



500 West Big Beaver
Troy, MI 48084
troymi.gov

248.524.3364
planning@troymi.gov

PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

David Lambert, Chairman, Marianna Perakis, Vice Chairman
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,
Lakshmi Malalahalli and John J. Tagle

June 27, 2023

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – June 13, 2023
4. PUBLIC COMMENT – For Items Not on the Agenda

STREET VACATION

5. PUBLIC HEARING - STREET VACATION REQUEST (SV JPLN2023-001) – Request to vacate an unconstructed alley, approximately 18-feet wide by 115-feet long, West of John R and south of Larchwood, Abutting PIN 88-20-26-433-021 (1980 Larchwood) to the west, PIN 88-20-26-433-020 to the south and PIN 88-20-26-433-019 the east, Platted as part of John R Garden Subdivision, Located between Lot 259 to the west and Lots 65 through 70 to the east, in Section 26.

SPECIAL USE AND PRELIMINARY SITE PLAN APPROVAL

6. SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0002) - Proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 & -021), Section 26, Currently Zoned IB (Integrated Industrial & Business) District

OTHER ITEMS

7. PLANNING COMMISSION BY-LAWS
8. PUBLIC COMMENT- For Items on the Agenda
9. PLANNING COMMISSION COMMENT
10. ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Lambert called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on June 13, 2023, in the Council Chamber of the Troy City Hall. Chair Lambert and Vice Chair Perakis presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Marianna Perakis
- John J. Tagle

Absent:

- Lakshmi Malalahalli

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- R. Brent Savidant, Community Development Director
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2023-06-031

- Moved by: Krent
- Support by: Fox

RESOLVED, To approve the Agenda as prepared.

- Yes: All present (8)
- Absent: Malalahalli

MOTION CARRIED

3. APPROVAL OF MINUTES – May 23, 2023

Resolution # PC-2023-06-032

- Moved by: Buechner
- Support by: Faison

RESOLVED, To approve the minutes of the May 23, 2023 Regular meeting as submitted.

Yes: All present (8)
 Absent: Malalahalli

MOTION CARRIED

4. **PUBLIC COMMENT** – For Items Not on the Agenda

There was no one present who wished to speak.

PRELIMINARY SITE PLAN APPROVALS

5. **PRELIMINARY SITE PLAN REVIEW (SP JPLN2023-0004)** – Proposed Commercial Retail Building, South side of Big Beaver, East of Crooks, 911 W. Big Beaver Road (PIN 88-20-28-101-032), Section 28, Currently Zoned BB (Big Beaver) District

Mr. Carlisle reviewed the Preliminary Site Plan application for the proposed Crooks and Big Beaver Retail. He said the applicant resubmitted two separate applications since last presented to the Planning Commission in March. Mr. Carlisle referenced the display screen that showed the subject site outlined in red.

Mr. Carlisle addressed site improvements, landscaping, parking, architectural features, building materials, photometrics plan and the applicant’s request to waive requirements for the build-to-line for Building A and a loading space. He stated the application meets the Big Beaver Form Based District requirements.

Mr. Carlisle asked the Planning Commission to discuss the following items:

- Building placement waiver request.
- Loading space waiver.
- Compliance with Section 5.04.E Big Beaver Design Standards.
- Compliance with Section 8.06 Site Plan Design Review Standards.
- Architecture and material use.

Mr. Carlisle said if the Planning Commission grants approval, the application should be subject to the following conditions as part of Final Site Plan approval:

- Add an additional street tree.
- Reduce lighting levels along the Big Beaver and eastern property line.
- Show building lights.

Arkan Jonna of A.F. Jonna Development was present. Mr. Jonna said the project engineer, architect and builder are present in the audience this evening to answer any questions. He said they would comply with the conditions cited in the Planning Consultant report dated May 22, 2023.

There was discussion, some comments related to:

- Screening of roof mechanical equipment.
- Signage in relation to visibility of retail from street level.
- Locations of outdoor restaurant patios.
- Waiver request for build-to-line setback requirement.
- Potential tenants.
- Renewable energy resources.
- Architectural features.
- City Traffic Consultant (OHM) comments noted in its review memorandum dated June 7, 2023.

Eric Williams of Stonefield Engineering and Design said the waiver request for the build-to-line setback requirement is because of an existing Consumers Powers easement. He addressed locations of outdoor patios for restaurant tenants and alternative locations to serve loading/unloading needs in lieu of a designated space. Mr. Williams said they have no objections to complying with the concerns noted by OHM and would be working also with the Road Commission of Oakland County (RCOC) for compliance. He said the number of parking spaces are based on speculative tenancy.

Kevin Biddison of Biddison Architecture addressed renewable energy resources, citing the use of high-energy glass, insulation and shading of the roof area and a light color scheme. Mr. Biddison said the similar brick color and limestone accent would complement the Kelly Services building.

Chair Lambert opened the floor for public comment. Acknowledging no one was present to speak, Chair Lambert closed the floor for public comment.

Resolution # PC-2023-06-033

Moved by: Faison

Seconded by: Fox

RESOLVED, That Preliminary Site Plan Approval for the proposed Commercial Retail Building, South side of Big Beaver, east of Crooks, 911 W. Big Beaver, Section 28, Currently Zoned BB (Big Beaver) District, be granted, subject to the following conditions:

1. Add one additional street tree along Big Beaver.
2. Reduce lighting levels along Big Beaver and the eastern property line.
3. Provide details for building lights prior to Final approval.

Yes: All present (8)

Absent: Malalahalli

MOTION CARRIED

6. PRELIMINARY SITE PLAN REVIEW (SP JPLN2023-0005) – Proposed Commercial Retail Building, South side of Big Beaver, East of Crooks, 999 W. Big Beaver Road (PIN 88-20-28-101-034), Section 28, Currently Zoned BB (Big Beaver) District

Mr. Carlisle reviewed the Preliminary Site Plan application for the proposed Crooks and Big Beaver Mixed Use. He recapped the applicant resubmitted two separate applications since last presented to the Planning Commission in March. Mr. Carlisle referenced the display screen that showed the subject site outlined in yellow.

Mr. Carlisle addressed site improvements, landscaping, architectural features, building materials and lighting. He noted the Kelly Services building will remain in its current function as an office. Mr. Carlisle addressed the applicant's request to waive requirements for the building setback and a loading space. Mr. Carlisle addressed the number of parking spaces and the applicant's request for shared parking, which if approved would be reviewed in its entirety with any future development. He stated the application meets the Big Beaver Form Based requirements.

Mr. Carlisle referenced OHM comments in its review memorandum dated June 7, 2023 as relates to the development potentially being constructed concurrently and minor items to be addressed by the applicant.

Mr. Carlisle asked the Planning Commission to discuss the following items:

- Building placement waiver requests.
- Loading space waiver.
- Compliance with Section 5.04.E Big Beaver Design Standards.
- Compliance with Section 8.06 Site Plan Review Design Standards.
- Architecture and material use.
- Shared parking reduction.

Mr. Carlisle said if the Planning Commission grants approval, the application should be subject to the following conditions as part of Final Site Plan approval:

- Provide bicycle parking.
- Show building lights.

There was discussion, some comments related to:

- Shared parking.
 - Temporary walks or pedestrian features if development occurs concurrently.
 - Number of spaces provided.
 - Location with respect to Kelly Services building and new buildings.
- Current occupancy of Kelly Services.
- Bicycle parking requirement.
- Future development.

Arkan Jonna of A.F. Jonna Development was present. Mr. Jonna said the project engineer, architect and builder are present in the audience this evening to answer any questions.

Eric Williams of Stonefield Engineering and Design addressed shared parking in relation to the retail buildings and pedestrian walkways. Mr. Williams said they would work with the City Traffic Consultant (OHM) to address the concern cited in its review with respect to the two access drives along the south side for loading zones.

Chair Lambert opened the floor for public comment. Acknowledging no one was present to speak, Chair Lambert closed the floor for public comment.

Mr. Jonna said they resubmitted the plans so they could start with the retail portion of the development. He said they plan to construct the development simultaneously and would be conscientious of the parking situation throughout construction.

Resolution # PC-2023-06-034

Moved by: Fox
 Seconded by: Hutson

RESOLVED, That Preliminary Site Plan Approval for the proposed Commercial Retail Building, South side of Big Beaver, east of Crooks, 999 W. Big Beaver, Section 28, Currently Zoned BB (Big Beaver) District, be granted, subject to the following conditions:

1. Provide bicycle rack and building light details prior to Final approval, both of which to the satisfaction of City staff.
2. In the event there is not a simultaneous development of the parcels, that temporary accoutrements be placed on the shared parking to ensure the safety of pedestrians.

Yes: All present (8)
 Absent: Malalahalli

MOTION CARRIED

OTHER ITEMS

7. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

There were general comments, some relating to:

- Attendance at Michigan Association of Planning Planners’ Night Out at Woodbridge Pub in Detroit; architecture of homes in area.
- List of sustainability resources implemented by the City.

Chair Lambert thanked Vice Chair Perakis for chairing the May 23, 2023 Planning Commission meeting.

Mr. Savidant announced the City Council is meeting on June 26 to address the Master Plan and that the meeting is open to public.

9. ADJOURN

The Regular meeting of the Planning Commission adjourned at 7:49 p.m.

Respectfully submitted,

David Lambert, Chair

Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2023/2023 06 13 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2023/2023%2006%2013%20Draft.docx)

ITEM #5

DATE: June 14, 2023

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - STREET VACATION REQUEST (SV JPLN2023-001) – Request to vacate an unconstructed alley, approximately 18-feet wide by 115-feet long, West of John R and south of Larchwood, Abutting PIN 88-20-26-433-021 (1980 Larchwood) to the west, PIN 88-20-26-433-020 to the south and PIN 88-20-26-433-019 the east, Platted as part of John R Garden Subdivision, Located between Lot 259 to the west and Lots 65 through 70 to the east, in Section 26.

GENERAL INFORMATION

Name of applicant(s):

The applicant is property owner Dennis Bostick of Bostick Real Estate, LLC.

History of Right of Way:

John R Garden Subdivision was approved by the Troy Township Board on September 18, 1923. Sections of the alleyway have been vacated over time. Aerial photography indicates this is the last remaining portion of the alley in the immediate area that has not been vacated.

Length and width of right of way.

The platted public walkway is 18 feet wide and approximately 115 feet in length. The applicant propose to vacate the alley in its entirety.

ANALYSIS

Reason for street vacation (as stated on the Street/Alley Vacation Application):

The application states the reason for vacation is: "To allow for the construction of a Kroger retail fuel center".

Impact on access to existing lots or buildings (including emergency service vehicles):

Vacation of the alley will not impact access to exiting lots or buildings.

Impact on Utilities

There are no public utilities located within the alley. No utilities were identified during the field work for the survey.

Future Land Use Designation:

The area is designated on the Future Land Use Plan as The Smart Zone.

SUMMARY

City Management has no objections to the proposed vacation request.

Attachments:

1. Maps
2. Application

G:\STREET VACATION\SV_JPLN2023-001_ALLEY VACATION SEC\SV_JPLN2023-001 Alley Vacation PC Memo 06 27 2023.doc

PROPOSED RESOLUTION

PUBLIC HEARING - STREET VACATION REQUEST (SV JPLN2023-001) – Request to vacate an unconstructed alley, approximately 18-feet wide by 115-feet long, West of John R and south of Larchwood, Abutting PIN 88-20-26-433-021 (1980 Larchwood) to the west, PIN 88-20-26-433-020 to the south and PIN 88-20-26-433-019 the east, Platted as part of John R Garden Subdivision, Located between Lot 259 to the west and Lots 65 through 70 to the east, in Section 26.

Resolution # PC-2023-06-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the street vacation request, to vacate an unconstructed alley approximately 18-feet wide by 115-feet long, abutting PIN 88-20-26-433-021 (1980 Larchwood) to the west, PIN 88-20-26-433-020 to the south and PIN 88-20-26-433-019 the east, Platted as part of John R Garden Subdivision, Located between Lot 259 to the west and Lots 65 through 70 to the east, in Section 26, be approved.

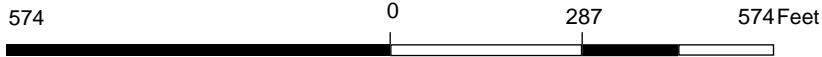
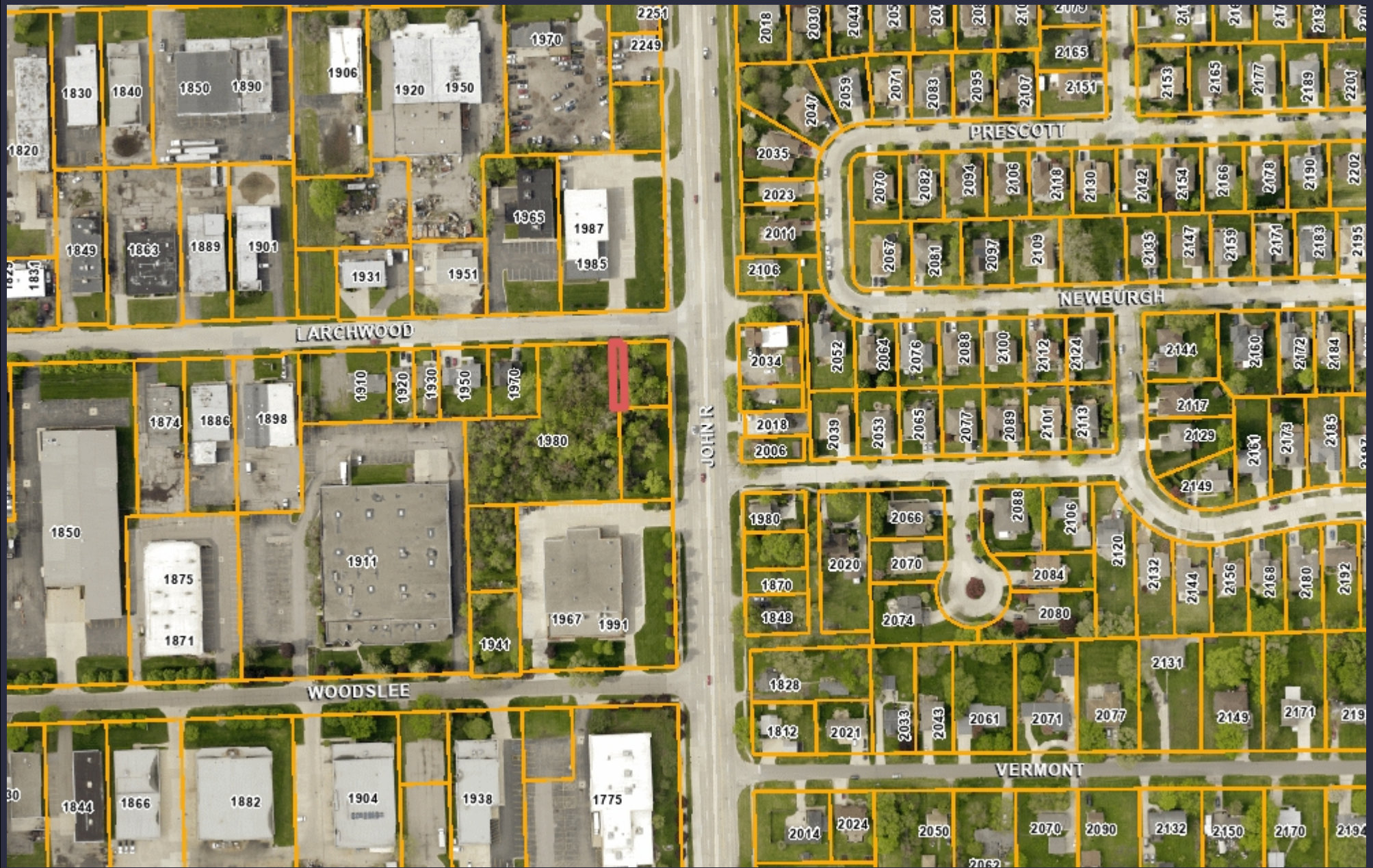
Yes:

Absent:

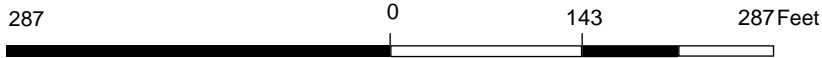
MOTION CARRIED / FAILED



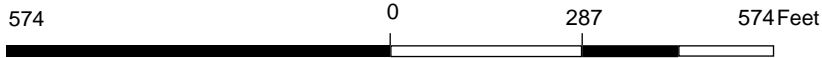
GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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CITY OF TROY STREET / ALLEY VACATION APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
248-524-3364
E-MAIL: planning@troymi.gov



VACATION APPLICATION FEE
\$500.00

ESCROW FEE
\$1,500.00

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE COMPLETE AND FILE **TWO (2) SIGNED** ORIGINAL APPLICATIONS, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

TO THE CITY COUNCIL:

I (WE), THE UNDERSIGNED, DO HEREBY RESPECTFULLY PETITION AND MAKE APPLICATION TO THE TROY CITY COUNCIL FOR VACATION OF THE RIGHT-OF-WAY OR EASEMENT WHICH IS DESCRIBED AS FOLLOWS:

#1. 18 foot wide alley (105 feet in length) lying west of and parallel to John R Road and abutting lots 65 through 70 and lots 259, and 260 of John R Gardens Subdivision, (Liber 31, Page 8 of the recorded plats of Oakland County, Michigan, T2N, R11E, Section 26 of the City of Troy.

#2. Vacation of 12' wide public utility easement per L.8421, Pg. 680

APPLICANT(S) FOR VACATION:

NAME <u>Dennis Bostick</u>	NAME _____
COMPANY <u>Bostick Real Estate, LLC</u>	COMPANY _____
ADDRESS <u>803 W. Big Beaver Road, Suite 101</u>	ADDRESS _____
CITY <u>Troy</u> STATE <u>MI</u> ZIP <u>48084</u>	CITY _____ STATE _____ ZIP _____
TELEPHONE <u>248.709.4001</u>	TELEPHONE _____
E-MAIL <u>dennisbostick@att.net</u>	E-MAIL _____

ADDRESS(S) AND/OR PARCEL NUMBER(S) OF PROPERTY OWNED BY APPLICANT(S) WHICH ABUTS OR INCLUDES THE AREA FOR WHICH VACATION IS REQUESTED: _____

PIN: 20-26-433-019, PIN: 20-26-433-020, PIN: 20-26-433-021

THIS REQUEST FOR VACATION IS MADE FOR THE FOLLOWING REASON(S): To allow for the construction of a Kroger retail fuel center.

Attach additional informational pages if necessary.

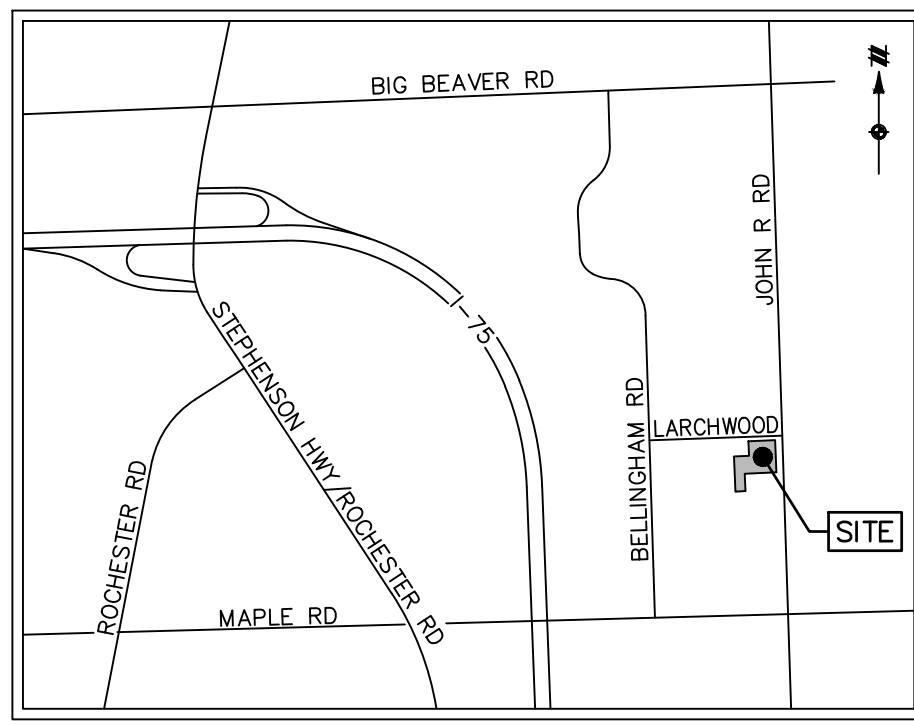
ATTACH A MAP INDICATING THE AREA FOR WHICH VACATION IS REQUESTED, THE LOCATION OF THE APPLICANT(S) PROPERTY AND OTHER ABUTTING PROPERTIES. (1"=200' minimum scale)

SIGNATURE OF APPLICANT(S):

Dennis Bostick DATE 5-26-23

DATE _____

ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP
NOT TO SCALE

SITE BENCHMARKS:

BM #1: ARROW ON FIRE HYDRANT IN WEST RIGHT OF WAY OF JOHN R ROAD
ELEVATION: 642.00 (NAVD88)

BM #2: ARROW ON FIRE HYDRANT IN NORTH RIGHT OF WAY OF LARCHWOOD DRIVE
ELEVATION: 641.57 (NAVD88)

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-019 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R. GARDEN SUB LOTS 66 TO 70 INCL EXC E 27 FT OF EACH TAKEN FOR JOHN R RD

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-020 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R. GARDEN SUB LOTS 60 TO 65 INCL EXC E 27 FT OF EACH TAKEN FOR JOHN R RD, ALSO 1/2 OF VAC ALLEY ADJ TO LOT 260, ALSO 1/2 OF VAC ARTHUR AVE ADJ TO LOT 60 3/15/90 COR L 11277 P 41

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-021 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R GARDEN SUB LOTS 257 TO 265 INCL, ALSO 1/2 VAC ALLEY ADJ TO S 10 FT OF LOT 259, ALSO 1/2 VAC ALLEY ADJ TO LOT 260, ALSO 1/2 OF VAC ARTHUR AVE ADJ TO LOTS 260 TO 265 INCL 5-27-88 FR 006 & 013 TO 018 3/15/90 COR L 11277 P 41

DESCRIPTION OF TAX PARCEL NUMBER 20-26-435-029 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R GARDEN SUB LOTS 308 & 309 5-27-88 FR 007 & 008

NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET, MEASURED BEARINGS AS SHOWN DIFFER FROM RECORD TITLE BEARINGS. VERTICAL DATUM IS BASED ON NAVD88.
- THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO MAP NUMBER 26125C0561G OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE JANUARY 16, 2009.
- WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- ZONING LETTER OR REPORT NOT PROVIDED AT THE DATE OF THE SURVEY.
- THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THERE WAS OBSERVED EVIDENCE OF SOIL BORINGS AT THE DATE OF SURVEY.
- THE SURVEYED PROPERTY CONTAINS NO PARKING STALLS AT THE DATE OF THE SURVEY.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS MAY EXIST THAT ARE NOT SHOWN HEREON.



EXHIBIT A -- LEGAL DESCRIPTION PER INFORMATIONAL TITLE REPORT ISSUED BY AMROCK, LLC, ORDER NO: C000126451, EFFECTIVE DATE: JANUARY 10, 2023:

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND AND STATE OF MICHIGAN:

LOTS 257, 258, 259, 260, 261, 262, 263, 264, 265 OF JOHN R. GARDEN SUBDIVISION, AS RECORDED IN LIBER 31, PAGE 8 OF PLATS, OAKLAND COUNTY RECORDS. TOGETHER WITH THE ONE HALF VACATED ALLEY ADJACENT TO LOT 259 AND 260 AND ONE HALF OF VACATED ARTHUR AVE ADJACENT TO LOTS 260 TO 265.

SCHEDULE B -- PART II (EXCEPTIONS) PER INFORMATIONAL TITLE REPORT ISSUED BY AMROCK, LLC, ORDER NO: C000126451, EFFECTIVE DATE: JANUARY 10, 2023:

- INTEREST OF JOHN P. LOSIER AS EVIDENCED IN WARRANTY DEED RECORDED NOVEMBER 5, 1979 IN LIBER 7663, PAGE 621. (AS TO LOTS 257, 258, 259) NOTE: JOHN P. LOSIER HAD A LAND CONTRACT INTEREST IN INSTRUMENT RECORDED JUNE 28, 1968 IN LIBER 5208, PAGE 182. JOHN AND GENE LOSIER DIVORCED AND HE ASSIGNED HIS LAND CONTRACT INTEREST AND QUIT CLAIMED HIS INTEREST IN LIBER 5920, PAGE 846 AND LIBER 5920, PAGE 847. JOHN P. LOSIER INTEREST WAS RECREATED IN THE SATISFACTION OF THE LAND CONTRACT IN LIBER 7663, PAGE 621. JOHN P. LOSIER NEVER DEEDS OUT AFTER LIBER 7663, PAGE 621
RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY.
- RESOLUTION RECORDED JULY 19, 1983 IN LIBER 8421, PAGE 680.
RESPONSE: AS SHOWN HEREON.
- RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY, RECORDED FEBRUARY 16, 1983 IN LIBER 8323, PAGE 253. (AS TO LOTS 60 THROUGH 65)
RESPONSE: AS SHOWN HEREON.
- RESOLUTION RECORDED FEBRUARY 28, 1990 IN LIBER 11277, PAGE 41.
RESPONSE: VACATED STREET AS SHOWN HEREON. EASEMENT LOCATED SOUTH OF SUBJECT PROPERTY.
- EASEMENTS, RESTRICTIONS AND SET BACK LINES, AS SHOWN ON THE PLAT RECORDED IN LIBER 31, PAGE 8 OF PLATS.
RESPONSE: COVERS SUBJECT PROPERTY AND ADDITIONAL LAND.

SURVEYOR'S CERTIFICATE

TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 8, 9, 11(a), 11(b), 13, 17, 21 AND 22 (LOCATIONS/ELEVATION OF SOIL BORINGS) OF TABLE A THEREOF.

FIELD WORK WAS COMPLETED ON NOVEMBER 16, 2022.

MICHAEL D. EMBREE
PROFESSIONAL SURVEYOR NO. 4001056860
MEMBREE@ATWELL-GROUP.COM
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076
248.447.2000

DATE _____

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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866.850.4200 www.atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
248.447.2000

SECTION 26
TOWN 2 NORTH, RANGE 11 EAST
CITY OF TROY
OAKLAND COUNTY, MICHIGAN

CLIENT: THE KROGER COMPANY
ALTA/NSPS LAND TITLE SURVEY
LOCATED IN

DATE: 11/14/2022

02/20/2023 REV. PER TITLE
03/16/2023 ADDITIONAL TOPO

REVISIONS

SCALE: 0 15 30
1" = 30 FEET

DR. JR GH. ME

P.M. M. EMBREE
BOOK NA
JOB 22004415
SHEET NO. 1 OF 2

CAD FILE: 22004415TP-01.DWG

ITEM #6

DATE: June 12, 2023

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0002) - Proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 & -021), Section 26, Currently Zoned IB (Integrated Industrial & Business) District

The petitioner The Kroger Company submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a new fuel station on a vacant site.

The Planning Commission held a public hearing on this item on May 9, 2023 and postponed the item to (1) Allow the applicant the opportunity to amend the application, if necessary, based on Planning Commission discussion, and (2) Allow the applicant the opportunity to submit an alley vacation application and the Planning Commission to hold a public hearing (meeting minutes attached). The Street Vacation request is Item #5 on this agenda.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Minutes from May 9, 2023 Planning Commission Regular meeting (excerpt)
4. Special Use Application.

G:\SPECIAL USE\SU_JPLN2023-0002_KROGER D-463 FUEL STATION_\PC Memo 06 27 2023.docx

PROPOSED RESOLUTION

SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0002) - Proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 & -021), Section 26, Currently Zoned IB (Integrated Industrial & Business) District

Resolution # PC-2023-06-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 & -021), Section 26, Currently Zoned IB (Integrated Industrial & Business) District, be (granted, subject to the following conditions):

1. Approval is subject to alley vacation.
2. Require an additional landscaping buffer particularly along the western and southern property line.
3. Reduce the lighting intensity under the canopy and property lines.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

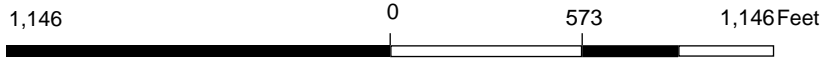
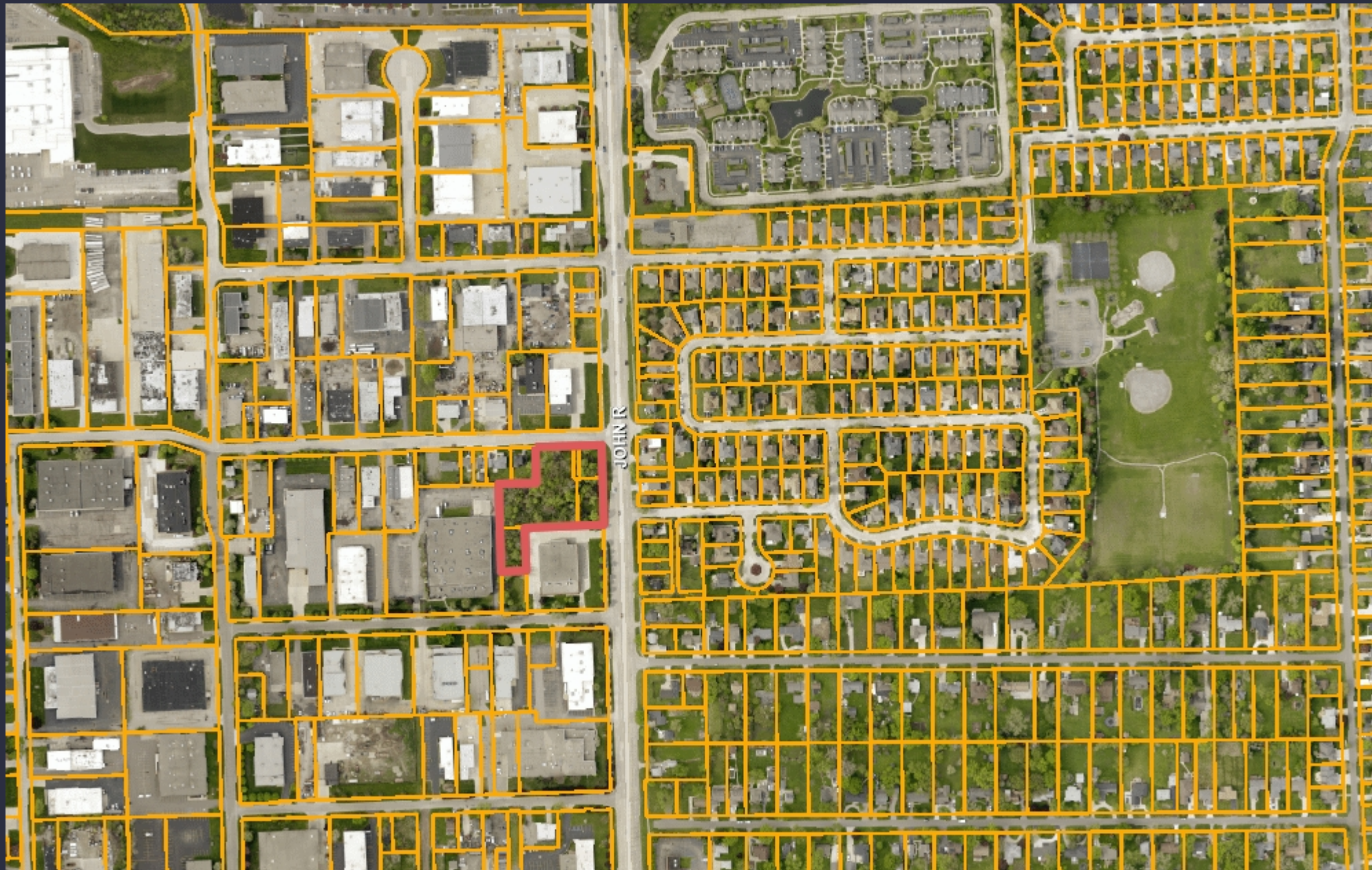
No:

Absent:

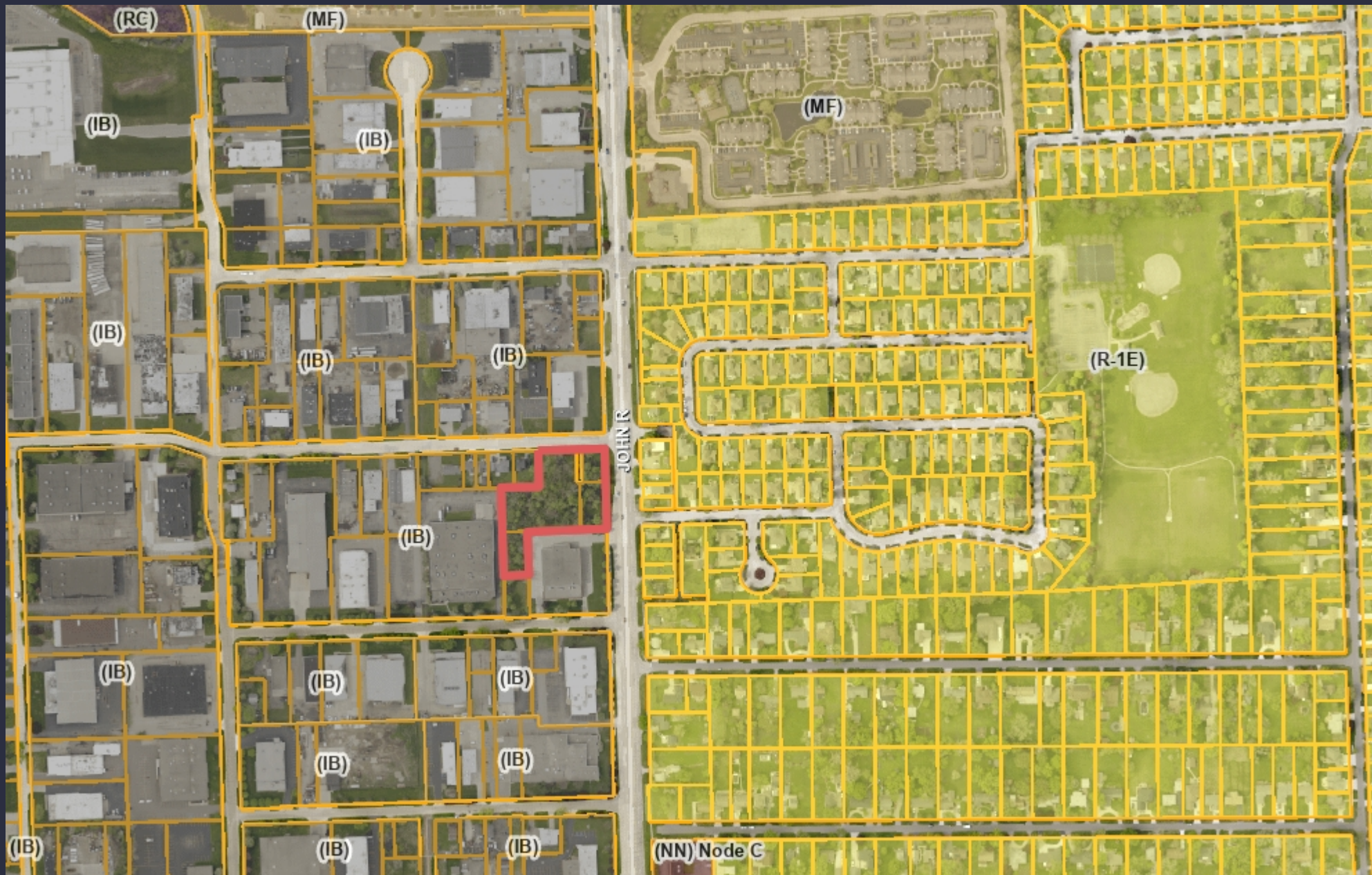
MOTION CARRIED / FAILED



GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



1,146 0 573 1,146 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 20, 2023
May 2, 2023
June 14, 2023

Preliminary Site Plan and Special Use Review For City of Troy, Michigan

Project Name:	Kroger D463 Retail Fuel Center
Plan Date:	June 14, 2023
Location:	SW Corner of Larchwood Drive and John R Road
Zoning:	IB, Integrated Industrial and Business
Action Requested:	Site Plan and Special Use Approval

PROJECT AND SITE DESCRIPTION

The applicant is proposing to construct a fuel center on a portion of a currently vacant wooded lot. The 1.87-acre site is located at the southwest corner of John R and Larchwood Drive.

The applicant is proposing the construction of a fuel center on the east side of the property with eight (8) fueling stations totaling 8 islands (16 pumps), a five hundred and thirty-four (534) square foot store, and four (4) parking spaces (one handicap). The portions of the property nearest to the southwestern neighboring parcels will be left vacant and wooded. The site is currently vacant. Access will be via one point off John R Road and one point off Larchwood Drive.

Fuel centers are a special use in the IB, Integrated Industrial and Business District.

Location of Subject Property:

SW Corner of Larchwood Drive and John R Road



Proposed Use of Subject Parcel:

Fuel Center

Current Zoning:

The property is zoned IB, Integrated Industrial and Business

Surrounding Property Details

Direction	Zoning	Use
North	IB, Integrated Industrial and Business	Office/Light Industrial/Warehouse
South	IB, Integrated Industrial and Business	Office/Light Industrial/Warehouse
East	IB, Integrated Industrial and Business R-1E, One Family Residential	Office/Light Industrial/Warehouse Single family residences
West	IB, Integrated Industrial and Business	Office/Light Industrial/Warehouse Single family residences

PREVIOUS PLANNING COMMISSION REVIEW

The item was last considered by the Planning Commission on May 9, 2023. The item was postponed to allow the applicant to address the following:

1. **Landscaping.** The applicant was asked to consider additional landscaping buffering. The applicant did not add any additional landscaping to the site.
2. **Lighting.** The Planning Commission discussed the lighting levels of the site, specifically under the canopy. The applicant has reduced the lighting intensity under the canopy from a maximum of 53.9 footcandles to 47.9 footcandles. There is no specific lighting requirement for gas station canopy lighting but we note that for pole mounted lights the maximum is 20 foot candles. Because this is a special use the Planning Commission may place conditions upon the application including restricting light intensity. The applicant should reduce lighting intensity under the canopy, as 47.9 footcandles is very intense.

In addition, the lighting levels adjacent to all property lines exceed the ordinance maximums.

3. **Alley Vacation.** See below for more information.

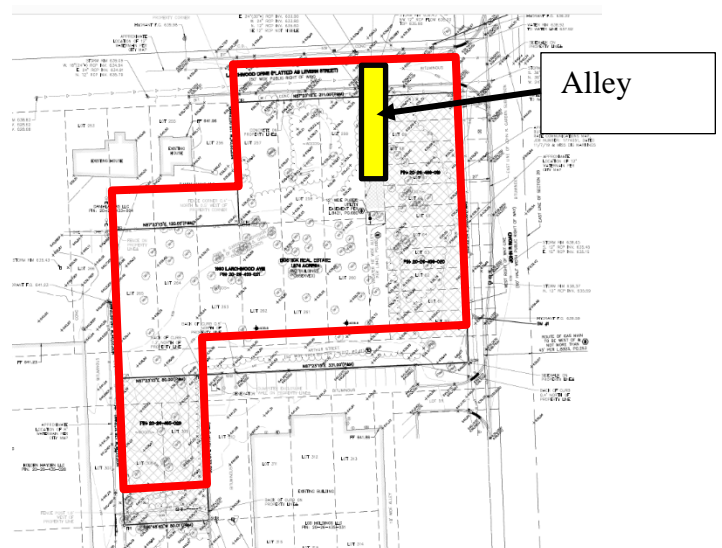
Items to be Addressed: 1). Planning Commission to consider additional landscaping buffer particularly along the western and southern property line; and 2). Applicant should reduce the lighting intensity under the canopy and property lines.

ALLEY VACATION

There is a small portion of an unimproved alley that is located off Larchwood, which partially bisects the site. The site cannot be developed as is without a alley vacation. An alley vacation is a type of easement in which the City transfers the right-of-way of the alley to a private property owner.

Alley vacation can be considered as part of the site plan process; however, it does require a public hearing by the Planning Commission.

Items to be Addressed: Planning Commission to consider the alley vacation.



SITE AND BUILDING ARRANGEMENT

The applicant is proposing the construction of a fuel center on the east side of the property with eight (8) fueling stations totaling 8 islands (16 pumps), a five hundred and thirty-four (534) square foot store, and four (4) parking spaces (one handicap). One twenty thousand (20,000) gallon storage tank and one eighteen thousand (18,000) gallon underground storage tank are proposed in the southwest corner of the development area. The portions of the property nearest to the southwestern neighboring parcels will be left vacant and wooded.

The proposed developed portion of this subject site occupies a twenty-four thousand (24,000) square feet rectangular area, situated in the northwest corner of the property. The fueling station will be arranged in the center of this developed area, with drive access around the entire fueling area. The transaction kiosk will sit in the center of the fueling area. The four parking spaces will be lined up on the northwestern corner of the developed area, running in a row from north to south.

Items to be Addressed: None

BULK STANDARDS

The dimensional requirements for the IB district are indicated below.

	Required	Provided	Compliance
Front Setback (John Road)	30 feet	80 feet	Complies
Rear Setback	20 feet	100 feet	Complies
Side Setbacks: Least	10 feet	50-feet	Complies
Side Setbacks: Total	20 feet	95-feet	Complies
Maximum building lot coverage	40%	7%	Complies
Maximum building height	50 feet	20 feet	Complies

Items to be Addressed: None

SITE ACCESS AND CIRCULATION

Two access points are proposed: one along Larchwood Avenue and one along John R Road. Both access drives will offer two-way traffic into and out of the fueling center.

Items to be Addressed: None

PARKING

Vehicle fueling centers require the following parking as set forth in table 13.06.a:

	Required	Provided
1 space for each 125 square feet of net floor area, plus 2 parking spaces per fueling station	16 spaces at 8 fueling islands + 375 square feet / 125 = 3 spaces	16 at fueling pumps and 4 spaces for kiosk
Loading zone	10 feet x 50 feet	10 feet x 50 feet

Based on the size of the store, the parking provided is sufficient.

Items to be Addressed: None

ELEVATIONS AND FLOOR PLANS

The applicant has provided elevations and floor plans for the transaction kiosk, canopy, and fueling stations. The elevations indicate a typical fueling center design with a CMU base, brick façade and metal fascia. The canopy matches the material of the building with a CMU base, brick façade and metal fascia. The canopy and kiosk fascia colors are sandstone and oyster, and six (6) red bollards are proposed around the kiosk perimeter.

Items to be Addressed: None

FUELING CENTER DESIGN STANDARDS

There are specific provisions for fueling centers, set forth in Section 6.28:

- A. *The minimum lot area shall be one (1) acre.*
The site is +/- 1.844 acres.

The following minimum setbacks shall apply to canopies and pump facilities construction in conjunction with fueling centers.

Setback	Canopy Support Required	Canopy Support Provided	Pump Island Required	Pump Island Provided	Canopy Edge Required	Canopy Edge Provided
Front	35 feet	65.8 feet	30 feet	65.5 feet	25 feet	55 feet
Side	20 feet	50.8 feet	20 feet	50.5 feet	10 feet	40 feet
Rear	30 feet	100.8 feet	20 feet	94.5 feet	20 feet	88 feet

- All fueling areas shall be arranged so that motor vehicles do not park on or extend over abutting landscaped areas, sidewalks, streets, buildings, or adjoining property while being served.*
- Canopy structures shall be designed and constructed in a manner which is architecturally compatible with the principal building. The canopy structure shall be attached to and made an integral part of the principal building unless can be demonstrated that the design of the building and canopy in combination would be more functional and aesthetically*

pleasing if the canopy was not physically attached to the principal building. Required fire protection devices under the canopy shall be architecturally screened so that the tanks are not directly visible from the street. The screens shall be compatible with the design and color of the canopy.

C. Pedestrian Circulation

1. *Vehicle Fueling / multi-use stations shall be designed in a manner which promotes pedestrian and vehicular safety.*
2. *The parking and circulation system within each development shall accommodate the safe movement of vehicles, bicycles, pedestrians and refueling activities throughout the proposed development and to and from surrounding areas in a safe and convenient manner.*

Items to be addressed: None

SPECIAL USE STANDARDS

For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.”

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses.*
2. *Compatibility with the Master Plan.*
3. *Traffic Impact.*
4. *Impact on Public Services.*
5. *Compliance with Zoning Ordinance Standards.*
6. *Impact on the Overall Environment.*
7. *Special Use Approval Specific Requirements.*

Provided that the applicant addresses our site plan issues noted above, we support the special use and find:

1. The IB District provides for a variety of uses including fueling centers.
2. There are several auto-oriented uses along Larchwood Drive and John R. The use of a fueling center is compatible with surrounding automobile, office, light industrial and warehouse uses.
3. If the applicant were to incorporate EV parking, the installation would be consistent with City sustainability goals.
4. The proposed use should not require any additional public services that required for a permitted use.
5. Traffic should not be significantly impacted by the use.

Items to be addressed: Address site plan uses as noted

SITE PLAN REVIEW STANDARDS

The Site Plan review standards provide the Planning Commission with direction when reviewing the proposed site plan and design features of this development.

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
 - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
 - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
 - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*

2. *Development shall incorporate the recognized best architectural building design practices.*
 - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
 - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
 - c. *Develop buildings with creativity that includes balanced compositions and forms.*
 - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
 - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
 - f. *Include community amenities that add value to the development such as patio/ seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*

3. *Enhance the character, environment and safety for pedestrians and motorists.*
 - a. *Provide elements that define the street and the pedestrian realm.*
 - b. *Create a connection between the public right of way and ground floor activities.*
 - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
 - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
 - e. *Improve safety for pedestrians through site design measures.*

Items to be Addressed: *Planning Commission to consider if the site plan standards have been met.*

SUMMARY

The Planning Commission shall hold a public hearing on the alley vacation and consider public comment. After closing the public hearing, the Planning Commission is asked to consider the following items:

1. Recommendation to the City Council regarding the alley vacation.

Kroger Fuel Center
June 14, 2023

2. Require an additional landscaping buffer particularly along the western and southern property line.
3. Reduce the lighting intensity under the canopy and property lines.

If the Planning Commission approves the preliminary site plan and special use, with or without conditions, any approvals would be contingent upon the City Council approving the alley vacation.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

Chair Lambert called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on May 9, 2023, in the Council Chamber of the Troy City Hall. Chair Lambert presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

Toby Buechner
 Carlton M. Faison
 Tyler Fox
 Michael W. Hutson
 Tom Krent
 David Lambert
 Lakshmi Malalahalli
 Marianna Perakis
 John J. Tagle

Also Present:

Ben Carlisle, Carlisle Wortman & Associates
 R. Brent Savidant, Community Development Director
 Julie Quinlan Dufrane, Assistant City Attorney
 Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2023-05-025

Moved by: Krent
 Support by: Tagle

RESOLVED, To approve the Agenda as prepared.

Yes: All present (9)

MOTION CARRIED

3. APPROVAL OF MINUTES – April 11, 2023

Resolution # PC-2023-05-026

Moved by: Fox
 Support by: Malalahalli

RESOLVED, To approve the minutes of the April 11, 2023 Regular meeting as submitted.

Yes: All present (9)

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN APPROVAL

5. PUBLIC HEARING - SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2023-0002) – Proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 and -021), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

Mr. Carlisle provided background information on the Special Use Approval and Preliminary Site Plan application for a proposed Kroger Fuel Station. He announced the Planning Department received two email communications erroneously addressing the application as a proposed rezoning of the subject parcels. Mr. Carlisle said the application is not to rezone the subject parcels and the zoning district would not change. Mr. Carlisle addressed the “paper alley” that bifurcates the site. He said the applicant must seek to vacate the alley to proceed with the proposed application. Mr. Carlisle explained the process of an alley vacation application and said the Special Use and Site Plan application would come back before the Board for consideration.

Mr. Carlisle asked the Planning Commission to hold a public hearing and discuss the following items:

- Use of the property as a gas station.
- Consideration if a larger convenience store should be provided, which would better serve the surrounding neighborhood, including across John R Road.
- Adding additional parking spaces for EV fueling.
- Architecture and design of kiosk.
- Reduce light intensity under the canopy.
- Special Use Standards set forth in Section 9.02.D
- Site Plan Standards set forth in Section 8.06.

Mr. Carlisle recommended the Planning Commission postpone approval of the application to allow the applicant to revise the application, if necessary, based on Planning Commission discussion and to allow the applicant to submit an alley vacation application.

Discussion among administration and Planning Commission:

- EV parking spaces, charging stations.
- Location of handicapped parking in relation to store entrance.
- Detention basin as relates to off-site residential drainage and buffer.
- Alley vacation application review by Engineering Department.

Matthew Pisko was present to represent the Kroger Company of Michigan. He addressed the operations of the Kroger fuel stations and gave a history of the number of Kroger sites across the country, in the State of Michigan and in the City of Troy. Mr. Pisko identified the two Troy locations at Rochester Road and South Boulevard and indicated the proposed fuel station would serve the Kroger store to the north. Mr. Pisko addressed the reason the Kroger Company chose this specific location for a fueling station, the size of the convenience store, the number of full-time positions, and the hours of operation from 6 am to 10 pm. He provided architectural details of the fueling station kiosk and canopy. Mr. Pisko said the proposed intense lighting under the canopy would accommodate patrons to see better during evening hours of operation.

Mr. Pisko said there are no future development plans for the detention basin stating it offers a buffer for surrounding residential. He said it is standard practice for the Kroger Company to offer EV charging stations for the convenience of patrons in the parking lots of their grocery stores. Mr. Pisko said a security system would be in place and there would be no overnight vehicular parking permitted.

There was discussion, some comments related to:

- Choice of location; potential other sites to place fueling station.
- Size of convenience store as relates to traditional kiosk.
- Kiosk convenience items for purchase.
- Pedestrian connection to café.
- Provide and/or prep for EV charging stations.
- Deceleration lane.

PUBLIC HEARING OPENED

Lyle Detterman, 3208 Thatcher Drive, Rochester Hills. Mr. Detterman asked how the proposed application would affect the property he owns to the south and north across Larchwood (1991 Woodslee), specifically if the property would be landlocked. He addressed access off John R, buffer between the two properties, detention pond concern for mosquitoes and security during evening hours.

PUBLIC HEARING CLOSED

Mr. Savidant addressed the speaker's concerns expressed about security and the detention pond. He said detailed engineering drawings would be submitted and reviewed by the Engineering Department. Mr. Savidant said it is a requirement of the Zoning Ordinance that stormwater management must not negatively impact adjacent parcels.

Mr. Carlisle said there is no Zoning Ordinance requirement to provide a buffer between the two properties because the land uses are compatible. He noted though the Planning Commission could place conditions upon approval because it is a Special Use application.

Chair Lambert suggested to the speaker that he communicate with the Kroger representative present this evening to address his concerns.

It was briefly discussed if Planning Commission concerns should be identified in the Resolution to postpone.

Resolution # PC-2023-05-027

Moved by: Faison

Seconded by: Fox

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Kroger D-463 Fuel Station, West side of John R, South of Larchwood (PIN 88-20-26-435-029, 88-20-26-433-019, -020 and -021), Section 26, Currently Zoned IB (Integrated Industrial and Business) District, be postponed, for the following reasons:

1. Allow the applicant the opportunity to amend the application, if necessary, based on Planning Commission discussion.
2. Allow the applicant the opportunity to submit an alley vacation application and the Planning Commission to hold a public hearing.

Yes: All present (9)

MOTION CARRIED

OTHER ITEMS

6. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

7. **PLANNING COMMISSION COMMENT**

There were general comments, some relating to:

- State of the City address.
- Michigan Association of Planning Planners’ Night Out; May 24, Woodbridge Pub in Detroit.
- Articles of interest shared among Planning Commission. Recent articles relate to parking.

Mr. Fox reported on the following two items considered at the April 18, 2023 Zoning Board of Appeals meeting:

- 3459 Talbot
- 944 Marengo

8. ADJOURN

The Regular meeting of the Planning Commission adjourned at 8:13 p.m.

Respectfully submitted,

David Lambert, Chair

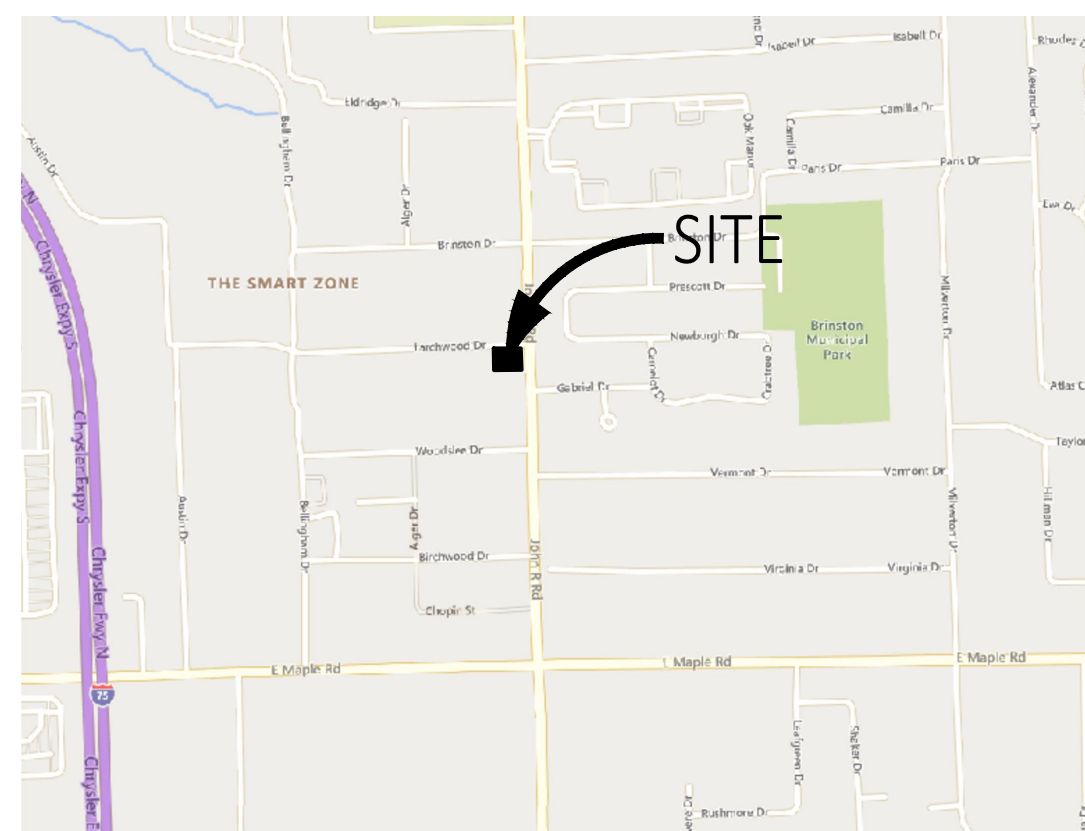
Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2023/2023 05 09 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2023/2023%2005%2009%20Draft.docx)



**Kroger D463
Retail Fuel Center**

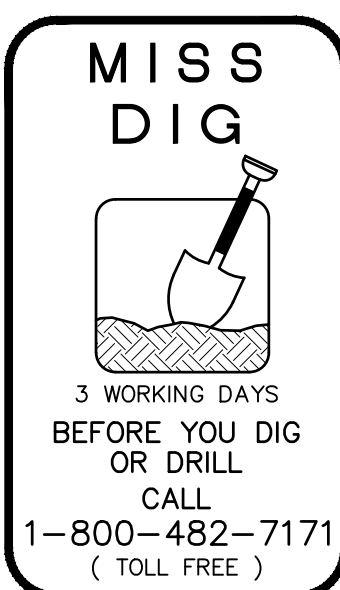
**JOHN R ROAD AT LARCHWOOD DRIVE
TROY, MI 48083**



LOCATION MAP
NO SCALE



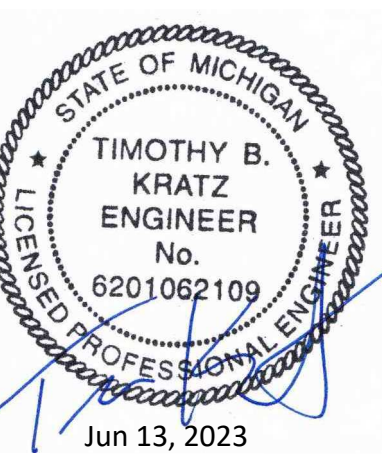
ZONING MAP
SCALE: NTS



PROJECT DESCRIPTION			
CONSTRUCTION OF A RETAIL FUEL CENTER ON A VACANT PARCEL CONSISTING OF: <ul style="list-style-type: none"> ONE (1) 6,880 S.F. FUEL CANOPY ONE (1) 534 G.S.F. TRANSACTION KIOSK EIGHT (8) MULTI-PRODUCT DISPENSERS 			
SITE NOTES			
1. THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY ATWELL-GROUP DATED: 03/16/2023			
PARCEL INFORMATION			
PARCEL NUMBERS:	20-26-433-019 20-26-433-020 20-26-433-021 20-26-433-029		
OWNER:	BOSTIC REAL ESTATE, LLC.		
ACRES:	OUTLOT: +/- 1.874 ACRES		
BUILDING CODE REVIEW			
ACCESSIBILITY CODE	ANSI/ICC A117.1 - 2009		
BUILDING CODE	2015 MICHIGAN BUILDING CODE		
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NEC)		
ENERGY CODE	2015 MICHIGAN ENERGY CODE		
MECHANICAL CODE	2015 MICHIGAN MECHANICAL CODE		
PLUMBING CODE	2018 MICHIGAN PLUMBING CODE		
FUEL GAS CODE	2015 INTERNATIONAL FUEL GAS CODE (2015 IFGC) - MICHIGAN UPDATE		
ZONING ORDINANCE REVIEW			
ZONING ORDINANCE	TROY, MICHIGAN ZONING ORDINANCE - EFFECTIVE NOVEMBER 17, 2021		
ZONING MAP	TROY, MICHIGAN ZONING OVERVIEW MAP - ADOPTED APRIL 18, 2011 - REVISED MARCH 24, 2022		
SITE ZONING	IB - INTEGRATED INDUSTRIAL AND BUSINESS		
PERMITTED USE	NO - ARTICLE 6.28 VEHICLE FUELING/MULTI-USE STATION		
BULK REGULATIONS			
ITEM	REQUIRED	PROPOSED	ORDINANCE
LOT REQUIREMENTS:			
MIN. LOT AREA	1 ACRE	70,610 ± SF (1.62 AC)	SECTION 6.28
SETBACK REQUIREMENTS:			
CANOPY SUPPORT	REQUIRED	PROPOSED	
FRONT (JOHN R / LARCHWOOD)	35'	80.0' / 65.8'	SECTION 6.28
SIDE (SOUTH)	20'	50.8'	
REAR (WEST)	30'	100.8'	
PUMP ISLAND SETBACK	REQUIRED	PROPOSED	
FRONT (JOHN R / LARCHWOOD)	30.0'	86.5' / 65.5'	
SIDE (SOUTH)	20'	50.5'	
REAR (WEST)	20'	94.5'	
CANOPY EDGE SETBACK	REQUIRED	PROPOSED	
FRONT (JOHN R / LARCHWOOD)	25'	80.0' / 55.0'	SECTION 13.06.a
SIDE (SOUTH)	10'	40.0'	
REAR	20'	88.0'	
PARKING REQUIREMENTS:			
MIN. STANDARD SPACE SIZE	9.5' x 19.0'	9.5' x 19.0'	
PARKING CALCULATION	(1) SPACE FOR EACH 125 SF OF NET FLOOR AREA, AND (2) PARKING SPACES PER FUELING STATION.	(16) PARKING SPACES AT THE FUELING PUMPS AND (4) PARKING SPACES FOR THE KIOSK.	
ADA SPACES	1	1	
TOTAL SPACES	19	20	
LOADING ZONE	1 - 10'x50'	1 - 10'x50'	

	DESCRIPTION	ADDRESS	CONTACT
SITE (FUEL)	DEVELOPER	THE KROGER CO. OF MICHIGAN 40393 GRAND RIVER AVENUE NOVI, MICHIGAN 48375	GARETT FOLEY 248.957.2261
	PROJECT CONSULTANT	SEVAN MULTI-SITE SOLUTIONS 3025 HIGHLAND PARKWAY, SUITE 850 DOWNERS GROVE, IL 60515	TIM KRATZ 219.841.6535
	SURVEYOR	ATWELL TWO TOWNE SQUARE SUITE 700 SOUTHFIELD, MI 48076	MICHAEL D. EMBREE 248.447.2000
DESIGN CONTACTS (FUEL)	CIVIL ENGINEER	SEVAN ENGINEERING 3025 HIGHLAND PARKWAY, SUITE 850 DOWNERS GROVE, IL 60515	TIM KRATZ, P.E. 219.841.6535
	FUEL ARCHITECT	GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	DAVID JONES 303.770.8884
	TANK AND PIPING	GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	DAVID JONES 303.770.8884
	KIOSK VENDOR	VENTAIRE, LLC. 909 N. WHEELING AVE. TULSA, OK 74110	RYAN KIRK 918.858.1412
GOVERNMENT	CANOPY VENDOR	MCCEE CORPORATION 12100 STALLINGS COMMERCE DRIVE MATTHEWS, NC 28106	TERRY MCMANUS 704.893.3734 EXT. 334
	PLANNING DEPARTMENT	COMMUNITY DEVELOPMENT DIRECTOR 500 W. BIG BEAVER RD TROY, MI 48084	R. BRENT SAVIDANT 248.524.3364
	ENGINEER	CITY ENGINEER 500 W. BIG BEAVER RD TROY, MI 48084	G. SCOTT FINLAY 248.524.3383
BUILDING DEPARTMENT	BUILDING DEPARTMENT	BUILDING DEPARTMENT 500 W. BIG BEAVER RD TROY, MI 48084	FRONT DESK 248.524.3344

SHEET INDEX		SITE PLAN SPECIAL USE 03.27.2023	SITE PLAN AND SPECIAL USE REVISIONS 04.28.2023	PLANNING COMMISSION REVISIONS 06.13.2023													
GENERAL		0	1	2	3	4	5	6	7	8							
GO.01	COVER SHEET	•	•	•													
SURVEY																	
1 OF 2	ALTA/NSPS LAND TITLE SURVEY	•	•	•													
2 OF 2	ALTA/NSPS LAND TITLE SURVEY WITH TOPOGRAPHY	•	•	•													
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C1.02	COMPOSITE SITE PLAN	•	•	•													
C1.20	DIMENSION CONTROL SITE PLAN	•	•	•													
C1.30	GRADING PLAN	•	•	•													
C5.02	TRASH ENCLOSURE DETAILS		•	•													
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LANDSCAPE ARCHITECTURE - EVERGREEN DESIGN CONSULTANTS																	
LP.1	LANDSCAPE PLAN		•	•													
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LP.4	TREE PROTECTION DETAILS & SPECIFICATIONS		•	•													
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ARCHITECTURE - GALLOWAY																	
A0.0	FUEL CENTER ELEVATIONS		•	•													
A1.01	FLOOR PLAN		•	•													



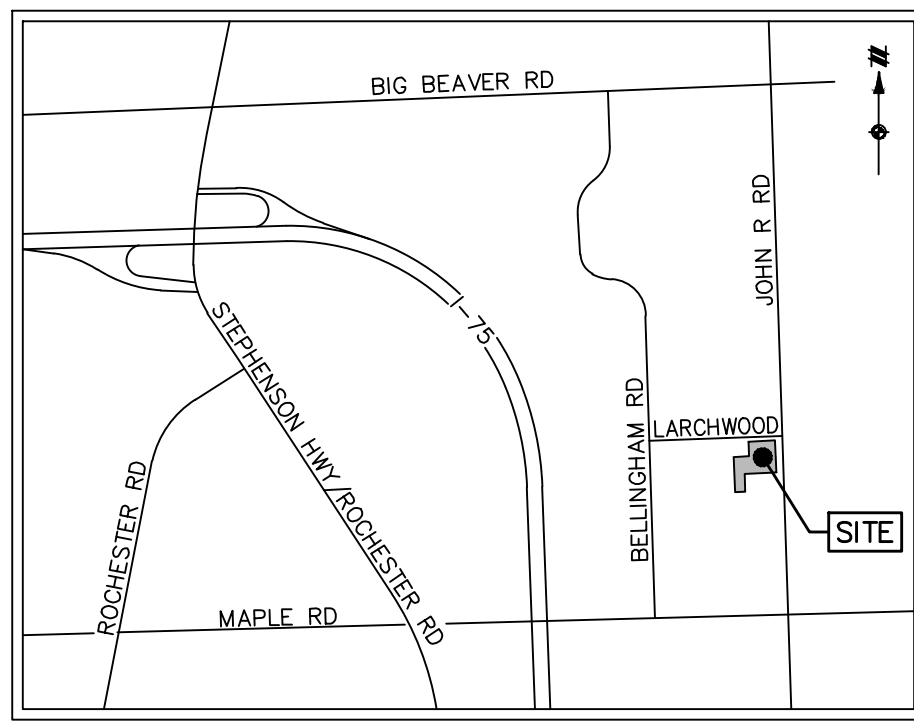
REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS
2	06.14.2023	PLANNING COMMISSION REVISIONS

PROJECT INFORMATION
COVER SHEET
KROGER D463 RETAIL FUEL CENTER
1980 LARCHWOOD DRIVE
TROY, MI 48083

PROJECT NUMBER:	D463
ISSUED DATE:	02.13.2023
DRAWN BY:	-
CHECKED BY:	TK
PROJ. MGR:	TK

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ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP
NOT TO SCALE

SITE BENCHMARKS:

BM #1: ARROW ON FIRE HYDRANT IN WEST RIGHT OF WAY OF JOHN R ROAD
ELEVATION: 642.00 (NAVD88)

BM #2: ARROW ON FIRE HYDRANT IN NORTH RIGHT OF WAY OF LARCHWOOD DRIVE
ELEVATION: 641.57 (NAVD88)

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-019 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R. GARDEN SUB LOTS 66 TO 70 INCL EXC E 27 FT OF EACH TAKEN FOR JOHN R RD

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-020 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R. GARDEN SUB LOTS 60 TO 65 INCL EXC E 27 FT OF EACH TAKEN FOR JOHN R RD, ALSO 1/2 OF VAC ALLEY ADJ TO LOT 260, ALSO 1/2 OF VAC ARTHUR AVE ADJ TO LOT 60 3/15/90 COR L 11277 P 41

DESCRIPTION OF TAX PARCEL NUMBER 20-26-433-021 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R GARDEN SUB LOTS 257 TO 265 INCL, ALSO 1/2 VAC ALLEY ADJ TO S 10 FT OF LOT 259, ALSO 1/2 VAC ALLEY ADJ TO LOT 260, ALSO 1/2 OF VAC ARTHUR AVE ADJ TO LOTS 260 TO 265 INCL 5-27-88 FR 006 & 013 TO 018 3/15/90 COR L 11277 P 41

DESCRIPTION OF TAX PARCEL NUMBER 20-26-435-029 PER OAKLAND COUNTY TAX RECORDS:

T2N, R11E, SEC 26 JOHN R GARDEN SUB LOTS 308 & 309 5-27-88 FR 007 & 008

NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET, MEASURED BEARINGS AS SHOWN DIFFER FROM RECORD TITLE BEARINGS. VERTICAL DATUM IS BASED ON NAVD88.
- THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO MAP NUMBER 26125C0561G OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE JANUARY 16, 2009.
- WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.6.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- ZONING LETTER OR REPORT NOT PROVIDED AT THE DATE OF THE SURVEY.
- THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THERE WAS OBSERVED EVIDENCE OF SOIL BORINGS AT THE DATE OF SURVEY.
- THE SURVEYED PROPERTY CONTAINS NO PARKING STALLS AT THE DATE OF THE SURVEY.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS MAY EXIST THAT ARE NOT SHOWN HEREON.

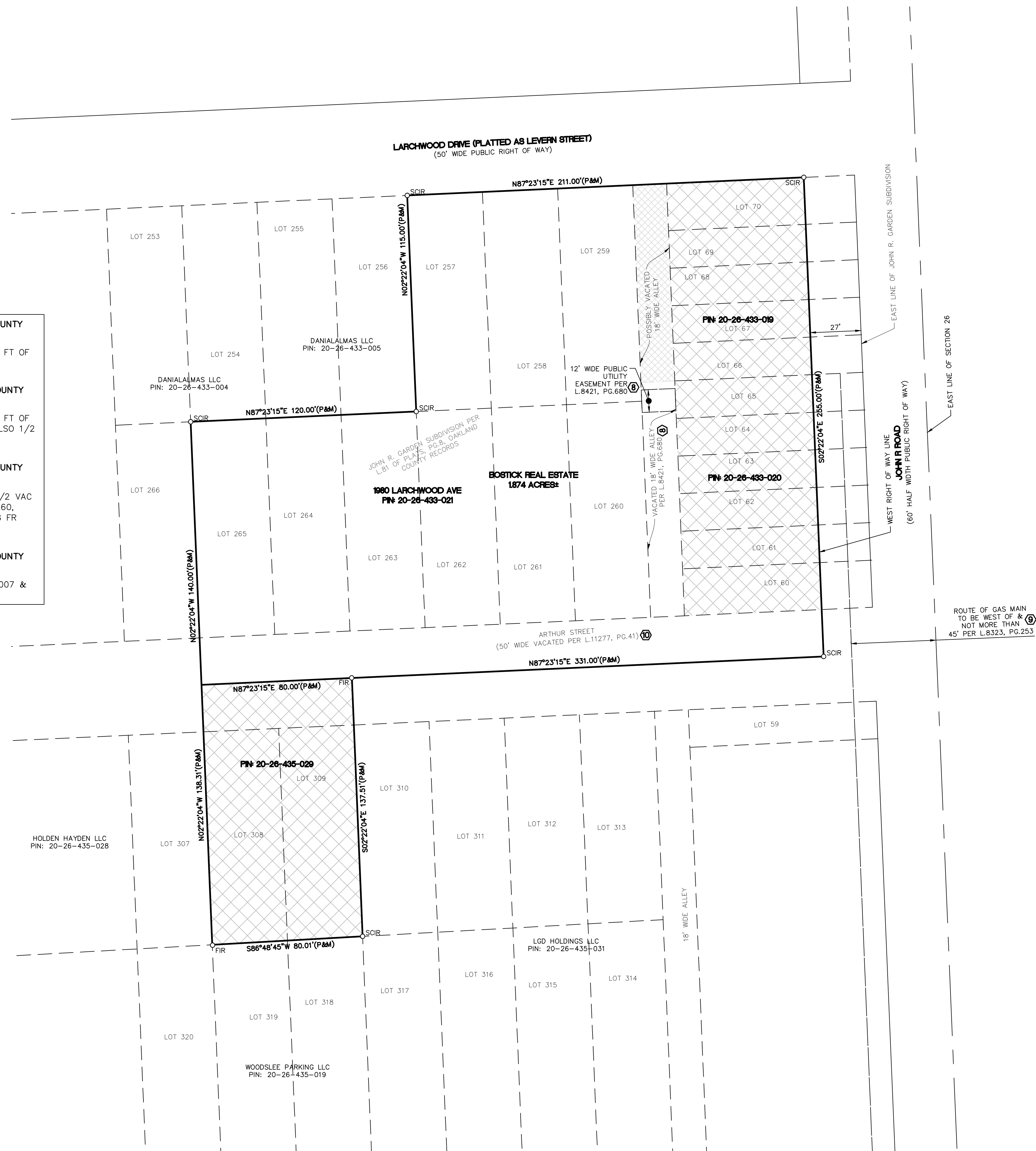


EXHIBIT A -- LEGAL DESCRIPTION PER INFORMATIONAL TITLE REPORT ISSUED BY AMROCK, LLC, ORDER NO: C000126451, EFFECTIVE DATE: JANUARY 10, 2023:

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND AND STATE OF MICHIGAN:

LOTS 257, 258, 259, 260, 261, 262, 263, 264, 265 OF JOHN R. GARDEN SUBDIVISION, AS RECORDED IN LIBER 31, PAGE 8 OF PLATS, OAKLAND COUNTY RECORDS. TOGETHER WITH THE ONE HALF VACATED ALLEY ADJACENT TO LOT 259 AND 260 AND ONE HALF OF VACATED ARTHUR AVE ADJACENT TO LOTS 260 TO 265.

SCHEDULE B -- PART II (EXCEPTIONS) PER INFORMATIONAL TITLE REPORT ISSUED BY AMROCK, LLC, ORDER NO: C000126451, EFFECTIVE DATE: JANUARY 10, 2023:

- INTEREST OF JOHN P. LOSIER AS EVIDENCED IN WARRANTY DEED RECORDED NOVEMBER 5, 1979 IN LIBER 7663, PAGE 621. (AS TO LOTS 257, 258, 259) NOTE: JOHN P. LOSIER HAD A LAND CONTRACT INTEREST IN INSTRUMENT RECORDED JUNE 28, 1968 IN LIBER 5208, PAGE 182. JOHN AND GENE LOSIER DIVORCED AND HE ASSIGNED HIS LAND CONTRACT INTEREST AND QUIT CLAIMED HIS INTEREST IN LIBER 5920, PAGE 846 AND LIBER 5920, PAGE 847. JOHN P. LOSIER INTEREST WAS RECREATED IN THE SATISFACTION OF THE LAND CONTRACT IN LIBER 7663, PAGE 621. JOHN P. LOSIER NEVER DEEDS OUT AFTER LIBER 7663, PAGE 621
RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY.
- RESOLUTION RECORDED JULY 19, 1983 IN LIBER 8421, PAGE 680.
RESPONSE: AS SHOWN HEREON.
- RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY, RECORDED FEBRUARY 16, 1983 IN LIBER 8323, PAGE 253. (AS TO LOTS 60 THROUGH 65)
RESPONSE: AS SHOWN HEREON.
- RESOLUTION RECORDED FEBRUARY 28, 1990 IN LIBER 11277, PAGE 41.
RESPONSE: VACATED STREET AS SHOWN HEREON. EASEMENT LOCATED SOUTH OF SUBJECT PROPERTY.
- EASEMENTS, RESTRICTIONS AND SET BACK LINES, AS SHOWN ON THE PLAT RECORDED IN LIBER 31, PAGE 8 OF PLATS.
RESPONSE: COVERS SUBJECT PROPERTY AND ADDITIONAL LAND.

SURVEYOR'S CERTIFICATE

TO:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 8, 9, 11(a), 11(b), 13, 17, 21 AND 22 (LOCATIONS/ELEVATION OF SOIL BORINGS) OF TABLE A THEREOF.

FIELD WORK WAS COMPLETED ON NOVEMBER 16, 2022.

DATE: 08/08/2023

MICHAEL D. EMBREE
PROFESSIONAL SURVEYOR NO. 4001056860
MEMBER@ATWELL-GROUP.COM
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076
248.447.2000

STATE OF MICHIGAN
MICHAEL D. EMBREE
LICENSE NO. 4001056860
PROFESSIONAL SURVEYOR

REVISIONS

SCALE 0 15 30
1" = 30 FEET

DR. JR GH. ME

BOOK NA
JOB 22004415
SHEET NO. 1 OF 2

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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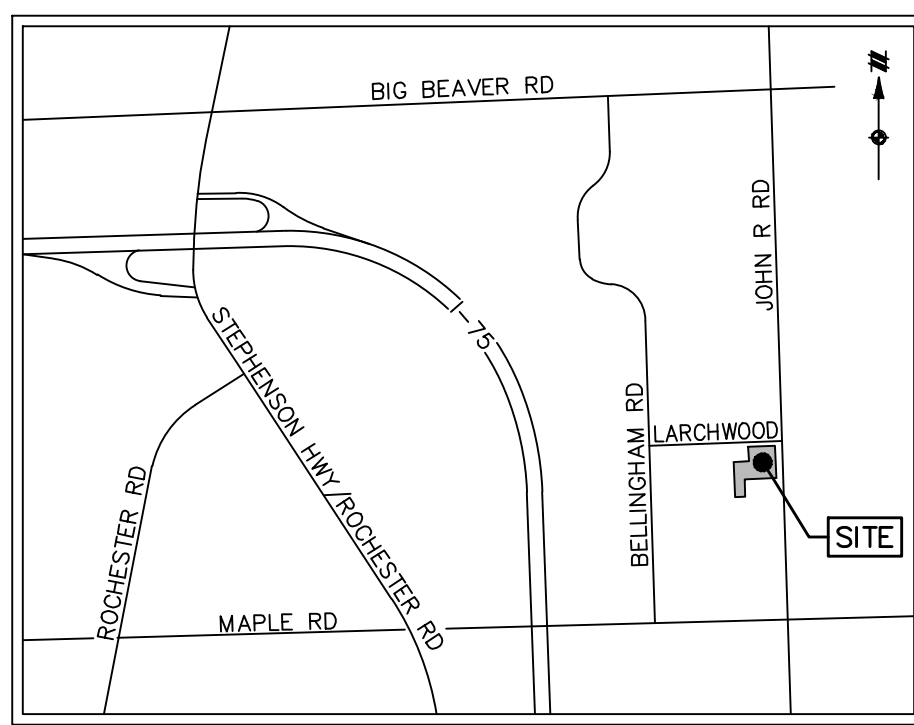
SECTION 26
TOWN 2 NORTH, RANGE 11 EAST
CITY OF TROY
OAKLAND COUNTY, MICHIGAN

CLIENT: THE KROGER COMPANY
ALTA/NSPS LAND TITLE SURVEY
LOCATED IN

DATE: 11/14/2022
02/20/2023 REV. PER TITLE
03/16/2023 ADDITIONAL TOPO

CAD FILE: 22004415TP-01.DWG

ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP
NOT TO SCALE

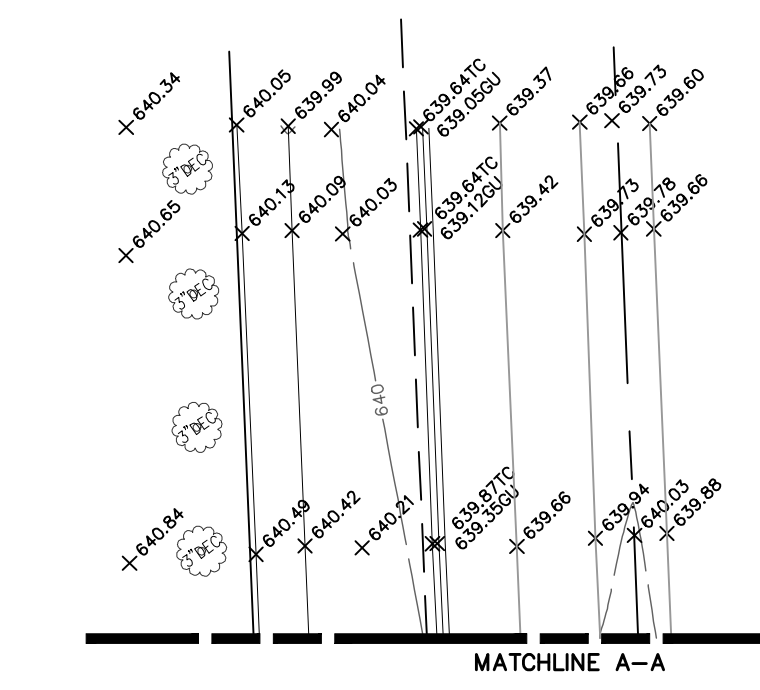
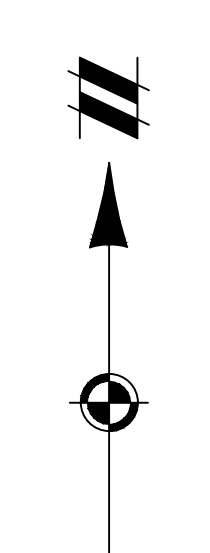
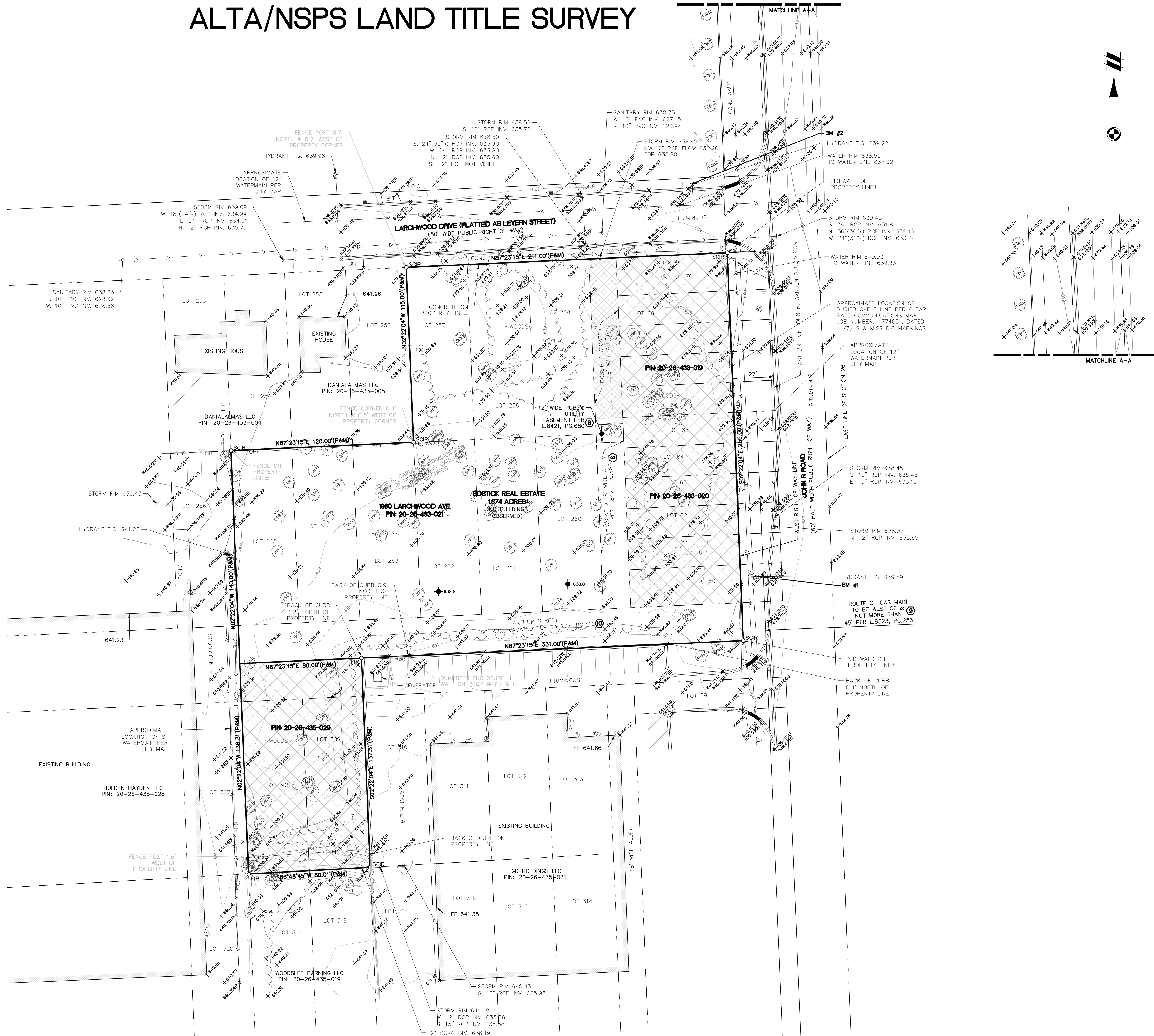
SITE BENCHMARKS:

BM #1: ARROW ON FIRE HYDRANT IN WEST
RIGHT OF WAY OF JOHN R ROAD
ELEVATION: 642.00 (NAVD88)

BM #2: ARROW ON FIRE HYDRANT IN NORTH
RIGHT OF WAY OF LARCHWOOD DRIVE
ELEVATION: 641.57 (NAVD88)

LEGEND

	SECTION CORNER
	FOUND IRON ROD
	SET CAPPED IRON ROD
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING TREE
	EXISTING TELEPHONE RISER
	EXISTING GUY ANCHOR WITH WIRE
	EXISTING UTILITY POLE
	EXISTING WATER BBOX
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING MANHOLE/CATCH BASIN
	EXISTING CULVERT
	EXISTING SANITARY CLEANOUT
	EXISTING BOLLARD
	EXISTING ELECTRIC METER
	EXISTING GAS METER
	EXISTING SOIL BORING AND ELEVATION
	UNDERGROUND GAS MARKER
	UNDERGROUND TELEPHONE MARKER
	UNDERGROUND WATER MARKER
	EXISTING GROUND ELEVATION
	EXISTING CURB ELEVATION
	EXISTING GUTTER ELEVATION
	EXISTING PAVEMENT ELEVATION
	PLATTED
	MEASURED BOUNDARY LINE
	BOUNDARY ADJACENT LINE
	SECTION LINE
	OVERHEAD UTILITY LINE
	EXISTING FENCE LINE
	EXISTING LIMITS OF VEGETATION
	APPROXIMATE UNDERGROUND TELEPHONE LINE
	APPROXIMATE UNDERGROUND GAS LINE
	UNDERGROUND STORM LINE
	UNDERGROUND SANITARY LINE
	APPROXIMATE UNDERGROUND WATER LINE
	EXISTING CURB AND GUTTER
	EXISTING GROUND CONTOUR
	EXISTING BUILDING
	PER CITY MAPS
	POSSIBLE VACATED ALLEY NOT INCLUDED IN TITLE COMMITMENT REFERENCED HEREON
	AREA NOT INCLUDED IN EXHIBIT A - LEGAL DESCRIPTION PER TITLE COMMITMENT REFERENCED HEREON



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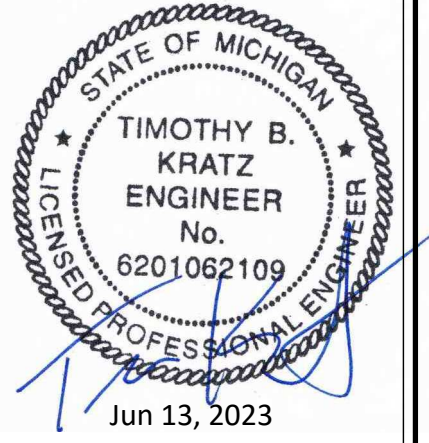
SECTION 26	TOWN 2 NORTH, RANGE 11 EAST	CITY OF TROY	OAKLAND COUNTY, MICHIGAN																								
CLIENT	THE KROGER COMPANY	ALTA/NSPS LAND TITLE SURVEY	LOCATED IN																								
DATE	11/14/2022																										
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">SCALE</td> <td style="width: 15%;">0</td> <td style="width: 15%;">15</td> <td style="width: 15%;">30</td> </tr> <tr> <td></td> <td colspan="3" style="text-align: center;">1" = 30 FEET</td> </tr> <tr> <td>DR.</td> <td>JR</td> <td>GH</td> <td>ME</td> </tr> <tr> <td>BOOK</td> <td colspan="3">NA</td> </tr> <tr> <td>JOB</td> <td colspan="3">22004415</td> </tr> <tr> <td>SHEET NO.</td> <td colspan="3">2 OF 2</td> </tr> </table>			SCALE	0	15	30		1" = 30 FEET			DR.	JR	GH	ME	BOOK	NA			JOB	22004415			SHEET NO.	2 OF 2		
SCALE	0	15	30																								
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DR.	JR	GH	ME																								
BOOK	NA																										
JOB	22004415																										
SHEET NO.	2 OF 2																										

CADD FILE: 22004415TP-01.DWG

CLIENT



SEAL



REVISIONS

REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS
2	06.14.2023	PLANNING COMMISSION REVISIONS

CONSULTANTS

PROJECT INFORMATION

COMPOSITE SITE PLAN

KROGER D463 RETAIL FUEL CENTER
1980 LARCHWOOD DRIVE
TROY, MI 48063

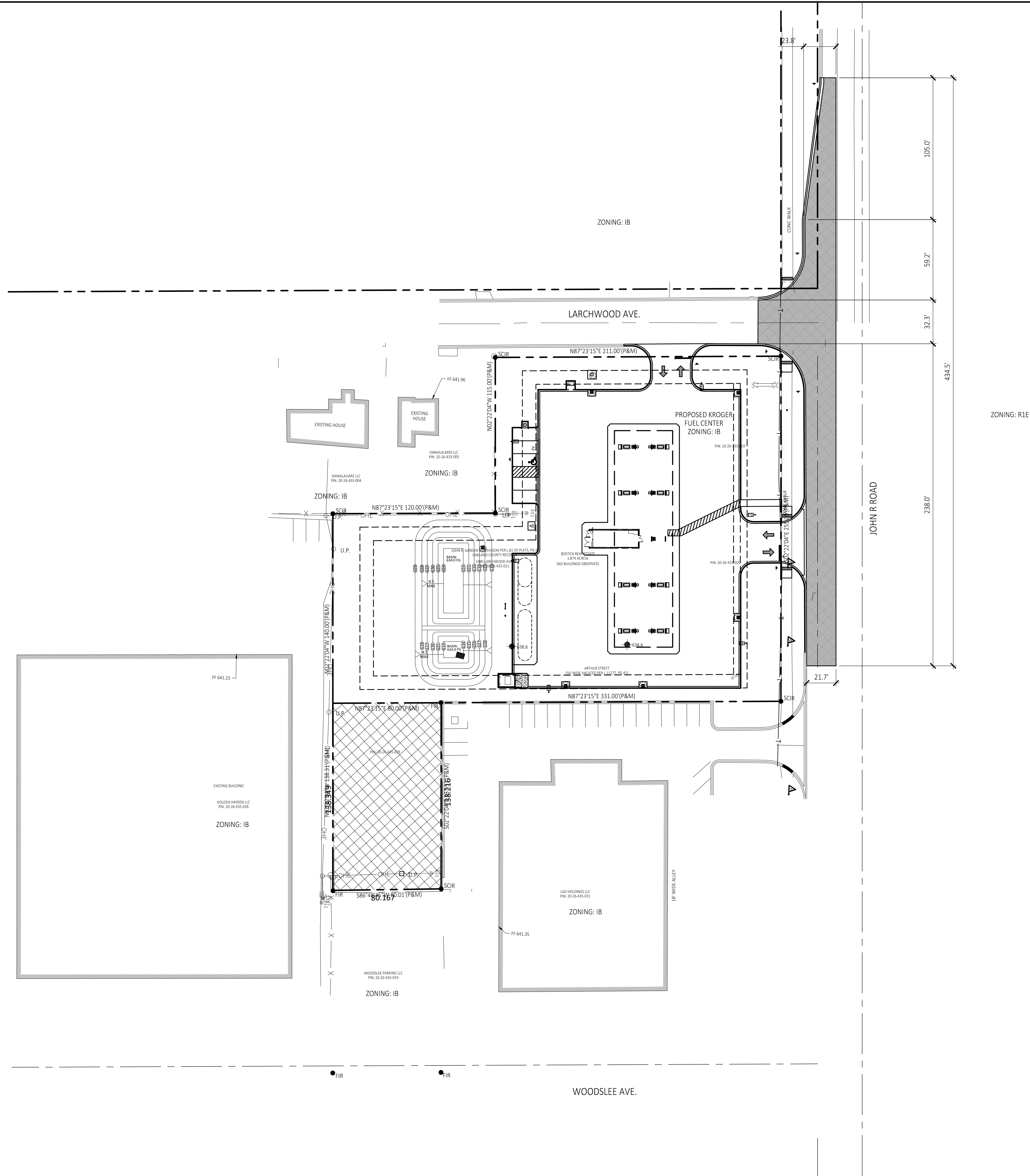
SHEET MANAGEMENT

PROJECT NUMBER: D463
ISSUED DATE: 02.13.2023
DRAWN BY: --
CHECKED BY: TK
PROJ. MGR: TK

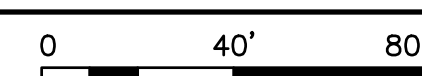
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SHEET NUMBER

C1.02



COMPOSITE SITE PLAN
SCALE: 1" = 40'-0"



FILE: Y:\Shared\Clients\Kroger\Design\0463\CD\04630201.ctb
PLOT: 01/12/2024 4:51 PM BY: Vmshelke, Michael

REVISIONS

REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS
2	06.14.2023	PLANNING COMMISSION REVISIONS

CONSULTANTS

PROJECT INFORMATION
DIMENSION CONTROL SITE PLAN

KROGER D463 RETAIL FUEL CENTER
1980 LARCHWOOD DRIVE
TROY, MI 48063

SHEET MANAGEMENT

PROJECT NUMBER:	D463
ISSUED DATE:	02.13.2023
DRAWN BY:	TK
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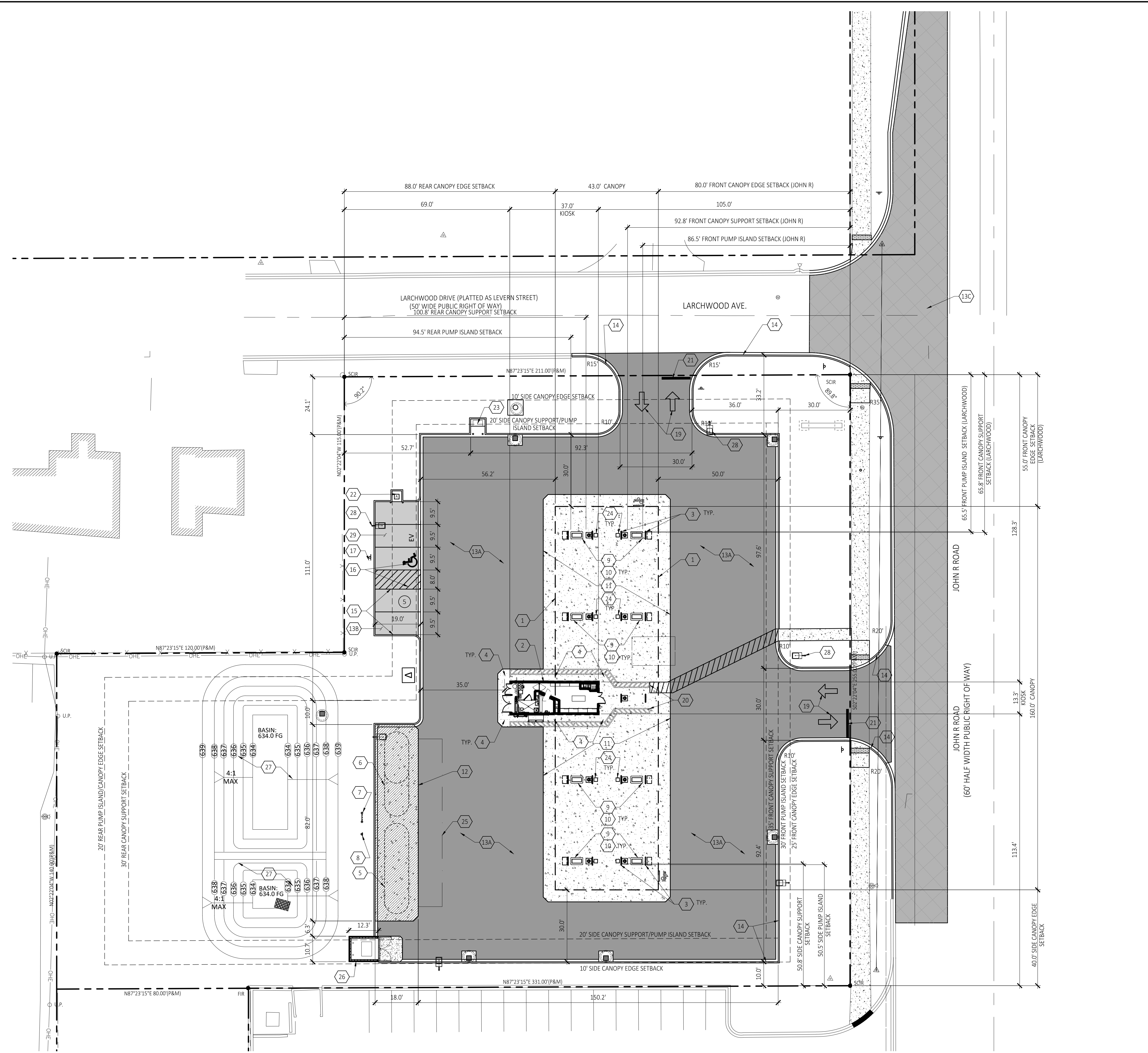
SHEET NUMBER
C1.20

X PROPOSED SITE IMPROVEMENTS

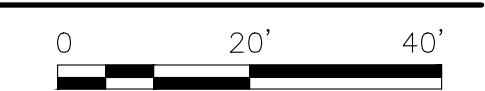
- DISPENSER CANOPY, COLUMNS, AND FOOTINGS.
- TRANSACTION KIOSK.
- U-SHAPED BOLLARD AT CANOPY COLUMNS.
- KIOSK BOLLARD.
- 20,000 GALLON DOUBLE-WALL UNDERGROUND STORAGE TANK (UNLEADED).
- 18,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK 8,000 GALLONS PREMIUM/10,000 GALLONS DIESEL.
- TANK VENT RISER.
- TANK OVERFLOW ALARM.
- 3.00' X 5.00' DISPENSER ISLAND.
- AUTOMOBILE MULTI-PRODUCT DISPENSER WITH CARD READER.
- CONCRETE DISPENSER MAT.
- CONCRETE TANK MAT.
- HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL 2D/C5.00.
- LIGHT DUTY BITUMINOUS PAVEMENT. SEE DETAIL 2C/C5.00.
- D.O.T. ROAD PAVEMENT.
- CONCRETE CURB AND GUTTER.
- 4" PAINTED PARKING STRIPE. COLOR: WHITE.
- BARRIER-FREE PARKING SPACE AND INTERNATIONAL PARKING SPACE SYMBOL. COLOR BLUE. SEE DETAIL 3/C5.00.
- BARRIER-FREE ACCESSIBLE PARKING SIGN. SEE DETAIL 5/C5.00.
- MONUMENT SIGN. SIGNS UNDER SEPARATE PERMIT.
- PAINTED DIRECTIONAL ARROW. SEE DETAIL 1/C5.00.
- PAINTED PEDESTRIAN WARNING ZONE.
- PAINTED STOP BAR. SEE DETAIL 1/C5.00.
- AIR TOWER.
- PROPANE STORAGE CAGE.
- WASTE RECEPTACLE / WINDSHIELD SERVICE CENTER.
- 10.0' X 50.0' LOADING ZONE
- CONSTRUCT TRASH ENCLOSURE PER SHEET C5.02.
- CONSTRUCT BASIN PER SHEET C1.31.
- SITE LIGHTING
- FUTURE EV PARKING SPACE WITH CONDUIT

GENERAL SITE NOTES

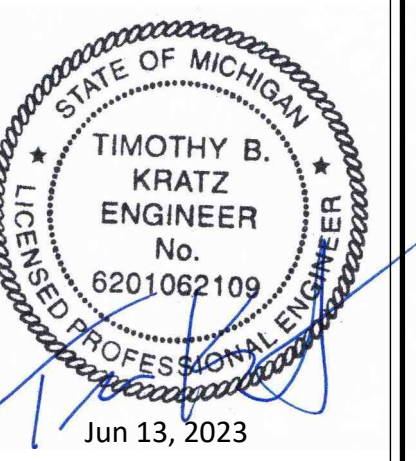
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- NOTIFY OWNER OF ANY DISCREPANCIES.
- SEE SURVEY FOR ALL EXISTING CONDITIONS.
- ALL WORK IN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
- PARKING SPACES TO THE WEST AND BUILDING ARE PARALLEL AND PERPENDICULAR TO THE NORTH PROPERTY LINE.



DIMENSION CONTROL SITE PLAN
SCALE: 1" = 20'-0"



FILE: Y:\Shared\Clients\Kroger\Design\D463\CD\ControlC1.dwg
PLOT: 01/12/2023 4:51 PM BY: Vmishra, Michael



REV.	DATE	DESCRIPTION
0	03.27.2023	SITE PLAN SPECIAL USE
1	04.28.2023	SITE PLAN SPECIAL USE REVISIONS
2	06.14.2023	PLANNING COMMISSION REVISIONS

PROJECT INFORMATION
GRADING PLAN
KROGER D463 RETAIL FUEL CENTER
1980 LARCHWOOD DRIVE
TROY, MI 48063

PROJECT NUMBER: D463
ISSUED DATE: 02.13.2023
DRAWN BY: --
CHECKED BY: TK
PRJ. MGR: TK
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GRADING LEGEND:

- TG GUTTER GRADE
- TC TOP OF CURB
- BW FINISHED GRADE AT WALL
- FG FINISHED GRADE
- FL DITCH FLOW LINE
- BI PUMP ISLAND BOTTOM
- TI PUMP ISLAND TOP
- TP TOP OF PAVEMENT
- RIM UNDERGROUND STRUCTURE RIM
- TW TOP OF WALK
- FEE FINISHED FLOOR ELEVATION
- ME MATCH EXISTING
- 2.0% PROPOSED SLOPE

NOTES:

GENERAL CONTRACTOR SHALL REVIEW GRADES AT DISPENSER ISLANDS PRIOR TO CONSTRUCTION TO ENSURE TOP OF ISLAND TO BOTTOM OF ISLAND RELATION SHIP WILL MATCH GALLOWAY DETAILS ON T-DRAWINGS.

GRADING NOTES:

1. REFER TO SHEET C1.11 FOR EROSION CONTROL NOTES AND DETAILS.
2. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
3. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.
4. ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
5. THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.
6. THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
7. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.
8. UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.
9. THE GENERAL CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. SEE SEC PLAN ON SHEET C1.11 FOR LIMIT OF DISTURBANCE. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
10. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION PER THE DRAWINGS AND PROJECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.

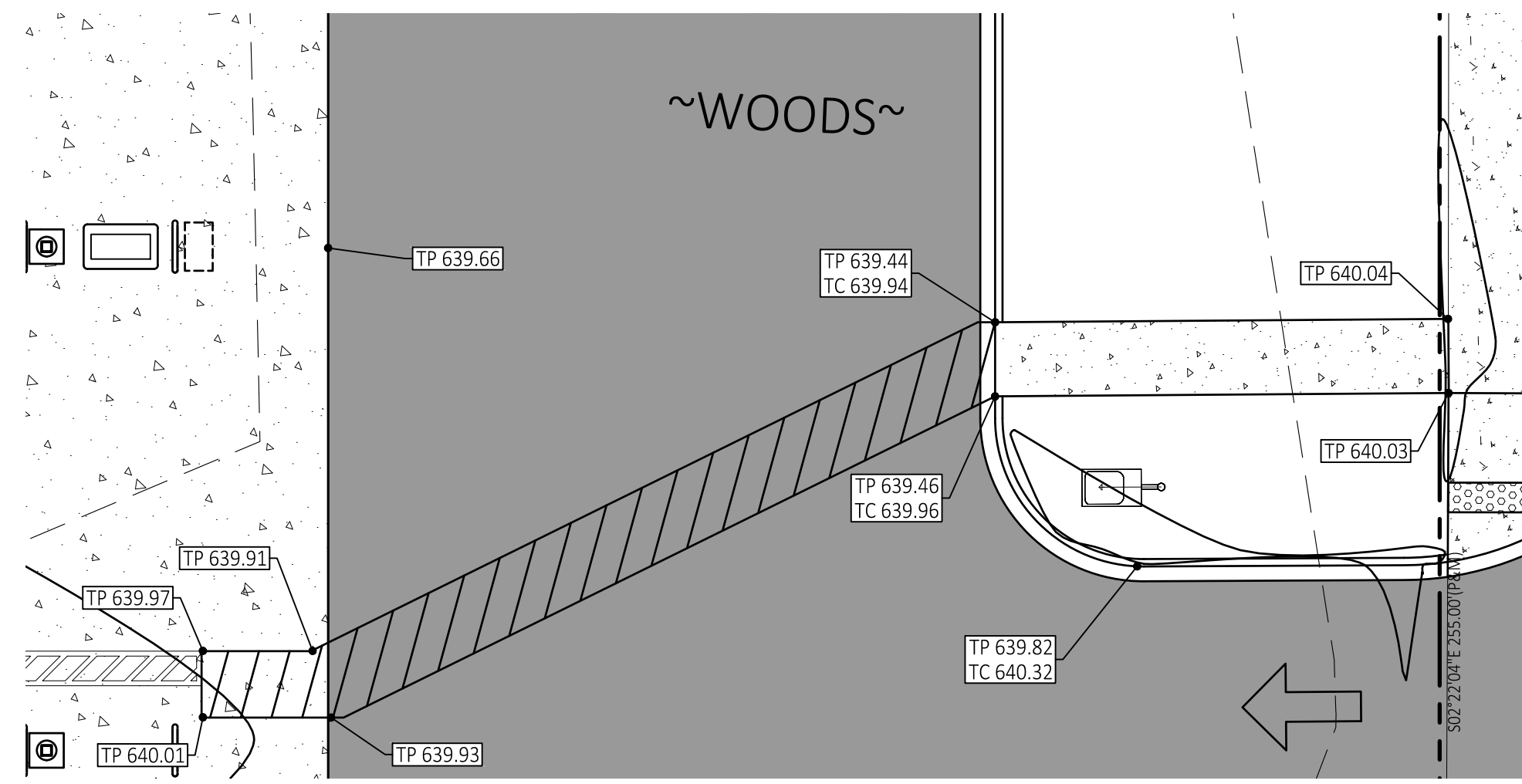
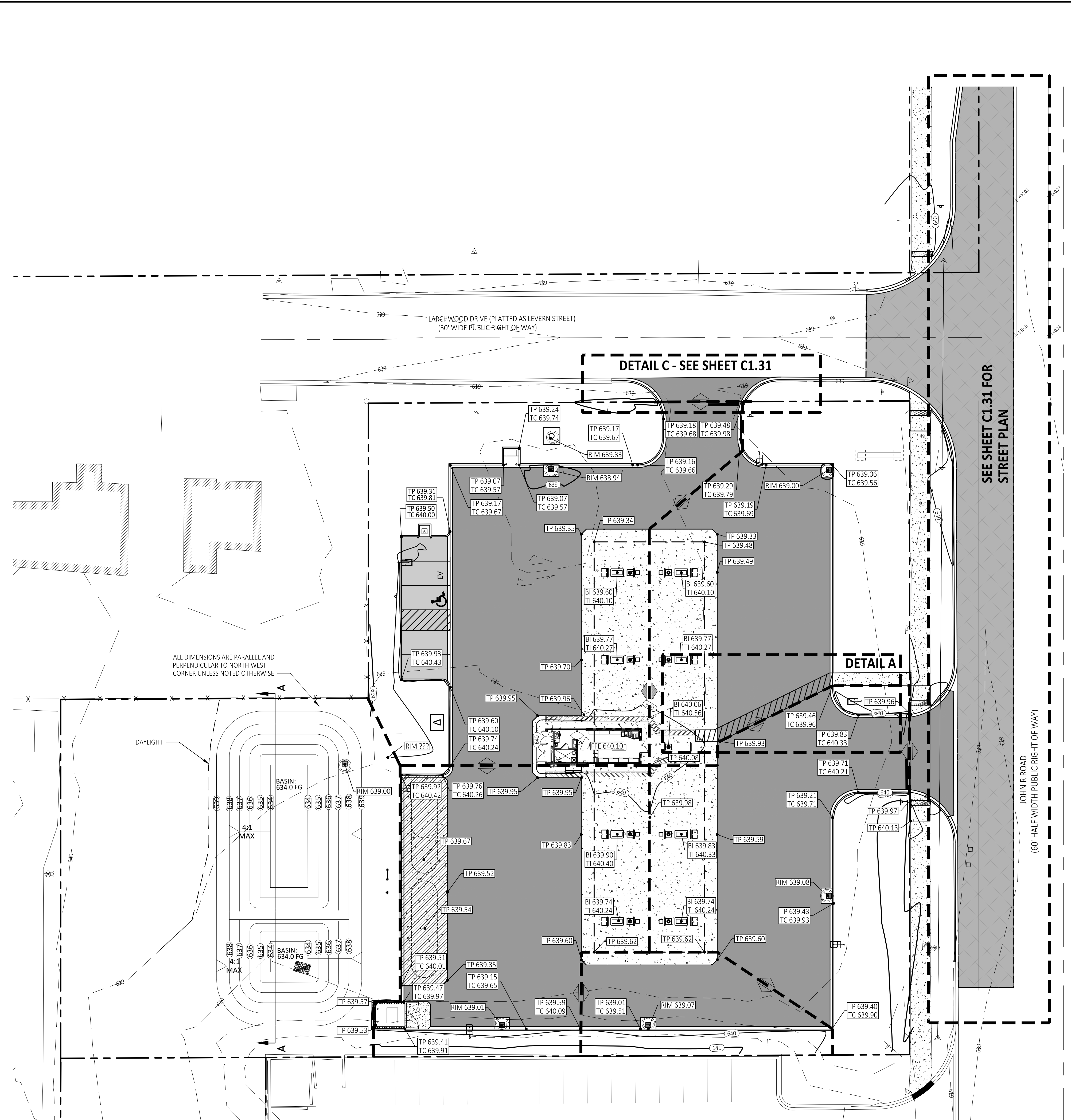
FUEL GRADING DESIGN STANDARDS:

1. PROVIDE POSITIVE DRAINAGE AWAY FROM FUEL CENTER CONCRETE PAD(S). PER GRADING/SECTION DRAWINGS, 1%-3% SLOPE IS TYPICAL WITH A MAXIMUM SLOPE OF 5%. UNLESS EXPRESSLY AUTHORIZED BY THE OWNER'S REPRESENTATIVE, SURFACE WATER SHALL NOT DRAIN THROUGH THE FUEL/CANOPY AREAS.
2. PROVIDE MAXIMUM OF 2% SLOPES/GRADES ACROSS FUEL CENTER CONCRETE PADS (UNDER CANOPY AREA), WHILE MAINTAINING POSITIVE DRAINAGE AWAY FROM THE FUEL CENTER KIOSK AND DISPENSER ISLANDS. GRADES AT TANK PAD SHALL NOT EXCEED 3% SLOPE.
3. SPECIAL ATTENTION IS REQUIRED AT THE DOORWAY OF THE KIOSK. IN GENERAL, THE KIOSK FINISH FLOOR IS TO BE 1" HIGHER THAN THE SURROUNDING EXTERIOR GRADE. SLOPE DRIVEWAY PAVING TO MEET THE FINISH FLOOR GRADE AT ANY DOORWAY, AND COORDINATE WITH FUEL CENTER CONTRACTOR. ADA GUIDELINES MUST BE VERIFIED FOR DOOR ENTRANCES AND FOR THE CUSTOMER SERVICE DRAWER AT THE KIOSK WINDOW.

SITE SPECIFIC GRADING GENERAL NOTES:

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY EXISTING SITE IMPROVEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT NECESSARILY LIMITED TO:

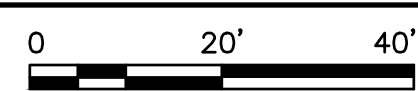
- (A) EXISTING CURB THAT MAY BE DISTURBED DURING INSTALLATION OF VENT STANDS, AIR STANDS, ETC.
- (B) EXISTING ASPHALT THAT MAY BE DISTURBED DURING TANK INSTALLATION,
- (C) EXISTING LANDSCAPING,
- (D) EXISTING LIGHT STANDARD(S) AND WIRING.



ALL DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO NORTH WEST CORNER UNLESS NOTED OTHERWISE

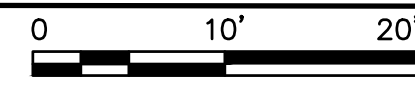
GRADING PLAN

SCALE: 1" = 20'-0"



DETAIL A

SCALE: 1" = 10'-0"

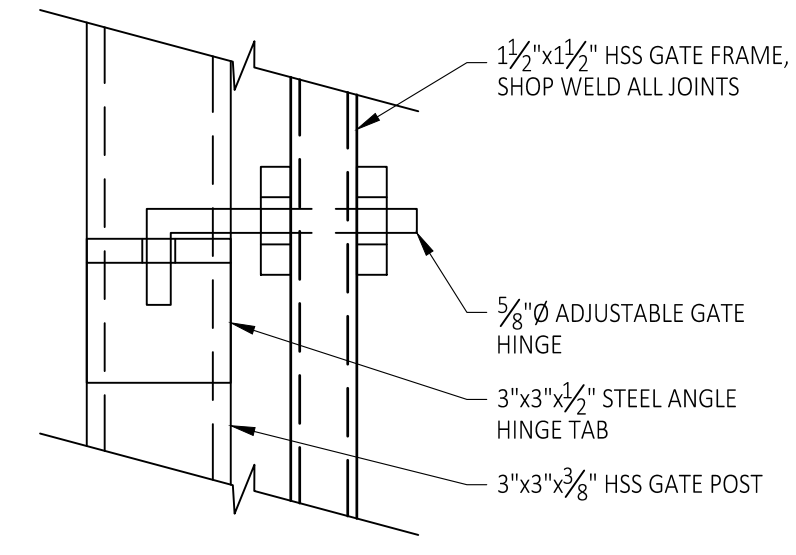


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PLOT: 01/17/2023 4:52 PM BY: Vmshreetha.Michael

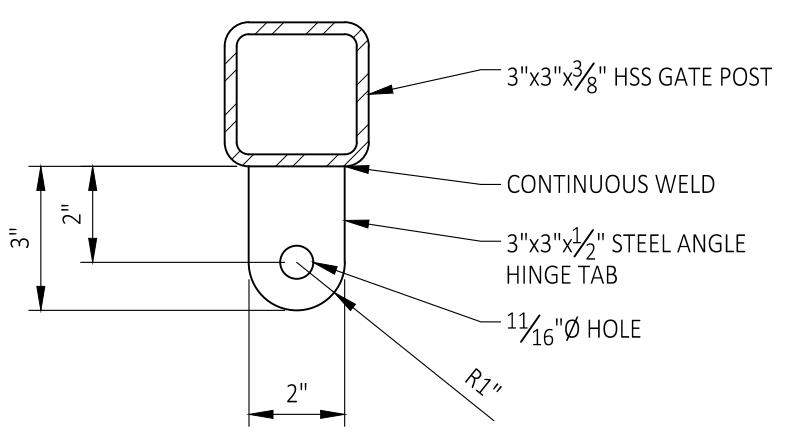
REV.	DATE	DESCRIPTION
0	02-08-2023	IS&PC SUBMITTAL
1	04-28-2023	SITE PLAN SPECIAL USE REVISIONS
2	06-14-2023	PLANNING COMMISSION REVISIONS

PROJECT NUMBER:	D463
ISSUED DATE:	02-13-2023
DRAWN BY:	-
CHECKED BY:	TK
PROJ. MGR:	TK

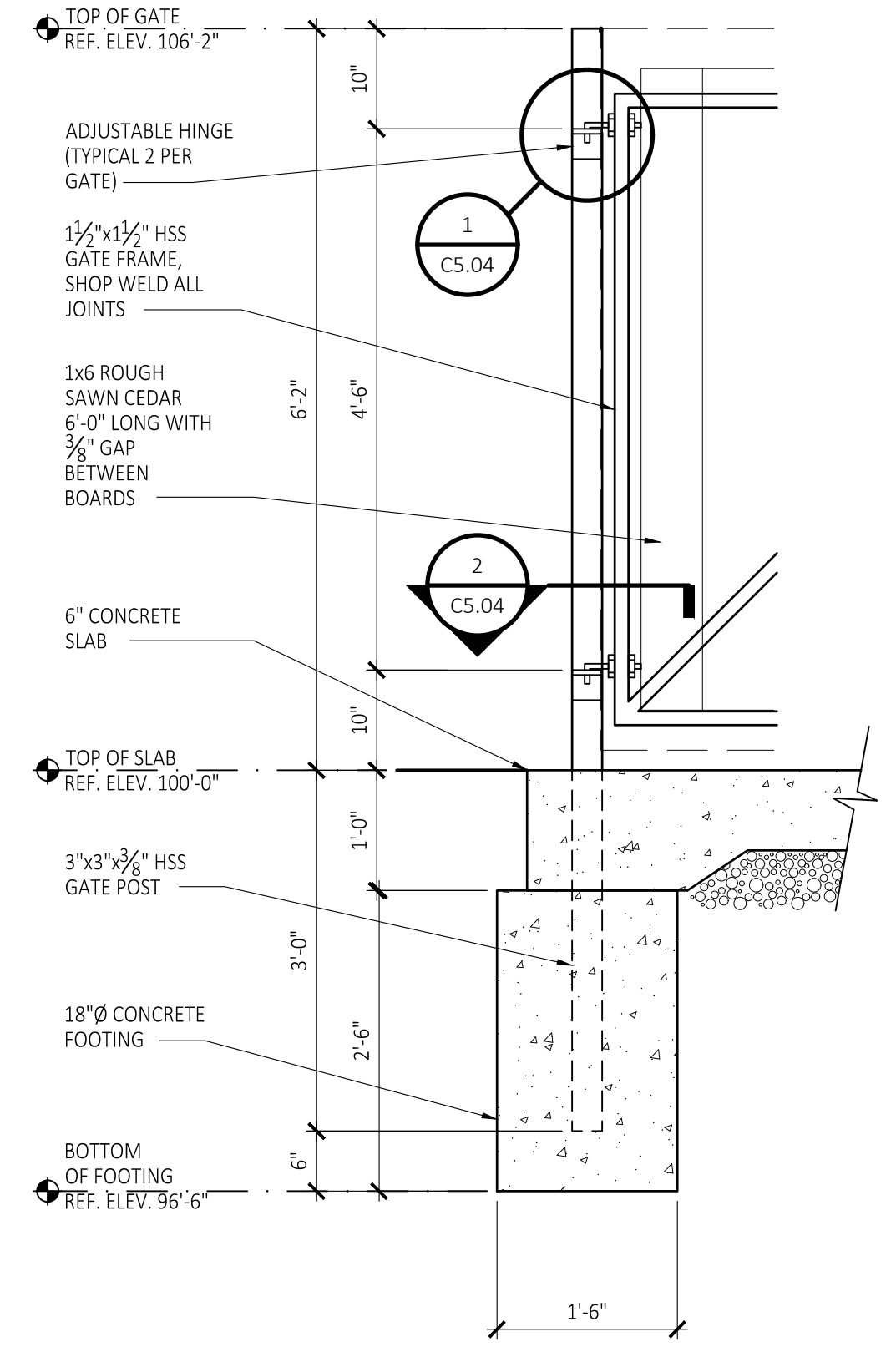
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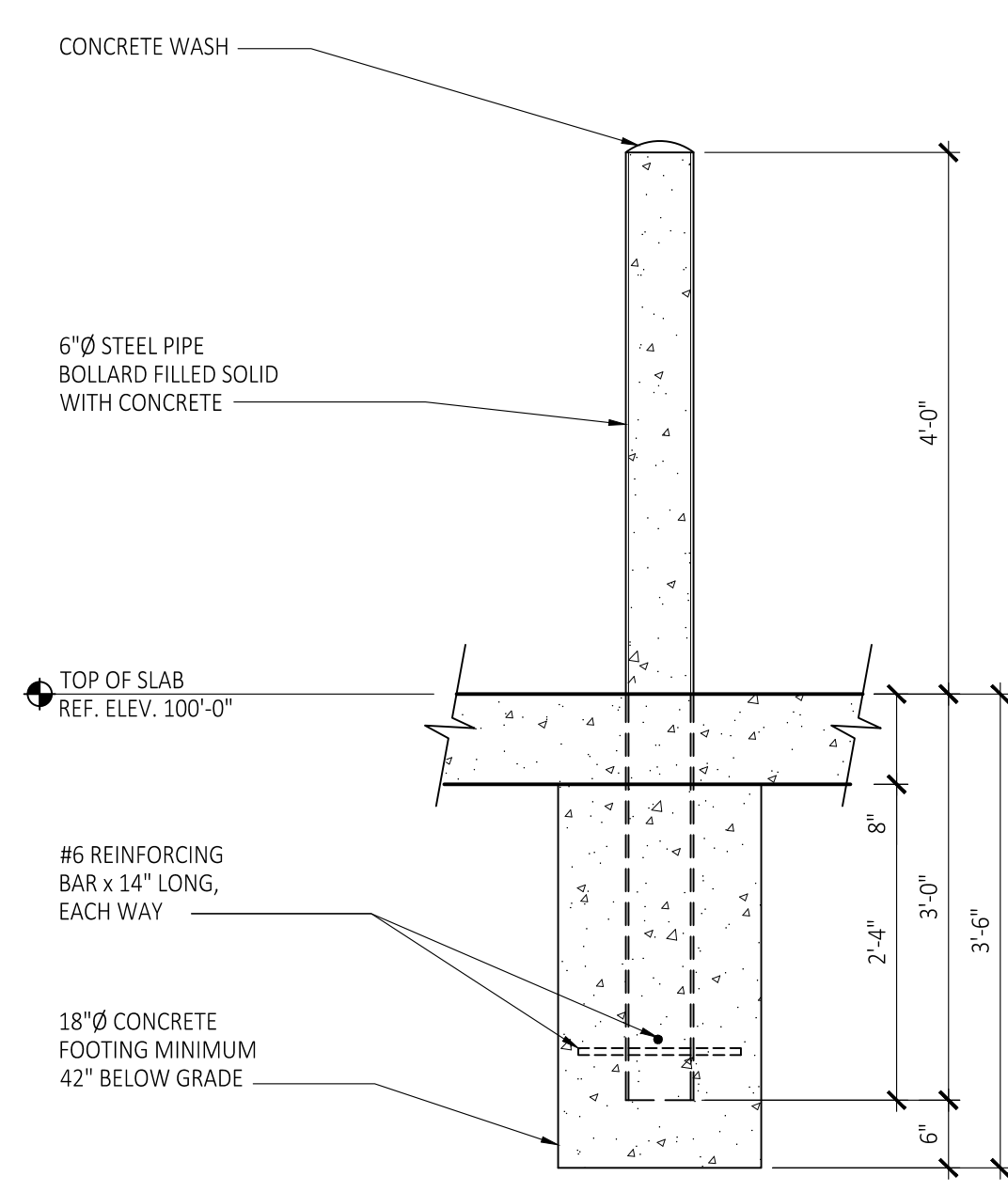
1 ENLARGED HINGE ELEVATION
SCALE: 3" = 1'-0"



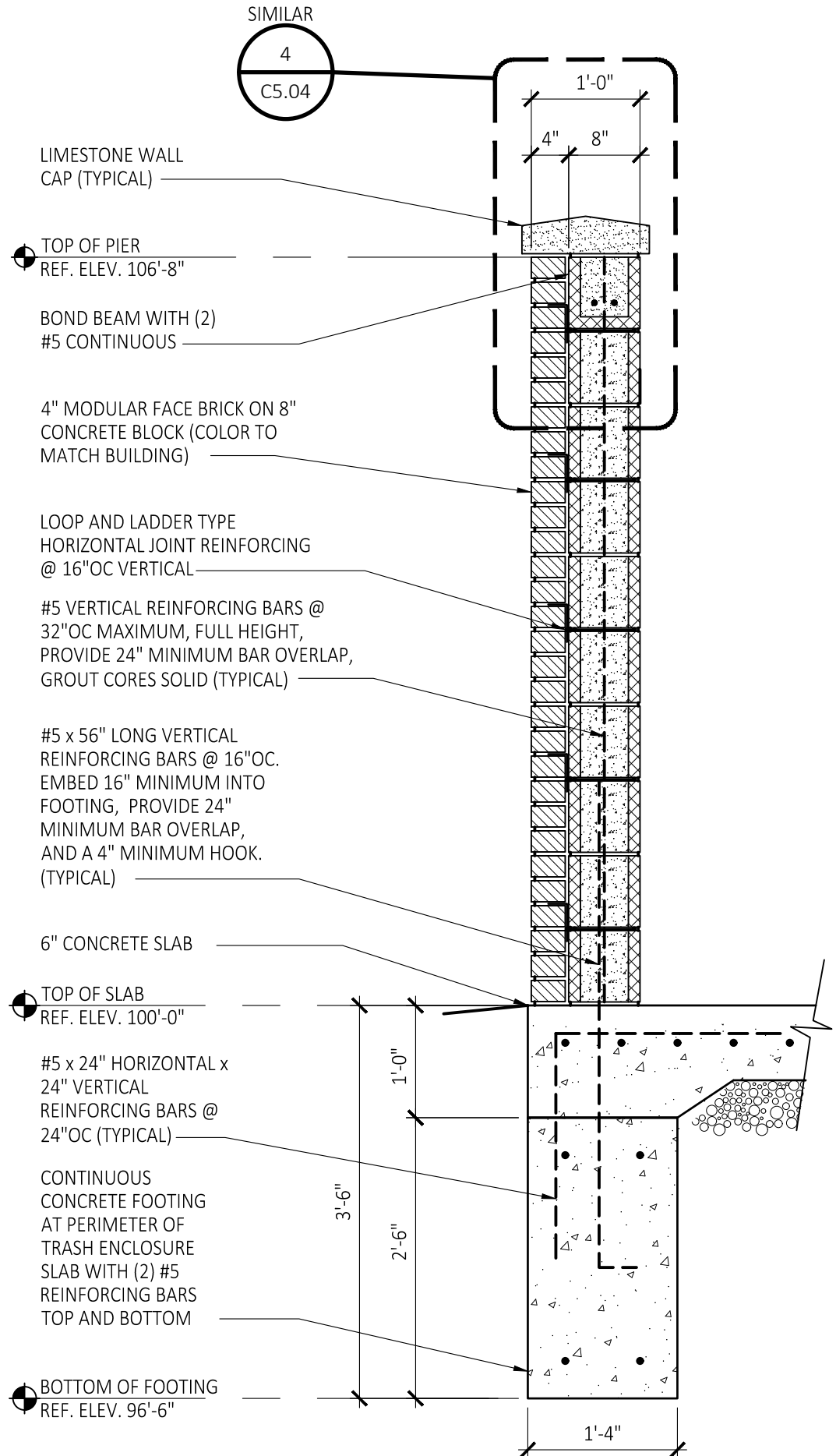
2 ENLARGED HINGE PLAN
SCALE: 3" = 1'-0"



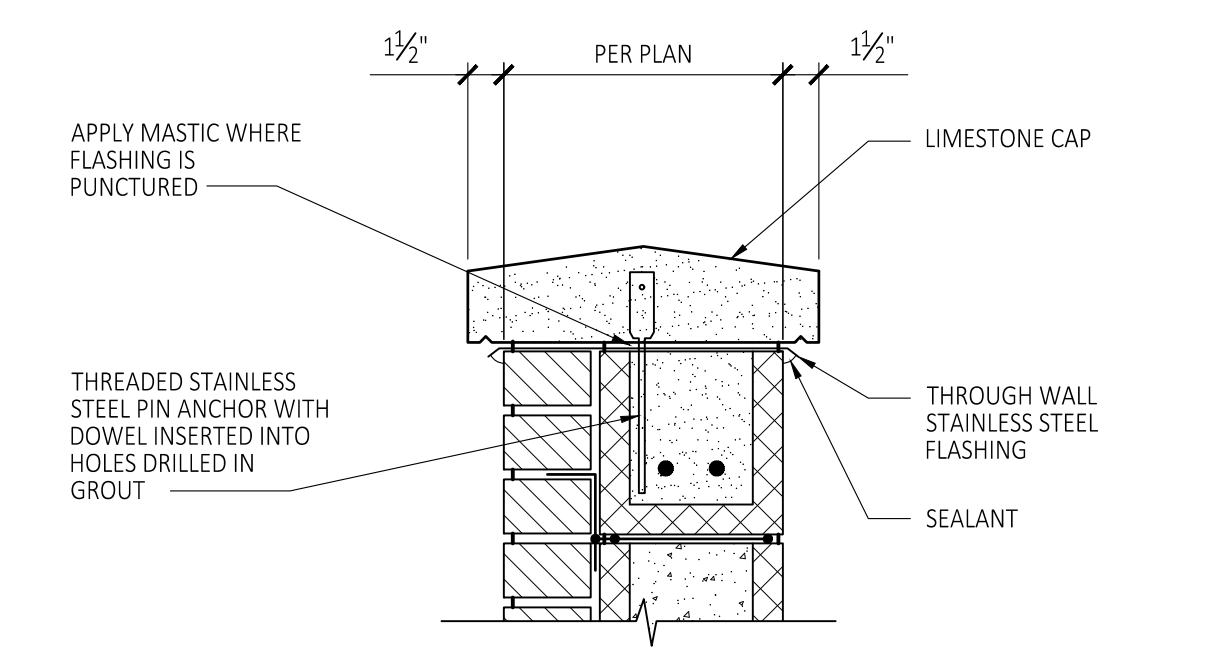
3 GATE POST
SCALE: 3/4" = 1'-0"



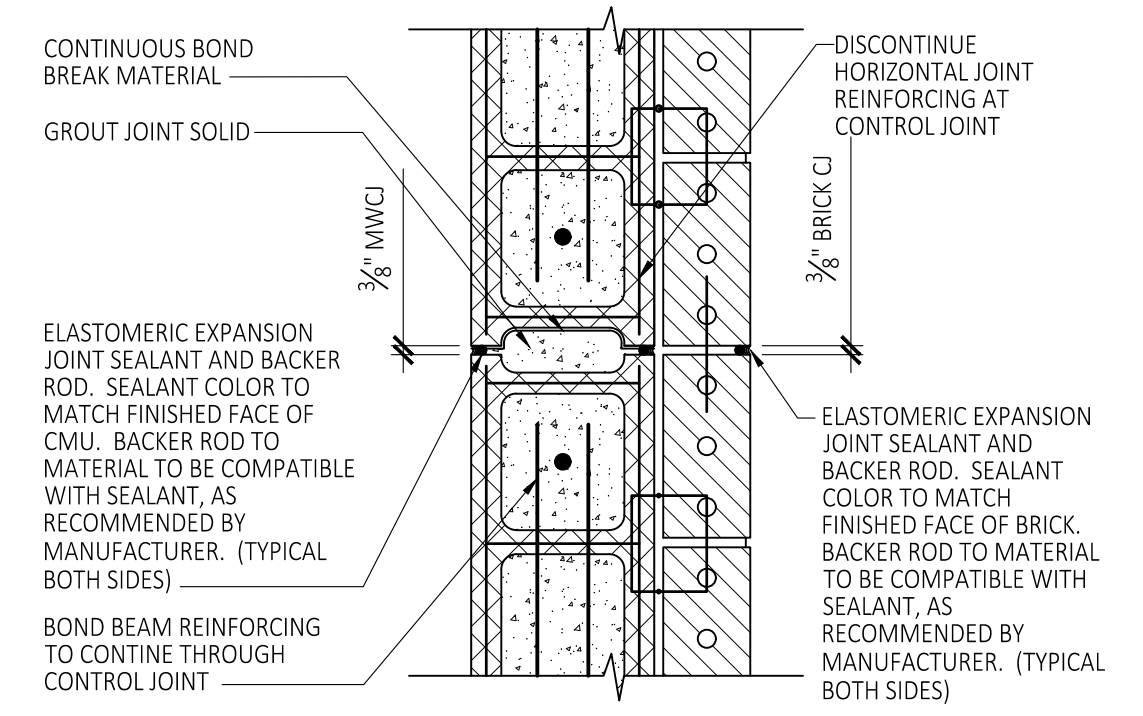
7 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



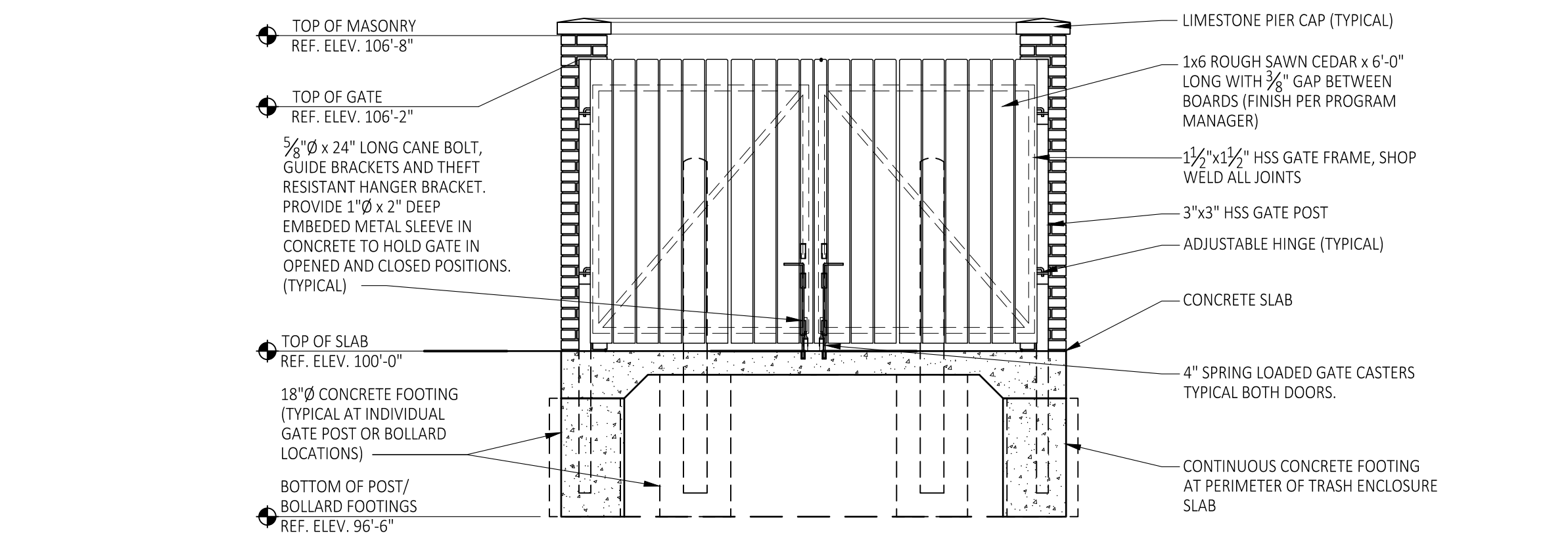
8 WALL SECTION
SCALE: 3/4" = 1'-0"



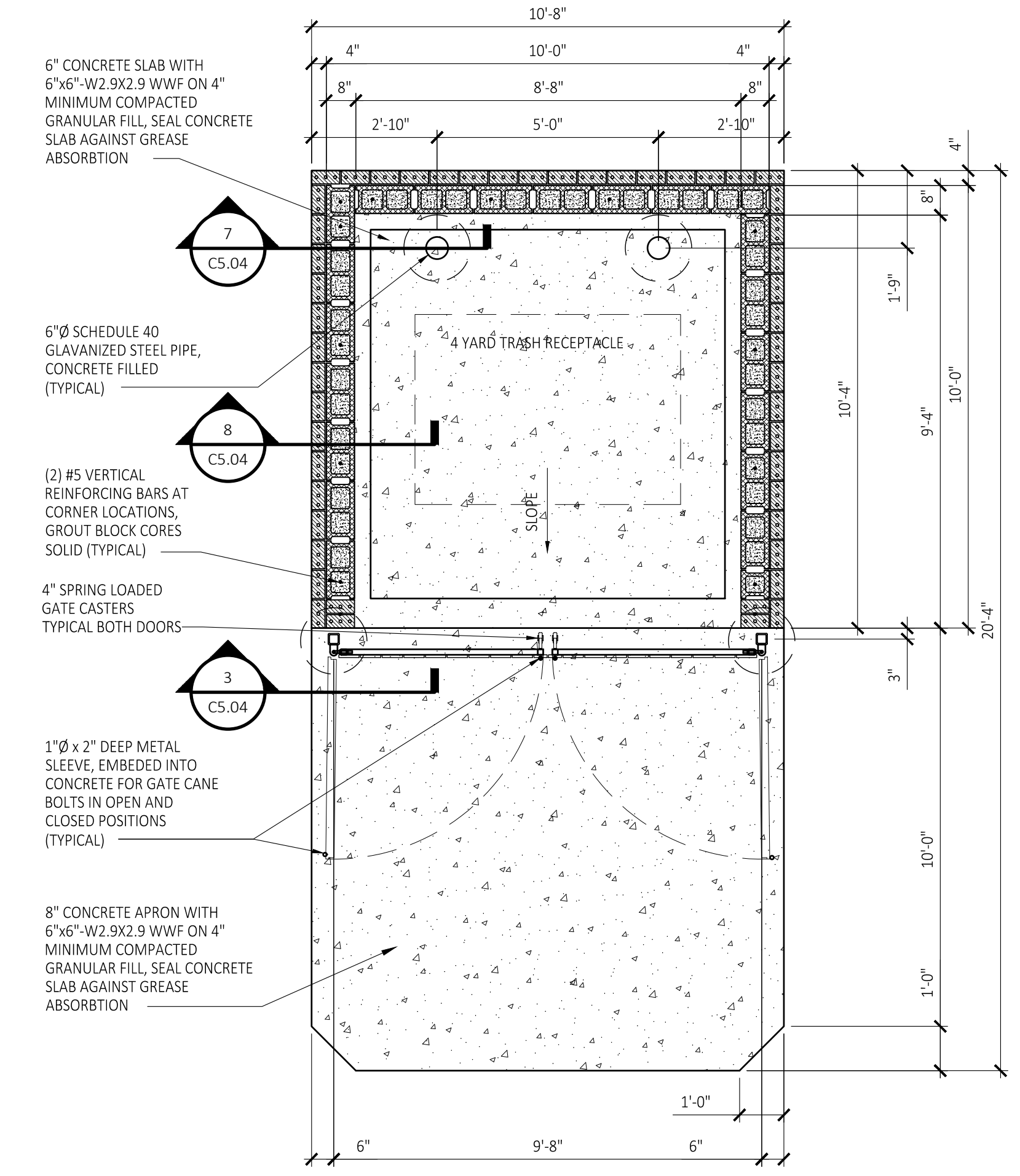
4 DETAIL AT WALL CAP
SCALE: 1 1/2" = 1'-0"



5 MWJC - BLOCK/BRICK
SCALE: 3/4" = 1'-0"



6 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 3/8" = 1'-0"



9 TRASH ENCLOSURE PLAN
SCALE: 3/8" = 1'-0"



04/27/2023

REVISIONS

REV.	DATE	DESCRIPTION

CONSULTANTS



PROJECT INFORMATION
LANDSCAPE DETAILS
KROGER D463 RETAIL FUEL CENTER
JOHN R. ROAD AT LARCHWOOD DRIVE
TROY, MI 48063

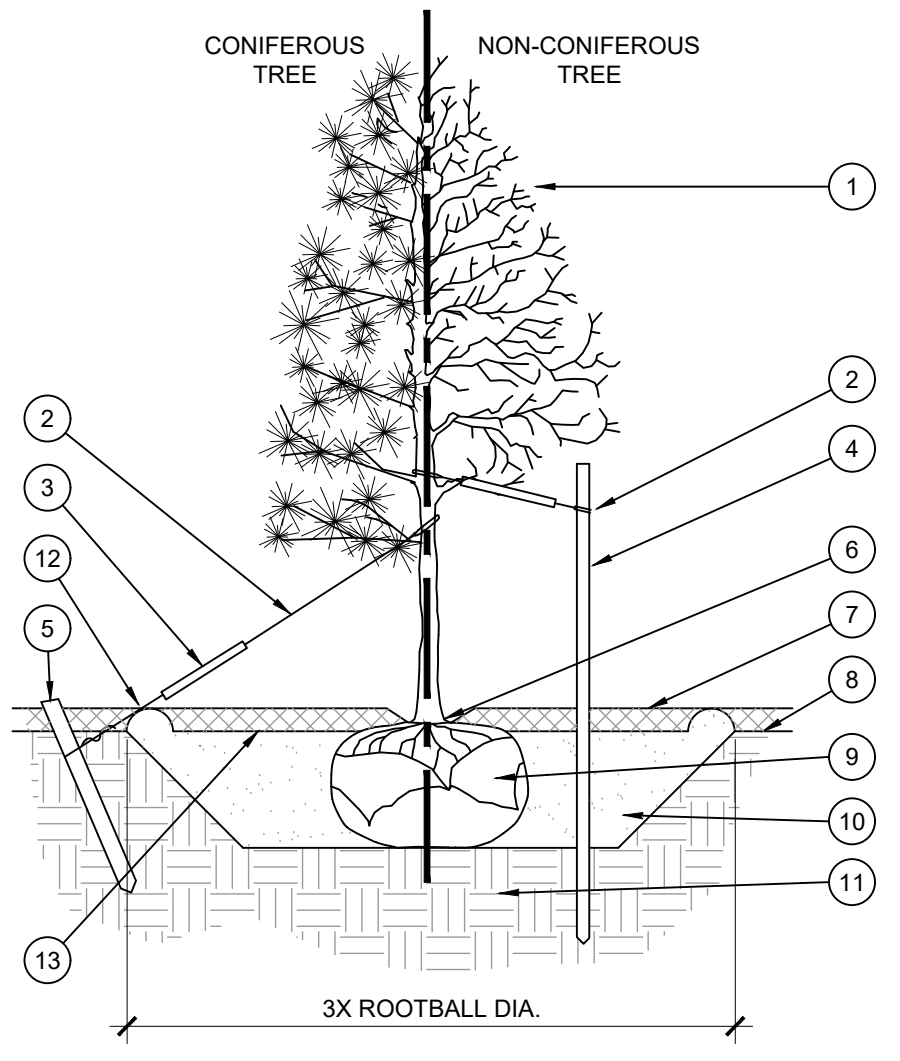
SHEET MANAGEMENT

PROJECT NUMBER:	D463
ISSUED DATE:	04.27.2023
DRAWN BY:	SS
CHECKED BY:	SSRM
PROJ. MGR:	RM

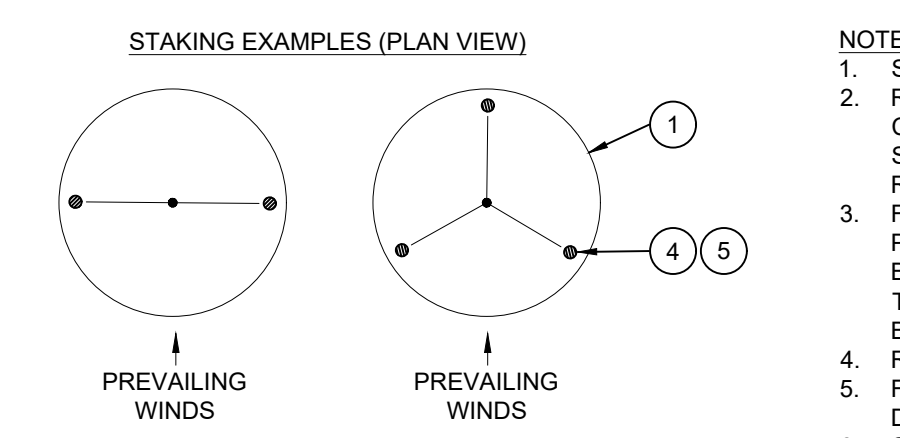
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SHEET NUMBER

LP.2

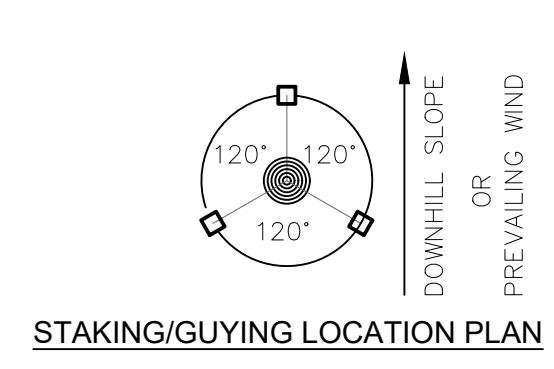


- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

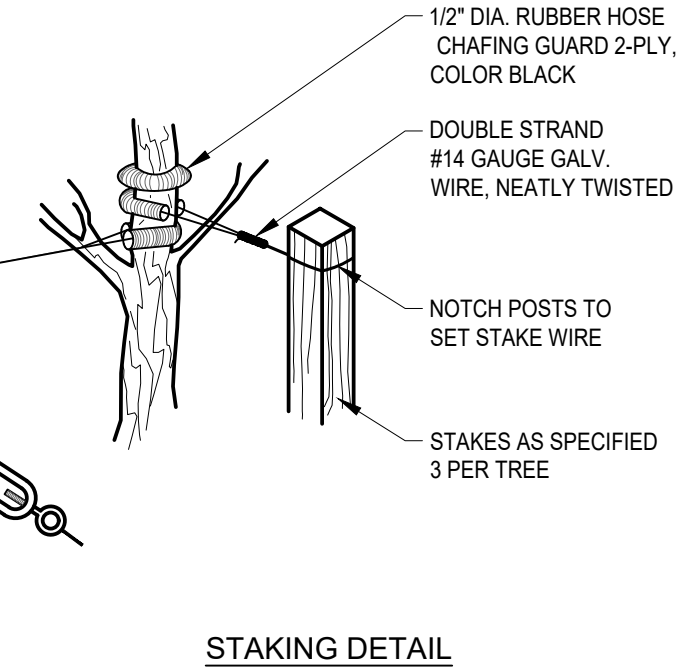
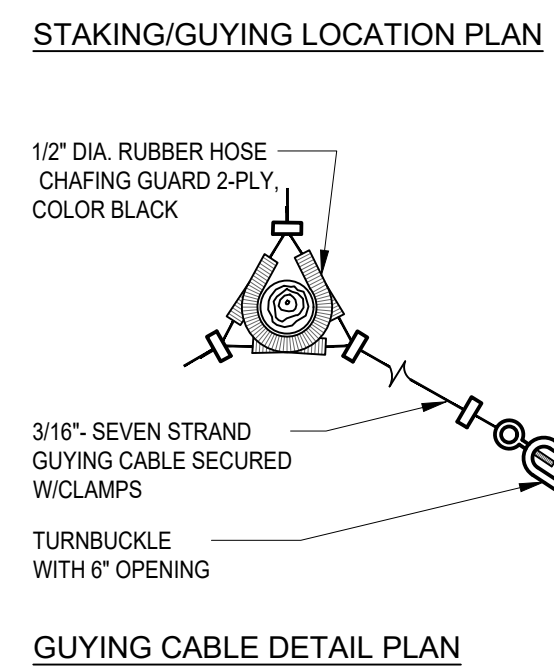


- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
 3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

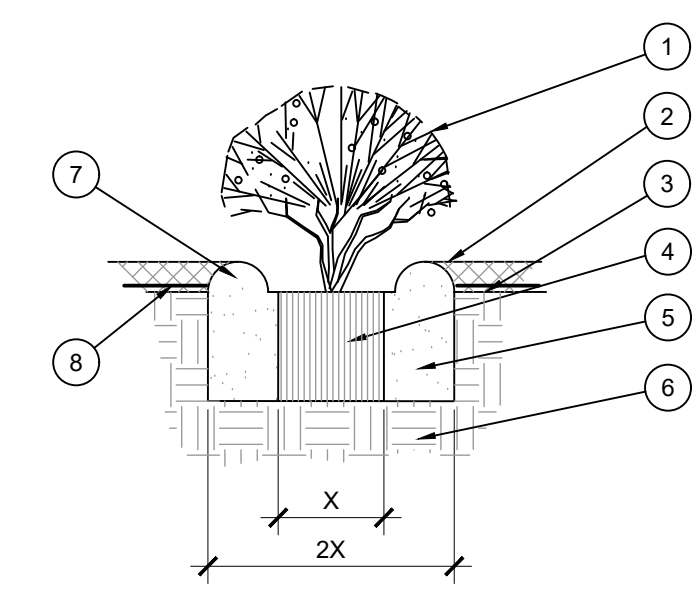
A TREE PLANTING
SCALE: NOT TO SCALE



NOTES:
ORIENT STAKING/GUYING TO PREVAILING WINDS AND SLOPES, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.
USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.

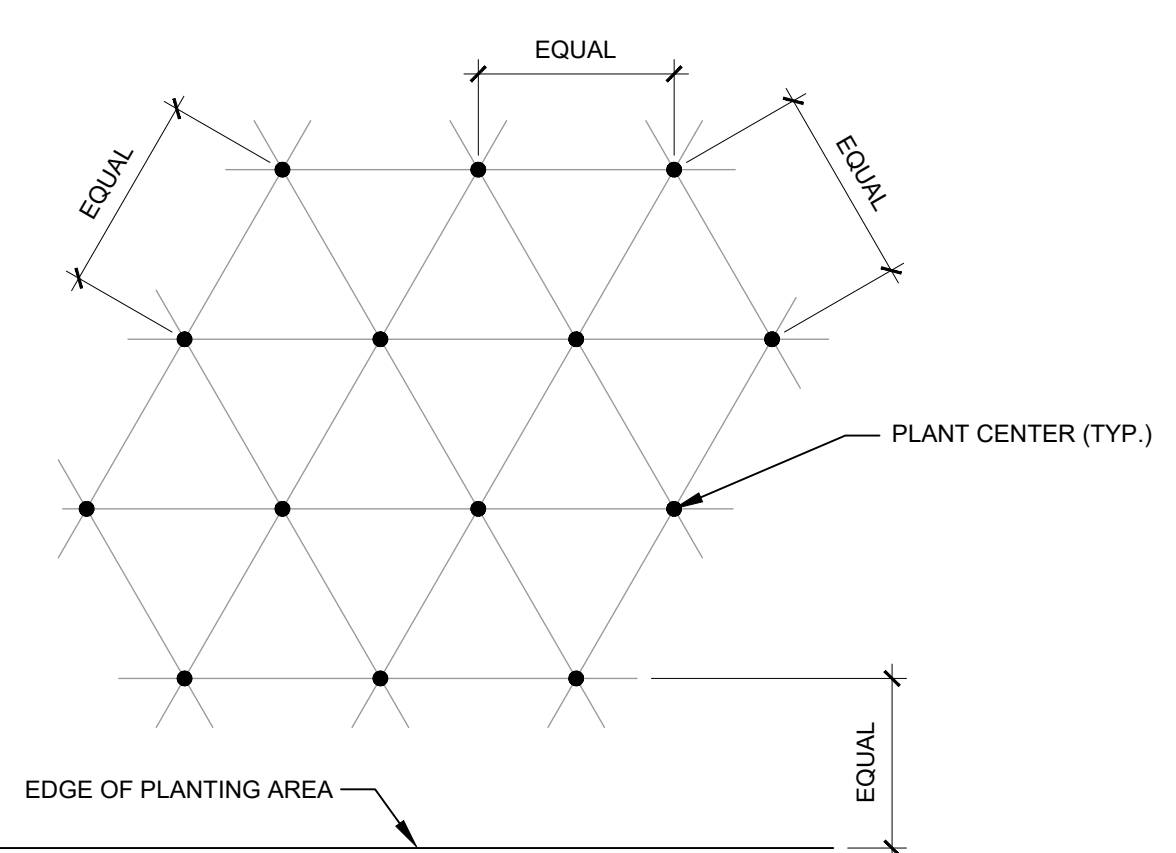


B TREE STAKING AND GUYING
SCALE: NTS



- 1 SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- 2 MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- 3 FINISH GRADE.
- 4 ROOT BALL.
- 5 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 6 UNDISTURBED NATIVE SOIL.
- 7 3" HIGH EARTHEN WATERING BASIN.
- 8 WEED FABRIC UNDER MULCH.

C SHRUB AND GROUNDCOVER PLANTING
SCALE: NTS



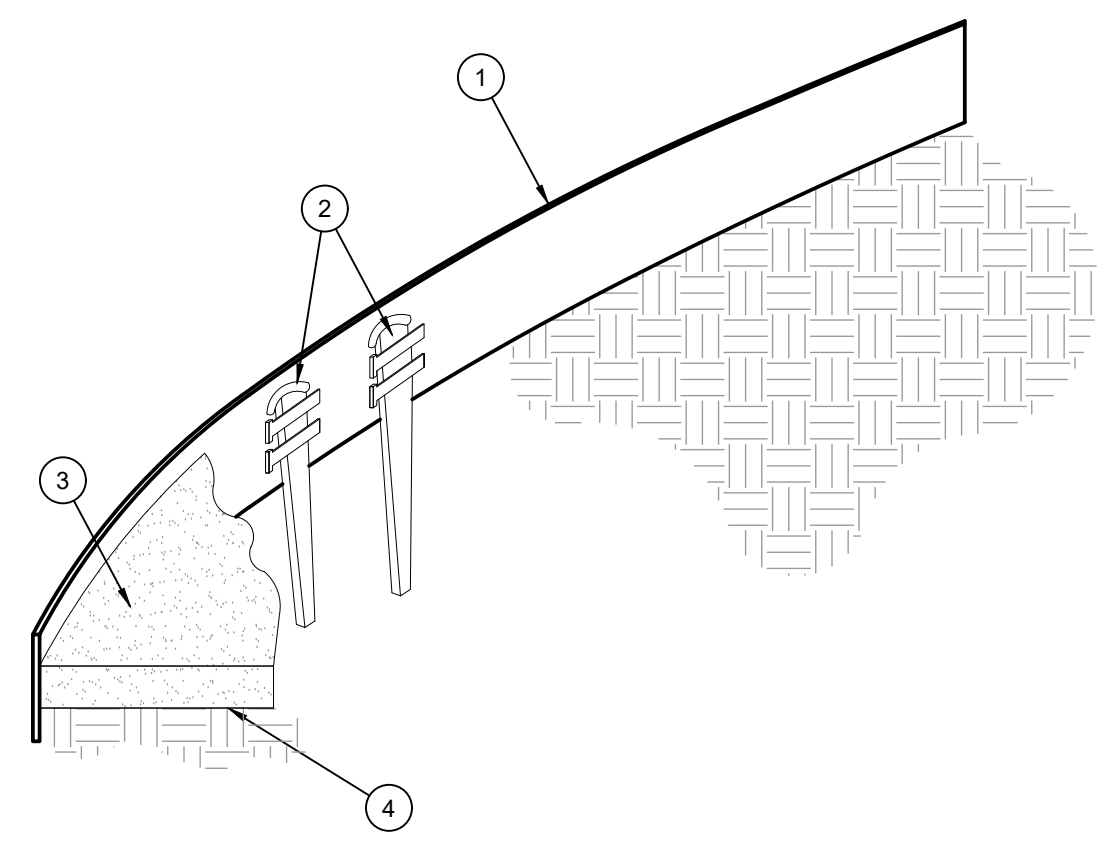
NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

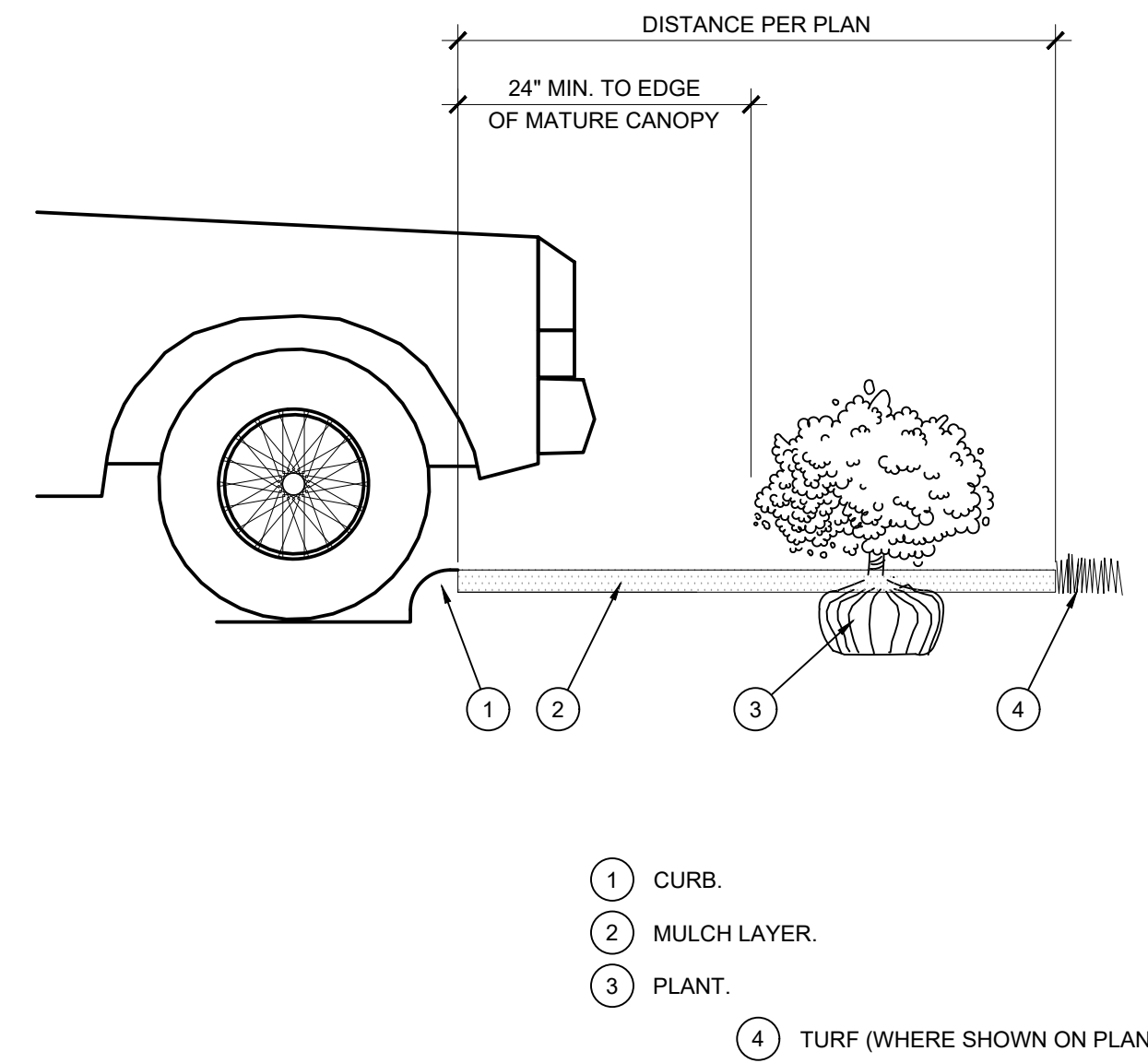
2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

D PLANT SPACING
SCALE: NTS

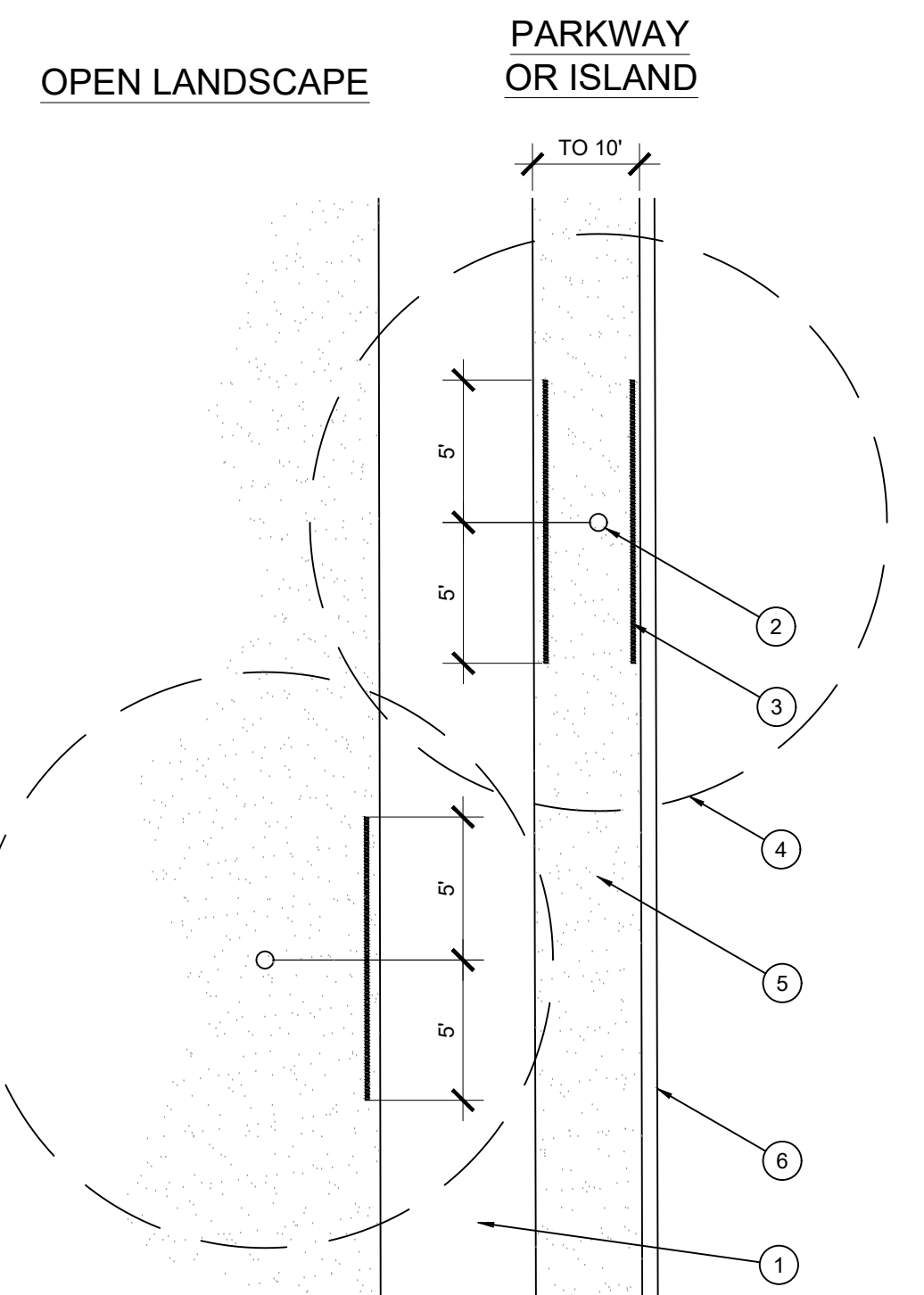


- 1 ROLLED-TOP STEEL EDGING PER PLANS.
 - 2 TAPERED STEEL STAKES.
 - 3 MULCH, TYPE AND DEPTH PER PLANS.
 - 4 FINISH GRADE.
- NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

E STEEL EDGING
SCALE: NOT TO SCALE



F PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



- 1 TYPICAL WALKWAY OR PAVING
 - 2 TREE TRUNK
 - 3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 - 4 TREE CANOPY
 - 5 TYPICAL PLANTING AREA
 - 6 TYPICAL CURB AND GUTTER
- NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

G ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



04/27/2023

REV.	DATE	DESCRIPTION



PROJECT INFORMATION
TREE PROTECTION DETAILS & SPECIFICATIONS
KROGER D463 RETAIL FUEL CENTER
JOHN R. ROAD AT LARCHWOOD DRIVE
TROY, MI 48063

PROJECT NUMBER:	D463
ISSUED DATE:	04.27.2023
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PROJ. MGR:	RM

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LP.4

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

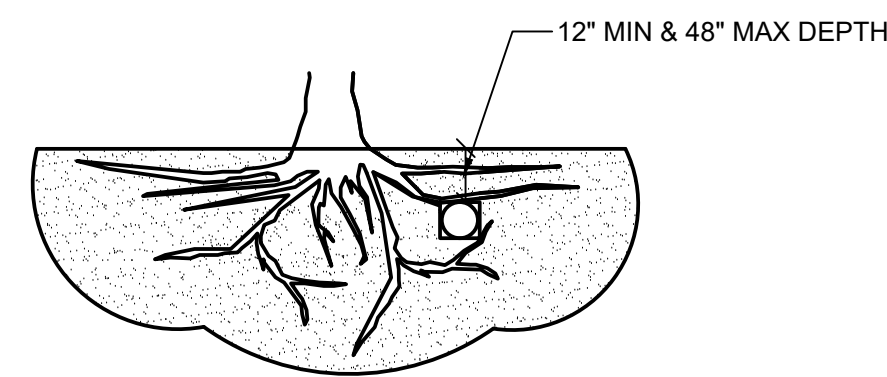
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

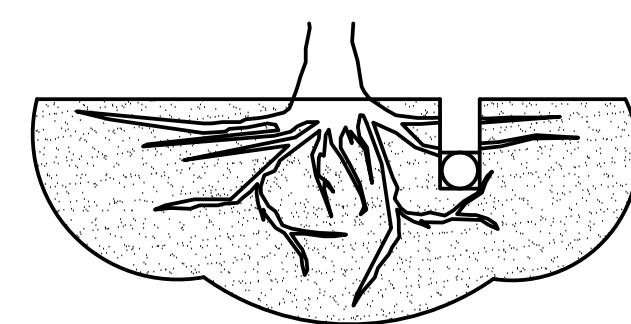
- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

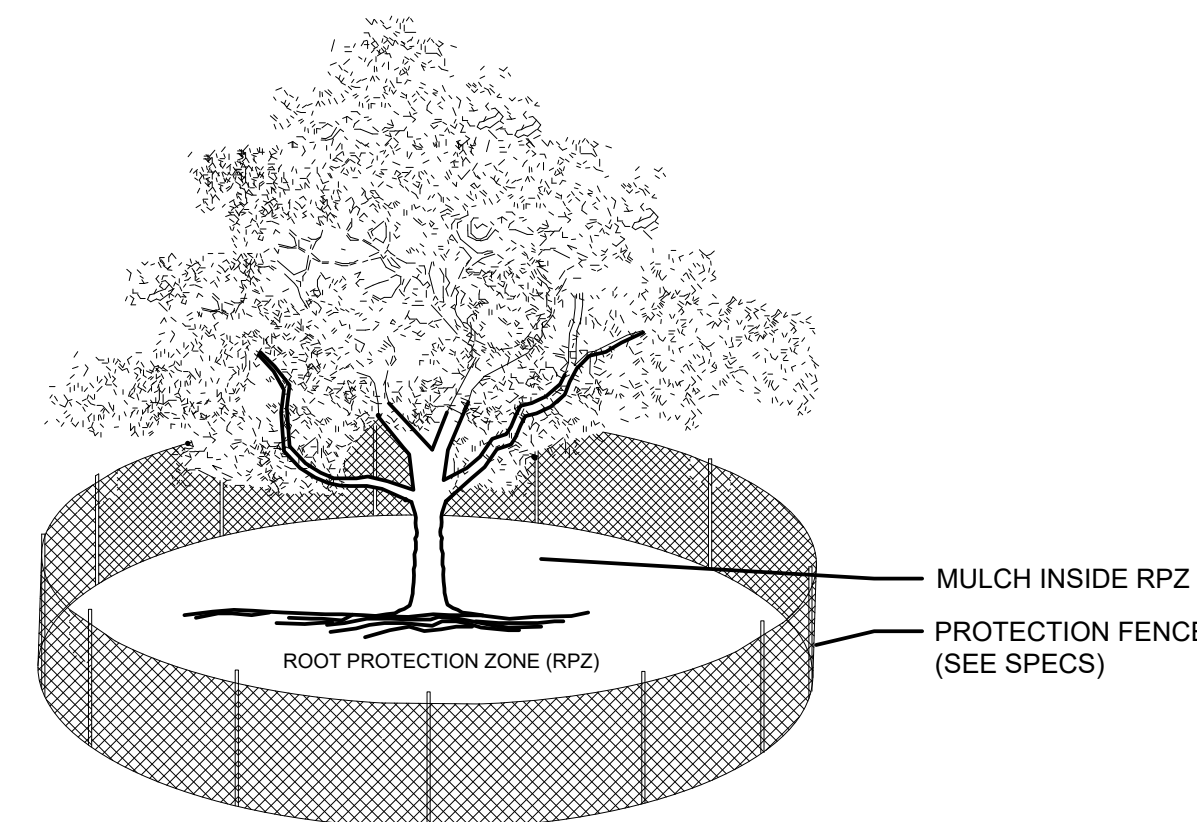
TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



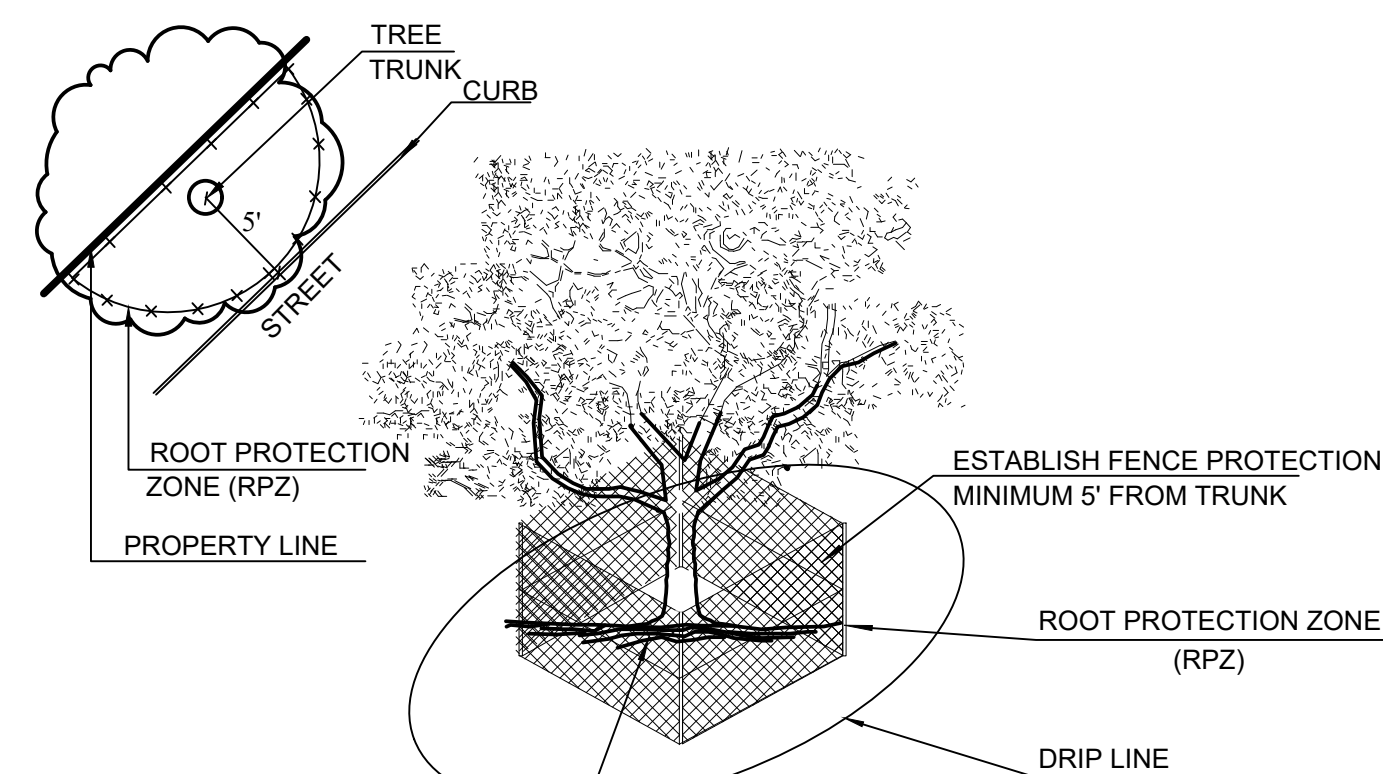
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.



- NOTES:
- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIPLINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.
 - OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE

SCALE: NOT TO SCALE



- 6" MULCH INSIDE RPZ IF BARE DIRT
- 8" MULCH OUTSIDE RPZ AND UNDER DRIPLINE AS MINIMAL PROTECTION FOR ROOTS FROM CONSTRUCTION ACTIVITIES
- NOTES:
- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
 - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

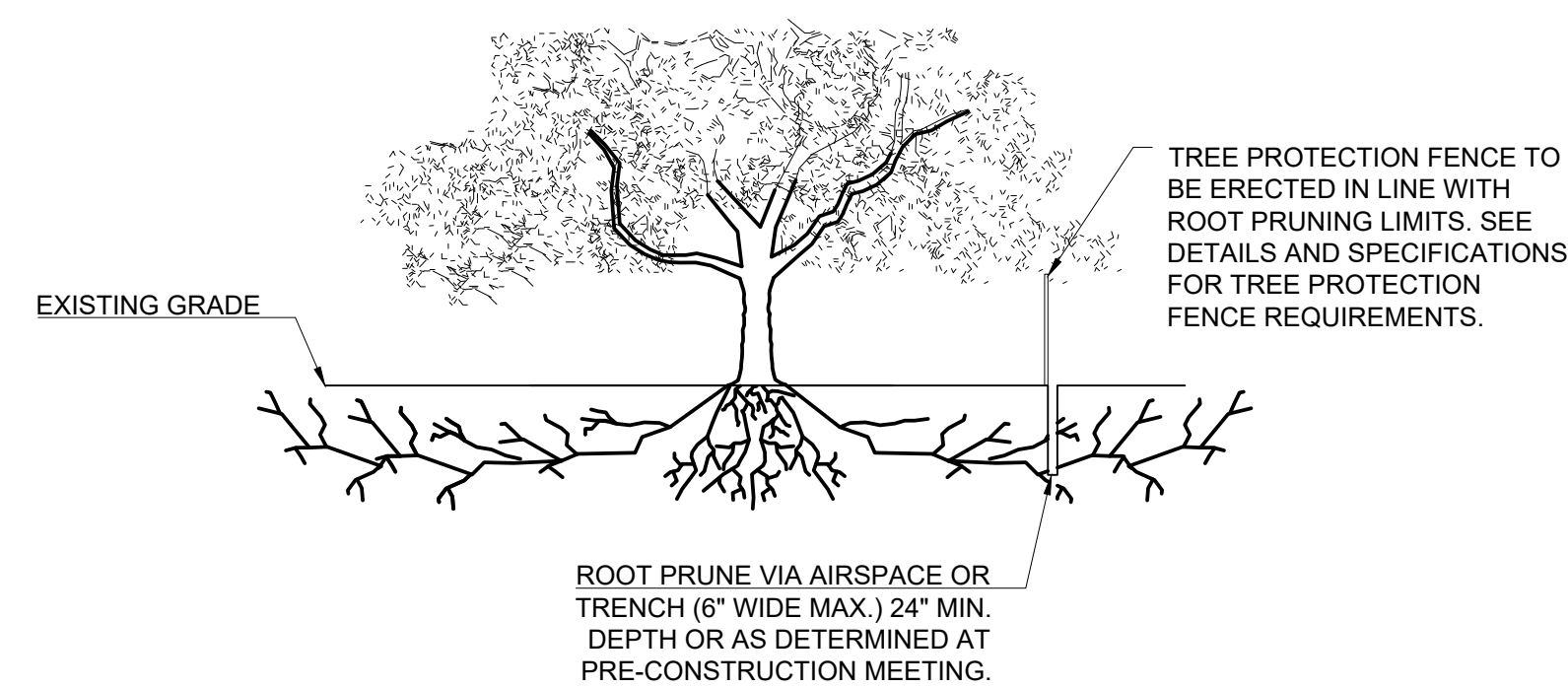
B TREE PROTECTION FENCE - TIGHT CONSTRUCTION

SCALE: NOT TO SCALE

C BORING THROUGH ROOT PROTECTION ZONE

SCALE: NOT TO SCALE

- NOTES:
- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
 - BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
 - EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
 - TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
 - ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
 - ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
 - SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



D ROOT PRUNING DETAIL

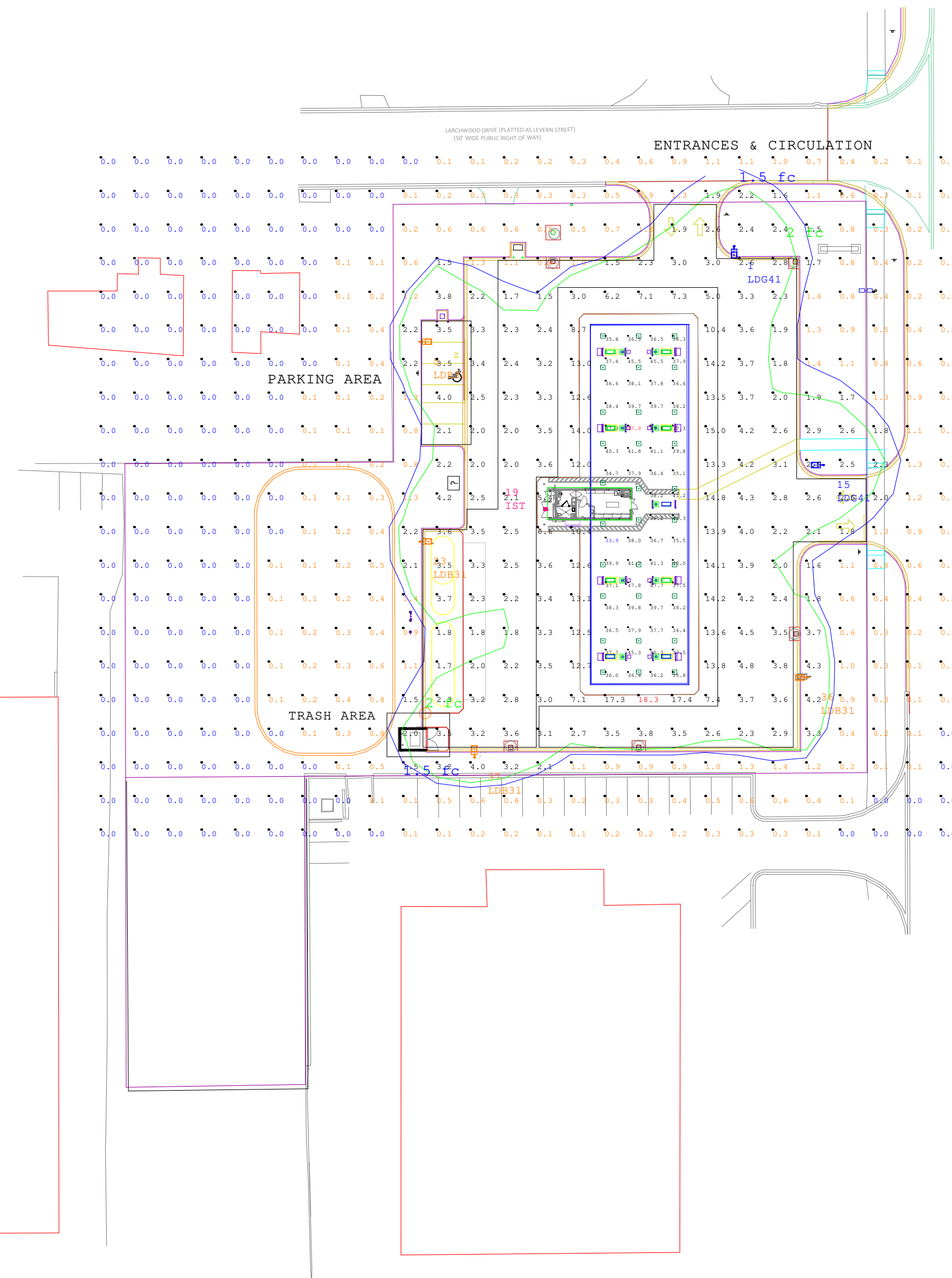
SCALE: NOT TO SCALE

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Watts	Total Watts	Lum. Lumens	LLF	Description
	30	A	Single	90	2700	13444	1.000	SCV-LED-13L-SC-50
	1	IST	Single	20.09	20.09	2419	0.912	IST-AF-350-LED-E1-SL3-BZ
	4	LDB31	SINGLE	131	524	17087	0.865	PRV-C40-D-VOLT-T4-SA-BZ
	2	LDG41	SINGLE	153	306	21360	0.865	PRV-C60-D-VOLT-T5-SA-BZ

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.64	18.3	0.0	N.A.	N.A.
FUEL CANOPY	Illuminance	Fc	39.07	47.9	33.9	1.15	1.41
ENTRANCES & CIRCULATION	Illuminance	Fc	2.87	4.8	1.5	1.91	3.20
PARKING AREA	Illuminance	Fc	3.04	4.0	2.0	1.52	2.00
TRASH AREA	Illuminance	Fc	2.75	3.5	2.0	1.38	1.75

**Project manager to specify
fixture voltage for each fixture type**

Total Watts = 3550.09



Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	LDG41	717.05	536.14	19	270	0
2	A	658.5	496.05	15	0	0
3	A	674.5	496.05	15	0	0
4	A	690.5	496.05	15	0	0
5	LDB31	576.66	493.5	19	0	0
6	A	658.5	482.05	15	0	0
7	A	674.5	482.05	15	0	0
8	A	690.5	482.05	15	0	0
9	A	658.5	462.08	15	0	0
10	A	674.5	462.08	15	0	0
11	A	690.5	462.08	15	0	0
12	A	658.5	448.08	15	0	0
13	A	674.5	448.08	15	0	0
14	A	690.5	448.08	15	0	0
15	LDG41	756.96	438.5	19	180	0
16	A	658.5	430.57	15	0	0
17	A	674.5	428.01	15	0	0
18	A	690.5	428.01	15	0	0
19	IST	633.61	418.8	7.5	180	0
20	A	674.5	414.01	15	0	0
21	A	690.5	414.01	15	0	0
22	A	658.5	412.24	15	0	0
23	LDB31	576.72	404.32	19	0	0
24	A	658.5	394.1	15	0	0
25	A	674.5	394.1	15	0	0
26	A	690.5	394.1	15	0	0
27	A	658.5	380.1	15	0	0
28	A	674.5	380.1	15	0	0
29	A	690.5	380.1	15	0	0
30	A	658.5	360.08	15	0	0
31	A	674.5	360.08	15	0	0
32	A	690.5	360.08	15	0	0
33	A	658.5	346.08	15	0	0
34	A	674.5	346.08	15	0	0
35	A	690.5	346.08	15	0	0
36	LDB31	749.8	343.73	19	180	0
37	LDB31	601.11	308	19	90	0

COOPER
Lighting Solutions
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1121 Highway 74 South
Peachtree City, GA 30269
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fax no: 770-486-4599
e-mail: mk-lighting@cooperlighting.com
cooperlighting.com

COOPER
Lighting Solutions

We make no representation as to its completeness, currency or accuracy because of reasons inherent to CAD and the additional digital data used to produce a lighting application. All digital CAD data appear to be extremely accurate, however, this apparent accuracy is an artifact of the techniques used to generate it, and is no way intended to imply that the data is perfect. This lighting application is an estimate only, and is based on estimated reflectance values for interior applications or estimated pole locations based on specified light levels for exterior applications. Any variance from reflectance values, obstructions, light loss factors or dimensional data will affect the calculated values. Calculated values may vary from actual measurements in certain situations due to advances, such as but not limited to, lamp output, input voltage, ballast tolerance and application variances. The presence of objects will decrease light levels and may cause some shadowing. Lighting application drawings are being provided to the recipient of this disclaimer.

Project Name:
KROGER D-463
Troy, MI

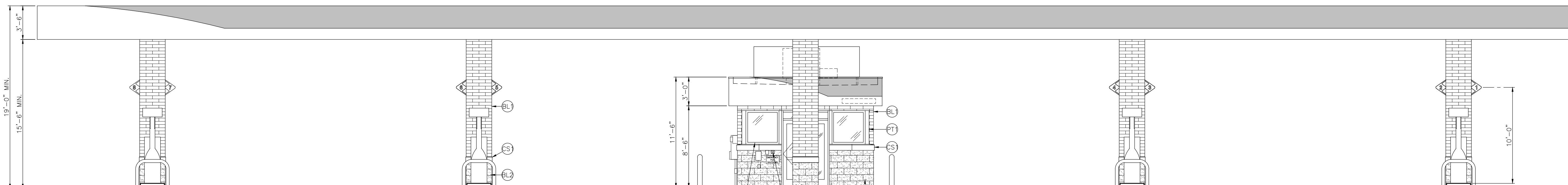
Client:
The Kroger Co.
Matthew Pisko

Drawn By:
EL

Date:
6/12/2023

Scale:
1" = 50'

Project No:
2300504C.AGI



1 FRONT ELEVATION
SCALE: 3/16"=1'-0"

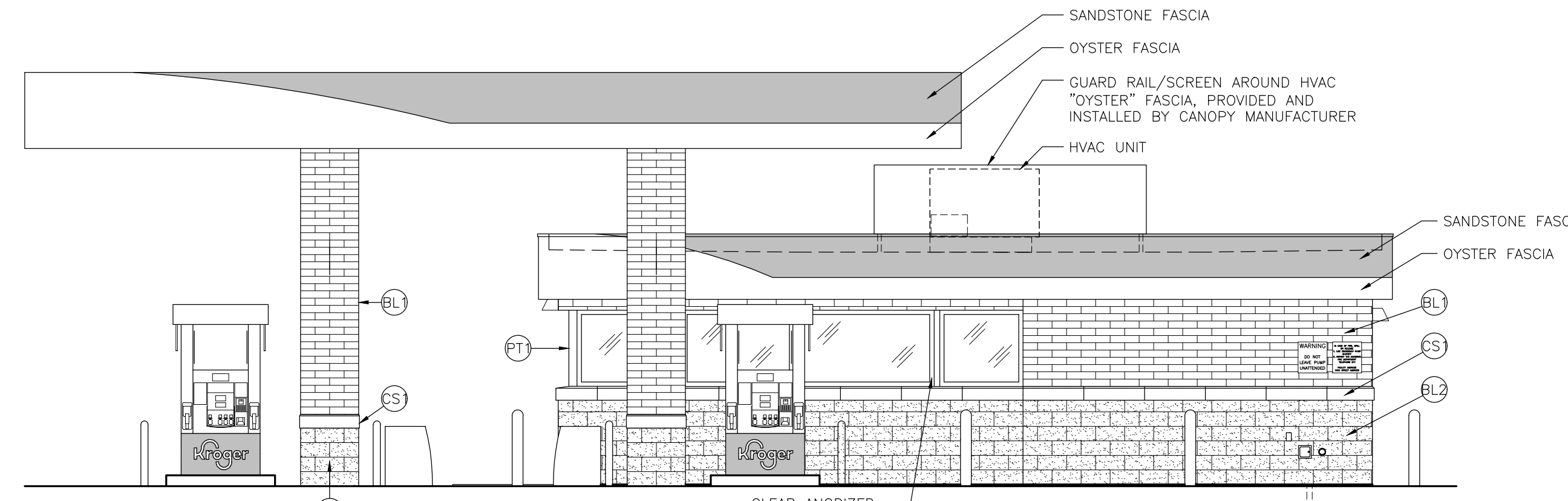
CLEAR ANODIZED ALUMINUM FRAMES
EMERGENCY FUEL SHUTDOWN

FINISH SCHEDULE	
(BL)	"LEE BRICK & BLOCK": "ASPEN CREAM" INTEGRALLY COLORED SMOOTH FACE 4"x16"
(CS)	33 1/2" LONG PRECAST SMOOTH CONCRETE SILL TO MATCH "LEE BRICK & BLOCK": "IVORY" WITH MATCHING MORTAR.
(BL2)	"LEE BRICK & BLOCK": "WINTER SEA" INTEGRALLY COLORED SPLIT FACE 8"x16" CMU.
(PT)	"SHERWIN WILLIAMS": "OYSTER" (CANVAS TAN) SW7531

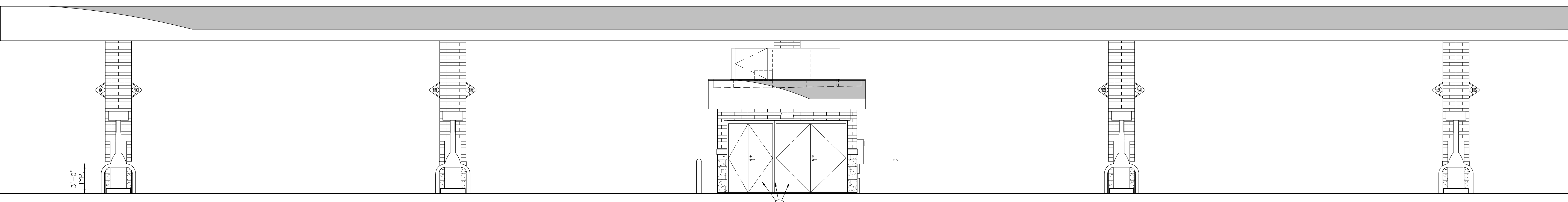


2 LEFT ELEVATION
SCALE: 3/16"=1'-0"

G.C. TO PAINT ELECTRICAL GEAR SW7531, "OYSTER", (CANVAS TAN)



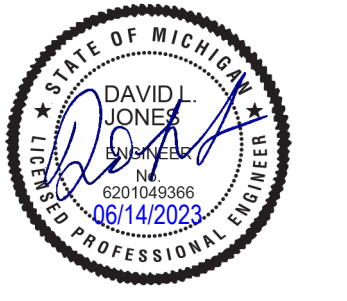
3 RIGHT ELEVATION
SCALE: 3/16"=1'-0"



4 REAR ELEVATION
SCALE: 3/16"=1'-0"

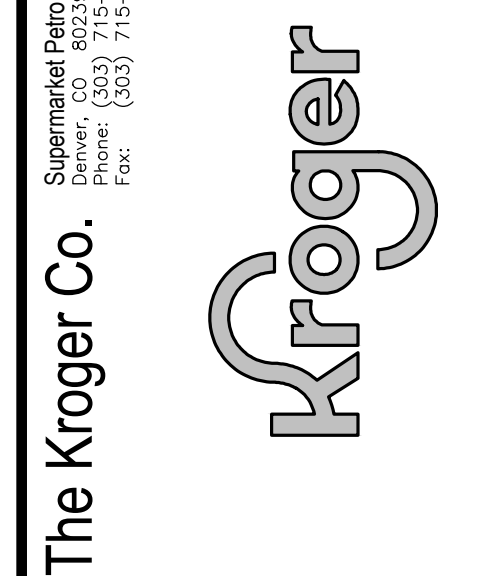
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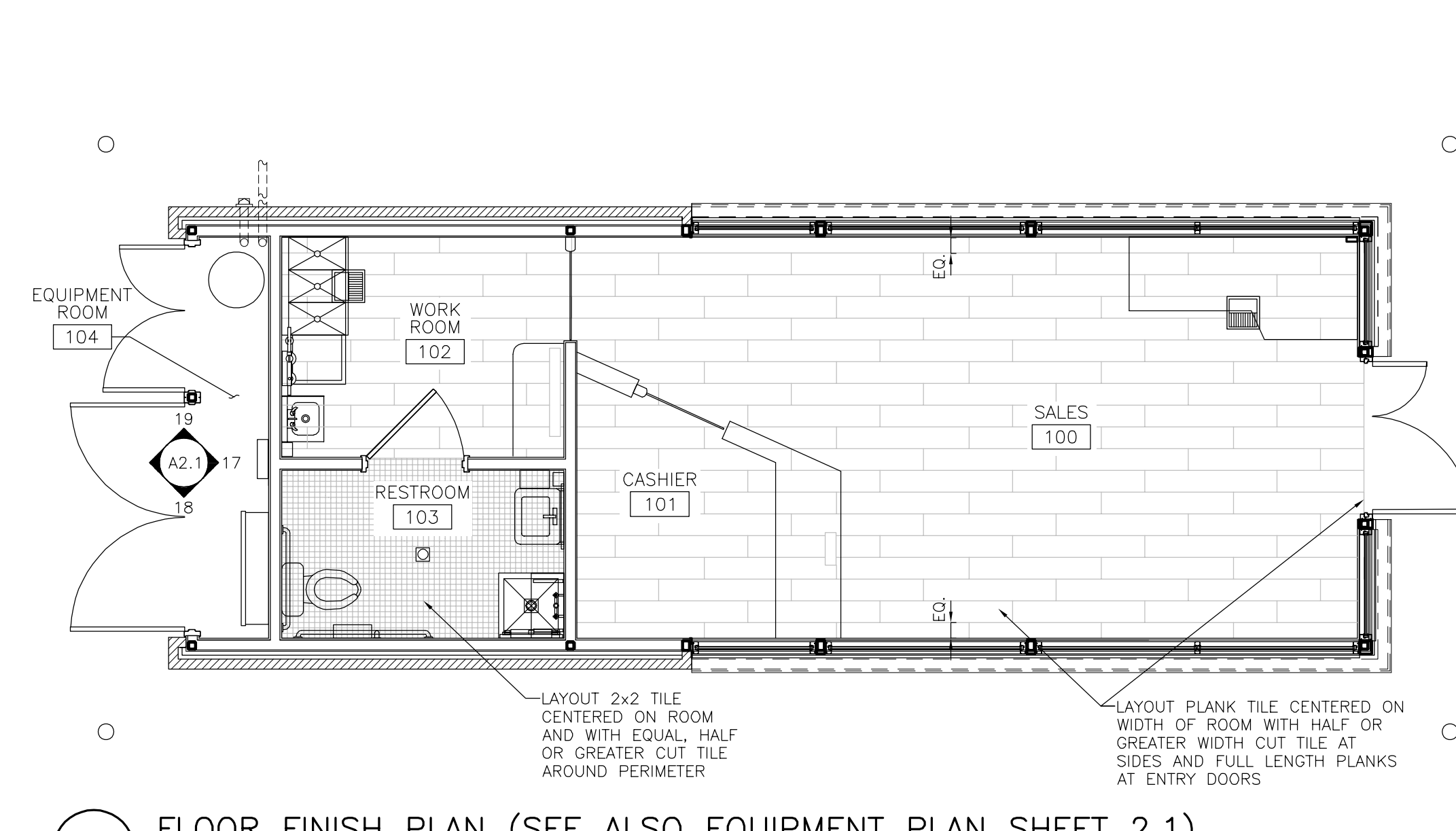
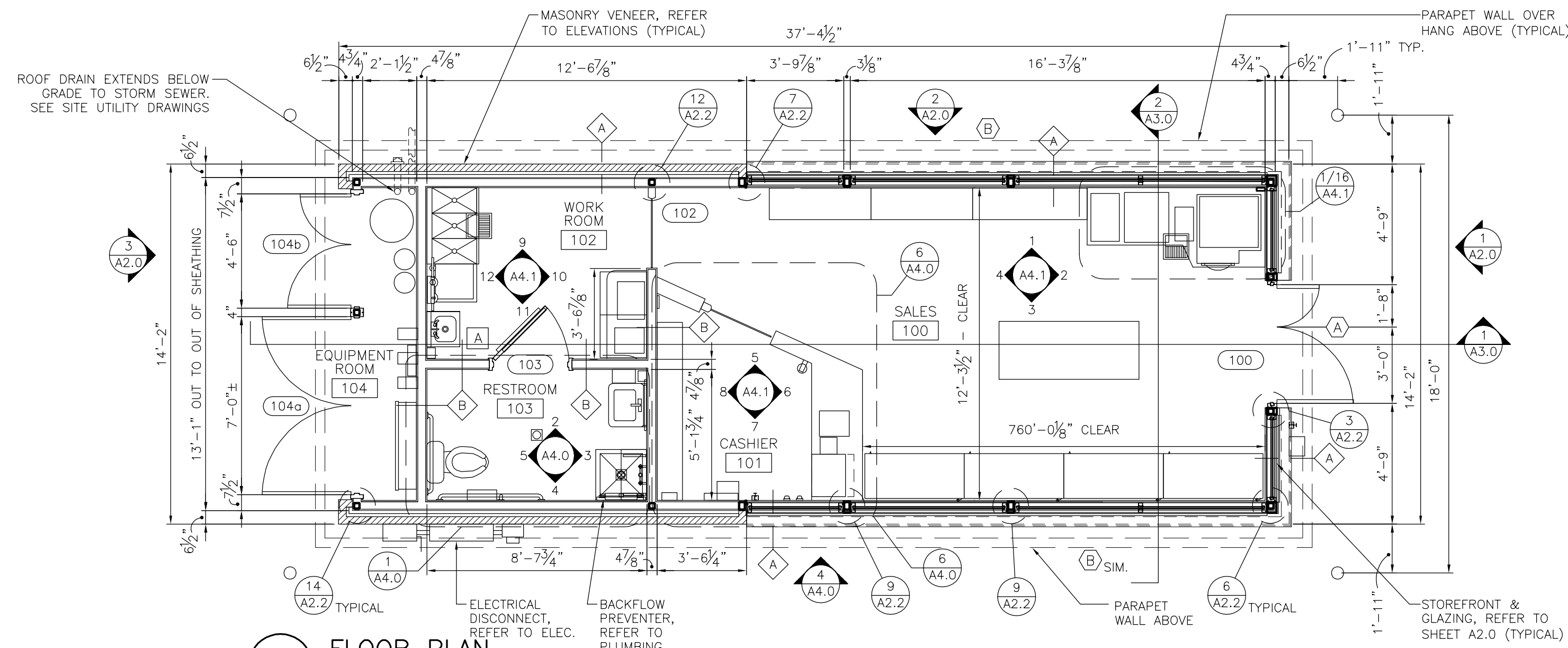
Supermarket Petroleum Group
Project: 003 715-5901
Phone: (303) 715-5900
Fax: (303) 715-5905



REVISIONS	
No.	DATE

Project #: 0-463
Date: APRIL, 2023
Scale: FULL
Disk File: D463_Elevation
Model: 9 (GD) 540 Kiosk
Address: TBD
Troy, Michigan

FUEL CENTER ELEVATIONS
Sheet: **A0.0**



DOOR and FRAME SCHEDULE: XXX DOOR NUMBER

NUMBER	DOOR	FRAME					REMARKS
		MATERIAL	FINISH	TYPE	HEAD	LAMB	
100	1'-8"x7'-0" (unequal pair) 3'-0"x7'-0"	AL	AN	1	AL	A	SEE WINDOW A FOR FRAME
102	3'-0"x7'-0" FILED VERIFY	-	-	2	-	-	ELASON DOOR; GYP. BD. CASED OPENING; SS STEEL CORNER GUARDS; FULL HGT. ON "STRIKE" SIDE OF OPENING
103	3'-0"x7'-0"	IHM	PT-2	3	HM	PT-2	13/A2.2 4/A2.2 15/A2.2
104a	3'-6"x7'-0" (pair)	IHM	PT-7	3	HM	PT-7	9/A2.2 11/A2.2 21/A2.2
104b	2'-0"x7'-0" (unequal pair) 2'-6"x7'-0"	IHM	PT-7	3	HM	PT-7	9/A2.2 11/A2.2 21/A2.2

MATERIAL and FINISH LEGEND

AL - ALUMINUM AN - ANODIZED CLEAR P - PAINT
 ACR - ACRYLIC BR - UL RATED BLAST & BULLET RESISTANT IHM - INSULATED HOLLOW METAL

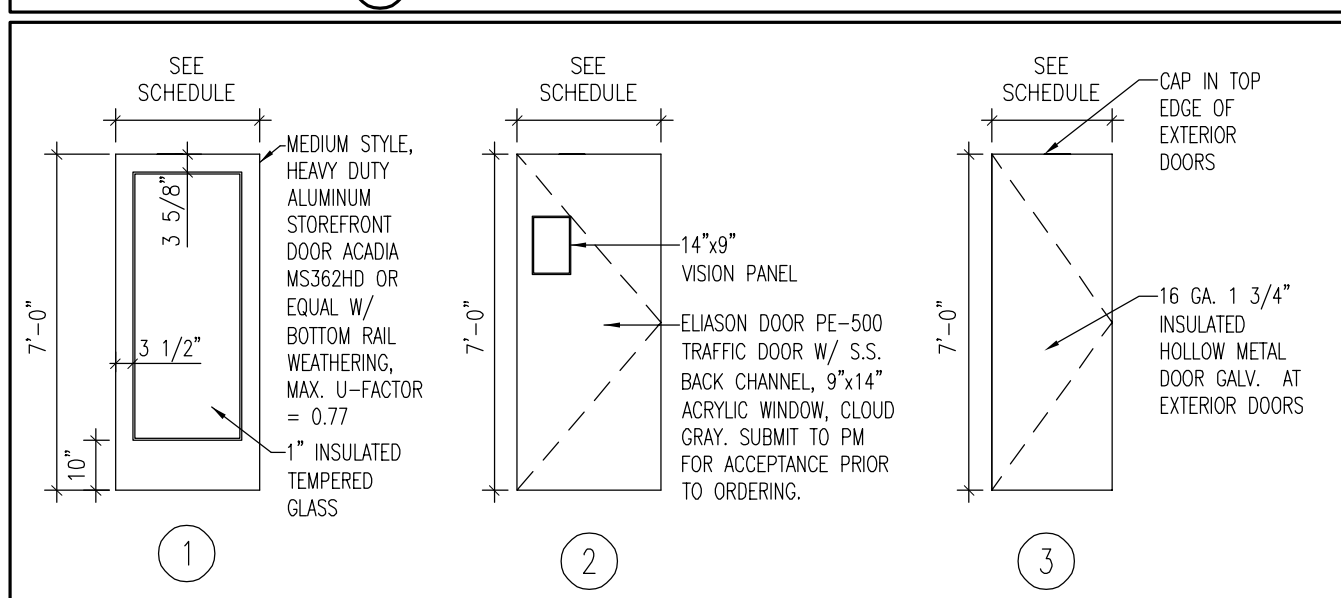
DOOR NOTES:

- CLOSERS & LOCKSETS SHALL MEET ADA AND LOCAL REQUIREMENTS.
- ALL EXTERIOR DOORS TO HAVE MAXIMUM OF 8.5 LBS. PUSH/PULL PRESSURE.
- DOOR HANDLES TO BE MOUNTED AT 42" A.F.F. TO CENTER LINE OF HANDLES.
- ALL DOOR HARDWARE SHALL MEET ADA REQUIREMENTS (LEVERS, PANIC HARDWARE, USHAPED DEVICES, ETC.)
- ALL HARDWARE FINISH US26D

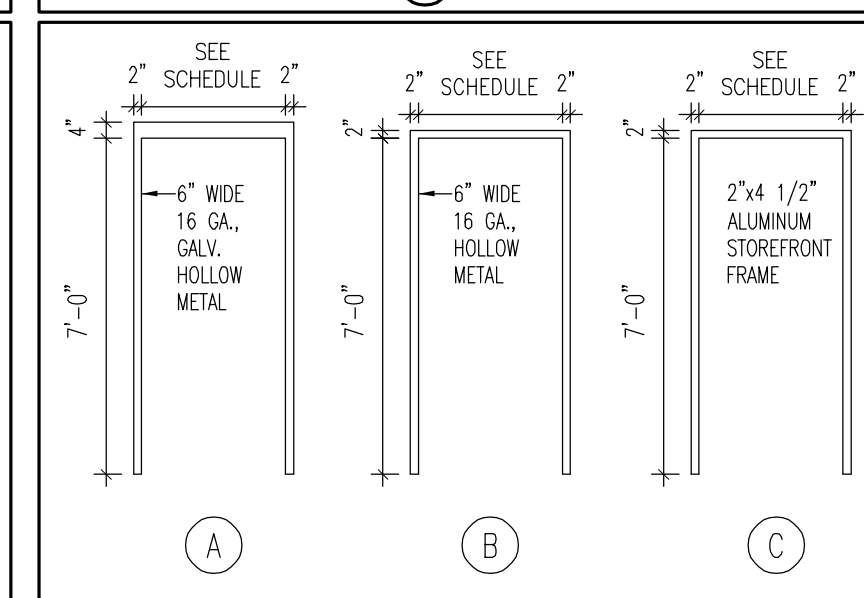
HARDWARE SCHEDULE: #

#	HARDWARE	QUANTITY	MODEL NUMBER	MANUFACTURER
1	HINGE	1 EA. LEAF	CONTINUOUS ROTON HINGE 1200-600-XHD, ANODIZED ALUMINUM	HAGER
	THRESHOLD	1 EA.	SEUDO THRESHOLD 283X SET AND ANCHOR THROUGH FULL BED OF NON-SHRINK GROUT	PEMCO
	ASTRAGAL	1 EA.	8375-MIL-N, MOUNT TO INTERIOR OF INACTIVE LEAF	HAGER
	DOOR PULL	1 EA.	1-1/4" DIA. X 12" PULL BF15B, SS, US32D (ANSI 630) FINISH	ROCKWOOD
	PANIC BAR	1 EA.	NARROW STILE CONCEALED VERTICAL ROD EXIT DEVICE 8600 SERIES W/ HEADER STRIKE - LHR LEAF	ADAMS RITE
	CLOSER	1 EA.	HEAVY DUTY CLOSER 4040XP W/ SEX NUT BOLTS - LHR LEAF	LCN
	DOOR STOP	2 EA.	OVERHEAD STOPS - 90 SERIES, US32D FINISH, W/ HOLD OPEN FEATURE	GLYNN-JOHNSON
	SURFACE BOLTS	2 EA.	SB360X12" WITH SEX NUT BOLTS TOP & BOTTOM STRIKES, MOUNT ON RHR LEAF	IVES
	CYLINDERS	1 EA.	KEYED CYLINDER 7 PIN - LHR LEAF	BEST
	SILL STRIKE	1 EA.	DUST PROOF SILL STRIKE DP2	IVES
	LOCK GUARD	1 EA.	LG12, STAINLESS STEEL W/ SEX NUT BOLTS	IVES
	OVERHEAD RAIN DRIP	1 EA.	346-C-76	PEMCO
3	BUTTS	1 1/2 PAIR	BB1191, 4-1/2"x4-1/2", STAINLESS STEEL - US26D	HAGER
	GASKET	1 SET	ADHESIVE BACK, FIRE/SMOKE PK33BL	PEMCO
	CLOSER	1 EA.	HEAVY DUTY CLOSER 4040XP W/ SEX NUT BOLTS	LCN
	DOOR STOP	2 EA.	OVERHEAD STOPS - 90 SERIES, US32D FINISH, W/ HOLD OPEN FEATURE	GLYNN-JOHNSON
	LOCKSET	1 EA.	9K-3-7-T-15-D-S3-626	BEST
4	HINGE	1 EA. LEAF	CONTINUOUS ROTON HINGE 1200-600-XHD, ANODIZED ALUMINUM	HAGER
	THRESHOLD	1 EA.	SEUDO THRESHOLD 283X SET AND ANCHOR THROUGH FULL BED OF NON-SHRINK GROUT	PEMCO
	ASTRAGAL	1 EA.	8375-MIL-N, MOUNT TO INTERIOR OF INACTIVE LHR LEAF	HAGER
	GASKET	1 SET	ADHESIVE BACK, FIRE/SMOKE PK33BL	PEMCO
	DOOR SWEEP	1 EA. LEAF	216APK WITH RAIN DRIP & SWEEP	PEMCO
	DOOR STOPS	2 EA.	OVERHEAD STOPS - 90 SERIES, US32D FINISH, W/ HOLD OPEN FEATURE	GLYNN-JOHNSON
	SURFACE BOLTS	2 EA.	SB360X12" WITH SEX NUT BOLTS TOP & BOTTOM STRIKES, MOUNT ON LHR LEAF	IVES
	LOCKSET	1 EA.	9K-3-7-D-15-D-S3-626 - RHR	BEST
	LOCK GUARD	1 EA.	LG12, STAINLESS STEEL W/ SEX NUT BOLTS	IVES
	OVERHEAD RAIN DRIP	1 EA.	346-C-76	PEMCO

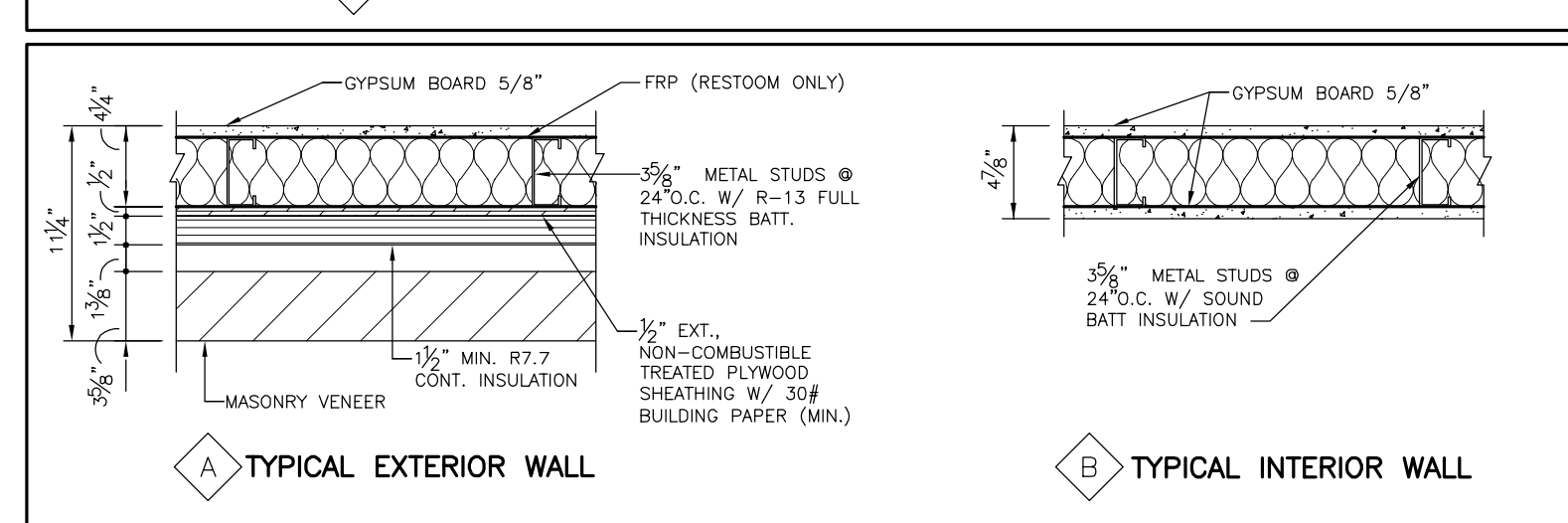
DOOR TYPES: #



FRAME TYPES: X



WALL TYPES: #



ROOM FINISH SCHEDULE: FINISHES IN THIS BUILDING SHALL COMPLY WITH IBC CHAPTER 8 AND SATISFY FLAME SPREAD AND SMOKE DEVELOPMENT OF AT LEAST CLASS C MATERIAL PER THE BUILDING CODES.

NUMBER	AREA NAME	FLOOR			WALLS		CEILING		REMARKS
		MATERIAL	FINISH	BASE	MATERIAL	FINISH	HEIGHT		
100	SALES	CONC	PT1	RB	GB, PNT-1	ACT1	-	8'-0"	-
101	CASHIER	CONC	PT1	RB	GB, PNT-1	ACT1	-	8'-0"	-
102	WORK ROOM	CONC	PT1	RB	GB, PNT-1	ACT2	-	8'-0"	-
103	RESTROOM	CONC	PT2	PT2	GB, FRP	PNT-1	8'-0"	-	PNT-2 ON DOORS AND FRAMES
104	EQUIPMENT ROOM	CONC	CS	RB	GB, PNT-1	GB	PNT-1	9'-0"	-

MATERIAL and FINISH LEGEND

ACT1 - WET FORMED MINERAL FIBER--"ARMSTRONG" - DESIGNER #737, ANGLED TEGULAR ACOUSTIC PANELS (24x24x5/8) ON 15/16" PRELUDE XL FIRE GUARD EXPOSED TEE GRID, WHITE.
ACT2 - WET FORMED MINERAL FIBER--"ARMSTRONG" - CLEANROOM VL (UNPERFORATED), SQUARE EDGE PANELS (24x48x5/8) ON 15/16" PRELUDE XL FIRE GUARD EXPOSED TEE GRID, WHITE.

PL-1 - PLASTIC LAMINATE COUNTER TOPS, COUNTER EDGES, COFFEE BACKSPLASH, AND COOLER HEADWALLS; GRANIT DIRECTION LONGITUDINAL ON LENGTH (HORIZONTAL); MILLWORK FRONTS, SIDES, AND VERTICAL SURFACES; GRAIN DIRECTION VERTICAL. FORMICA: 5883-58 PECAN WOODLINE.

PNT-1 - MAIN INTERIOR WALLS: SHERWIN WILLIAMS SW7044 - "AMAZING GRAY" - EGGSHELL
PNT-2 - HOLLOW METAL DOORS AND FRAMES: SHERWIN WILLIAMS SW7047 "PORPOISE" - SEMI-GLOSS
PNT-3 - HEADER WALLS: SHERWIN WILLIAMS SW7044-"AMAZING GRAY" - SEMI-GLOSS
PNT-4 - HEADER ACCENT: SHERWIN WILLIAMS SW6891-"MANDARIN" - SEMI-GLOSS
PNT-5 - HEADER ACCENT: SHERWIN WILLIAMS SW6864-"CHERRY TOMATO" - SEMI-GLOSS
PNT-6 - ACCENT WALL: SHERWIN WILLIAMS SW6712-"LILAU GREEN" - SEMI-GLOSS
PNT-7 - EXTERIOR HOLLOW METAL DOORS AND FRAMES: SHERWIN WILLIAMS SW7549-STUDIO TAUPE "SANDSTONE" - GLOSS

CONC - CONCRETE
CS - CONCRETE SEALER
CMU - CONCRETE MASONRY UNITS
FRP - KEMTILE, GLASBORO-P, #48 PEARL GREY
GB - GYPSUM BOARD
PT1 - PORCELAIN TILE SHALL BE: MARRAZZI CHATEAU RESERVE, 8"x3/8"x48", COLOR-HICKORY GROVE. LAYOUT WITH A 1/3 STAGGERED END PATTERN AS INDICATED ON THE DRAWINGS. GROUT SHALL BE LATICRETE SPECTRALOCK, COLOR- 56 DESERT KHAKI GROUT LINES TO BE 1/8". BASE SHALL BE 6" RUBBER COVE BASE (RB).
PT2 - PORCELAIN TILE SHALL BE: AMERICAN OLEAN PORCELAIN MOSAIC, 2"x2", COLOR-BUFF GRANITE A52. GROUT SHALL BE LATICRETE SPECTRALOCK, COLOR-56 DESERT KHAKI. GROUT LINES TO BE 1/8". BASE SHALL BE BUILT UP 2"x2" TILE WITH SCHLUTER SYSTEMS, FINISH: BRUSHED STAINLESS, EBHK (COVE PIECE), EBHK (INSIDE COVE WALL CORNER), EBHK (OUTSIDE COVE CORNER), SCHLUTER-JOLLY ACG BRUSHED CHROME (BASE TOP CAP), AND ALL OTHER ACCESSORIES FOR A COMPLETE FINISHED INSTALLATION.

RB - ROPPE 6", COVED TOE, ROLL GOODS, W/ PREFORMED CORNERS AND RUBBER REDUCER - COLOR TBD OR EQUAL
WRG - WATER RESISTANT GYPSUM BOARD

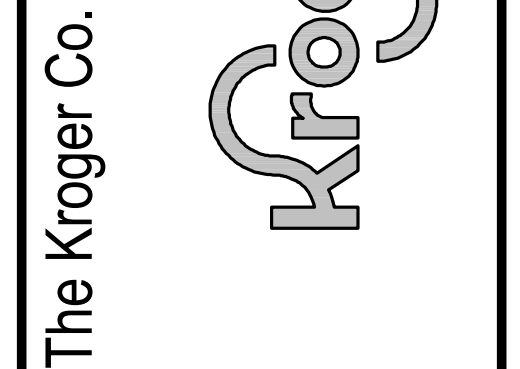
LEGEND:

SYMBOL	DESCRIPTION
(101)	DOOR IDENTIFICATION
◇	WALL TYPE
#	WINDOW IDENTIFICATION
A	SIGNAGE IDENTIFICATION - SEE SHEET A4.0 FOR SIGNAGE TYPES

- GENERAL NOTES:**
- INTERIOR DIMENSIONS ARE GIVEN FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD.
 - EXTERIOR DIMENSIONS ARE GIVEN FROM FINISHED FACE OF MASONRY TO FINISHED FACE OF MASONRY (EXCEPT AS NOTED).
 - INSTALL 5/8" TREATED PLYWOOD BACKING OR SOLID WOOD BLOCKING AT ALL LOCATIONS WITH WALL MOUNTED EQUIPMENT AND CASEWORK.

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 Greenwood Village, CO 80111
 Phone: (303) 715-5800
 Fax: (303) 715-5805



REVISIONS	
No.	DATE

Project #:	D-463
Date:	APRIL, 2023
Scale:	FULL
Disk File:	KroD463_A1.0-PLAN
Model:	9 (GD) 540 Kiosk
Address:	TBD Troy, Michigan

FLOOR PLAN

Sheet: **A1.0**

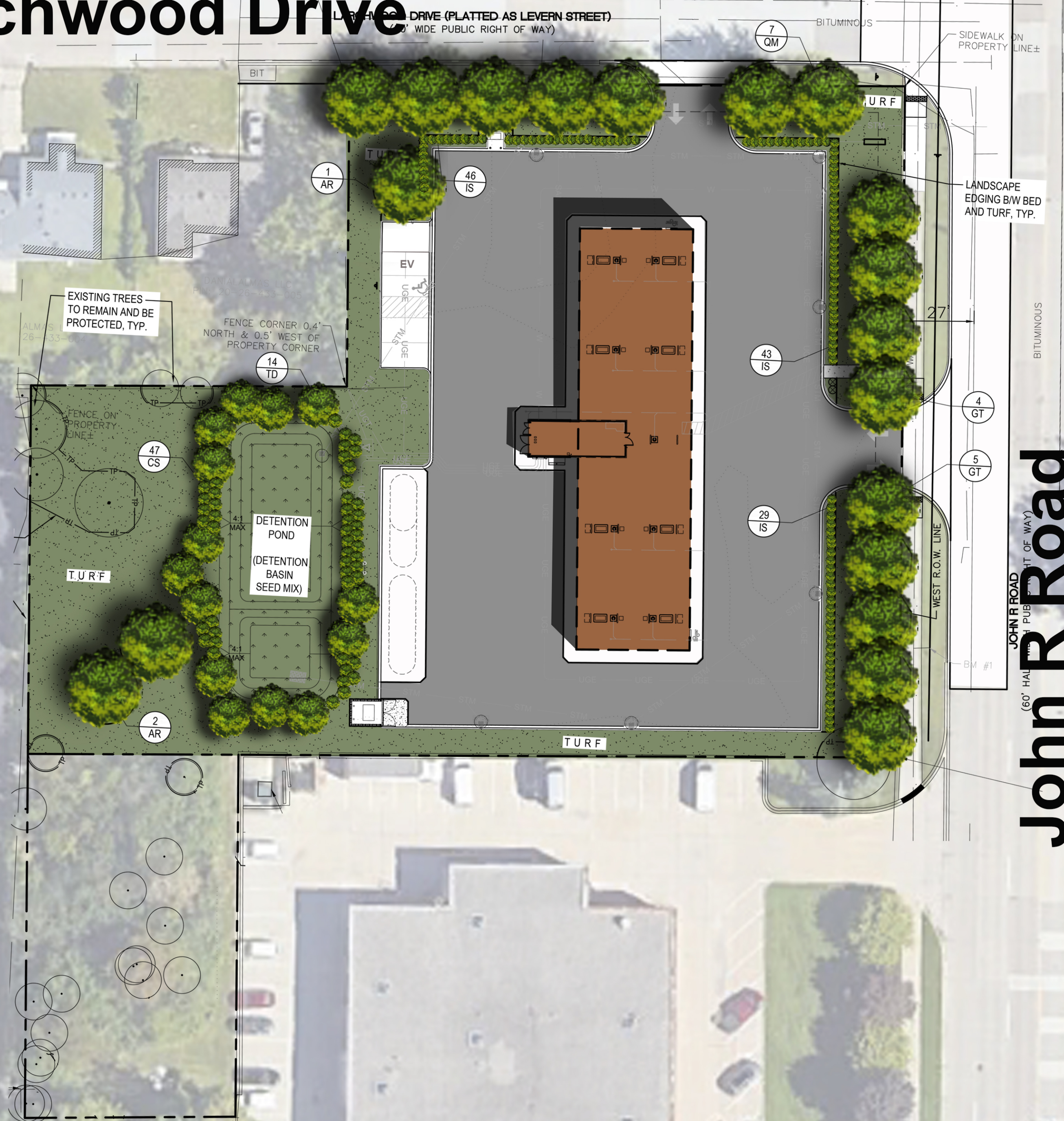
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Kroger D463
Retail Fuel Center
John R at Larchwood Drive

sevan
MULTI-SITE SOLUTIONS

Larchwood Drive



John R Road



Kroger D463
Retail Fuel Center
John R at Larchwood Drive

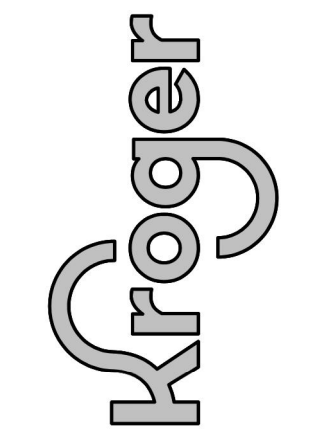




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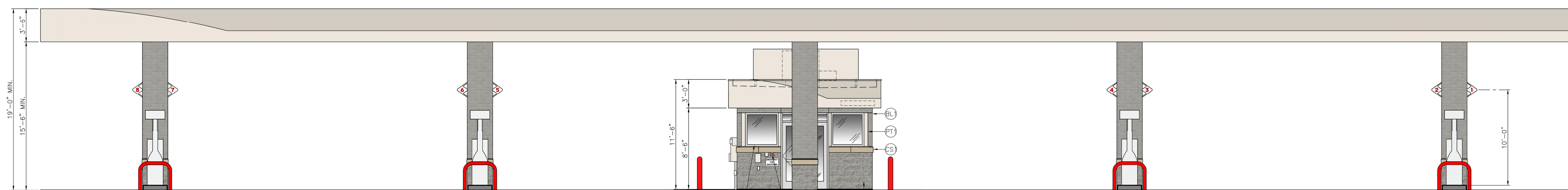
The Kroger Co.



REVISIONS	
No.	DATE

Project #:	D-463
Date:	APRIL, 2023
Scale:	FULL
Disk File:	D463_Elevation
Model:	9 (GD) 540 Kiosk
Address:	TBD Troy, Michigan

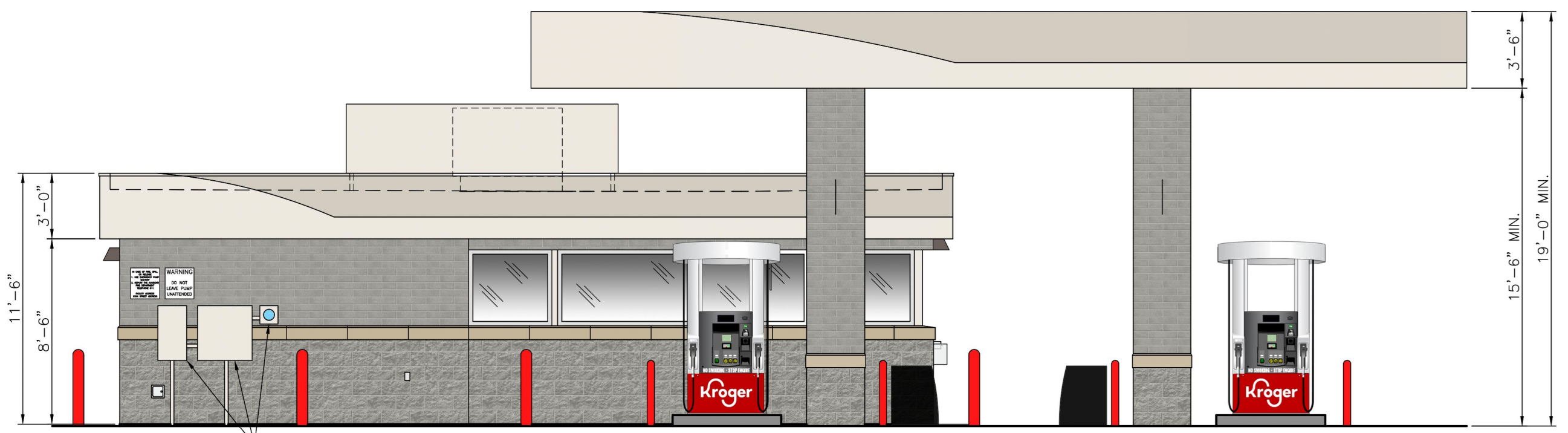
FUEL CENTER ELEVATIONS
 Sheet: **A0.1**



1 FRONT ELEVATION
 SCALE: 3/16"=1'-0"

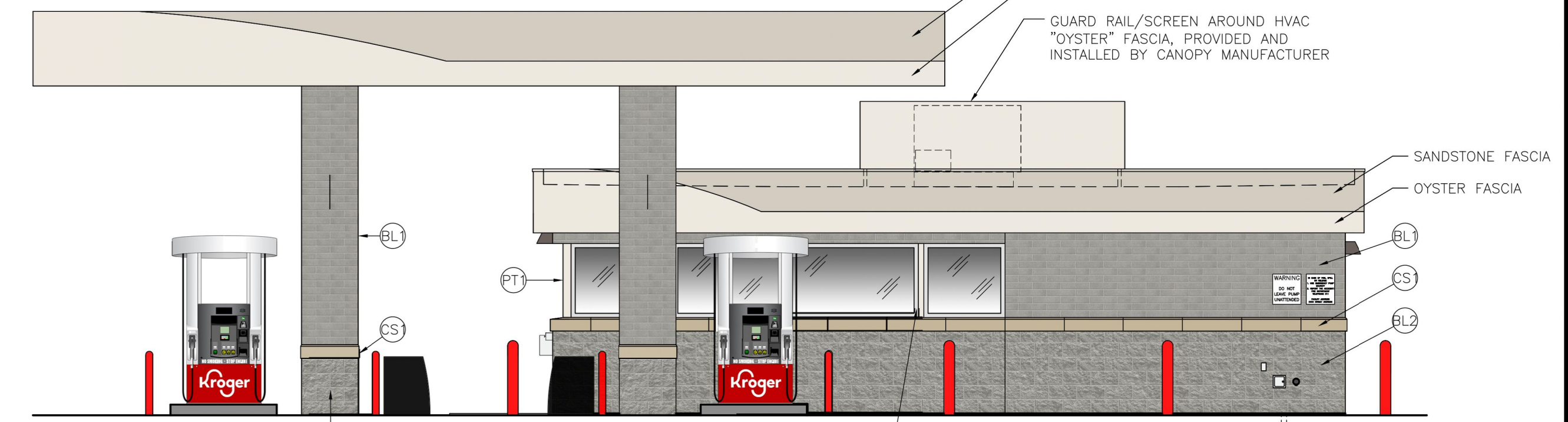
CLEAR ANODIZED ALUMINUM FRAMES
 EMERGENCY FUEL SHUTDOWN

FINISH SCHEDULE	
(BL)	"LEE BRICK & BLOCK": "ASPEN CREAM" INTEGRALLY COLORED SMOOTH FACE 4"x16".
(CS)	33 1/2" LONG PRECAST SMOOTH CONCRETE SILL TO MATCH "LEE BRICK & BLOCK": "IVORY" WITH MATCHING MORTAR.
(BLZ)	"LEE BRICK & BLOCK": "WINTER SEA" INTEGRALLY COLORED SPLIT FACE 8"x16" CMU.
(PT)	"SHERWIN WILLIAMS": "OYSTER" (CANVAS TAN) SW7531

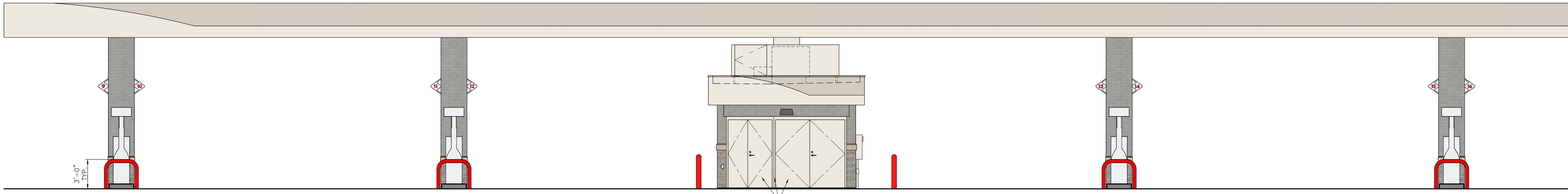


2 LEFT ELEVATION
 SCALE: 3/16"=1'-0"

G.C. TO PAINT ELECTRICAL GEAR SW7531, "OYSTER", (CANVAS TAN)



3 RIGHT ELEVATION
 SCALE: 3/16"=1'-0"



4 REAR ELEVATION
 SCALE: 3/16"=1'-0"

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DATE: June 21, 2023
TO: Planning Commission
FROM: JULIE QUINLAN DUFRANE, Assistant City Attorney
CC: R. Brent Savidant, Community Development Director
SUBJECT: PLANNING COMMISSION BYLAWS

Planning Commission reviewed and considered the Bylaws on April 11, 2023 at the request of the Chairperson. Members engaged in a discussion concerning certain revisions. The attached item represents the changes that were agreed upon by members during the meeting. The changes to the original version of the Bylaws are hi-lighted in yellow.

Please be prepared to discuss this item at the June 27, 2023 Planning Commission Regular meeting. Pursuant to Article X of the Bylaws, a 2/3 vote of the entire membership of Planning Commission (6 affirmative votes) is required to amend the Bylaws.

Attachments:

1. Proposed revisions to Planning Commission Bylaws

**BY-LAWS AND RULES OF PROCEDURE OF THE CITY OF TROY
PLANNING COMMISSION**

ARTICLE I – COMPLIANCE AND AUTHORITY

The City of Troy Planning Commission shall comply with all applicable statutes, perform any duties, and exercise the powers granted to the Planning Commission by the Michigan Planning Enabling Act, Public Act 33 of 2008, as amended, the Michigan Zoning Enabling Act, Public Act 110 of 2006, as amended, and the Open Meetings Act, Public Act 267 of 1976, as amended, and the City of Troy Charter and Ordinances. The By-Laws and Rules of Procedure are adopted pursuant to the authority of those statutes and the City Charter.

ARTICLE II – OFFICERS AND THEIR DUTIES

- Section 1. The Planning Commission shall select from its membership a Chairperson and Vice-Chairperson who shall serve for a one (1) year term and who shall be eligible for re-election. The Planning Commission shall make a recommendation to City Council for a Zoning Board of Appeals Representative.
- Section 2. The Chairperson shall preside at all meetings and shall conduct all meetings in accordance with these by-laws and rules and in accordance with the usual duties conferred by parliamentary procedure on the position of Chairperson.
- Section 3. The Vice-Chairperson shall act in the capacity of the Chairperson in the absence of the Chairperson and shall succeed to the office of Chairperson in the event of a vacancy in that office, in which case the Planning Commission shall select a successor to the office of Vice-Chairperson at the earliest practicable time by election procedures as set out in Article III.
- Section 4. In the absence of both the Chairperson and the Vice-Chairperson, the Zoning Board of Appeals representative shall act as Chairperson for that meeting only. The temporary Chairperson shall have the same duties and privileges as the Chairperson.
- Section 5. The Chairperson and Vice-Chairperson may engage in discussion on all matters before the Planning Commission and shall have voting privileges.

ARTICLE III – ELECTION OF OFFICERS AND APPOINTMENT OF ZONING BOARD OF APPEALS (ZBA) REPRESENTATIVES

Section 1. Each January at the Regular Meeting, the Planning Commission shall:

- A. Conduct elections of Officers (Chairperson and Vice Chairperson); and
- B. Recommend appointment for a Zoning Board of Appeals Representative.

The Chairperson shall take nominations **from the members of Planning Commission who are present** with the election immediately thereafter.

Section 2. Candidates receiving a majority vote of the total number of members shall be declared elected as a Planning Commission Officer or recommended as a Zoning Board of Appeals Representative.

Section 3. The Planning Commission Officers shall take office **at the beginning of the next scheduled meeting** following their election. Officers shall hold their office for a term of one (1) year, or until their successors are elected and assume office. The Zoning Board of Appeals Representative shall assume his or her responsibilities following confirmation of the appointment by City Council. The Zoning Board of Appeals Representative shall hold office for a term of one (1) year, or until a successor is appointed by City Council and assumes office.

Section 4. The Method of Voting on Nominees shall be as follows:

- A. The Chairperson shall ask for nominations **from the members of Planning Commission who are present**. A second shall not be required in order to nominate a person as an Officer or Zoning Board of Appeals Representative. The Chairperson shall announce each nomination as he or she hears it. If it becomes apparent to the Chairperson that there are no further nominations, the Chairperson shall inquire “are there further nominations?” If there are no further nominations, the Chairperson shall declare the nominations closed.
- B. If there is only one nominee for each position, a single resolution may be used to elect all the officers. The resolution must be approved by a majority of Planning Commission members by a roll call vote.
- C. If there is only one nominee for a particular position, a resolution electing that person to the particular position shall be approved by a roll call vote.

- D. If there is more than one nominee for a position, voting shall take place by calling a rotating roll of the Planning Commission and each member is to indicate the name of the individual he or she wishes to fill the position. If one candidate receives a majority vote, that person shall be deemed elected and the Chairperson shall announce such election. If no candidate receives a majority vote, the candidate with the least number of votes shall be eliminated from the ensuing ballot and the procedure shall be repeated until one candidate receives a majority vote.

ARTICLE IV – MEETINGS

- Section 1. All meetings shall be posted at City Hall according to the Open Meetings Act. The notice shall include the place, date, and time of the meeting.
- Section 2. All meetings shall be conducted in accordance with generally accepted parliamentary procedure. The current version of Robert's Rules of Orders can serve as a guide.
- Section 3. Regular Meetings of the Planning Commission shall be held on the second and fourth Tuesday of each month at 7:00 p.m. at the Troy City Hall, 500 West Big Beaver Road, Troy, Michigan. Site Location Meetings may be scheduled by the Planning Commission at any reasonable time in accordance with the Open Meetings Act. Any changes in the date or time of any meeting shall be posted and noticed in accordance with the Open Meetings Act. When a Regular Meeting date falls on or near a legal holiday, the Planning Commission may schedule a meeting on a suitable alternate date in the same month.
- Section 4. The Chairperson may call Special Meetings. In addition, it shall be the duty of the Chairperson to call a Special Meeting when requested to do so by an affirmative vote of a majority of the Planning Commission members present. The business which the Planning Commission may perform at a Special Meeting may be the same business that the Planning Commission performs at a Regular Meeting. Notice of the time, date, and place of the Special Meeting shall be given in a manner as required by the Open Meetings Act and the Planning Director shall notify all members of the Planning Commission not less than 48 hours in advance of a Special Meeting.
- Section 5. The Chairperson may call Study Meetings. At Study Meetings, the Planning Commission shall not vote on any of the following matters: (1) any matter requiring a public hearing, (2) matters which must be finally approved by the Planning Commission such as Site Plan review applications and Special Use Requests, and (3) matters where the Planning Commission is acting in an advisory capacity, such as, Rezoning

Requests, Ordinance Text Amendments, Subdivision Plats, Street and Alley Vacations, or Planned Unit Development Proposals. It may vote on housekeeping matters such as setting public hearing dates and approving minutes.

Section 6. All meetings of the Planning Commission, including Regular, Special, Study or Site Location meetings shall be open to the public unless exempted from public meeting requirements under the Open Meetings Act. The Planning Commission, with guidance provided by the City Attorney's Office, shall make the determination as to whether the meeting or a portion of the meeting is exempt under the Open Meetings Act, and shall pass an appropriate resolution setting forth its determination.

Section 7. A majority of the membership of the Planning Commission constitutes a quorum and the number of votes necessary to transact business is as follows:

- A. The affirmative vote of six (6) members shall be necessary in order to adopt or amend a Master Plan.
- B. A majority vote of the members is necessary for those matters on which the Planning Commission has final jurisdiction, as per Section 3.10 of the City of Troy Zoning Ordinance.
- C. A majority vote of those members present at a meeting shall be necessary for those matters on which the Planning Commission serves in an advisory capacity.
- D. Voting on items on the Business Agenda shall be by a rotating roll call. A record of the vote shall be kept as a part of the minutes.
- E. When a quorum is not present, no official action shall take place and the meeting shall be adjourned. The Chairperson or Planning Director shall announce to the Commission and anyone in attendance that there is no quorum and that all agenda items will be rescheduled to a specific future date.
- F. The Chairperson may ask members who vote "no" on an item to explain the "no" vote for clarification purposes and to add to the public record.

Section 8. The Planning Director of the City of Troy or his or her designee shall serve as the Secretary of the Planning Commission and keep the minutes and records of the Commission, prepare the agenda of Regular Meetings, Special Meetings and Study Meetings with the Chairperson, provide notice of meetings to Planning Commission members, present agenda items to

the Planning Commission at its meetings, attend to correspondence of the Planning Commission, and perform such other duties as necessary to carry out the business of the Planning Commission.

ARTICLE V – ORDER OF BUSINESS

The order of business at a Regular Meeting and Special Meetings shall be:

- A. Roll Call
- B. Approval of Agenda
- C. Approval of Minutes
- D. Public Comments for items not on the agenda
- E. Reports. Reports may include Zoning Board of Appeals reports, Downtown Development Authority reports, Planning and Zoning reports, and any other report on information that may be of interest to the Planning Commission as determined by the Planning Commission or Planning Department.
- F. Business Agenda. The business agenda may include postponed items, public hearings on zoning ordinance amendments and special use approval requests, preliminary site plan reviews, and any other matter that is before the Planning Commission seeking approval or a recommendation.
- G. Other Business
- H. Public Comments for items on the agenda.
- I. Planning Commissioner's Comments
- J. Adjournment

ARTICLE VI – PLANNING COMMISSION ACTIONS

Following consideration of matters submitted to it in accordance with the provisions of the City Code of Ordinances or other applicable law, or referred to it by the City Council, the Planning Commission shall take one of the following actions:

- A. Approve the proposal or recommend positive action by the City Council.
- B. Deny the proposal or recommend negative action by the City Council.

- C. Approve a proposal modified to meet reasonable conditions or recommend approval of a modified proposal meeting reasonable conditions by the City Council. However, the Planning Commission shall not place conditions on an approval of a recommendation to City Council for rezoning, except for conditional rezoning in accordance with Section 16.04 of the City of Troy Zoning Ordinance.
- D. Postpone action on the proposal to a specific date or upon the occurrence a specific event. The Planning Director or his or her designee shall monitor the matter and determine when such specific event has occurred so that the matter may be rescheduled. The Planning Commission shall indicate in the resolution the reason(s) for such action.

The Planning Commission shall act on all applications within a reasonable time. This shall not be construed to alter other time limits prescribed by the Charter, Code of Ordinances or State statutes.

ARTICLE VII – HEARINGS

- Section 1. In addition to those required by law, the Planning Commission may in its discretion hold public hearings when it decides that such hearing will be in the public interest.
- Section 2. Notice of such hearings shall be published in the official newspaper of the City or in a newspaper of general circulation as required by the City Charter, Code of Ordinances and/or State statutes. The Planning Director or his or her designee shall take the necessary steps to see that notice is published in accordance with the City Charter, Code of Ordinances and/or State statutes.
- Section 3. Any request before the Planning Commission shall be presented in summary by the Planning Director or his or her representative or a designated member of the Planning Commission. The Planning Director may present additional information to the Planning Commission through personnel from other Departments and/or non-City employees, if the Planning Director believes that information would be helpful to the Planning Commission. When text amendments to the Zoning Ordinance are considered, upon request the City Attorney or a designated attorney shall provide a background summary, legal analysis or other requested information. Parties in interest shall have the privilege of the floor.
- Section 4. If the petitioner or petitioner's representative fails to appear for a scheduled hearing, the Planning Commission may proceed with the hearing in the absence of the petitioner and act on the proposal in accordance with Article VI. Adjournment of any scheduled hearing must be approved by a majority of the Planning Commission members in

Commented [JQD1]: Ms. Perakis would like the following language inserted: Any Zoning Ordinance Amendment(s) shall be presented both in the agenda packet and before the Planning Commission by a representative from the City Attorney's Office.

Commented [JQD2R1]: Not every ZOTA stems from the City Attorney's Office. In fact, most do not, so I would not support this insertion.

attendance. Requests for adjournment shall only be granted upon a demonstration of good cause.

Section 5. Public hearings and other proceedings conducted by the Planning Commission shall be run in an orderly and timely fashion. This shall be accomplished by the following procedure:

- A. If an agenda item does not formally require a public hearing, the Chairperson shall have the discretion to allow members of the public to address the agenda item. Once opened to the public for comment, the hearing shall be conducted in the same manner as a public hearing.
- B. After announcement by the Chairperson that the public hearing portion of the meeting for a specific agenda item is open, persons who wish to address the Planning Commission shall speak when recognized by the Chairperson and provide his/her name and address on the attendance sheet provided at the **lectern**. All comments shall be addressed to the Chairperson **and shall be limited to three minutes**.
- C. The Chairperson may order the removal of any member of the public that causes a breach of the peace during the public hearing.
- D. **By consensus vote, the Planning Commission may waive these rules under appropriate circumstances to permit a speaker additional time.**

ARTICLE VIII – COMMITTEES

Section 1. Committees may be appointed as needed by the Chairperson for purposes and terms which the Planning Commission approves.

ARTICLE IX – EMPLOYEES

Section 1. The Planning Commission may recommend employment of such staff and/or experts as it sees fit to aid the Planning Commission in its work.

ARTICLE X – AMENDMENTS

These By-laws may be amended by a two-thirds vote of the entire membership of the Planning Commission.

ARTICLE XI – ETHICS

Planning Commission members shall adhere to the current version of the City of Troy Appointee Code of Ethics.

G:\Planning Department\By law revisions 2023\Proposed revisions updated June 2023.doc