



## Zoning Board of Appeals Application

### STATEMENT OF PRACTICAL DIFFICULTY

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

# **MOTION TEMPLATE GRANT VARIANCE**

## **RESOLUTION TEMPLATE**

Moved by:

Seconded by:

That the variance request for [applicant name, address or location], for [request]

*Be granted for the following reasons:*

The applicant has demonstrated that:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:

Nays:

**MOTION CARRIED / FAILED**

## **MOTION TEMPLATE DENY**

Moved by:  
Seconded by:

That the variance request for [applicant name, address or location], for [request]

*Be denied for the following reason(s):*

The applicant has not demonstrated that:

- f) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- g) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- h) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- i) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- j) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:  
Nays:

**MOTION CARRIED / FAILED**

## **MOTION TEMPLATE POSTPONE**

Moved by:

Seconded by:

***RESOLVED***, that the variance request for [applicant name, address or location], for [request]

*Be postponed for the following reason(s):*

Yeas:

Nays:

**MOTION CARRIED / FAILED**

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500 West Big Beaver  
Troy, MI 48084  
troymi.gov

248.524.3364  
planning@troymi.gov

## ZONING BOARD OF APPEALS MEETING AGENDA

Michael Bossenbroek, Chair, Thomas Desmond, Vice Chair  
Aaron Green, David Eisenbacher, Mahendra Kenkre, Jim McCauley,  
Tyler Fox, Barbara Chambers, Alternate, Jeffrey Forster, Alternate

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**SEPTEMBER 19, 2023**

**7:00 P.M.**

**COUNCIL CHAMBERS**

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1. ROLL CALL
2. PROCEDURE
3. APPROVAL OF MINUTES – May 16, 2023 & July 18, 2023
4. APPROVAL OF AGENDA
5. HEARING OF CASES:

A. 163 E SQUARE LAKE, TARIK NAJIB FOR PROFESSIONAL CONTRACTING & CONSULTING INC.- A variance request to allow a proposed home addition (attached garage) to be constructed 8 feet 11 1/4 inches from the side property line, where the Zoning Ordinance requires the addition to be 15 feet from the side property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning District

B. 425 AUDLEY COURT, SCOTT GITTLEMAN FOR GITTLEMAN CONSTRUCTION INC.- A variance request to allow a proposed home addition to be constructed 22 feet 7 1/4 inches from the rear property line, where the Zoning Ordinance requires the addition to be 25 feet from the rear property line.

ZONING ORDINANCE SECTION: 10.04 E, 5 Cluster Development

C. 4061 DREXEL, STEVE ROSSON FOR MARTINO ENTERPRISES - A variance request to allow a proposed home addition to be constructed 36.625 feet from the rear property line, where the Zoning Ordinance requires the addition to be 45 feet from the rear property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning

D. 6130 SMITHFIELD, STEVE KOSSON FOR MARTINO ENTERPRISES - A variance request to allow a proposed home addition to be constructed 37 feet 5 inches from the rear property line, where the Zoning Ordinance requires the addition to be 40 feet from the rear property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1D Zoning District

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

6. COMMUNICATIONS
7. MISCELLANEOUS BUSINESS
8. PUBLIC COMMENT
9. ADJOURNMENT

## ZONING BOARD OF APPEALS – OPENING STATEMENT

The Zoning Board of Appeals is a group of seven of your neighbors appointed by the Troy City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Applicants must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

## PROCEDURE

The Board will hear the items in the order that they appear on the approved agenda. When an item is called, the Chairperson will verify that the applicant is present. Then the City Administration will summarize the facts of the case. If there is less than a full board (7 members) present at a meeting, an applicant may request a postponement so his or her request can be heard by a full board. If there is no request for a postponement, the applicant will then be given an opportunity to address the Board to explain the justification for the action requested.

After the applicant makes their presentation, and answers any questions that the Board may have, the Chairperson will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairperson, come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next-door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairperson. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairperson to speak at one time.

At the conclusion of public comments, the Chairperson will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.

On May 16, 2023 at 7:00 p.m., Chairperson Bossenbroek called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bossenbroek  
Tommy Desmond  
David Eisenbacher  
Tyler Fox  
Aaron Green  
Mahendra Kenkre  
James McCauley

Also Present:

Paul Evans, Zoning and Compliance Specialist  
Allan Motzny, Assistant City Attorney

2. PROCEDURE- read by Vice Chair Eisenbacher.

3. APPROVAL OF MINUTES –

Moved by Fox  
Seconded by Green

RESOLVED, to approve the April 18, 2023 draft minutes.

Yes: All

MOTION PASSED

4. APPROVAL OF AGENDA – No changes

5. HEARING OF CASES:

- A. 942 BROOKLAWN, RICHARD E. RASSEL for WWRP P.C.- A variance request to allow a proposed home addition to be setback 30 feet 3 inches feet from the rear property line. The Zoning Ordinance requires the addition be setback 35 feet from the rear property line.

Moved by Fox  
Seconded by Eisenbacher

RESOLVED, to grant the request.

Yes: All

MOTION PASSED

- B. 944 MARENGO, OLLIE APHIDEAN- Determine whether or not Agenda Item 5C is property before the ZBA.

Moved by Green  
Seconded by Fox

RESOLVED, that item 5C is a different request than the one heard by the Board February 2023.

Yes: Eisenbacher, Desmond, Bossenbroek, Fox, Green  
No: McCauley, Kenkre

MOTION PASSED

- C. 944 MARENGO, OLLIE APHIDEAN- A variance request to divide a land parcel into two parcels. One proposed parcel will have 77.61 feet width and frontage, the other proposed parcel will have 67.61 feet width and frontage. The Zoning Ordinance requires a minimum 100 feet width and frontage.

Moved by Fox  
Seconded by Desmond

RESOLVED, to grant the request.

Yes: Eisenbacher, Desmond, Bossenbroek, Fox, Green  
No: McCauley, Kenkre

MOTION PASSED

6. COMMUNICATIONS – Member Fox provided Planning Commission report.

7. MISCELLANEOUS BUSINESS – Election of Officers

Moved by McCauley  
Seconded by Fox

RESOLVED, to elect Mr. Bossenbroek as Chairperson and Mr. Desmond as Vice Chairperson

Yes: All

MOTION PASSED

8. PUBLIC COMMENT – None

9. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 10:09 p.m.

Respectfully submitted,

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Michael Bossenbroek, Chairperson

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Paul Evans, Zoning and Compliance Specialist

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On July 18, 2023 at 7:00 p.m., Chairperson Bossenbroek called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bossenbroek  
David Eisenbacher  
Jeffrey Forster  
Tyler Fox  
Aaron Green  
Mahendra Kenkre  
James McCauley

Also Present:

Paul Evans, Zoning and Compliance Specialist  
Allan Motzny, Assistant City Attorney  
Barb Chambers, Alternate (in audience)

2. PROCEDURE- read by Mr. Eisenbacher.

3. APPROVAL OF MINUTES –

Moved by Fox  
Seconded by Bossenbroek

RESOLVED, to approve the June 20, 2023 draft minutes.

Yes: All

MOTION PASSED

4. APPROVAL OF AGENDA – No changes

5. HEARING OF CASES:

2285 Kirkton, Gopinath Ravula - A variance request to allow a proposed deck to be constructed 20 feet from the rear property line, where the Zoning Ordinance requires the deck to be no less than 25 feet from the rear property line.

Moved by Fox  
Seconded by Forster

RESOLVED, to grant the request.

Yes: All

MOTION PASSED

6. COMMUNICATIONS – Member Fox provided Planning Commission report.
7. MISCELLANEOUS BUSINESS – None
8. PUBLIC COMMENT – None
9. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 7:24 p.m.

Respectfully submitted,

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Michael Bossenbroek, Chairperson

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Paul Evans, Zoning and Compliance Specialist

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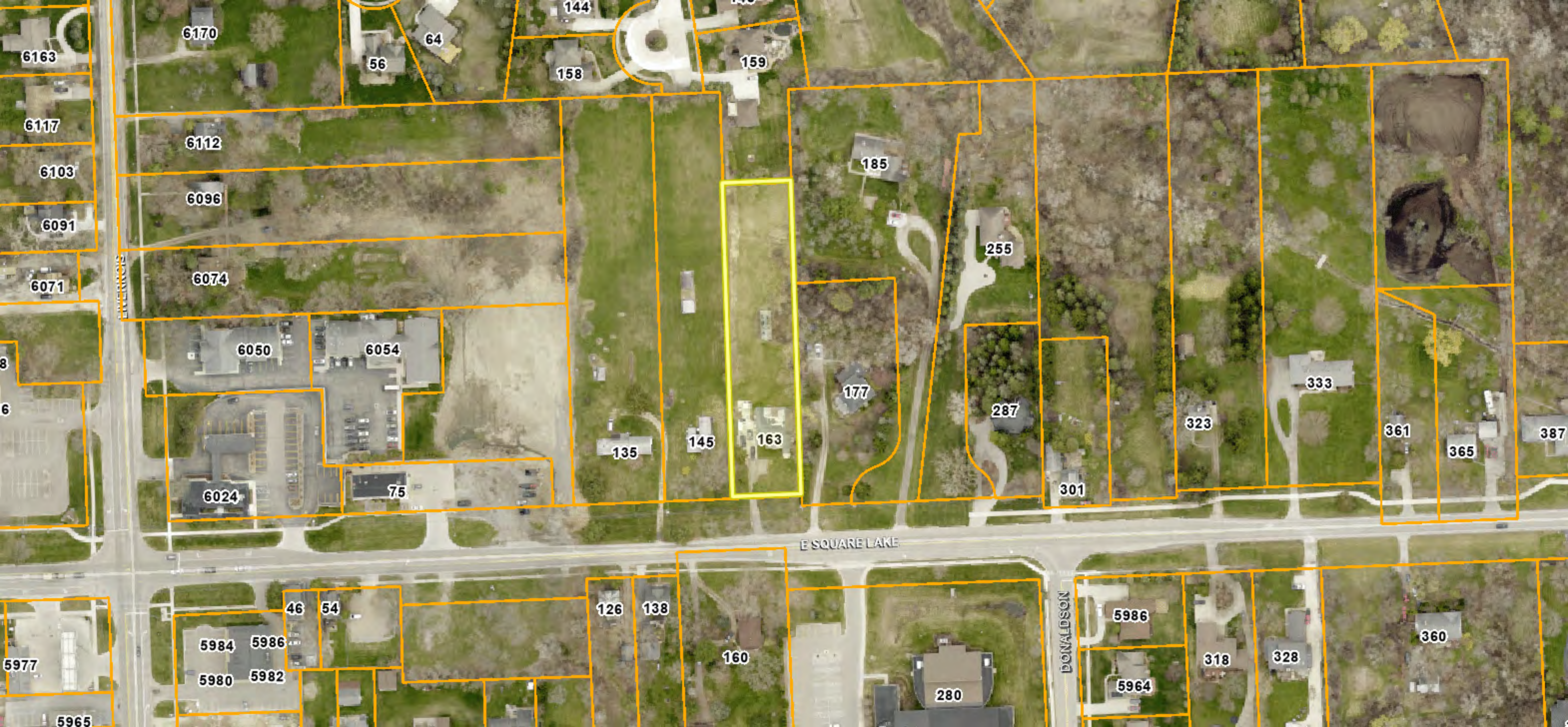
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ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning District









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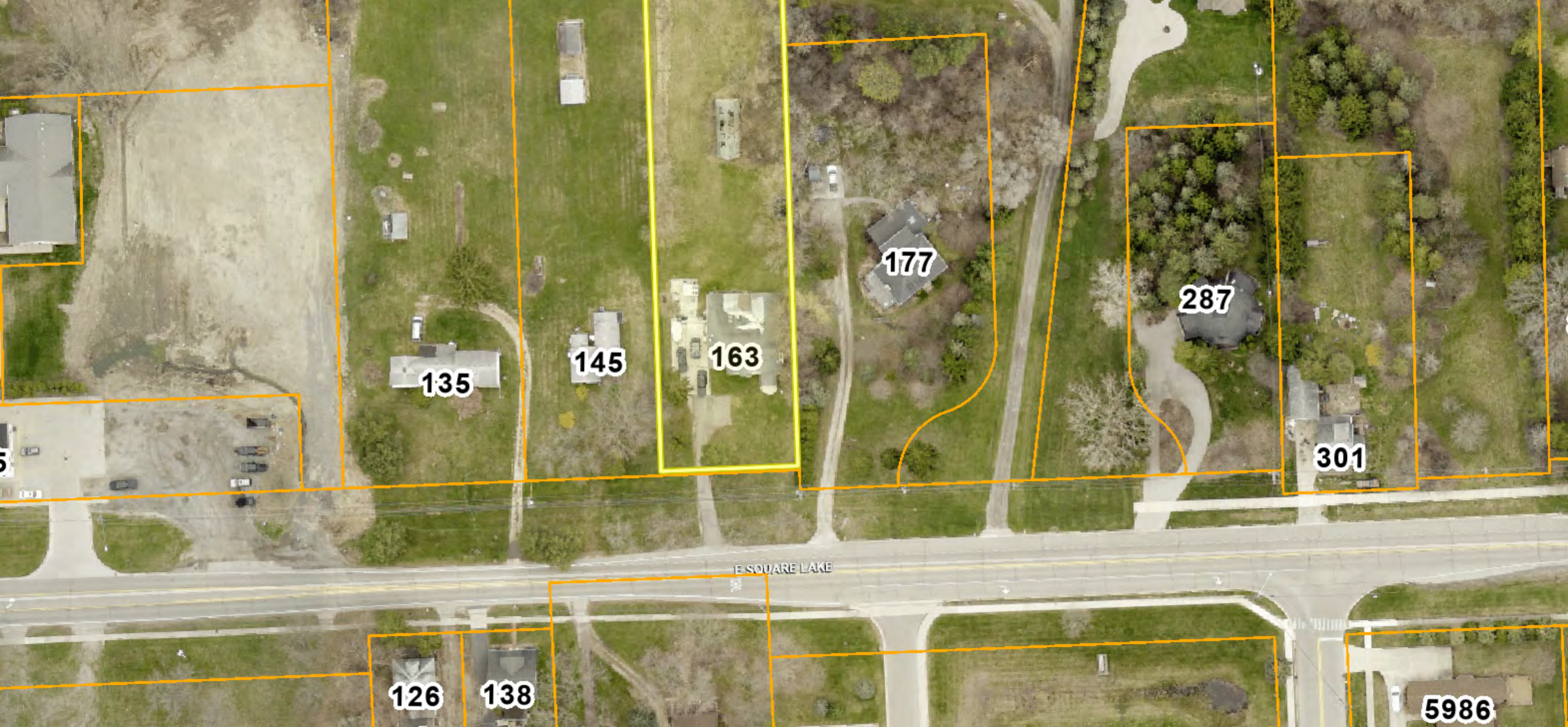
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CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee \$150.00

THE ZONING BOARD OF APPEALS MEETS THE THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST 36 DAYS BEFORE THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 163 E SQUARE LAKE ROAD, TROY, MI 48085
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-03-301-084
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: R1-B (ONE FAMILY RESIDENTIAL SEWER)
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO
5. APPLICANT:  
NAME TARIK NAJIB  
COMPANY PROFESSIONAL CONTRACTING & CONSULTING INC  
ADDRESS 16970 W. WARREN  
CITY DETROIT STATE MI ZIP 48228  
PHONE 313-583-0551  
E-MAIL USAPCC@GMAIL.COM  
AFFILIATION TO THE PROPERTY OWNER: ARCHITECT/BUILDER

Revised May 17, 2023



## Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME EVLEN ELIAS

COMPANY \_\_\_\_\_

ADDRESS 163 E SQUARE LAKE ROAD

CITY TROY STATE MI ZIP 48085

TELEPHONE 586-804-3809

E-MAIL \_\_\_\_\_

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, TARIK NAJIB (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE *Tarik Najib* DATE 06/16/2023

PRINT NAME: TARIK NAJIB

PROPERTY OWNER SIGNATURE *Evlen Elias* DATE 06/16/2023

PRINT NAME: EVLEN ELIAS

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

## PRACTICAL DIFFICULTY STATEMENT FOR VARIANCE

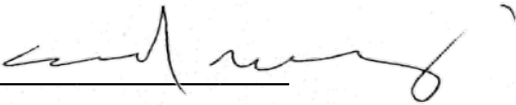
Property Owner: EVLEN ELIAS  
Property Address: 163 E SQUARE LAKE ROAD.  
City, State, Zip: TROY, MI 48085

DATE: 07/12/23

To Whom It May Concern:

I, **EVLEN ELIAS** owner whose property address is 163 E SQUARE LAKE ROAD, my lot size is 99' x 526' which is in rectangular shape, Length of my lot is really bigger but width is small. I want to build a 2 car attached garage to my existing house. but we are short of the 6'-3/4" to meet the side setback requirement. Zoning of my house is R1-B which requires 25ft of combine side yard setback. we are really in need to build this attached garage to keep our cars safe from hazardous weather. This is the first time we are seeking variance for this property so I can build the attached garage. The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair the public health, safety, comfort, morals or welfare of the inhabitants of the city. I hope city will understand my needs & will give me variance to build the attached garage.

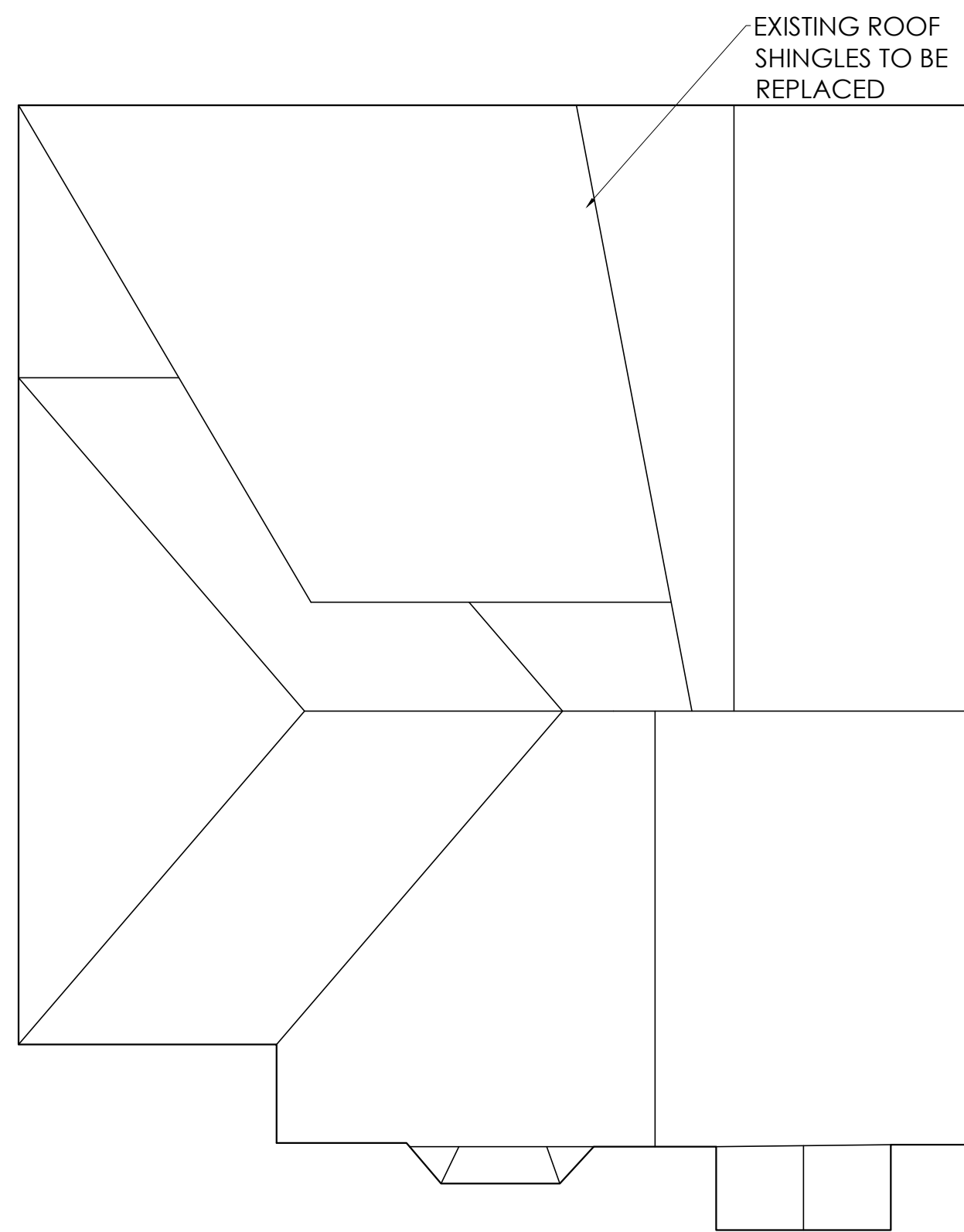
Signature:

A handwritten signature in black ink, appearing to read 'Evlen Elias', written over a horizontal line.

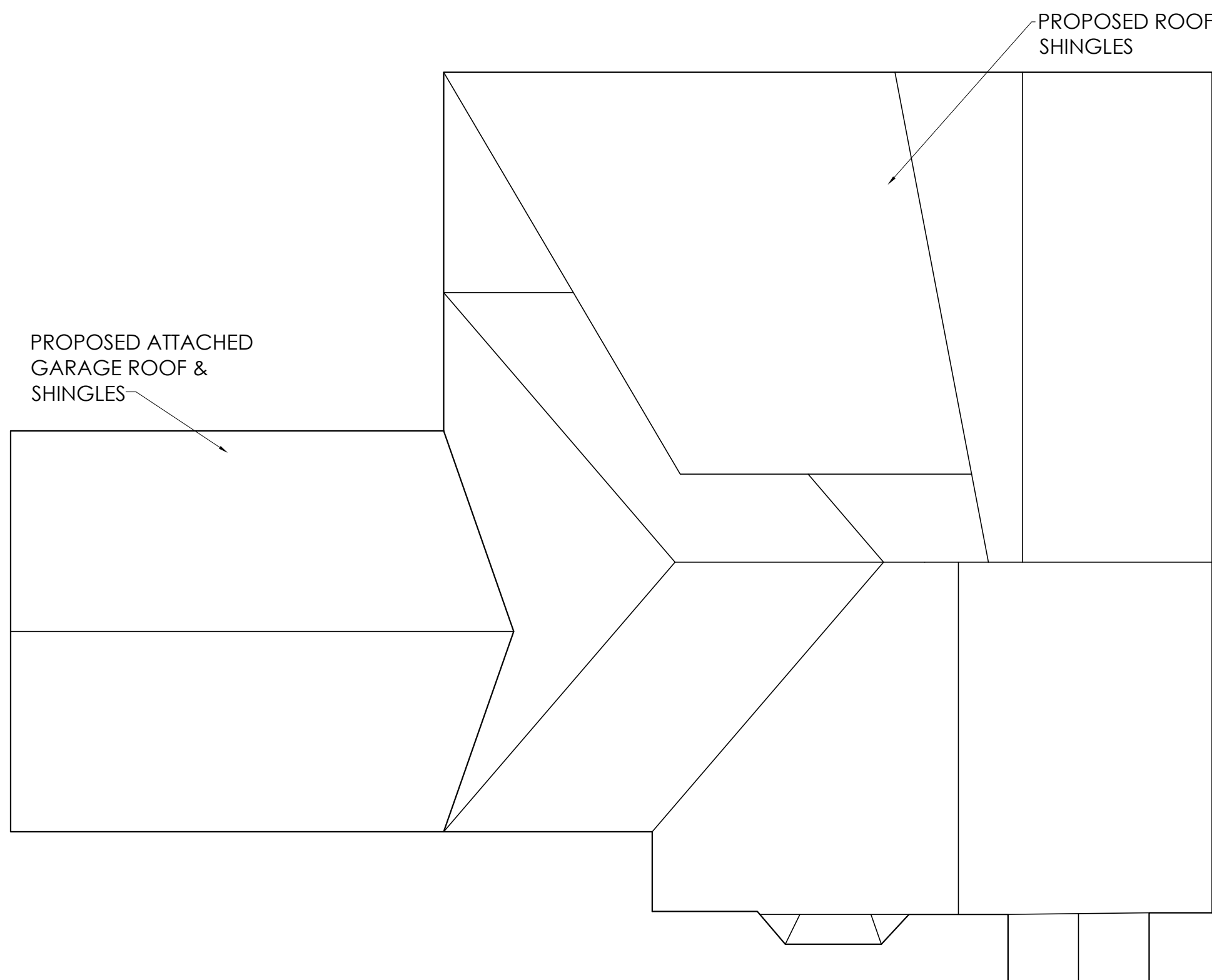
EVLEN ELIAS

(Owner)





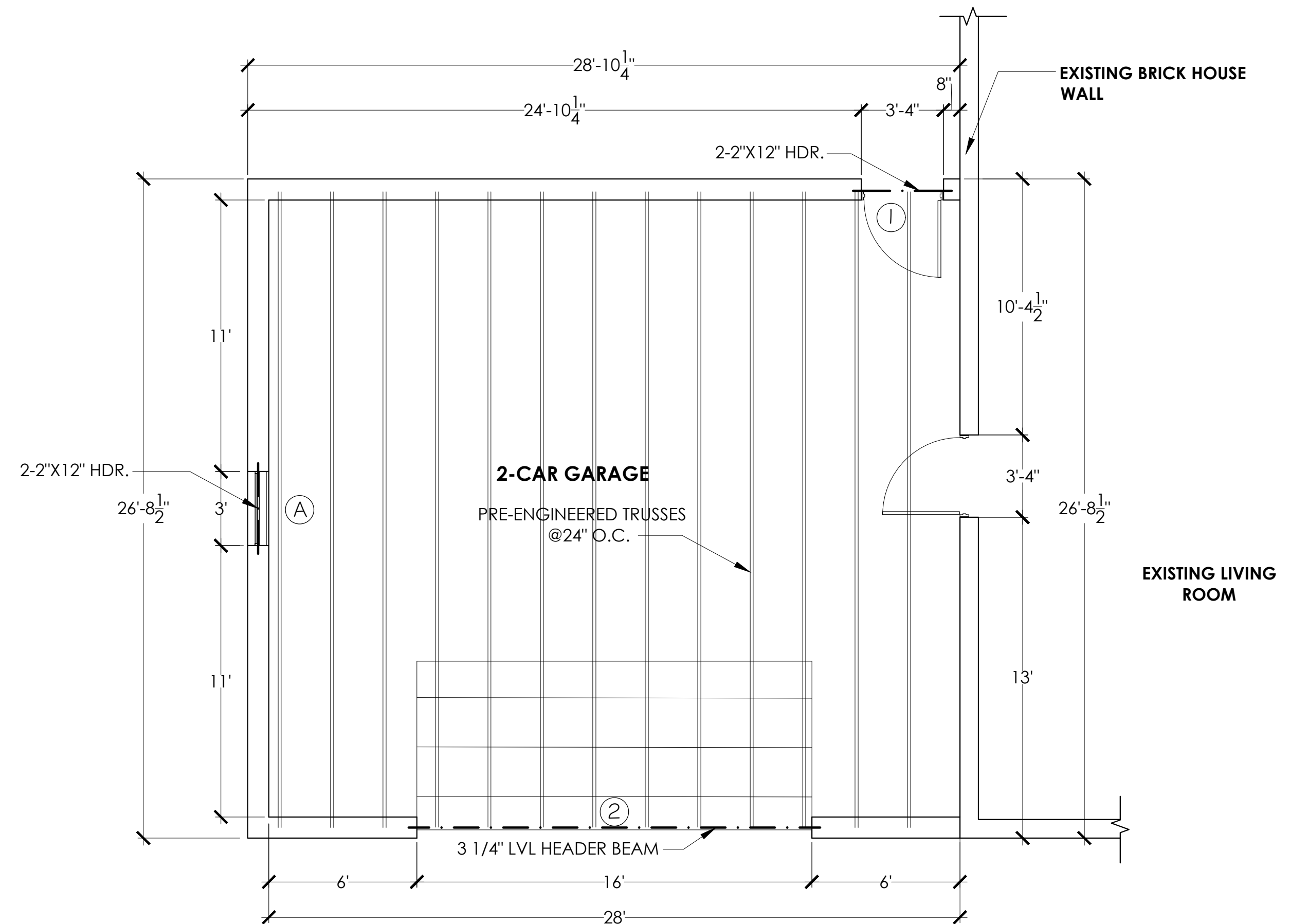
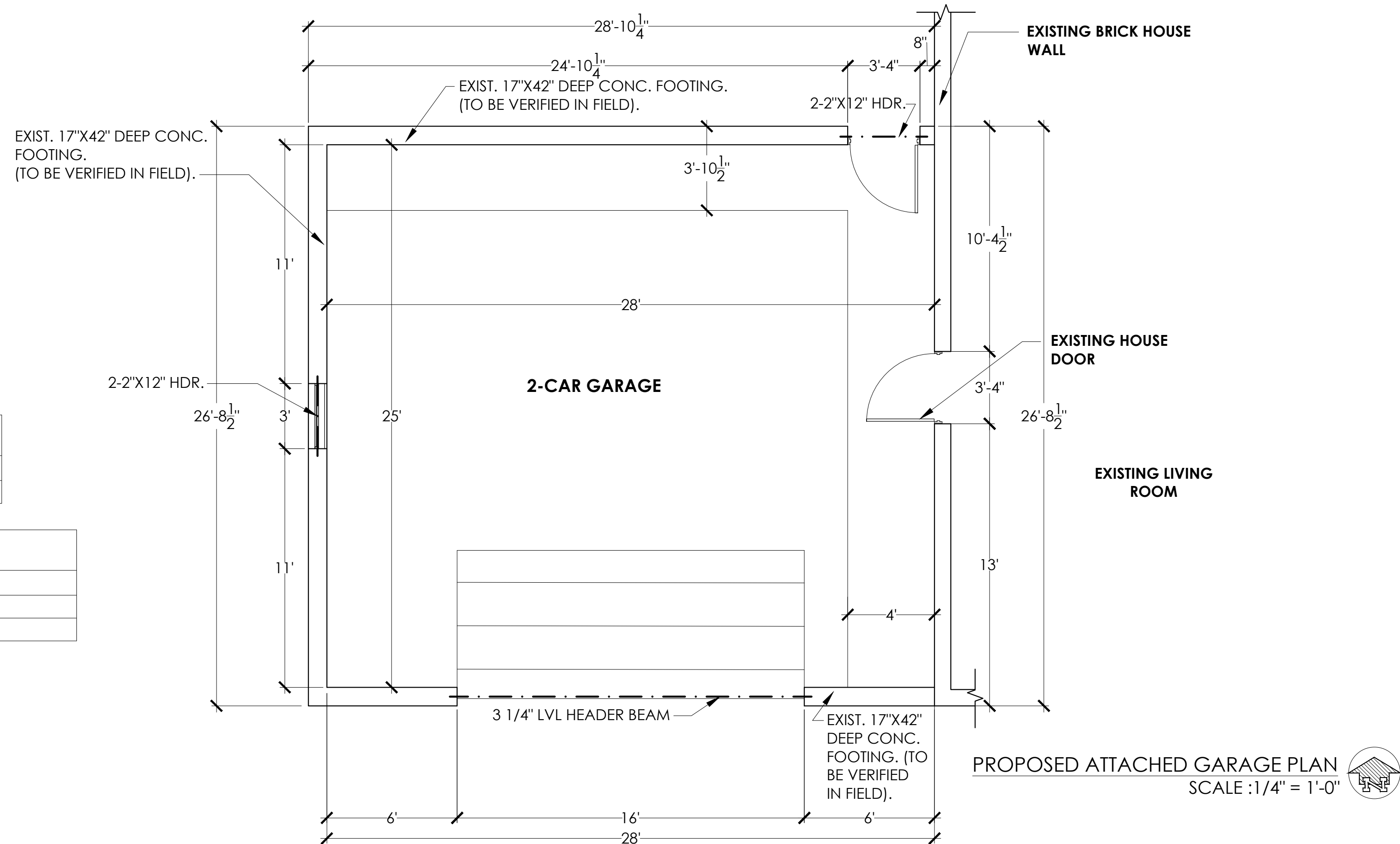
EXISTING ROOF PLAN  
SCALE :1/8" = 1'-0"



PROPOSED ROOF PLAN  
SCALE :1/8" = 1'-0"

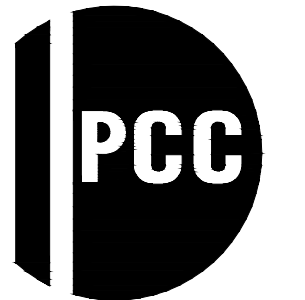
| WINDOW SCHEDULE |       |         |             |              |        |
|-----------------|-------|---------|-------------|--------------|--------|
| SYM.            | WIDTH | HEIGHT  | TYPE        | MAX. U-VALUE | REMARK |
| A               | 3'-0" | X 4'-0" | DOUBLE HUNG | 0.35         |        |

| DOOR SCHEDULE |                |               |        |
|---------------|----------------|---------------|--------|
| SYM.          | SIZE           | DESCRIPTION   | REMARK |
| 1             | 3'-4" X 6'-8"  | EXTERIOR DOOR |        |
| 2             | 16'-0" X 7'-0" | GARAGE DOOR   |        |



NOTE:  
- INSTALL HURRICANE CLIP AS REQUIRED.  
- GARAGE DOOR HEADER 3-2"X12" OR LVL BEAM  
- SIDE DOOR HEADER 2-2"X12"

PROPOSED ATTACHED GARAGE CEILING PLAN  
SCALE :1/4" = 1'-0"



PROFESSIONAL  
CONSULTING  
COMPANY INC.

16970 W. WARREN  
DETROIT, MI 48228  
PH:(313) 583-0550  
FAX:(313) 583-0551

DRAWN BY  
S.A

APPROVED BY  
TN

DOT NOT SCALE DRAWINGS. USE FIGURE  
DIMENSIONS ONLY.

NOTICE:  
THIS DRAWING IS AN INSTRUMENT OF  
SERVICE AND IS THE PROPERTY OF P.C.C.  
INC.. THE INFORMATION OF THESE  
DRAWINGS MAY NOT BE REPRODUCED  
WITHOUT THE WRITTEN CONSENT OF P.C.C.  
INC.. ALL RIGHTS RESERVED.

PROJECT

ADDITION OF GARAGE  
AND DRIVEWAY

OWNER'S NAME

EVLLEN ELIAS

ADDRESS

163 E SQUARE LAKE RD ,  
TROY , MI 48085

PROJECT NO.

DATE : 05/31/2023

REVISED :

SCALE

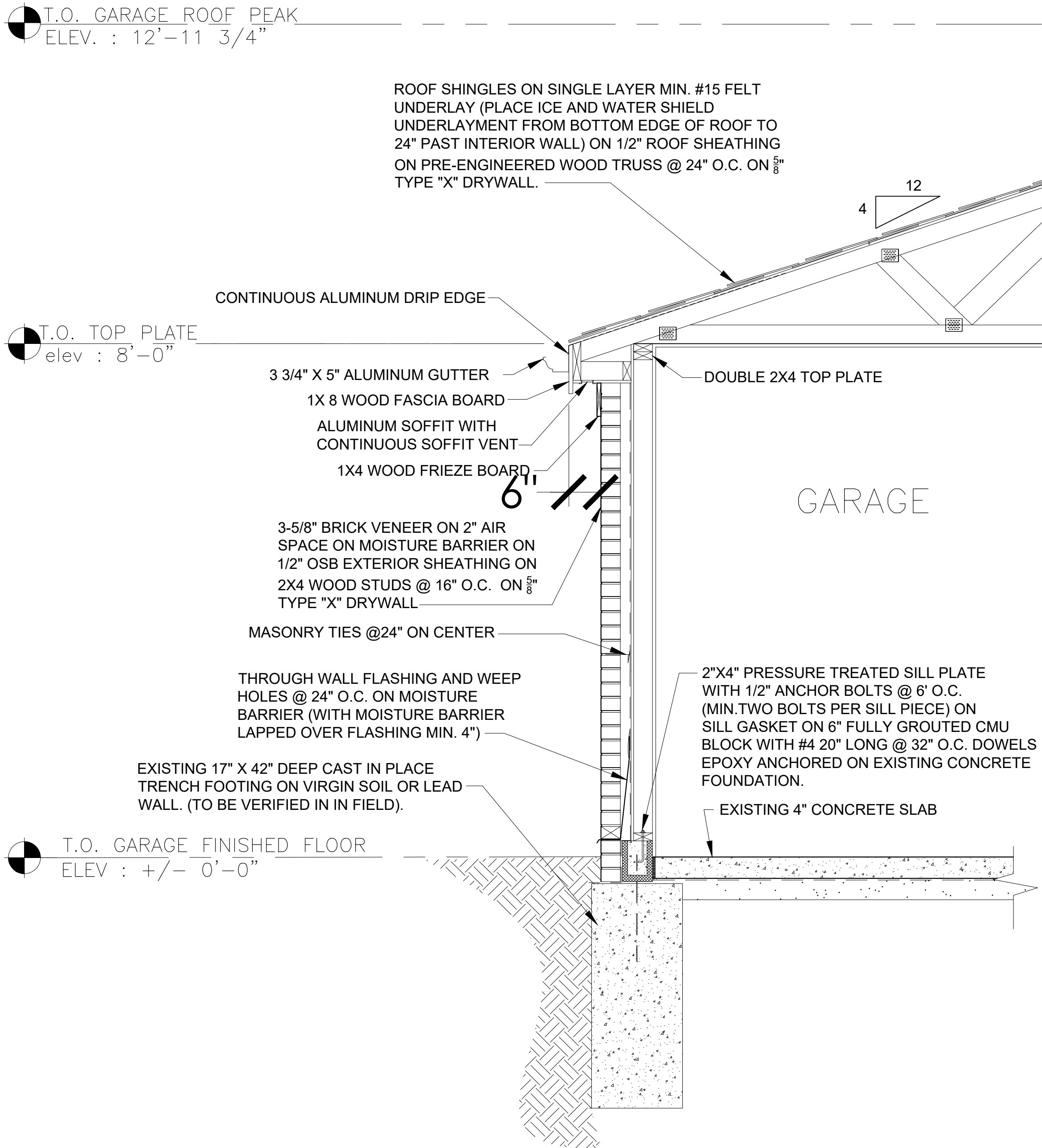
VARIES

SHEET TITLE

PROPOSED 2 CAR  
ATTACHED GARAGE  
PLANS  
& ROOF PLANS

A-1

SEAL



1 SECTION  
A-2 SCALE : N.T.S

## GENERAL NOTES :

### SPECIAL CONDITIONS:

THE OWNER, GENERAL CONTRACTOR, EACH INDIVIDUAL SUBCONTRACTOR AND MATERIAL MAN AGREE TO SAVE THE ARCHITECT HARMLESS, AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDE AS REQUIRED BY THE RESPONSIBLE GOVERNING AGENCY. ALL WORK MUST PROCEED IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL SAFETY CODES, STATUES AND RECOGNIZED STANDARDS. THE GENERAL CONTRACTOR SHALL OBTAIN THE GENERAL BUILDING PERMIT(S). PAY ALL FEES AND ARRANGE FOR ALL INSPECTIONS FOR HIS WORK. NO MATERIALS OR CONSTRUCTION PROCEDURES SHALL BE UTILIZED ON THIS PROJECT WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT ON THE ENVIRONMENT OR TO ANY PERSON ON THE SITE DURING CONSTRUCTION.

### INSURANCE:

EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE LIABILITY AND COMPREHENSIVE INSURANCE AND FOR WORK DAMAGED BY IMPROPER WORKMANSHIP. THE OWNER SHALL PURCHASE AND MAINTAIN THE OWNER'S USUAL COVERAGE INSURANCE ON THE WORK WHICH INSURES TO THE OWNER'S BENEFIT. OPTIONALLY, THE OWNER MAY PURCHASE AND MAINTAIN OTHER INSURANCE FOR SELF-PROTECTION AGAINST CLAIMS WHICH MAY ARISE FROM OPERATIONS DURING CONSTRUCTION.

### FIELD CONDITIONS:

THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FIELD CHECKING ALL EXISTING CONDITIONS AND FOR FITTING THEIR WORK TO NEW AND EXISTING WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO ARCHITECT WHERE THERE ARE INCONSISTENT OR CONFLICTING DIMENSIONS ON THE DRAWING AND FOR WHERE THERE IS A CONFLICT IN THE WORK OF THE INDIVIDUAL TRADE AND/OR CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR WORK PERFORMED. IN GENERAL, UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ONLY THOSE TREES WITHIN THE BUILDING AREA SHALL BE REMOVED. ALL OTHERS WILL BE PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD. FORTY- EIGHT HOURS BEFORE ANY EXCAVATING WORK IS DONE, CONTACT MISS "DIG" @ 1-800-482-7171

### ROOFING :

SHINGLES SHALL BE APPLIED OVER #15 SATURATED UNDERLAYMENT AT AREAS OF GENERAL ROOFING. INSTALL APPROPRIATE EAVE FLASHING UNDERLAYMENT STRIP TO A POINT 12" MINIMUM INSIDE THE INTERIOR LINE OF THE EXTERIOR WALLS. USE "ICE GUARD" PER MANUFACTURE SPECIFICATIONS. THE NUMBER OF UNDERLAYMENT LAYERS AND THE EXPOSURE OF THE SHINGLES SHALL BE AS INSTRUCTED BY THE MANUFACTURER OF THE SELECTED SHINGLE FOR THE PROJECTED ROOF PITCH. INSTALL ALUMINUM DRIP EDGE AT ALL EAVES. INSTALL PREFABRICATED FLASHING FLANGE AT ALL VENT STACKS. INSTALL METAL FLASHING AS REQUIRED WHERE ROOF MEETS BRICK WALLS..

### PLUMBING & PIPING :

THE PLUMBING AND PIPING SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH STATE AND LOCAL PLUMBING CODES. THE PLUMBING AND PIPING CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES AND ARRANGE FOR ALL INSPECTIONS FOR HIS WORK. THE PLUMBING AND PIPING CONTRACTOR SHALL COORDINATE LOCATIONS OF HIS EQUIPMENT AND WORK WITH OTHER BUILDING TRADES TO AVOID ANY INTERFERENCE BETWEEN HIS WORK AND THE WORK OF OTHER TRADES. ANY CUTTING AND/OR PATCHING, THAT MAY BE REQUIRED FOR THE INSTALLATION OF THE PLUMBING AND PIPING SYSTEM, SHALL BE DONE AND OR REPAIRED BY THE PLUMBING AND PIPING CONTRACTOR.

### HVAC & SHEET METAL WORK :

ALL AIR HANDLING SYSTEMS SHALL CONFORM TO ALL STATE AND LOCAL BUILDING, HEALTH AND SANITATION CODES. THE HVAC CONTRACTOR SHALL PRESENT CERTIFICATES TO THE OWNER THAT ALL APPLICABLE BUILDING PERMITS HAVE BEEN SECURED BEFORE STARTING ANY NEW WORK, AND PROVIDE TO THE OWNER ALL REQUIRED CERTIFICATES OF FINAL APPROVAL AT THE COMPLETION OF THE WORK. ANY CUTTING AND PATCHING, THAT MAY BE REQUIRED FOR THE INSTALLATION OF THE HVAC SYSTEMS, SHALL BE DONE AND REPAIRED BY THE HVAC CONTRACTOR. NO CUTTING OF THE STRUCTURAL SYSTEM SHALL BE DONE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT BEING PREVIOUSLY OBTAINED.

### ELECTRICAL :

THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS. PAY ALL FEES, INCLUDING ALL COSTS ASSESSED BY THE ELECTRIC UTILITY COMPANY, AND ARRANGE FOR ALL INSPECTIONS FOR HIS WORK. ALL ELECTRICAL MATERIALS SHALL BE NEW AND BEAR "UL" LABEL OR LISTING. THE ELECTRICAL CONTRACTOR SHALL VERIFY ELECTRIC AND TELEPHONE UTILITY COMPANY SERVICE POINTS AND PRIMARY SERVICE CONDUCTS, ROUTING, SIZE, AND LENGTH WITH UTILITY COMPANY SERVICE PLANNER, BEFORE SUBMITTING A BID FOR THE ELECTRICAL WORK. ALSO, VERIFY AND INCLUDE UTILITY COMPANY COST IN THE BID FOR ELECTRICAL WORK. G.F.I.C.- GROUND FAULT INTERRUPTER CIRCUIT, SHALL BE INSTALLED IN ALL KITCHENS, BATHROOMS, GARAGES AND OUTDOORS PER LOCAL AND CITY CODES.

### TRUSSES :

PRE-ENGINEERED TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER AND CERTIFIED BY AN ENGINEER REGISTERED TO PRACTICE IN THE STATE OF MICHIGAN. TRUSS FRAMING INDICATED ON THE DRAWING IS FOR GENERAL REFERENCE. THE TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL. TRUSS DESIGN, ERECTION AND HANDLING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE INC.

### SHEATHING AND SUB-FLOORING :

PLYWOOD FLOOR DECKING SHALL BE APA RATED STURD-I-FLOOR, EXPOSURE 1. FLOOR DECKING SHALL BE SECURED WITH GLUE IN COMBINATION WITH SCREWS OR NAILS. ROOF SHEATHING SHALL BE EXTERIOR GRADE ONLY AND INSTALLED WITH PLYWOOD CLIPS BETWEEN WOOD TRUSSES WHEN SPACING IS GREATER THAN 16' O.C. EXTERIOR WALL SHEATHING SHALL BE EXTERIOR GRADE PLYWOOD, UNLESS OTHERWISE NOTED.

### CONCRETE AND FOUNDATIONS :

REMOVE ALL TOP SOIL, ORGANIC MATERIALS AND DEBRIS FROM FOOTING AND SLAB EXCAVATIONS, MAINTAIN EXCAVATION FREE OF STANDING WATER. INSTALL AND MAINTAIN TEMPORARY BRACING PRIOR TO BACK FILL, TO MAINTAIN STABILITY OF FOUNDATION WALLS UNTIL PERMANENT STRUCTURE HAS BEEN PLACED. CONCRETE FOR FOOTING AND SLABS SHALL BE OF DESIGN MIX FORMULATED TO ASSURE A MINIMUM 3500 PSI COMPRESSIVE STRENGTH AT 28 DAYS. ALL CONCRETE PLACED SHALL NOT BE EXPOSED TO FREEZING. REINFORCING BARS SHALL BE ASTM A615 GRADE 60. VAPOR BARRIER, WHERE SPECIFIED, SHALL BE 6 MIL POLYETHYLENE. INTERIOR SLABS SHALL BE TROWEL FINISHED. EXTERIOR SLABS SHALL BE AIR ENTRAINED AND BROOM FINISHED PERPENDICULAR TO THE LINE OF TRAFFIC. PROVIDE CONTROL JOINTS AT MAXIMUM OF 5' O.C. AT EXTERIOR WALKS. PROVIDE EXPANSION JOINTS AT 30' O.C. CMU (CONCRETE MASONRY UNITS) SHALL COMPLY WITH ASTM C90, GRADE N. MOISTURE CURED, NORMAL WEIGHT AGGREGATE, TWO CORE UNITS. BRICK SHALL COMPLY WITH ASTM C216-89 . MORTAR SHALL BE TYPE S, ASTM C270 PROPORTION MIXED.

### WINDOWS :

WINDOWS SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS. ALL OPERATING SASH SHALL BE PROVIDED WITH INSECT SCREENS AND LOCKING HARDWARE. GLAZING OF WINDOWS AND DOORS SHALL COMPLY WITH CPSC STANDARDS 16CFR PART 1201-87 AND ANSI Z97.1-84. PROVIDE APPROPRIATE SAFETY GLASS FOR ALL HAZARDOUS LOCATIONS. EACH SLEEPING AREA SHALL BE PROVIDED WITH AT LEAST ONE WINDOW OF SUCH SIZE AS TO MEET EGRESS CODE REQUIREMENTS WITH SPECIAL HARDWARE.

### INSULATION :

RIGID INSULATION FOR SLABS OR FOOTINGS, SHALL BE EXTRUDED POLYSTYRENE. FIBERGLASS BATT INSULATION SHALL BE THE THICKNESS INDICATED ON DRAWINGS. ALL BATT INSULATION, UNLESS OTHERWISE NOTED, SHALL BE FACED WITH A VAPOR BARRIER. ALL VAPOR BARRIER FACED INSULATION SHALL BE INSTALLED WITH THE VAPOR BARRIER TO THE WINTER WARM SIDE OF THE CONSTRUCTION. INSULATION SHALL BE INSTALLED IN SUCH A MANNER AS TO ALLOW FREE AIR FLOW FROM THE SOFFIT TO THE ROOF SPACE. VENTILATION OF CONCEALED ROOF SPACE SHALL BE MAINTAINED.

### ATTIC & SOFFIT VENTING :

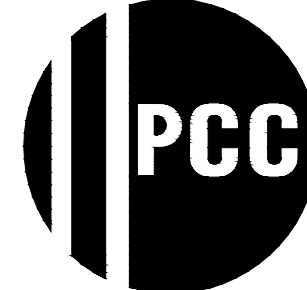
STYROFOAM INSULATION BAFFLES SHALL BE INSTALLED BETWEEN EACH TRUSS, TO ALLOW FOR FREE AIR FLOW FROM THE SOFFIT SYSTEM, THROUGH CONCEALED ROOF SPACE, TO THE RIDGE VENTING SYSTEM. SOFFIT AND RIDGE VENTING SYSTEMS SHALL BE INSTALLED PER LOCAL AND CITY CODES.

### GYPSUM BOARD :

GYPSUM BOARD FOR ALL AREAS, UNLESS OTHERWISE NOTED, SHALL BE 1/2" REGULAR TAPERED EDGE TYPE. JOINTS SHALL BE TAPED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURES PRINTED INSTRUCTIONS. WALLS INDICATED FOR A 1-HOUR FIRE RATING SHALL BE CONSTRUCTED OF A MINIMUM 2X4 STUDS WITH 5/8" TYPE X GYPSUM BOARD APPLIED BOTH SIDES, AND FINISHED PER THE GYPSUM ASSOCIATION (GA) FILE NO. WP3510. CEILINGS INDICATED FOR A 1-HOUR FIRE RATING SHALL BE TWO LAYERS OF 5/8" TYPE X GYPSUM BOARD APPLIED TO THE FRAMING WITH THE ENTIRE ASSEMBLY CONSTRUCTED AS INDICATED IN GYPSUM ASSOCIATION (GA) FILE NO. FC5406.

### SMOKE DETECTORS :

SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE MIDDLE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS IN THE INDIVIDUAL UNIT AND SHALL PROVIDE AN ALARM WHICH WILL BE AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTORS SHALL BE UL LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS PRINTED INSTRUCTIONS.



PROFESSIONAL  
CONSULTING  
COMPANY INC.

16970 W. WARREN  
DETROIT, MI 48228  
PH:(313) 583-0550  
FAX:(313) 583-0551

DRAWN BY  
S.A

APPROVED BY  
TN

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INC., ALL RIGHTS RESERVED.

### PROJECT

ADDITION OF GARAGE  
AND DRIVEWAY

### OWNER'S NAME

EVLÉN ELIAS

### ADDRESS

163 E SQUARE LAKE RD ,  
TROY , MI 48085

### PROJECT NO.

DATE : 05/31/2023

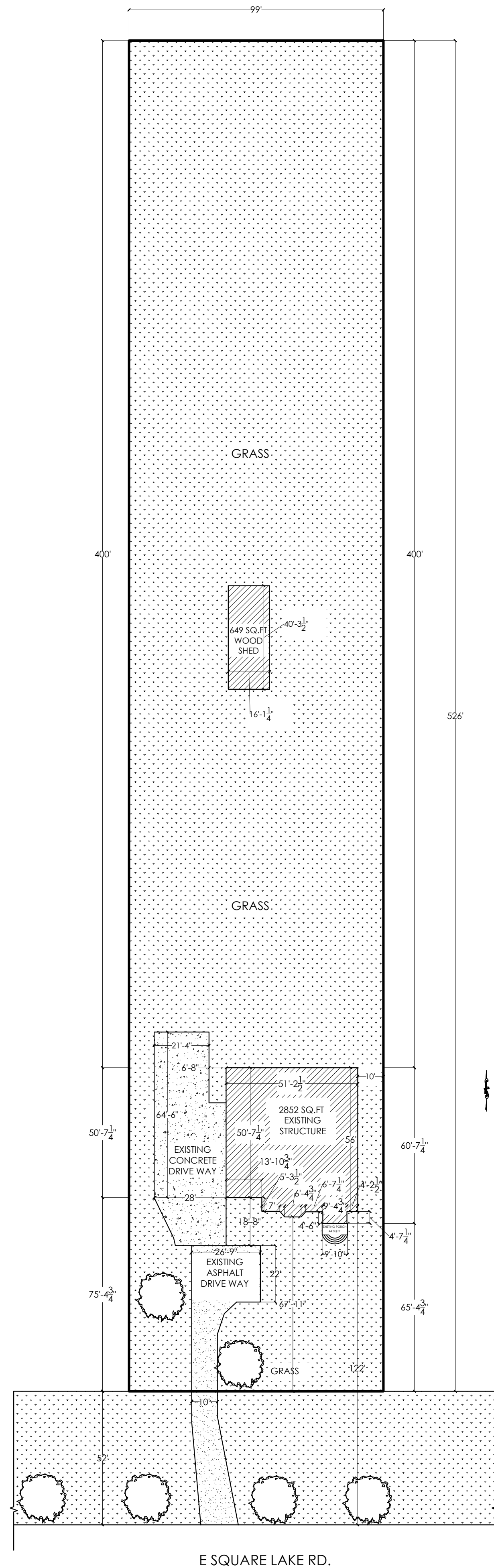
REVISED :

### SCALE

SHEET TITLE  
SECTION &  
GENERAL NOTES

A-2

### SEAL



EXISTING BASEMENT FLOOR PLAN  
SCALE : 1" = 30'-0"

### SCOPE OF WORK:

- BUILDING ATTACHED GARAGE NEXT TO THE WEST WALL OF THE EXISTING HOUSE
- REMOVE EXIT APPROACH AND DRIVEWAY ASPHALT AND REPLACE IT WITH NEW BITUMINOUS

| APPLICABLE CODE |   |
|-----------------|---|
| RESIDENTIAL     | - MRC 2015 ( MICHIGAN RESIDENTIAL CODE) |
| PLUMBING        | - MRC 2018 ( MICHIGAN RESIDENTIAL CODE) |
| MECHANICAL      | - MRC 2015 ( MICHIGAN RESIDENTIAL CODE) |
| ELECTRICAL      | - MRC 2015 ( MICHIGAN RESIDENTIAL CODE) |
| FIRE            | - IFC 2015 ( INTERNATIONAL FIRE CODE)   |

163 E SQUARE LAKE RD. TROY , MI , 48085

ZONING : R-1B ONE FAMILY RESIDENTIAL DISTRICT (SEWER)

MINIMUM LOT SIZE :15000 SQ.FT  
EXISTING LOT SIZE : 52074 SQ.FT

MINIMUM FLOOR AREA PER UNIT (SQ.FT) : 1400  
EXISTING FLOOR AREA PER UNIT (SQ.FT) : 2852 >1400  
PROPOSED FLOOR AREA PER UNIT (SQ.FT) :2852 >1400

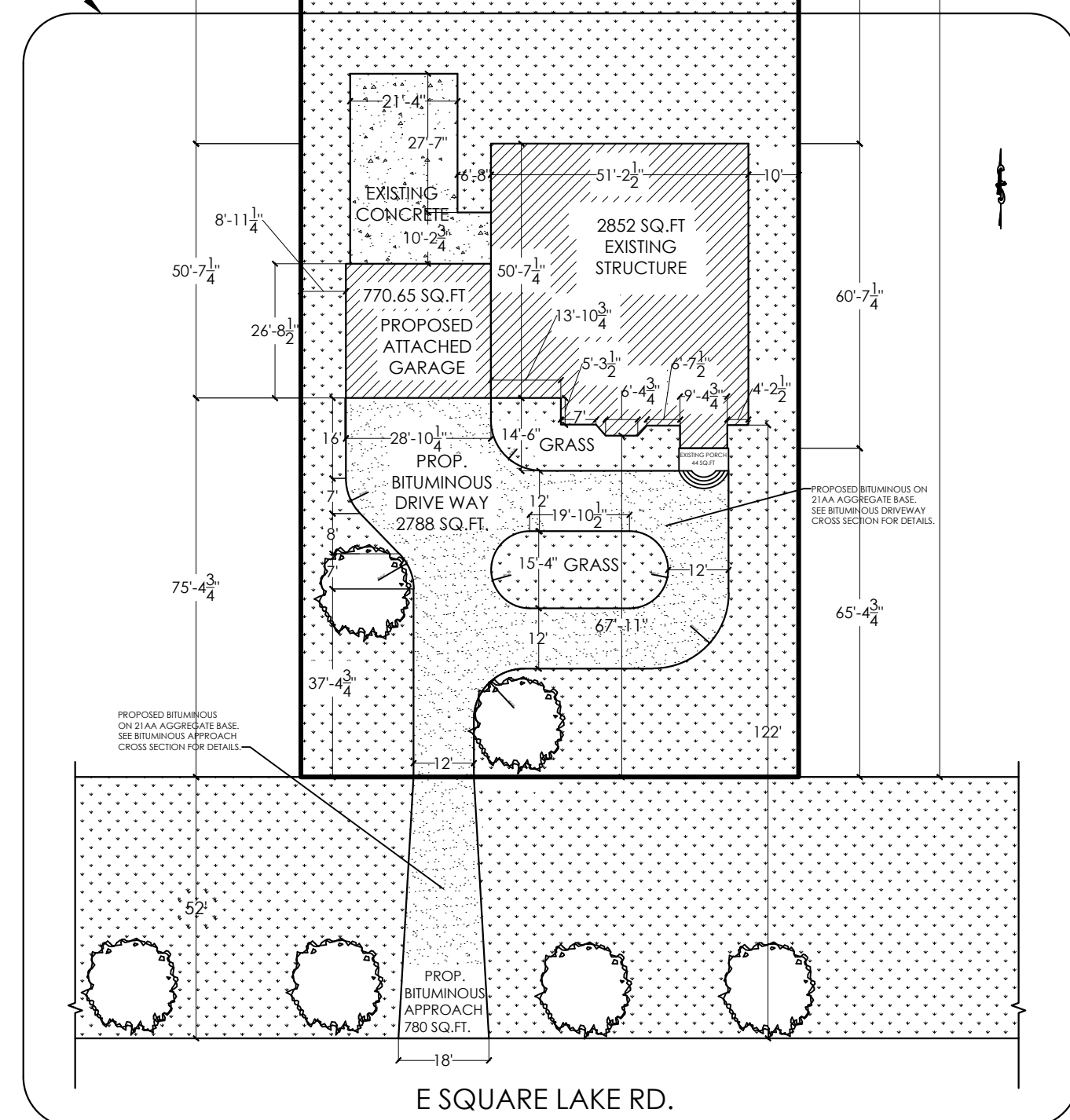
MAXIMUM % LOT AREA COVERED BY BUILDING 30 % =52074 X 0.30 = 15622 SQ.FT  
EXISTING LOT AREA COVERED BY BUILDING : 2852 SQ.FT <15622 SQ.FT  
PROPOSED % LOT AREA COVERED BY BUILDING :2852 +770.65 = 3622.65 SQ.FT  
3622.65 SQ.FT <15622 SQ.FT

MINIMUM FRONT SETBACK : 40 FT  
EXISTING FRONT SETBACK : 67'-11"

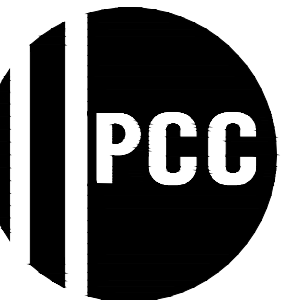
MINIMUM SIDE SETBACK (LEAST ONE) :10 '  
EXISTING SIDE SETBACK (LEAST ONE) :10 '

MINIMUM REAR SETBACK : 45 '  
EXISTING REAR SETBACK : 400'

SEE SHEET S2 FOR  
DETAILS



PROPOSED SITE PLAN  
SCALE : 1" = 30'-0"



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### OWNER'S NAME

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TROY , MI 48085

### PROJECT NO.

DATE : 05/31/2023  
REVISED :

### SCALE

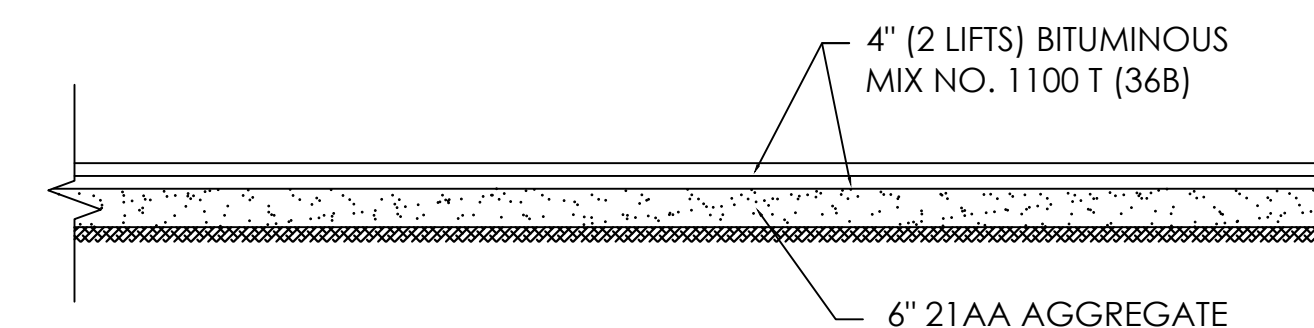
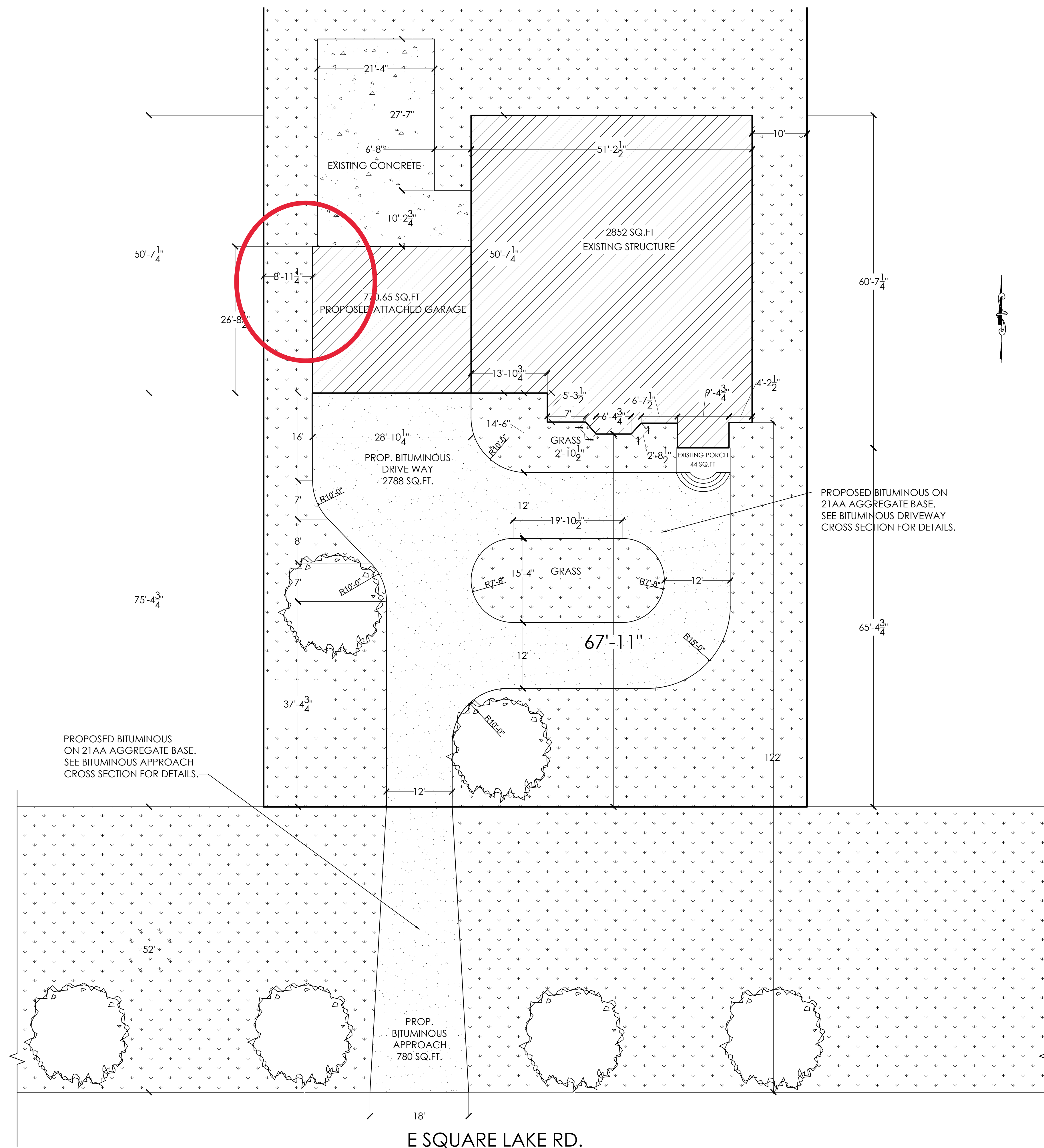
1" = 30'-0"

SHEET TITLE  
EXISTING &  
PROPOSED SITE  
PLAN

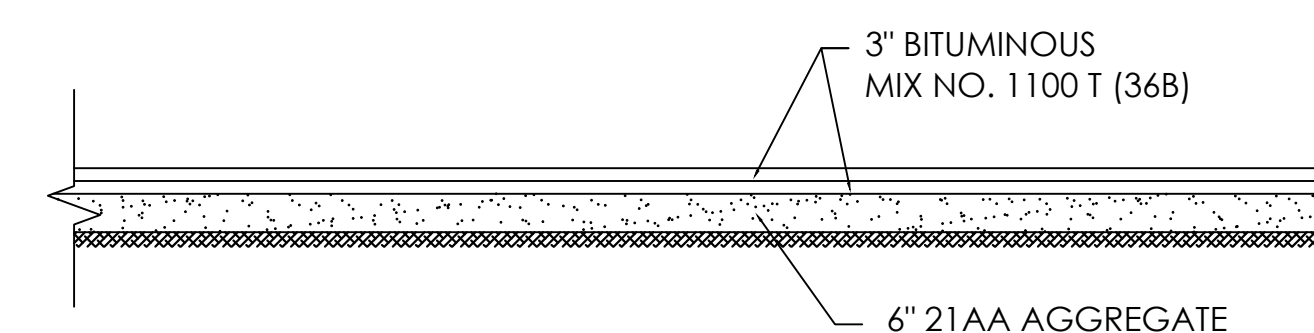
S-1

### SEAL



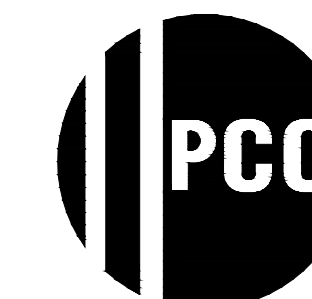


BITUMINOUS APPROACH CROSS SECTION  
SCALE : N.T.S.



BITUMINOUS DRIVEWAY CROSS SECTION  
SCALE : N.T.S.

PROPOSED SITE PLAN  
SCALE : 1" = 10'-0"



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PROJECT

ADDITION OF GARAGE  
AND DRIVEWAY

OWNER'S NAME

EVLLEN ELIAS

ADDRESS

163 E SQUARE LAKE RD ,  
TROY , MI 48085

PROJECT NO.

DATE : 05/31/2023

REVISED :

SCALE

1" = 10'-0"

SHEET TITLE  
PROPOSED SITE  
PLAN &  
SECTIONS

S-2

SEAL

B. 425 AUDLEY COURT, SCOTT GITTLEMAN FOR GITTLEMAN CONSTRUCTION INC.-  
A variance request to allow a proposed home addition to be constructed 22 feet 7 1/4 inches from the rear property line, where the Zoning Ordinance requires the addition to be 25 feet from the rear property line.

ZONING ORDINANCE SECTION: 10.04 E, 5 Cluster Development





CROOKS

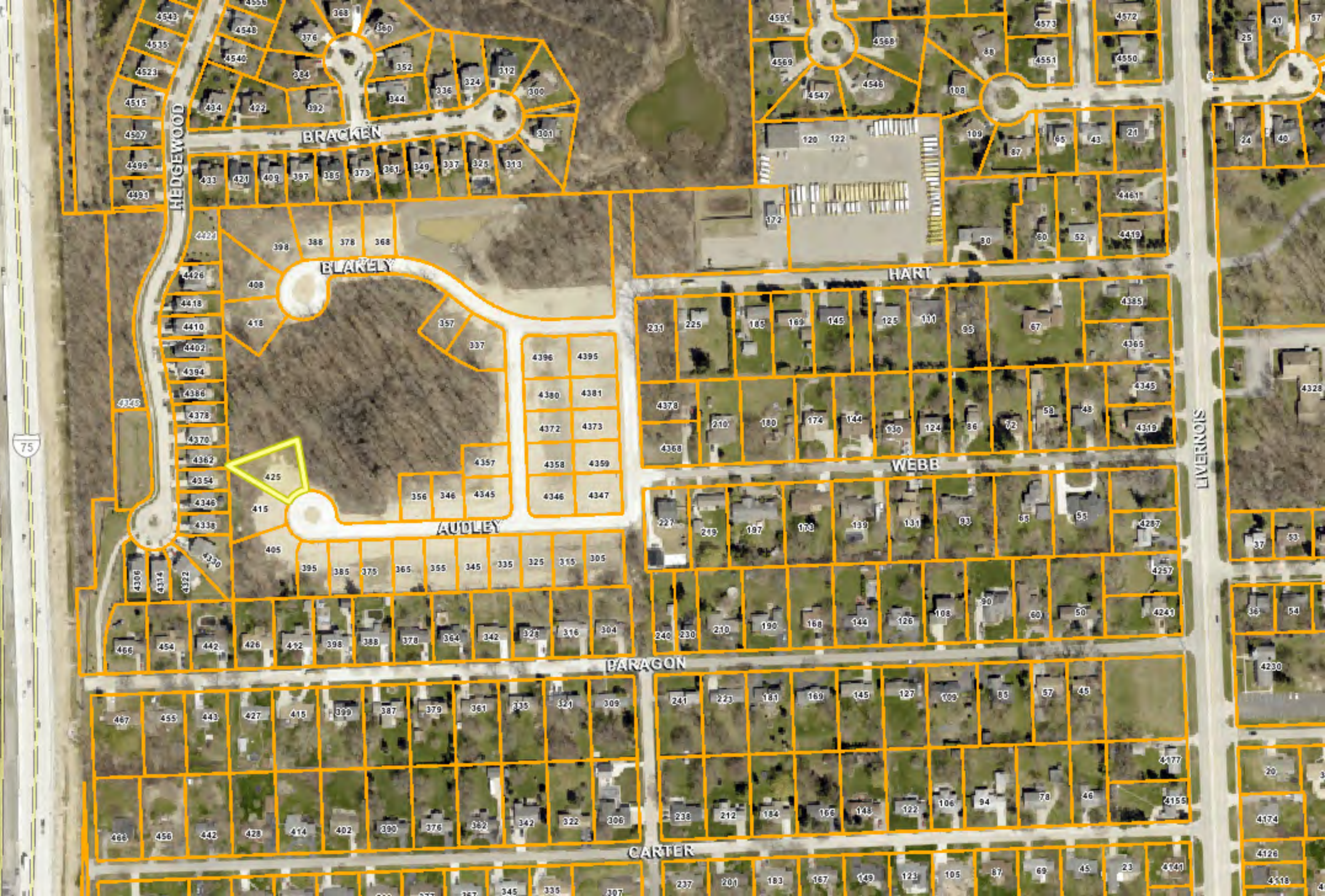
75

LIVERNOS

EWATTLES

EWATTLES







**4370**

**4362**

**4354**

**4346**

**4338**

**425**

**415**

**3**

AUDLEY





CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 425 AUDLEY COURT
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-16-404-013
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: SEWER (REAR)
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO
5. APPLICANT:  
NAME SCOTT GITTLEMAN  
COMPANY GITTLEMAN CONSTRUCTION, INC  
ADDRESS 28580 ORCHARD LAKE RD #102  
CITY FARMINGTON HILLS STATE MI ZIP 48334  
PHONE 248-345-5228  
E-MAIL SGITTLEMAN@GITTLEMAN.NET  
AFFILIATION TO THE PROPERTY OWNER: BUILDER/AGENT



CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48064 | 248-524-3364

## Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME ANTHONY & ANGIE AGIUS

COMPANY —

ADDRESS 425 AUDLEY COURT

CITY TROY

STATE MI

ZIP 48068

TELEPHONE 248-228-6099

E-MAIL AMKELLYCOLE@YAHOO.COM

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, SCOTT GITTLEMAN (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE [Signature]

DATE 08-01-2023

PRINT NAME: SCOTT GITTLEMAN

PROPERTY OWNER SIGNATURE [Signature]

Anthony Agius (Aug 2, 2023 11:29 EDT)

DATE 08-01-2023

PRINT NAME: ANTHONY AGIUS

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



August 01, 2023

**City of Troy  
Zoning Board of Appeals**

**A.** The exceptional characteristics of this property for the request for the dimensional variance is the unusual shape of the lot and the rotated position of the home on the lot.

**B.** The characteristics of the dimensions of the proposed open sunroom with roofline applies to this location.

**C.** Compliance with the dimensional requirements are not of personal nature but due to the uniqueness of the site.

**D.** The existing site is not self-created as the home was constructed in its position and location, by the builder/developer.

**E.** This proposed addition to the home will be constructed in materials to match and complement existing material, it is built to be sensitive to the harmony of the neighborhood, it will not adversely affect or impair light and air to adjacent property, it does not increase the danger to the public and will not be deleterious to the neighborhood.

**This home is situated on a site that has no neighboring home on the north or east, and because of the position on the cul-de-sac, has very little impact on the neighbor to the west.**

Thank you in advance for your consideration on this request.

Scott Gittleman  
Gittleman Construction

SCOTT GITTLEMAN  
6770 COLBY LN  
BLOOMFIELD HILLS, MI 48301-2947

1174  
74-335/724

8-1-2023

Date

FRAUDARMOR +

Pay to the  
Order of

CITY of Troy

\$ 150.00

ONE HUNDRED FIFTY AND XX/100

Dollars



Photo  
Safe  
Deposit®  
Details on back

THE  
STATE BANK

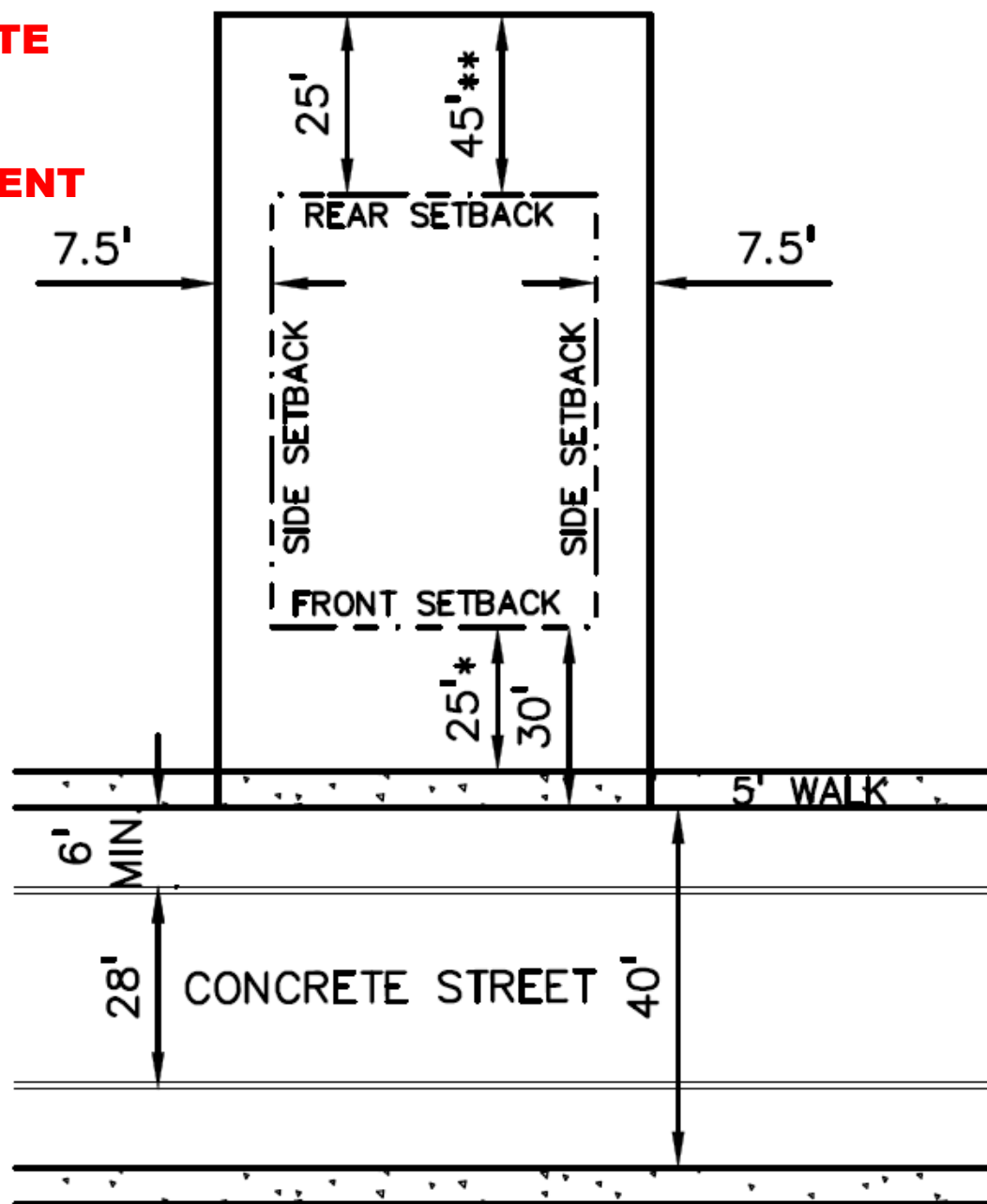
Fenton, MI 48430  
FARMINGTON HILLS OFFICE

For 425 ANGLY CT ZEA

⑆072403350⑆ 04836001⑆ 01174

MAILED 8/2/23. (SG)

**MASTER SITE  
PLAN FOR  
ENTIRE  
DEVELOPMENT**



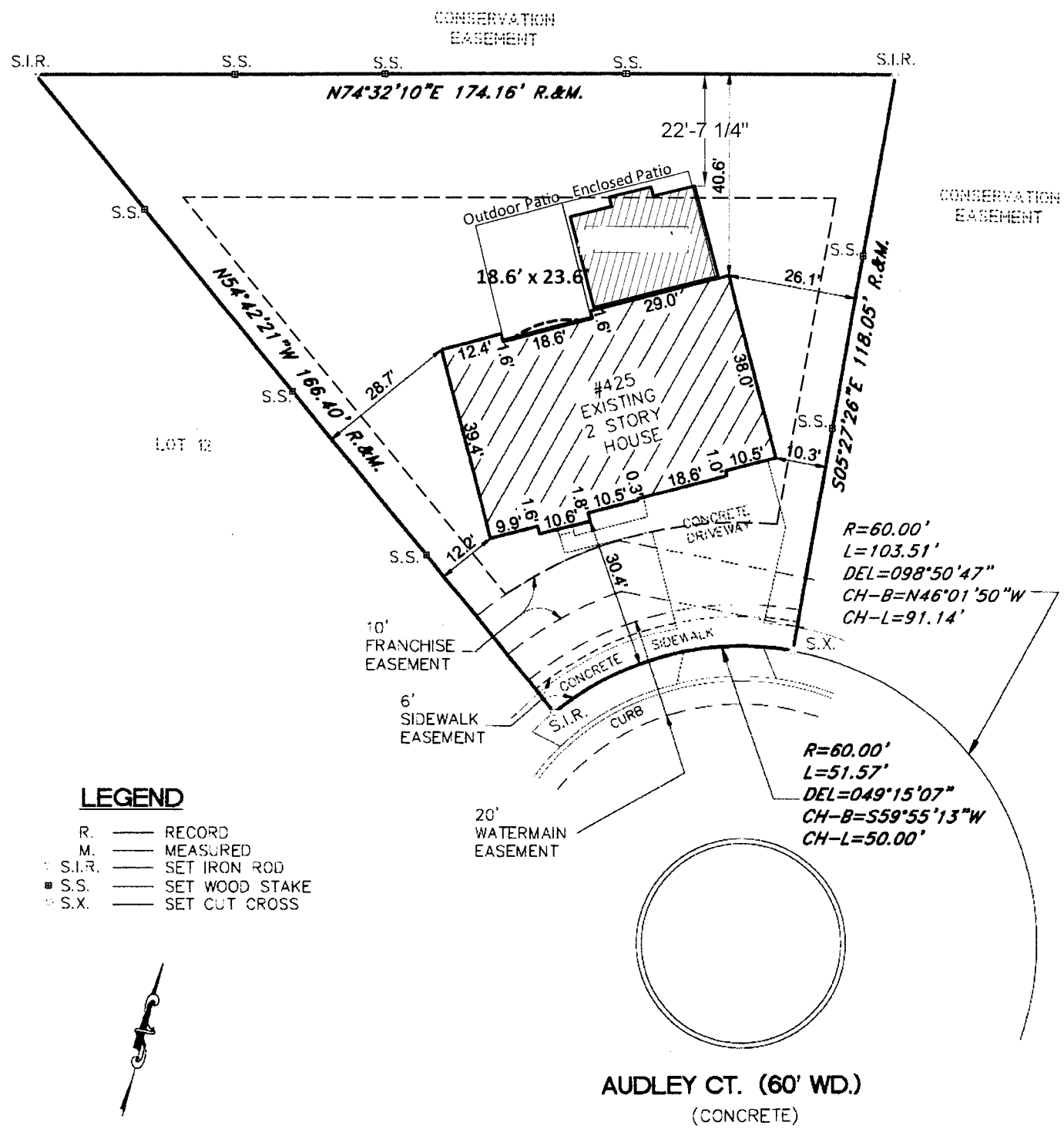
**TYPICAL UNIT DETAIL**

SCALE: NTS

\* 25' MINIMUM GARAGE SETBACK

\*\* 45' WHEN ADJACENT TO ANOTHER PROPERTY

CERTIFICATE OF SURVEY

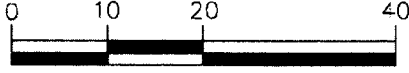


LEGEND

- R. — RECORD
- M. — MEASURED
- S.I.R. — SET IRON ROD
- S.S. — SET WOOD STAKE
- S.X. — SET CUT CROSS



GRAPHIC SCALE



( IN FEET )  
1 INCH = 20 FT.

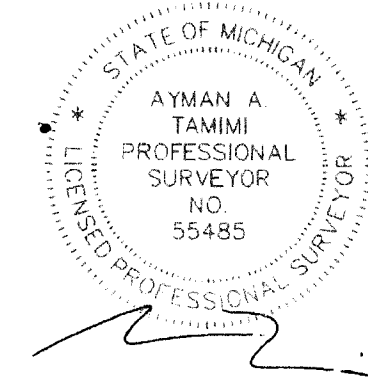
I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE PARCELS ABOVE PLATTED AND/OR DESCRIBED AND THAT ALL OF THE REQUIREMENTS OF P.A. 132 OF 1970, AS AMENDED HAVE BEEN MET, AND THAT THE ERROR OF CLOSURE IS NO GREATER THAN 1 IN 5,000.

LEGAL DESCRIPTION

Unit 13, West Troy Meadows, A Condominium, according to the Master Deed recorded in Liber 53919, Pages 697 through 756, both inclusive, First Amendment to the Master Deed recorded in Liber 56290, Pages 394 and 395, Oakland County Records, and designated as Oakland County Condominium Subdivision Plan No. 2294, together with rights in general common elements and limited common elements as set forth in the above-described Master Deed, as amended, and as described in Act 59 of the Public Acts of 1978, as amended.  
Tax Parcel ID: 20-16-404-013

CLIENT: ANTHONY & ANGELA AGUS  
425 AUDLEY CT.  
TROY, MI. 48098

SCALE: 1"=30'  
JOB No: 22-070  
DATE: 9/25/2022  
B/PG N/A



AYMAN TAMIMI, PS NO. 55485

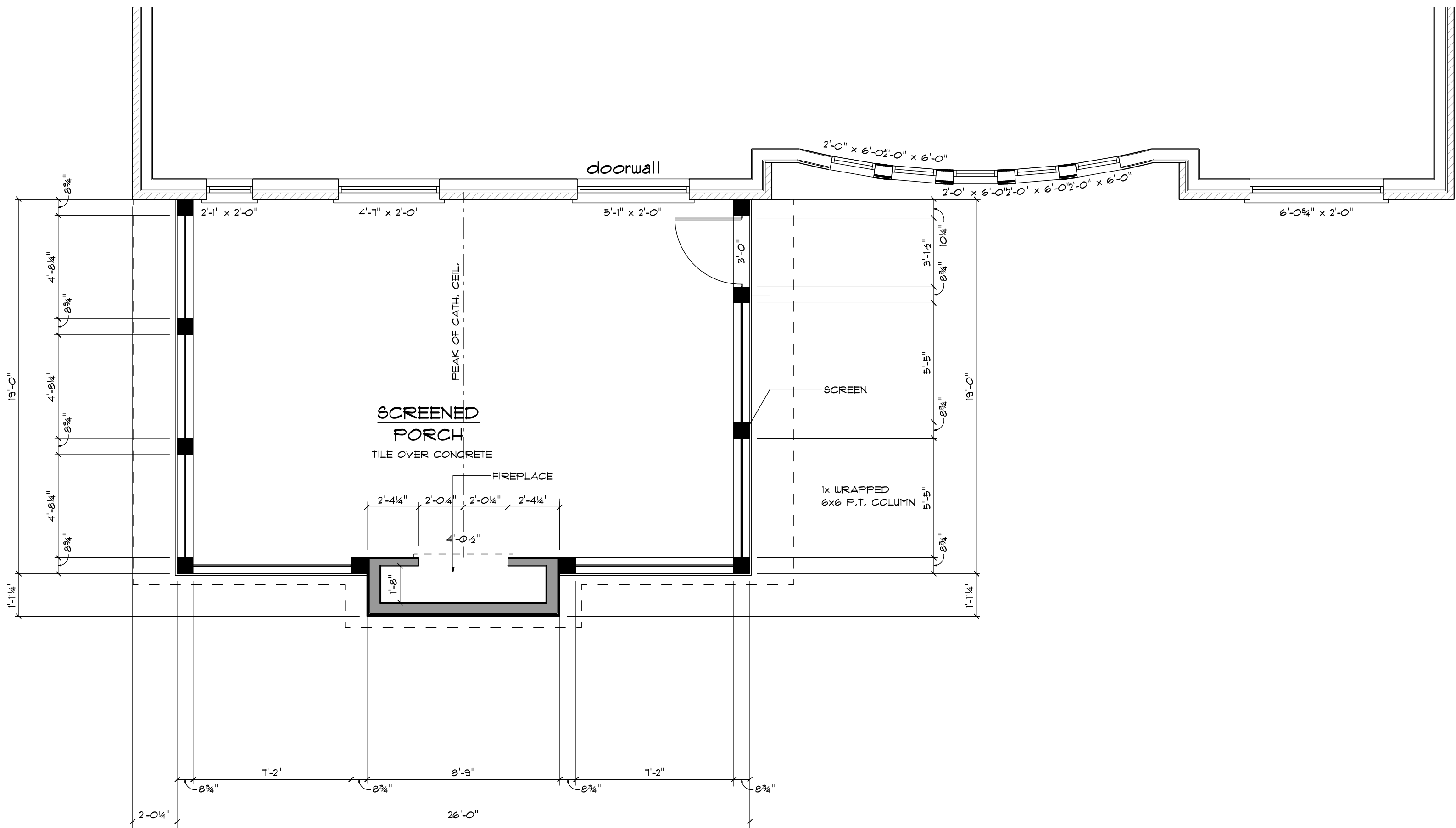
LAND SPECIALISTS

LAND SURVEYORS  
21418 EWING DR.  
MACOMB TWP. MI. 48044  
PHONE # (586)703-1794  
www.landspecialists.us

DRAWN BY: A. TAMIMI

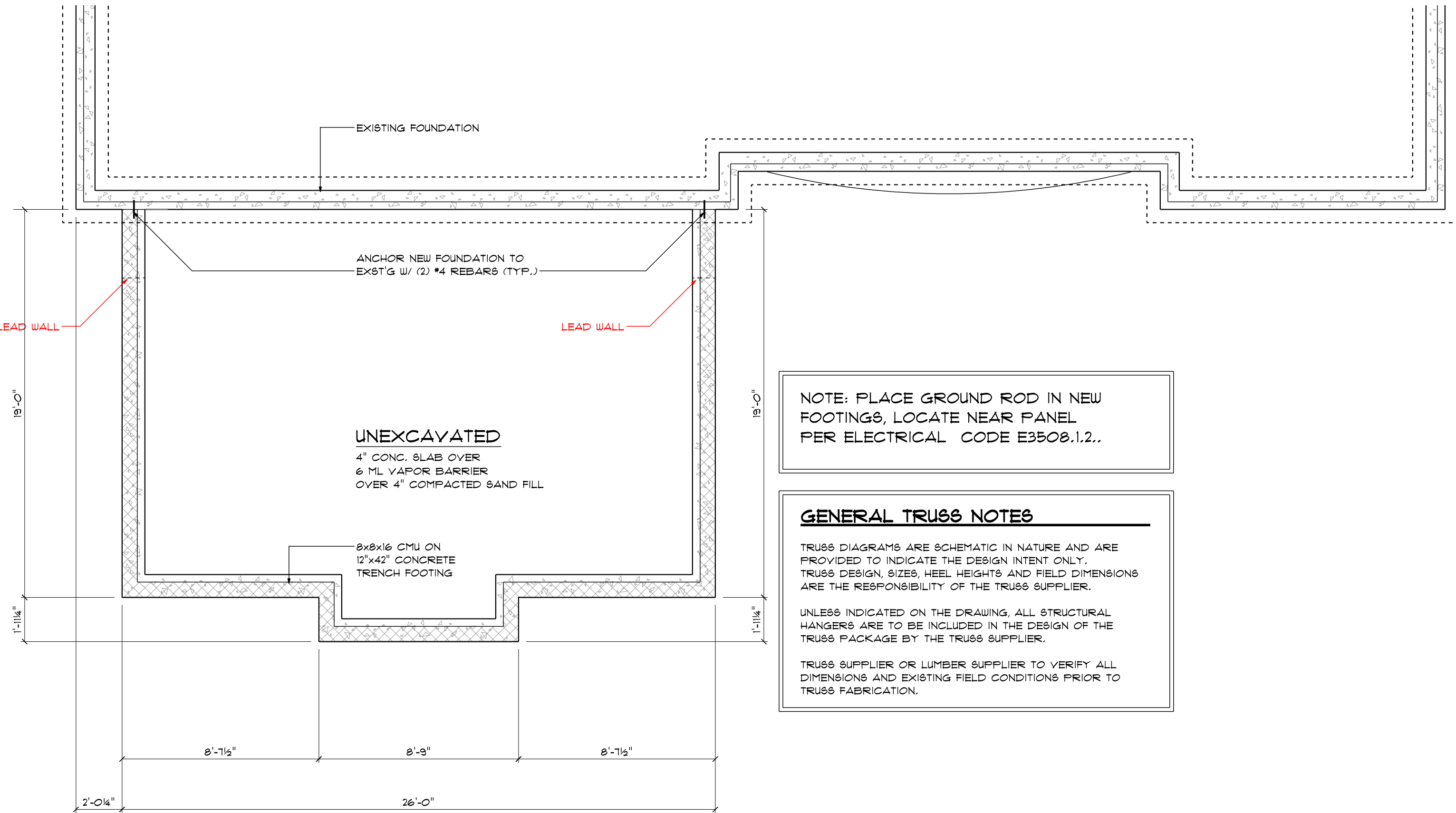






## MAIN FLOORPLAN

SCALE: 1/4" = 1'-0"



## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

### ROOF NOTES

- 1) INSTALL ICE AND WATER SHIELD AT ALL LEADING EDGES OF EAVES, OVERHANGS, AND VALLEYS. IT SHOULD EXTEND, MEASURED HORIZONTALLY 6'-0" FROM THE INSIDE FACE OF THE WALL (TYP.) AND AT ALL PROTRUSIONS THROUGH THE ROOF DECK.
- 2)  $\frac{1}{2}$  INDICATES SLOPE OF ROOF, WITH 'X' BEING THE RISE.
- 3) INSTALL ICE AND WATER SHIELD ALONG GABLE AND DORMER WALLS ABUTTING ROOF SURFACE. ALLOW FOR A MINIMUM 18" OF ICE AND WATER SHIELD ON WALL AND A MINIMUM 18" ON ROOF SURFACES. FLASHING SHOULD BE INSTALLED MINIMUM 6" UP THE WALL AND 6" ON THE DECK UNDER THE SHINGLES WITH A MINIMUM OF 3" OVERLAP.
- 4) FLASHING AT VERTICAL WALLS WILL EXTEND NO LESS THAN 6" UP ALL VERTICAL WALLS AND NO LESS THAN 5" OVER THE SHINGLES. INSTALL ICE AND WATER SHIELD PER ROOF NOTE #3 TYP.
- 5) METAL VALLEYS WILL BE 18" WIDE WITH A 1/2" 180° HEM ALONG BOTH EDGES. ONLY SIMILAR METAL FASTENERS WILL BE USED (IE: COPPER NAILS FOR COPPER VALLEYS) AT THE TOP OF EACH VALLEY SECTION ONLY. NO NAILS SHALL BE INSTALLED ALONG THE EDGES OF VALLEY SECTIONS HOWEVER, A SIMILAR METAL EXPANSION "CLEAT" SHALL BE INSTALLED EVERY 18" AND FASTENED WITH A SIMILAR METAL FASTENER.
- 6) DIMENSIONAL ASPHALT SHINGLES ARE TO BE USED. OWNER TO CHOOSE FROM SAMPLES SUPPLIED BY CONTRACTOR.

### UNEXCAVATED

4" CONC. SLAB OVER  
6 ML VAPOR BARRIER  
OVER 4" COMPACTED SAND FILL

NOTE: PLACE GROUND ROD IN NEW FOOTINGS, LOCATE NEAR PANEL PER ELECTRICAL CODE E3503.1.2..

### GENERAL TRUSS NOTES

TRUSS DIAGRAMS ARE SCHEMATIC IN NATURE AND ARE PROVIDED TO INDICATE THE DESIGN INTENT ONLY. TRUSS DESIGN, SIZES, HEEL HEIGHTS AND FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THE TRUSS SUPPLIER.

UNLESS INDICATED ON THE DRAWING, ALL STRUCTURAL HANGERS ARE TO BE INCLUDED IN THE DESIGN OF THE TRUSS PACKAGE BY THE TRUSS SUPPLIER.

TRUSS SUPPLIER OR LUMBER SUPPLIER TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO TRUSS FABRICATION.

### FOUNDATION AND CONCRETE

MINIMUM CONCRETE FOOTINGS SHALL BE 42" BELOW FINISH GRADE UNDER FLOOR SPACE SHALL COMPLY WITH SECTION R403.

CONCRETE STRENGTH SHALL BE 3000 PSI FOR ALL FOOTINGS, THICKEN SLABS AND CONCRETE SLABS NOT EXPOSED TO THE WEATHER

ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO ASTM A615 GRADE 60.

REMOVE ALL FILL AND ORGANIC MATERIALS FROM AREAS TO RECEIVE CONCRETE SLABS.

PROVIDE SILL PLATE ANCHOR BOLTS @ 6'-0" ON CENTER AND 12" FROM END OF SILL PLATES. ANCHOR BOLTS SHALL BE 1/2" DIAMETER AND SHALL EXTEND 15" INTO GROUTED CONCRETE BLOCK OR 8" MINIMUM INTO POURED IN PLACE CONCRETE.

### FOAM PLASTICS

ALL FOAM PLASTICS OR FOAM PLASTIC CORED MATERIAL USED IN CONSTRUCTION SHALL BE COVERED WITH A THERMAL BARRIER PER CODE R314.

### 2015 BUILDING CODE

ALL WORK FOR ALL PHASES OF CONSTRUCTION SHALL COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODE AND 2015 MEBC CODE.

THESE PLANS & SPECIFICATIONS CONTAINED HEREIN ARE INTENDED FOR USE BY GITTLEMAN CONSTRUCTION, INC. TO CONSTRUCT THIS PROJECT. NO LIABILITY OR RESPONSIBILITY IS ASSURED FOR CONSTRUCTION BY ANY OTHER BUILDER UTILIZING THESE PLANS & SPECIFICATIONS. ALL FIELD MEASUREMENTS, STRUCTURAL ENGINEERING, & BUILDING CODE REQUIREMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE CONSTRUCTION COMPANY NAMED IN THE APPROVED BUILDING PERMIT.

### GENERAL NOTES

- DO NOT SCALE DRAWINGS; FIELD MEASURE ONLY.
- NOTE ALL LABELED DIMENSIONS ARE CALCULATED TO FINISHED SURFACES.
- OWNER TO PROVIDE CLEAR ACCESS TO ALL AREAS WHERE WORK IS TO BE PERFORMED.

### WALL LEGEND

- EXIST'G PARTITION
- NEW PARTITION
- REMOVED PARTITION

### ABBREVIATIONS

- N.I.C., NOT INCLUDED
- AFB ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE

### PERMITS

BUILDING, MECHANICAL AND SOIL EROSION PERMIT FEES ARE NOT INCLUDED IN THE PROJECT. OWNER TO REIMBURSE REMODELER FOR ALL COSTS RELATED TO PERMITS AND APPROVALS.

SIGNATURE

### PORTA JOHN OPTION

YES, PLEASE ORDER A PORTA JOHN TO BE DELIVERED TO MY RESIDENCE FOR THE DURATION OF THE PROJECT AT A COST OF \$140.00 / 28 DAYS WILL BE ADDED TO THE FINAL STATEMENT.

YES:

SIGNATURE

NO BATHROOM FACILITIES WILL BE MADE AVAILABLE FOR THE DURATION OF THE PROJECT.

NO:

SIGNATURE

### ASSOCIATION APPROVAL

SIGNATURE

COPYRIGHT Wednesday, August 2, 2023  
ALL RIGHTS RESERVED BY GITTLEMAN CONSTRUCTION; NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

### PLAN & SPECIFICATIONS APPROVAL

OWNER DATE

OWNER DATE

GCI DATE

NOTE: THIS PROJECT WILL BE CONSTRUCTED BASED ON THE INFORMATION DETAILED ON THESE PLANS & SPECIFICATIONS. CONTAINED HEREIN SUPERSEDE ALL PREVIOUS VERBAL CONVERSATIONS AND/OR INTERPRETATIONS.

GO

GITTLEMAN CONSTRUCTION inc

DESIGN ■ BUILD ■ REMODEL

28580 ORCHARD LAKE RD. SUITE 102  
FARMINGTON HILLS, MI 48334  
248.538.5400 fax: 248.538.5401 www.gittleman.net

AGUS RESIDENCE  
425 AUDLEY CT.  
TROY, MI 48068

DATE: 8/2/2023

PROJECT COMPLETED

### REVISIONS:

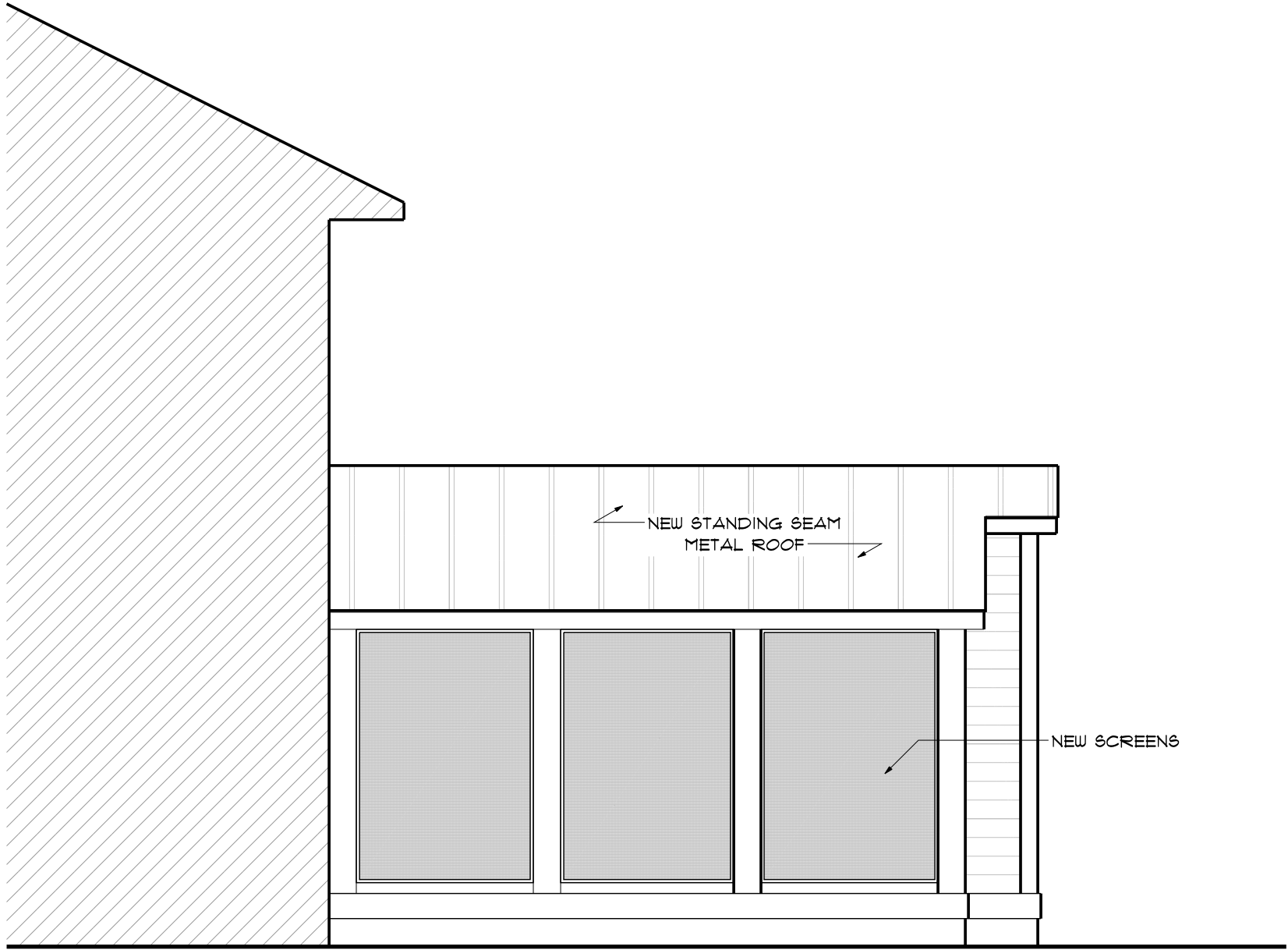
DATE DESCRIPTION

SHEET

A1

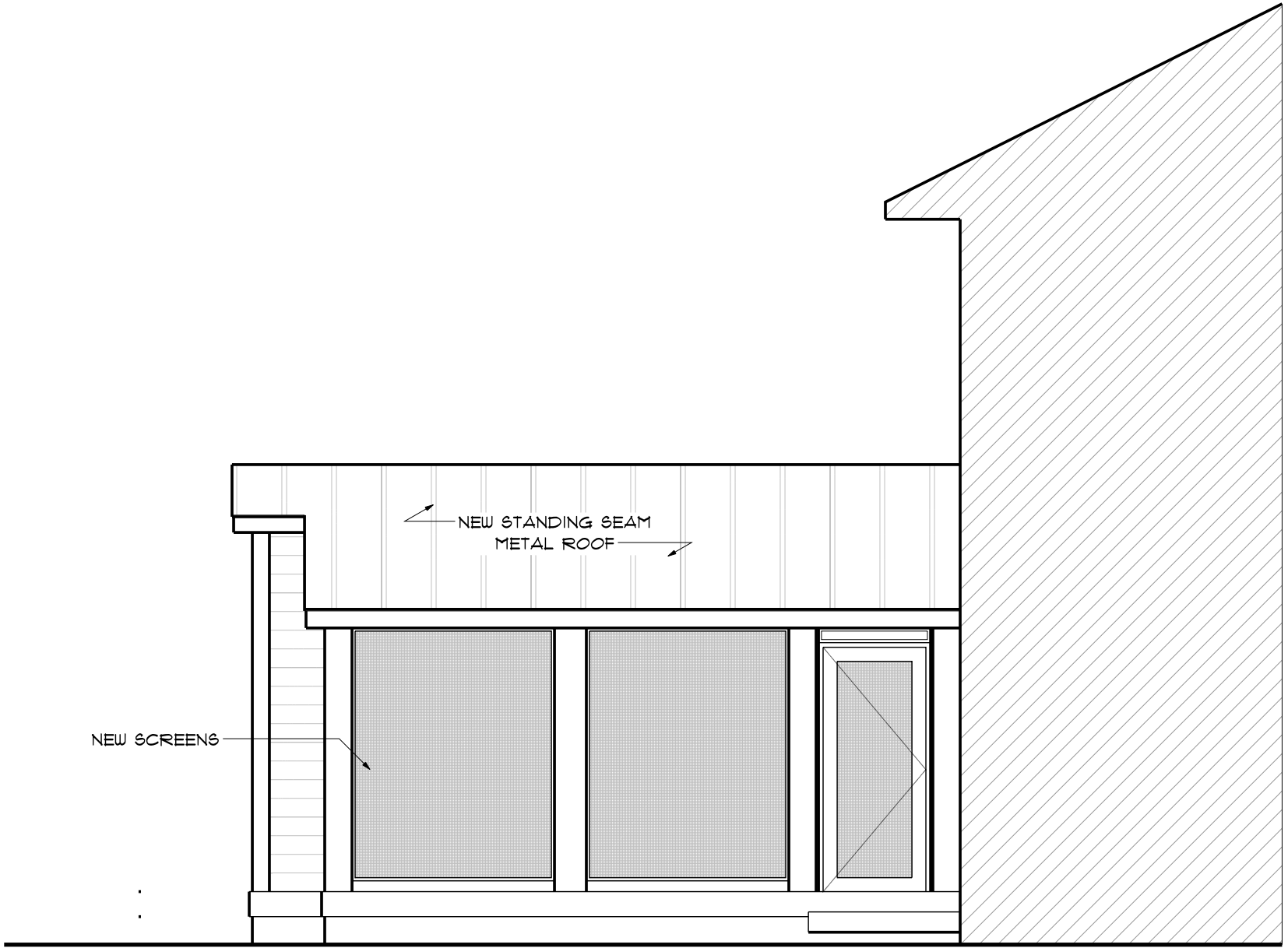
2 OF 3





RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

2015 BUILDING CODE

ALL WORK FOR ALL PHASES OF CONSTRUCTION SHALL COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODE AND 2015 MEJC CODE.

THESE PLANS & SPECIFICATIONS CONTAINED HEREIN ARE INTENDED FOR USE BY GITTLEMAN CONSTRUCTION, INC. TO CONSTRUCT THIS PROJECT. NO LIABILITY OR RESPONSIBILITY IS ASSUMED FOR CONSTRUCTION BY ANY OTHER BUILDER UTILIZING THESE PLANS & SPECIFICATIONS. ALL FIELD MEASUREMENTS, STRUCTURAL ENGINEERING, & BUILDING CODE REQUIREMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE CONSTRUCTION COMPANY NAMED IN THE APPROVED BUILDING PERMIT.

GENERAL NOTES

- DO NOT SCALE DRAWINGS; FIELD MEASURE ONLY.
- NOTE ALL LABELED DIMENSIONS ARE CALCULATED TO FINISHED SURFACES.
- OWNER TO PROVIDE CLEAR ACCESS TO ALL AREAS WHERE WORK IS TO BE PERFORMED.

WALL LEGEND

- EXIST'G PARTITION
- NEW PARTITION
- REMOVED PARTITION

ABBREVIATIONS

- N.I.C. NOT INCLUDED
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE

PERMITS

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SIGNATURE

PORTA JOHN OPTION

YES, PLEASE ORDER A PORTA JOHN TO BE DELIVERED TO MY RESIDENCE FOR THE DURATION OF THE PROJECT AT A COST OF \$140.00 / 28 DAYS WILL BE ADDED TO THE FINAL STATEMENT.

YES:

SIGNATURE

NO, BATHROOM FACILITIES WILL BE MADE AVAILABLE FOR THE DURATION OF THE PROJECT.

NO:

SIGNATURE

ASSOCIATION APPROVAL

SIGNATURE

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GITTLEMAN CONSTRUCTION inc

DESIGN ■ BUILD ■ REMODEL

28580 ORCHARD LAKE RD. SUITE 102  
FARMINGTON HILLS, MI 48334  
248.538.5400 fax: 248.538.5401 www.gittleman.net

AGUS RESIDENCE  
425 AUDLEY CT.  
TROY, MI 48068

DATE: 8/2/2023

FILED CONT PERMIT JOB

REVISIONS:

| DATE | DESCRIPTION |
|------|-------------|
|      |             |
|      |             |
|      |             |
|      |             |

SHEET

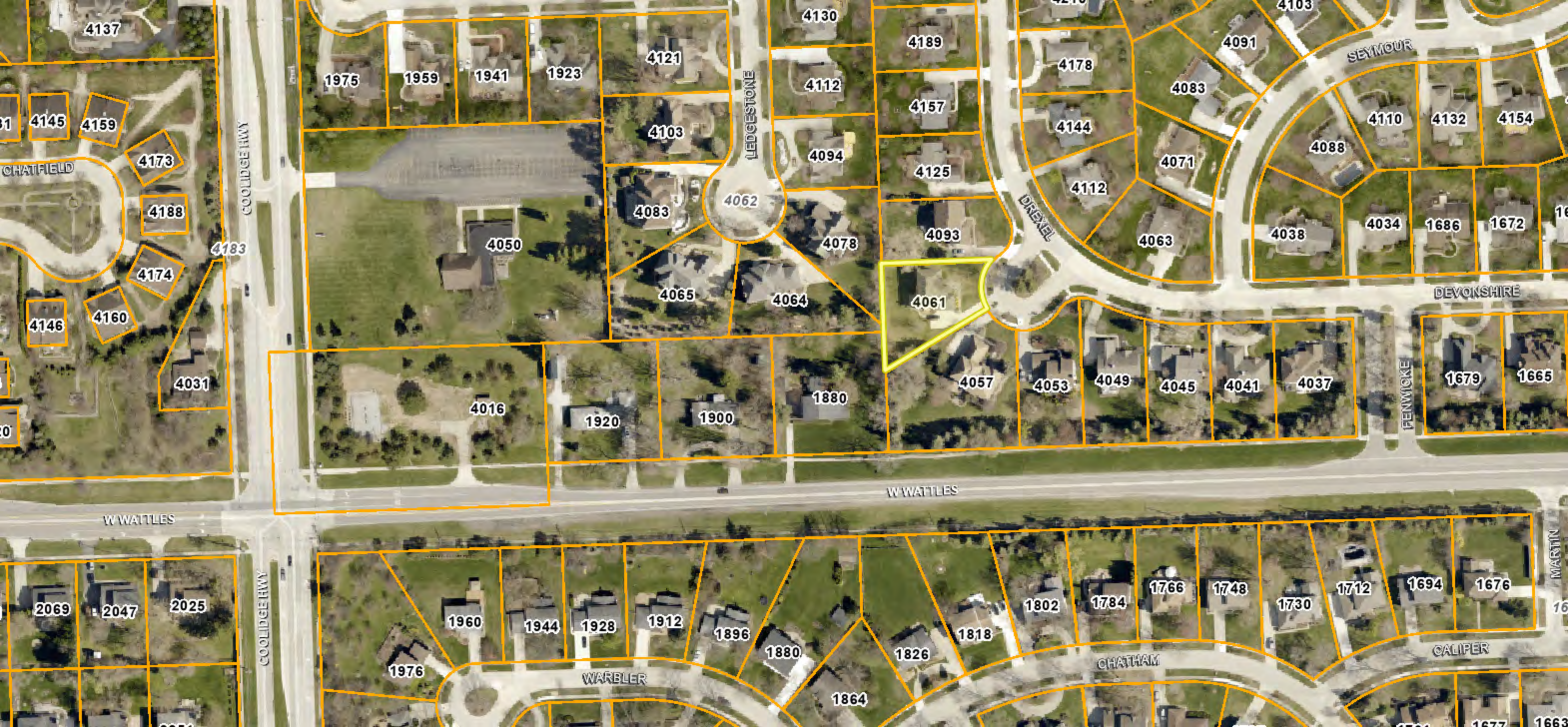
A2

3 OF 3

C. 4061 DREXEL, STEVE ROSSON FOR MARTINO ENTERPRISES - A variance request to allow a proposed home addition to be constructed 36.625 feet from the rear property line, where the Zoning Ordinance requires the addition to be 45 feet from the rear property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning





4137

4145

4159

4173

4188

4174

4146

4160

4031

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1920

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1686

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DEVONSHIRE

1679

1665

W WATTLES

W WATTLES

2069

2047

2025

1976

1960

1944

1928

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1826

1818

1802

1784

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1730

1712

1694

1676

WARBLER

CHATHAM

CALIPER

MARTIN







**4078**

**4093**

**4064**

**4061**

**4057**

**4053**

**4049**







CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY:

4061 Drexel Troy

LOT 64 SOMERSET PLACE SUBDIVISION NO. 2  
S4L17, T. 2 N., R. 11 E.

2. PROPERTY TAX IDENTIFICATION NUMBER(S):

3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST:

A-1B

4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars:

N/A

5. APPLICANT:

NAME

MARTINO ENTERPRISES (STEVE ROSSON)

COMPANY

MARTINO HOME IMPROVEMENTS

ADDRESS

1458 E. LINCOLN

CITY

MADISON HTS

STATE

MI

ZIP

48071

PHONE

248-629-9260

E-MAIL

STEVE@MARTINOCOMPANIES.COM

AFFILIATION TO THE PROPERTY OWNER:

CONTRACTOR





## Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME MATTHEW & ANNA MATUZA  
COMPANY \_\_\_\_\_  
ADDRESS 4061 Drexel  
CITY Troy STATE MI ZIP 48068  
TELEPHONE 248-854-1132  
E-MAIL \_\_\_\_\_

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Steve Rosson (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE Steve Rosson DATE 6-29-23  
PRINT NAME: Steve Rosson

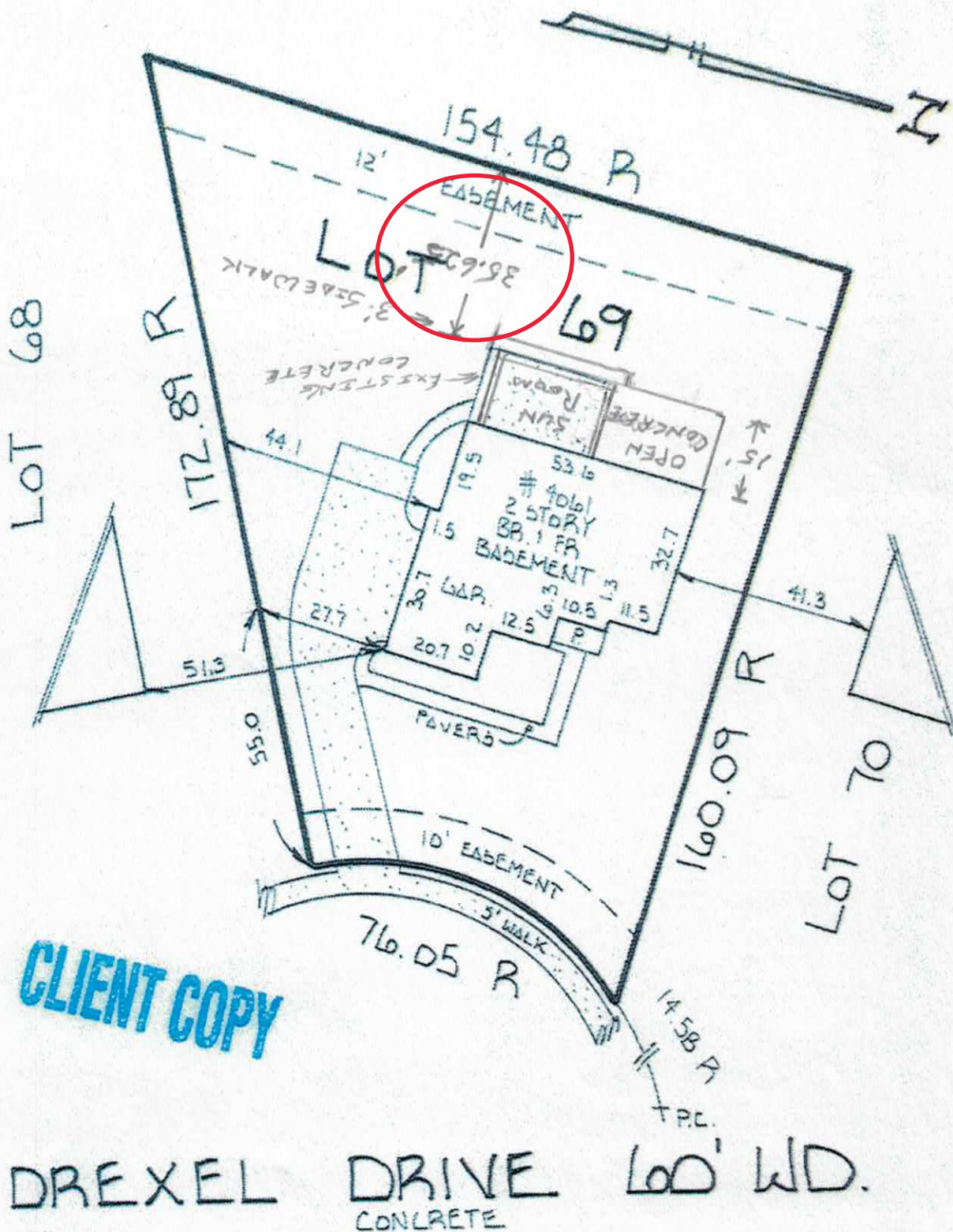
PROPERTY OWNER SIGNATURE Ana Matuza DATE 6-29-23  
PRINT NAME: Ana Matuza

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

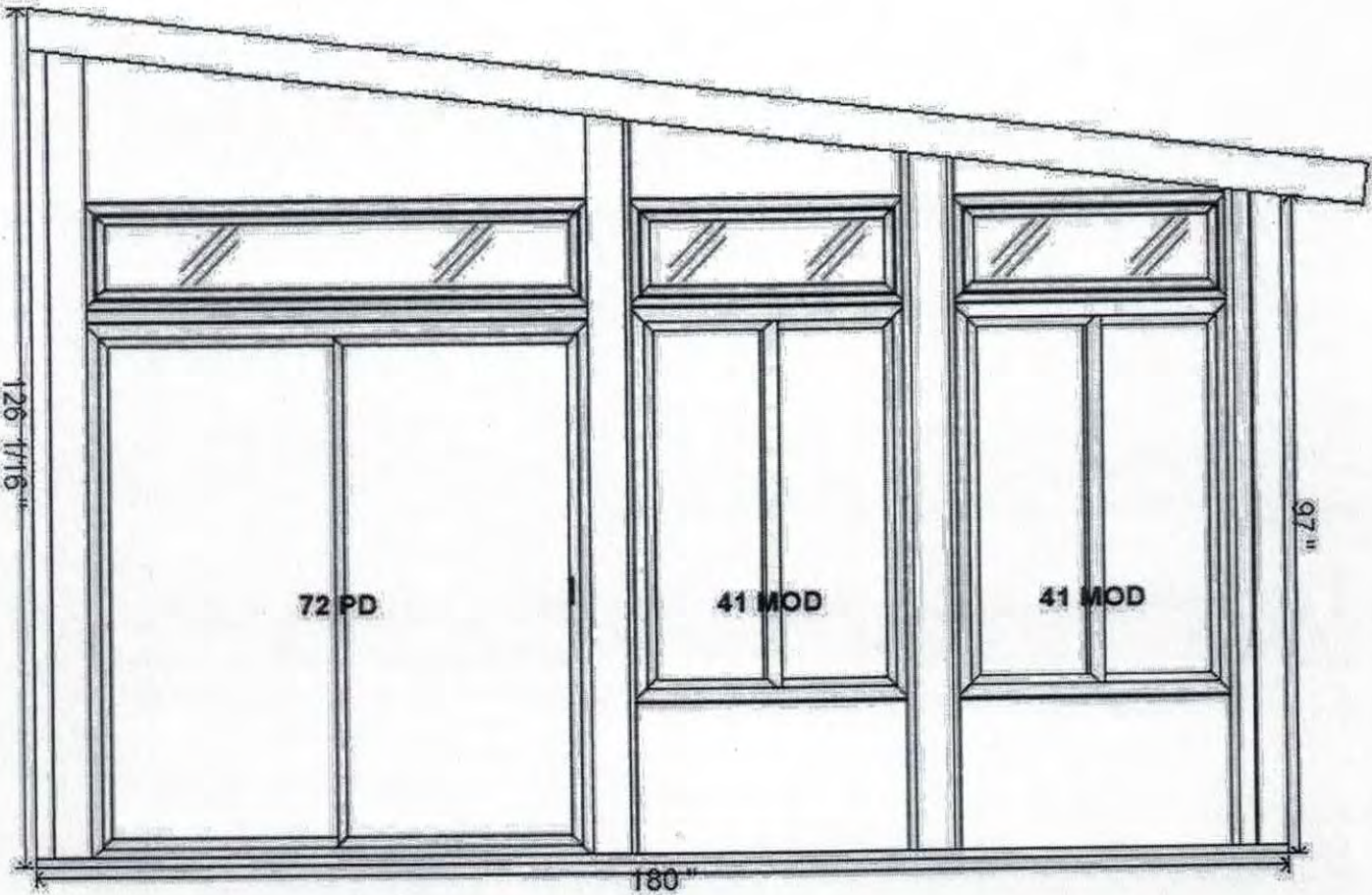


Description Lot 69, SOMERSET PLACE SUBDIVISION NO. 2 part of the Southwest 1/4 of Section 17, T. 2 N., R. 11 E., City of Troy, Oakland County, Michigan. Rec'd Liber 204 Pages 36, 37 and 38 Plats, O.C.R.

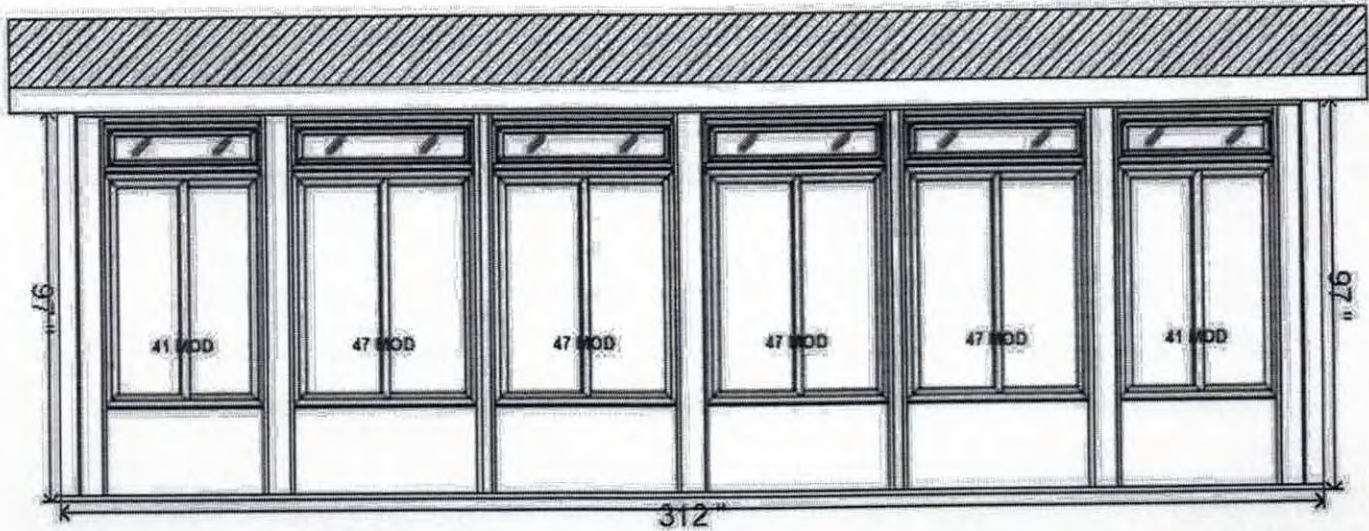




Left Wall

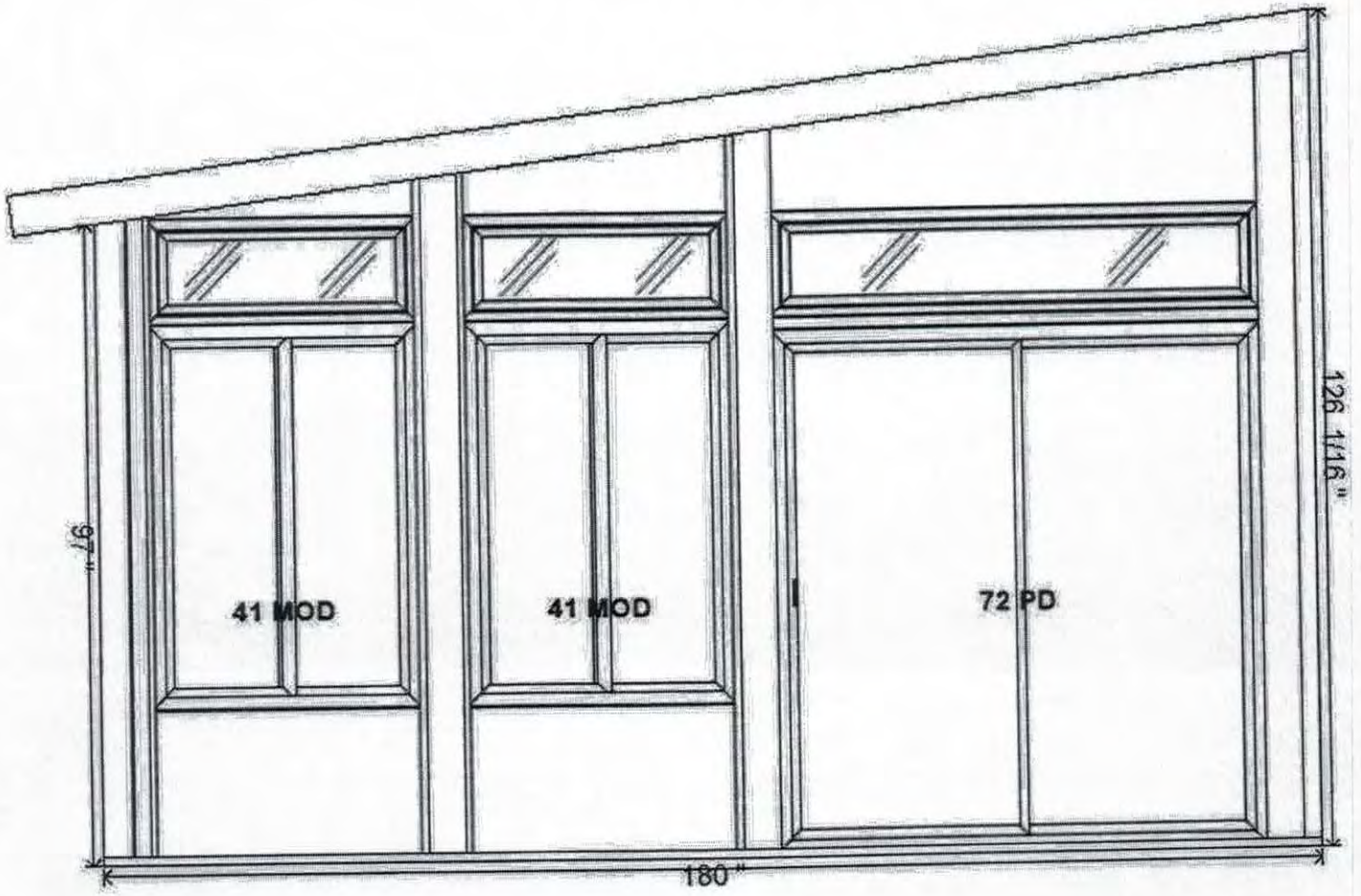


Front Wall





## Right Wall



To all members on the Zoning board of appeals city of Troy Mi.

On this particular parcel 4061 Drexel Troy Mi 48098

A proposal to build a sunroom has been submitted for review.

The requirement in this zoning district is according to initial review is 45' from the rear yard lot line. The property in question has an irregular shape with rear lot line running on an angle increasing in depth from south to north in relationship to proposed sunroom.

Other properties adjoining this residence do not have this condition.

So application is being made requesting relief of this condition so property owners Matt and Anna Matuza can utilize there property as adjoining and nearby residences could.

Three doors down to the south there is a sunroom that has been added that essentially would be equal to this proposed new sunroom.

If granted this sunroom does not impede on any adjoining properties views, nor free open airspace. It would provide an enhancement and added value not only to the residence in question, but to the neighborhood in general.

D. 6130 SMITHFIELD, STEVE KOSSON FOR MARTINO ENTERPRISES - A variance request to allow a proposed home addition to be constructed 37 feet 5 inches from the rear property line, where the Zoning Ordinance requires the addition to be 40 feet from the rear property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1D Zoning District





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6117

6110

6109

6108

6101

TUSCANY

SILVERSTONE

MAYAPPLE

2030

2042

2054

2066

2078

2090

2102

2118

2134

6090

2041

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6039

6038

6015

6016

6025

6024

2905

E SQUARE LAKE

E SQUARE LAKE









6144

614

6130

613

3

9





CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 6130 SMITHFIELD
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 2001355010
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: 4.06
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NONE
5. APPLICANT:  
NAME MARTINO ENTERPRISES (STEVE KOLSON)  
COMPANY MARTINO HOME IMPROVEMENTS  
ADDRESS \_\_\_\_\_  
CITY MADISON HTS STATE MI ZIP 48017  
PHONE 248-629-9260  
E-MAIL DEBBIE@MARTINOCOMPANIES.COM  
AFFILIATION TO THE PROPERTY OWNER: CONTRACTOR





## Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME DEBANGSHU + MOUSUMI MAJUMDAR  
COMPANY MARTINO HOME IMPROVEMENTS  
ADDRESS 6130 SMITHFIELD  
CITY TROY STATE MI ZIP 48085  
TELEPHONE 248-839-3469 MR CELL  
E-MAIL debangshu@aol.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Steve Rosson (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE Steve Rosson DATE 8-6-23  
PRINT NAME: Steve Rosson

PROPERTY OWNER SIGNATURE Debangshu Majumdar DATE 8/2/2023  
PRINT NAME: DEBANGSHU MAJUMDAR / MOUSUMI MAJUMDAR

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



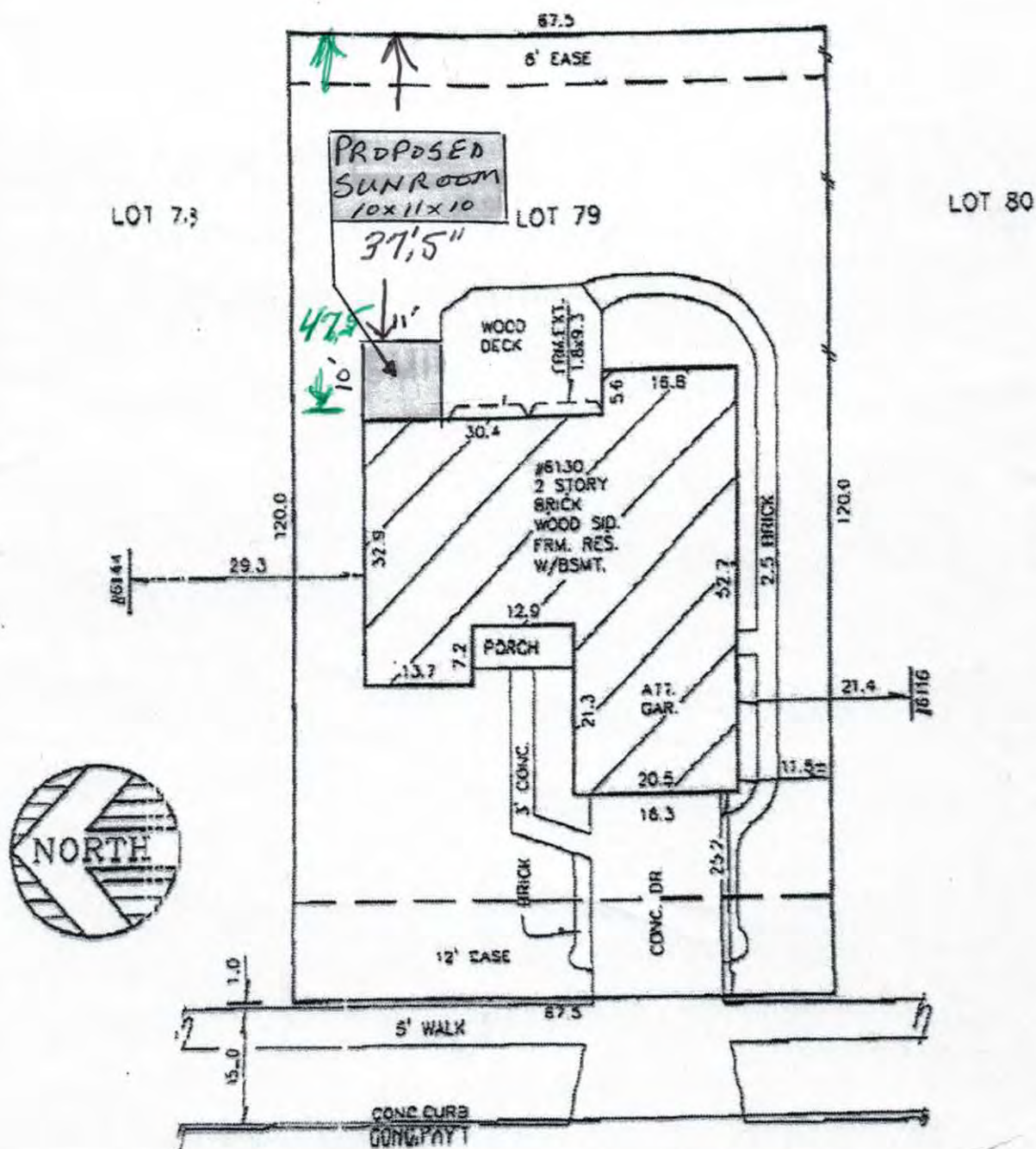
Certified to:

**GMAC Mortgage**

Applicant: DEE-ANGSHU MAJUMDAR AND MOUSUMI MAJUMDAR

Property Description:

Lot 79: SQUARE LAKE PLACE SUBDIVISION NO. 2, part of the S.W. 1/4 of Section 1, T2 N., R.11 E. City of Troy, Oakland County, Michigan, as recorded in Liber 194 of Plots, Pages and 2 of Oakland County Records.





The homeowner is requesting a hearing before the Zoning board of appeals to grant relief of the required 40' rear yard set back in this district at 6130 Smithfield Troy Mi. The proposed sunroom would be 10' projecting toward the rear of the property line. Upon review this would place the proposed room 37.5 ft from the rear lot line where 40 ft is required. The home owners contention is that the sunroom would certainly not lend it self to adjoining properties to restrict any views, nor impede or create any unsightly condition. Rather it would create an enhancement not only to this property but add value to this and surrounding properties as well.

The home owner is contending that the addition will allow them to enjoy their property fully. The neighbor to the south has a pool in which when they entertain often, the noise from larger gatherings is very distracting and this will provide noise abatement when Mr. and Mrs.

Majumdar are sitting outside enjoying their tranquil time.

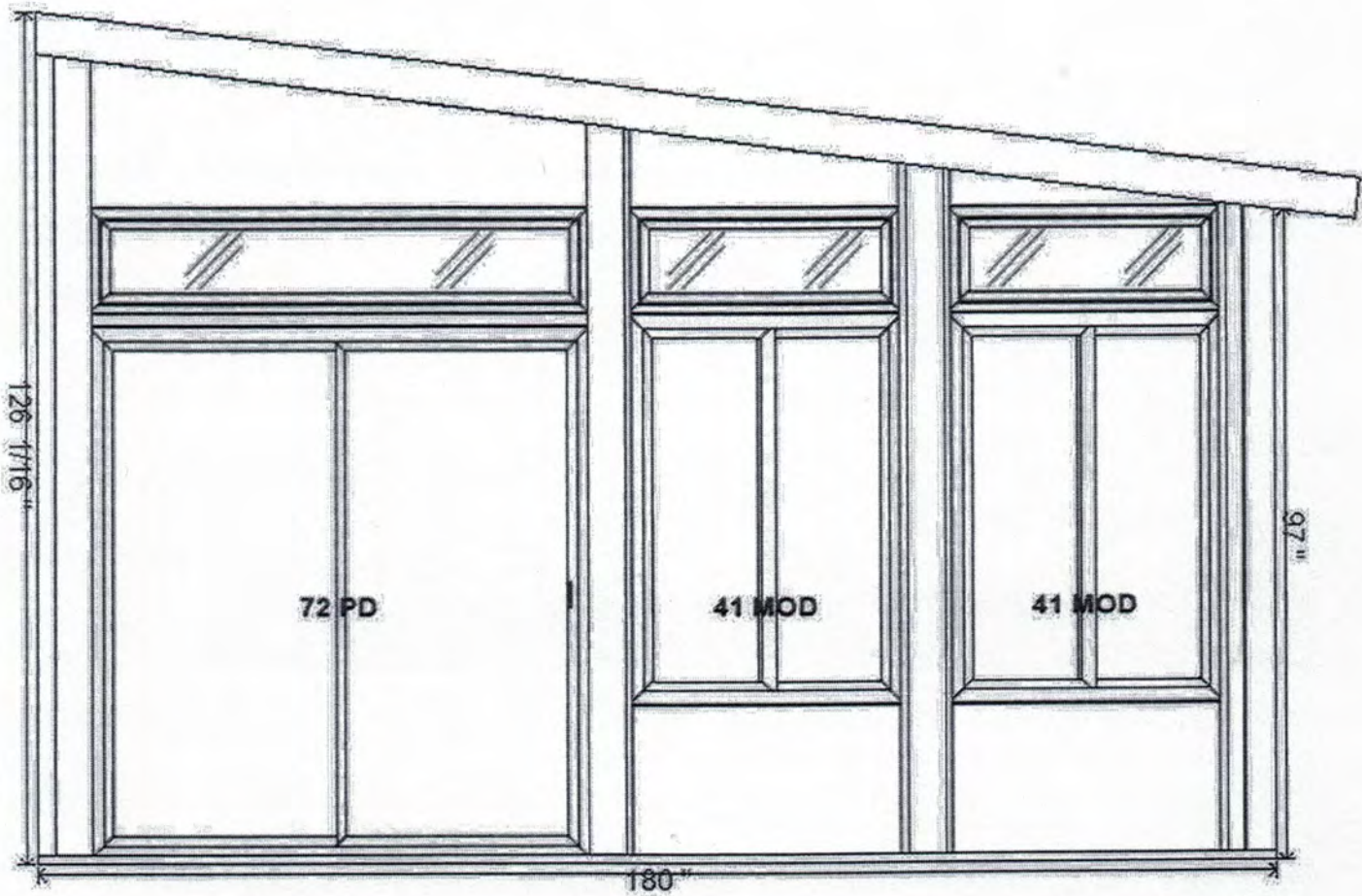
We request a public hearing be held on this matter at the first available time.

Please see attached application signed by the homeowners and the hired contractor.

Thank you.

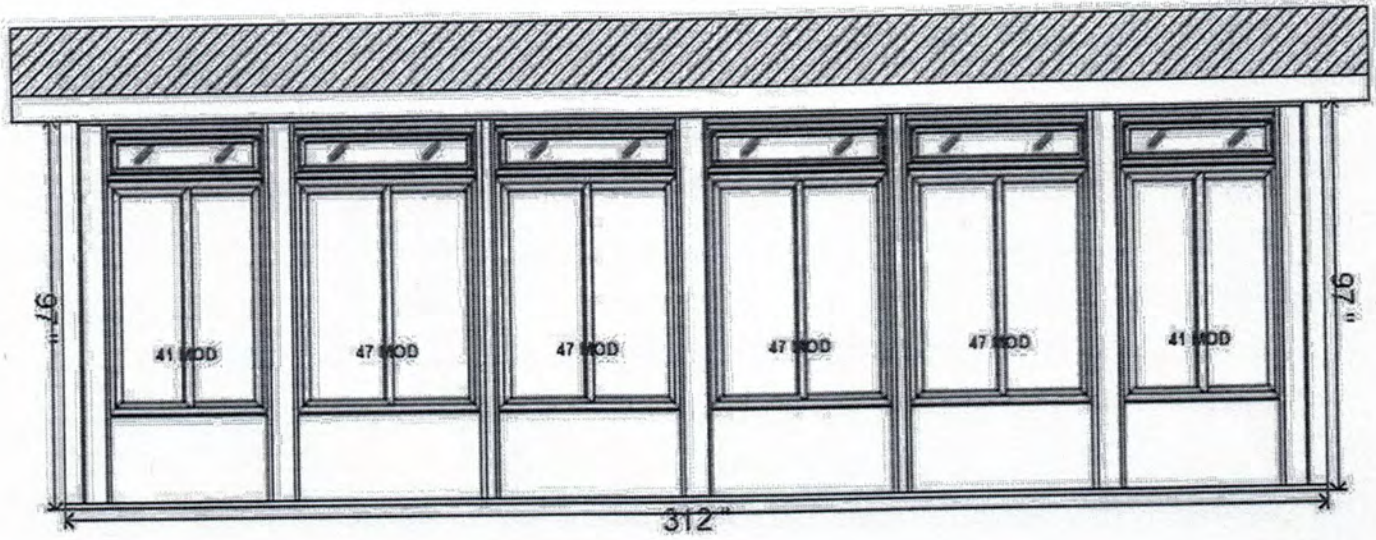


Left Wall

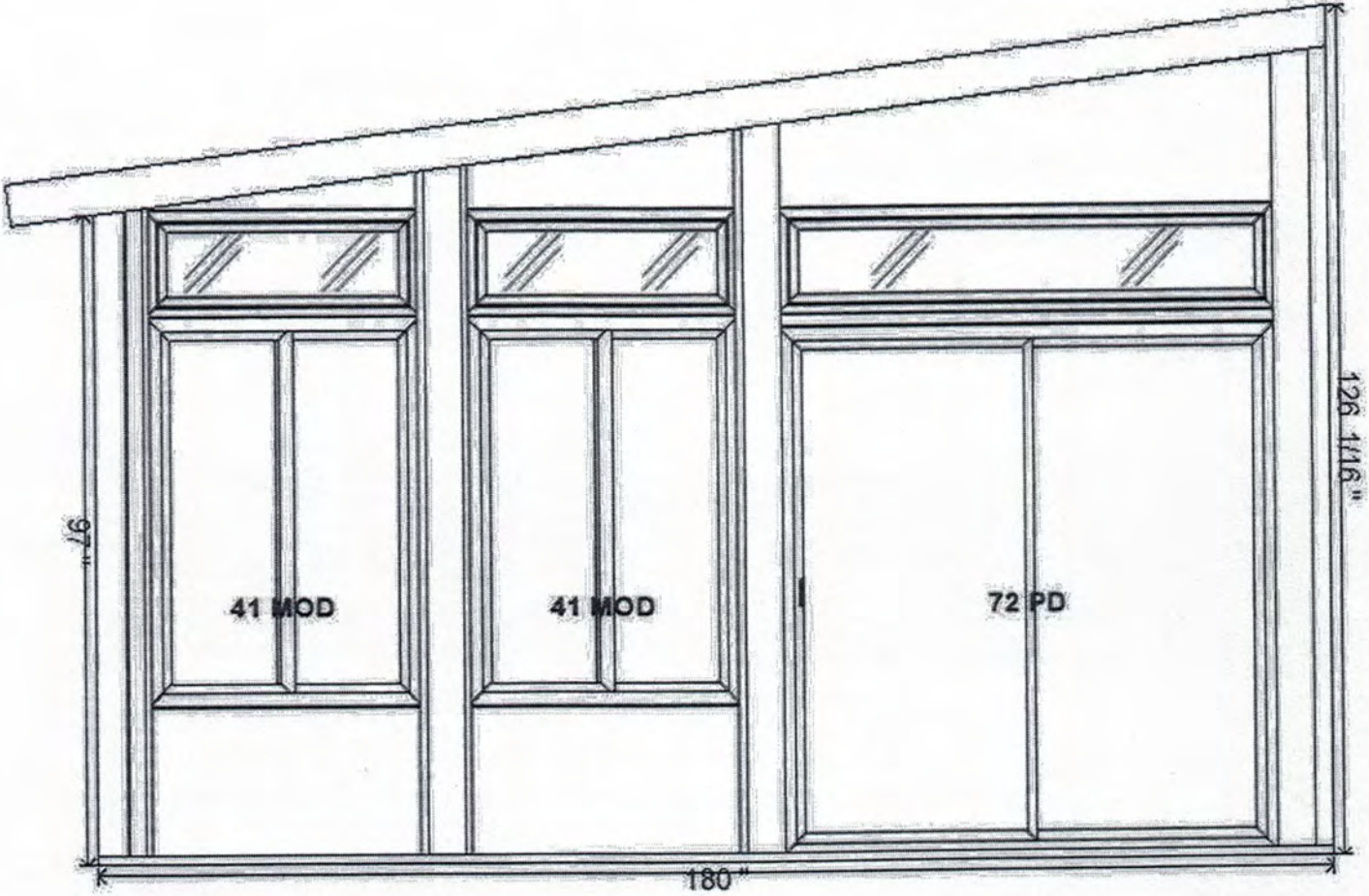




## Front Wall



Right Wall





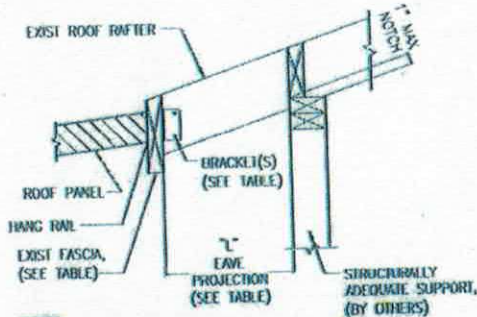
MATUZA









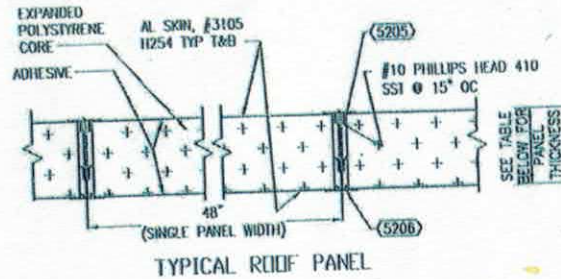


NOTES:  
1. THE NOTCHED PROJECTIONS (E.G. 2x6 #) GIVEN IN THE TABLE BELOW, ARE FOR BEAMS WITH A 1" NOTCH. FOR BEAMS WITH A 1/2" TO 1" NOTCH, L MAY BE INCREASED BY 4". FOR BEAMS WITH A 1" TO 1.5" NOTCH, DECREASE L BY 5". DO NOT USE A NOTCH GREATER THAN 1" FOR 30 AND 40 PSF PATIO LOADS.

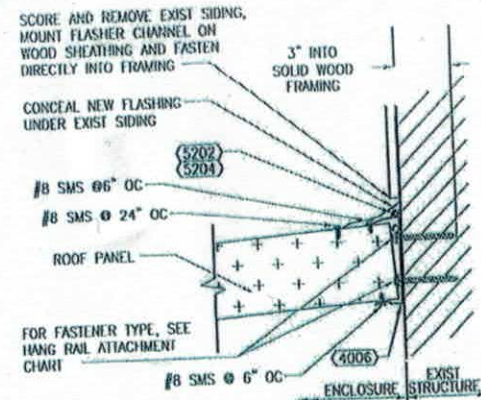
Max. Allowable Eave Projection "L" (Inches)

| Rafter Size (in) | Snow Load (psf) |      |      |      |      |      |
|------------------|-----------------|------|------|------|------|------|
|                  | 20              | 30   | 40   | 60   | 60   | 70   |
| 2x4              | 7.0             | 5.5  | 4.5  | 4.0  | 4.0  | 4.0  |
| 2x6N             | 11.5            | 9.0  | 8.0  | 7.0  | 7.0  | 7.0  |
| 2x6              | 17.0            | 14.0 | 12.0 | 10.5 | 10.5 | 10.5 |
| 2x8N             | 24.0            | 19.5 | 16.5 | 15.0 | 14.5 | 14.5 |
| 2x8              | 30.0            | 24.5 | 21.0 | 18.5 | 18.0 | 18.0 |

|                       |       |       |
|-----------------------|-------|-------|
| Snow Load (psf)       | <=20  | <=70  |
| Wind Spd (mph)        | <=170 | <=180 |
| SIMPSON Framing Tiles | A35   | H10   |
| Existing Fascia       | 2x6   | 2x8   |



DETAIL  
2" = 1' - 0"



HANG RAIL AT EXISTING BUILDING  
DETAIL  
2" = 1' - 0"

### HANG RAIL ATTACHMENT FOR STUDIO ROOF

| Live Load (psf) | STUD WALL                                    | EXIST. EAVE                                  | MASORY  | BLOCK OR BRICK                                     | CONCRETE   |
|-----------------|--|--|---|--|--|
| <= 30           | (2) 1/4" Lag Bolt w/ 3" min. embed @16" o.c. | (2) 1/4" Lag Bolt w/ 3" min. embed @16" o.c. | (2) 1/4" X 2" Lag Bolt w/ Lead Screw Anchor @12" o.c. | 1/4" HILTI HIT HY20 w/ 4" min. embed @16" o.c.     | 1/4" HILTI KWIK-BOLT II w/ 2" min. embed @16" o.c.     |
| <= 70           | (2) 5/8" Lag Bolt w/ 3" min. embed @16" o.c. | (2) 5/8" Lag Bolt w/ 3" min. embed @16" o.c. | (2) 1/4" X 2" Lag Bolt w/ Lead Screw Anchor @8" o.c.  | (2) 1/4" HILTI HIT HY20 w/ 4" min. embed @16" o.c. | (2) 1/4" HILTI KWIK-BOLT II w/ 2" min. embed @16" o.c. |

### Roof Panel Span Chart

| ROOF TYPE          | Thickness (inches) | Al Skin (inches) | EPS Density (lbs) | Deadload (psf) | WIND SPEED (MPH) 3 SECOND GUST |           |                 |           |           |          |           |
|--------------------|--------------------|------------------|-------------------|----------------|--------------------------------|-----------|-----------------|-----------|-----------|----------|-----------|
|                    |                    |                  |                   |                | =150                           | =180      | SNOW LOAD (PSF) |           |           |          |           |
|                    |                    |                  |                   |                | 20                             | 30        | 40              | 50        | 60        | 70       | 80        |
| 3" Climatemaster   | 3                  | 0.024            | 1.5               | 1.1            | 14' - 5"                       | 11' - 11" | 9' - 2"         | 7' - 5"   | 6' - 2"   | 5' - 4"  | 4' - 8"   |
| 3 3/4" Deluxe      | 3 3/4              | 0.024            | 1.5               | 1.2            | 15' - 4"                       | 13' - 1"  | 11' - 5"        | 9' - 10"  | 8' - 3"   | 7' - 1"  | 6' - 2"   |
| 3 3/4" Ultimate    | 3 3/4              | 0.032            | 2.0               | 1.5            | 18' - 0"                       | 15' - 4"  | 13' - 5"        | 12' - 0"  | 11' - 0"  | 9' - 5"  | 8' - 4"   |
| 3 3/4" Shingleable | 3 3/4              | 0.032            | 1.5               | 2.8            | 19' - 11"                      | 17' - 2"  | 15' - 4"        | 13' - 10" | 12' - 8"  | 11' - 8" | 10' - 10" |
| 6" Deluxe          | 6                  | 0.024            | 1.5               | 1.5            | 18' - 11"                      | 15' - 1"  | 13' - 1"        | 11' - 9"  | 10' - 9"  | 9' - 11" | 8' - 10"  |
| 6" Ultimate        | 6                  | 0.032            | 2.0               | 1.9            | 22' - 0"                       | 20' - 3"  | 15' - 10"       | 14' - 3"  | 13' - 0"  | 11' - 3" | 9' - 11"  |
| 6" Shingleable     | 6                  | 0.032            | 1.5               | 3.1            | 22' - 0"                       | 22' - 0"  | 20' - 0"        | 17' - 8"  | 15' - 10" | 14' - 4" | 13' - 1"  |

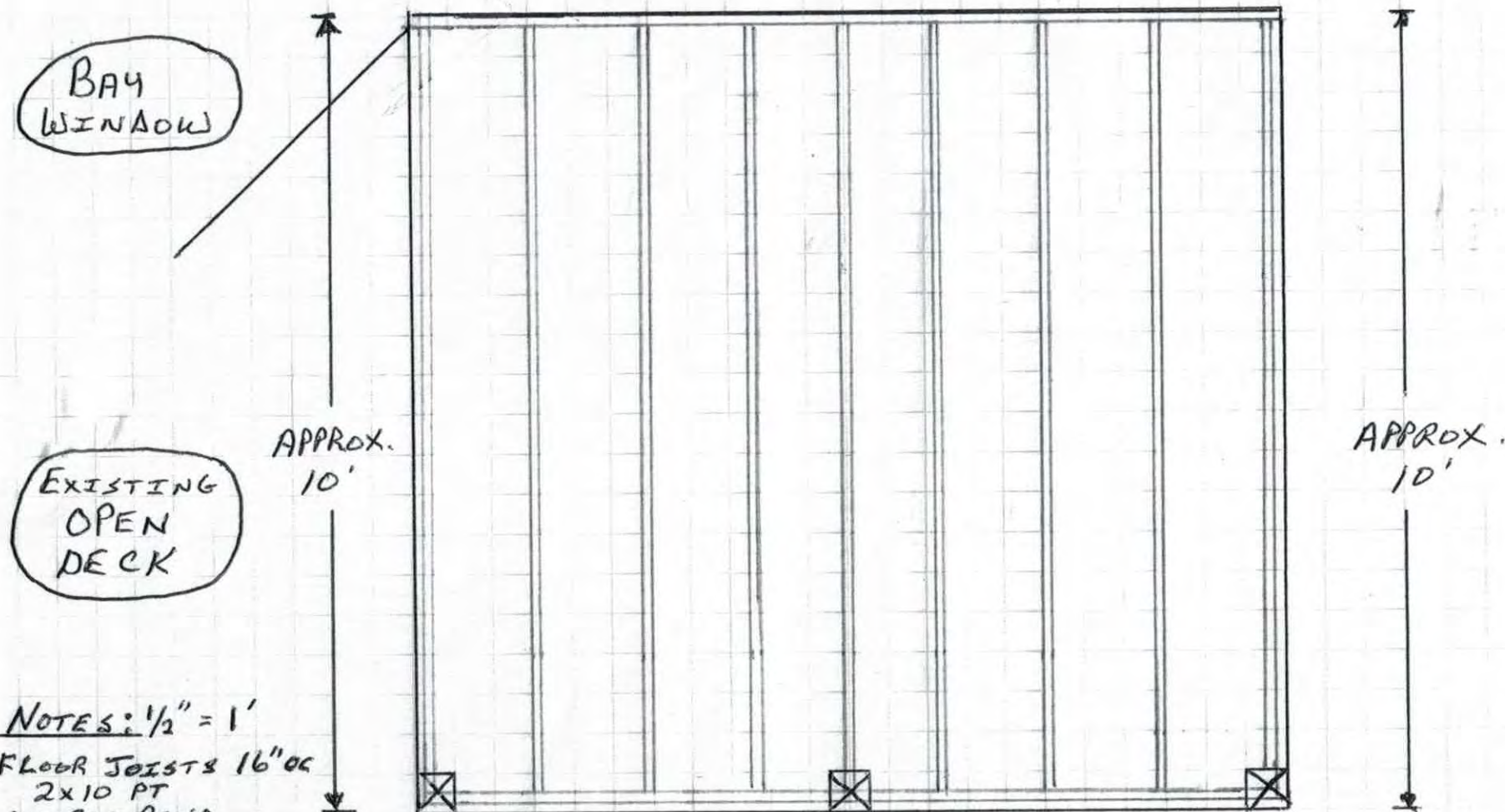




DEBANGSHU MAJUMDAR  
6130 SMITHFIELD  
TROY, MI 48065

## HOUSE WALL

MARTINO HOME IMPROVEMENT  
1458 E. LINCOLN AVE  
MADISON HGTs., MI 48071



NOTES:  $\frac{1}{2}'' = 1'$

FLOOR JOISTS 16" OC

2x10 PT

DOUBLE BAND

SINGLE BAND @ HOUSE  
(THRU BOLTED)

JOIST HANGERS

POST DETAIL 6x6 PT  
(ATTACHED DETAIL)

\* FLUSH BEAM

$\frac{3}{4}''$  OSB T+G SUB-FLOOR  
W/VAPOR BARRIER

DRAWN BY: GG

6/26/2023





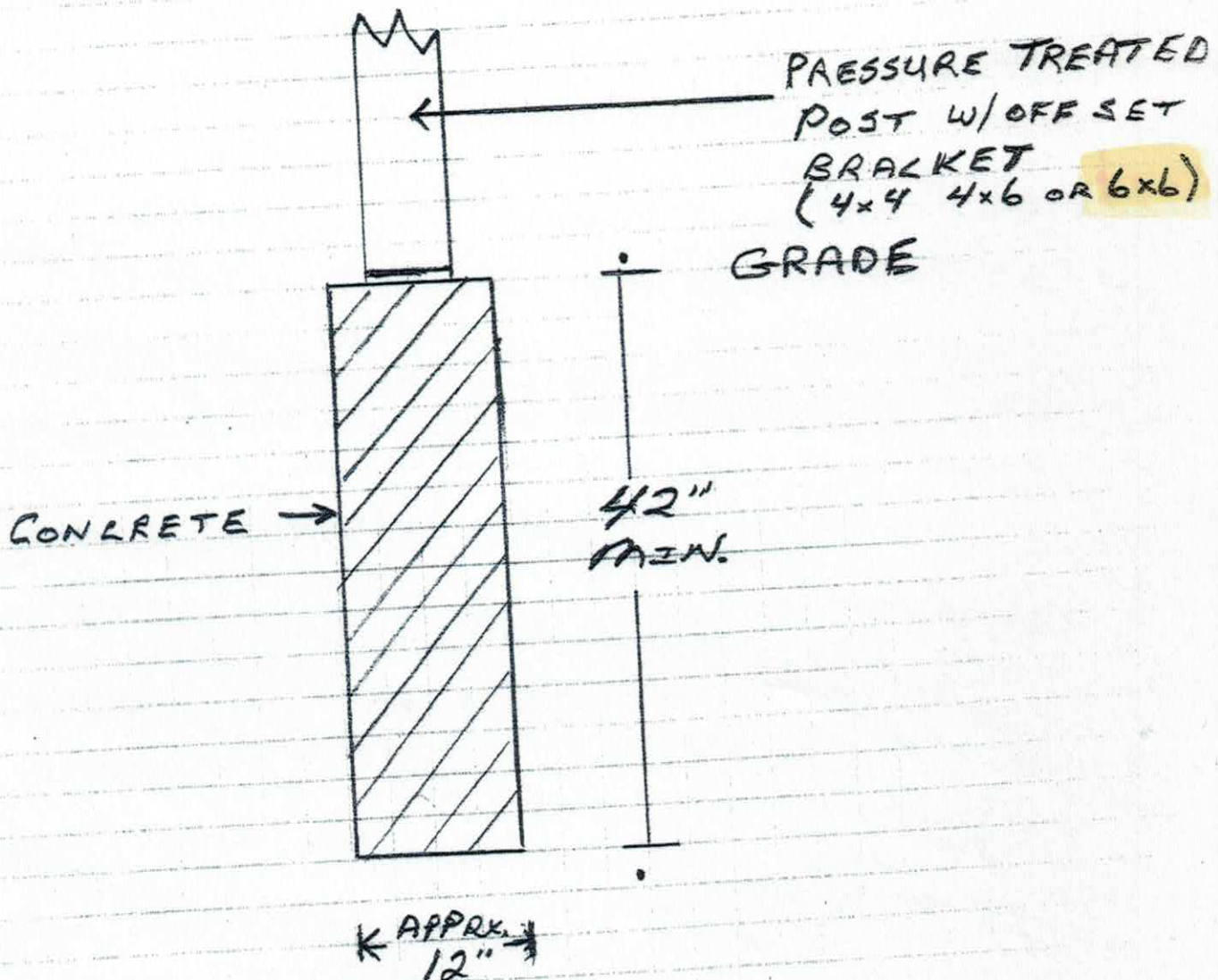
**MARTINO**  
HOME IMPROVEMENTS

Main Office: 248.629.9260  
Fax: 248.629.9215

1458 East Lincoln Avenue  
Madison Heights, MI 48071

License #  
2102193580

## PIER FOOTING DETAIL



NAME: DEBANGSHU MAJUMDAR

ADDRESS: 6130 SMITHFIELD TROY, MI 480

DATE: 6/26/2023