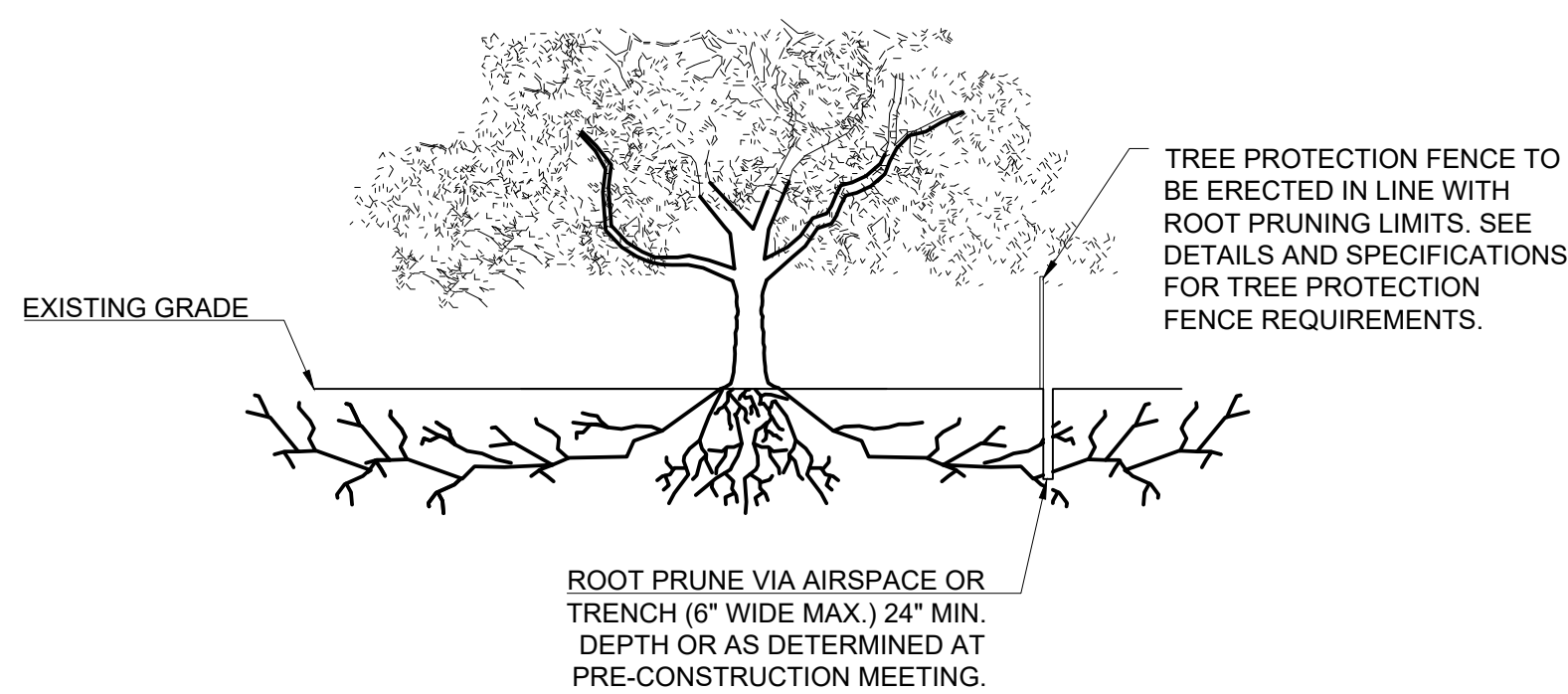
6" MULCH INSIDE RPZ IF BARE DIRT
8" MULCH OUTSIDE RPZ AND UNDER DRIPLINE AS MINIMAL PROTECTION FOR ROOTS FROM CONSTRUCTION ACTIVITIES

C BORING THROUGH ROOT PROTECTION ZONE

SCALE: NOT TO SCALE

NOTES:

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



D ROOT PRUNING DETAIL

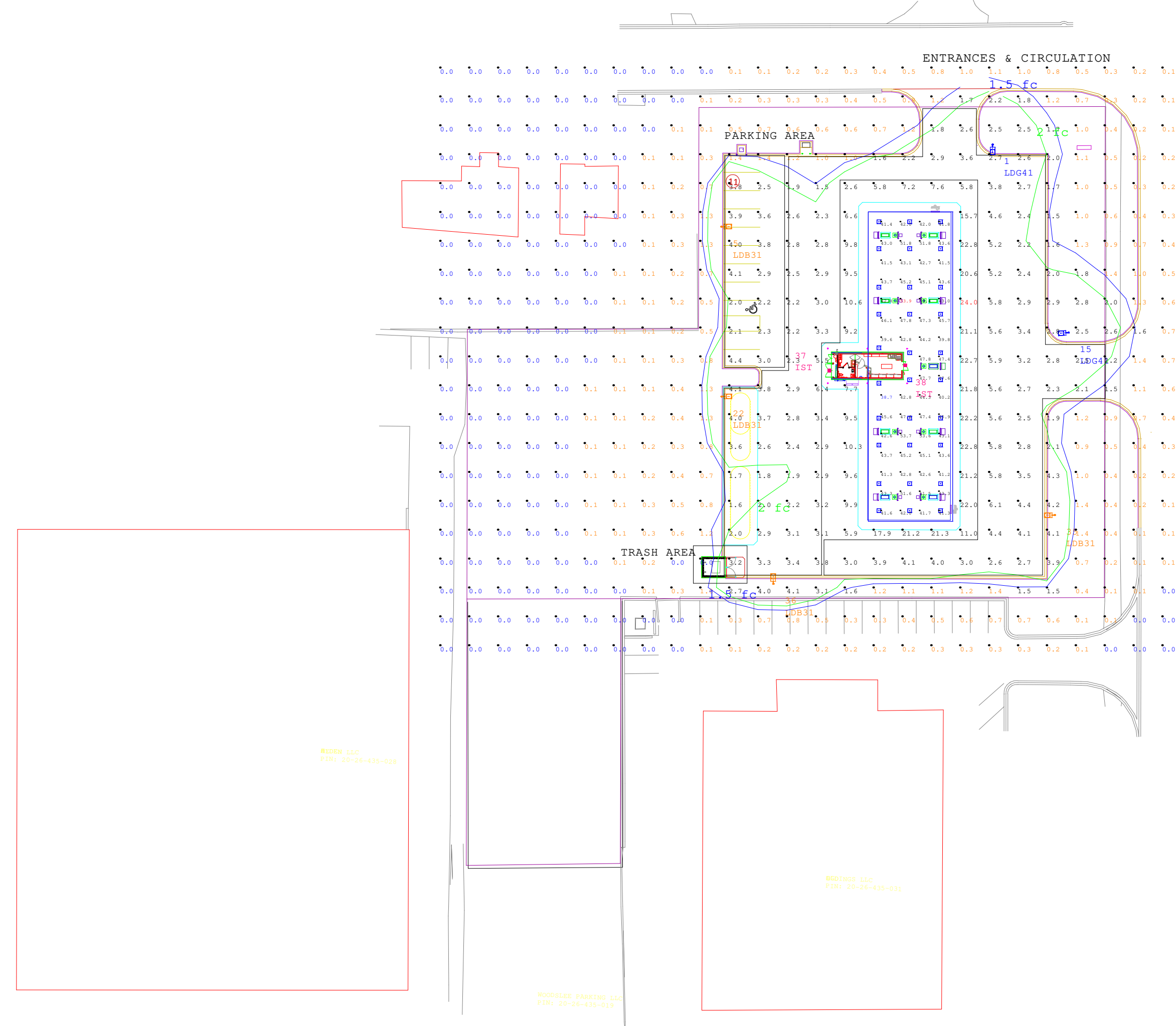
SCALE: NOT TO SCALE

Symbol	Qty	Label	Arrangement	Lum. Watts	Total Watts	Lum. Lumens	LLF	Description
	2	IST	Single	20.09	40.18	2419	0.912	IST-AF-350-LED-E1-SL3-BZ
	30	FC1	SINGLE	103	3090	15410	1.000	SCV-LED-15L-SC-50
	4	LDB31	SINGLE	131	524	17087	0.865	PRV-C40-D-VOLT-T4-SA-BZ
	2	LDG41	SINGLE	153	306	21360	0.865	PRV-C60-D-VOLT-T5-SA-BZ

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.84	24.0	0.0	N.A.	N.A.
FUEL CANOPY	Illuminance	Fc	44.80	53.9	38.7	1.16	1.39
ENTRANCES & CIRCULATION	Illuminance	Fc	3.35	6.4	1.5	2.23	4.27
PARKING AREA	Illuminance	Fc	3.19	4.4	2.0	1.60	2.20
TRASH AREA	Illuminance	Fc	1.60	3.2	0.0	N.A.	N.A.

**Project manager to specify
fixture voltage for each fixture type**

Total Watts = 3960.18



LumNo	Label	X	Y	Z	Orient	Tilt
1	LDG41	717.52	536.14	19	270	0
2	FC1	658.5	496.05	15	0	0
3	FC1	674.5	496.05	15	0	0
4	FC1	690.5	496.05	15	0	0
5	LDB31	576.66	493.5	19	0	0
6	FC1	658.5	482.05	15	0	0
7	FC1	674.5	482.05	15	0	0
8	FC1	690.5	482.05	15	0	0
9	FC1	658.5	462.08	15	0	0
10	FC1	674.5	462.08	15	0	0
11	FC1	690.5	462.08	15	0	0
12	FC1	658.5	448.08	15	0	0
13	FC1	674.5	448.08	15	0	0
14	FC1	690.5	448.08	15	0	0
15	LDG41	756.96	438.5	19	184.289	0
16	FC1	658.5	430.57	15	0	0
17	FC1	674.5	428.01	15	0	0
18	FC1	690.5	428.01	15	0	0
19	FC1	674.5	414.01	15	0	0
20	FC1	690.5	414.01	15	0	0
21	FC1	658.5	412.24	15	0	0
22	LDB31	576.72	405.31	19	0	0
23	FC1	658.5	394.1	15	0	0
24	FC1	674.5	394.1	15	0	0
25	FC1	690.5	394.1	15	0	0
26	FC1	658.5	380.1	15	0	0
27	FC1	674.5	380.1	15	0	0
28	FC1	690.5	380.1	15	0	0
29	FC1	658.5	360.08	15	0	0
30	FC1	674.5	360.08	15	0	0
31	FC1	690.5	360.08	15	0	0
32	FC1	658.5	346.08	15	0	0
33	FC1	674.5	346.08	15	0	0
34	FC1	690.5	346.08	15	0	0
35	LDB31	749.8	343.73	19	180	0
36	LDB31	603.67	308	19	90	0
37	IST	633.61	418.8	7.5	180	0
38	IST	671.36	421.45	7.5	0	0

COOPER
Lighting Solutions
Applications Engineering
1121 Highway 74 South
Pearlree City, GA 30289
tel no: 770-486-45xx
fax no: 770-486-4599
e-mail: mkt-lightingapplications@cooperlighting.com

COOPER
Lighting Solutions

Project Name:
KROGER D-463
Troy, MI

Client:
The Kroger Co.
Matthew Pisko

Drawn By:
EL

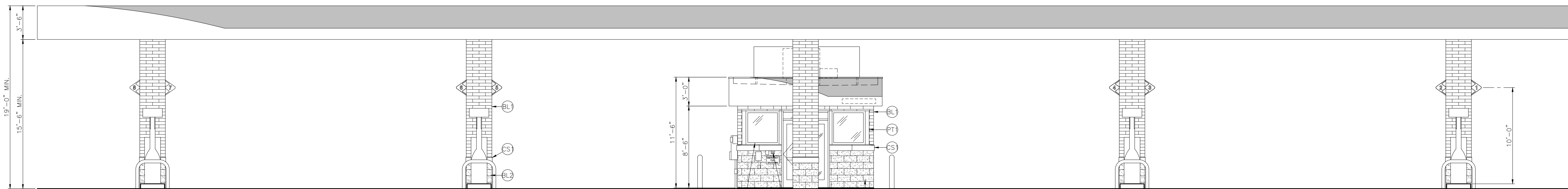
Date:
4/26/2023

Scale:
1" = 50'

Project No:
2300504B.AGI

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**PRELIMINARY
 NOT FOR
 CONSTRUCTION**



1 FRONT ELEVATION
 SCALE: 3/16"=1'-0"

CLEAR ANODIZED ALUMINUM FRAMES
 EMERGENCY FUEL SHUTDOWN

FINISH SCHEDULE	
(BL)	"LEE BRICK & BLOCK": "ASPEN CREAM" INTEGRALLY COLORED SMOOTH FACE 4"x16"
(CS)	33 1/2" LONG PRECAST SMOOTH CONCRETE SILL TO MATCH "LEE BRICK & BLOCK"; "IVORY" WITH MATCHING MORTAR.
(BL2)	"LEE BRICK & BLOCK": "WINTER SEA" INTEGRALLY COLORED SPLIT FACE 8"x16" CMU.
(PT)	"SHERWIN WILLIAMS": "OYSTER" (CANVAS TAN) SW7531



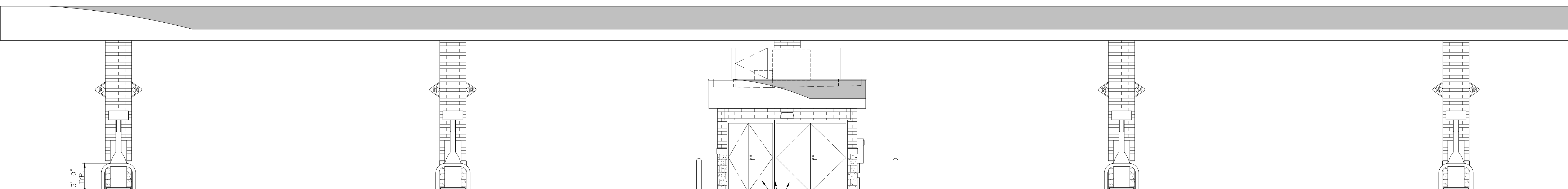
2 LEFT ELEVATION
 SCALE: 3/16"=1'-0"

G.C. TO PAINT ELECTRICAL GEAR SW7531, "OYSTER", (CANVAS TAN)



3 RIGHT ELEVATION
 SCALE: 3/16"=1'-0"

SANDSTONE FASCIA
 OYSTER FASCIA
 GUARD RAIL/SCREEN AROUND HVAC "OYSTER" FASCIA, PROVIDED AND INSTALLED BY CANOPY MANUFACTURER
 HVAC UNIT



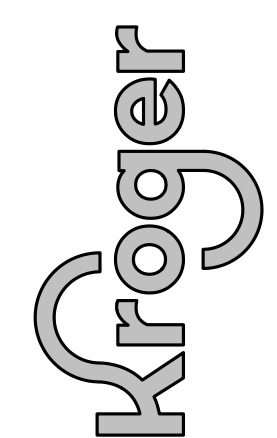
4 REAR ELEVATION
 SCALE: 3/16"=1'-0"

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Supermarket Petroleum Group
 Project: 003 715-5901
 Phone: (303) 715-5900
 Fax: (303) 715-5905

The Kroger Co.



No.	DESCRIPTION	REVISIONS	
		DATE	

Project #: 0-463
 Date: APRIL, 2023
 Scale: FULL
 Disk File: D463_Elevation
 Model: 9 (GD) 540 Kiosk
 Address: TBD
 Troy, Michigan

**FUEL CENTER
 ELEVATIONS**
 Sheet: **A0.0**

CLIENT



SEAL

REVISIONS

REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN AND SPECIAL USE REVISIONS

CONSULTANTS

PROJECT INFORMATION

FLOOR PLAN

KROGER D463 RETAIL FUEL CENTER
JOHN R ROAD AT LARCHWOOD DRIVE
TROY, MI 48063

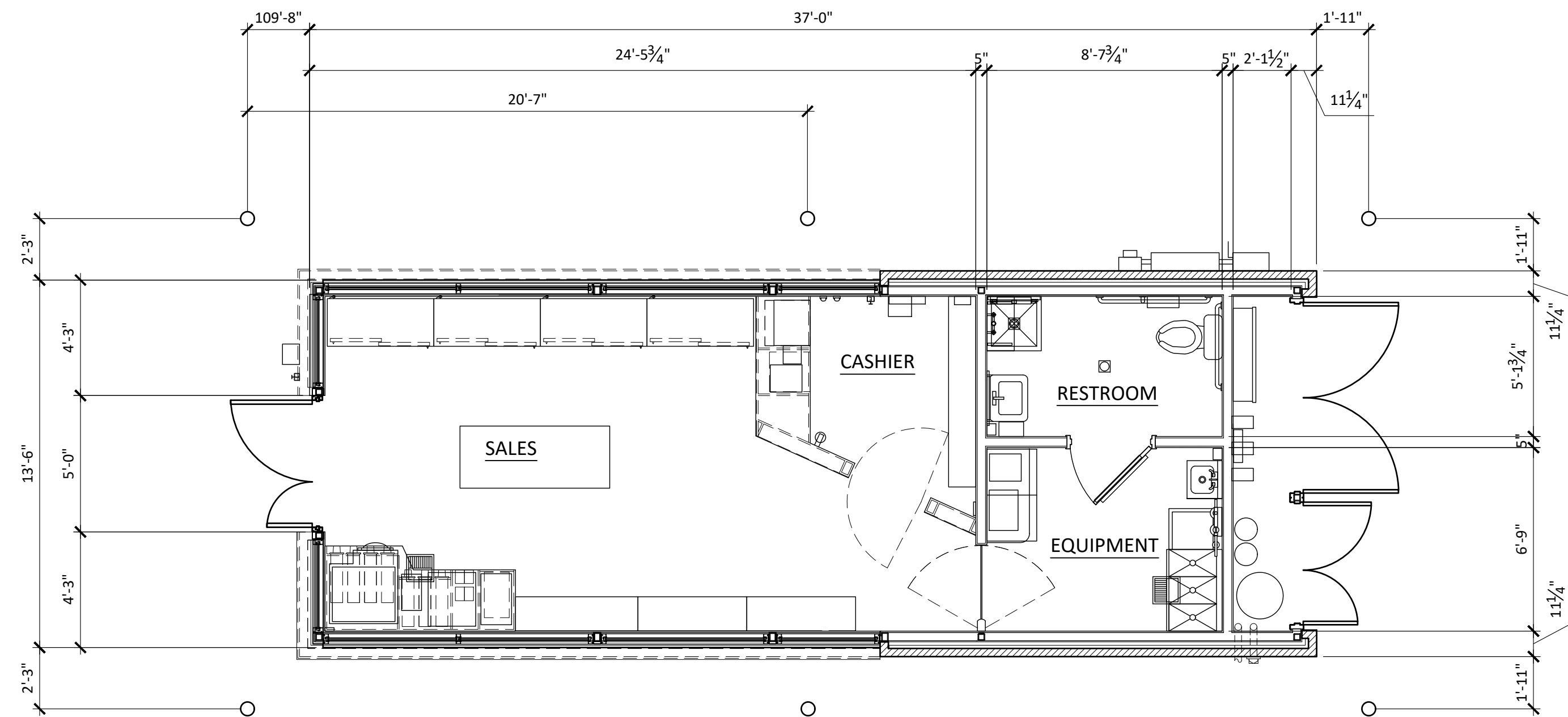
SHEET MANAGEMENT

PROJECT NUMBER:	D463
ISSUED DATE:	02.13.2023
DRAWN BY:	TK
CHECKED BY:	TK
PRJ. MGR:	TK

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SHEET NUMBER

A1.01



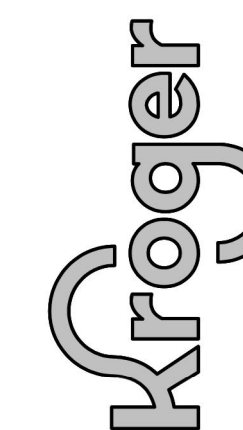
5 FLOOR PLAN
A1.01 SCALE: 3/8" = 1'-0"

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

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Supermarket Petroleum Group
 Denver, CO 80239
 (303) 715-5905

The Kroger Co.



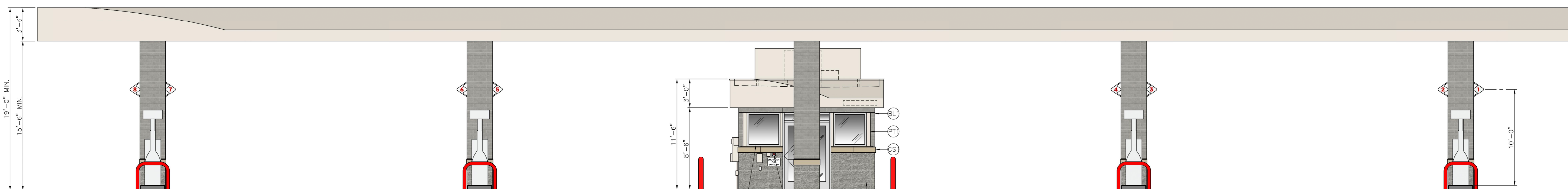
REVISIONS

No.	DESCRIPTION	DATE

Project #:	D-463
Date:	APRIL, 2023
Scale:	FULL
Disk File:	D463_Elevation
Model:	9 (GD) 540 Kiosk
Address:	TBD Troy, Michigan

**FUEL CENTER
 ELEVATIONS**

Sheet: **A0.0**

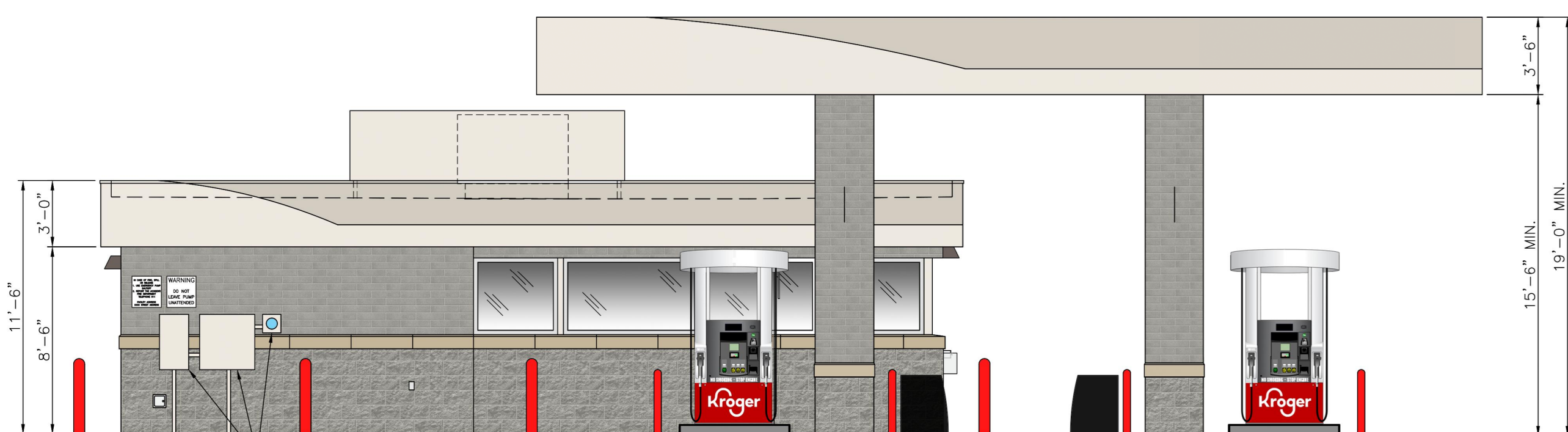


1 FRONT ELEVATION
 SCALE: 3/16"=1'-0"

CLEAR ANODIZED ALUMINUM FRAMES
 EMERGENCY FUEL SHUTDOWN

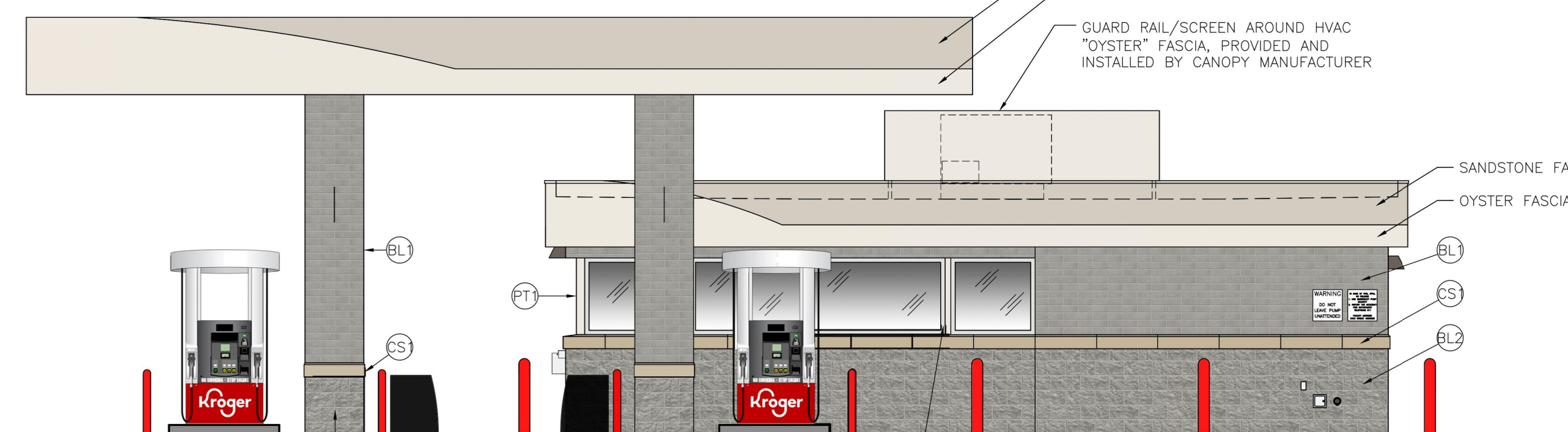
FINISH SCHEDULE

- (BL) "LEE BRICK & BLOCK": 'ASPEN CREAM' INTEGRALLY COLORED SMOOTH FACE 4"x16".
- (CS) 33 1/2" LONG PRECAST SMOOTH CONCRETE SILL TO MATCH "LEE BRICK & BLOCK": 'IVORY' WITH MATCHING MORTAR.
- (EL) "LEE BRICK & BLOCK": 'WINTER SEA' INTEGRALLY COLORED SPLIT FACE 8"x16" CMU.
- (PT) 'SHERWIN WILLIAMS': 'OYSTER' (CANVAS TAN) SW7531

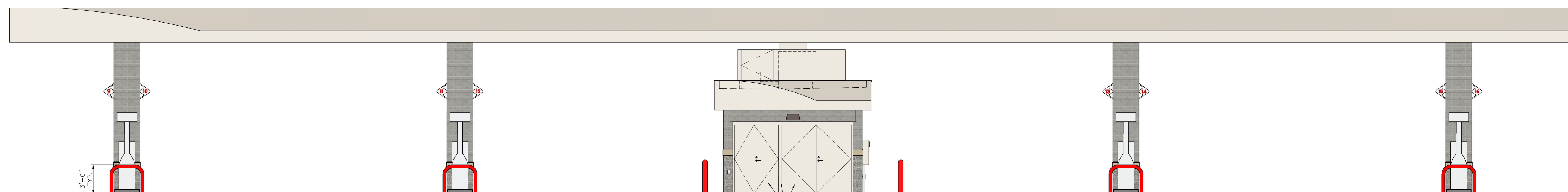


2 LEFT ELEVATION
 SCALE: 3/16"=1'-0"

G.C. TO PAINT ELECTRICAL GEAR SW7531, "OYSTER", (CANVAS TAN)



3 RIGHT ELEVATION
 SCALE: 3/16"=1'-0"



4 REAR ELEVATION
 SCALE: 3/16"=1'-0"

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