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PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Marianna Perakis, Chairman, Lakshmi Malalahalli, Vice Chairman
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,
Dave Lambert and John J. Tagle

January 23, 2024

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – January 9, 2024
4. PUBLIC COMMENT – For Items Not on the Agenda

PRELIMINARY SITE PLAN

5. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

OTHER ITEMS

6. PLANNING COMMISSION 2023 ANNUAL REPORT
7. PUBLIC COMMENT- For Items on the Agenda
8. PLANNING COMMISSION COMMENT
9. ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Lambert called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on January 9, 2024, in the Council Chamber of the Troy City Hall. Chair Lambert and Vice Chair Perakis presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- R. Brent Savidant, Community Development Director
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2024-01-001

Moved by: Faison
Support by: Fox

RESOLVED, To approve the Agenda as prepared.

Yes: All present (9)

MOTION CARRIED

3. APPROVAL OF MINUTES – December 12, 2023

Resolution # PC-2024-01-002

Moved by: Buechner
Support by: Fox

RESOLVED, To approve the minutes of December 12, 2023 Regular meeting as submitted.

Yes: Buechner, Faison, Fox, Hutson, Krent, Lambert, Malalahalli, Perakis
 Abstain: Tagle

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

PLANNED UNIT DEVELOPMENT

5. PLANNED UNIT DEVELOPMENT (File Number PUD 020 JPLN2023-0021) - CONCEPT DEVELOPMENT PLAN (CDP) AND PRELIMINARY DEVELOPMENT PLAN (PD) APPROVAL – The Village of Hastings PUD, East side of Livernois, North of Square Lake, PIN 88-20-03-301-088, -023, -024, -025 and 88-20-03-351-004, Section 3, Presently Zoned NN (Neighborhood Node “Q”) and R-1B (One Family Residential) Zoning Districts

Mr. Carlisle said he would highlight the changes to The Village of Hastings PUD application since last reviewed at the November 28, 2023 Planning Commission meeting.

Mr. Carlisle noted the following changes proposed by the applicant:

- Construct 32 new residential units and preserve 3 existing older homes on site, for a total of 35 units. The applicant removed 9 units from the development and is preserving an additional existing older home on site.
- Provide 3 internal T-turnarounds on the site to better facilitate traffic movement.
- Erect a privacy fence between the existing older homes and the adjacent new housing units.

Mr. Carlisle pointed out the City Traffic Consultant OHM concluded the traffic impact of this project on the adjacent road network is negligible and would be imperceptible to most road users.

In summary, Mr. Carlisle asked the Planning Commission to consider if the application (1) meets the PUD Standards for Approval (Section 11.03), (2) meets the Site Plan Review Design Standards (Section 8.06), (3) that the architectural styles, building materials and color scheme work together from an architectural and aesthetic standpoint, and (4) if fencing off the existing homes from adjacent new housing units allows for site integration.

Mr. Carlisle said if the Planning Commission recommends to the City Council approval of the PUD and Preliminary Development Plan, the site plan issues identified in his report dated December 22, 2023 should be addressed. He stated the Planning Commission is a recommending body and that the City Council would be making the final determination.

Mr. Carlisle also noted that the Planning Department received thirty-plus written correspondences that were either provided in the Planning Commission digital agenda packet or distributed in hard copy to the Board prior to the beginning of this evening's meeting.

Some of the comments during discussion among the administration related to:

- Proposed fencing between existing older homes and new housing units, as relates to purpose, integration, standard practice.
- Communication received from Jen Peters, Executive Director of Troy Historic Village, as relates to applicant's consideration of the older homes that exist on the site.

Mr. Abitheira presented a brief history of the purchase of parcels with the intent to construct residential homes. He said the Planning Department advised the PUD application would be the most viable development approach to keep the charm, beauty and historical feel of the neighborhood. Mr. Abitheira said reducing the number of units and preserving the third older home offers more walkability and green space. He addressed the proposed solar panel lighting, three T-turnarounds to provide a better traffic flow for both the residents and City emergency and service vehicles, and the Emergency Vehicle Access (EVA). Mr. Abitheira said he does not have control of existing power outages, existing sanitary sewer backup into residential basements, street flooding after a rainstorm and cut-through traffic by residents and emergency vehicles.

Mr. Abitheira addressed how the application relates to the Master Plan and the PUD Intent in Section 11.01 of the Zoning Ordinance.

Several Planning Commission members thanked Mr. Abitheira for addressing the concerns of the Board and residents.

There was discussion, some comments related to:

- Option to own/lease housing units.
- Walkability of site.
- Intent of fence; initially to obscure headlights. The applicant noted there are sufficient trees and vegetation to obscure headlights.
- Preservation / maintenance of older homes.
- Orientation of homes; primary entrance to face street or alternatives such as green space.
- T-turnarounds; compliant with International Fire Code.
- Cohesion of architectural design, color scheme and building materials. The applicant provided samples of building materials.
- Similarity of the Enclave development located on John R and Wattles, as relates to acreage, number of units, orientation of homes, guest parking, amenities.
- Types of mixed housing that might result in lower density.
- Future development expansion to the east.
- Consideration to renovate older homes to commercial business.
- Intent to keep the historical feel of Troy Corners.
- Communication/ information provided by the Troy Historical Society.

Mr. Abitheira said he would take into consideration reducing density and the orientation of housing units, and that he would remove the fence between the older homes and new housing units. Mr. Abitheira said his preference is to develop the site as presented in the PUD application.

Mr. Savidant acknowledged the applicant received several extensions to develop the 14-unit townhome development that received approval in 2018. He said the extensions were offered because of Covid implications and a personal medical condition of the applicant. Mr. Savidant indicated extensions for development were given to other developers because of Covid implications, not just Mr. Abitheira.

Mr. Tagle thanked the applicant for his efforts over the past few years and stated support for the proposed development. He said he disagrees with transitioning the older homes into commercial businesses and with the orientation of the homes to face a street. He shared that the site layout before the Board this evening is the best approach the applicant has presented.

Mr. Faison said he is fairly supportive of the application as relates to density, green space, housing mix, building height and walkability.

Ms. Malalahalli encouraged the applicant to consider reducing the density as an effort to lessen traffic congestion. She voiced concerns with the City Traffic Consultant's analysis of traffic based on the number of schools located in the area.

Mr. Fox said he supports the application. He said the applicant already reduced the density which resulted in more green space and a community gathering space that can be used by residents and their children.

Chair Lambert briefly addressed the public prior to opening the floor for public comment. He asked the public to present concerns that have not already been expressed at the Public Hearing in November and not to applaud. He informed the public their comments are limited to three minutes, and they would have another opportunity to speak at the City Council public hearing.

Chair Lambert opened the floor for public comment.

- David Cole, 211 Ottawa; addressed concerns of traffic congestion.
- Joseph Colby, 5125 Shady Creek; supports development as relates to density, addressed need for housing diversity.
- Sheila Lenz-Shomo, 6464 Fredmoor; addressed concerns with T-turnarounds, lack of green space, traffic congestion, displaced wildlife, not a fit for area.
- Marcia Bossenberger, 369 Ottawa; agrees orientation of homes should face street, addressed missing items from the site plan and road access to the 14 unit townhome development.

- Ann Coleman, 6091 Livernois; addressed the intent of the Master Plan and PUD intent, recent survey of residents as relates to types of housing, infrastructure and drainage.
- Dawn Collins, 317 Lesdale; addressed concerns with drainage, infrastructure, electrical grid.
- Christopher Sobota, 348 Tara; addressed concerns with noise from sports court, specifically pickleball use.
- Melissa Zaluski, 5749 Whitehaven; addressed concerns with density, traffic congestion, safety, traffic review analysis.
- Carol Koch, 6055 Niles; addressed concerns about traffic congestion, PUD not fit for the area.
- Lloyd Melton, 785 Trinway; former owner of “historical” older homes, addressed restoration of older homes, property as relates to meadow, woods and greenery.
- Mary Rettig, 6860 Westaway; addressed need for housing especially ranch homes, desire for bigger lots, questioned snow removal, internal traffic flow, parking, drainage and electrical grid.
- Shane Coleman, 6839 Westaway; addressed unintended consequences as relates to traffic congestion, impact on schools, displaced wildlife.
- Stephanie Heidt, 6644 Montclair; addressed concerns with density, cut-through traffic, future development to east, desire for open space, setting a precedent.
- Dan Lopez-Sota, 2200 Crooks; said project is positive step in right direction, addressed City’s population growth/decline, need for public transportation to lessen traffic congestion.
- Linda Swanson, 6083 Blackwell; addressed need for single family homes, concerns with drainage and lack of green space.
- Jeff Williams, 159 Telford; addressed concerns that the application does not relate to the Master Plan, PUD intent or PUD Standards.
- Deborah Louzecky, 6327 Donaldson; addressed the Master Plan, SEMCOG’s forecast as relates to seniors and children, concerns with drainage, flooding, parking, safety of EVA, historical preservation of older homes.
- John Malott, 72 Telford; addressed impact on surrounding residential, concerns with density, limited green space, safety of children playing.
- Rosemarie Thommes, 335 Ottawa; voiced opposition, addressed better signage for proposed developments, concerns with density, transition to surrounding residential.
- Leasa Williams, 159 Telford; opposes PUD rezoning, addressed concerns with transition to single family residential, asked if there would be a deceleration lane, questioned EVA access for emergency vehicles as relates to width and angle.
- Benjamin Blaszak, 761 Ottawa; provided 2015 FEMA Hazard Study handout to members, addressed concerns with progressively worse drainage in area, backfill covering his windows, traffic congestion, high taxes and need for affordable housing.

Chair Lambert closed the floor for public comment.

Stephen Dearing, Sr. Traffic Engineer with OHM Advisors, City Traffic Consultant, said the proposed development is considered small enough that the City of Troy did not ask for a formal traffic impact study. He gave an in-depth analysis of the methodology used to conclude the number of vehicles generated during peak hours would be negligible. Mr. Dearing said the density of the project as proposed reflects a nominal increase of traffic, acknowledging that existing traffic congestion resulting from local schools could possibly be addressed and minimized should the City and the School District work together.

Ms. Malalahalli said the traffic impact analysis does not reflect reality. She shared individual experiences with the existing traffic congestion.

Mr. Savidant said that should the PUD application be granted by the City Council, the application would go through the final engineering approval process to assure the plan meets stormwater engineering standards. He said theoretically the proposed development might improve existing flooding issues.

Mr. Savidant said the EVA access will be designed to meet compliance standards for emergency vehicles. He noted school children walking to/from school can cross at the intersection with the safety of a traffic control button and possibly a crosswalk could be provided in the future.

Mr. Savidant said the draft PUD Agreement would provide legal protection for the preservation, alteration, and maintenance of the older homes on site. He said the City does not have a provision in its Zoning Ordinance with respect to protection of wildlife.

Mr. Carlisle confirmed the proposed sports court is designated as a generalized sports court. He confirmed there is a right-hand turn deceleration lane that would be required to meet engineering standards if the application is approved. Mr. Carlisle said snow removal is not a site plan requirement. He said in similar developments the snow would typically be plowed to the end of the T-turnarounds and that the developer is responsible to remove the snow by truck if necessary.

Mr. Fox referenced public comments relating to the option of leasing and/or owning the units. He said both owners and renters are welcome in the City.

Resolution # PC-2024-01-

Moved by: Krent
 Seconded by: Fox

WHEREAS, The applicant GFA Development, Inc. seeks Conceptual Development Plan (CDP) and Preliminary Development Plan (PDP) approval for the Village of Hastings Planned Unit Development (PUD), located on the east side of Livernois, north of Square Lake, in Section 3, approximately 6.05 acres in area; and

WHEREAS, The Village of Troy PUD features 3 detached single-family homes, 8 ranch style single family homes, 18 two-story attached homes and 6 single family duplex homes, for a total of 35 residential units; and

WHEREAS, The PUD provides a walkable urban environment that is compact and designed to human scale, and

WHEREAS, The PUD provides a compatible mix of open space, landscaped areas and pedestrian amenities; and

WHEREAS, The PUD proposes appropriate land use transitions between the PUD and surrounding properties, and

WHEREAS, The PUD will reasonably mitigate impacts to the transportation system and enhance non-motorized facilities and amenities.

WHEREAS, The PUD provides a complementary variety of housing types; and

BE IT RESOLVED, That the Planning Commission recommends to the City Council that Concept Development Plan Approval and Preliminary Development Plan Approval for the proposed Village of Hastings, be granted, subject to the following design considerations:

1. Remove the fence between the existing “historic” homes and the adjacent new housing units.
2. Confirm trash pickup and provide trash vehicle circulation plan.
3. Provide a photometric plan.
4. That the PUD Agreement includes appropriate language to assure that the three older homes remain historical in nature in perpetuity.

Discussion on the motion on the floor.

Ms. Dufrane said the City raised the bar when this Board granted a PUD development at Long Lake and Crooks. She encouraged the Board to make it clear in its Resolution that the proposed development meets a sufficient number of PUD Standards for Approval set forth in Section 11.03 of the Zoning Ordinance. Ms. Dufrane said the Resolution should be specific to that regard for review and deliberation by the City Council.

There was discussion on:

- What constitutes a sufficient number?
- Must all 18 PUD Standards for Approval, or a preponderance of the 18 Standards, be met?
- Planning Commission to address each of the 18 PUD Standards for Approval.
- Consideration should be given to setting a precedent for future PUD applications.
- Concurrence PUD Standards for Approval should be addressed in the Resolution.

Mr. Fox read and addressed each Standard of the 18 PUD Standards for Approval. He said he believes the application meets all the Standards with the exceptions of 11, 13 and 15(d) because they are not applicable, noting 11 and 13 relate to obsolete buildings and 15(d) relates to commercial use. He did note that the Planning Commission might want to discuss further Standards 7, 8 and 14.

Mr. Savidant said deciding what is a sufficient number of Standards to be met is subjective based on the opinion of each Planning Commission member.

Ms. Malalahalli said she reserves her judgment on the application not meeting Standards 2, 6, 8 and 14. She said she would vote favorably for approval if the applicant would consider lowering the density.

Ms. Perakis said the application does not meet Standards 2, 3, 5, 6, 7, 8, 9, 10, 14, and 15(a) and that she would not vote for approval. She indicated disappointment because the developer is willing to work with the Board and the residents to make a better project. Ms. Perakis said she relates the density to the number of units proposed and not the traffic impact.

Mr. Buechner stated it's a tough decision and one should be careful what is wished for.

Mr. Faison said Standards 6 and 12 are questionable but the plan for consideration this evening is a much better plan than the original plan.

Mr. Fox said the developer was encouraged to pursue a PUD development because it allows the developer the flexibility to lessen any negative effect or concern of the adjacent residential properties.

Mr. Tagle said if the concern is density, then a case should be made to reduce the density by one unit, or by three units, or whatever the number of units desired. He said if the density is in relation to the traffic concerns, he reminded the Board that OHM determined a minimal traffic impact.

Mr. Hutson said the Resolution and the mix of Standards that have been or not have been met in discussion among the Board members will not be helpful to the City Council in its deliberation.

Chair Lambert stated his appreciation for the applicant's willingness to work with the Board and the neighbors. He said based on the comments of the City Assistant Attorney and the public comment, he would vote no on the motion.

Vote on the motion on the floor inclusive of PUD Standards for Approval

Resolution # PC-2024-01-003

Moved by: Krent
 Seconded by: Fox

WHEREAS, The applicant GFA Development, Inc. seeks Conceptual Development Plan (CDP) and Preliminary Development Plan (PDP) approval for the Village of Hastings Planned Unit Development (PUD), located on the east side of Livernois, north of Square Lake, in Section 3, approximately 6.05 acres in area; and

WHEREAS, The Village of Troy PUD features 3 detached single-family homes, 8 ranch style single family homes, 18 two-story attached homes and 6 single family duplex homes, for a total of 35 residential units; and

WHEREAS, The PUD provides a walkable urban environment that is compact and designed to human scale, and

WHEREAS, The PUD provides a compatible mix of open space, landscaped areas and pedestrian amenities; and

WHEREAS, The PUD proposes appropriate land use transitions between the PUD and surrounding properties, and

WHEREAS, The PUD will reasonably mitigate impacts to the transportation system and enhance non-motorized facilities and amenities; and

WHEREAS, The PUD provides a complementary variety of housing types; and

WHEREAS, The PUD meets the PUD Standards for Approval except Standards 11, 13 and 15(d), which are not applicable.

BE IT RESOLVED, That the Planning Commission recommends to the City Council that Concept Development Plan Approval and Preliminary Development Plan Approval for the proposed Village of Hastings, be granted, subject to the following design considerations:

1. Remove the fence between the existing “historic” homes and the adjacent new housing units.
2. Confirm trash pickup and provide trash vehicle circulation plan.
3. Provide a photometric plan.
4. That the PUD Agreement includes appropriate language to assure that the three older homes remain historical in nature in perpetuity.

Yes: Faison, Fox, Krent, Tagle

No: Buechner, Hutson, Lambert, Malalahalli, Perakis

MOTION FAILED

OTHER ITEMS

6. **ELECTION OF OFFICERS**

Chair Lambert opened the floor for nominations for Chair.

Chair Lambert nominated Marianna Perakis. Mr. Hutson supported the nomination.

Acknowledging there were no further nominations, Chair Lambert closed the floor to nominations.

Roll Call vote on the nomination for **Marianna Perakis as Chair.**

Yes: All present (9)

Chair Lambert opened the floor for nominations for Vice Chair.

Mr. Tagle nominated Lakshmi Malalahalli. Mr. Krent supported the nomination.

Acknowledging there were no further nominations, Chair Lambert closed the floor to nominations.

Roll Call vote on the nomination for **Lakshmi Malalahalli as Vice Chair.**

Yes: All present (9)

Chair Lambert opened the floor for nominations for Zoning Board of Appeals Representative.

Mr. Buechner nominated Tyler Fox. Mr. Krent supported the nomination.

Acknowledging there were no further nominations, Chair Lambert closed the floor to nominations.

Roll Call vote on the recommendation of appointment for **Tyler Fox as ZBA Representative.**

Yes: All present (9)

7. PUBLIC COMMENT – For Items on the Agenda

The following comments relate to Agenda item #5, The Village of Hastings PUD.

- Sheila Lenz-Shomo, 6464 Fredmoor; addressed the process to granting extensions on a project.
- Jeff Williams, 159 Telford; said he wants to continue to work with Gary Abitheira on the project, that the project is near to what the residents are looking for.
- Marcia Bossenberger, 369 Ottawa; addressed the road access of 14-unit townhome development.
- Dan Lopez-Sota, 2200 Crooks; said he is impressed with the developer's work and his consideration of the community.

- Dave Pampreen, 6408 Canmoor; addressed the proposed development as relates to the Master Plan and transition to single family residential. He thanked the Board for its recommendation of denial to the City Council.
- Leasa Williams, 159 Telford; encouraged to develop the parcels as single family residential homes.
- Deborah Louzecky, 6327 Donaldson; said she does not want to see 3-story townhomes developed; addressed concerns with traffic congestion, infrastructure, safety of school children.

8. PLANNING COMMISSION COMMENT

There were general Planning Commission comments, some relating to:

- Public comments associated with other communities.
- Appeal of choosing to live in Troy.
- Opportunity for residents to voice their opinions at the local governmental level.

The Board members thanked Chair Lambert for his exceptional skills serving as Chair and welcomed the incoming Board officers.

Mr. Carlisle introduced Shana Kot, the newest community planner to join Carlisle Wortman Associates.

9. ADJOURN

The Regular meeting of the Planning Commission adjourned at 10:31 p.m.

Respectfully submitted,

David Lambert, Chair

Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2024/2024 01 09 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2024/2024%2001%2009%20Draft.docx)

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, East side of John R, north of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

Resolution # PC-2024-01-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed John R Commons Townhome Development, located on the East side of John R, North of Big Beaver, Section 23, Zoned MF (Multi-Family Residential) District, be granted, subject to applicant the following:

1. Add additional screening options including screen wall in addition to landscaping.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

MOTION CARRIED/FAILED

DATE: January 18, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

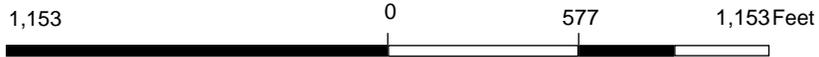
The petitioner Troy Sports Center, LLC. submitted the above referenced Preliminary Site Plan application for a 118-unit townhome development. The property is currently zoned MF (Multi-Family) Zoning District. Two-story attached residential units are permitted by right in the MF district. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

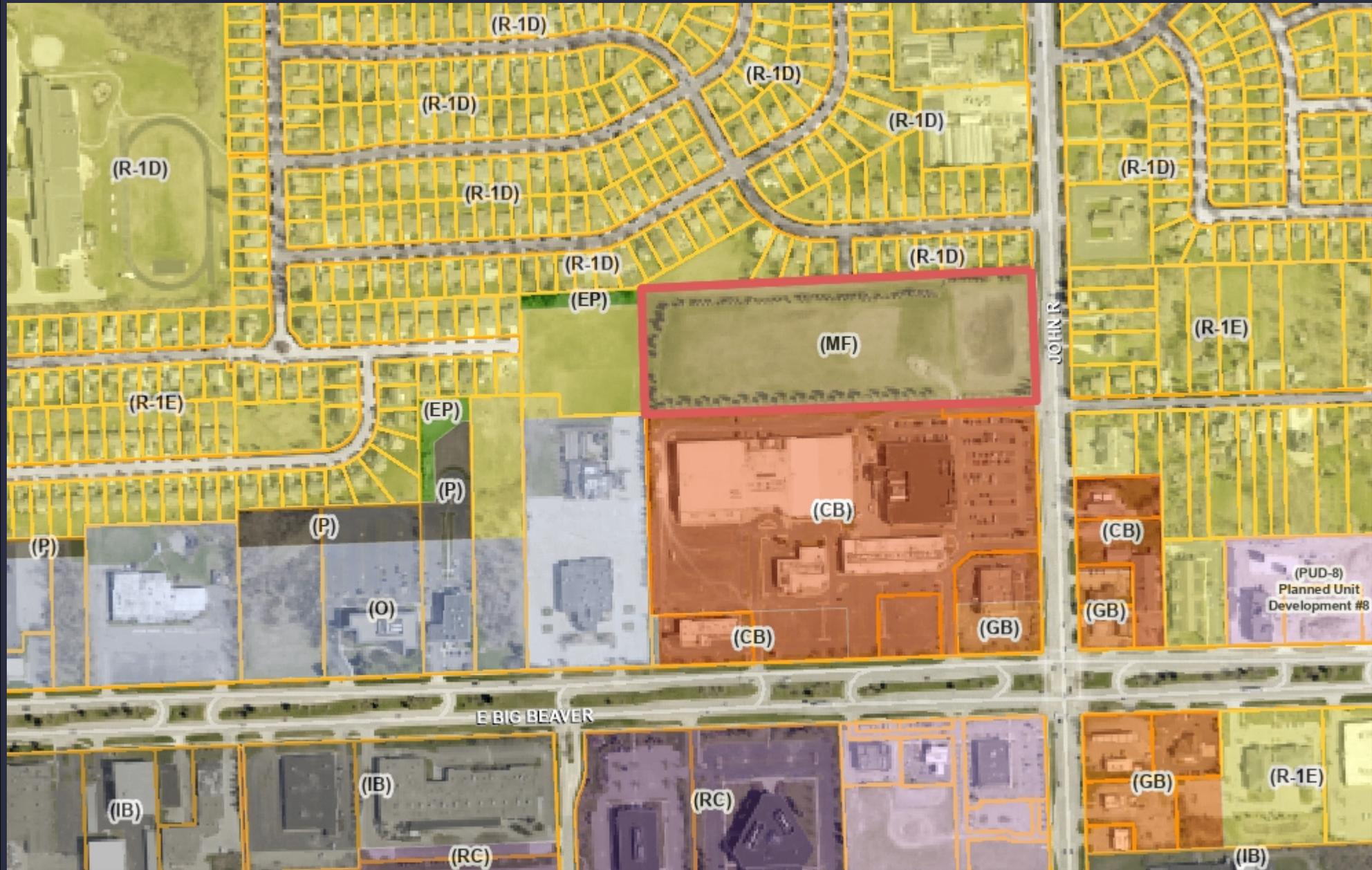
Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Anticipated Traffic Impacts, memo prepared by OHM Advisors, dates September 14, 2023.
4. Preliminary site plan

G:\SITE PLANS\SP_JPLN2023-0028_JOHN R COMMONS TOWNHOME DEVELOPMENT\PC Memo 2024 01 23.docx



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: September 18, 2023
December 14, 2023

Preliminary Site Plan For City of Troy, Michigan



Applicant: Troy Sports Center, LLC & JSD Real Estate, LLC

Project Name: John R Townhome Development

Plan Date: November 8, 2023

Location: West side of John R Road, North of Big Beaver

Zoning: MF, Multiple Family Residential Preliminary

Action Requested: Site Plan Approval

PROJECT AND SITE DESCRIPTION

An application has been submitted for a proposed multiple family building on the West side of John R Road just North of Big Beaver. The subject site is 11.86 acres. The site is currently vacant and used in part as stormwater detention.

The applicant is requesting approval of one hundred eighteen (118) units. The one hundred eighteen (118) units are distributed in twenty (20) buildings. The proposed residential use is permitted in the MF, Multiple Family district. The development is accessed via one proposed egress/ingress along Nancy Bostwick Drive as well as a secondary egress/ingress drive located at the western end of the development connecting to the Troy Sports Complex retail center. The site is served with internal private roadways.

The site is currently one parcel. There are no existing structures on the site.

Location of subject site:

West side of John R Road, north of Big Beaver

Road.

Location and Aerial Image of Subject Site



Size of subject site:

The property is 11.68 acres in area.

Proposed use of subject site:

The proposed use is for one hundred eighteen (118) units.

Current use of subject site:

The property currently is vacant.

Current Zoning:

The property is currently zoned MF, Multiple Family Residential District.

Surrounding Property Details:

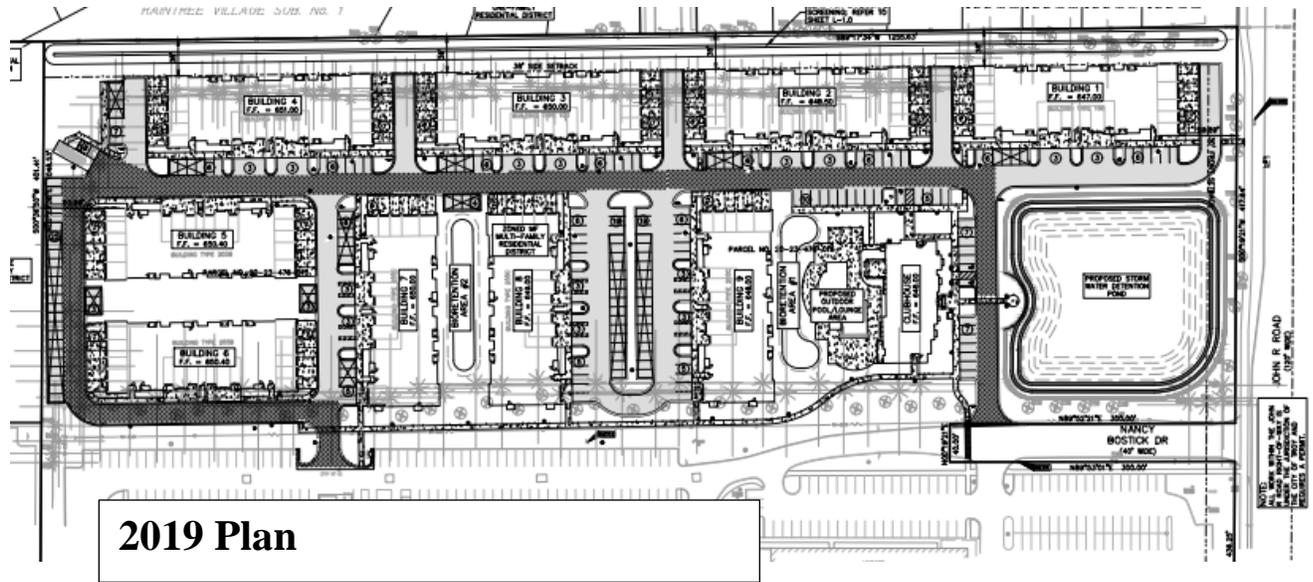
<u>Direction</u>	<u>Zoning</u>	<u>Use</u>
North	R1-D, One Family Residential District	Single Family Housing
South	CB, Community Business	Retail and Commercial Recreation
East	R1-E, One Family Residential District	Single Family Housing
West	R1-E, One Family Residential District	BWW Soccer Fields (Recreation)

PREVIOUS PLANNING COMMISSION REVIEW

The application was first reviewed by the Planning Commission on Mach 12, 2019, and April 23, 2019. The Planning Commission held discussion on:

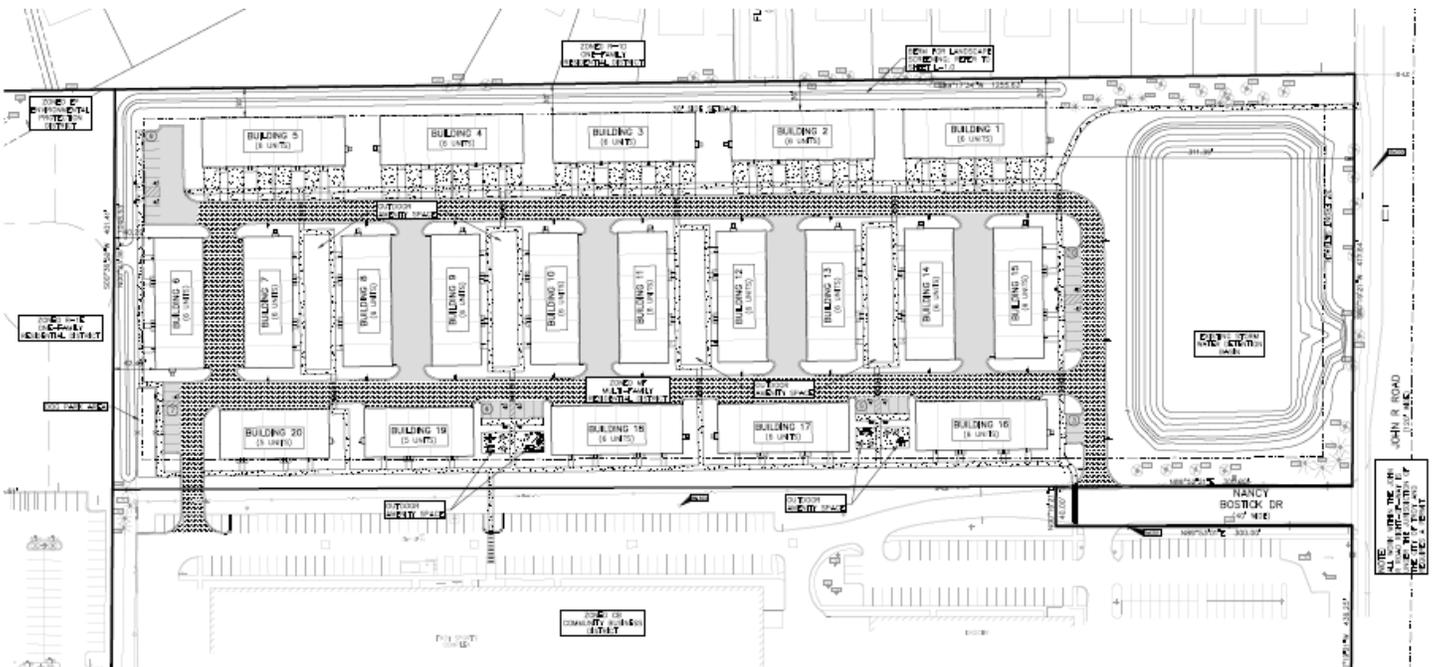
- City Traffic Consultant review of site access and circulation; depth and focus of traffic study
- Lack of green space
- Density of urban residential zoning in relation to surrounding areas
- Architectural design, scaled-down transitional features to single family residential
- Comparison of multiple family and urban residential zoning as relates to density, building height, number of stories
- Safety concerns as relates to existing parking, sidewalks, rear access to hockey facility
- Creating a designated lane from existing retail parking to apartment development
- Garages and covered carports
- Water feature and pond
- Snow removal

At the April 23, 2019 meeting, the Planning Commission on a vote of 7-2 moved to recommend denial of the rezoning to the City Council. On the recommendation of the Planning Commission, the City Council denied the rezoning.



2019 Plan

CHANGES SINCE LAST REVIEW



The site plan has significantly changed since the last Planning Commission review:

- Reduced the number of units from 247 to 118 units. By reducing the number of units, the applicant is not seeking a rezoning.
- Aligned the south side of the site with five (5) apartment buildings.
- Reshaped detention pond.
- Reduced the size/massing of buildings abutting the northern property line.

- Eliminated recreational area and clubhouse.
- Reduced height of buildings to 25-feet (see height section for more details).
- Added outdoor amenity spaces.

NATURAL RESOURCES

Topography – The site is relatively flat with minor elevation changes.

Woodlands – The applicant has submitted a tree survey. Trees on site include Bradford Pear, White Spruce, Blue Spruce, Ginkgo, Sugar Maple, Norway Spruce, Silver Maple, Scotch Pine, White Pine, Norway Maple, Weeping Willow, Austrian Pine, Red Pine, and Cottonwood. The Existing Tree List on sheet T-1.2 shows 115 woodland trees and 1 landmark trees will be removed.

Replacement Details		
Protected Tree	Inches Removed	Replacement Required
Landmark	18 inches	18 inches
Woodland	1080 inches	540 inches
Preservation/Mitigation	Inches Preserved	Credit
Landmark	0 inches	0 inches
Woodland	234 inches	468 inches
Total	90 inches required for replacement.	

Wetlands/Floodplain: The site is not encumbered with wetlands or located in a floodplain.

Items to be Addressed: None

SITE ARRANGEMENT

The one hundred eighteen (118) units are distributed in twenty (20) buildings. The development is accessed off Nancy Bostwick Drive which is off John R Road. The site is also served by an entrance/exit via the abutting commercial center to the south. An internal ring-private drive circulates traffic within the site.

Two buildings concepts, “A” and “B” are shown on the architectural sheets. Concept A provides for private garages located in the rear of the unit with access off north/south alley drives. Concept A is proposed for buildings six (6) through twenty (20). Buildings six (6) through fifteen (15) are located along the center of the development running north to south and face the adjacent building. Buildings sixteen (16) through twenty (20) face the southern lot line with garages oriented along the northern end of the units. Concept B provides for private garages located in the front of the unit with access from the primary ring road servicing the site. Concept B is proposed for buildings one (1) through five (5) which are located along the north lot line and face the primary private ring road to the south.

Buildings sixteen (16) through twenty (20) front on the backside of the Kroger parking lot and the backside/loading area/service area of the shopping center. The applicant is proposing to screen this area with a row of larger than required spruce evergreens. We note that in the future residents will likely have

*John R Townhome Development
December 14, 2023*

concerns about noise, odor, and lighting. The applicant should consider an additional row of screening or screen wall.

As requested the applicant has added outdoor amenities areas. They are located on the southside of the development.

Items to be Addressed: *Add an additional row of screening or screen wall.*

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Table 4.08.C establishes the requirements for the MF, Multiple Family District. The site abuts single family housing to the north which requires stricter height and density regulations. The requirements and the proposed dimensions are as follows:

	<u>Required / Allowed:</u>	<u>Provided:</u>	<u>Compliance:</u>
Front	30 feet	311 feet	Complies
Rear	30 feet	40 feet	Complies
Side (northern property line)	30 feet	30 feet	Complies
Setbacks Adjacent to Residential	Where a property is abutting a one-family or one-family attached district, all setbacks abutting said district shall be equal to the height of the building.	2 stories, (24'-2")	Complies
Density	10 units an acre	9.95 units an acre	Complies
Maximum Height	2 stories / 25ft	2 stories, 24'-1"	Complies
Maximum Lot Area Covered by Buildings	35%	25.83 %	Complies
Minimum Floor Area per Unit	1,000 sq/ft for three bedroom	Over 1,650-1,750 sq/ft per unit	Complies
Distance between Buildings	30 feet	30 feet – 78 feet	Complies
Recreation Space. (450) square feet per dwelling unit. Such recreational facilities may include, but not be limited to, swimming pools, tennis courts, playgrounds, picnic areas, playfields, and jogging trails.	450 sq/ft x 118 = 53,100 sq/ft.	59,045 sq/ft.	Complies

Items to be addressed: *None*

SITE ACCESS AND CIRCULATION

Vehicular Access:

Primary site access is directly from Nancy Bostwick Drive with secondary access from the commercial center to the south. Vehicular circulation is provided via an internal drive.

A traffic study was not required as part of Engineering review.

Pedestrian Circulation:

The applicant is providing a complete pedestrian circulation system within development with access to John R Road, Nancy Bostwick Drive and the commercial center. OHM has reviewed the pedestrian circulation plan and the applicant has addressed their initial comments.

Items to be Addressed: None

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
MF Multiple Family: 2 spaces per unit	118 Units = 236 spaces	236 spaces within garages + 41 at-grade guest spaces
Barrier Free	8	8
Bicycle Parking	2	0
Loading	0	0
Total	236 automobile	277 spaces

Items to be Addressed: None

LANDSCAPING

Landscaping is regulated by Section 13.02:

	Required:	Provided:	Compliance:
<u>John R Road and Nancy Bostwick Drive Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	John R Road 416 feet = 14 trees	14 trees	Complies
	NBD 300 feet = 10 trees	10 trees	Complies
<u>Site landscaping:</u>	20%	33%	Complies

A minimum of twenty (20%) of the site area shall be comprised of landscape material. Up to twenty-five percent (25%) of the required landscape area may be brick, stone, pavers, or other public plaza elements, but shall not include any parking area or required sidewalks.			
<u>Screening between uses:</u> Table 13.02A and 13.02B set forth screening requirements relating to adjacent land uses. Applicant selected one (1) large evergreen tree per ten (10) lineal feet.	North: 126 trees West: 41 trees South: 96 trees	North: 126 trees West: 41 trees South: 96 trees	Complies
Parking Lot Trees: 1 per 8 spaces	337 spaces = 43 trees	43 trees	Complies

The applicant is proposing planted landscaping for all screening requirements but has indicated existing private fences along the northern property line.

Grading:

The applicant is proposing a two-to-three-foot berm along the northern and western property line. In addition, the applicant is proposing evergreen planting on top of berm.

Transformer / Trash Enclosure:

Trash will be collected using weekly pickup service.

Equipment:

Mechanical equipment, including HVAC, are not shown on the plans. If placed at grade, applicant should indicate screening.

Items to be Addressed: None

LIGHTING

The applicant has provided limited lighting details on sheet SL-1.0. The information provided shows the proposed light fixture to be attached to the buildings. The fixture is fully screened.

The applicant is not proposing any parking lot lighting.

Items to be Addressed: None.

FLOOR PLANS AND ELEVATIONS

The applicant has floor plans and elevations. Materials include brick and siding. The type of siding was not indicated. Color renderings would assist in reviewing architectural and color treatment.

In addition, the applicant should provide 3-D rendering of the site. The renderings should include a view from John R, as well as internal to the development to confirm if landscaping and berm is sufficient to properly screen existing neighborhood.

Items to be Addressed: 1) Indicate siding type; 2). Provide color rendering; and 3). Provide 3-D renderings from John R and internal to the development.

SITE PLAN REVIEW STANDARDS

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
 - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
 - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
 - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
 - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
 - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
 - c. *Develop buildings with creativity that includes balanced compositions and forms.*
 - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
 - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
 - f. *Include community amenities that add value to the development such as patio/ seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
 - a. *Provide elements that define the street and the pedestrian realm.*
 - b. *Create a connection between the public right of way and ground floor activities.*
 - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
 - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
 - e. *Improve safety for pedestrians through site design measures.*

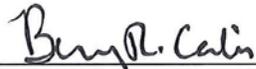
Items to be Addressed: Planning Commission to consider if site plan standards have been met.

RECOMMENDATIONS

The Planning Commission should review the development and confirm if the site plan standards have been met. We ask the applicant to come prepared to the Planning Commission meeting with a colored rendering and 3-D renderings from John R and internal to the development, and indicate siding material.

If the Planning Commission grants preliminary site plan approval, we recommend that the following items be addressed by the applicant as part of the final site plan submittal.

1. *Add additional screening options including screen wall in addition to landscaping.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

memorandum



Date: September 14, 2023

To: R. Brent Savidant, AICP
Scott G Finlay, PE

From: Sara Merrill, PE, PTOE & Lauren Hull, EIT

Re: John R Commons Townhomes
Anticipated Traffic Impacts

The purpose of this memorandum is to provide an overview of anticipated traffic impacts resulting from an adjusted site plan for the proposed John R Commons Townhomes. This site is located on the west side of John R Road, north of Big Beaver Road. A TIS was previously prepared for this site when there were 247 dwelling units. The new site plan proposes roughly half of that with only 118 dwelling units. Additionally, the previous site plan had a mix of low-rise and mid-rise buildings. The new site plan is comprised of only low-rise buildings. Based on the change in the number of dwelling units, the trip generation also needs to be adjusted.

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition, provides trip generation rates for numerous land uses, based on thousands of studies throughout the United States and Canada. This data can then be used to estimate the number of vehicle trips generated by a development. In most areas, the morning (AM) peak is a one-hour period that occurs between 7 am – 9 am, and the evening (PM) peak is a one-hour period usually between 4 pm – 6 pm.

The table below provides the calculated number of trips generated for the John R Commons Townhomes site, based on the ITE Trip Generation Manual, 11th Edition, for Multifamily Housing (Low-Rise) (ITE Land Use Code #220).

Land Use	Number of Site-Generated Trips								
	AM Peak Hour			PM Peak Hour			Daily		
	In	Out	Total	In	Out	Total	In	Out	Total
Multifamily Housing (Low-Rise, 118 Dwelling Units)	14	45	59	45	26	71	416	416	832

During the morning (AM) peak hour, the John R Commons Townhomes site generates 59 trips: 14 inbound (entering the site), and 45 outbound (exiting the site). During the evening (PM) peak hour, the site generates 71 vehicle trips: 45 inbound (entering the site) trips, and 26 outbound (exiting the site).



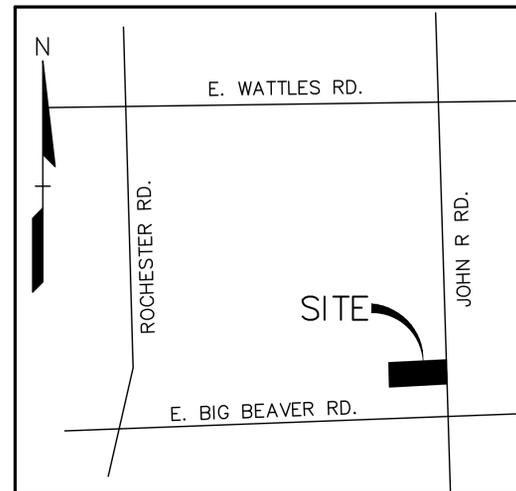
Trip Generation	Number of Site-Generated Trips					
	AM Peak Hour			PM Peak Hour		
	In	Out	Total	In	Out	Total
Old Site Plan / TIS	25	76	101	78	47	125
New Site Plan	14	45	59	45	26	71
Change in Number of Trips	-11	-31	-42	-33	-21	-54

As shown in the above table, the new site plan values are significantly less than what was proposed in the prepared TIS. The morning (AM) peak hour saw a decrease in 42 trips and the evening (PM) peak hour saw a decrease in 54 trips. This change means that the existing TIS represents a conservative approach.

PRELIMINARY SITE PLANS

JOHN R COMMONS TOWNHOME DEVELOPMENT

PART OF THE 1/4 SECTION 23, T.2N, R.11E
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP
NO SCALE

INDEX OF DRAWINGS

NUMBER	TITLE
C-0.0	COVER SHEET
C-1.1	TOPOGRAPHIC SURVEY
C-1.2	TOPOGRAPHIC SURVEY
C-2.0	OVERALL SITE PLAN
C-2.1	PRELIMINARY SITE PLAN
C-2.2	PRELIMINARY SITE PLAN
C-3.1	PRELIMINARY GRADING PLAN
C-3.2	PRELIMINARY GRADING PLAN
C-4.1	PRELIMINARY UTILITY PLAN
C-4.2	PRELIMINARY UTILITY PLAN
C-5.0	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN - WEST
L-1.1	PRELIMINARY LANDSCAPE PLAN - EAST
L-1.2	LANDSCAPE DETAILS
T-1.0	TREE SURVEY PLAN - WEST
T-1.1	TREE SURVEY PLAN - EAST
T-1.2	EXISTING TREE LIST
SL-1.0	LIGHTING PLAN
A-1	FIRST & SECOND FLOOR PLANS - BUILDING TYPE A
A-2	FIRST & SECOND FLOOR PLANS - BUILDING TYPE A
A-3	DWELLING UNIT PLANS - BUILDING TYPE A
A-4	BUILDING ELEVATIONS - BUILDING TYPE A
A-5	BUILDING ELEVATIONS - BUILDING TYPE A
A-6	FIRST & SECOND FLOOR PLANS - BUILDING TYPE B
A-7	DWELLING UNIT PLANS - BUILDING TYPE B
A-8	BUILDING ELEVATIONS - BUILDING TYPE B

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER

TROY SPORTS CENTER, LLC & JSD REAL ESTATE, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063
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REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	8/18/2023
SPA COMMENTS	11/8/2023



NOT FOR CONSTRUCTION



0 20 40 80
SCALE: 1" = 40'



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

TROY SPORTS CENTER, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE

JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS

SPA COMMENTS	11/8/23
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ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO. 18-0034

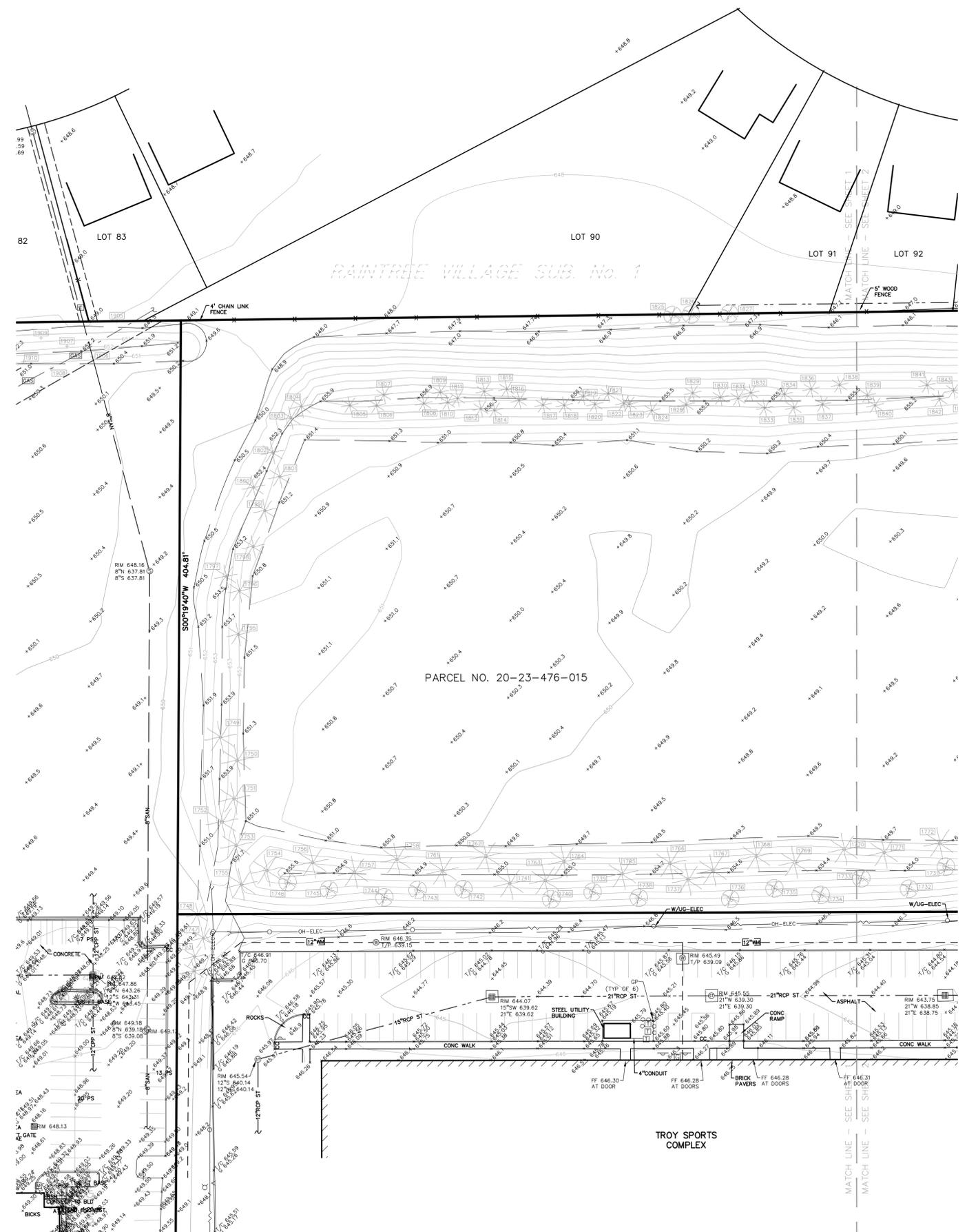
P.M. G.M.B.

DN. C.N.R.

DES. G.M.B.

DRAWING NUMBER:

C-1.1



LEGAL DESCRIPTION (20-23-476-015)
(Per City of Troy Assessing)
T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR; TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR; TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

BENCHMARKS
(GPS DERIVED - NAVD88)
BM #300
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.
ELEV. - 648.05
BM #301
NAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.
ELEV. - 648.13
BM #302
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.
ELEV. - 647.09

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0553C, DATED JANUARY 16, 2009.

NOT FOR CONSTRUCTION

S:\PROJECTS\2018\2018-04 JOHN R COMMONS-PEA\COMPOSITE PLANS(C-1.1) TOPO-BROADWAY PLOT DATE: 11/9/2023 8:01 am g.m.b.



0 20 40 80
SCALE: 1" = 40'



CAUTION!
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CLIENT
TROY SPORTS CENTER, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

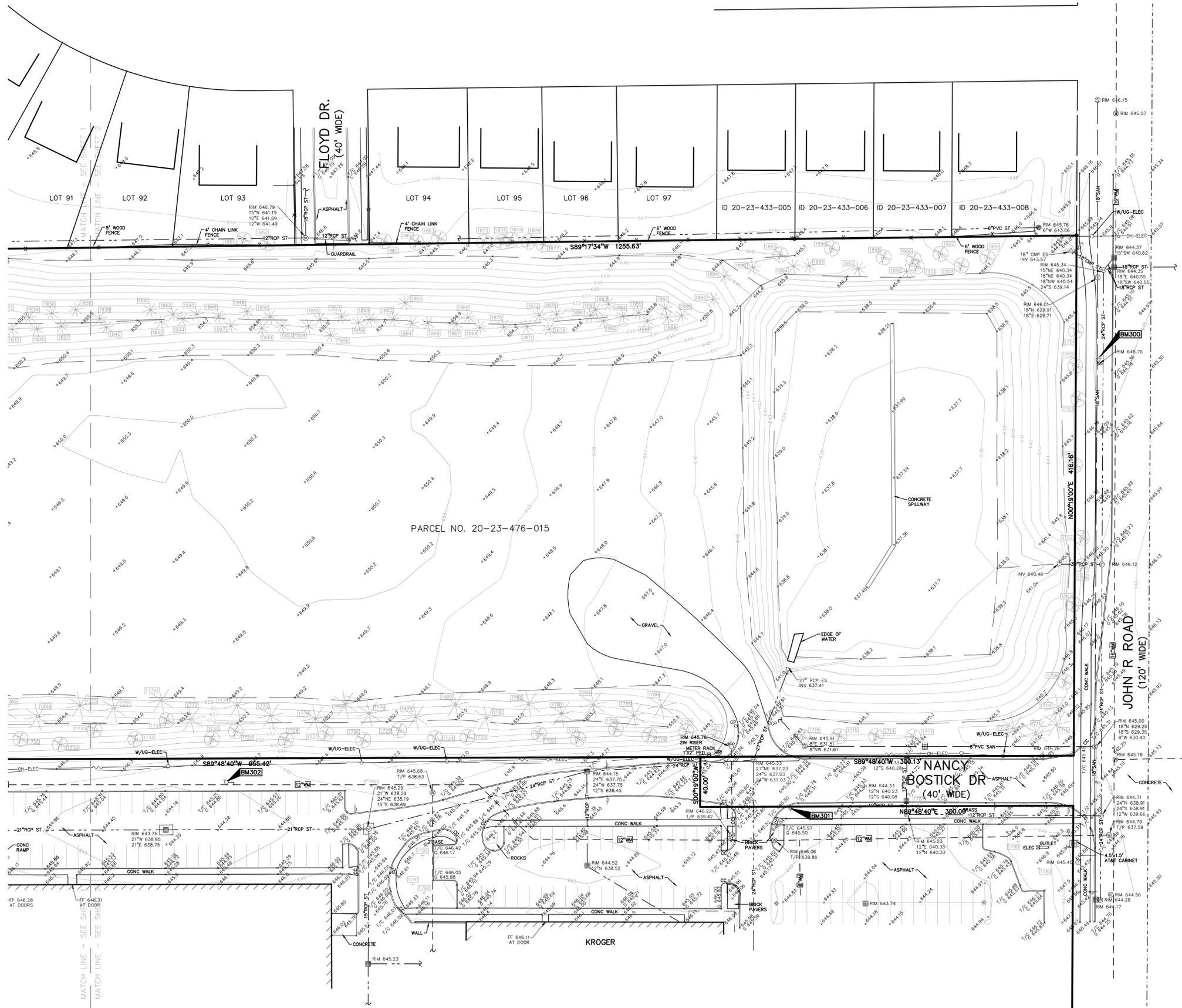
REVISIONS
SPA COMMENTS 11/8/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO. 18-0034
P.M. G.M.B.
DN. C.N.R.
DES. G.M.B.
DRAWING NUMBER:

NOT FOR CONSTRUCTION **C-1.2**



LEGAL DESCRIPTION (20-23-476-015)
(Per City of Troy Assessing)

T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR, TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR, TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

BENCHMARKS
(GPS DERIVED - NAVD88)

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ELEV. - 648.05

BM #301
MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.
ELEV. - 648.13

BM #302
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.
ELEV. - 647.09

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0536, DATED JANUARY 16, 2009.

S:\PROJECTS\2018\2018-04 JOHN R COMMONS-TP (COMPLETE PLANS)(C-1.0) TOPO-BROADWAY PLOT DATE: 11/2/2023 8:01:09 AM

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.
ELEV. = 648.05

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MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.
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FLOODPLAIN NOTE:
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LEGAL DESCRIPTION (20-23-476-015)
(Per City of Troy Assessing)

T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE, DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR, TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR, TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

GENERAL NOTES:
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET C-5.0 FOR ON-SITE PAVING DETAILS.
- REFER TO SHEET C-5.0 FOR ON-SITE SIDEWALK RAMP DETAILS.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TROY CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

NOTES:
BICYCLE PARKING WILL BE PROVIDED WITHIN GARAGES.

NOTES:
TRASH WILL BE COLLECTED USING WEEKLY PICKUP SERVICE.

LEGEND:

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN
	LIGHT POLE
	FENCE
	GUARD RAIL

PEA GROUP
t: 844.813.2949
www.peagroup.com



0 30 60 120
SCALE: 1" = 60'

811 Know what's below. Call before you dig.

CAUTION!
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CLIENT
TROY SPORTS CENTER, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063

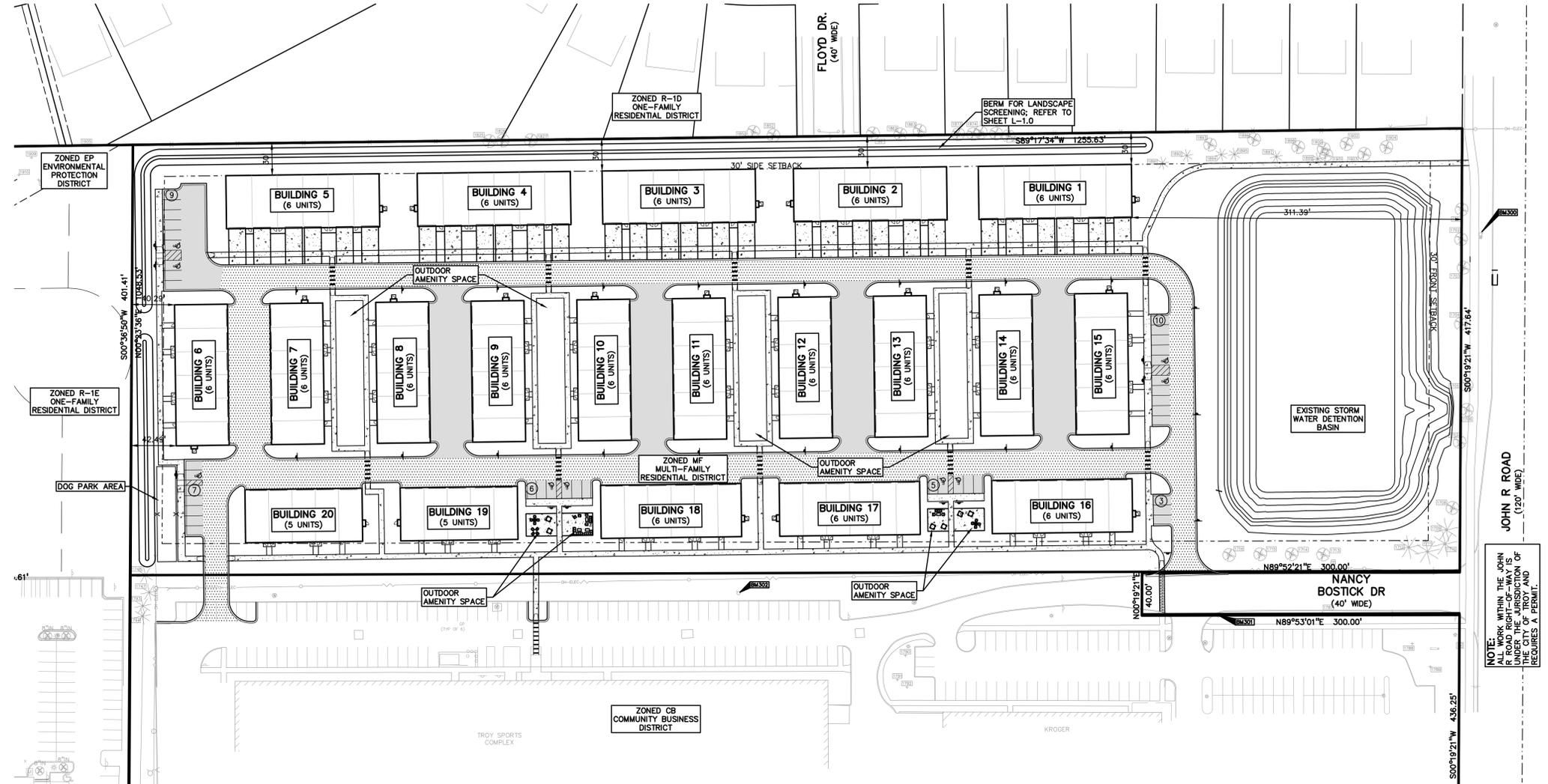
PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023
DRAWING TITLE
OVERALL SITE PLAN

PEA JOB NO.	18-0034
P.M.	G.M.B.
DN.	C.N.R.
DES.	G.M.B.
DRAWING NUMBER:	

C-2.0



SITE DATA TABLE:

SITE AREA: 11.86 AC (516,625 SF) NET AND GROSS

ZONING: MF, (MULTI-FAMILY RESIDENTIAL)

PROPOSED USE: MULTI-FAMILY RESIDENTIAL (118-UNIT DEVELOPMENT)

BUILDING INFORMATION:
BUILDING HEIGHT = 25 FEET (2 STORIES)
BUILDING TYPE A (FRONT GARAGE) = 7,233 SF
BUILDING TYPE B (6-UNIT REAR GARAGE) = 6,633 SF
BUILDING TYPE C (5-UNIT REAR GARAGE) = 5,533 SF

MAXIMUM BUILDING LOT COVERAGE = 35%
PROPOSED BUILDING LOT COVERAGE:
= 7,233 x 5 + 6,633 x 13 + 5,533 x 2
= 133,460 SF = 25.83%

SETBACK REQUIREMENTS:

REQUIRED	PROPOSED
FRONT SETBACK (EAST): 30 FEET	311.39 FEET
SIDE SETBACK (NORTH): 30 FEET	30 FEET
REAR SETBACK (WEST): 30 FEET	40.29 FEET

PARKING CALCULATIONS:
MULTI-FAMILY RESIDENTIAL = 2 SPACES PER DWELLING UNIT
PARKING REQUIRED:
= 118 UNITS * 2 SPACES/UNIT = 236 SPACES

PARKING PROVIDED:

BUILDINGS 1-5:	
12 GARAGE SPACES x 5	= 60 SPACES
12 DRIVEWAY SPACES x 5	= 60 SPACES
BUILDINGS 6-20:	
12 GARAGE SPACES x 13	= 156 SPACES
10 GARAGE SPACES x 2	= 20 SPACES
GUEST PARKING:	
SURFACE SPACES	= 40 SPACES
TOTAL PARKING PROVIDED:	336 SPACES

RECREATION SPACE:
MULTI-FAMILY RESIDENTIAL = 450 SF PER DWELLING UNIT
REQUIRED:
= 118 UNITS * 450 SF/UNIT = 53,100 SF

PROVIDED:
= 59,045 SF (WALKS, PICNIC AREAS, AND MISC. OPEN SPACE)

NOTE:
ANY WORK WITHIN THE JOHN R ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF TROY AND REQUIRES A PERMIT.

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.
ELEV. - 648.05

BM #301
MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.
ELEV. - 648.13

BM #302
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.
ELEV. - 647.09

LEGAL DESCRIPTION (20-23-476-015)
(Per City of Troy Assessing)

T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE, DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR, TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR, TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 2612503536, DATED JANUARY 16, 2009.

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE R' (R)
SIDEWALK RAMP 'TYPE P' (P)

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

SIGN LEGEND:

'STOP' SIGN (1)
'BARRIER FREE PARKING' SIGN (2)
'VAN ACCESSIBLE' SIGN (3)
'NO PARKING FIRE LANE' SIGN (4)

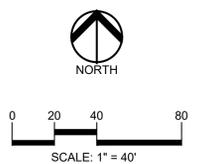
REFER TO SHEET C-5.0 FOR SIGN DETAILS

LEGEND:

CONCRETE PAVEMENT
ASPHALT PAVEMENT
GRAVEL
WETLAND
CONCRETE CURB AND GUTTER
REVERSE GUTTER PAN
SETBACK LINE
SIGN
LIGHTPOLE
FENCE
GUARD RAIL

NOTES:
BICYCLE PARKING WILL BE PROVIDED WITHIN GARAGES.

NOTES:
TRASH WILL BE COLLECTED USING WEEKLY PICKUP SERVICE.



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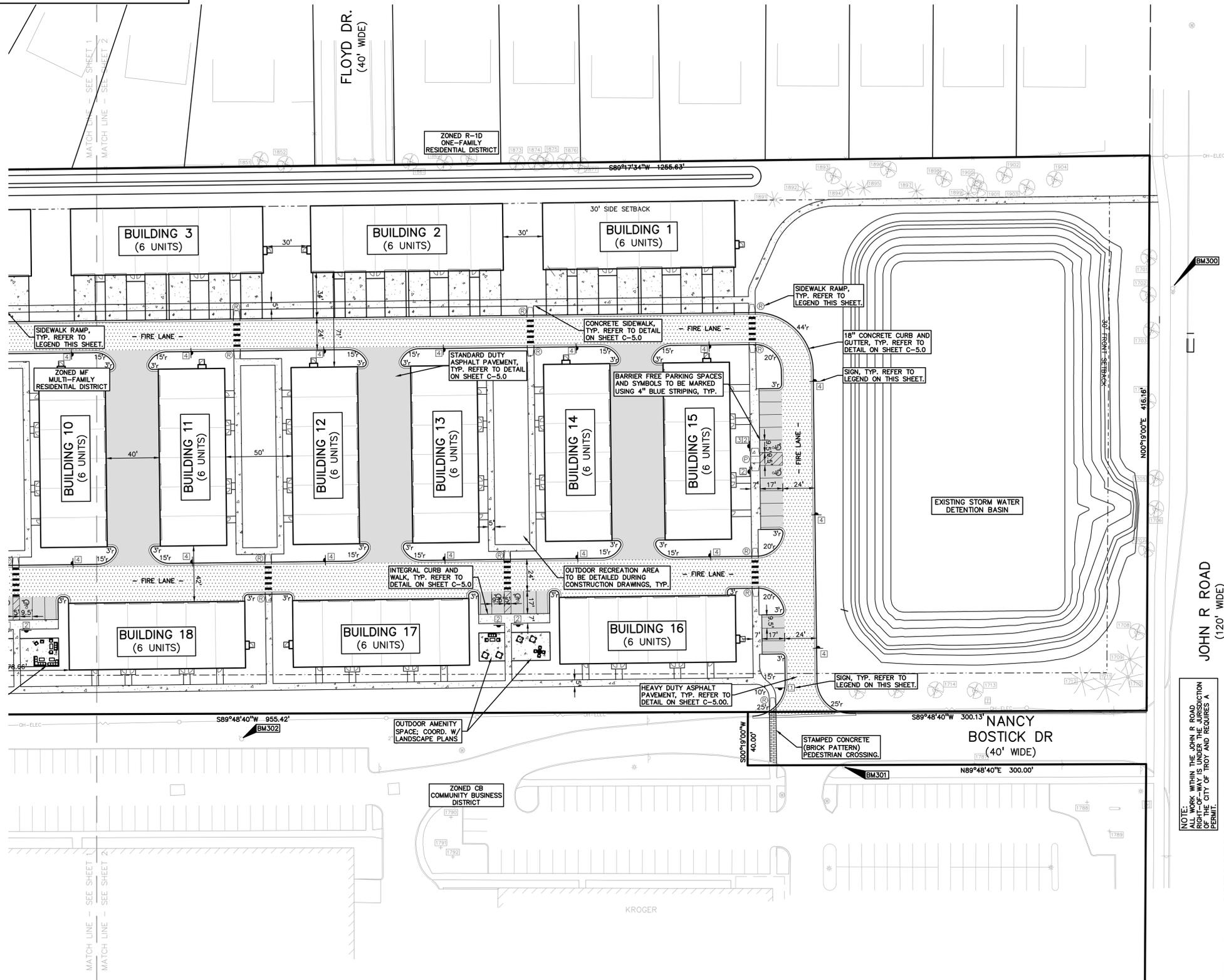
REVISIONS	DATE
SPA COMMENTS	11/8/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
PRELIMINARY SITE PLAN

PEA JOB NO.	18-0034
P.M.	G.M.B.
DN.	C.N.R.
DES.	G.M.B.
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-2.2**



S:\PROJECTS\2018\018-0034-04 JOHN R COMMONS - PRELIMINARY SITE PLANS (C-2.1) - 21E-180034.dwg PLOT DATE: 11/8/2023 BY: Greg Bono

BENCHMARKS
(GPS DERIVED - NAVD88)

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SIDEWALK RAMP 'TYPE R'

SIDEWALK RAMP 'TYPE P'

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

SYMBOLS: GRADING

PROPOSED SPOT GRADE ELEVATION. ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

PROPOSED CONTOUR LINE

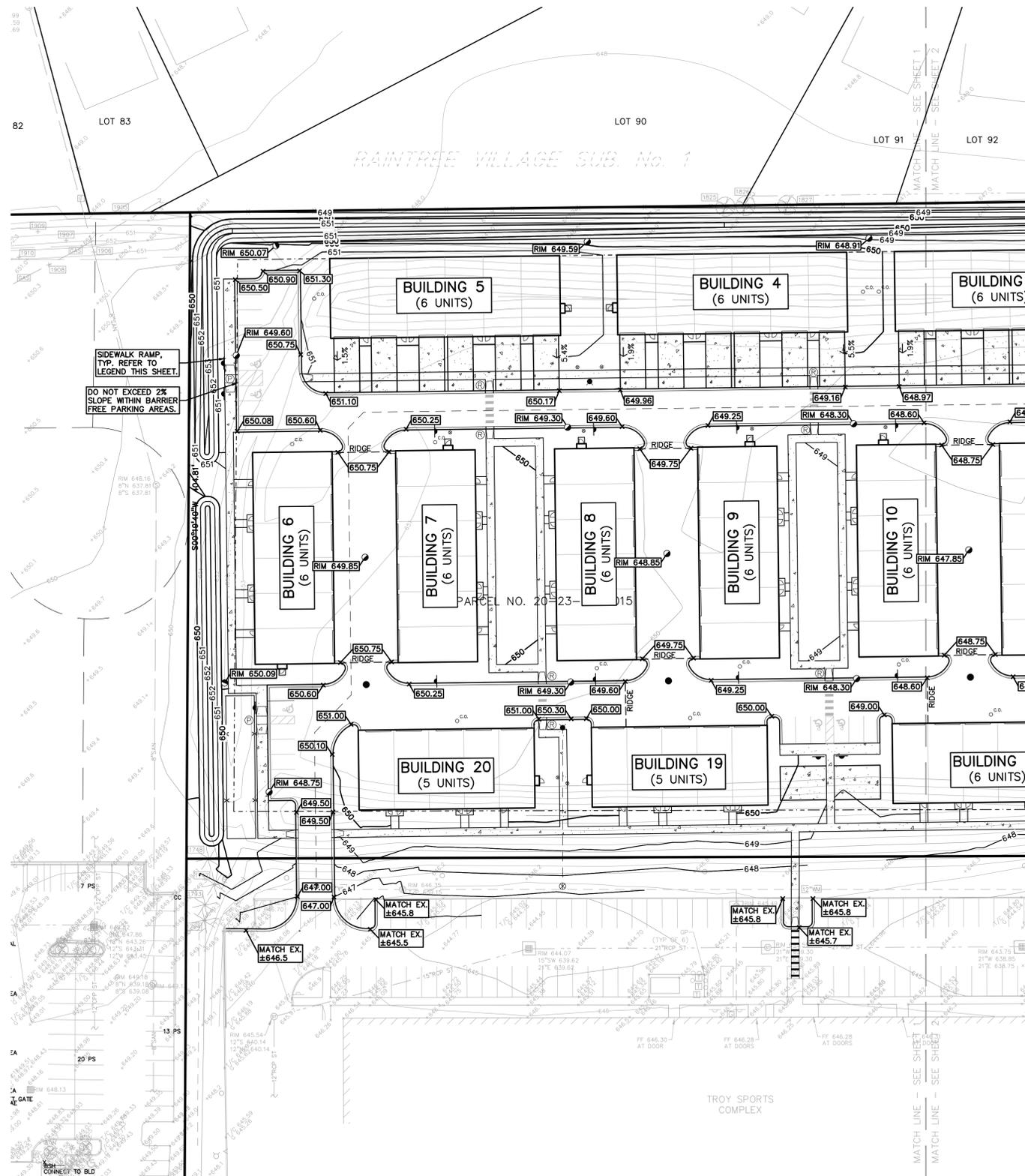
EARTHWORK BALANCING NOTE:

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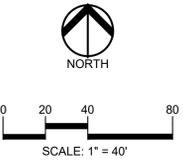
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PEA GROUP
t: 844.813.2949
www.peagroup.com



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TROY, MI 48063

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PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

REVISIONS
SPA COMMENTS 11/8/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
PRELIMINARY GRADING PLAN

PEA JOB NO. 18-0034

P.M. G.M.B.

DN. C.N.R.

DES. G.M.B.

DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-3.1

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(GPS DERIVED - NAVD88)

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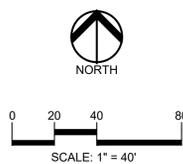
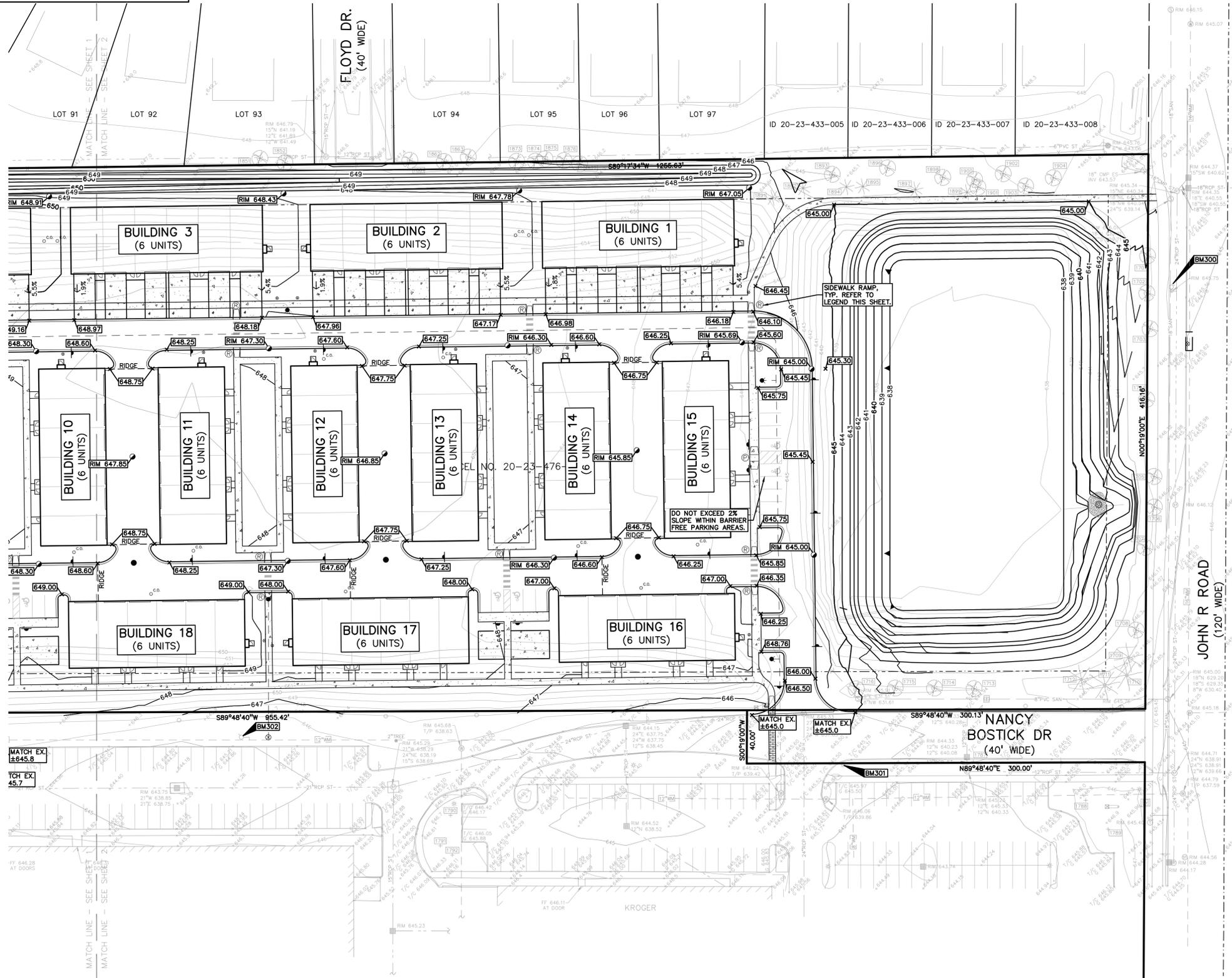
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CLIENT
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1815 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	SPA COMMENTS	DATE

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
PRELIMINARY GRADING PLAN

PEA JOB NO.	18-0034
P.M.	G.M.B.
DN.	C.N.R.
DES.	G.M.B.
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-3.2**

S:\PROJECTS\2018\2018-04 JOHN R COMMONS - PRELIMINARY PLANS\C-3.0 PRELIMINARY PLANS\11/2/2023 - 8/18/2023 - 8/18/2023 - 8/18/2023

BENCHMARKS
(GPS DERIVED - NAVD88)

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UTILITY LEGEND:

—OH-ELEC—W—O—	EX. OH. ELEC. POLE & GUY WIRE
—UG-CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG-COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
—UG-ELEC—	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
—	EX. GAS LINE
⊗	EX. GAS VALVE & GAS LINE MARKER
⊠	EX. TRANSFORMER & IRRIGATION VALVE
—	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊗	EX. WATER VALVE BOX & SHUTOFF
—	EX. SANITARY SEWER
⊗	EX. SANITARY CLEANOUT & MANHOLE
⊗	EX. COMBINED SEWER MANHOLE
—	EX. STORM SEWER
⊗	EX. CLEANOUT & MANHOLE
⊗	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊗	EX. YARD DRAIN & ROOF DRAIN
⊗	EX. UNIDENTIFIED STRUCTURE
—	PROPOSED WATER MAIN
⊗	PROPOSED HYDRANT AND GATE VALVE
⊗	PROPOSED TAPPING SLEEVE, VALVE & WELL
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⊗	PROPOSED SANITARY SEWER
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0 20 40 80
SCALE: 1" = 40'



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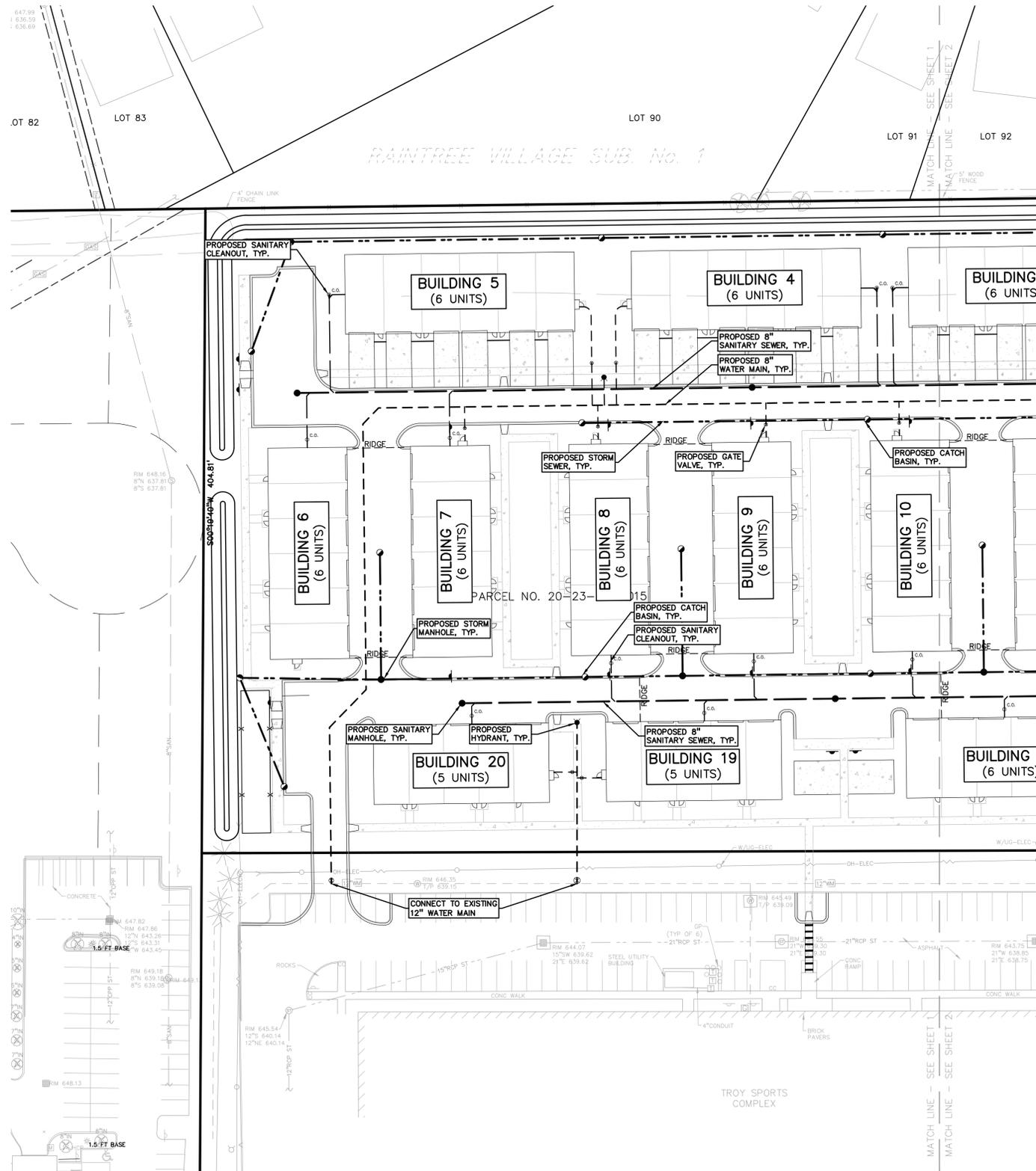
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REVISIONS
SPA COMMENTS 11/8/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
PRELIMINARY UTILITY PLAN

PEA JOB NO. 18-0034
P.M. G.M.B.
DN. C.N.R.
DES. G.M.B.
DRAWING NUMBER:



S:\PROJECTS\2018\0818-04 JOHN R COMMONS - PRELIMINARY PLANS (C-4) UTILITY\180034.dwg PLOT DATE: 11/8/2023 8:01:09 AM

NOT FOR CONSTRUCTION **C-4.1**

BENCHMARKS
(GPS DERIVED - NAVD88)

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EX-HV	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
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EX-SS	EX. SANITARY SEWER
EX-CSSM	EX. COMBINED SEWER MANHOLE
EX-SSM	EX. STORM SEWER
EX-SQ	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
EX-YDR	EX. YARD DRAIN & ROOF DRAIN
EX-UNID	EX. UNIDENTIFIED STRUCTURE
PROPOSED-WM	PROPOSED WATER MAIN
PROPOSED-HV	PROPOSED HYDRANT AND GATE VALVE
PROPOSED-TSS	PROPOSED TAPPING SLEEVE, VALVE & WELL
PROPOSED-PIV	PROPOSED POST INDICATOR VALVE
PROPOSED-SSM	PROPOSED SANITARY SEWER
PROPOSED-CSSM	PROPOSED SANITARY CLEANOUT & MANHOLE
PROPOSED-SSM	PROPOSED STORM SEWER
PROPOSED-CSSM	PROPOSED STORM SEWER CLEANOUT & MANHOLE
PROPOSED-CB	PROPOSED CATCH BASIN, INLET & YARD DRAIN

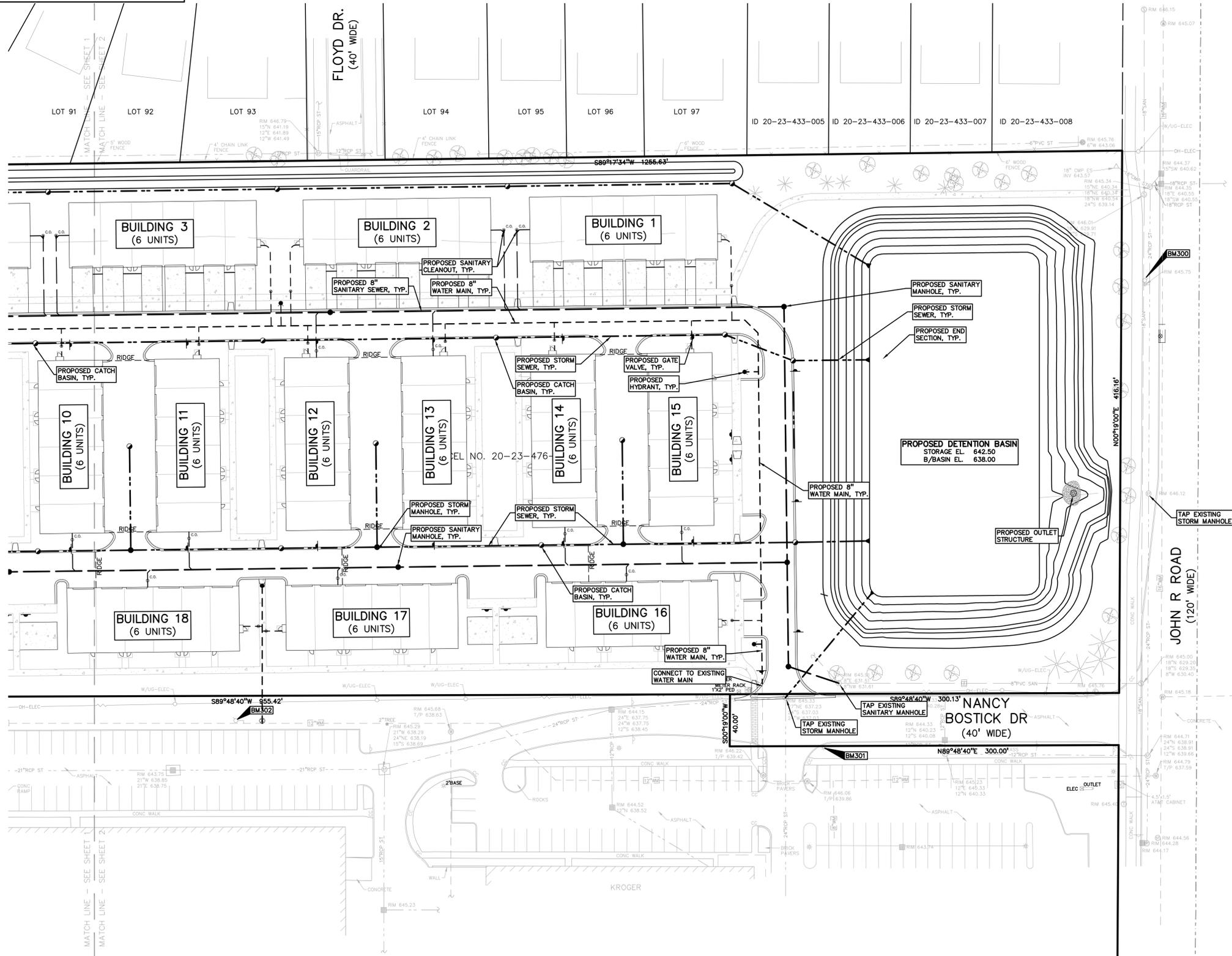
PEA GROUP
t: 844.813.2949
www.peagroup.com



SCALE: 1" = 40'



CAUTION!
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Rainfall Intensity

Time of Concentration (T _c)	20.00 min
Since 15 < T _c < 60, use intensity equation	
$I = 30.2 / ((T + 9.17)^{0.81})$	1.97 in/hr
$I_{10} = 50.12 / ((T + 9.17)^{0.81})$	3.26 in/hr
$I_{100} = 83.3 / ((T + 9.17)^{0.81})$	5.42 in/hr

CPVC: Channel Protection Volume Control Volume
V_{cpvc} = (4719)/CA = 43,095 cf

CPRC: Channel Protection Rate Control Volume: Extended Detention
VED = (6897)/CA = 62,985 cf

CPRC Allowable Outlet Rate
Q_{VED} = V_{ED} / (48*60*60) = 0.36 cfs

Water Quality Control
Forebay Volume = (545)/CA = 4,977 cf
Forebay Release Rate: Q_{VF} = V_F / (48*60*60) = 0.03 cfs

100-Year Allowable Outlet Rate
Since 2 < A < 100, Q_{VRR} = 1.1055-0.206*ln(A)
Q_{VRR} = 0.60 cfs/ac

100-Year Peak Allowable Discharge
Area, A = 11.86 ac
Q_{100P} = Q_{VRR}(A) = 7.07 cfs

100-Year Runoff Volume
V_{100R} = (18,985)/CA = 173,376 cf

100-Year Peak Inflow
Q_{100IN} = C_I(I₁₀₀)A = 49.50 cfs

Storage Curve Factor (Vs/Vr)
R = 0.206-0.15 * ln(Q_{100P}/Q_{100IN}) = 0.498

100-Year Storage Volume
V_s = R(V_{100R}) = 86,341 cf

Infiltration will be provided. CPVC can be deducted:
V₁₀₀ = V_s - V_{cpvc} = 86,341 cf
EXISTING VOLUME FROM TROY SPORTS DEVELOPMENT = 111,472 cf
DETENTION VOLUME REQUIRED = 197,813 cf

Design Requirements

CPRC Extended Detention: V _{ED}	= 62,985 cf
CPRC Allowable Outlet Rate: Q _{VED}	= 0.36 cfs
100-Year Storage Volume, V _{100R}	= 197,813 cf
100-Year Allowable Outlet Rate: Q _{VRR}	= 7.07 cfs
100 Year Peak Inflow: Q _{100IN}	= 49.50 cfs

Detention Basin

CPRC Storage Elevation:	639.62	62,985 cf	
100-yr Storage Elevation:	642.31	197,813 cf	
Elev. (ft)	Area (sf)	Vol. (cf)	Total Vol. (cf)
638.00	34,362	0	0
639.00	39,349	36,856	36,856
640.00	44,758	42,054	78,910
641.00	50,391	47,575	126,484
642.00	56,439	53,415	179,899
642.50	59,300	28,935	208,833
643.50	freeboard	0	208,833

Bottom Elevation of Pond: 638.00

CLIENT
TROY SPORTS CENTER, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS
SPA COMMENTS 11/8/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023
DRAWING TITLE
PRELIMINARY UTILITY PLAN

PEA JOB NO. 18-0034
P.M. G.M.B.
DN. C.N.R.
DES. G.M.B.
DRAWING NUMBER:

NOT FOR CONSTRUCTION **C-4.2**

S:\PROJECTS\2018\2018-04 JOHN R COMMONS - PRELIMINARY UTILITY PLANS (C-4.0) UTIL-180034.dwg PLOT DATE: 11/8/2023 8:01:09 AM

WOODLAND TREES			
WOODLAND TREES REMOVED:	115	(REPLACE AT 50% OF REMOVED DBH)	
1080" DBH x 0.5 =	540	REPLACEMENT	
WOODLAND TREES SAVED:	26	(CREDIT OF 2X DBH)	
234 DBH x 2 =	468	CREDIT	
540 - 468 =	72		
72" DBH REQUIRED FOR REPLACEMENT			
LANDMARK TREES			
LANDMARK TREES REMOVED:	1	(REPLACE AT 100% OF REMOVED DBH)	
18" DBH x 1 =	18	REPLACEMENT	
LANDMARK TREES SAVED:	0	(CREDIT OF 2X DBH)	
0" x 2 =	0	CREDIT	
18 - 0 =	18		
18" DBH REQUIRED FOR REPLACEMENT			
EXEMPT TREES			
(NO REPLACEMENT REQUIRED FOR EXEMPT TREES)			
SAVED EXEMPT TREES:	6	Trees	
EXEMPT TREES ON SITE:	6	Trees	
TOTAL SAVED TREES 6" AND ABOVE ON SITE: 32 Trees			

L-1.0

DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
2	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
2	AS2.5	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
8	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	2.5" Cal.	B&B
4	PA2.5	Encore London Planetree	<i>Platanus x acerifolia 'Encore'</i>	2.5" Cal.	B&B
4	QR2.5	Red Oak	<i>Quercus rubra</i>	2.5" Cal.	B&B
8	TC2.5	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2.5" Cal.	B&B
8	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
36	TOTAL DEC.				

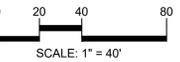
EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
19	PA8	Norway Spruce	<i>Picea abies</i>	8" Ht.	B&B
32	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8" Ht.	B&B
34	PO8	Serbian Spruce	<i>Picea omorika</i>	8" Ht.	B&B
27	PM8	Douglas Fir	<i>Pseudotsuga menziesii</i>	8" Ht.	B&B
5	PS8	Eastern White pine	<i>Pinus strobus</i>	8" Ht.	B&B
15	TC8	Canadian Hemlock	<i>Tsuga canadensis</i>	8" Ht.	B&B
132	TOTAL EVG.				

KEY:

- = BUFFER TREES / EVERGREEN SCREENING BETWEEN USES
 - = PARKING LOT TREES
 - = GREENBELT / ROW TREES AND INTERNAL ROAD TREES
 - = REPLACEMENT TREES
 - = IRRIGATED SEED LAWN
 - = NON-IRRIGATED SEED LAWN
 - = EXISTING TREE TO REMAIN
 - = TREE PROTECTION FENCING
- NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS. SEE SHEETS T-1.0 - T-1.2 FOR EXISTING TREE INFORMATION

PEA GROUP
t: 844.813.2949
www.peagroup.com



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CLIENT
TROY SPORTS CENTER, LLC
1819 EAST BEAVER ROAD
TROY, MI 48063

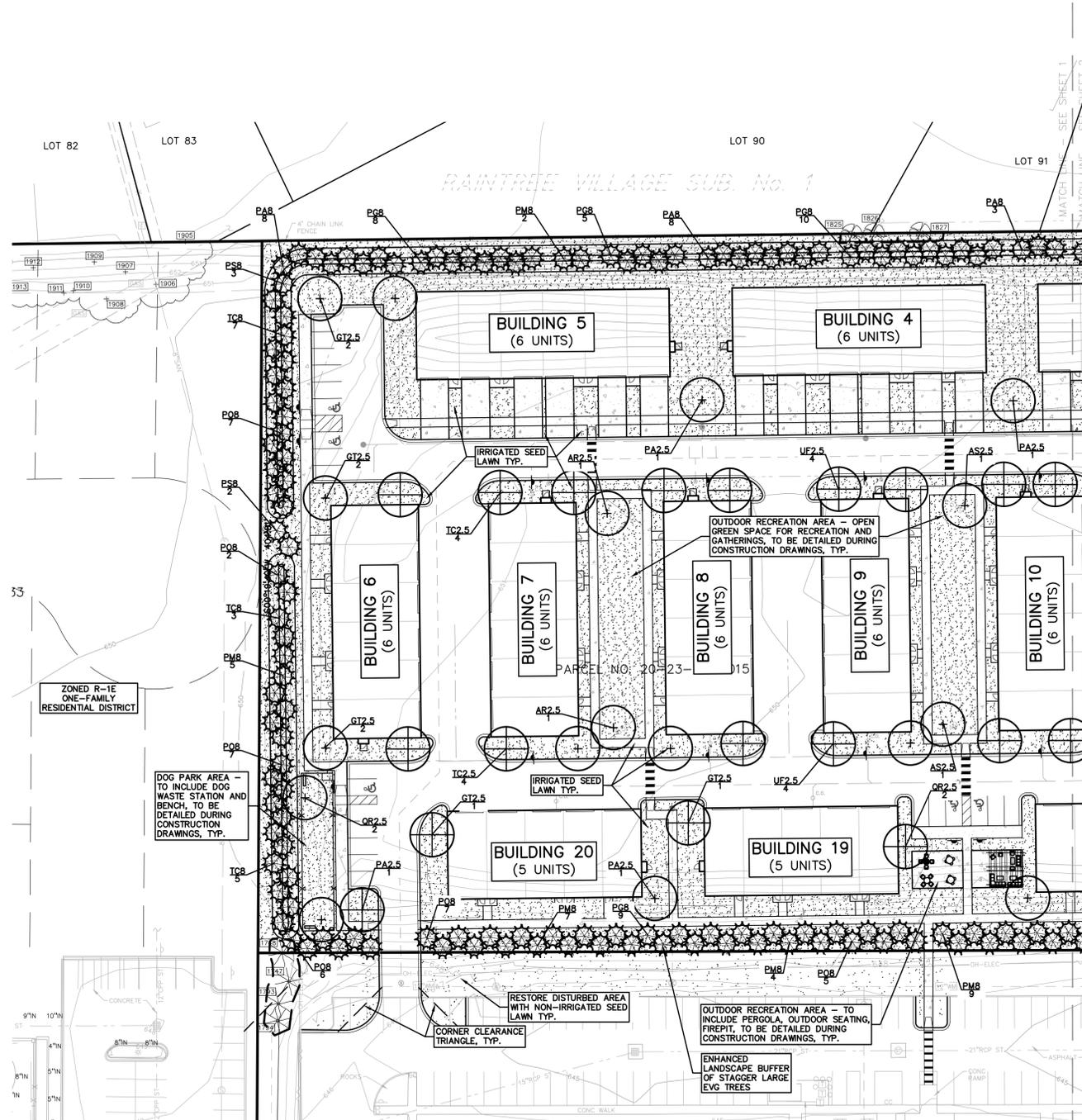
PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E, TROY, OAKLAND COUNTY, MI

REVISIONS
SPA COMMENTS 10/18/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
PRELIMINARY LANDSCAPE PLAN - WEST

PEA JOB NO. 18-0034
P.M. G.M.B.
DN. BGG
DES. JLE
DRAWING NUMBER:



GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT / BLOCK PROPOSED REGULATORY / DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

LANDSCAPE CALCULATIONS:

PER CITY OF TROY ZONING ORDINANCE: MF - MULTIFAMILY RESIDENTIAL

5.03 C-1a. GENERAL SITE LANDSCAPE
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL
516,625 SF * 20% = 103,325 SQ FT REQUIRED

PROVIDED: 173,048 SQ FT LANDSCAPE

13.02 B. SCREENING BETWEEN USES
R-1D TO NORTH SIDE OF SITE.
REQUIRED: 1 NARROW EVG. TREE / 3 FT OR 1 LARGE EVG. TREE / 10 LF
NORTH SIDE: 1,255.63 LF / 10 = 125.6 LARGE EVG.
WEST SIDE: 401.41 LF / 10 = 40.1 LARGE EVG.
SOUTH SIDE: 959 LF / 10 = 95.9

PROVIDED: 120 LARGE EVG. AND 6 EXISTING EVG. TREES
WEST SIDE: 41 LARGE EVG.
SOUTH SIDE: 102 LARGE EVG.

13.02 C. PARKING LOT LANDSCAPE
REQUIRED: 13.02 C2 = 1 TREE PER 8 SPACES
337 PARKING SPACES / 8 = 42.25 TREES REQUIRED
REQUIRED: 5.03. B-1 = SCREENING HEDGE IF VISIBLE TO PUBLIC ROAD

PROVIDED: 43 TREES
PROVIDED: LANDSCAPE HEDGE SCREEN WHERE VISIBLE ON JOHN R. RD

13.02 D2 = GREENBELT / ROW
REQUIRED: 1 TREE / 30 LF OF FRONTAGE TO PUBLIC RD.
JOHN R. ROAD = 417.64 LF FRONTAGE / 30 = 13.9 TREES
PROVIDED: 3 PROPOSED TREES AND 11 EXISTING TREES TO REMAIN ALONG JOHN R. ROAD

PER CITY OF TROY ZONING ORDINANCE: **SOUTH EAST END OF SITE**

INTERNAL PUBLIC ROADS STREET TREES
REQUIRED: 1 TREE / 30 LF
NANCY BOSTICK DRIVE: 300 LF / 30 LF = 10 TREES
PROVIDED: 3 PROPOSED TREE AND 7 EXISTING TREES

TREE REPLACEMENT:

WOODLAND TREES:
WOODLAND TREES REMOVED (115 TREES): REPLACE AT 50% OF REMOVED DBH
1080" DBH x .5 = 540" REPLACEMENT

WOODLAND TREES SAVED (26 TREES): CREDIT OF 2X DBH
234" DBH x 2 = 468" CREDIT
540" - 468" = 72" REPLACEMENT REQUIRED

PROVIDED: 2.5" X 29 TREES = 72.5" REPLACED

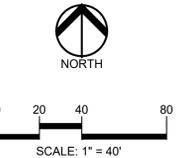
LANDMARK TREES:
LANDMARK TREES REMOVED (1 TREES): REPLACE AT 100% OF REMOVED DBH
18" DBH x 1 = 18" REPLACEMENT

LANDMARK TREES SAVED (0 TREES): CREDIT OF 2X DBH
0" x 2 = 0" CREDIT
18" - 0" = 18" REPLACEMENT REQUIRED

PROVIDED: 2.5" X 8 TREES = 20" REPLACED

NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.

S:\PROJECTS\2018\2018-034 JOHN R. COMMONS - PRELIMINARY PLANS (L-1.0) LANDSCAPE PLAN - 18034.dwg PLOT DATE: 10/25/2023 PLOT: BGG\Gmsh



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CLIENT
TROY SPORTS CENTER, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	10/18/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
PRELIMINARY LANDSCAPE PLAN - EAST

PEA JOB NO.	18-0034
P.M.	G.M.B.
DN.	BGG
DES.	JLE
DRAWING NUMBER:	

KEY:

	= BUFFER TREES / EVERGREEN SCREENING BETWEEN USES		= LOW PROFILE PRAIRIE SEED MIX SEE SHEET L-1.1 FOR DETAILS STAKED EROSION MAT ON SLOPES TYP.
	= PARKING LOT TREES		= STORMWATER SEED MIX SEE SHEET L-1.1 FOR DETAILS STAKED EROSION MAT ON SLOPES TYP.
	= GREENBELT / ROW TREES AND INTERNAL ROAD TREES		= IRRIGATED SEED LAWN
	= REPLACEMENT TREES		= NON-IRRIGATED SEED LAWN
	= EXISTING TREE TO REMAIN		= TREE PROTECTION FENCING

NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.

L-1.1

DECIDUOUS TREE PLANT LIST:

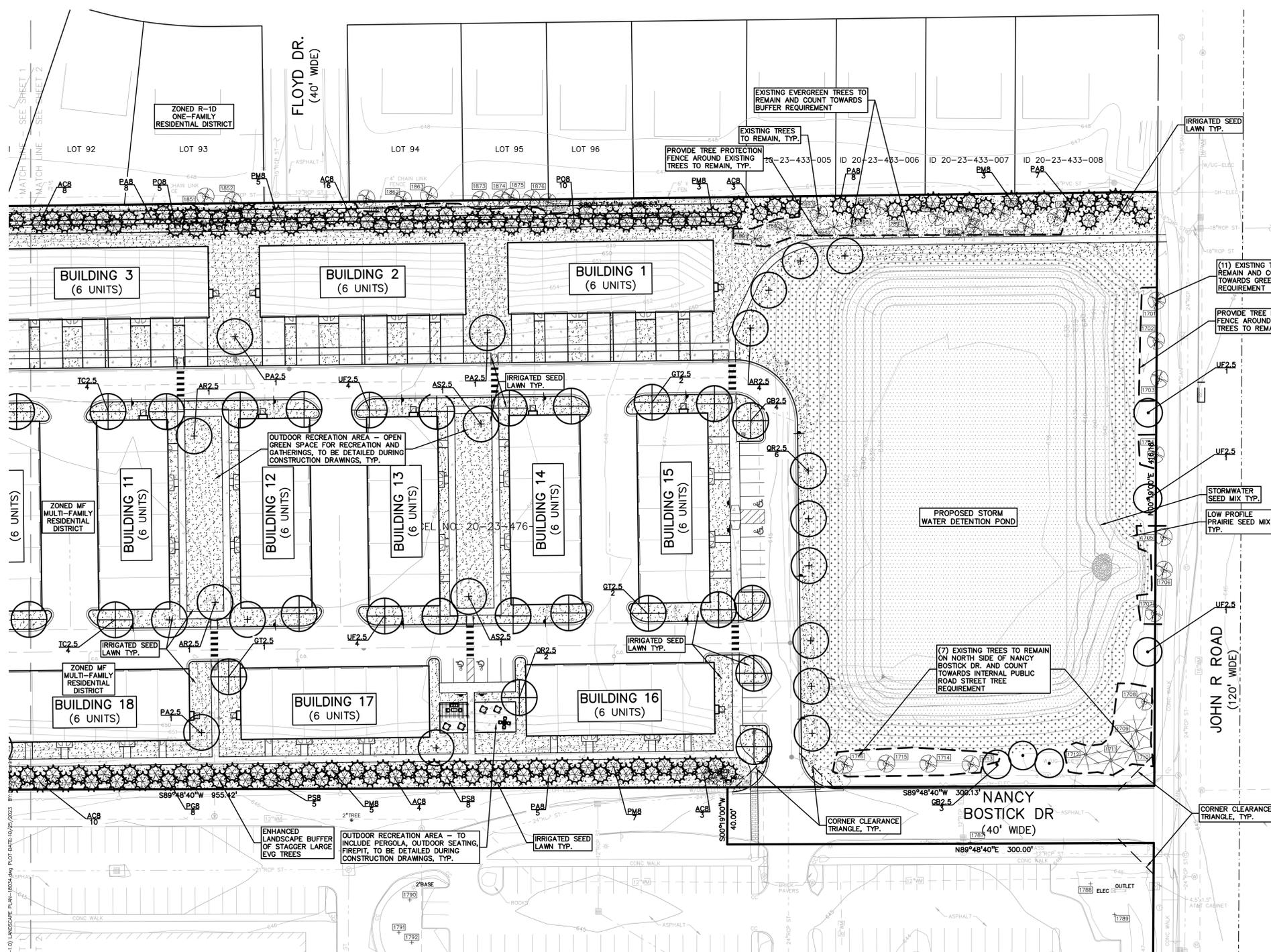
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
2	AS2.5	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
7	GB2.5	Magyar Ginkgo	<i>Ginkgo biloba 'Magyar'</i>	2.5" Cal.	B&B
5	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	2.5" Cal.	B&B
3	PA2.5	Encore London Planetree	<i>Platanus x acerifolia 'Encore'</i>	2.5" Cal.	B&B
8	QR2.5	Red Oak	<i>Quercus rubra</i>	2.5" Cal.	B&B
8	TC2.5	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2.5" Cal.	B&B
11	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
50	TOTAL DEC.				

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
44	AC8	Concolor Fir	<i>Abies concolor</i>	8' Ht.	B&B
28	PA8	Norway Spruce	<i>Picea abies</i>	8' Ht.	B&B
8	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8' Ht.	B&B
15	PO8	Serbian Spruce	<i>Picea omorika</i>	8' Ht.	B&B
23	PM8	Douglas Fir	<i>Pseudotsuga menziesii</i>	8' Ht.	B&B
13	PS8	Eastern White pine	<i>Pinus strobus</i>	8' Ht.	B&B
131	TOTAL EVG.				

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
24	TO6	Techny Arborvitae	<i>Thuja occidentalis 'Techny'</i>	6'	B&B
24	TOTAL SHRUBS				



FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP.
INSTALL AND PREP PER MANUFACTURER'S SPECIFICATIONS.
NO INVASIVE SPECIES PERMITTED, USE ONLY SPECIES NATIVE TO COUNTY.

Low-profile Prairie Seed Mix
Stantec Native Plant Nursery 574-586-2412
stantec.com/native-plant-nursery

Botanical Name **Common Name**

Permanent Grasses:
Bouteloua curtipendula Side Oats Grama
Carex spp. Prairie Carex Mix
Elymus canadensis Canada Wild Rye
Koeleria pyramidata June Grass
Panicum virgatum Switch Grass
Schizachyrium scoparium Little Bluestem

Temporary Cover:
Avena sativa Common Oat
Lolium multiflorum Annual Rye

Forbs:
Amorpha canescens Lead Plant
Anemone cylindrica Thimbleweed
Asclepias syriaca Common Milkweed
Asclepias tuberosa Butterfly Milkweed
Baptisia alba White Wild Indigo
Chamaecrista fasciculata Partridge Pea
Coreopsis lanceolata Sand Coreopsis
Coreopsis palmata Prairie Coreopsis
Dalea candida White Prairie Clover
Dalea purpurea Purple Prairie Clover
Desmanthus illinoensis Illinois Sensitive Plant
Echinacea purpurea Broad-Leaved Purple Coneflower
Eryngium yuccifolium Rattlesnake Master
Lespedeza capitata Rough Blazing Star
Liatis aspera Wild Lupine
Lupinus perennis Wild Lupine
Monarda fistulosa Wild Bergamot
Oligoneuron rigidum Stiff Goldenrod
Parthenium integrifolium Wild Quinine
Penstemon digitalis Foxglove Beard Tongue
Penstemon hirsutus Hairy Beard Tongue
Pycnanthemum virginianum Common Mountain Mint
Ratibida pinnata Yellow Coneflower
Rudbeckia hirta Black-Eyed Susan
Rudbeckia subtomentosa Sweet Black-Eyed Susan
Silphium terebinthaceum Prairie Dock
Solidago speciosa Showy Goldenrod
Symphytichum ericoides Heath Aster
Symphytichum laeve Smooth Blue Aster
Symphytichum novae-angliae New England Aster
Tradescantia ohioensis Common Spiderwort
Verbena stricta Hoary Vervain
Vernonia spp. Ironweed (Various Mix)
Veronicastrum virginicum Culvers Root

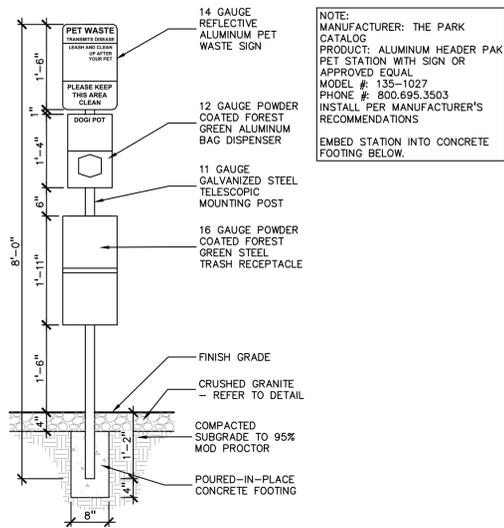
Stormwater Seed Mix
Stantec Native Plant Nursery 574-586-2412
stantec.com/native-plant-nursery

Botanical Name **Common Name**

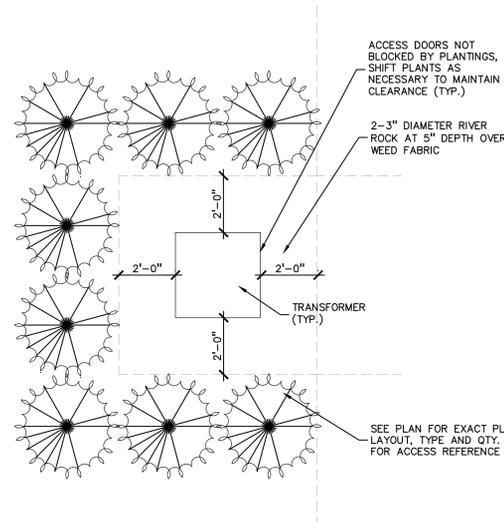
Permanent Grasses/Sedges/Rushes:
Bolboschoenus fluviatilis River Bulrush
Carex cristatella Crested Oval Sedge
Carex lurida Bottlebrush Sedge
Carex vulpinoidea Brown Fox Sedge
Elymus virginicus Virginia Wild Rye
Glyceria striata Fowl Manna Grass
Juncus effusus Common Rush
Leersia oryzoides Rice Cut Grass
Panicum virgatum Switch Grass
Schoenoplectus tabernaemontani Softstem Bulrush
Scirpus atrovirens Dark Green Rush
Scirpus cyperinus Wool Grass

Temporary Cover:
Avena sativa Common Oat
Lolium multiflorum Annual Rye

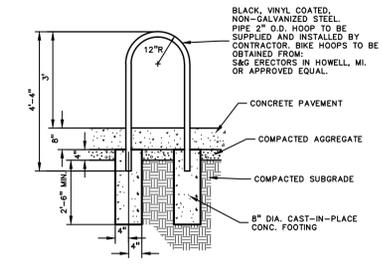
Forbs & Shrubs:
Ailona spp. Water Plantain (Various Mix)
Asclepias incarnata Swamp Milkweed
Bidens spp. Bidens (Various Mix)
Helenium autumnale Sneezeweed
Iris virginica Blue Flag
Lycopus americanus Common Water Horehound
Mimulus ringens Monkey Flower
Oligoneuron riddellii Riddell's Goldenrod
Penthorum sedoides Ditch Stonecrop
Polygonum spp. Pinkweed (Various Mix)
Rudbeckia subtomentosa Sweet Black-Eyed Susan
Rudbeckia triloba Brown-Eyed Susan
Sagittaria latifolia Common Arrowhead
Senna hebecarpa Wild Senna
Symphytichum novae-angliae New England Aster
Thalictrum dasycarpum Purple Meadow Rue



6 PET STATION DETAIL, OR EQUAL
SCALE: 1 1/2" = 1'-0"



5 TRANSFORMER SCREENING DETAIL
SCALE: 1" = 3'-0"



8 BIKE RACK DETAIL, OR EQUAL
NOT TO SCALE

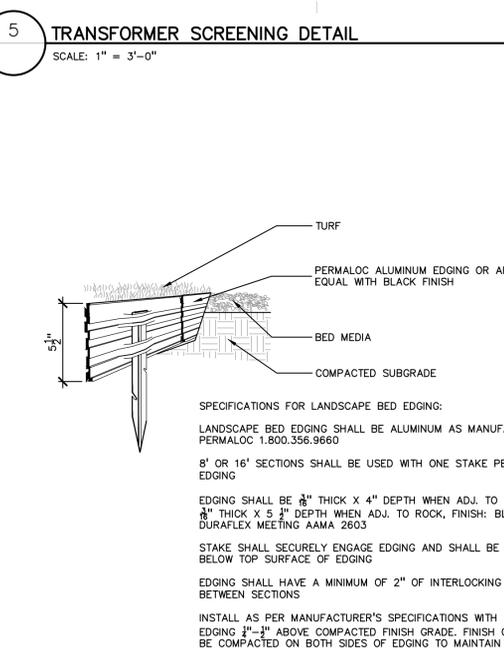


BENCH: 72" PLAINWELL, ALUMINUM
BY: LANDSCAPE FORMS OR APPROVED EQUAL
PHONE: 800-521-2546
COLOR: TITANIUM OR SILVER, POWDER COATED,
OWNER TO SELECT/APPROVE COLOR
QUANTITY: X QTY. TO BE APPROVED BY OWNER

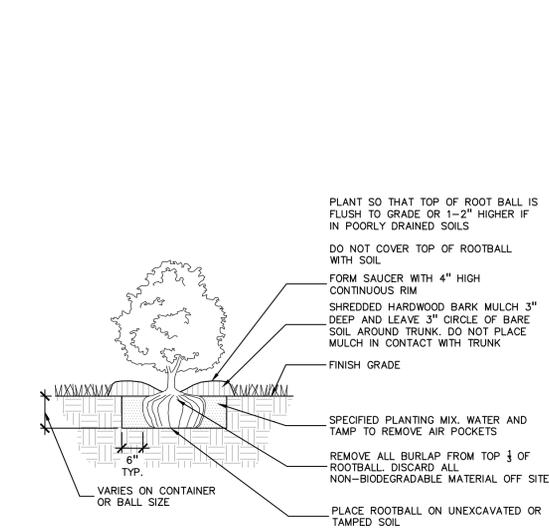


LITTER CONTAINER: PLAINWELL, ALUMINUM
WITH SIDE OPEN LID AT 30"x38" HIGH
BY: LANDSCAPE FORMS OR APPROVED EQUAL
PHONE: 800-521-2546
COLOR: TITANIUM OR SILVER, POWDER COATED,
OWNER TO SELECT/APPROVE COLOR
QUANTITY: X QTY. TO BE APPROVED BY OWNER

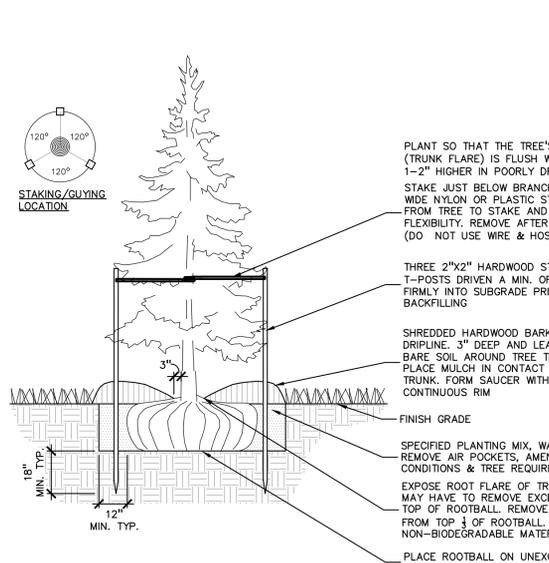
7 BENCH AND LITTER IMAGE DETAIL, OR EQUAL
NOT TO SCALE



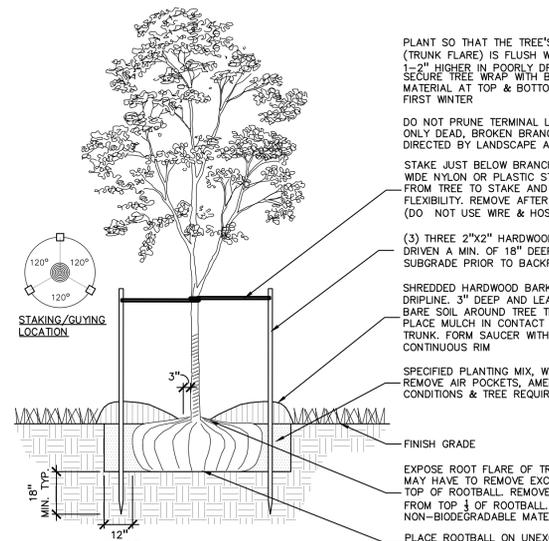
4 ALUMINUM EDGE DETAIL
SCALE: 1/2" = 1'-0"



3 SHRUB PLANTING DETAIL
SCALE: 1" = 2'-0"



2 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"

PEA GROUP
t: 844.813.2949
www.peagroup.com



811 Know what's below. Call before you dig.

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CLIENT IS SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
TROY SPORTS CENTER, LLC
1619 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 1E, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	10/18/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
LANDSCAPE DETAILS

PEA JOB NO.	18-0034
P.M.	G.M.B.
DN.	BGG
DES.	JLE
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

L-1.2

Cylinder 3000K LED 12.25" Wall Light 11310BKTLED
© 2023 Kichler Lighting LLC. All Rights Reserved.

SPECIFICATIONS

Certifications/Qualifications	
Title 24 Compliant	Yes www.kichler.com/warranty
Dimensions	
Base Backplate	5.00" X 5.00"
Extension	6.50"
Weight	2.63 LBS
Height from center of Wall opening (Spec Sheet)	6.21"
Height	12.25"
Width	5.00"
Light Source	
Delivered Lumens	925
Dimmable	Yes
Expected Life Span (Hours)	45000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	20.00
Max Wattage/Range	20W
Mounting/Installation	
Interior/Exterior	Exterior
Location Rating	Wet
Mounting Style	Wall Mount
Mounting Weight	3.50 LBS
Photometrics	
Color Rendering Index	90
Kelvin Temperature	3000K
FIXTURE ATTRIBUTES	
Housing	
Primary Material	EPMM
Shade Dimensions	4.60" D X 12.25"
Product/Ordering Information	
SKU	11310BKTLED
Finish	Textured Black
Style	Other
UPC	763927545297
Finish Options	
●	Textured Black

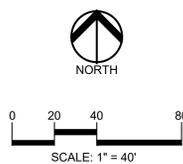


Kichler.com

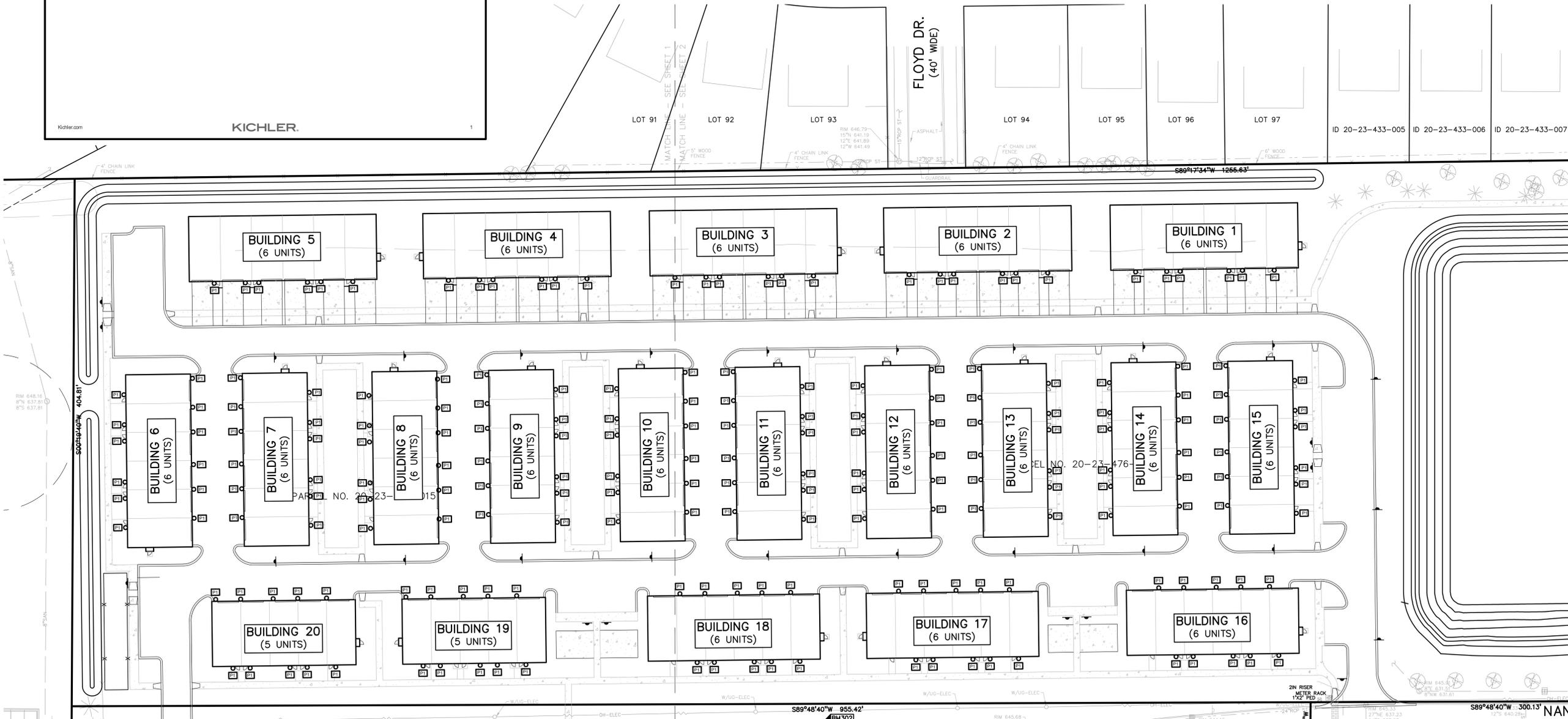
KICHLER.

- GENERAL SITE LIGHTING NOTES:**
1. ALL AREA LIGHT FIXTURES ARE TO BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES AND ROADWAYS.
 2. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIALS AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
 3. COORDINATE LIGHT FIXTURE PLACEMENT AND INSTALLATION WITH ARCHITECT.

PEA GROUP
t: 844.813.2949
www.peagroup.com



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CLIENT
TROY SPORTS CENTER, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 7E., TROY, OAKLAND COUNTY, MI

REVISIONS

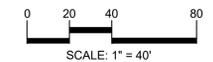
SPA COMMENTS	10/18/23
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ORIGINAL ISSUE DATE:
AUGUST 18, 2023
DRAWING TITLE
LIGHTING PLAN

PEA JOB NO.	18-0034
P.M.	G.M.B.
DN.	C.N.R.
DES.	G.M.B.
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **SL-1.0**

S:\PROJECTS\2018\2018-04 JOHN R COMMONS - PEA\DWG\SITE PLANS\SL-1.0 PHOTO-180024.dwg PLOT DATE: 10/18/2023 BPI/KW/STC/KAB

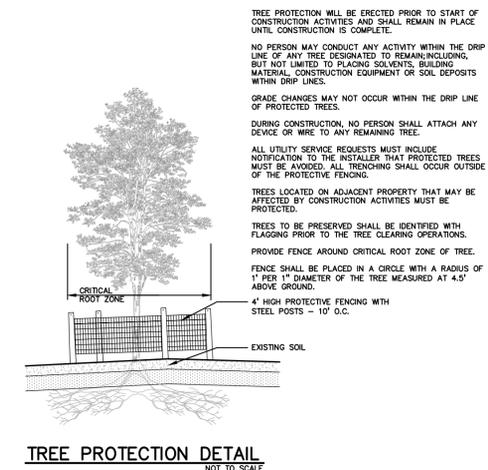


CAUTION!!
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KEY:

- = EXISTING TREE TO BE REMOVED
- = EXISTING TREE TO REMAIN
- = TREE PROTECTION FENCING

SEE SHEET T-1.2 FOR EXISTING TREE LIST
SEE SHEET L-1.0 FOR REPLACEMENT CALCULATIONS



TREE PROTECTION DETAIL
NOT TO SCALE



S:\PROJECTS\2018\2018-04 JOHN R. COMMONS-PB COMPOSITE PLANS(T-1.0) TREE SURVEY PLAN-HDR-AUG FLOT DATE 10/20/2023 BY Bridget Gunnink

:CEL NO. 20-23-401-019

CLIENT
TROY SPORTS CENTER, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	10/18/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
TREE SURVEY PLAN - WEST

PEA JOB NO.	18-0034
P.M.	G.M.B.
DN.	BGG
DES.	JLE
DRAWING NUMBER:	



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
TROY SPORTS CENTER, LLC
1819 EAST BIG BEAVER ROAD
TROY, MI 48063

PROJECT TITLE
JOHN R COMMONS TOWNHOME DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E, TROY, OAKLAND COUNTY, MI

REVISIONS
SPA COMMENTS 10/18/23

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
EXISTING TREE LIST

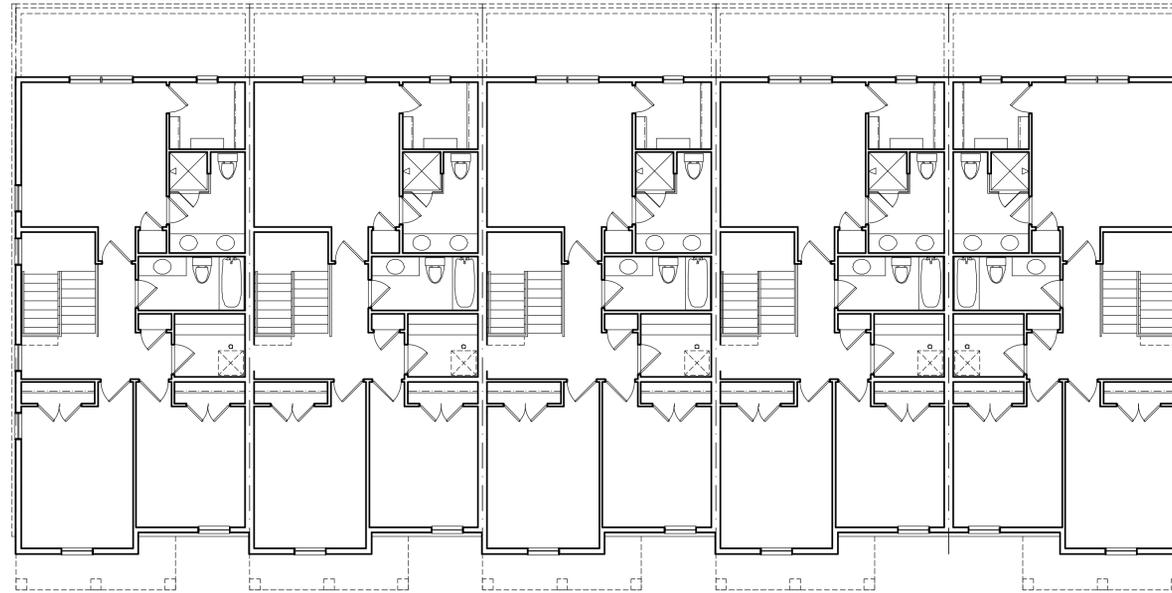
PEA JOB NO. 18-0034
P.M. G.M.B.
DN. BGG
DES. JLE
DRAWING NUMBER:

NOT FOR CONSTRUCTION

T-1.2

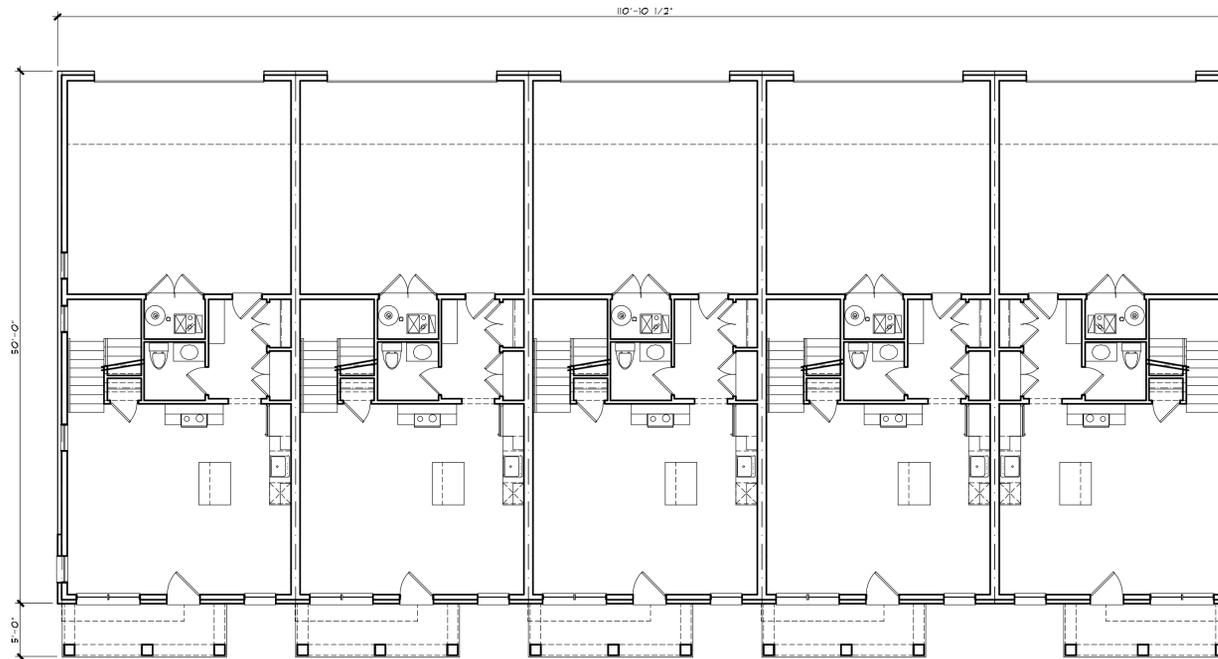
TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENT	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
1701	BP	15	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	Y	
1702	BP	13	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	Y	
1703	BP	15	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	N	
1704	BP	15	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	Y	
1705	BP	14	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	N	
1706	BP	14	Bradford Pear	Pyrus calleryana	Poor		INVASIVE	S	N	
1707	BP	11	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	Y	
1708	WS	8	White Spruce	Picea glauca	Poor		WOODLAND	S	Y	
1709	BS	10	Blue Spruce	Picea pungens	Fair		WOODLAND	S	Y	
1710	BS	9	Blue Spruce	Picea pungens	Good		WOODLAND	S	Y	
1711	BS	12	Blue Spruce	Picea pungens	Good		WOODLAND	S	Y	
1712	WS	12	White Spruce	Picea glauca	Fair		WOODLAND	S	Y	
1713	G	6	Ginkgo	Ginkgo biloba	Good		WOODLAND	S	Y	
1714	G	6	Ginkgo	Ginkgo biloba	Good		WOODLAND	S	Y	
1715	G	6	Ginkgo	Ginkgo biloba	Good		WOODLAND	S	Y	
1716	G	6	Ginkgo	Ginkgo biloba	Poor		WOODLAND	S	Y	
1717	SU	8	Sugar Maple	Acer saccharum	Poor		WOODLAND	R	Y	
1718	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1719	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1720	SU	6	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1721	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1722	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1723	SU	6	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1724	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1725	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1726	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1727	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1728	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1729	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1730	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1731	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1732	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1733	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1734	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1735	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1736	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1737	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1738	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1739	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1740	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1741	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1742	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1743	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1744	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1745	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1746	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1747	BS	11	Blue Spruce	Picea pungens	Good		WOODLAND	S	Y	
1748	WS	11	White Spruce	Picea glauca	Good		WOODLAND	S	Y	
1749	WS	15	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1750	WS	9	White Spruce	Picea glauca	Very Poor		WOODLAND	R	Y	REPLACE
1751	BS	16	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1752	BS	18	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1753	BS	16	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	REPLACE
1754	BS	16	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1755	WS	10	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1756	BS	11	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1757	BS	12	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1758	WS	14	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1761	WS	13	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1762	WS	14	White Spruce	Picea glauca	Good		WOODLAND	R	Y	REPLACE
1763	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1764	BS	15	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1765	BS	15	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1766	WS	10	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1767	BS	11	Blue Spruce	Picea pungens	Very Poor		WOODLAND	R	Y	REPLACE
1768	BS	15	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1769	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1770	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1771	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1772	BS	13	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1773	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1774	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1775	BS	14	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1776	BS	12	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1777	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1778	BS	11	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1779	NS	9	Norway Spruce	Picea Abies	Poor		WOODLAND	R	Y	REPLACE
1780	NS	10	Norway Spruce	Picea Abies	Poor		WOODLAND	R	Y	REPLACE
1781	NS	11	Norway Spruce	Picea Abies	Poor		WOODLAND	R	Y	REPLACE
1782	NS	13	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y	REPLACE
1783	NS	8	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y	REPLACE
1784	NS	10	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y	REPLACE
1785	NS	8	Norway Spruce	Picea Abies	Poor		WOODLAND	R	Y	REPLACE
1786	NS	10	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y	REPLACE
1787	G	8	Ginkgo	Ginkgo biloba	Good		WOODLAND	S	N	
1788	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	S	Y	
1789	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	S	Y	
1790	NS	11	Norway Spruce	Picea Abies	Fair		WOODLAND	S	Y	
1791	BS	7	Blue Spruce	Picea pungens	Poor		WOODLAND	S	Y	
1792	BS	8	Blue Spruce	Picea pungens	Poor		WOODLAND	S	Y	
1793	NS	14	Norway Spruce	Picea Abies	Good		WOODLAND	S	Y	
1794	NS	12	Norway Spruce	Picea Abies	Good		WOODLAND	S	Y	
1795	BS	16	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1796	BS	13	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1797	WS	12	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1798	BS	10	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	REPLACE
1799	WS	10	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1800	BS	13	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1801	BS	12	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	REPLACE
1802	BS	10	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	REPLACE
1803	BS	9	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1804	BS	9	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1805	WS	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1806	WS	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1807	WS	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1808	BS	7	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1809	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1810	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1811	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1812	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1813	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1814	BS	6	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	REPLACE
1815	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1816	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1817	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1818	BS	7	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	REPLACE
1819	BS	9	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1820	BS	6	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	REPLACE

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENT	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
1821	BS	9	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1822	WS	6	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1823	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1824	BS	7	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	REPLACE
1825	SM	6	Silver Maple	Acer saccharinum	Good		WOODLAND	S	Y	
1826	SC	16	Scotch Pine	Pinus sylvestris	Fair		WOODLAND	S	Y	
1827	WP	16	(Eastern) White Pine	Pinus strobus	Fair		WOODLAND	S	Y	
1828	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1829	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1830	WS	7	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1831	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1832	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1833	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1834	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1835	WS	6	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1836	BS	6	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1837	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1838	WS	7	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1839	WS	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1840	WS	6	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1841	BS	8	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1842	WS	7	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1843	BS	9	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1844	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1845	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1846	BS	9	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1847	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	REPLACE
1848	BS	8	Blue Spruce	Picea pungens	Fair					



SECOND FLOOR PLAN - BUILDING TYPE 'A'

5 - UNIT
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'A'

5 - UNIT
SCALE: 1/8" = 1'-0"

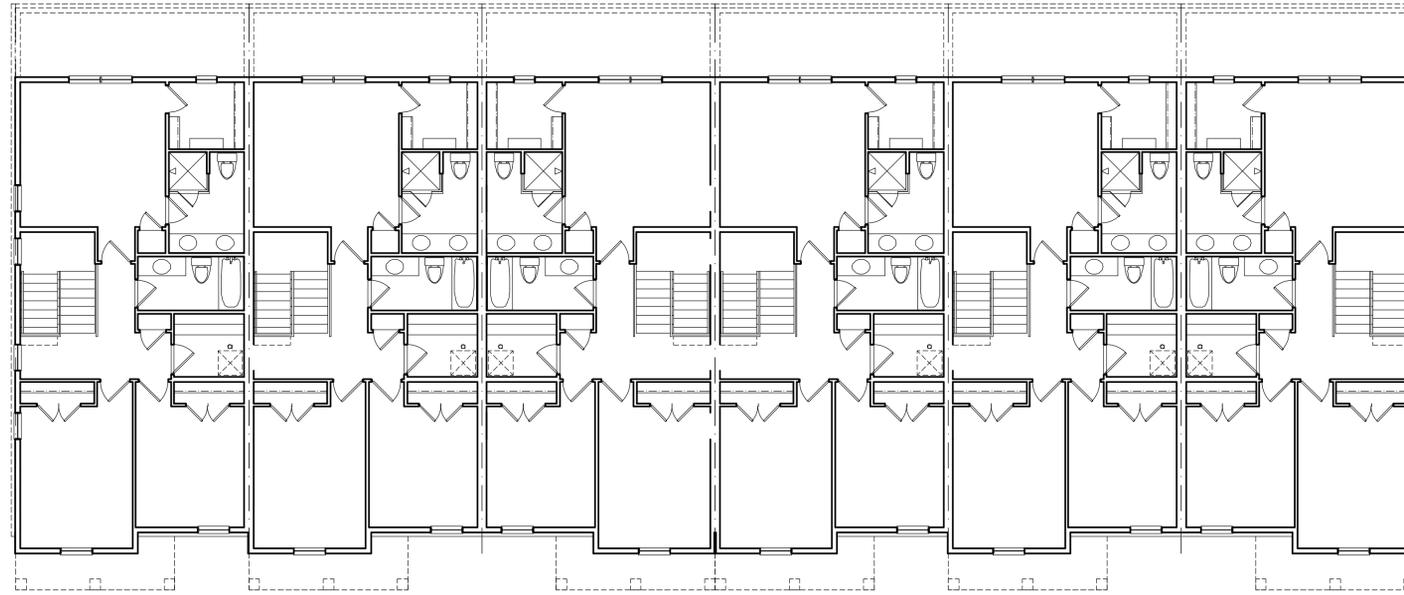


BRIAN NEEPER ARCHITECTURE P.C.
DESIGN - PLANNING - INTERIORS
630 BRIMINGHAM HIGHWAY
TROY, MICHIGAN 48068
BRIANNEEPER.COM
248.259.1784

SHEET TITLE
1st & 2nd FLOOR PLANS
BLDG. TYPE 'A'-5 UNIT
PRELIMINARY

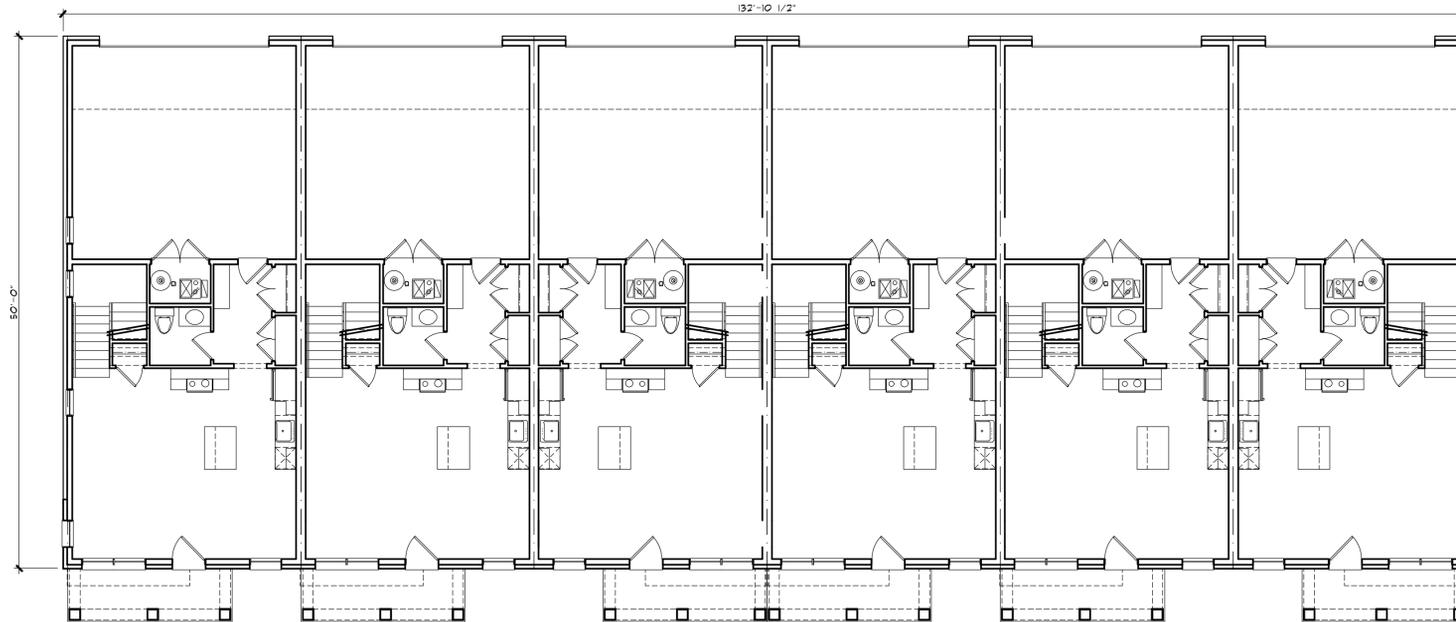
CLIENT / PROJECT
JOHN R TOWNHOME DEV.
BUILDING TYPE 'A'
TROY, MICHIGAN

PRELIMINARY	11-02-23
BIDS	
PERMITS	
FINAL	
REVISIONS	
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JOB NUMBER	23060
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SHEET NUMBER	A-1



SECOND FLOOR PLAN - BUILDING TYPE 'A'

6 - UNIT
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'A'

6 - UNIT
SCALE: 1/8" = 1'-0"



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630 BRIMINGHAM HIGHWAY
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BRIANNEEPER.COM
248.259.1784

SHEET TITLE
1st & 2nd FLOOR PLANS
BLDG. TYPE 'A' - 6 UNIT
PRELIMINARY

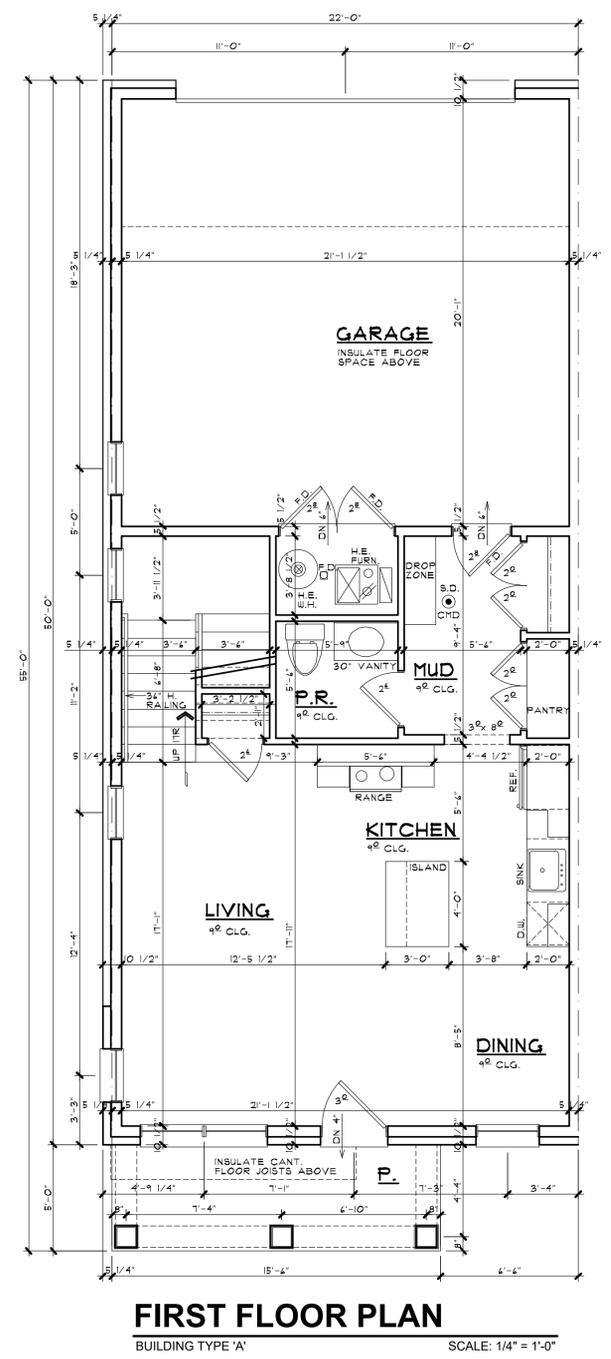
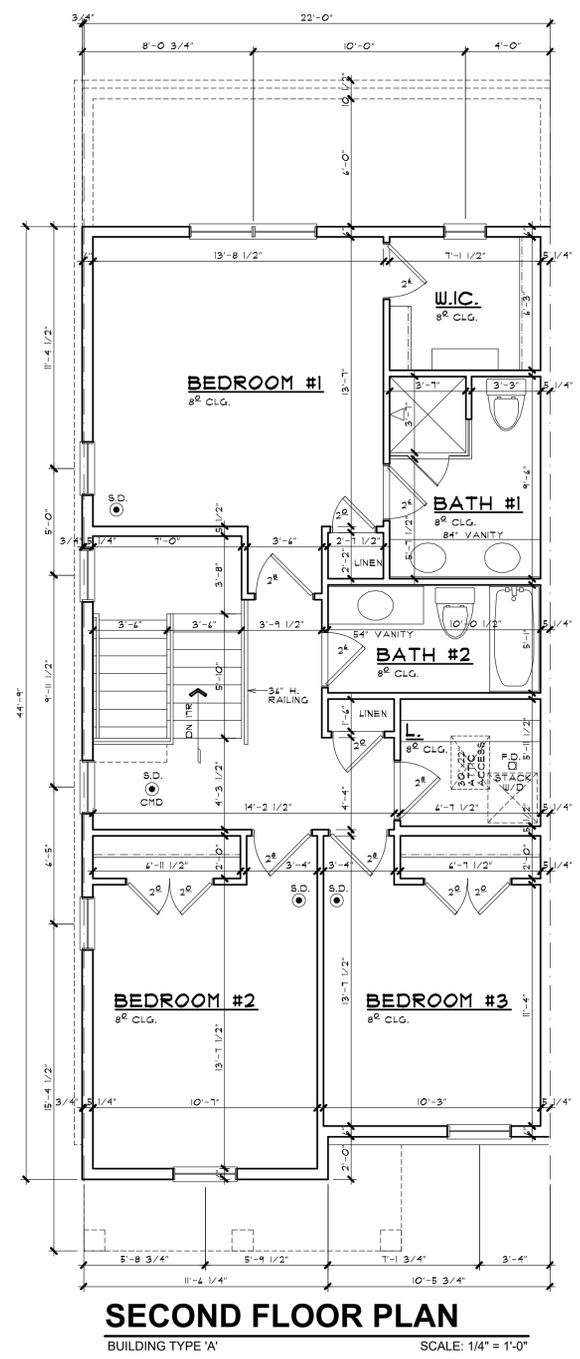
CLIENT / PROJECT
JOHN R TOWNHOME DEV.
BUILDING TYPE 'A'
TROY, MICHIGAN

PRELIMINARY	11-02-23
BIDS	
PERMITS	
FINAL	
REVISIONS	

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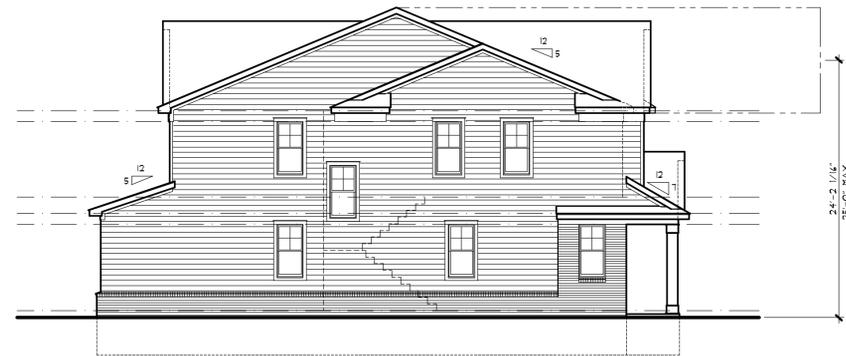
SQUARE FOOTAGE

1ST FLOOR	581 SQ FT
2ND FLOOR	964 SQ FT
TOTAL	1,545 SQ FT



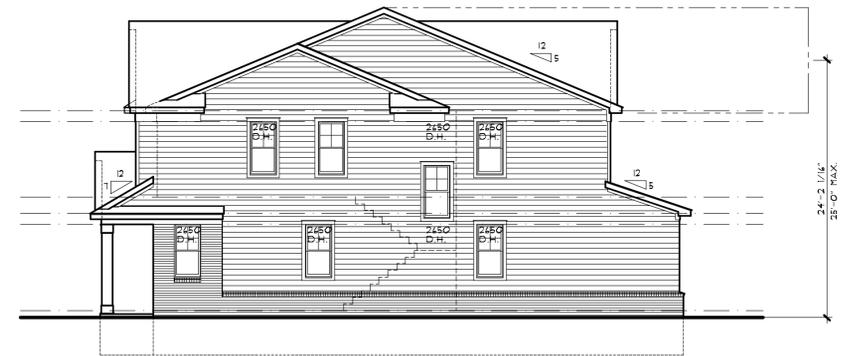
REAR ELEVATION - BUILDING TYPE 'A'

5 - UNIT
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'A'

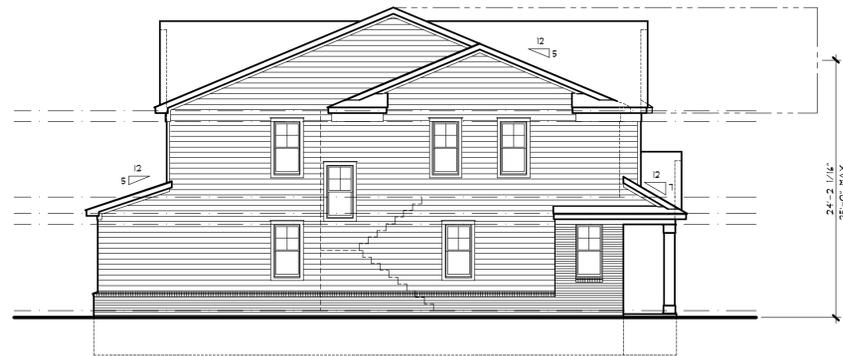
5 - UNIT
SCALE: 1/8" = 1'-0"

PRELIMINARY	11-02-23
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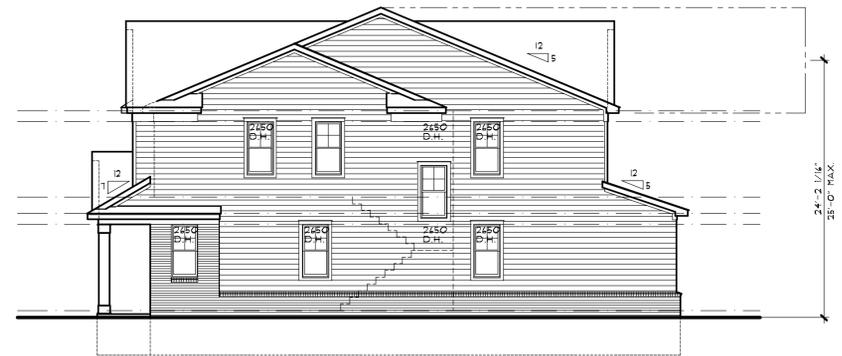
REAR ELEVATION - BUILDING TYPE 'A'

6 - UNIT
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'A'

6 - UNIT
SCALE: 1/8" = 1'-0"



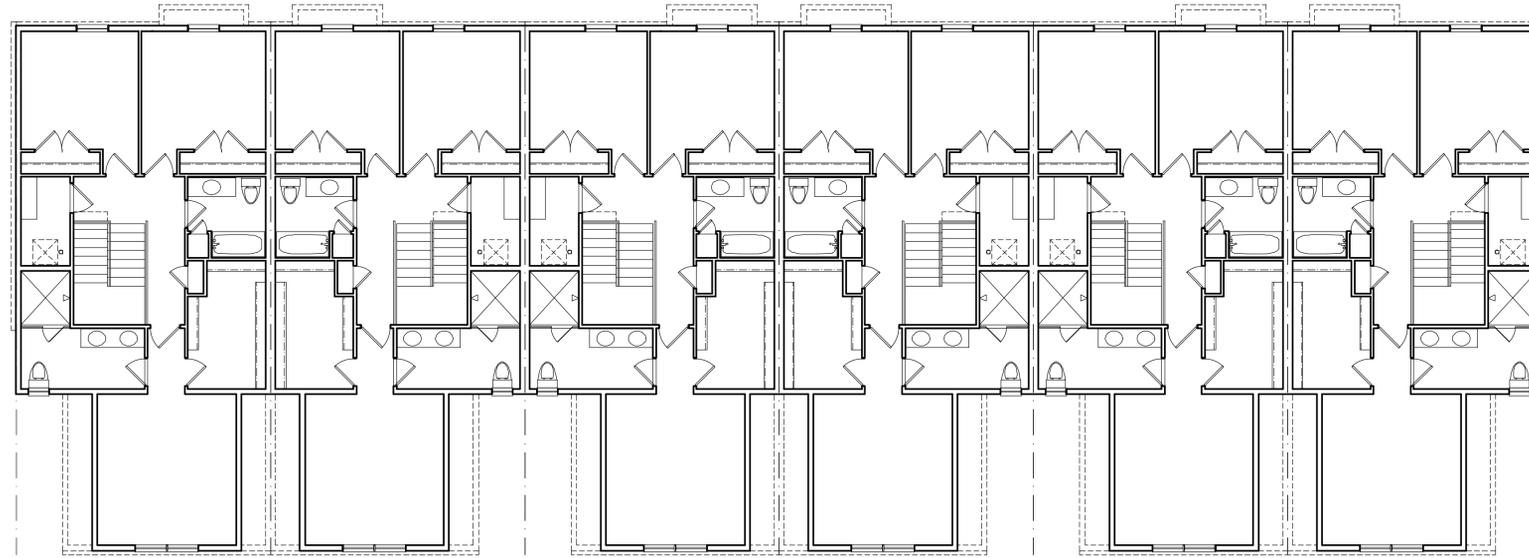
BRIAN NEEP ARCHITECTURE P.C.
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630 Woodward Hill, Suite 203
Brimley Park, Michigan
BRIANNEEP.COM
248.259.1784

SHEET TITLE
O.A. BUILDING ELEVATIONS
BUILDING TYPE 'A' 6-UNIT
PRELIMINARY

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BUILDING TYPE 'A'
TROY, MICHIGAN

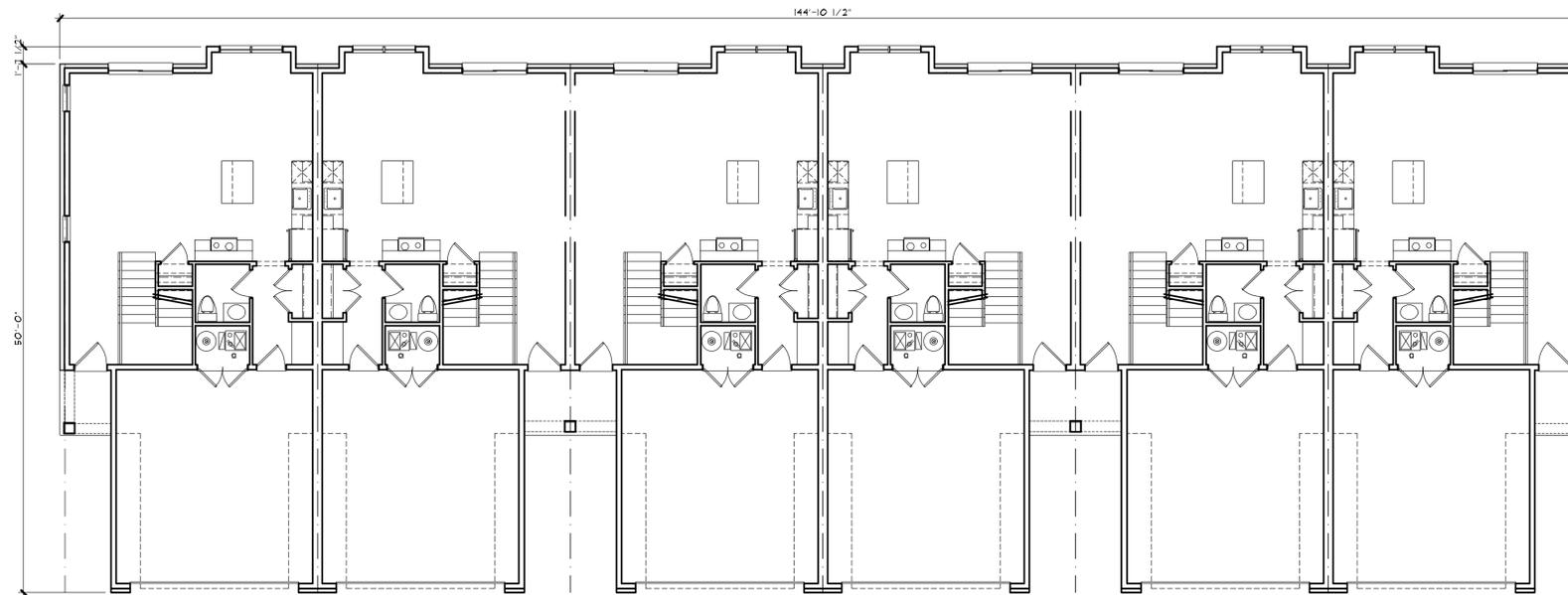
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SHEET NUMBER	

A-5



SECOND FLOOR PLAN - BUILDING TYPE 'B'

6 - UNIT
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'B'

6 - UNIT
SCALE: 1/8" = 1'-0"



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SHEET TITLE
1st & 2nd FLOOR PLANS
BLDG. TYPE 'B' - 6 UNIT
PRELIMINARY

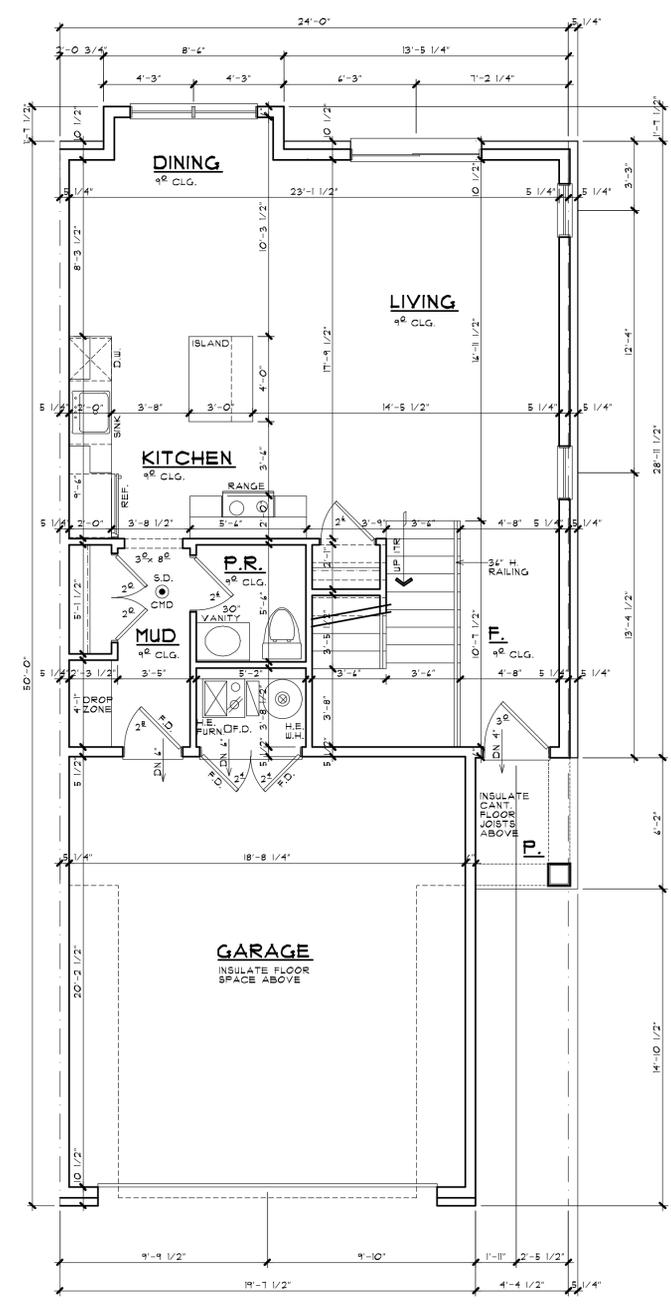
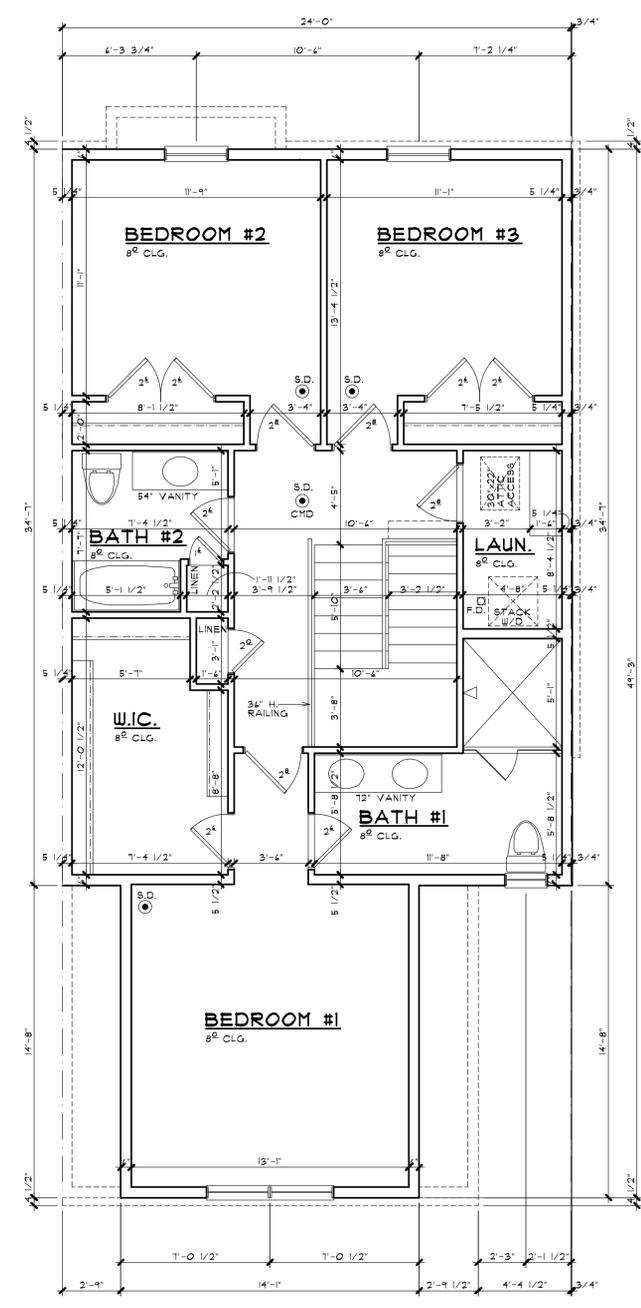
CLIENT / PROJECT
JOHN R TOWNHOME DEV.
BUILDING TYPE 'B'
TROY, MICHIGAN

PRELIMINARY	11-01-23
BIDS	
PERMITS	
FINAL	
REVISIONS	

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PRELIMINARY	11-01-23
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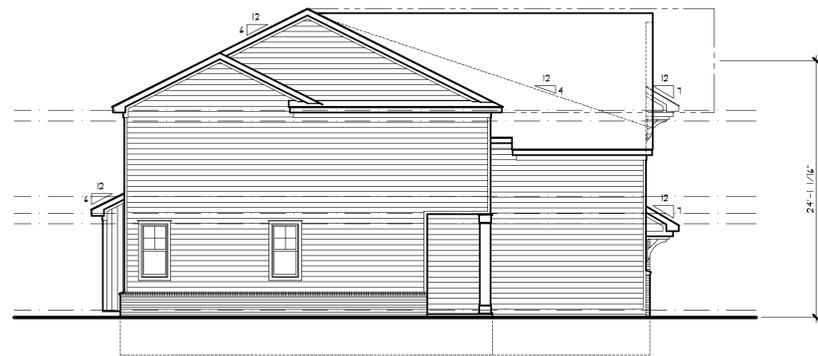
SQUARE FOOTAGE

1ST FLOOR	650 SQ FT
2ND FLOOR	1,031 SQ FT
TOTAL	1,681 SQ FT



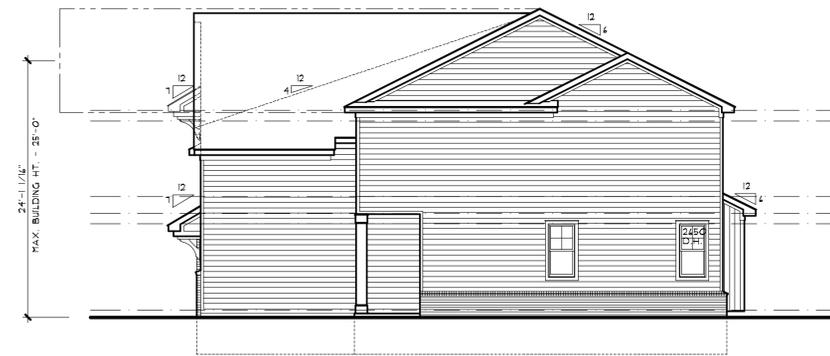
REAR ELEVATION - BUILDING TYPE 'B'

6 - UNIT
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'B'

6 - UNIT
SCALE: 1/8" = 1'-0"



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BUILDING TYPE 'B' 6-UNIT
PRELIMINARY

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JOHN R TOWNHOME DEV.
BUILDING TYPE 'B'
TROY, MICHIGAN

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500 West Big Beaver
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PLANNING COMMISSION 2023 ANNUAL REPORT

The Michigan Planning Enabling Act requires that municipal planning commissions prepare an annual written report to the legislative body concerning operations and the status of planning activities undertaken during the calendar year. In accordance, the following information has been compiled:

PLANNING COMMISSION

In 2023 the Planning Commission consisted of Dave Lambert (Chair), Marianna Perakis (Vice Chair), Toby Buechner, Carlton Faison, Tyler Fox, Michael Hutson, Tom Krent, Lakshmi Malalahalli and John Tagle.

Tyler Fox was Zoning Board of Appeals (ZBA) Representative.

The Planning Commission held 19 meetings during the year.

John Tagle and Michael Hutson served on the Sustainable Design Review Committee.

PLANNING COMMISSION TRAINING

Planning Commission members Fox, Krent and Lambert attended training sessions at the Michigan Association of Planning (MAP) Annual Conference, held in October, 2023. Planning Commission members Fox and Lambert completed the Citizen Planner course.



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PLANNING COMMISSION 2023 ANNUAL REPORT

SITE PLAN REVIEWS

The Planning Commission considered the following applications in 2023:

Project	Description	PC Action
PUD2020-0018	Concept Development Plan for Long Lake and Crooks Masterplan Development PUD, NW corner of Long Lake and Crooks, Section 8, Rezoned from O to PUD	Granted CDP Approval on 01-24
SP JPLN2022-0009	Hills West, 29-unit apartment development, East side of Crooks, South of Wattles, Section 21, Zoned NN "I".	Granted Preliminary Site Plan Approval on 01-24
SP JPLN2022-0027	Estates at Eckford (One Family Residential Cluster), South side of Eckford, West of Rochester, Section 15, Zoned R-1C	Recommended Conditional Site Plan Approval on 02-14
SP JPLN2022-0008	The Westington II, 16-unit apartment development, South of Wattles, East of Crooks, Section 21, Zoned NN "I"	Granted Preliminary Site Plan Approval on 02-14
SP JPLN2022-0025	Lange View Townhouses, 9 units, SE corner of Livernois and Leetonia, Section 15, zoned NN Neighborhood Node "H"	Granted Preliminary Site Plan Approval on 02-28
SU JPLN2022-0004	2690 Crooks Road Apartments, East side of Crooks, South of Big Beaver, Section 28, Zoned BB	Granted Special Use & Preliminary Site Plan Approval on 03-14
SP JPLN2023-0001	New Tower Troy, Office Building and Parking Deck, East side of Troy Center Drive, South of Big Beaver, 755 Big Beaver, Section 28, Zoned BB	Granted Preliminary Site Plan Approval on 05-23
SP JPLN2023-0004	Commercial Retail Building, South side of Big Beaver, East of Crooks, 911 W. Big Beaver Road, Section 28, Zoned BB	Granted Preliminary Site Plan Approval on 06-13
SP JPLN2023-0005	Commercial Retail Building, South side of Big Beaver, East of Crooks, 999 W. Big Beaver Road, Section 28, Zoned BB	Granted Preliminary Site Plan Approval on 06-13
SV JPLN2023-001	Street vacation request, West of John R and south of Larchwood, Abutting 1980 Larchwood to the west	Recommended Street Vacation for Approval 06-27
SU JPLN2023-0002	Kroger D-463 Fuel Station, West side of John R, South of Larchwood, Section 26, Zoned IB	Granted Special Use & Preliminary Site Plan Approval 06-27
SC JPLN2023-0007	Estates of Eckford Site Condominium, 22 units/lots, South side of Eckford, West of Rochester, Section 15, Zoned R-1C	Granted Preliminary Site Condominium Approval 07-11
SP JPLN2023-0014	Estates of Brook Hollow No. 2 Site Condominium, 3 units/lots, South of Lamb Road, East of Rochester, Section 14, Zoned R-1C	Granted Preliminary Site Condominium Approval on 08-08



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PLANNING COMMISSION 2023 ANNUAL REPORT

SP JPLN2023-0001	New Tower Troy Office (Building Elevations Only), East side of Troy Center Drive, South of Big Beaver, 755 Big Beaver Road, Section 28, Zoned BB	Granted Preliminary Site Plan Approval on 08-08
SU JPLN2023-0019	Clean Express Car Wash, West side of John R, North of Fourteen Mile, Section 35, Zoned GB	Granted Special Use Approval on 09-26
PUD 020 2023-0021	The Village of Hastings PUD, East side of Livernois North of Square Lake, Section 3, Currently zoned NN "Q" and R-1B	Postponed on 11-28

ZONING ORDINANCE AMENDMENTS

The Planning Commission considered the following amendment applications in 2023:

Amendment	Description	PC Action
ZOTA 257	Articles 4 & 6 related to Places of Worship	Recommended for Approval 01-10
Z JPLN2023-0016	Encore Development Rezoning, East side of Todd, South of Big Beaver, Section 29, Proposed rezoning from R-1C and P to BB	Recommended Rezoning for Approval on 09-12
Z JPLN2023-0018	Homestead Site Condominiums, East side of Livernois, North of Big Beaver, Section 22, Zoned RT	Recommended Conditional Rezoning for Approval on 09-12
CR JPLN2023-001	Jax Kar Wash, North side of Big Beaver, east of Rochester, in Section 23, Proposed rezoning from O and P to IB	Postponed Conditional Rezoning on 10-24

CITY OF TROY MASTER PLAN

The Planning Commission considered the Master Plan at the following Regular meetings in 2023:

Date	Action
04/11/2023	Presentation & Discussion of Master Plan
12/12/2023	Master Plan Draft Recommended for Approval