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PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

David Lambert, Chairman, Marianna Perakis, Vice Chairman
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,
Lakshmi Malalahalli and John J. Tagle

May 23, 2023

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – May 9, 2023
4. PUBLIC COMMENT – For Items Not on the Agenda

PRELIMINARY SITE PLAN APPROVAL

5. PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0001) - Proposed New Tower Troy, Office Building and Parking Deck, East side of Troy Center Drive, South of Big Beaver, 755 Big Beaver Road (PIN 88-20-28-101-067), Section 28, Currently Zoned BB (Big Beaver) District

OTHER ITEMS

6. PUBLIC COMMENT – For Items on the Agenda
7. PLANNING COMMISSION COMMENT
8. ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Lambert called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on May 9, 2023, in the Council Chamber of the Troy City Hall. Chair Lambert presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- R. Brent Savidant, Community Development Director
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2023-05-025

Moved by: Krent
 Support by: Tagle

RESOLVED, To approve the Agenda as prepared.

Yes: All present (9)

MOTION CARRIED

3. APPROVAL OF MINUTES – April 11, 2023

Resolution # PC-2023-05-026

Moved by: Fox
 Support by: Malalahalli

RESOLVED, To approve the minutes of the April 11, 2023 Regular meeting as submitted.

Yes: All present (9)

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN APPROVAL

5. PUBLIC HEARING - SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0002) – Proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 and -021), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

Mr. Carlisle provided background information on the Special Use Approval and Preliminary Site Plan application for a proposed Kroger Fuel Station. He announced the Planning Department received two email communications erroneously addressing the application as a proposed rezoning of the subject parcels. Mr. Carlisle said the application is not to rezone the subject parcels and the zoning district would not change. Mr. Carlisle addressed the “paper alley” that bifurcates the site. He said the applicant must seek to vacate the alley to proceed with the proposed application. Mr. Carlisle explained the process of an alley vacation application and said the Special Use and Site Plan application would come back before the Board for consideration.

Mr. Carlisle asked the Planning Commission to hold a public hearing and discuss the following items:

- Use of the property as a gas station.
- Consideration if a larger convenience store should be provided, which would better serve the surrounding neighborhood, including across John R Road.
- Adding additional parking spaces for EV fueling.
- Architecture and design of kiosk.
- Reduce light intensity under the canopy.
- Special Use Standards set forth in Section 9.02.D
- Site Plan Standards set forth in Section 8.06.

Mr. Carlisle recommended the Planning Commission postpone approval of the application to allow the applicant to revise the application, if necessary, based on Planning Commission discussion and to allow the applicant to submit an alley vacation application.

Discussion among administration and Planning Commission:

- EV parking spaces, charging stations.
- Location of handicapped parking in relation to store entrance.
- Detention basin as relates to off-site residential drainage and buffer.
- Alley vacation application review by Engineering Department.

Matthew Pisko was present to represent the Kroger Company of Michigan. He addressed the operations of the Kroger fuel stations and gave a history of the number of Kroger sites across the country, in the State of Michigan and in the City of Troy. Mr. Pisko identified the two Troy locations at Rochester Road and South Boulevard and indicated the proposed fuel station would serve the Kroger store to the north. Mr. Pisko addressed the reason the Kroger Company chose this specific location for a fueling station, the size of the convenience store, the number of full-time positions, and the hours of operation from 6 am to 10 pm. He provided architectural details of the fueling station kiosk and canopy. Mr. Pisko said the proposed intense lighting under the canopy would accommodate patrons to see better during evening hours of operation.

Mr. Pisko said there are no future development plans for the detention basin stating it offers a buffer for surrounding residential. He said it is standard practice for the Kroger Company to offer EV charging stations for the convenience of patrons in the parking lots of their grocery stores. Mr. Pisko said a security system would be in place and there would be no overnight vehicular parking permitted.

There was discussion, some comments related to:

- Choice of location; potential other sites to place fueling station.
- Size of convenience store as relates to traditional kiosk.
- Kiosk convenience items for purchase.
- Pedestrian connection to café.
- Provide and/or prep for EV charging stations.
- Deceleration lane.

PUBLIC HEARING OPENED

Lyle Detterman, 3208 Thatcher Drive, Rochester Hills. Mr. Detterman asked how the proposed application would affect the property he owns to the south and north across Larchwood (1991 Woodslee), specifically if the property would be landlocked. He addressed access off John R, buffer between the two properties, detention pond concern for mosquitoes and security during evening hours.

PUBLIC HEARING CLOSED

Mr. Savidant addressed the speaker's concerns expressed about security and the detention pond. He said detailed engineering drawings would be submitted and reviewed by the Engineering Department. Mr. Savidant said it is a requirement of the Zoning Ordinance that stormwater management must not negatively impact adjacent parcels.

Mr. Carlisle said there is no Zoning Ordinance requirement to provide a buffer between the two properties because the land uses are compatible. He noted though the Planning Commission could place conditions upon approval because it is a Special Use application.

Chair Lambert suggested to the speaker that he communicate with the Kroger representative present this evening to address his concerns.

It was briefly discussed if Planning Commission concerns should be identified in the Resolution to postpone.

Resolution # PC-2023-05-027

Moved by: Faison

Seconded by: Fox

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 and -021), Section 26, Currently Zoned IB (Integrated Industrial and Business) District, be postponed, for the following reasons:

1. Allow the applicant the opportunity to amend the application, if necessary, based on Planning Commission discussion.
2. Allow the applicant the opportunity to submit an alley vacation application and the Planning Commission to hold a public hearing.

Yes: All present (9)

MOTION CARRIED

OTHER ITEMS

6. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

7. **PLANNING COMMISSION COMMENT**

There were general comments, some relating to:

- State of the City address.
- Michigan Association of Planning Planners’ Night Out; May 24, Woodbridge Pub in Detroit.
- Articles of interest shared among Planning Commission. Recent articles relate to parking.

Mr. Fox reported on the following two items considered at the April 18, 2023 Zoning Board of Appeals meeting:

- 3459 Talbot
- 944 Marengo

8. ADJOURN

The Regular meeting of the Planning Commission adjourned at 8:13 p.m.

Respectfully submitted,

David Lambert, Chair

Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2023/2023 05 09 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2023/2023%2005%2009%20Draft.docx)

ITEM #5

DATE: May 19, 2023

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0001) - Proposed New Tower Troy, Office Building and Parking Deck, East side of Troy Center Drive, South of Big Beaver, 755 Big Beaver Road (PIN 88-20-28-101-067), Section 28, Currently Zoned BB (Big Beaver) District

The petitioner PEA Group submitted the above referenced Preliminary Site Plan application for New Tower Troy, a proposed 7-story office building and 4-story parking deck located on the PNC Bank site.

The property is currently zoned BB (Big Beaver) Zoning District. Office buildings and parking decks are permitted by right in the BB district. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The memo prepared by OHM indicates some concern with parking calculations. Experts from both F & V (representing the applicant and OHM Advisors (representing the City) will attend the meeting to discuss parking and traffic.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Memo prepared by OHM Advisors, dated May 1, 2023.
4. Preliminary site plan

G:\SITE PLANS\SP JPLN2023-0001 NEW TROY TOWER\PC Memo 2023 05 23.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0001) - Proposed New Tower Troy, Office Building and Parking Deck, East side of Troy Center Drive, South of Big Beaver, 755 Big Beaver Road (PIN 88-20-28-101-067), Section 28, Currently Zoned BB (Big Beaver) District

Resolution # PC-2023-05-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed New Tower Troy, Office Building and Parking Deck, located on the East side of Troy Center Drive, South of Big Beaver, Section 28, Zoned BB (Big Beaver) District, be granted, subject to applicant the following:

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

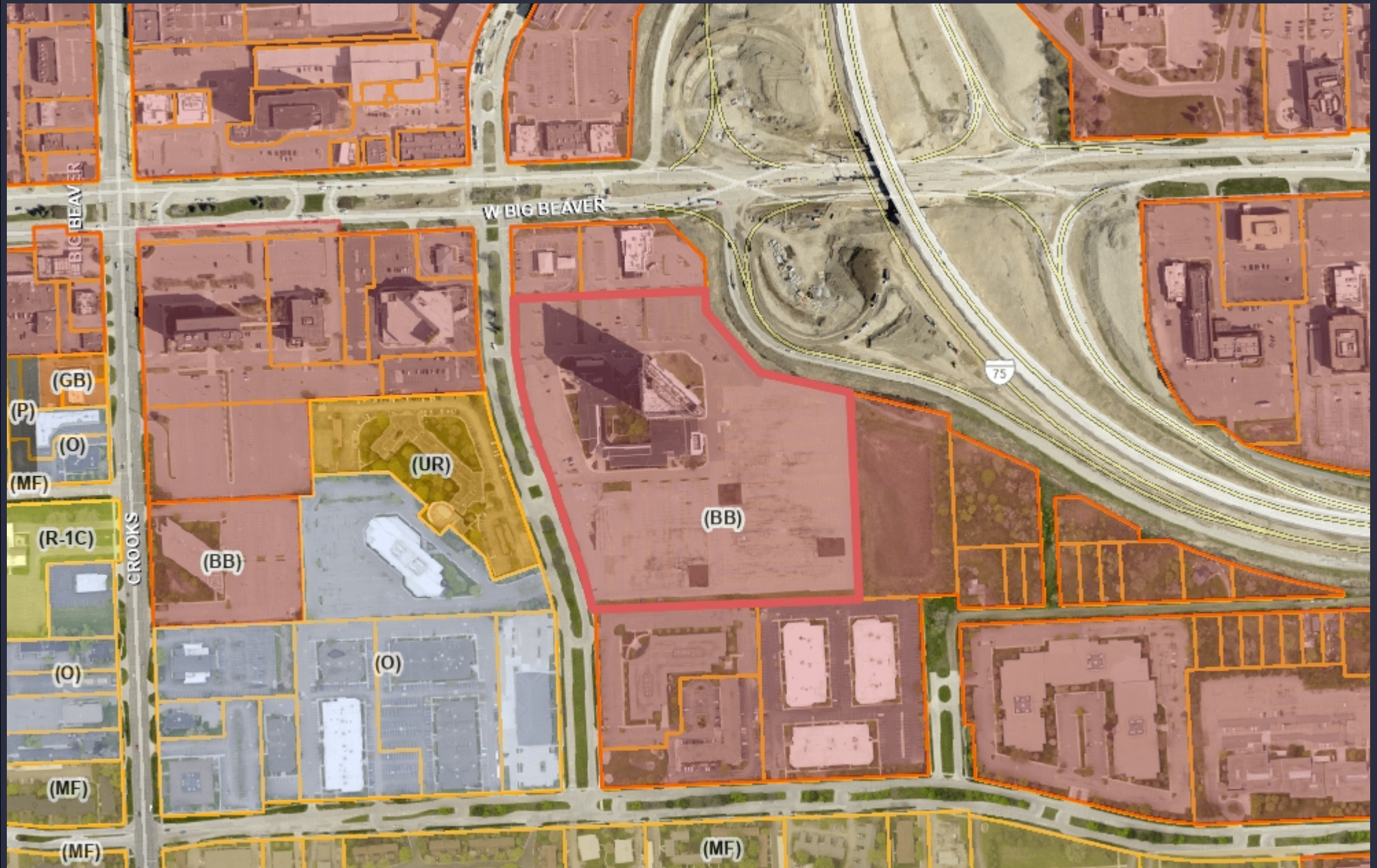
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Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: March 15, 2023
April 21, 2023
May 2, 2023

Preliminary Site Plan Review For City of Troy, Michigan

Applicant: Leslie Accardo, PEA Group

Project Name: New Tower Troy

Location: 755 West Big Beaver Road

Plan Date: May 1, 2023

Zoning: BB, Big Beaver

Action Requested: Preliminary Site Plan Review

SITE DESCRIPTION

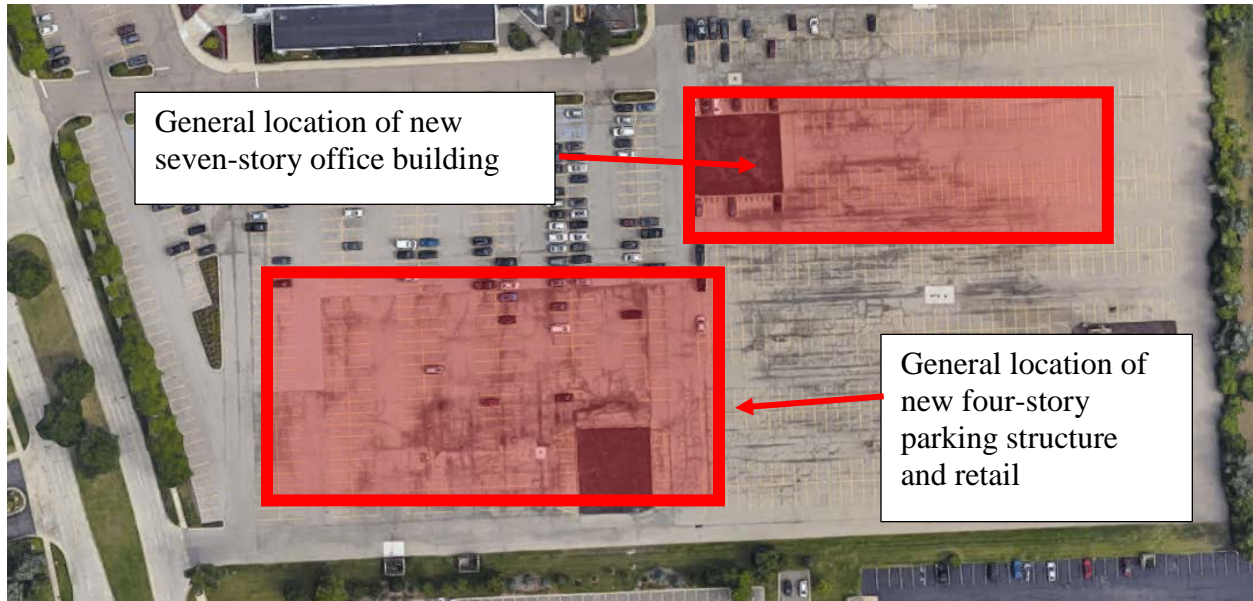
An application has been submitted to repurpose the existing surface parking lot to the south of PNC Tower to create an office building and parking structure. The 20-acre PNC site is located at the southeast corner of West Big Beaver Road and Troy Center Drive. The applicant plans on developing on the existing parking lot on the site. The existing office tower will remain. The new building is located to the south (rear) of the existing PNC Tower. The proposed office building will have seven (7) floors of office space while the parking structure will have four (4) floors of parking. The office building has a footprint of 36,833 sq ft and total area of 257, 831 sq ft. The parking structure has a building footprint of 78,000 sq ft and total area of 312,000 sq ft. In addition, the applicant proposes a 5,000 sq ft retail building that lines the parking deck and fronts on Troy Center Drive.

Access will remain as is with two points of access off Troy Center Drive south of PNC Tower and cross-access to the north. The applicant is proposing shared parking for all building on site.

Site Location:



Detailed Location:



Proposed Uses of Subject Parcel:

Proposed building to be constructed for office space and a parking structure.

Current Zoning:

The property is currently zoned BB, Big Beaver Form Based District.

Surrounding Property Details:

Direction	Zoning	Use
North	BB, Big Beaver	Office, Bank, Retail, Restaurant, Parking
South	BB, Big Beaver	Office, Hotel, Parking
East	BB, Big Beaver	Stormwater Detention, I-75
West	UR, Urban Residential O, Office	Multi-Family Residential Office

NATURAL FEATURES

The site has been graded and improved for an office building and an associated parking structure.

Items to be addressed: None.

SITE ARRANGEMENT

The new seven-story office building will be placed to the south (rear) of the existing twenty-five-story PNC Tower. Access will remain with two points of access on Troy Center Dr, and cross access to the site to the north. There is shared parking south of the existing office building and east of the new office building.

Please note that in previous reviews have asked applicant to consider looking holistically at the site to better integrate the site with existing buildings (shared outdoor space, shared plaza, more interconnected walkways). In addition we also asked the applicant to consider swapping location of parking structure and office building as such:



They note that they desire to keep the office building in rear of the site for visibility on I-75.

Items to be addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

The applicant proposes a new office building and a new parking structure. The new buildings are being reviewed together as Building Form F as set forth in Table 5.03.B.6.

	Required	Provided	Compliance
Front (Troy Center Dr)	10-foot build-to-line, up to 60-feet with PC approval.	60 feet	Complies
Side (south)	N/A, building may be placed up to property line	61 feet	Complies
Rear (I-75)	40-foot minimum setback	91 feet	Complies
Building Height	Minimum: 5 stories, 55 feet Maximum: N/A	Office Building: 7 stories, 117 feet Parking Structure: 4 stories, 30 feet	Complies
Lot Coverage (Building, overall site)	30%	Unknown, for this plan, it says building lot coverage is 26.17%; not known if this was entire site, or development parcel.	Unknown
Minimum Open Space (overall site)	N/A	73.83%	Complies
Parking Location	Cannot be located in front yard	Parking lot not in front yard	Complies

The parking structure is a multiple story building, which permits one (1) row of parking between the building and Troy Center Drive. The site complies with zoning requirements.

Items to be addressed: None

PARKING STRUCTURES IN BIG BEAVER DISTRICT

As set forth in Section 5.04.E.5.c, parking structures are permitted in the Big Beaver District provided that they meet the following requirements:

1. *Parking structures shall be located behind buildings in locations that minimize visibility from public streets.*
2. *Parking structures may be located along public street frontages, subject to the following standards:*
 - a. *Building height and placement requirements for principal building shall be met.*
 - b. *A lining of retail, office, or residential use with a useable depth of no less than twenty (20) feet shall be provided.*

- c. At least fifty (50) percent of the upper floors facing a public street shall consist of exposed openings. The openings shall be designed with one or more treatments: planter boxes with living plants; a rail or fence to give the appearance of a balcony; framing and mullions to give the appearance of large windows.

The applicant has added a 5,000 sq. ft retail area that lines the front of the parking structure adjacent to Troy Center Drive. The retail area is a depth between 20 to 35-feet. Tenants of the retail suites have not been identified.

Items to be addressed: *None*

ACCESS AND CIRCULATION

The applicant is proposing a pedestrian connection between the new office building and the new parking structure with concrete sidewalks and ramps. In addition, the applicant is proposing pedestrian connection between the existing PNC Tower building, Troy Center Drive, and the new office building and parking structure.

The City Fire Marshall and City Traffic consultant, OHM, should review access and circulation. Applicant may need to revised site plan based on their reviews.

Items to be addressed: *None*

PARKING

The applicant proposes to provide parking for the office building with the proposed parking structure and shared surface parking with PNC Tower and other uses on site.

The applicant has prepared the following parking demand study for shared parking based on the requirements of Section 13.06.G of the Zoning Ordinance. As set forth in Section 13.06.B.2, off-street parking for uses in all districts shall be on the same lot as the use or building served by the parking, unless joint parking with abutting properties and uses is provided in a form acceptable to the City Attorney and executed and recorded by the parties sharing the parking.



Land Uses	Size	Required Rate	Required Number	Shared Parking Peak Demand (11:00 AM)	Shared Parking with Actual Occupancy
Proposed Office (General)	204,000 sf GFA	1 space per 300 sf GFA	680	566	566
PNC Office (General)	586,467 sf GFA	1 space per 300 sf GFA	1,955	1,628	1,334
PNC Office (Medical/Dental)	15,038 sf GFA	1 space per 200 sf GFA	75	74	63
Bank	3,786 sf GFA	1 space per 200 sf GFA	19	9	9
Retail	1,288 sf GFA	1 space per 250 sf GFA	5	0	0
Granite City Restaurant	296 seats	1 space per 2 seats	148	12	12
Friends Café	95 seats	1 space per 2 seats	48	0	0
Ruth's Chris Steak House	400 seats	1 space per 2 seats	200	0	0
Total Parking Spaces			3,155	2,298	2,043

Proposed Parking Supply	2,094	2,094	2,094
Difference	-1,056	-204	51

OHM has reviewed the shared parking and provided a summary memo.

Items to be Addressed: Review OHM’s memo regarding shared parking.

LANDSCAPING

A landscaping plan has been provided on Sheet L-1.0. The following table discusses the development’s compliance with the landscape requirements set forth in Section 13.02.

	Required:	Provided:	Compliance:
Greenbelt Planting			
Troy Center Dr: 1 tree every 30 feet	444 ft / 30 = 15 trees	16 trees	Complies
Parking Lot Landscaping			
1 tree per every 8 parking spaces	416 spaces / 8 = 52 trees	28 in parking lot and 24 on perimeter	Complies, with Planning Commission approval
Overall			
<u>Site landscaping:</u> A minimum of fifteen percent (15%) of the site area shall be comprised of landscape material. Up to twenty-five percent (25%) of the required landscape area may be brick, stone, pavers, or other public plaza elements, but shall not include any parking area or required sidewalks.	15%	14.6 landscaping and 0.67 hardscape.	Complies

The applicant is required to provide fifty-two (52) parking lot trees. Twenty-eight (28) of the required fifty-two (52) are in parking lot and twenty-four (24) are along the perimeter of parking lot. Planning Commission may allow alternative location of parking lot trees.

Equipment / Trash Enclosure Screening:

The applicant has indicated they propose to screen at grade equipment with 14 evergreen shrubs. The applicant shows trash enclosures but does not indicate how they will be screened other than landscaping. We assume trash enclosure will also be screen with wall or fence.

Items to be Addressed: 1). Planning Commission to discuss parking lot tree location; 2). Provide trash enclosure screening details.

PHOTOMETRICS

The applicant provided a photometric plan which indicates the applicant is installing 35 parking lot lights and 32 canopy/under lights. It appears that photometrics have been met but the symbolism on the plan is not clear. The applicant should clarify symbols on photometric plan.

Items to be Addressed: Clarify symbolism on photometric plan.

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations for the office building and parking structure have been provided.

New Office Building:

The ground floor of the office building has a height of twenty (20) feet while floors two through seven have floor to floor heights of fourteen (14) feet. The office building is topped by a painted screenwall for rooftop mechanicals with a height of ten (10) feet. The elevations of the office building show that the façade has stained, precast concrete panels with clear windows on the ground floor and grey tinted glass units on floors two through seven. All windows have aluminum window frames.

Parking Structure

The elevations of the parking structure show that the façade has stained structural precast concrete to match the office building. The parking structure appears to lack much architectural detail. Adding additional architectural details to the parking structure should be considered.

DESIGN STANDARDS AND SITE PLAN REVIEW STANDARDS

The Big Beaver District design standards as well as Site Plan review standards provide the Planning Commission with direction when reviewing the proposed site plan and design features of this development.

Section 5.05.E. outlines Design Standards:

1. *Façade Variation*
2. *Pedestrian Access / Entrance*
3. *Ground Story Activation*
4. *Transitional Features*
5. *Site Access, Parking, and Loading*

Please see Section 5.05.E for standard details.

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
 - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
 - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
 - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
 - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
 - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
 - c. *Develop buildings with creativity that includes balanced compositions and forms.*
 - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
 - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
 - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
 - a. *Provide elements that define the street and the pedestrian realm.*
 - b. *Create a connection between the public right of way and ground floor activities.*
 - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*

- d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
- e. *Improve safety for pedestrians through site design measures.*

Items to be Addressed: *Planning Commission to consider if form-based design standards and site plan standards have been met.*

SUMMARY

As part of the deliberation, the Planning Commission and applicant shall discuss:

- a. *Compliance with Section 5.05.E Big Beaver Design Standards.*
- b. *Compliance with Section 8.06 Site Plan Review Standards.*
- c. *Architecture and material use.*
- d. *Planning Commission to discuss parking lot tree location.*
- e. *Shared parking.*

If the Planning Commission approves the preliminary site plan, the final site plan shall address the following:

1. *Indicate how trash enclosures will be screened.*
2. *Clarify symbolism on photometric plan.*
3. *Review/discuss shared parking.*

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



memorandum

Date: May 1, 2023

To: Scott Finlay, PE

From: Sara Merrill, PE, PTOE & Lauren Hull, EIT

Re: New Tower, 755 W. Big Beaver Rd
Preliminary Site Plan Review

We have reviewed the preliminary site plan for the proposed 7-story office building and 4-story parking garage with 5,500 SFT retail, located on the east side of Troy Center Drive south of Big Beaver Road. The development will utilize existing access points on Town Center Drive south of Big Beaver Road, with no new access points proposed. The plans were prepared by PEA Group and dated March 22nd, 2023.

At this time, OHM does not recommend approval of the preliminary site plan. The plans should be revised to eliminate discrepancies and to address the comments noted below. Additionally, a traffic impact study should be provided.

OHM's comments are as follows:

1. Parking:

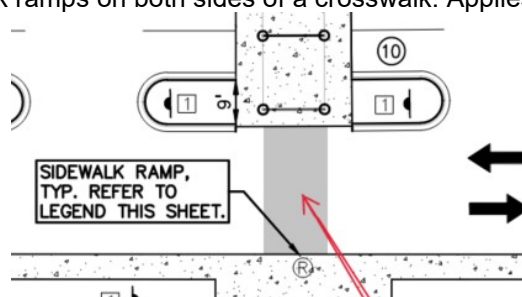
- a. The parking memo provided by Fleis & VandenBrink and the parking calculations on sheet C-1.0 and C-3.0 of the site plan do not match.
 - i. The parking memo includes 5,000 GFA of retail that is not listed on sheet C-3.0. The proposed parking deck plan shows 5,500 SF of first floor retail along Troy Center Drive, attached to the parking structure.
 - ii. The floor area of PNC General Office versus PNC Medical/Dental Office does not match.
 - iii. The parking memo has the shared parking peak demand occurring at 10:00 am, while sheet C-3.0 on the site plan has the shared parking peak demand occurring at 11:00 am.
 - iv. With shared parking the parking memo shows a deficit of 204 parking spaces, while sheet C-1.0 and C-3.0 shows a deficit of 678 spaces and 569 parking spaces, respectively. While these numbers need to match, they both fail to meet the city ordinance.
- b. The shared parking study evaluated multiple scenarios, utilizing a reduction in parking for the office use on the basis of modal split (accounting for those who bike/walk, take transit, or work from home), as well as assuming an 85% peak occupancy rate at the PNC Tower. This



approach deviates from typical practice on shared parking studies within the City. OHM acknowledges the shift to hybrid (“work from home”) office schedules has resulted in a prolonged reduction in parking demand, particularly along the Big Beaver corridor. However, even with a modal-split reduction, the results of the study show a deficit of 204 spaces.

Further, we object to a reduction in parking on the basis of a presumed peak occupancy rate. This approach is inconsistent with the language and intent of the ordinance.

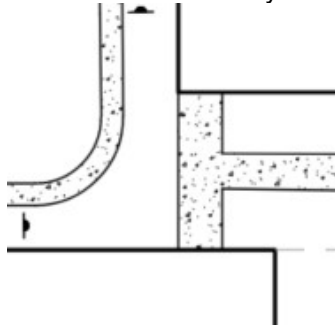
- c. The plans suggest that landbanked parking is proposed, although it is unclear how many and where these spaces will be located. Proposed landbanked parking spaces must be clearly shown. Sheet C-1.0 indicates that 660 landbanked spaces will be provided by constructing an additional two levels to the parking structure and 20 surface spaces. The parking plan sheet (PDF page 25) lists a 56-space 4-level parking deck landbank. OHM questions whether these would be “readily convertible” spaces eligible for landbanking, particularly as constructing these would require temporarily cordoning off a portion of parking spaces for an extended duration.
 - d. A sufficient number of ADA-accessible parking spaces must be provided, with accessible parking dispersed throughout the site at appropriate locations. The number of accessible parking spaces should be listed on the plans. If additional ADA-spaces are required, the parking deficit may increase.
 - e. Label parking space and aisle dimensions within the parking structure.
2. The westerly entrance to the parking structure appears quite narrow. Since the southerly site drive aisle is configured with one inbound lane (entering the site) and two outbound lanes along the length of the proposed parking deck, vehicles entering the structure may cause queues that affect the site driveway at Troy Center Drive. Revise to improve vehicular flow and safety.
3. Renderings appear to show limited sight distance exiting the parking structure. Review proposed sight distance at the parking structure and show sight lines on the plans.
4. Improve pedestrian connectivity throughout the site:
- a. The parking deck stairwell on the south side of the site does not connect to any sidewalk.
 - b. Provide a direct route for pedestrians to travel to Troy Center Drive to the proposed 7-story office building.
 - c. Provide sidewalk ramps on both sides of a crosswalk. Applies throughout.



- d. Show proposed crosswalks on the plans.



- e. Connect sidewalk to allow for better connectivity within the site.

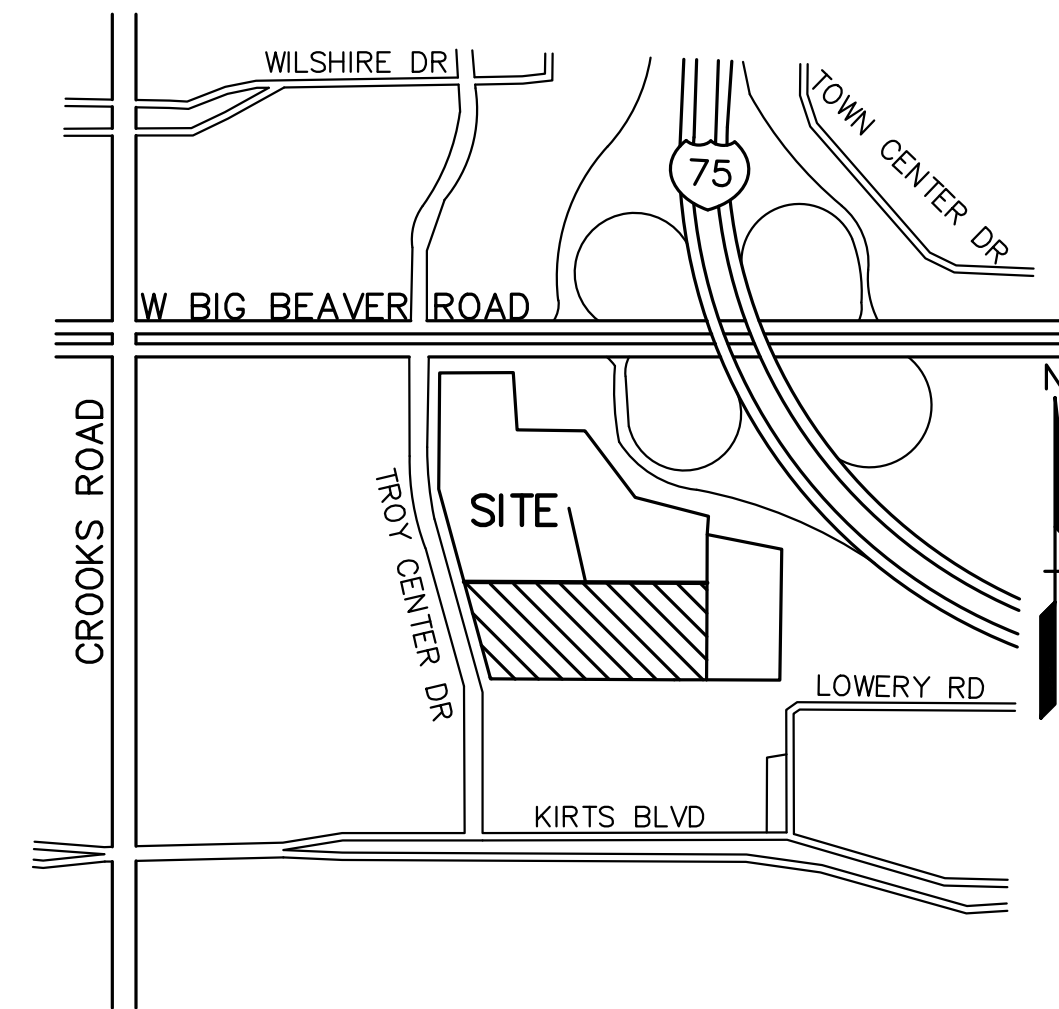


PRELIMINARY SITE PLANS

NEW TOWER TROY

755 BIG BEAVER ROAD
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
4/28/2023		



LOCATION MAP
NO SCALE

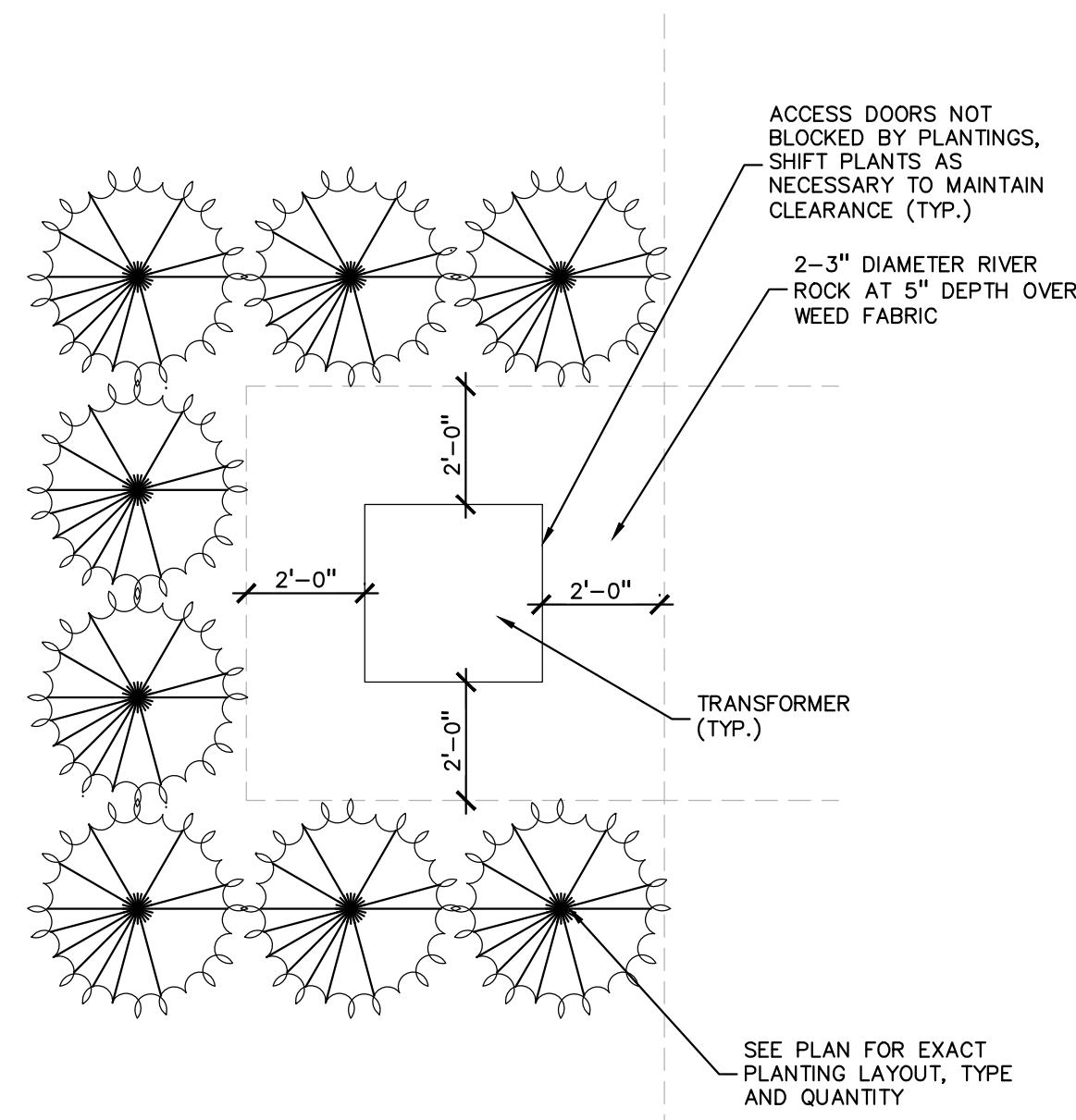
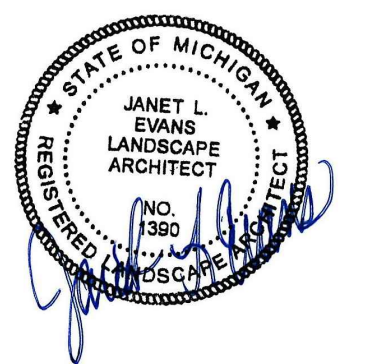
INDEX OF DRAWINGS	
NUMBER	TITLE
C-0.0	COVER SHEET
C-1.0	OVERALL SITE AERIAL
C-1.1	TOPOGRAPHIC SURVEY
C-3.0	OVERALL SITE PLAN
C-3.1	SITE PLAN-WEST
C-3.2	SITE PLAN-EAST
C-4.1	GRADING PLAN-WEST
C-4.2	GRADING PLAN-EAST
C-6.1	UTILITY PLAN-WEST
C-6.2	UTILITY PLAN-EAST
C-9.0	NOTES AND DETAILS
C-9.1	DETAILS
L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	LANDSCAPE PLAN - WEST
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L-1.3	LANDSCAPE DETAILS
PHOTOMETRIC PLAN	
RENDERING - PARKING STRUCTURE AND RETAIL	
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WEST & EAST ELEVATIONS	
PROPOSED PARKING STRUCTURE AND RETAIL ELEVATIONS	
GARAGE FLOOR PLAN	
RENDERING - RETAIL VIEW 1	
RENDERING - RETAIL VIEW 2	

DESIGN TEAM

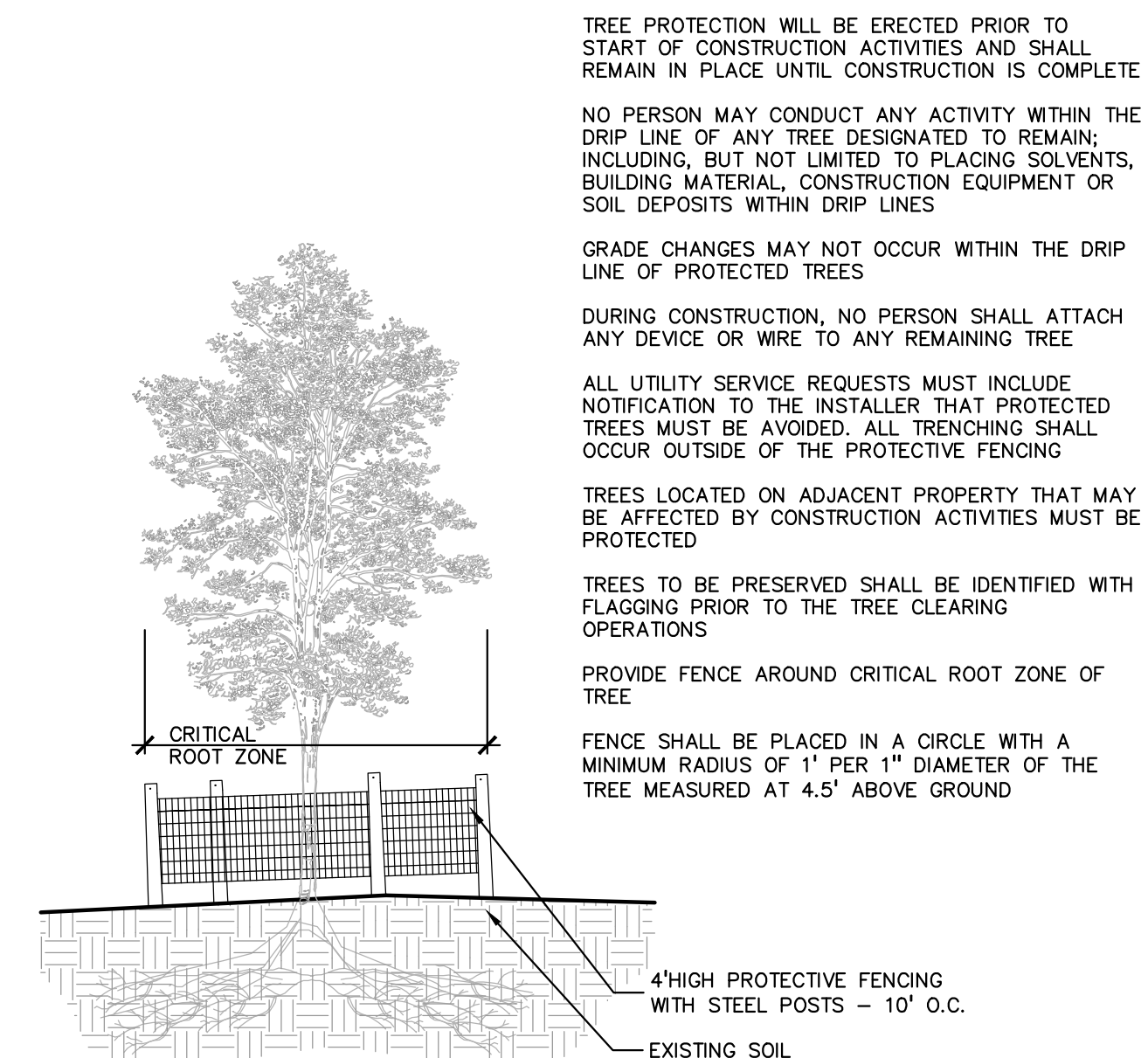
OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
KOJAIAN 39400 WOODWARD AVENUE - STE 250 BLOOMFIELD HILLS, MI 48304 CONTACT: TONY ANTONE EMAIL: TANTONE@KOJAIAN.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: LESLIE ACCARDO PHONE: 844.813.2949 EMAIL: LACCARDO@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
YAMASAKI, INC. 3011 WEST GRAND BLVD SUITE 222 DETROIT, MICHIGAN 48202 CONTACT: ROBERT SZANTNER EMAIL: RSZANTNER@YAMASAKI-INC.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



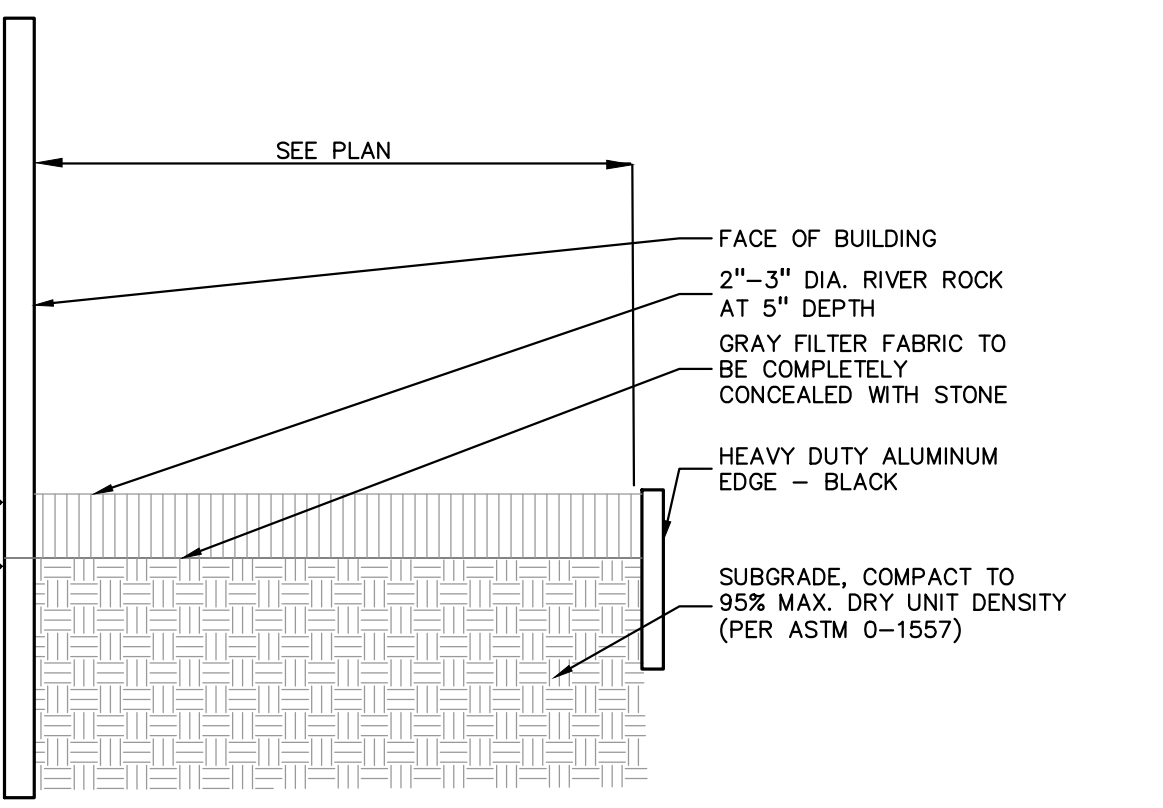
REVISIONS	
DESCRIPTION	DATE



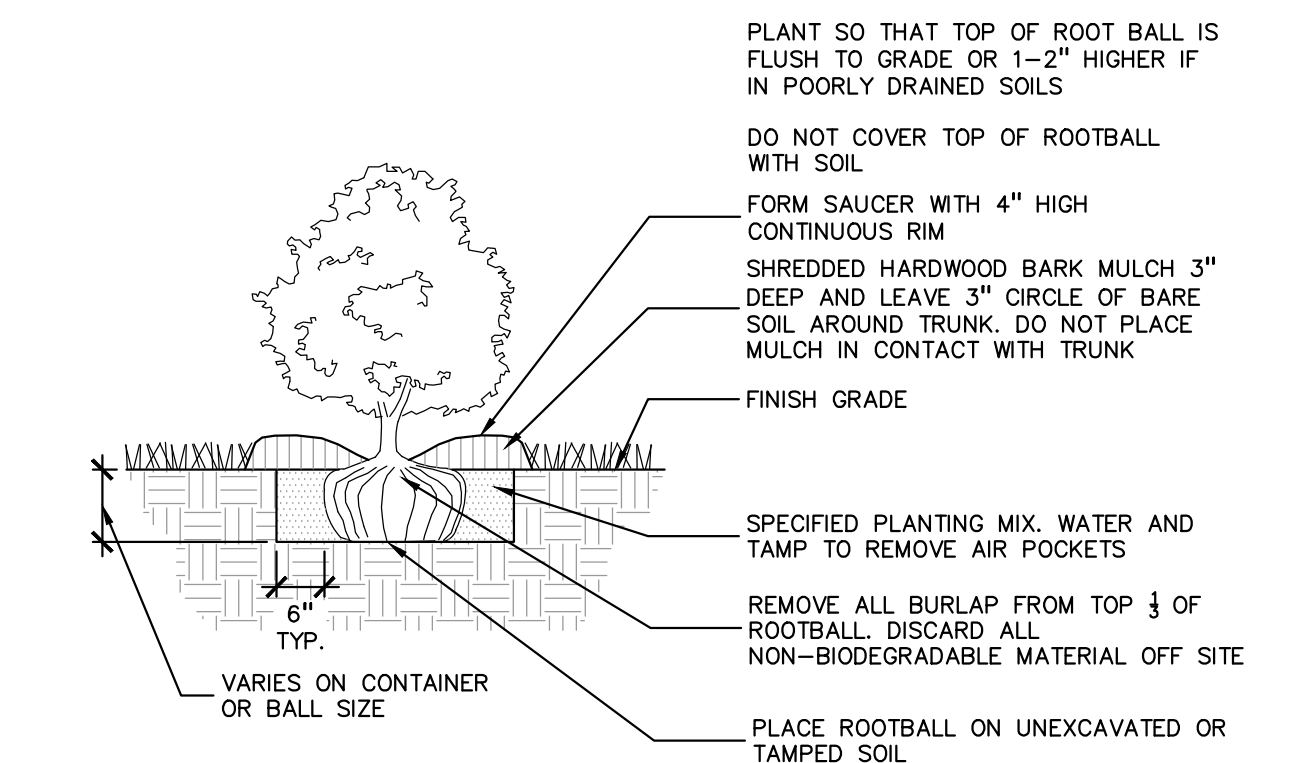
6 TRANSFORMER SCREENING DETAIL—FOR ACCESS REF. ONLY
SCALE: 1" = 3'-0"



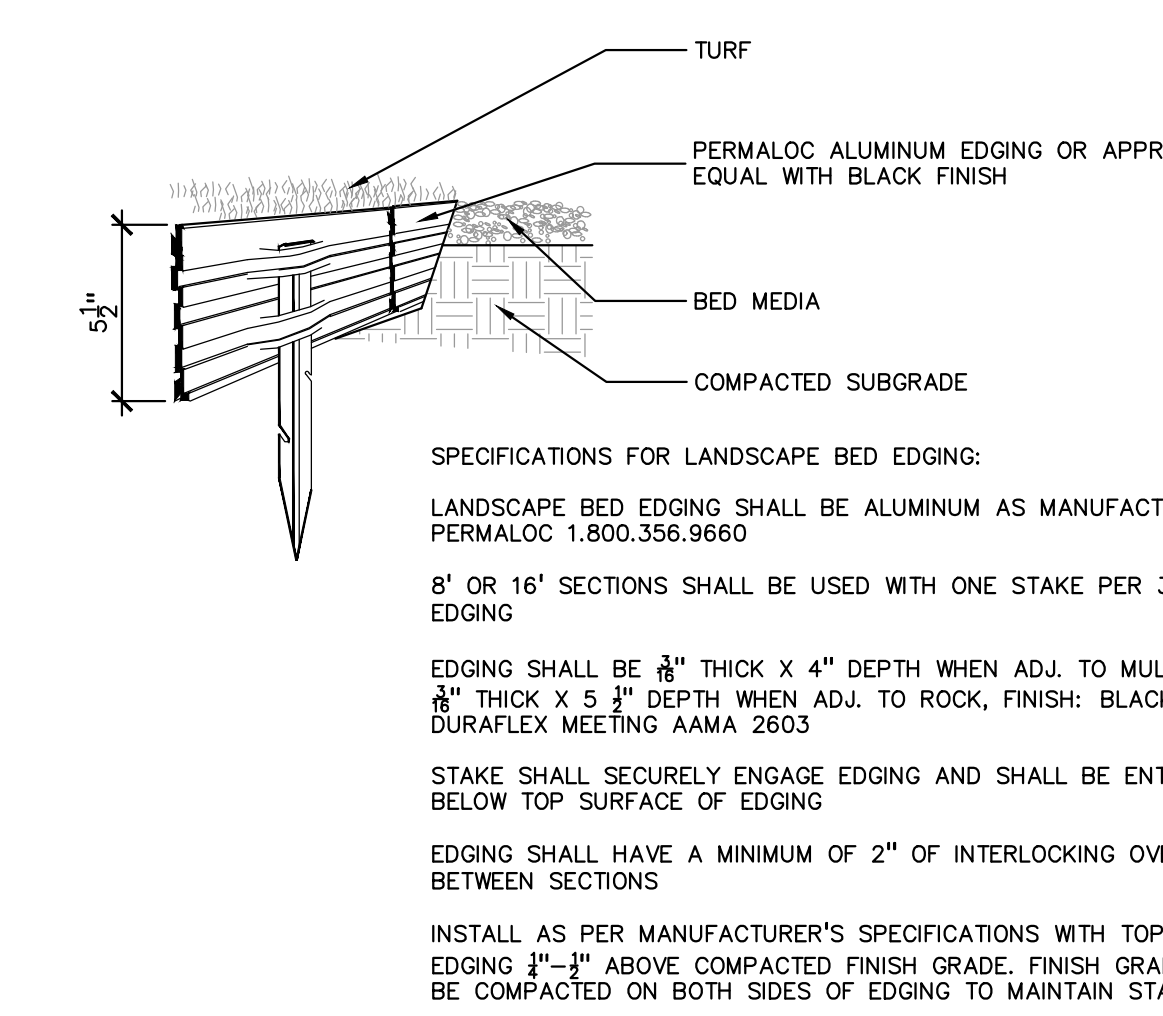
3 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"



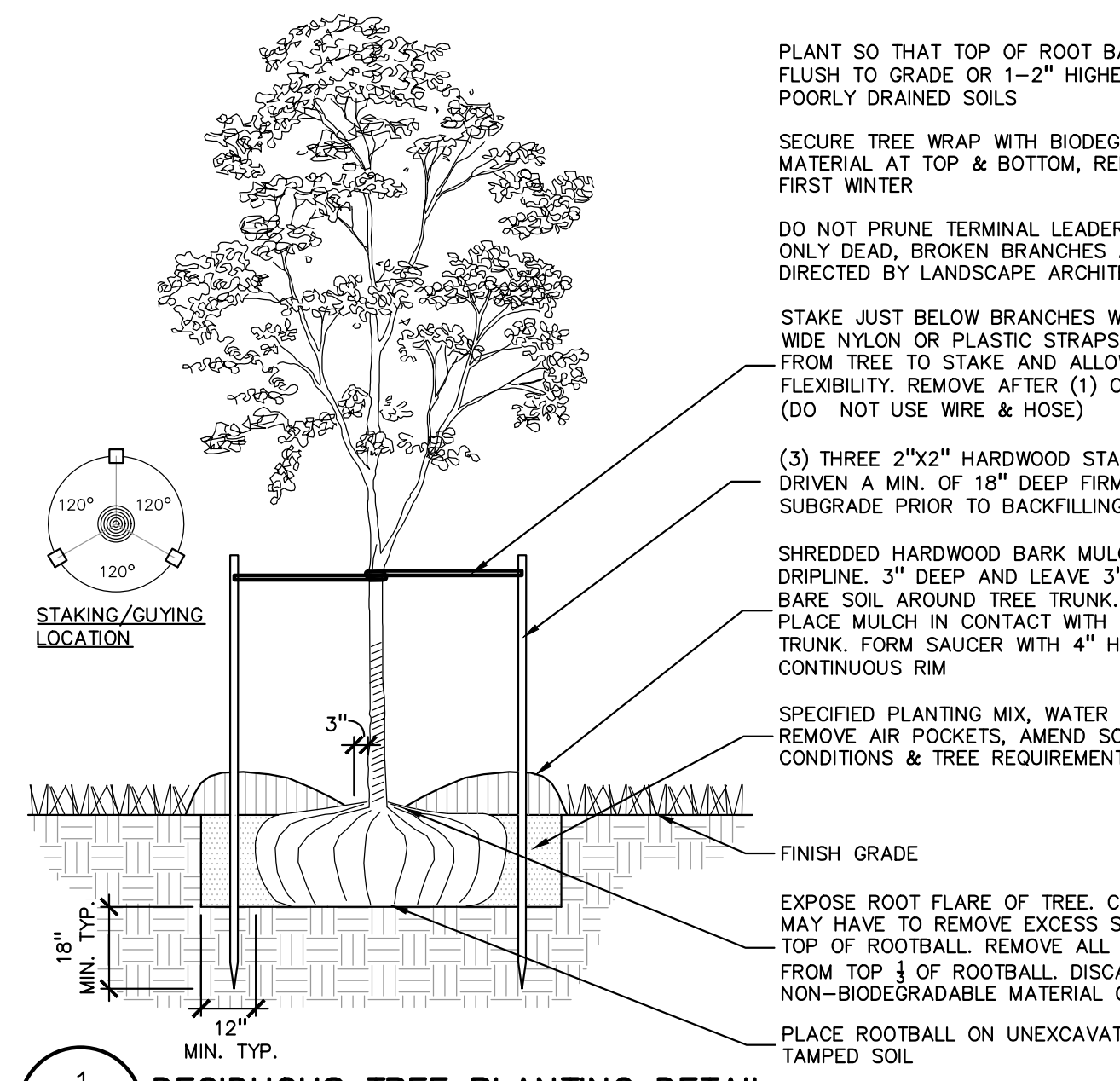
5 RIVER ROCK EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



2 SHRUB PLANTING DETAIL
SCALE: 1" = 2'-0"



4 ALUMINUM EDGE DETAIL
SCALE: 1/2" = 1'-0"



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
YAMASAKI, INC.
3011 WEST GRAND BOULEVARD
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PROJECT TITLE
NEW TOWER TROY
755 W BIG BEAVER ROAD
CITY OF TROY, OAKLAND COUNTY, MI

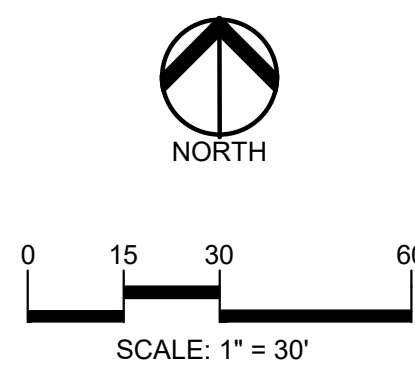
REVISIONS	

ORIGINAL ISSUE DATE:
APRIL 28, 2023

DRAWING TITLE
LANDSCAPE DETAILS

PEA JOB NO.	2022-1053
P.M.	LA
DN.	BGG
DES.	JLE
DRAWING NUMBER:	

Y:\WORK\PEA\2022\1053\SOILS\SOILS\TOWER_TROY\LANDSCAPE_DETAILS-202304.dwg PLOT
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CAUTION!!
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF ANY INFORMATION SHOWN HEREON. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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PROJECT TITLE
NEW TOWER TROY
755 W BIG BEAVER ROAD
CITY OF TROY, OAKLAND COUNTY, MI

NO.	REVISIONS

ORIGINAL ISSUE DATE:
APRIL 28, 2023
DRAWING TITLE
LANDSCAPE PLAN WEST

PEA JOB NO. 2022-1053
P.M. LA
DN. BGG
DES. JLE
DRAWING NUMBER:

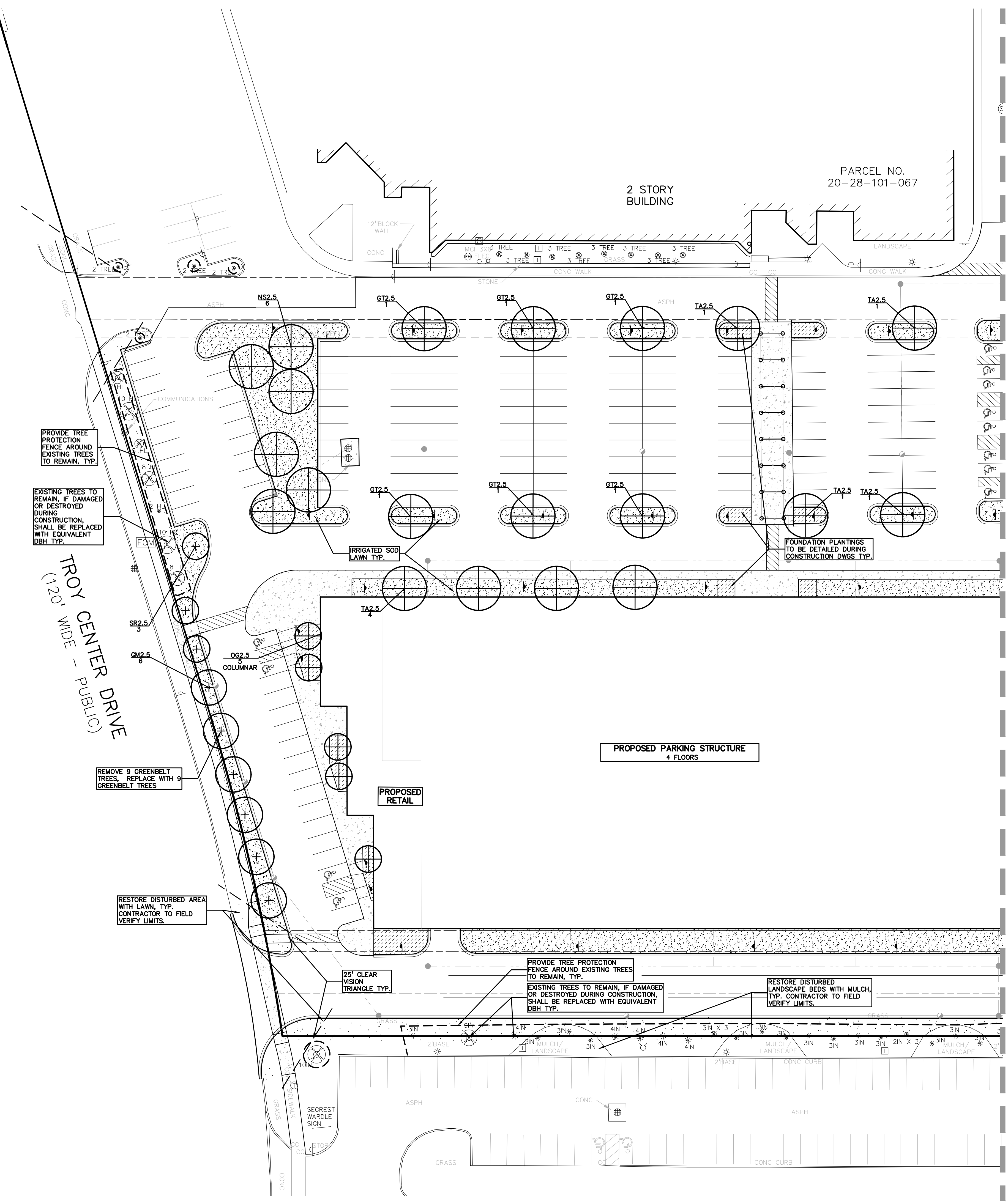
L-1.1

KEY:

- = PARKING LOT TREES
- = RESTORE LAWN
- = IRRIGATED SOD LAWN
- = FOUNDATION PLANTINGS TO BE DETAILED DURING CONSTRUCTION DWGS (TO BE IRRIGATED)
- = EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCE

PLANT LIST FOR L-1.1

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	GM2.5	Magyar Ginkgo	<i>Ginkgo biloba 'Magyar'</i>	2.5" Cal.	B&B
6	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos f. inermis 'Skycole'</i>	2.5" Cal.	B&B
6	NS2.5	Black Gum	<i>Nyssa sylvatica</i>	2.5" Cal.	B&B
5	QG2.5	Skinny Genes Oak-columnar	<i>Quercus alba 'JFS-KW2QX' P.A.F. (col.fastigiata)</i>	2.5" Cal.	B&B
3	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata 'Ivory Silk'</i>	2.5" Cal.	B&B
8	TA2.5	American Sentry Linden	<i>Tilia americana 'American Sentry'</i>	2.5" Cal.	B&B
34		TOTAL DECIDUOUS TREES			



SEE SHEET L-1.2 FOR CONTINUATION

S:\PROJECTS\2022\2022-1053_NEW_TOWER_TROY\LANDSCAPE_PLAN\L-1.1 LANDSCAPE PLAN-211031.DWG PLOT DATE: 4/27/2023 10:46:46 AM



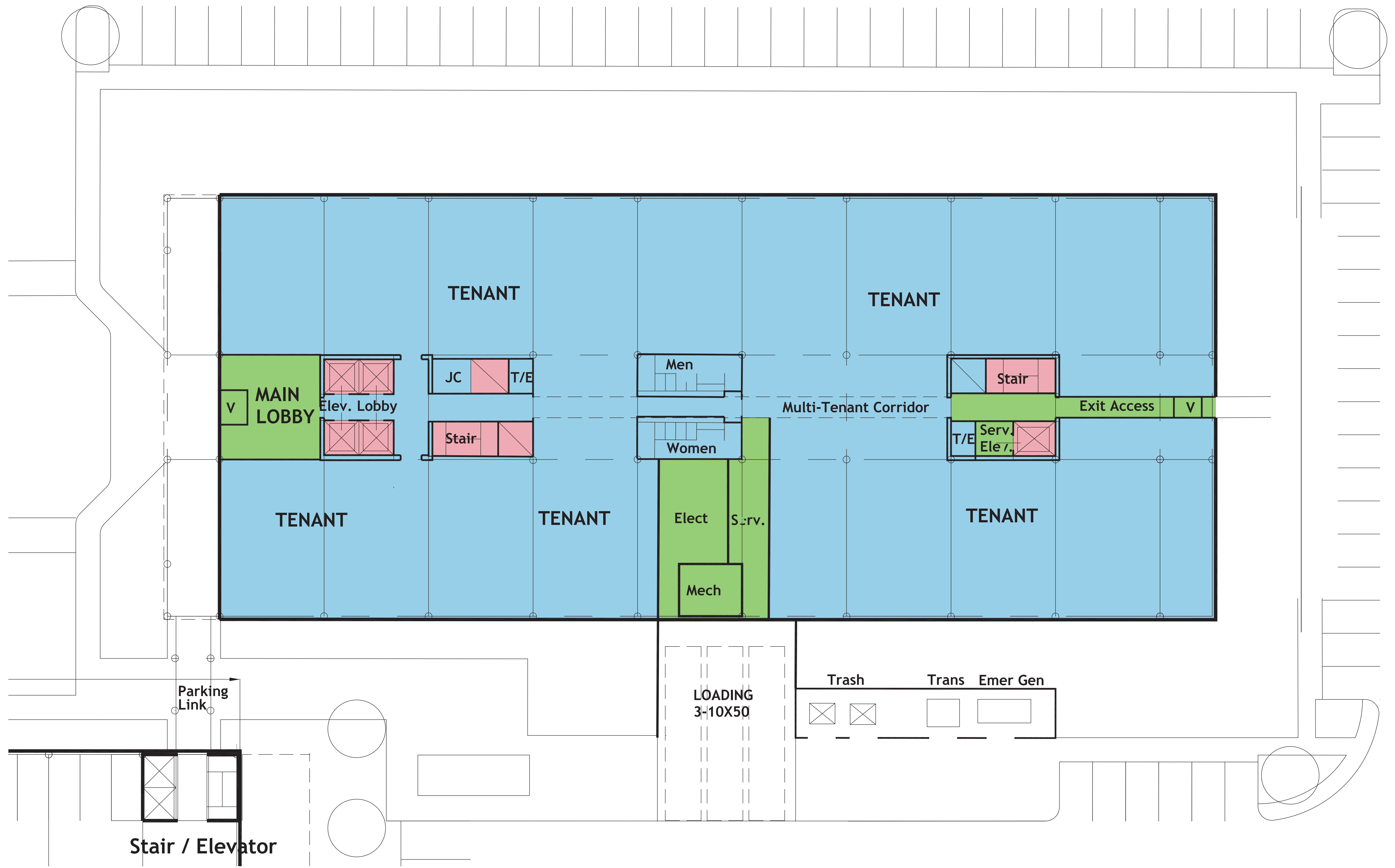
PROPOSED NEW OFFICE BUILDING - PARKING STRUCTURE AND RETAIL AT PNC CENTER IN CONTEXT



PROPOSED OFFICE BUILDING - VIEW FROM I-75

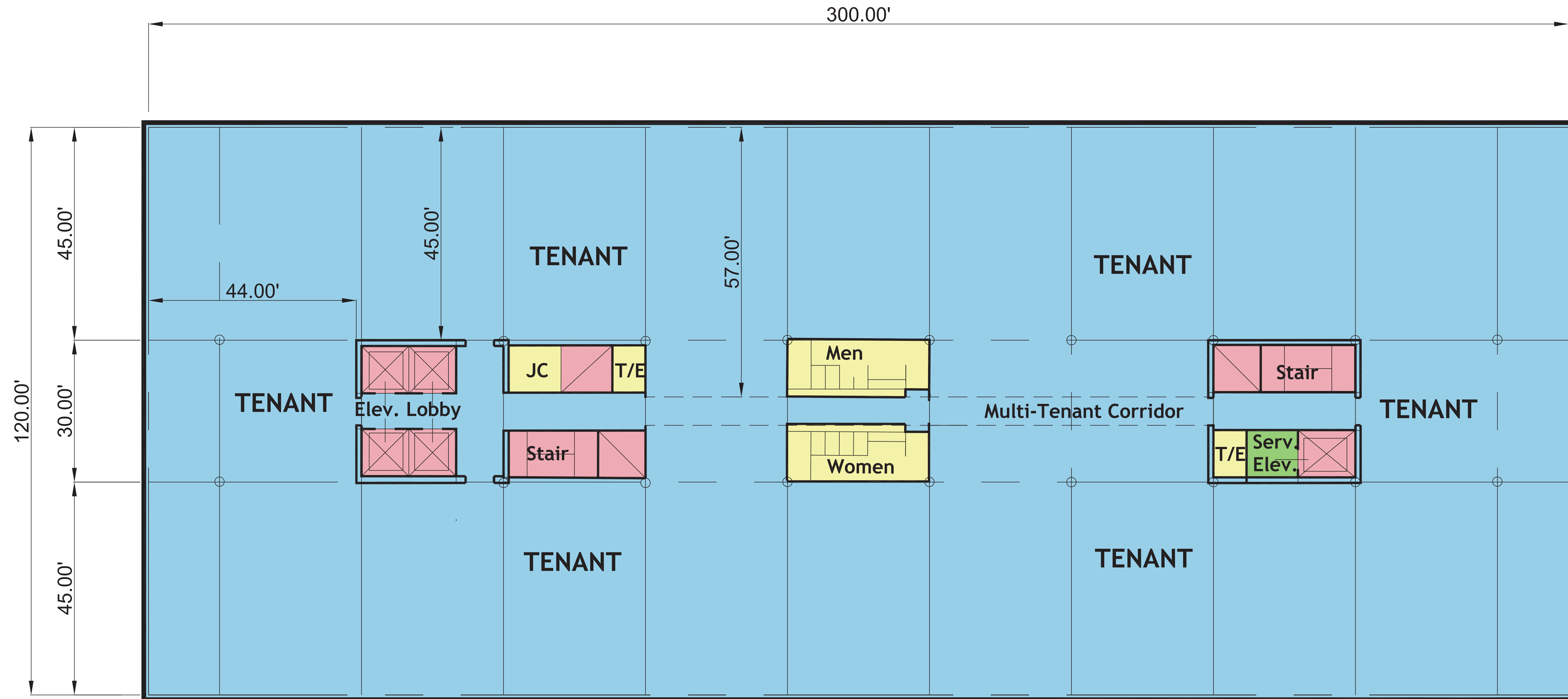


PROPOSED OFFICE BUILDING & PARKING STRUCTURE - LOOKING EAST



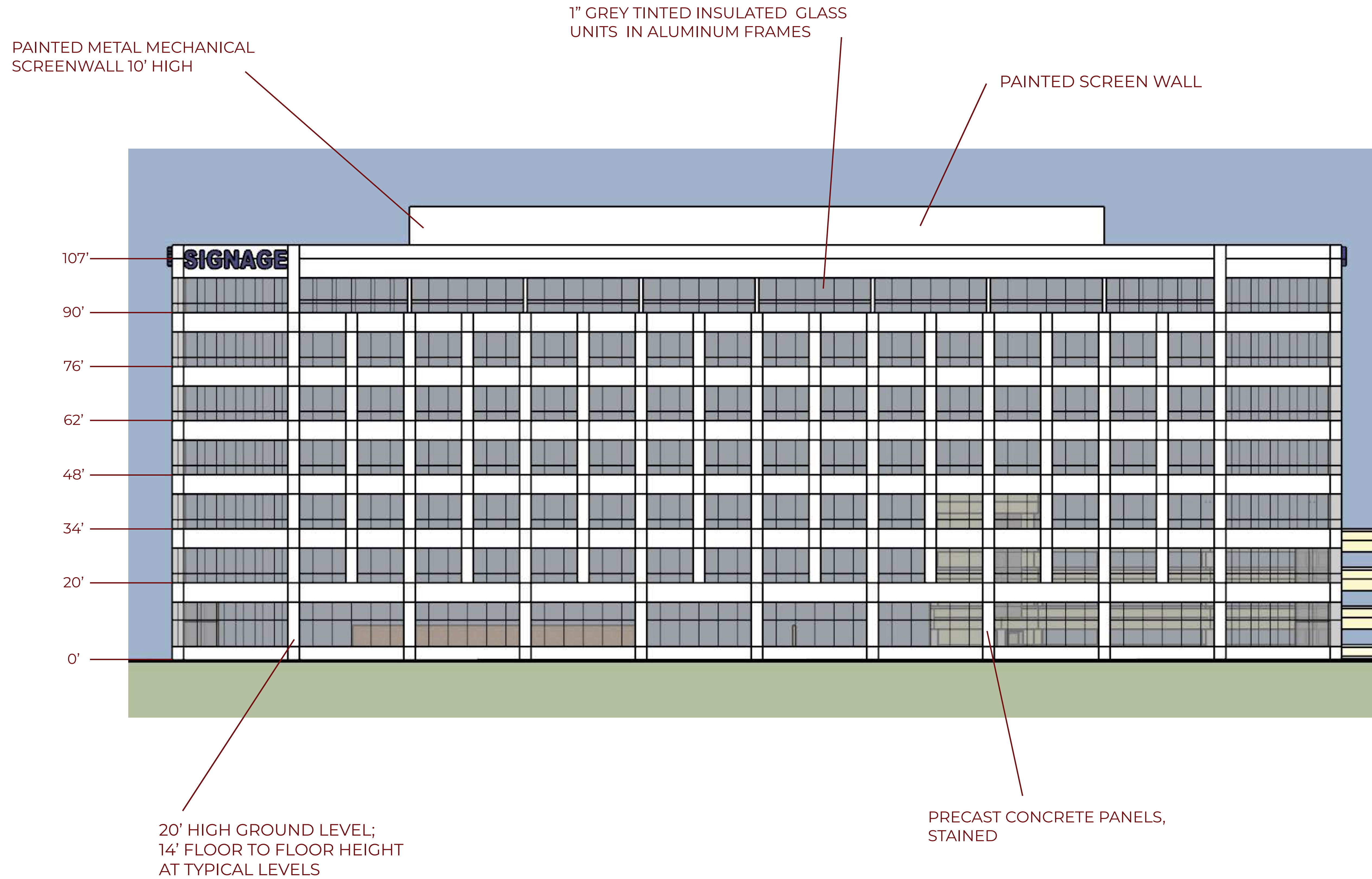
FIRST FLOOR PLAN





TYPICAL FLOOR PLAN (2nd - 7th)





NORTH / SOUTH ELEVATION

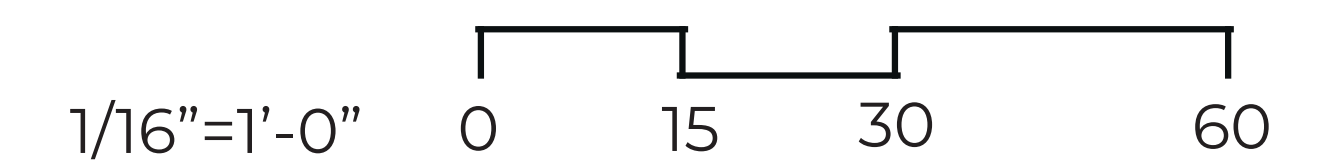
TRANSPARENCY CALCULATION

ENTIRE FAÇADE:

FAÇADE AREA:	32,090 SF
PRECAST CONCRETE:	14,394 SF (44.9%)
SPANDREL GLASS:	5,772 SF (18.0%)
VISION GLASS:	11,924 SF (37.7%)

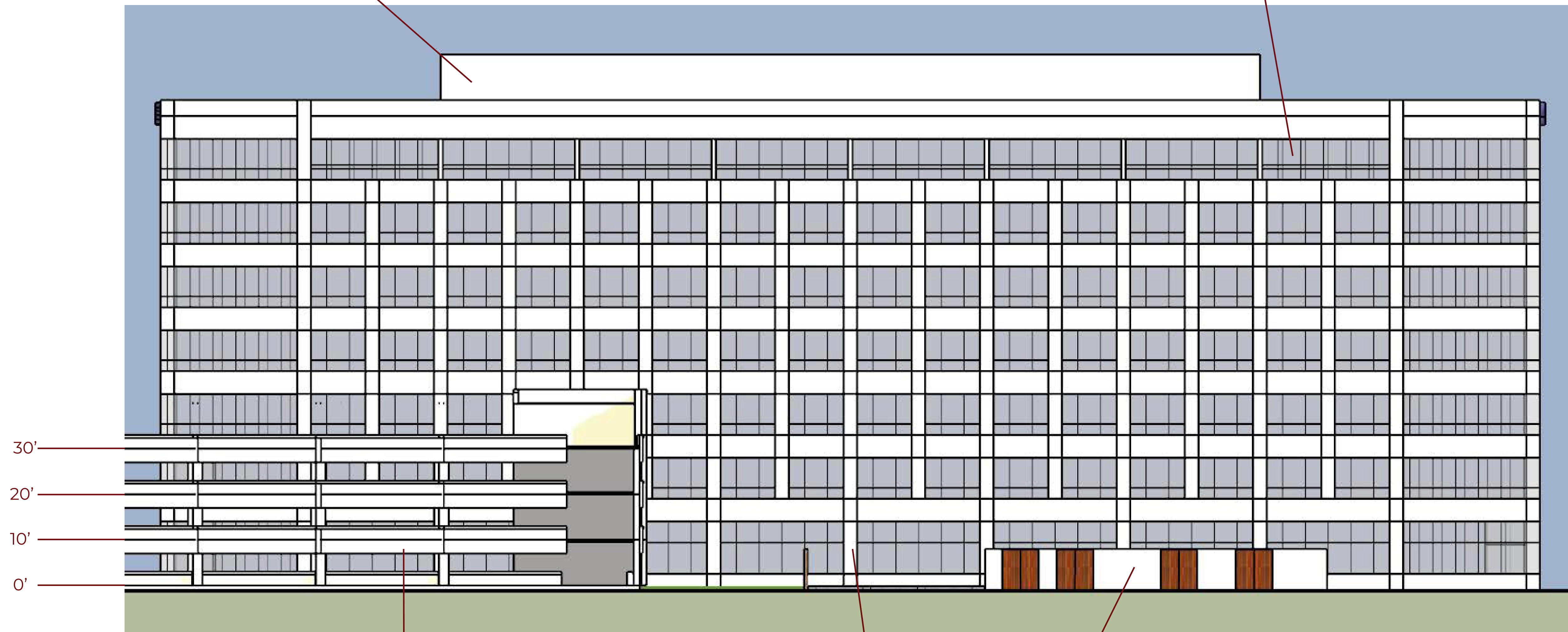
GROUND LEVEL ONLY (20' FLR TO FLR)

FAÇADE AREA:	600 SF (FOR EACH TYP. BAY)
PRECAST CONCRETE:	282 SF (47%)
VISION GLASS:	318 SF (53%)



PAINTED METAL MECHANICAL
SCREENWALL 10' HIGH

1" GREY TINTED INSULATED GLASS
UNITS IN ALUMINUM FRAMES



NORTH / SOUTH ELEVATION

TRANSPARENCY CALCULATION

ENTIRE FAÇADE:

FAÇADE AREA:	32,090 SF
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GROUND LEVEL ONLY (20' FLR TO FLR)

FAÇADE AREA:	600 SF (FOR EACH TYP. BAY)
PRECAST CONCRETE:	282 SF (47%)
VISION GLASS:	318 SF (53%)

30'
20'
10'
0'

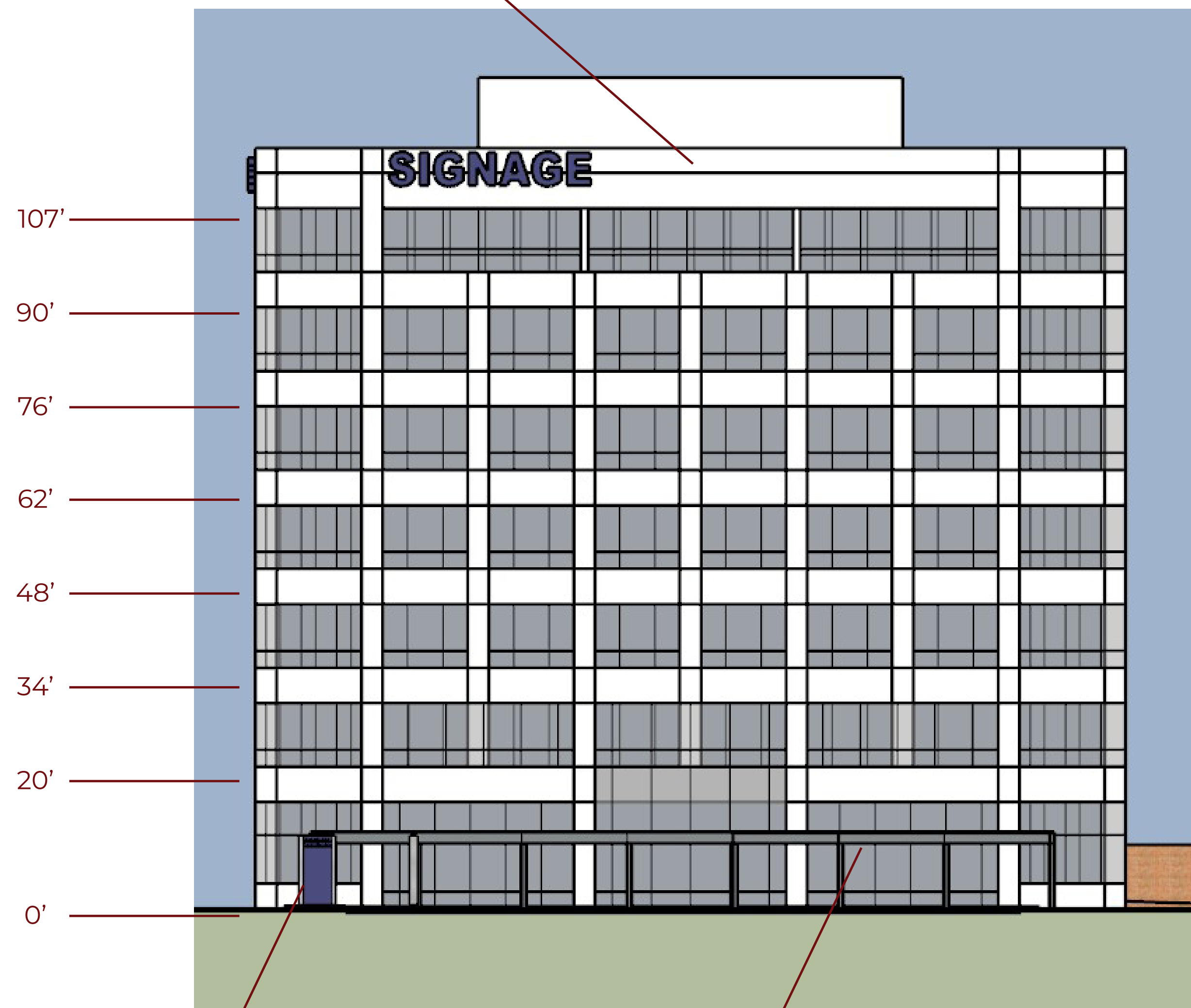
STAINED STRUCTURAL PRECAST
CONCRETE PARKING STRUCTURE
30' TO TOP LEVEL

8' HIGH, STAINED PRECAST CONCRETE TRASH
& EMERGENCY GENERATOR ENCLOSURE

PRECAST CONCRETE PANELS,
STAINED



PAINTED METAL MECHANICAL SCREENWALL 10' HIGH



NEW PYLON SIGNAGE TO MATCH EXISTING CAMPUS SIGNAGE

PAINTED STEEL PERGOLA IN FOREGROUND

EAST / WEST ELEVATION

TRANSPARENCY CALCULATION

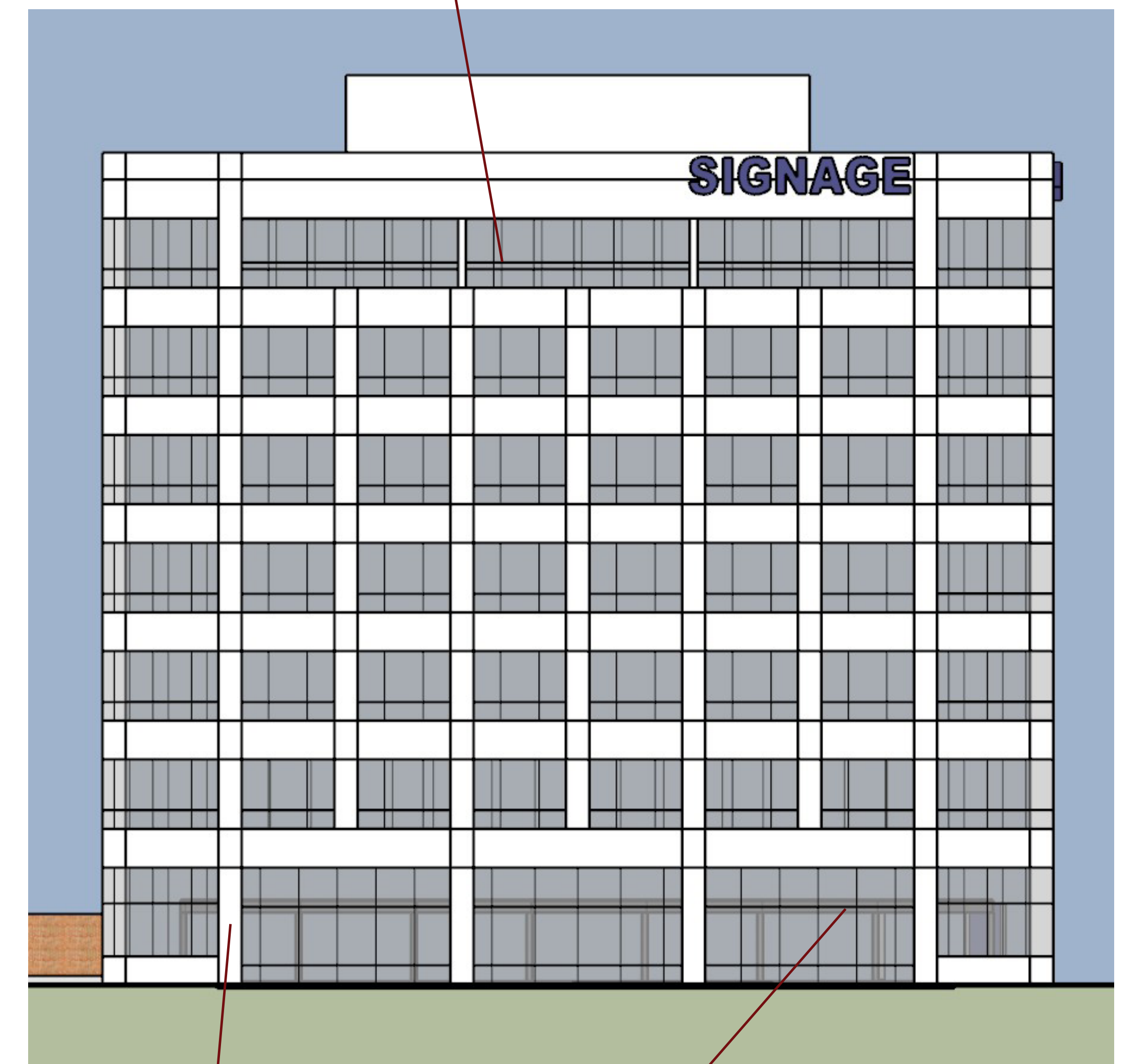
ENTIRE FAÇADE:

FAÇADE AREA:	16,045 SF
PRECAST CONCRETE:	6,868 SF (43.4%)
SPANDREL GLASS:	2,844 SF (17.7%)
VISION GLASS:	6,233 SF (38.9%)

GROUND LEVEL ONLY (20' FLR TO FLR) :

FAÇADE AREA:	600 SF (FOR EACH TYP. BAY)
PRECAST CONCRETE:	282 SF (47%)
VISION GLASS:	318 SF (53%)

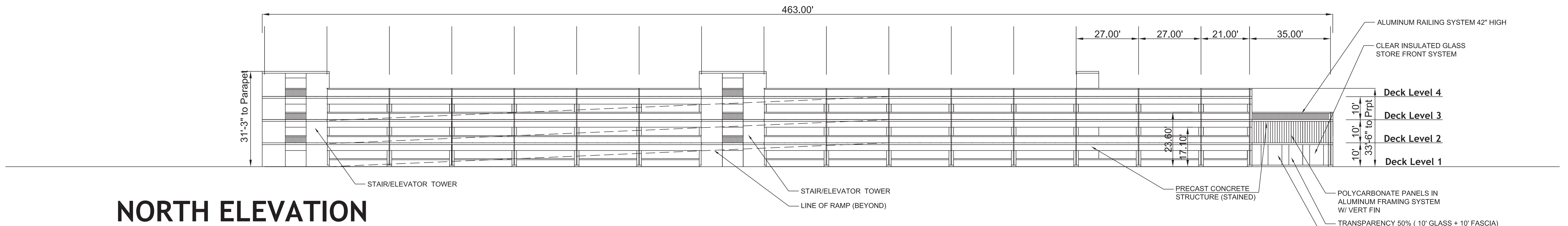
1" GREY TINTED INSULATED GLASS UNITS IN ALUMINUM FRAMES



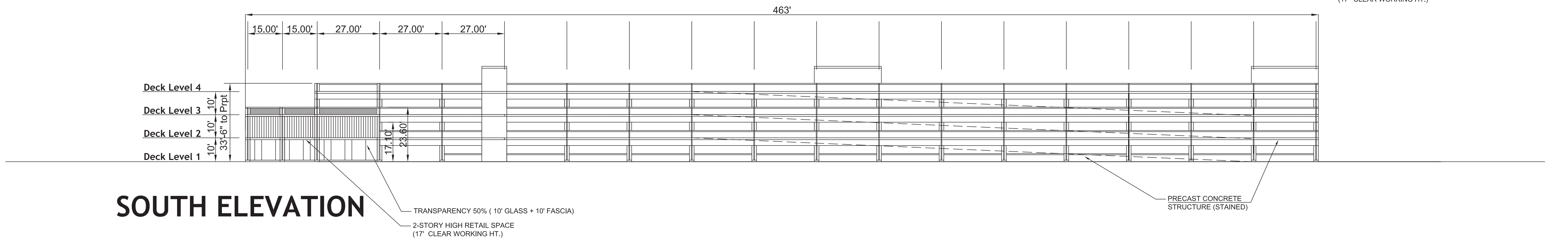
1" CLEAR LOW E GLASS UNITS IN ALUMINUM FRAMES

PRECAST CONCRETE PANELS, STAINED

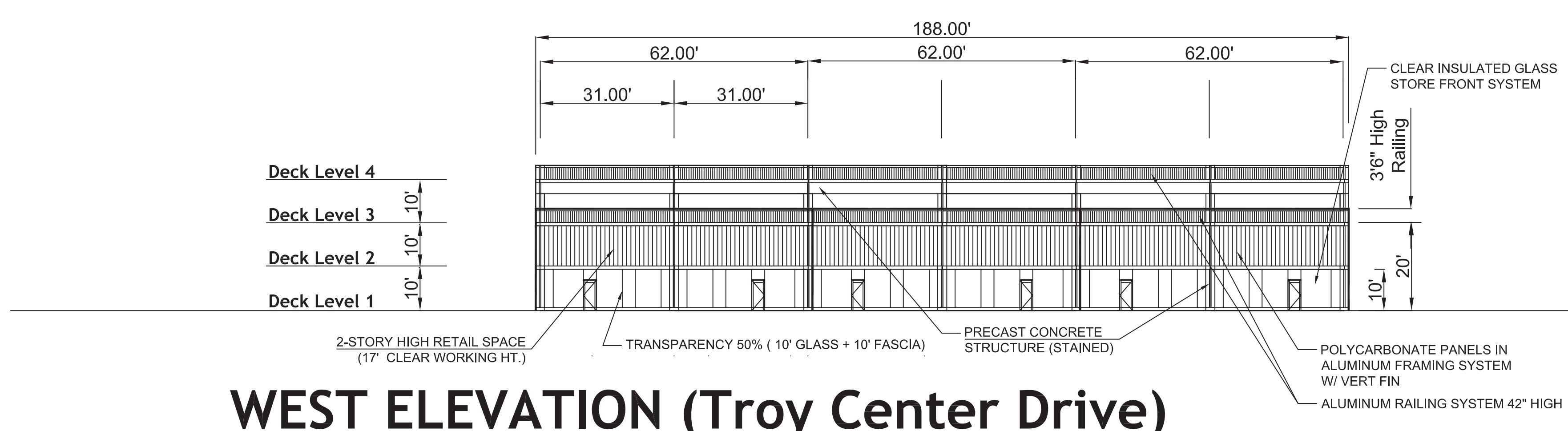




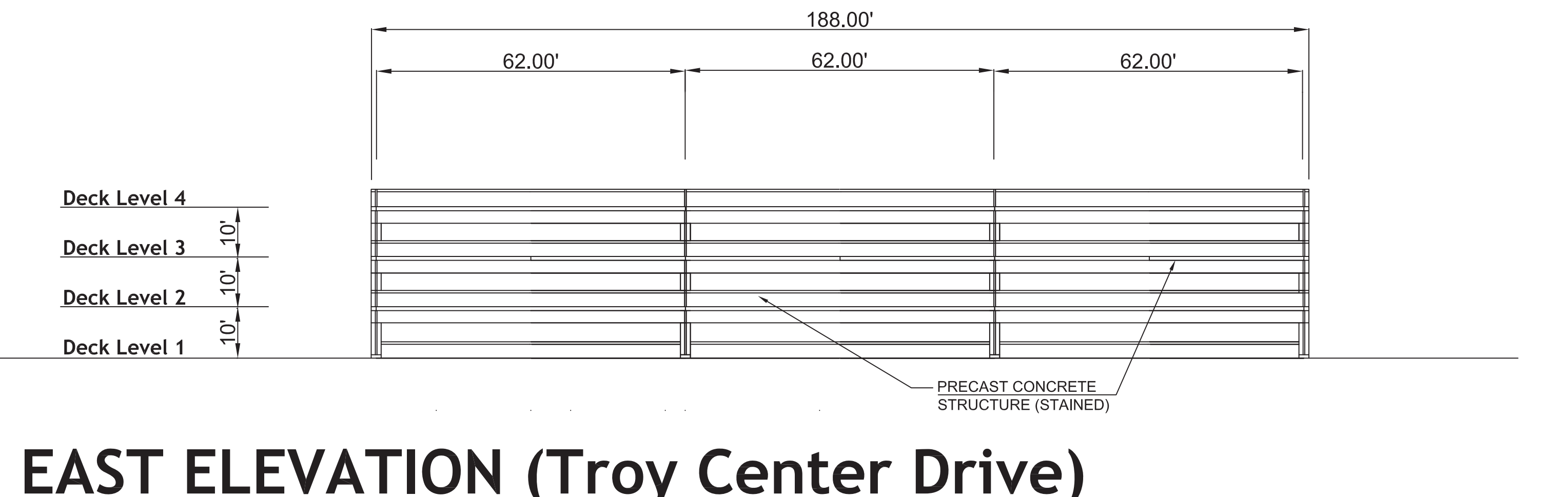
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION (Troy Center Drive)

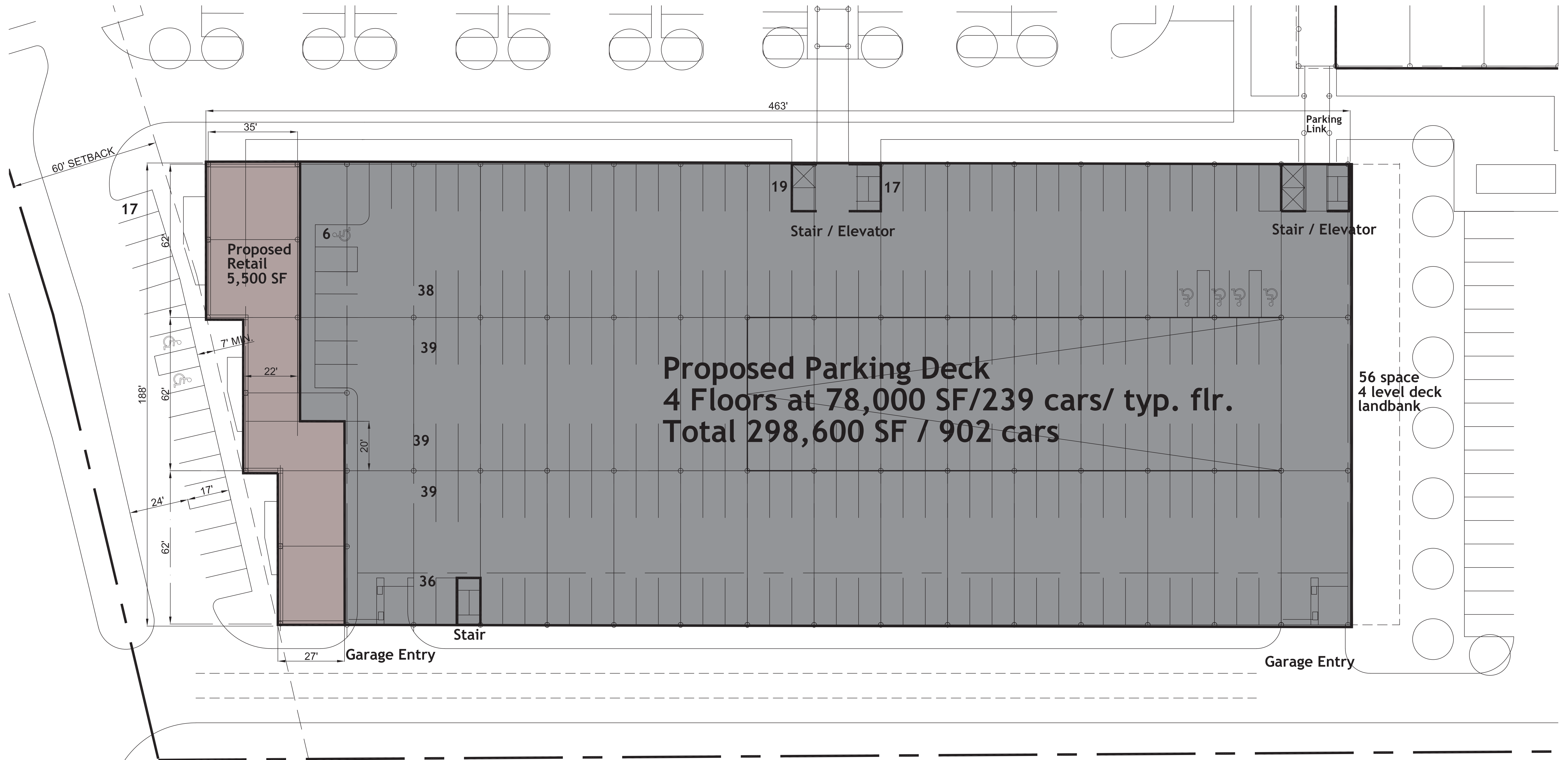


EAST ELEVATION (Troy Center Drive)

PNC CENTER

Proposed Parking Structure & Retail Elevations





PNC CENTER Garage Floor Plan





PROPOSED OFFICE BUILDING, PARKING STRUCTURE & RETAIL - RETAIL VIEW [01]



PROPOSED OFFICE BUILDING, PARKING STRUCTURE & RETAIL - RETAIL VIEW [02]

MEMO

rszantner@yamasaki-inc.com

To: Robert Szantner
Yamasaki

From: Julie M. Kroll, PE, PTOE
Fleis & VandenBrink

Date: January 31, 2023

Re: PNC Center Development
Troy, Michigan
Shared Parking Study

INTRODUCTION

This memorandum presents the results of a shared parking evaluation for the proposed development, located adjacent to the existing PNC Center at 755 W. Big Beaver Road in the City of Troy, Michigan. The proposed development includes construction of an office building and adjacent parking garage. A parking analysis was performed for this site to calculate the recommended parking supply to accommodate the projected parking demand with the addition of the proposed office building.

PARKING ANALYSIS

A shared parking analysis was performed for the PNC Center site in accordance with the requirements outlined in the City of Troy Zoning Ordinance Section 13.06 which states that shared parking can be considered where the applicant can demonstrate that the peak usage will occur at different periods of the day. In order to demonstrate shared parking compatibility, a shared parking analysis is required utilizing the methodologies of the Urban Land Institute Shared Parking Manual (3rd Edition), however the underlying parking space requirements for each use shall be based on the City of Troy parking requirements.

PARKING DEMAND

The first step in the parking analysis included calculating the parking requirements based upon the underlying City of Troy requirements for each of the land uses. The square footage used in the analyses is based upon those values recorded with the City of Troy assessment of the property and the projected Gross Floor Area of the proposed new office building.

Land Use	Size	Occupancy Notes
Proposed Office Building	204,000 SF GFA	100% Peak Occupancy
PNC Center-General Office	571,430 SF GFA	70% Peak Occupancy
PNC Center-Medical Office	30,075 SF GFA	70% Peak Occupancy
Drive-In Bank	3,786 SF GFA	100% Peak Occupancy
Retail	1,288 GFA	PNC Center Internal Use
Granite City Restaurant	296 Seats	100% Peak Occupancy
Friends Café	95 Seats	PNC Center Internal Use
Ruth's Chris Steak House	400 Seats	Open 4PM to 9PM Daily

The analysis was performed for this site considering three (3) scenarios:

- City Ordinance Requirements
- City Ordinance-Shared Parking 100% Occupancy for Office uses
- City Ordinance-Shared Parking Actual Occupancy for Office uses

The City Ordinance allows for the evaluation of shared parking wherein the parking demand is calculated according to the ordinance rates and was distributed according to the Urban Land Institute (ULI) in Shared Parking, 3rd Edition distributions by month, day, and hour to determine the projected peak hour shared parking demand for the PNC Center. The shared parking methodology assumes that a single parking space may be utilized by two or more individual land uses without conflict based on the hourly, daily, and seasonal variations in parking demand. Shared parking as it applies to this site allows for the restaurant uses to utilize the parking spaces occupied by the PNC Center office uses during off-peak periods.

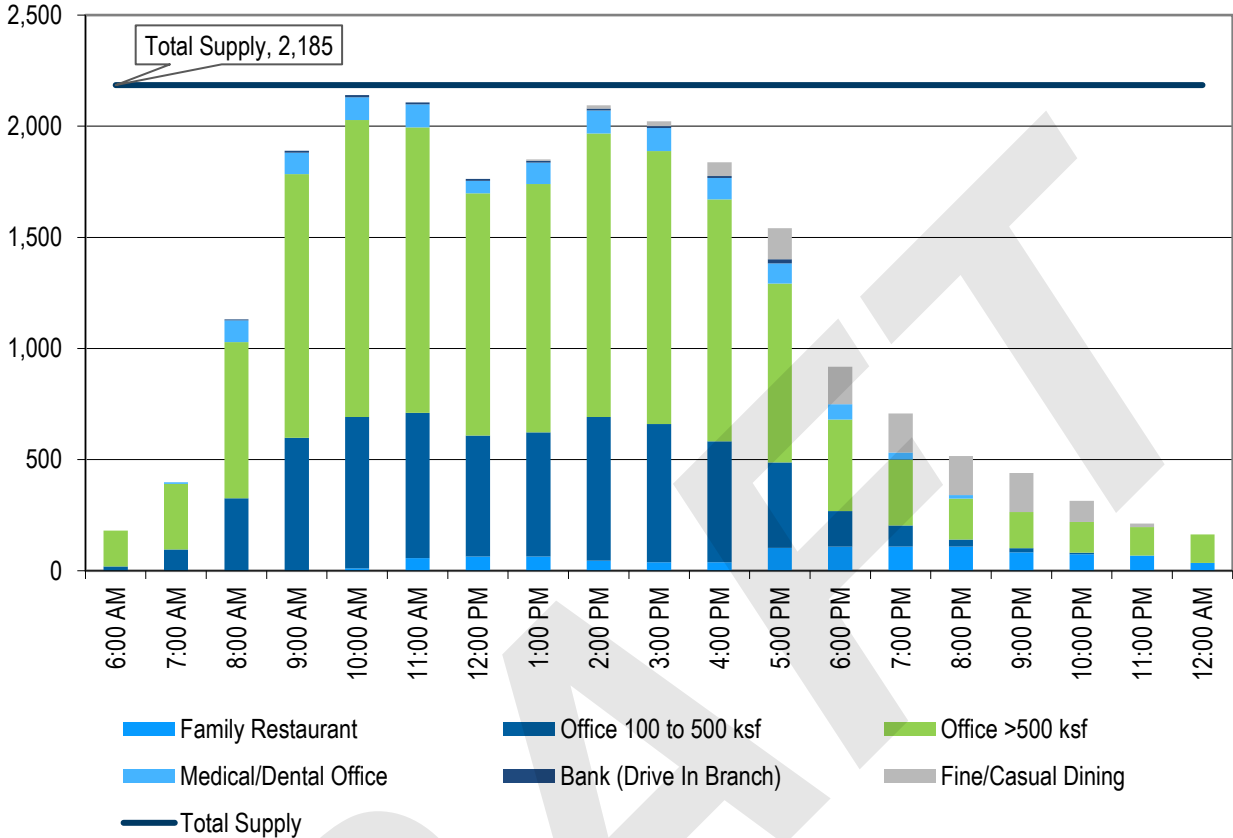
The parking demand calculations for this PUD are summarized in **Table 1** which show the Ordinance requirements and the shared parking reduction in parking demand.

TABLE 1: PARKING DEMAND SUMMARY

Land Uses	Size	City Ordinance Rates	City Ordinance Requirements	Shared Parking Peak Demand (11:00 AM)	Shared Parking w/Actual Occupancy
Proposed Office (General)	204,000 SF GFA	1 space per 300 SF GFA	680	646	680
PNC Office (General)	571,430 SF GFA	1 space per 300 SF GFA	1,905	1,819	1,334
PNC Office (Medical/Dental)	30,075 SF GFA	1 space per 200 SF GFA	150	149	104
Bank	3,786 SF GFA	1 space per 200 SF GFA	19	9	9
Retail	1,288 SF GFA	1 space per 250 SF GFA	5	0	0
Granite City Restaurant	296 Seats	1 space per 2 seats	148	11	11
Friends Café	95 Seats	1 space per 2 seats	48	0	0
Ruth's Chris Steak House	400 Seats	1 space per 2 seats	200	0	0
Total Parking (spaces)			3,155	2,845	2,138
Proposed Parking Supply			2,185	2,185	2,185
Difference			-970	-569	47

The results of the analysis show that based upon the actual occupancy of the PNC Tower at 70%, the projected peak hour (11:00AM) parking demand for this site can be accommodated within the proposed parking supply for this site. The hourly variations in the peak parking demand are shown in **Exhibit 1**.

EXHIBIT 1: WEEKDAY PARKING DEMAND BY HOUR



CONCLUSIONS

- The results of the analysis show that the projected parking demand for this site can be accommodated with the parking as proposed.

Any questions related to this memorandum, study, analyses, and results should be addressed to Fleis & VandenBrink.

Attached: Shared Parking Analysis