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## **PLANNING COMMISSION MEETING AGENDA REGULAR MEETING**

Marianna Perakis, Chair, Lakshmi Malalahalli, Vice Chair  
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,  
Dave Lambert and John J. Tagle

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**May 14, 2024**

**7:00 P.M.**

**Council Chambers**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – April 23, 2024
4. PUBLIC COMMENT – For Items Not on the Agenda

### **SPECIAL USE APPROVAL**

5. PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-0010) – Proposed Motor City Church addition and site improvements, South side of Wattles, East of Coolidge (1349 W. Wattles), Section 20, Currently Zoned R-1B (One-Family Residential) Zoning District.
6. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2021-024) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

### **PRELIMINARY SITE PLAN APPROVAL**

7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

### **OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda
9. PLANNING COMMISSION COMMENT
10. ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on April 23, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

Toby Buechner  
Carlton M. Faison  
Tyler Fox  
Michael W. Hutson  
Tom Krent  
David Lambert  
Lakshmi Malalahalli  
Marianna Perakis  
John J. Tagle

Also Present:

R. Brent Savidant, Community Development Director  
Salim Huerta Jr., Commercial Project Collaborator  
Julie Quinlan Dufrane, Assistant City Attorney  
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-04-019**

Moved by: Faison  
Support by: Fox

**RESOLVED**, To approve the as prepared.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES – April 9, 2024

**Resolution # PC-2024-04-020**

Moved by: Buechner  
Support by: Lambert

**RESOLVED**, To approve the minutes of April 9, 2024 Regular meeting as submitted.

Yes: All present (9)

**MOTION CARRIED**

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

**PRELIMINARY SITE PLAN**

5. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Savidant provided background information on the Preliminary Site Plan application for Wattles Square Apartments. He addressed the intent of the Neighborhood Node “F” zoning district, how the application relates to the Master Plan and specific site design and building design attributes. Mr. Savidant said the application proposes a first true ‘garden style’ building concept where a portion of the ground floor is below grade. He said there was extensive dialogue between the administration and the applicant on building height, what constitutes a story and the Zoning Ordinance definition of a basement.

Mr. Savidant asked to go on record with an apology to the Planning Commission and to the applicant for some errors in the Planning Consultant report dated April 12, 2024. He stated the application itself is more compliant than what the report narrates. Mr. Savidant noted the application meets all parking requirements with an exception of adding a bicycle rack. He reported the parking lot island trees and tree replacement are compliant. Mr. Savidant noted the one row of landscaping proposed on the north side of the site would have to be removed for future right of way purposes.

Mr. Savidant reported the application does not meet the transparency requirements on the Wattles frontage and east and south facades. He noted though transparency requirements relate more to commercial use than residential use. He said the applicant is seeking Planning Commission approval to incorporate transparency alternatives, and the Planning Commission has the authority to grant flexibility of the transparency requirements. Mr. Savidant also reported there are safety concerns with the head-clearance of the first floor balconies and the lower level units below grade.

Mr. Savidant asked the Planning Commission to consider in its deliberations the following:

- Does the Planning Commission support the proposed transparency alternatives?
- Does the proposed garden level apartment style meet the Neighborhood Node design requirements?
- Does the Planning Commission support the proposed floor plans (including the community building), elevations and balcony clearance?

In summary, Mr. Savidant asked any approval to be subject to the applicant providing the required bicycle rack and to confirm transparency requirements (30%) on the south and east sides of the buildings. He said the Planning Commission may approve the transparency alternatives for the north elevation.

Some of the comments during discussion among the administration related to:

- Transparency requirements on all facades.
- Design and transparency requirements of front elevation in relation to right of way.
- Horizontal mixed use complies with the Neighborhood Node zoning district.
- Neighborhood Node zoning requirements with future adoption of the Master Plan.
- Safety concerns of balcony head-clearance and lower level units below grade.
- Confirmation that a flat roof is proposed for both buildings.
- Compliance of landscape requirements on north side with removal of landscaping along right of way.

Chair Perakis called a recess at 7:30 p.m. to allow the Information Technology department to resolve audio issues. Chair Perakis called the meeting back in session at 7:40 p.m.

Richard Atto, property owner of subject site and Rite Aid property to the west, introduced family members in the audience and project team members business partner Brian Najor, Landscape Architect Stacey Hadeed and Project Engineer Greg Bono. Mr. Atto gave a brief history of his family background and real estate/development career. He identified several design aspects he feels would be desirous of a potential resident that are incorporated in the development.

Mr. Atto said his short-term goal is to obtain a tenant for the vacant Rite Aid store and a long-term goal would be to potentially expand the development given any future changes in the Neighborhood Node zoning district.

Ms. Hadeed distributed handouts to the Planning Commission and gave a brief history of her career path. She addressed in detail the proposed development as relates to living units, building height and stories, landscaping, parking, traffic circulation, three dimensional views from several directional perspectives, roof design, elevations, outdoor amenities, transparency calculations, site design attributes, building materials and color scheme.

There was discussion, some comments related to:

- Parking, as relates to Rite Aid existing spaces, designated spaces for residents, walking distance to residential units.
- Proposed garden style units as relates to creativity, urban look, massing, unique design, low profile.
- Examples of similar apartment styles in the City with below grade lower level units.
- Community center amenities, as relates to arrangement of work-out area and social gathering space.
- Options to mitigate safety concerns of below grade lower level units and head-clearance of balconies.
- Transparency requirements; measures applicant could apply to meet requirements, consideration of alternative options.

- Approval of application would be conditioned on applicant combining the parcels, as noted on the site plan.
- Nonconforming status of vacant Rite Aid building as relates to Neighborhood Node zoning district if demolished and/or renovated.

Mr. Hutson stated he does not support the application because of the proposed below grade lower level units and floor plans.

Chair Perakis opened the floor for public comment.

- Susan Kuhn, 2172 E Wattles; addressed existing swampy land near Wayfarer Street connection to new homes on John R, parking, management of apartment complex.

Chair Perakis closed the floor for public comment.

Discussion continued among Board members on options applicant could take to mitigate safety concerns of the balconies, to mitigate safety concerns and install egress windows on below grade lower level units, to reconfigure floor space in the community center and to meet transparency requirements.

Mr. Najor said finding a good tenant to lease the Rite Aid property is a step in the right direction. He addressed the subjectivity of transparency requirements for residential use compared to commercial use. Mr. Najor said they will work with the City to mitigate any concerns discussed this evening and meet all code requirements for the egress windows and balconies to assure compliance.

**Resolution # PC-2024-04-021**

Moved by: Lambert

Seconded by: Faison

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District be postponed, for the following reasons:

1. To increase transparency on all sides of the units.
2. To address appropriate concerns on the first level balconies and lower level egress areas.
3. Add a bicycle rack.

Yes: All present (9)

**MOTION CARRIED**

Mr. Savidant informed the applicant of the specific transparency requirements for each elevation.

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## OTHER ITEMS

6. PUBLIC COMMENT – For Items on the Agenda

There was no one present who wished to speak.

7. PLANNING COMMISSION COMMENT

There were general Planning Commission comments, some comments related to:

- Master Plan focus; parking, neighborhood node districts, North Troy zoning district.
- Potential future development of former K-Mart Headquarters site.
- Availability of Commissioners to attend May 28, 2024 Regular meeting.

8. ADJOURN

The Regular meeting of the Planning Commission adjourned at 9:25 p.m.

Respectfully submitted,

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Marianna J. Perakis, Chair

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Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2024/2024 04 23 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2024/2024%2004%2023%20Draft.docx)

**ITEM #5**

DATE: May 9, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-0010) – Proposed Motor City Church addition and site improvements, South side of Wattles, East of Coolidge (1349 W. Wattles), Section 20, Currently zoned R-1B (One-Family Residential) Zoning District.

The petitioner Pastor Dave Martin of Motor City Church submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a church addition and other site improvements.

Places of worship are permitted in the R-1B district, subject to special use approval.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Special Use/Preliminary Site Plan application

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**PROPOSED RESOLUTION**

PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-0010) – Proposed Motor City Church addition and site improvements, South side of Wattles, East of Coolidge (1349 W. Wattles), Section 20, Currently zoned R-1B (One-Family Residential) Zoning District.

**Resolution # PC-2024-05-**

Moved by:

Seconded by:

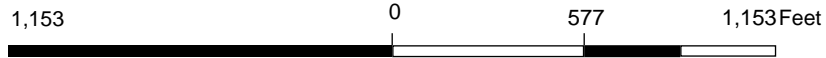
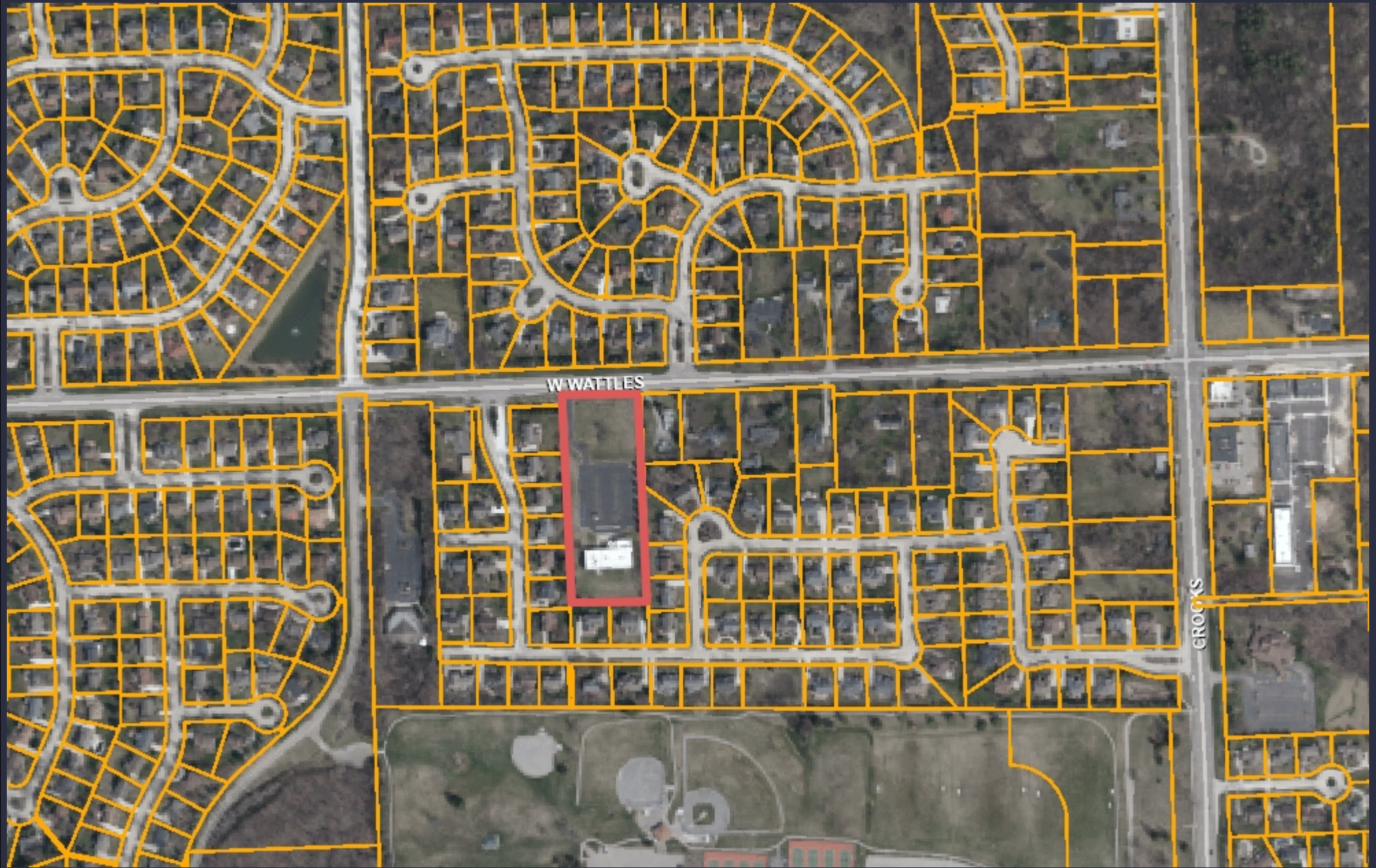
**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed church addition and other site improvements, South side of Wattles, East of Coolidge (1349 W. Wattles), Section 20, Currently Zoned R-1B (One Family Residential) District, be (granted, subject to the following conditions):

1. Planning Commission review of excess parking.
2. Planning Commission review of 1 parking lot tree along lot perimeter.

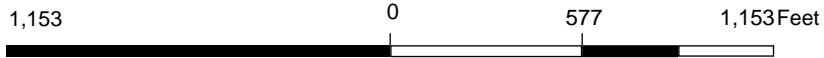
\_\_\_\_\_ ) or  
 (denied, for the following reasons: \_\_\_\_\_) or  
 (postponed, for the following reasons: \_\_\_\_\_)

Yes:  
 No:  
 Absent:

**MOTION CARRIED / FAILED**



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 30, 2024  
May 7, 2024

## **Preliminary Site Plan and Special Use Review For City of Troy, Michigan**

<b>Applicant:</b>	John Tagle Associates, Inc.
<b>Project Name:</b>	Motor City Church
<b>Plan Date:</b>	April 16, 2024
<b>Location:</b>	1349 W Wattles Road
<b>Zoning:</b>	R1-B, One-Family Residential
<b>Action Requested:</b>	Preliminary Site Plan and Special Use Approval

### **PROJECT AND SITE DESCRIPTION**

An application has been submitted to renovate and expand an existing church on Wattles Road. The subject site is 3.84 acres and currently contains a two-story church, parking lot, detention basin, and open space. Both the church and the parking lot shall expand north towards Wattles Road. The building footprint of the church will increase from an existing 11,260 square feet to 19,900 square feet. The total area of the new church is 32,545 square feet.

The site is currently zoned R1-B, One-Family Residential, in which Places of Worship require Special Use Approval.

Location of Subject Site:



Size of Subject Site:

3.84 acres.

Proposed Uses of Subject Site:

Renovation and expansion of existing church.

Current Zoning:

R1-B, One-Family Residential.

Surrounding Property Details:

Direction	Zoning	Use
North	R1-B, One-Family Residential	Single family residences
South	R1-B, One-Family Residential	Single family residences
East	R1-B, One-Family Residential	Single family residences
West	R1-B, One-Family Residential	Single family residences

**NATURAL FEATURES**

**Topography:** Roughly half of the site has been graded for previous development and impervious coverage is concentrated in the center of the site. The northern portion of the site is relatively flat, currently covered in grass and sparse trees. The southern portion of the site slopes roughly 10 feet lower in elevation than the northern portion. An existing detention basin lies in this area.

**Wetlands:** No wetlands have been identified and the site does not lie in a floodplain.

**Woodlands:** A tree preservation plan provided by the applicant identifies thirty-one (31) existing trees on site. Of those identified, 13 are Woodland trees and 7 are Landmark trees. The remainder are either invasive species or in poor condition, and shall be removed by the applicant. Tree replacement details are outlined in the table below.

Replacement Details		
Protected Tree	Inches Removed	Replacement Required
Landmark	12 inches	12 inches
Woodland	26 inches	13 inches
Preservation/Mitigation	Inches Preserved	Credit
Landmark	55 inches	110 inches
Woodland	153 inches	306 inches
<b>Total</b>	<b>None.</b>	

**Items to be Addressed:** None.

**SITE AND BUILDING ARRANGEMENT**

The subject site is 3.84 acres with frontage on Wattles Road. As a vacant church currently exists on-site, the applicant intends to renovate/expand the church and extend the development north towards Wattles.

In its current state, the north end of the site is covered with grass and sparse trees. The existing parking lot and vacant church are located in the center, and a large detention basin is located in the site’s rear (south end). The applicant proposes to expand the existing parking lot to the north to accommodate roughly forty-five (45) additional parking spaces. The vacant church shall expand from a footprint of 11,260 square feet to a footprint of 19,900 square feet. Most of the expansion will occur on the building’s north elevation/front façade, while a smaller expansion will occur on the building’s east elevation. The total area of the new church is 32,545 square feet.

The existing detention basin in the rear of the site shall remain. Although, an outdoor play area shall be erected between the building rear and the detention basin, and a new patio shall be erected along the front façade.

The applicant proposes to remove the existing driveway access in the far northwest corner and create a new driveway closer to the center of the front lot line. A pedestrian sidewalk is proposed along Wattles with direct connection onto the subject site and up to the church entrance. Landscaping is provided along Wattles, as well as within and around the parking lot.

**Items to be Addressed: None.**

**AREA, WIDTH, HEIGHT, SETBACKS**

The site is regulated by dimensional standards of the R-1B Zoning District:

	Required	Provided	Compliance
Front (north)	40 feet	404 feet	Complies
Side (east, west)	10 feet	30 feet (east) 15 feet (west)	Complies
Rear (south)	45 feet	100 feet	Complies
Lot Area Covered By Buildings	30% Maximum	12%	Complies
Building Height	2.5 stories, 30 feet	2 stories, 30 feet	Complies

**Items to be Addressed: None.**

**SITE ACCESS AND CIRCULATION**

Vehicular Access and Circulation:

The applicant intends to expand the existing parking lot and relocate the driveway access point. In general, the arrangement of the parking lot remains largely the same and features two-way traffic. Driveway access shall be relocated from the northwest corner of the site to the center of

the north lot line. The new driveway shall contain an entrance lane, left exit lane, and right exit lane.

In addition, the applicant proposes to add a deceleration lane with corresponding restriping on Wattles Road. We note that Wattles is a road with local jurisdiction. The Engineering Department shall review the applicant’s proposal to widen and restripe Wattles Road.

**Pedestrian Access:**

The applicant proposes an 8-foot wide sidewalk along the north lot line. It appears that this sidewalk will connect to an existing sidewalk to the west and conclude at the east end of the site, as there is no existing sidewalk to the east. An additional 6-foot wide sidewalk extends from the sidewalk along Wattles onto the subject site, providing pedestrian access to the main building.

***Items to be Addressed: None.***

**PARKING**

Places of Worship require the following types of parking:

	Required	Provided	Compliance
<u>Places of Worship:</u> 1 space for each 3 seats or 6 feet of pews in the main unit of worship	364 seats/3= 121 spaces	160 Spaces	Planning Commission Review
Barrier Free	6	6	Complies
Bicycle Parking	2	Bike Rack	Complies
Loading	1	0	See Below

**Number of Parking Spaces:**

The subject site is required to have 121 parking spaces; the applicant has exceeded this requirement with a total of 160 proposed parking spaces. The applicant explains that excess parking is intended to accommodate 35 additional occupants, such as volunteers, musicians, A/V staff, etc.

Section 13.06(F)(3) states that exceeding the minimum parking space requirements by more than 20% shall only be allowed with approval by the City. In granting such additional space, the City shall determine that such parking will be required, based on documented evidence, to accommodate the use on a typical day.

***Items to be Addressed: Planning Commission review of excess parking.***



**LANDSCAPING**

A Place of Worship at the subject site shall require the following types of landscaping:

	Required	Provided	Compliance
<u>Greenbelt (Wattles):</u> One deciduous tree per 30 lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	251.7/30= 8 trees	8 trees	Complies
<u>Parking Lot:</u> 1 tree per 8 parking spaces. Trees may be located along parking lot perimeter with Planning Commission approval.	160 spaces/8= 20 trees	20 trees: 19 trees within parking lot and 1 trees along lot perimeter	Pending Planning Commission Review
<u>Screening Between Uses:</u> 1 narrow evergreen tree per 3 lineal feet <b>OR</b> 1 large evergreen tree per 10 lineal feet	<b>East:</b> 138 LF/3= 46 narrow trees  <b>West:</b> 120/10= 12 large trees	<b>East:</b> 138 LF/3= 46 narrow trees  <b>West:</b> 120/10= 12 large trees	Complies
<u>Overall Site:</u> A minimum of 20% of the site area shall be comprised of landscape material.	20%	37.7%	Complies

The Planning Commission may approve parking lot landscaping along the lot perimeter in situations where landscaping within parking lots would be impractical due to the size of the parking lot, detrimental to safe and efficient traffic flow, or would create an unreasonable burden for maintenance and snowplowing, provided all other landscaping requirements are met.

At the time of initial construction of the original church and parking lot, there was no screening requirement; however, the applicant is adding building and parking lot landscaping to soften the existing building and parking lot. Table 5.03-A-1 identifies Places of Worship as institutions under “Use Group 3” and the surrounding residential properties as “Use Group 1.” Table 13.02-A outlines the two (2) options for screening between these use groups. The applicant has provided the required landscape screening along the new parking lot addition.

Mechanical Equipment:

Mechanical equipment is shown on the roof of the 2-story addition. The mechanical equipment shall be screened with architectural materials matching or harmonious with the building.

Trash Enclosure:

Materials for a trash enclosure have been provided and include wood panels, burnished masonry blocks, galvanized posts, and a limestone cap. The enclosure measures over 6 feet tall.

**Items to be Addressed:** *Planning Commission review of 1 parking lot tree along lot perimeter.*

## PHOTOMETRICS

Proposed lighting levels and light fixtures are compliant with Ordinance standards.

**Items to be Addressed:** *None.*

## FLOOR PLANS AND ELEVATIONS

Floor Plans:

### **First Floor**

#### *Existing Building Area*

On the first floor, the existing building area shall be renovated with a new “sanctuary” room, which contains 362 seats on the main floor, plus a platform area, two (2) ramps, and a sound booth. Directly attached to the sanctuary room are the lobby, two (2) storage rooms, one (1) Usher’s room, and a rear exit vestibule. The first floor of the existing building area also features one (1) greenroom, one (1) meeting room, one (1) break room, three (3) restrooms, one (1) elevator, and two (2) staircases.

#### *North Addition*

The first floor of the north addition features a new vestibule, lobby, room for belongings, and staircase upon entry. Near the entrance there is also a new coffee bar, janitor’s room, and three (3) restrooms. Down the corridor, there is a kids check-in counter and separate rooms for children according to age group. There is one (1) nursery, one (1) room for kids aged 3-5, one (1) room for kids aged 6-11, and one (1) room for the “dream team.” We note that the room for kids aged 6-11 features a movable wall that allows the room to split in half. Lastly, this area of the building includes three (3) storage rooms, one (1) restroom, and one (1) staircase.

#### *East Addition*

The east addition contains a storage area and a set of stairs. The stairs lead up to a 390 square foot mezzanine.

### **Second Floor**

#### *Existing Building Area*

On the second floor, renovations of the existing building area include a new administration room, corridor, and janitor’s closet. The existing mechanical and electrical room, storage room,

elevator, and two (2) staircases in this area shall remain. The second floor does not appear to extend above the sanctuary room.

*North Addition*

The second floor of the north addition features two (2) activity rooms, one (1) youth area, one (1) storage room, one (1) meeting room, two (2) restrooms, corridors, and two (2) staircases connecting to the first floor.

*East Addition*

The east addition does not extend to the second floor.

Exterior “Additions”:

In addition to the interior renovation, the applicant proposes a couple of new elements to the building exterior. First, a new 1,300 square foot concrete patio is proposed on the northeast side of the front façade. Second, a new 1,200 square foot outdoor play area is proposed behind the building (south side). The play area shall be fenced in with a 4-foot high chainlink fence with privacy slats.

Elevations:

At its peak, the building measures 30 feet in height.

Building Materials:

The building exterior features metal panels and metal siding, including wood-pattern metal siding. Other materials include glass windows with aluminum frames, steel structural columns, EIFS, metal overhead doors, and metal canopies. Primary colors used for the building exterior are white, black, and orange. Colored renderings were provided and can be reviewed by the Planning Commission.

***Items to be Addressed: None.***

**SPECIAL USE APPROVAL STANDARDS**

Table 5.06.C-1 illustrates that auto/transportation uses are considered a special use for Neighborhood Nodes Site Type NN:A.

For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.” Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses.*
2. *Compatibility with the Master Plan.*
3. *Traffic Impact.*
4. *Impact on Public Services.*
5. *Compliance with Zoning Ordinance Standards.*
6. *Impact on the Overall Environment. The proposed Special Use shall no*
7. *Special Use Approval Specific Requirements.*

## DESIGN STANDARDS AND SITE PLAN REVIEW STANDARDS

### Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility with existing commercial districts and provide a transition between land uses.*
  - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
  - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
  - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
  - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
  - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
  - c. *Develop buildings with creativity that includes balanced compositions and forms.*
  - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
  - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
  - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
  - a. *Provide elements that define the street and the pedestrian realm.*
  - b. *Create a connection between the public right of way and ground floor activities.*

- c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
- d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
- e. *Improve safety for pedestrians through site design measures.*

## RECOMMENDATION

The Planning Commission is asked to hold a public hearing and consider public testimony.

If the Planning Commission approves the Special Use and Preliminary Site Plan, we recommend the following conditions to be addressed as part of the final site plan:

- 1. *Planning Commission review of excess parking.*
- 2. *Planning Commission review of 1 parking lot tree along lot perimeter.*

Respectfully,

  
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**CARLISLE/WORTMAN ASSOC., INC.**  
Benjamin R. Carlisle, AICP, LEED AP  
President

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
Shana Kot  
Community Planner

# MOTOR CITY CHURCH

## SITE PLAN REVIEW & SPECIAL USE

1349 W. WATTLES RD.  
TROY, MI 48098

### DRAWING INDEX:

#### ARCHITECTURAL

##### COVER SHEET

- A-060 ARCHITECTURAL SITE PLAN
- A-200 MASTER PLAN FIRST FLOOR PLAN
- A-201 MASTER PLAN LOWER LEVEL AND 2ND FLOOR PLANS
- A-205 MASTER PLAN EXTERIOR ELEVATIONS
- A-300 PHASE 1 FLOOR PLANS
- A-305 PHASE 1 EXTERIOR ELEVATIONS

#### CIVIL

- P-1 TOPOGRAPHIC SURVEY
- P-2 PRELIMINARY SITE PLAN
- P-2.1 PRELIMINARY WATTLES STRIPING PLAN
- P-3 PRELIMINARY GRADING PLAN
- P-4 PRELIMINARY UTILITY PLAN

#### LANDSCAPE

- L-1 PRELIMINARY LANDSCAPE PLAN
- L-2 LANDSCAPE DETAILS
- T-1 TREE PRESERVATION PLAN

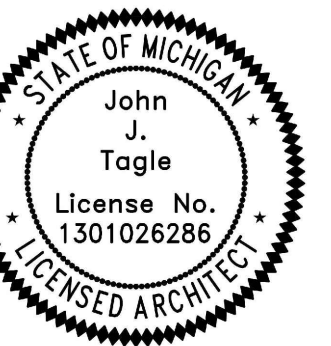
#### SUPPLEMENTAL INFORMATION

- SITE LIGHTING PHOTOMETRIC PLAN
- MASTER PLAN RENDERINGS
- PHASE 1 RENDERINGS

JTAI

JOHN TAGLE ASSOCIATES, INC.  
ARCHITECTS & PLANNERS

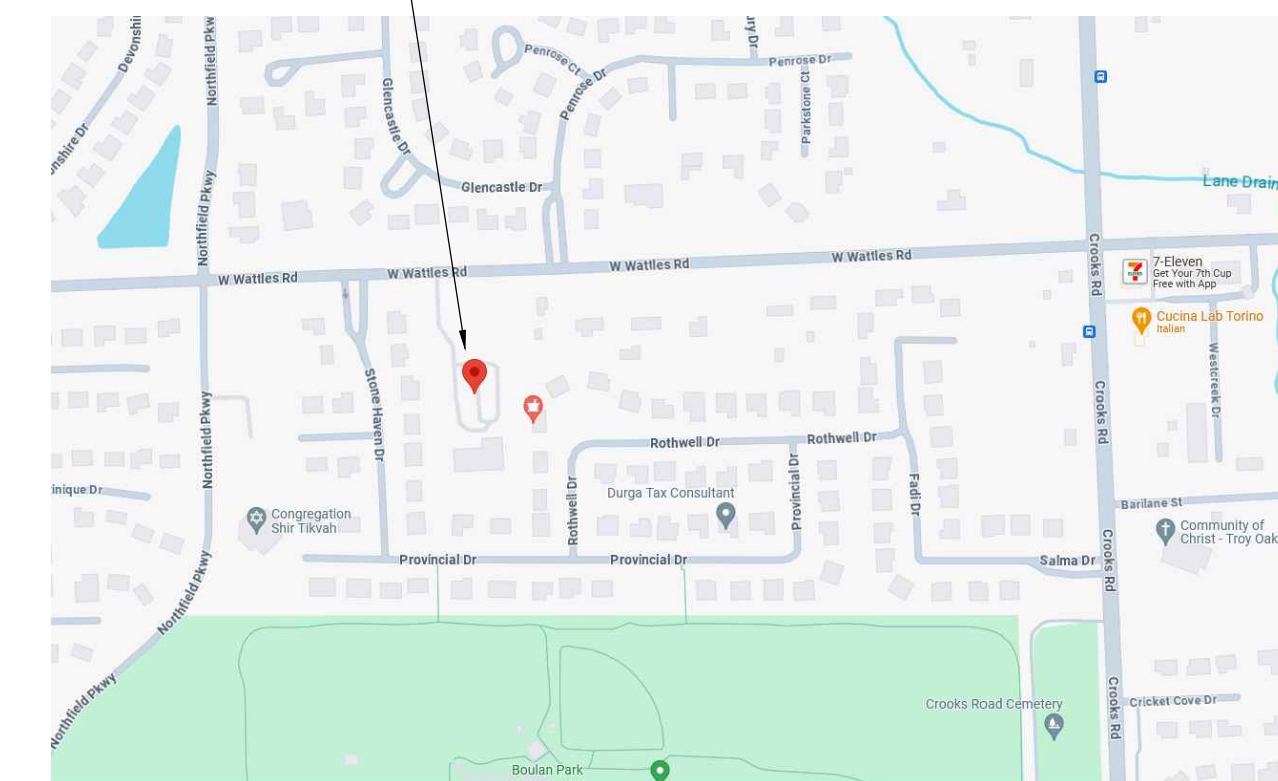
309 N Main Street, Suite 213  
Royal Oak, Michigan 48067  
248-542-0400  
www.jtai.net



PEA, INC.  
CIVIL ENGINEERS  
2430 ROCHESTER CT., STE. 100  
TROY, MI 48063  
Tel: 248 689-9090

PEA, INC.  
LANDSCAPE ARCHITECTS  
7927 NEMCO WAY, STE. 115  
BRIGHTON, MI 48116  
Tel: 517 546-8583

PROPERTY LOCATION  
1349 W. WATTLES RD



LOCATION MAP

NOT TO SCALE



NORTH



Know what's below.  
Call before you dig.  
(WAIT 3 WORKING DAYS FOR UTILITIES TO BE MARKED)

JTAI JOB NO.

23.37

SPR/SU  
SUBMITTAL REV.  
05/07/24

COVER SHEET



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PROJECT:  
**MOTOR CITY CHURCH**

INTERIOR RENOVATION AND ADDITIONS

1349 W WATTLES ROAD  
 TROY, MI 48098

SHEET:  
**MASTER PLAN - FIRST FLOOR PLAN**

ISSUE / REVISION:

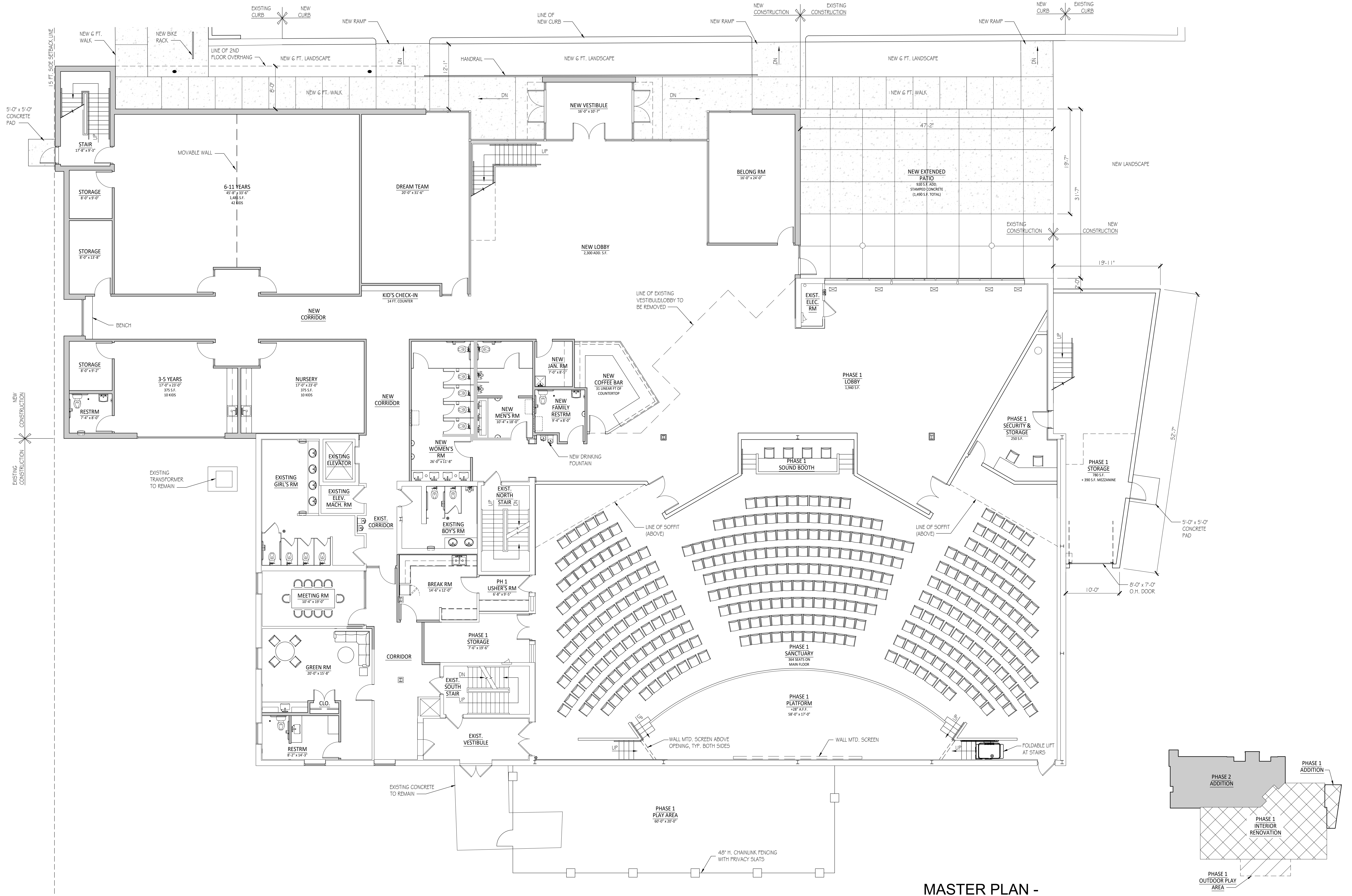
SPR/SU SUBMITTAL	04/15/24
SPR/SU REVISED	05/07/24

DRAWN BY:  
 MPS

REVIEWED BY:  
 JT

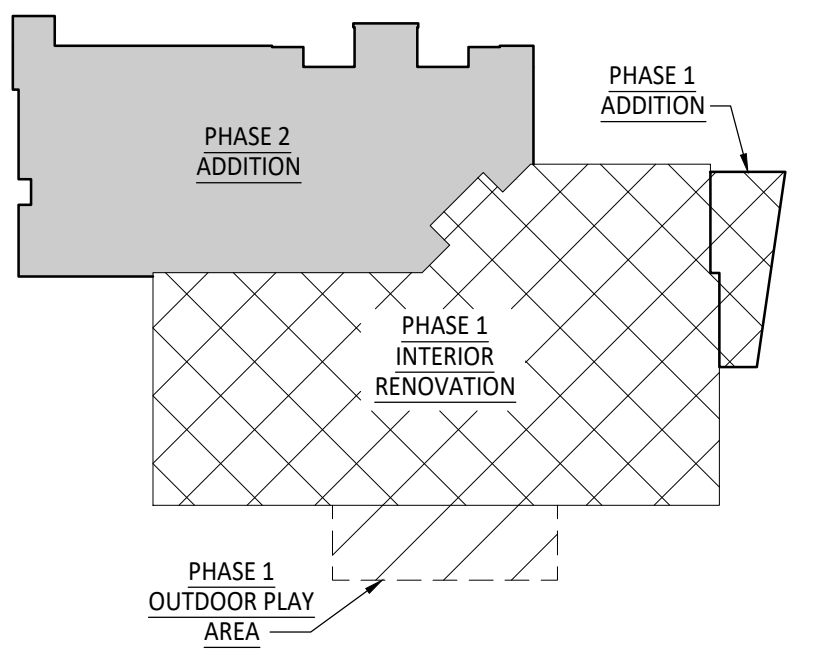
JTAI FILE NO.  
 23.37  
 DRAWING NO.

**A-200**



**MASTER PLAN - FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**PHASING PLAN**  
 N.T.S.



1349W23.37 - MCC 1st Flr Plan - 05/07/24 - 10:52 AM



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PROJECT:

**MOTOR CITY CHURCH**

**INTERIOR RENOVATION AND ADDITIONS**

1349 W WATTLES ROAD  
TROY, MI 48098

SHEET:

**MASTER PLAN - SECOND FLOOR PLAN**

ISSUE / REVISION:

SPR/SU SUBMITTAL 04/15/24

SPR/SU REVISED 05/07/24

DRAWN BY:

MPS

REVIEWED BY:

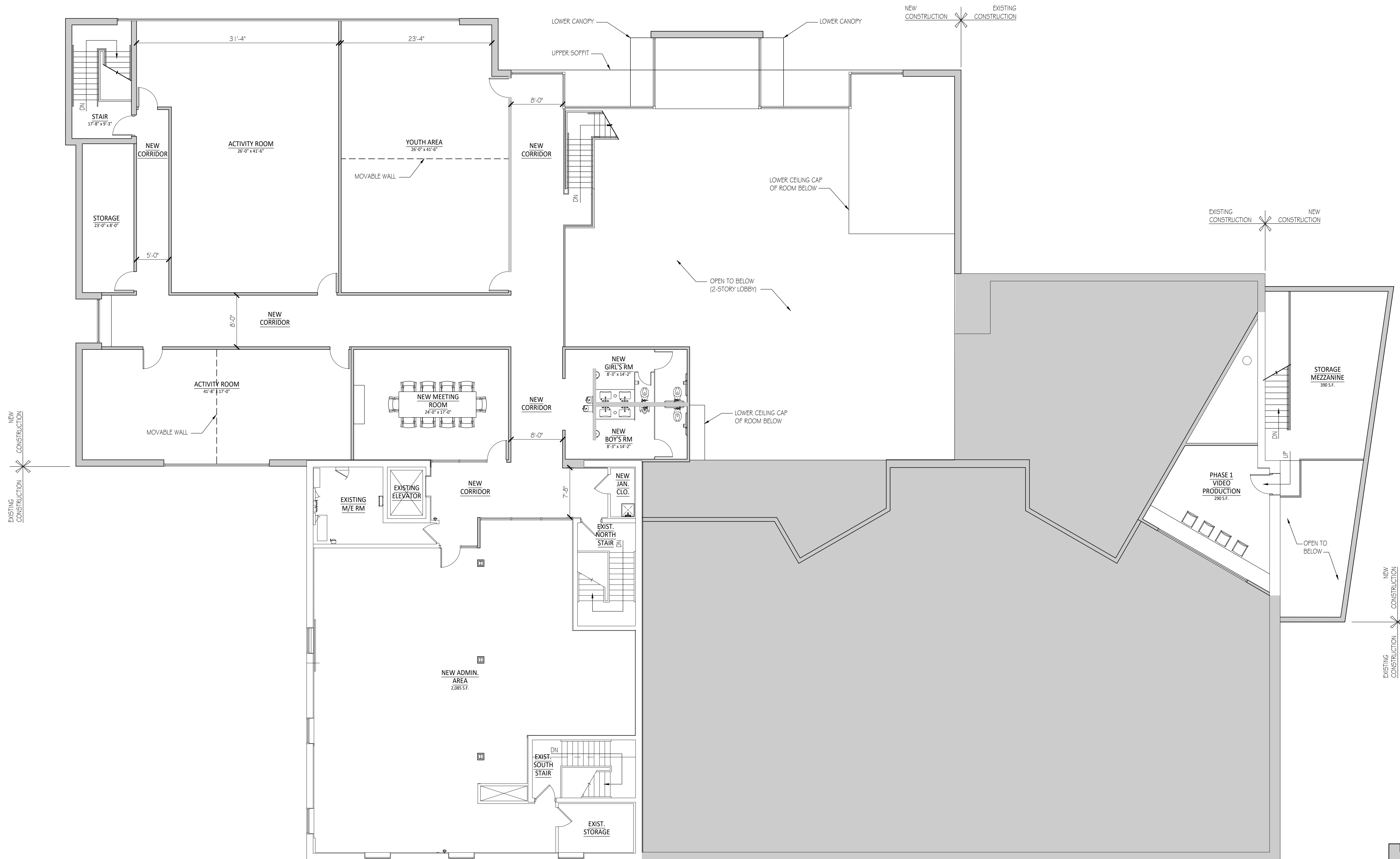
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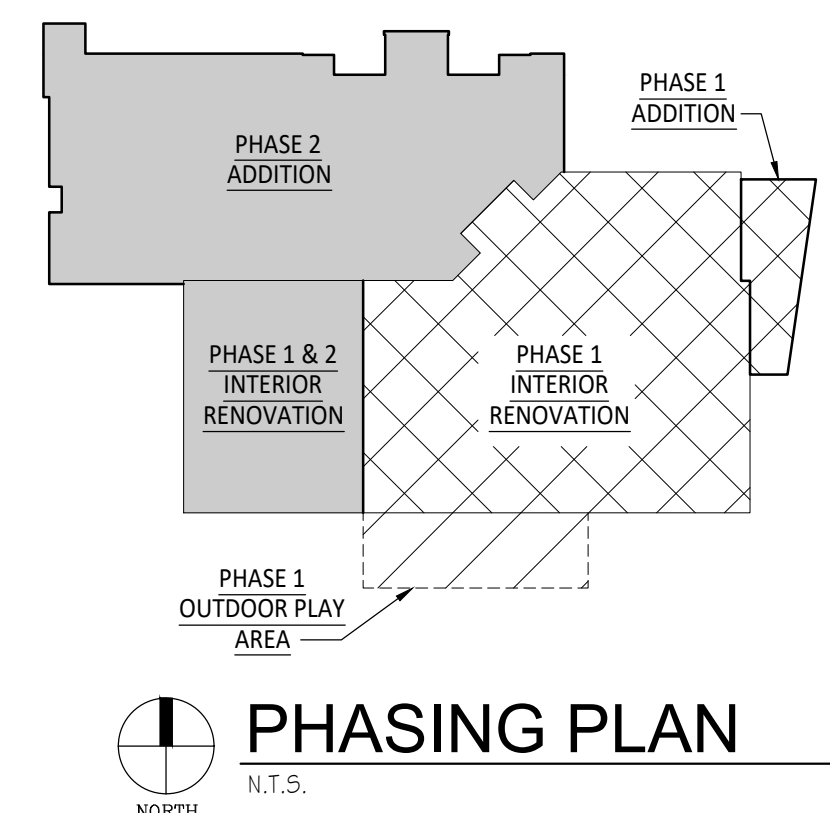
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DRAWING NO.

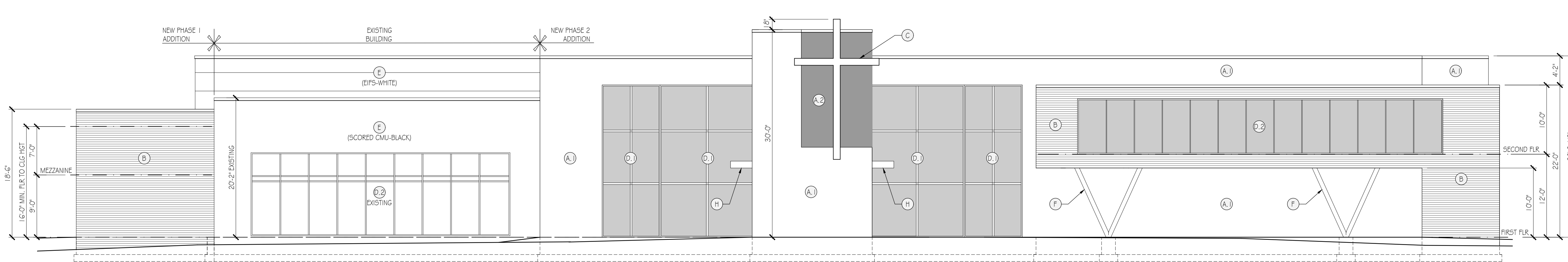
**A-201**



**MASTER PLAN - SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
NORTH



**PHASING PLAN**  
N.T.S.  
NORTH

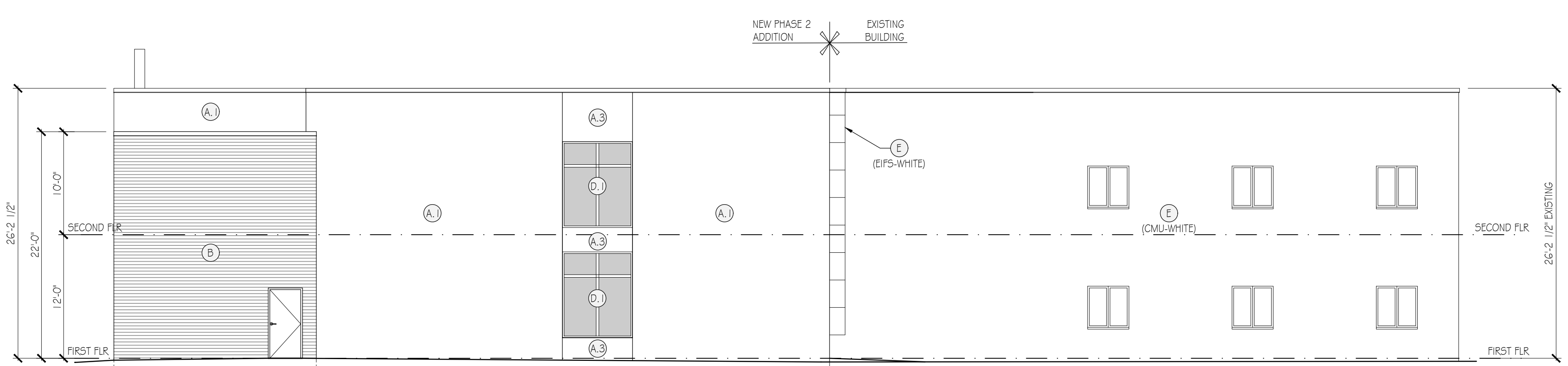


MATERIAL LEGEND	
A1	METAL PANEL (WHITE)
A2	METAL PANEL (BLACK)
A3	METAL PANEL (ORANGE)
B	HORIZONTAL METAL SIDING (BLACK)
C	METAL CROSS (W/BACKLIT LIGHTING)
D1	CURTAIN WALL SYSTEM W/1" CLEAR INSULATED GLASS IN BLACK ANODIZED ALUMINUM FRAMES.
D2	CURTAIN WALL SYSTEM W/1" CLEAR INSULATED GLASS IN CLEAR ANODIZED ALUMINUM FRAMES.
E	EXISTING BUILDING FACADE (TO BE PAINTED)
F	STEEL STRUCTURAL COLUMNS (ORANGE)
G	OVERHEAD DOOR (METAL)
H	METAL CANOPY (ORANGE)

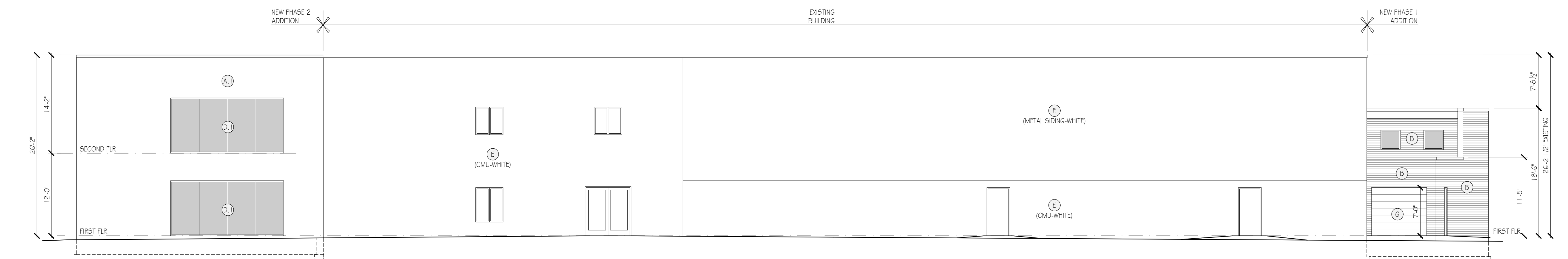
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 JOHN TAGLE ASSOCIATES, INC.  
 ARCHITECTS & PLANNERS  
 300 N. Main Street, Suite 213  
 Royal Oak, MI 48067-1810  
 248-342-9400  
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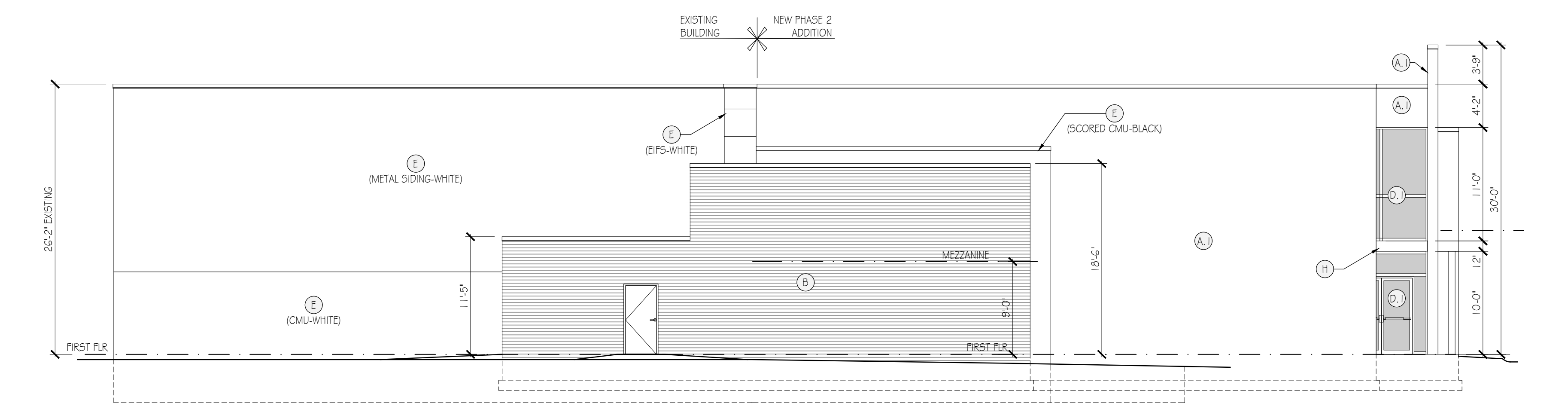
**MASTER PLAN - NORTH EXTERIOR ELEVATION**  
 01 A-300 SCALE: 1/8" = 1'-0"



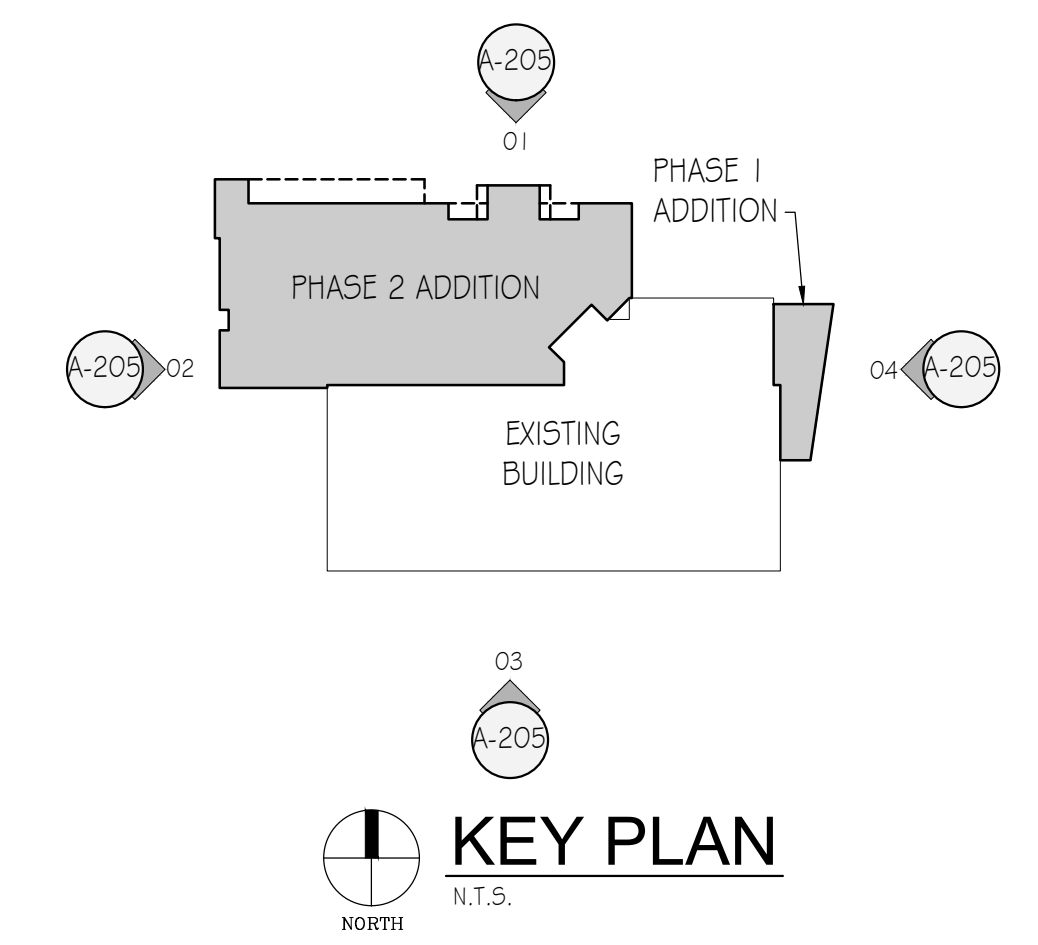
**MASTER PLAN - EAST EXTERIOR ELEVATION**  
 02 A-300 SCALE: 1/8" = 1'-0"



**MASTER PLAN - SOUTH EXTERIOR ELEVATION**  
 03 A-300 SCALE: 1/8" = 1'-0"



**MASTER PLAN - WEST EXTERIOR ELEVATION**  
 04 A-300 SCALE: 1/8" = 1'-0"



PROJECT:  
**MOTOR CITY CHURCH**  
 INTERIOR RENOVATION AND ADDITIONS  
 1349 W WATTLES ROAD  
 TROY, MI 48098

MASTER PLAN - EXTERIOR ELEVATIONS

ISSUE / REVISION:	
SPR/SU SUBMITTAL	04/15/24
SPR/SU REVISED	05/07/24

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 MPS

REVIEWED BY:  
 JT

JTAI FILE NO.  
 23.37  
 DRAWING NO.  
**A-205**

13/2023/23.37 - MCC-2349 7th Floor Mezzanine and 8th Floor Elevation.dwg, 17/03/24 12:52:15 PM

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PROJECT:  
**MOTOR CITY CHURCH**  
 INTERIOR RENOVATION AND ADDITIONS  
 1349 W WATTLES ROAD  
 TROY, MI 48098

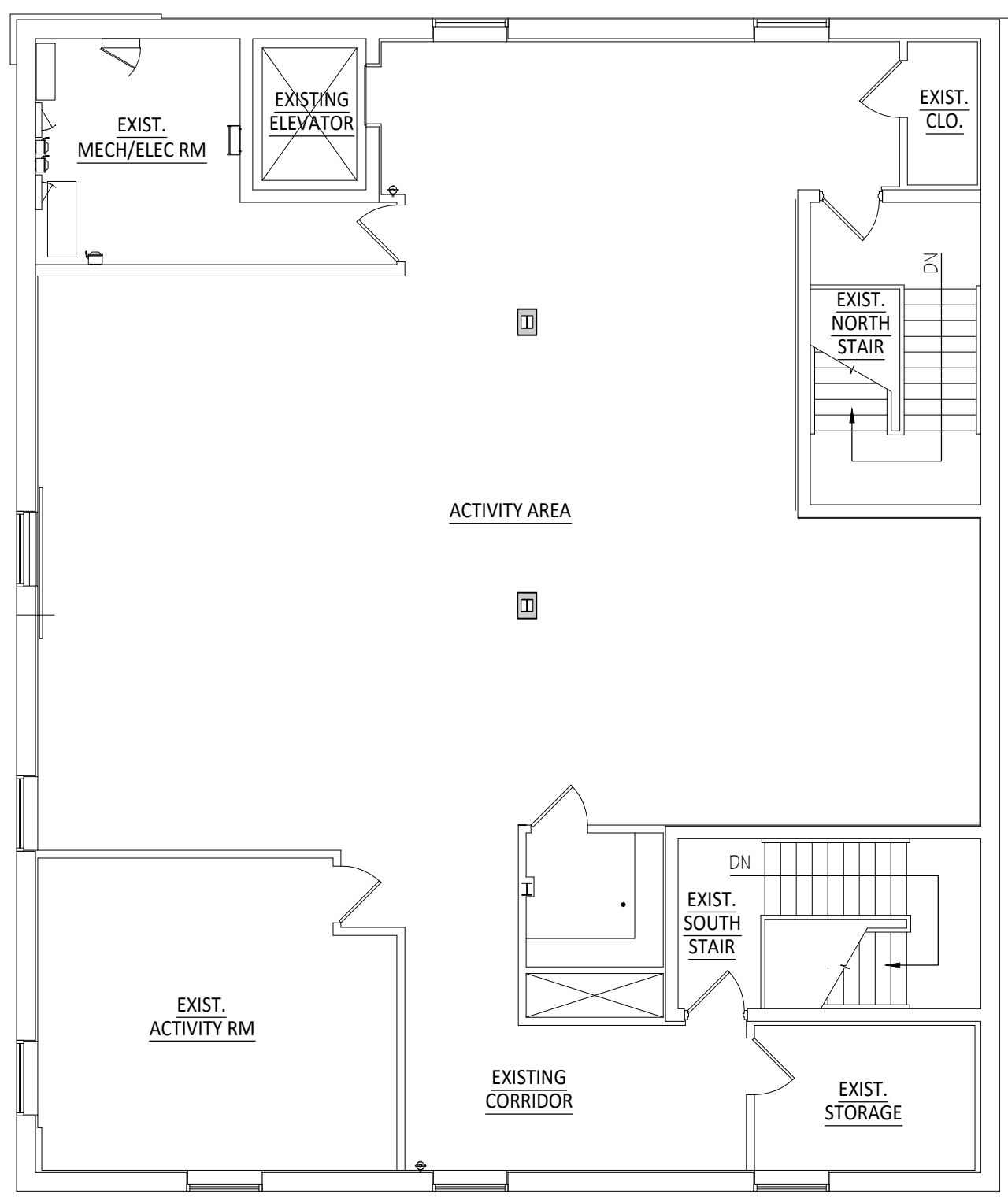
SHEET:  
**PHASE 1 FLOOR PLANS**

ISSUE / REVISION:  
 SPR/SU SUBMITTAL 04/15/24  
 SPR/SU REVISED 05/07/24

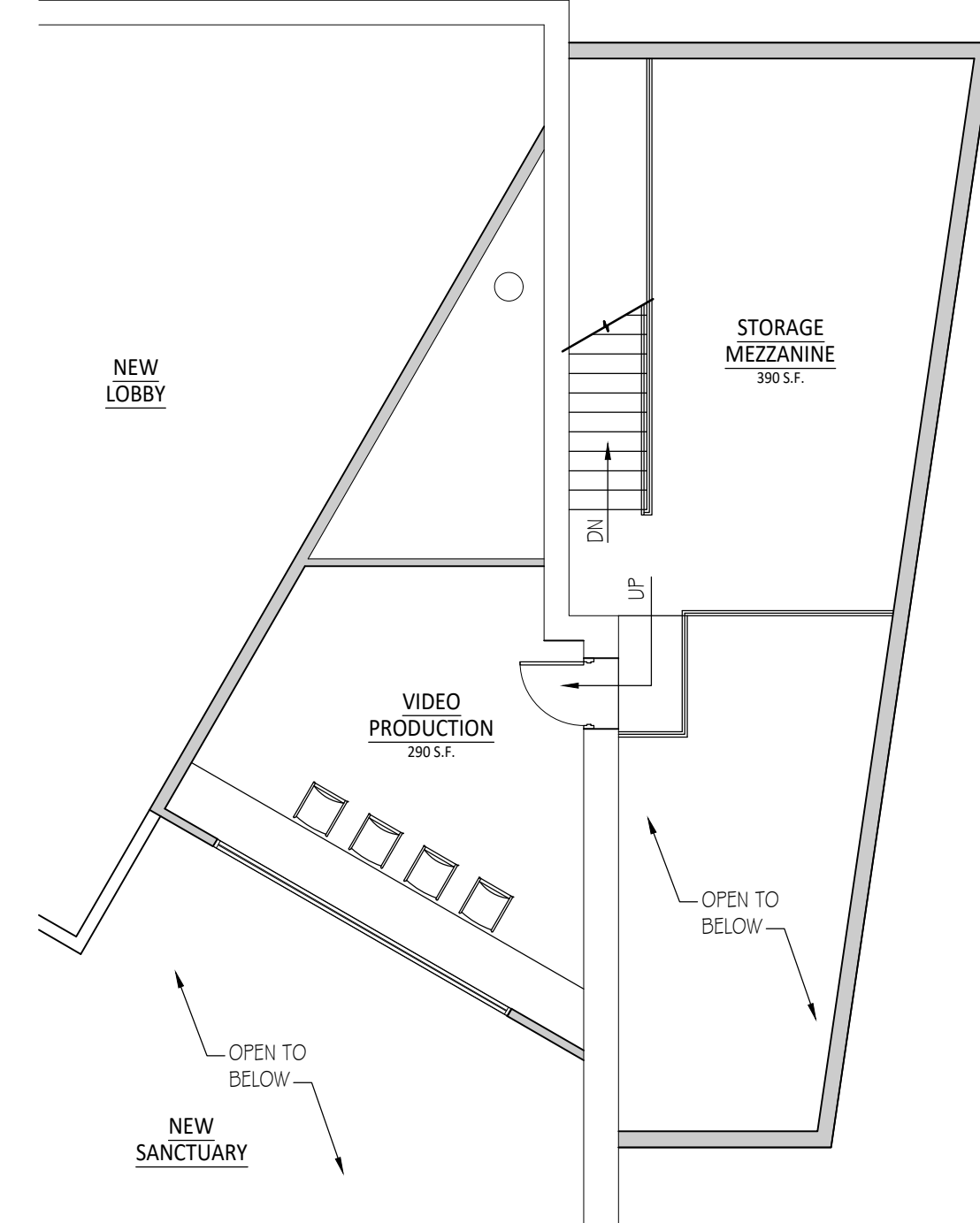
DRAWN BY:  
 MPS

REVIEWED BY:  
 JT

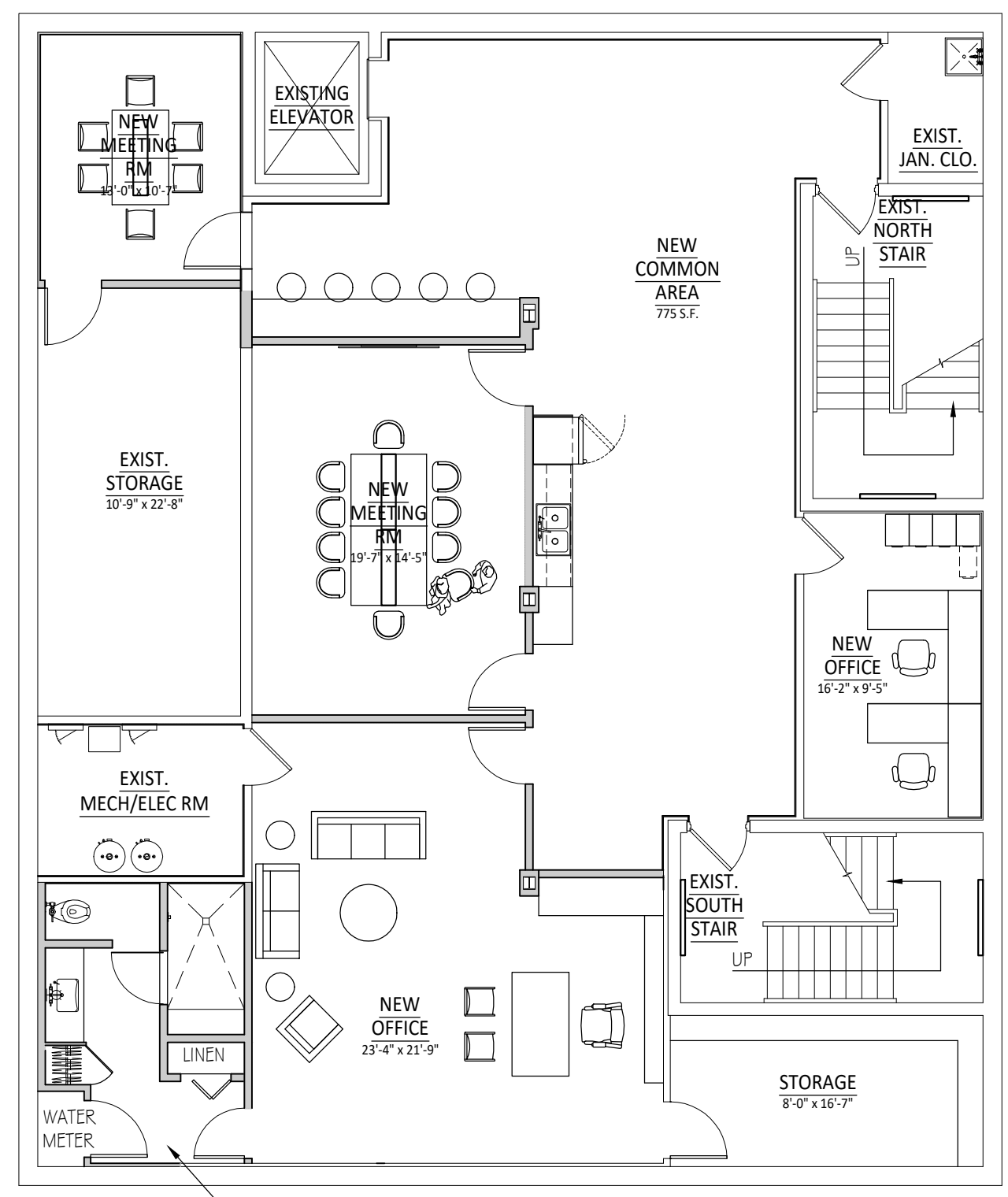
JTAI FILE NO.  
 23.37  
 DRAWING NO.  
**A-300**



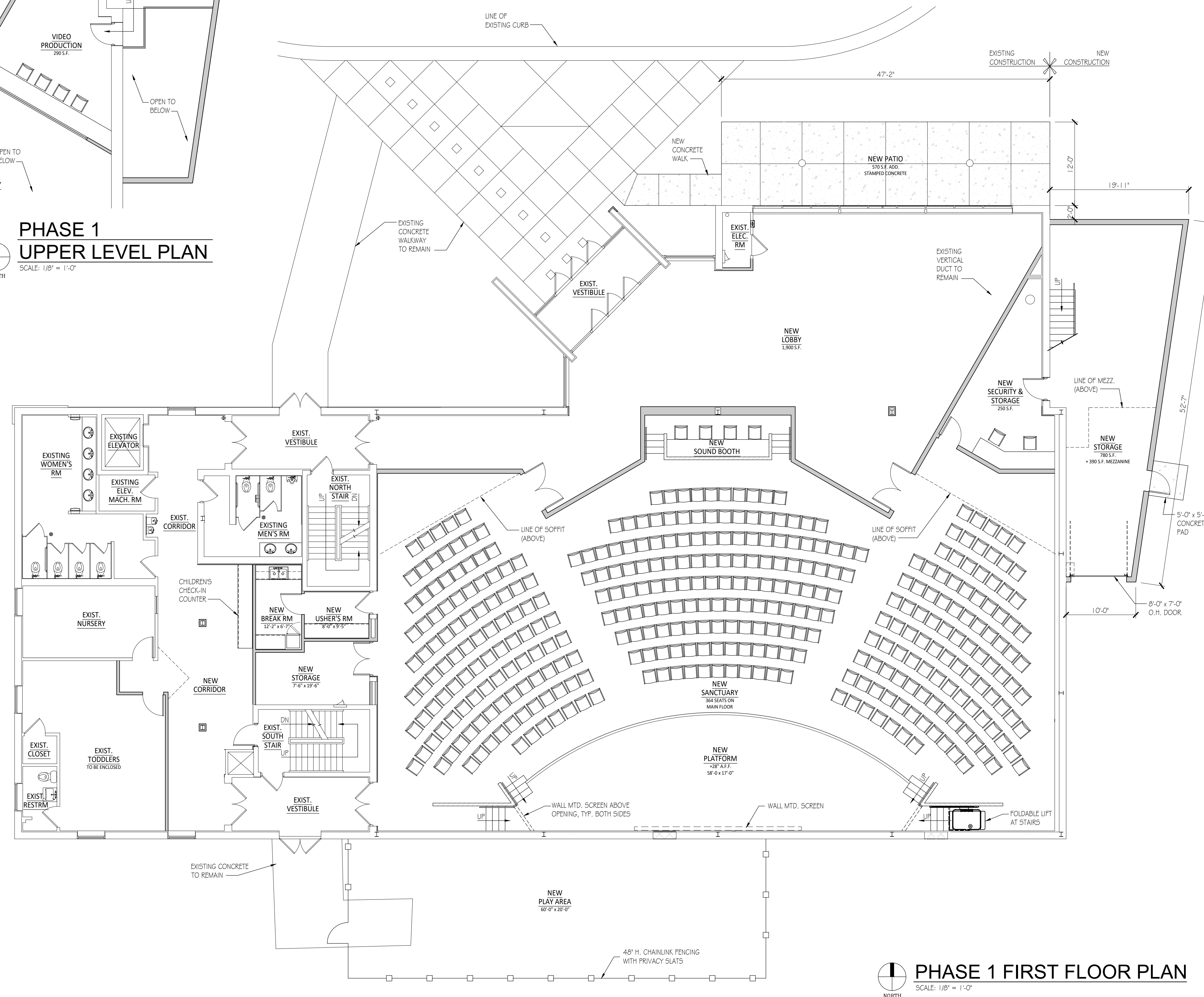
**PHASE 1 SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH



**PHASE 1 UPPER LEVEL PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

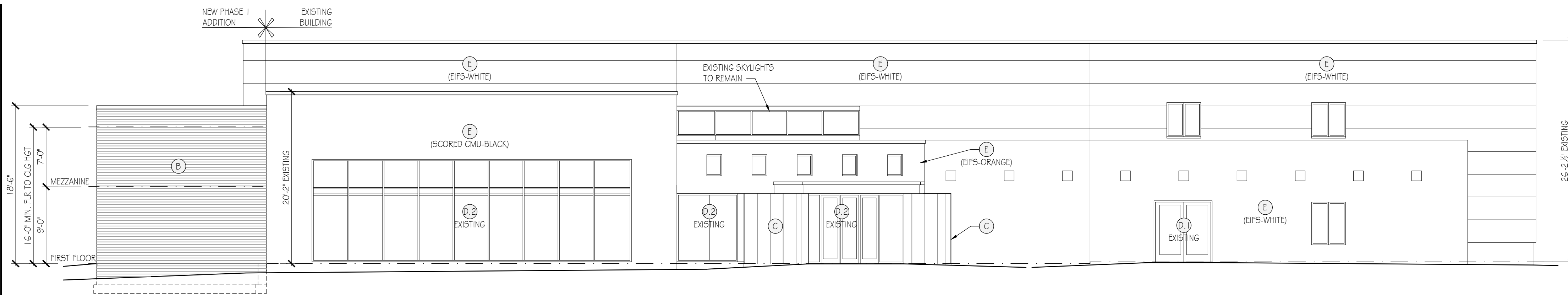


**PHASE 1 LOWER LEVEL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH



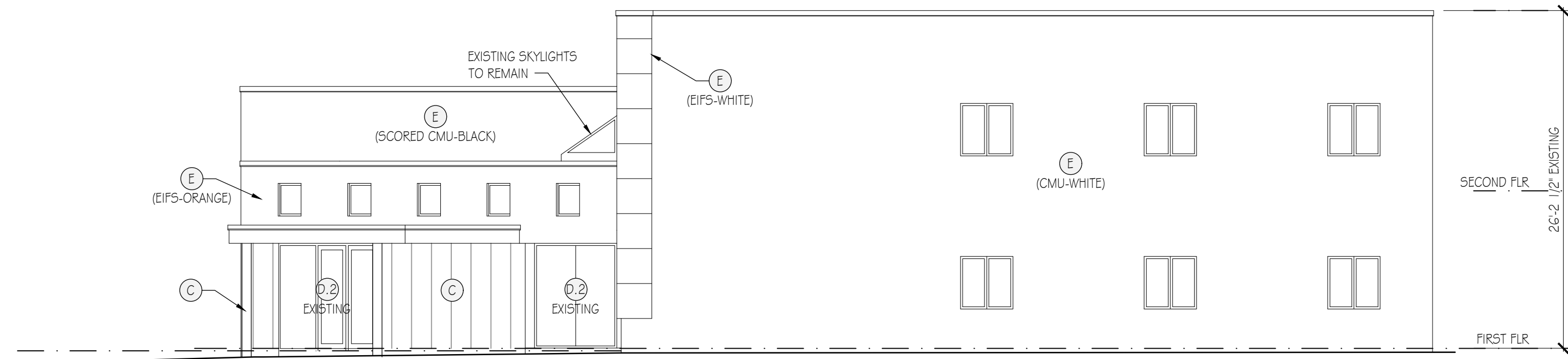
**PHASE 1 FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

1349 WATTLES RD, TROY, MI 48098  
 248-342-3400  
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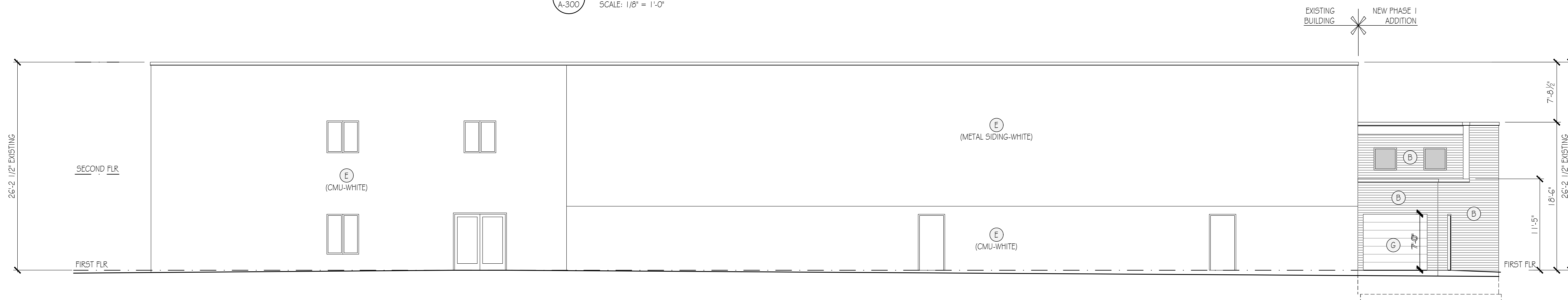
**PHASE I -  
NORTH EXTERIOR ELEVATION**

01  
A-300 SCALE: 1/8" = 1'-0"



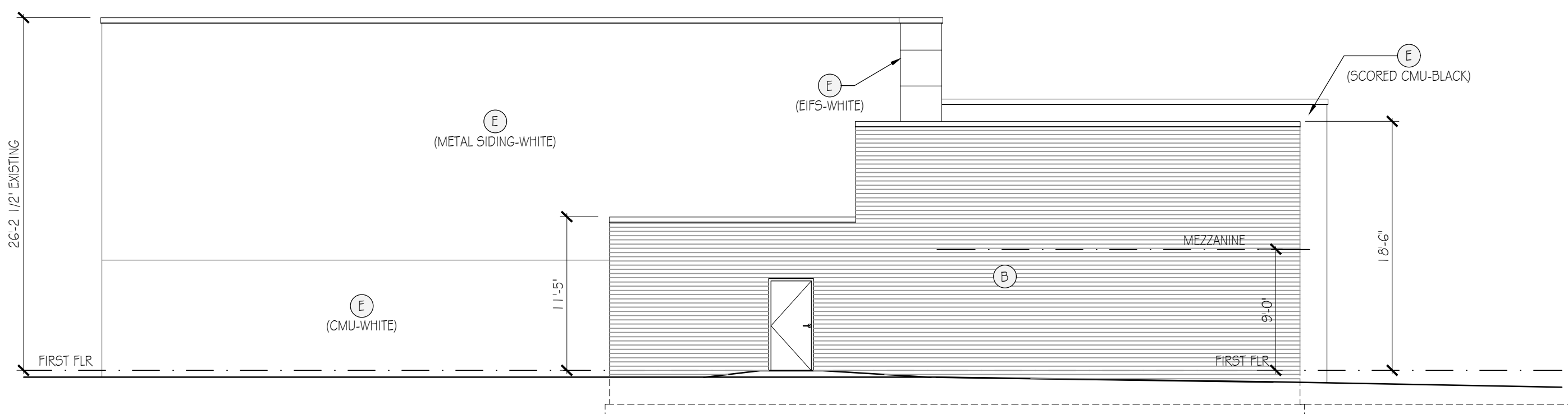
**PHASE I -  
EAST EXTERIOR ELEVATION**

02  
A-300 SCALE: 1/8" = 1'-0"



**PHASE I -  
SOUTH EXTERIOR ELEVATION**

03  
A-300 SCALE: 1/8" = 1'-0"



**PHASE I -  
WEST EXTERIOR ELEVATION**

04  
A-300 SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
(A.1)	NOT USED
(A.2)	NOT USED
(A.3)	NOT USED
(B)	HORIZONTAL METAL SIDING (BLACK)
(C)	VERTICAL METAL PANELS
(D)	CURTAIN WALL SYSTEM W/1" CLEAR INSULATED GLASS IN BLACK ANODIZED ALUMINUM FRAMES.
(D.2)	CURTAIN WALL SYSTEM W/1" CLEAR INSULATED GLASS IN CLEAR ANODIZED ALUMINUM FRAMES.
(E)	EXISTING BUILDING FACADE (TO BE PAINTED)
(F)	NOT USED
(G)	OVERHEAD DOOR (METAL)
(H)	NOT USED

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ARCHITECTS & PLANNERS  
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Royal Oak, MI 48067-1810  
248-342-3400  
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PROJECT:  
**MOTOR  
CITY  
CHURCH**

INTERIOR  
RENOVATION AND  
ADDITIONS

1349 W WATTLES  
ROAD  
TROY, MI 48098

SHEET:

**PHASE I  
EXTERIOR  
ELEVATIONS**

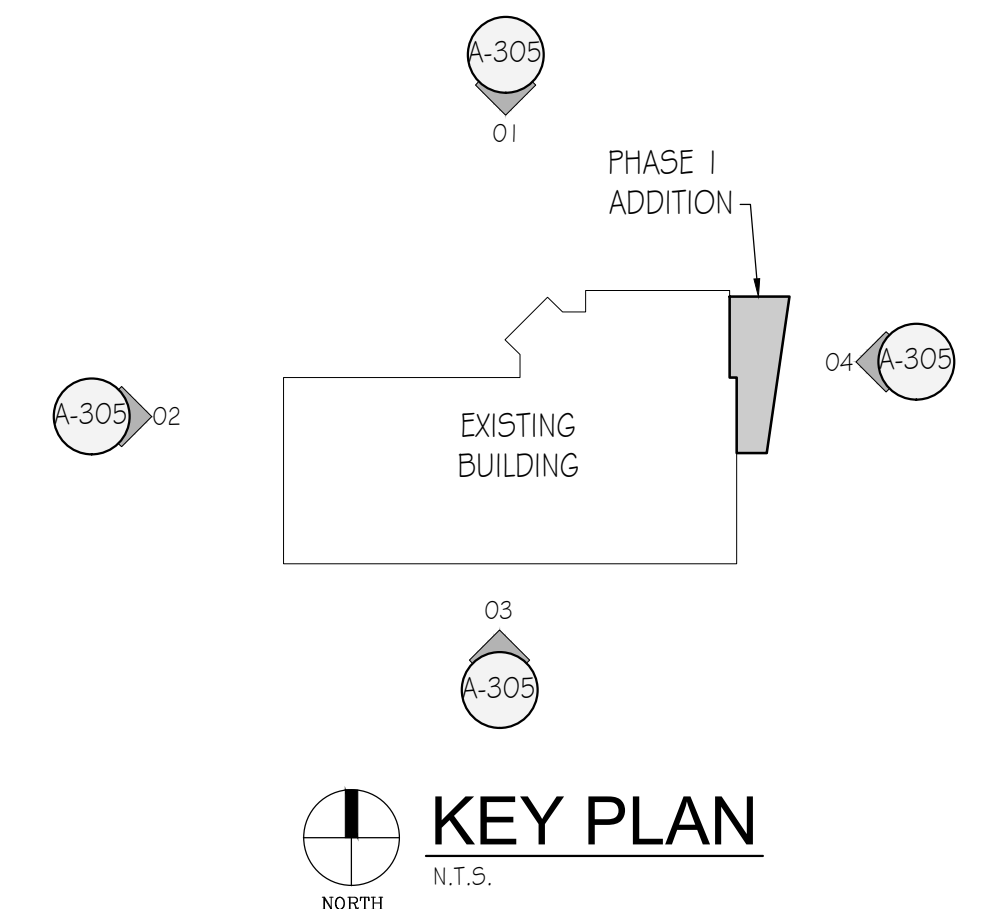
ISSUE / REVISION:

SPR/SU SUBMITTAL 04/15/24

SPR/SU REVISED 05/07/24

DRAWN BY:  
MPS

REVIEWED BY:  
JT



JTAI FILE NO.

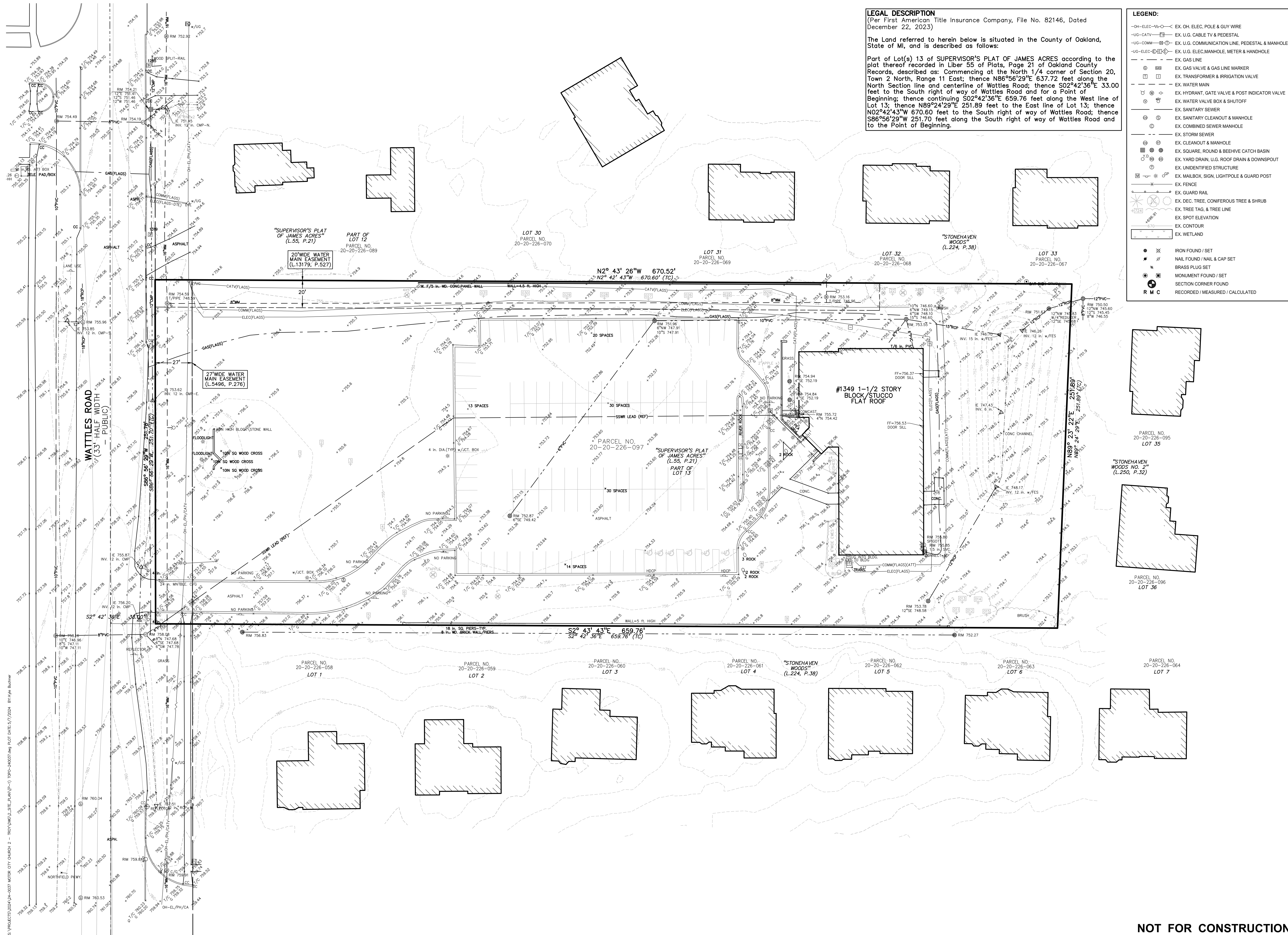
23.37

DRAWING NO.

**A-305**

**KEY PLAN**  
N.T.S.





**LEGAL DESCRIPTION**  
 (Per First American Title Insurance Company, File No. 82146, Dated December 22, 2023)

The Land referred to herein below is situated in the County of Oakland, State of MI, and is described as follows:

Part of Lot(s) 13 of SUPERVISOR'S PLAT OF JAMES ACRES according to the plat thereof recorded in Liber 55 of Plats, Page 21 of Oakland County Records, described as: Commencing at the North 1/4 corner of Section 20, Town 2 North, Range 11 East; thence N86°56'29"E 637.72 feet along the North Section line and centerline of Wattles Road; thence S02°42'36"E 33.00 feet to the South right of way of Wattles Road and for a Point of Beginning; thence continuing S02°42'36"E 659.76 feet along the West line of Lot 13; thence N89°24'29"E 251.89 feet to the East line of Lot 13; thence N02°42'43"W 670.60 feet to the South right of way of Wattles Road; thence S86°56'29"W 251.70 feet along the South right of way of Wattles Road and to the Point of Beginning.

**LEGEND:**

- OH-ELEC—W—O— EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV— EX. U.G. CABLE TV & PEDESTAL
- UG-COMM— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC— EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN, LIGHTPOLE & GUARD POST
- EX. FENCE
- EX. GUARD RAIL
- EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- EX. TREE TAG & TREE LINE
- EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND

- X IRON FOUND / SET
- / NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- R M C RECORDED / MEASURED / CALCULATED

**PEA GROUP**  
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 www.peagroup.com

STATE OF MICHIGAN  
 JOHN BRUCE THOMPSON  
 License No. 6301043292  
 SURVEYOR

NORTH

0 15 30 60  
 SCALE: 1" = 30'

**811** Know what's below. Call before you dig.

**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**JTA INC.**  
 309 N. MAIN STREET STE. 213  
 ROYAL OAK, MICHIGAN

PROJECT TITLE  
**MOTOR CITY CHURCH**  
 1349 WATTLERS ROAD  
 TROY, MICHIGAN

**REVISIONS**

SPR/SU REVISED	05/07/24
----------------	----------

ORIGINAL ISSUE DATE:  
 APRIL 15, 2024

DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	24-0037
P.M.	JBT
DN.	KMB
DES.	DSK
DRAWING NUMBER:	

**NOT FOR CONSTRUCTION** **P-1**



0 15 30 60  
SCALE: 1" = 30'



**CAUTION!!**  
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CLIENT  
**JTA INC.**  
309 N. MAIN STREET STE. 213  
ROYAL OAK, MICHIGAN

PROJECT TITLE  
**MOTOR CITY CHURCH**  
1349 WATTLES ROAD  
TROY, MICHIGAN

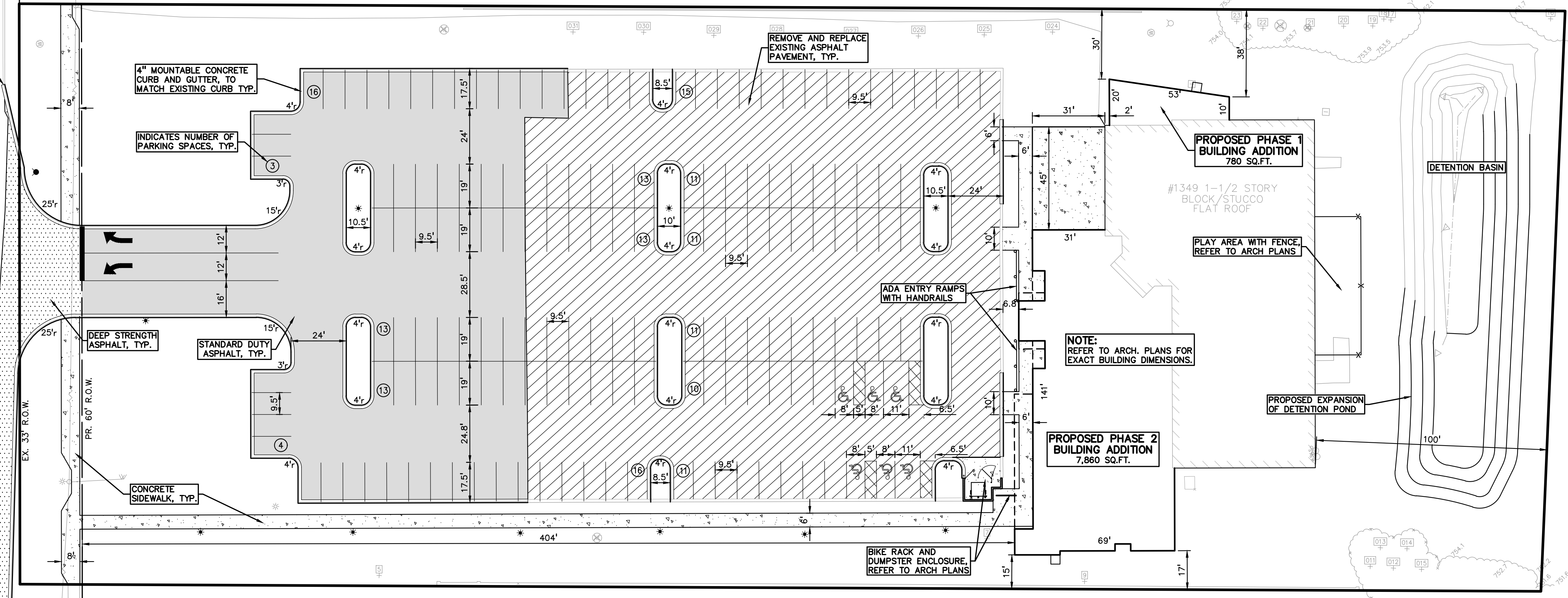
REVISIONS  
SPRS/SU REVISED 05/07/24

ORIGINAL ISSUE DATE:  
APRIL 15, 2024  
DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO. 24-0037  
P.M. JBT  
DN. KMB  
DES. DSK  
DRAWING NUMBER:

**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL



**SITE DATA TABLE:**

SITE AREA: 3.84 ACRES GROSS (3.69 ACRES NET)  
ZONING: R-1B (ONE FAMILY RESIDENTIAL DISTRICT)  
EXISTING USE: PLACE OF WORSHIP

**BUILDING INFORMATION:**  
MAXIMUM ALLOWABLE BUILDING HEIGHT = 30 FT. (2.5 STORIES)  
PROPOSED BUILDING ADDITION HEIGHT = 2 STORIES

EXISTING BUILDING = 11,280 SF  
PROPOSED ADDITION = 8,640 SF

BUILDING FOOTPRINT AREA = 19,900 SF.  
BUILDING LOT COVERAGE = 12%

SETBACK REQUIREMENTS:	REQUIRED:	PROPOSED:
FRONT (NORTH)	50'	40'
SIDE (EAST)	10'	30'
SIDE (WEST)	10'	15'
REAR (SOUTH)	45'	100'

**PARKING CALCULATIONS:**  
PLACES OF WORSHIP = 1 SPACE PER 3 SEATS OR 6LF OF SEWS.  
TOTAL PARKING REQUIRED = 364 SEATS / 3 = 121 SPACES  
ADDITIONAL OCCUPANTS = 35 SPACES

TOTAL PARKING REQUIRED = 156 SPACES  
TOTAL PROPOSED PARKING SPACES = 180 SPACES INC. 6 HC SPACES

**SITE SOILS INFORMATION:**  
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:  
LENAWEE SILTY CLAY LOAM  
SHEBON-URBAN LAND COMPLEX

**NOT FOR CONSTRUCTION**

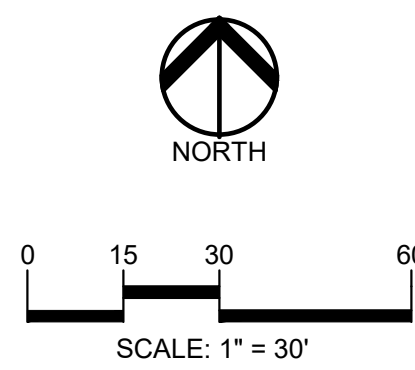
**P-2**

S:\PROJECTS\2024\04-0037 MOTOR CITY CHURCH 2 - 1801\0406\2 SITE PLAN(P-2) - BIC-240037.dwg PLOT DATE: 5/7/2024 BY: KMB

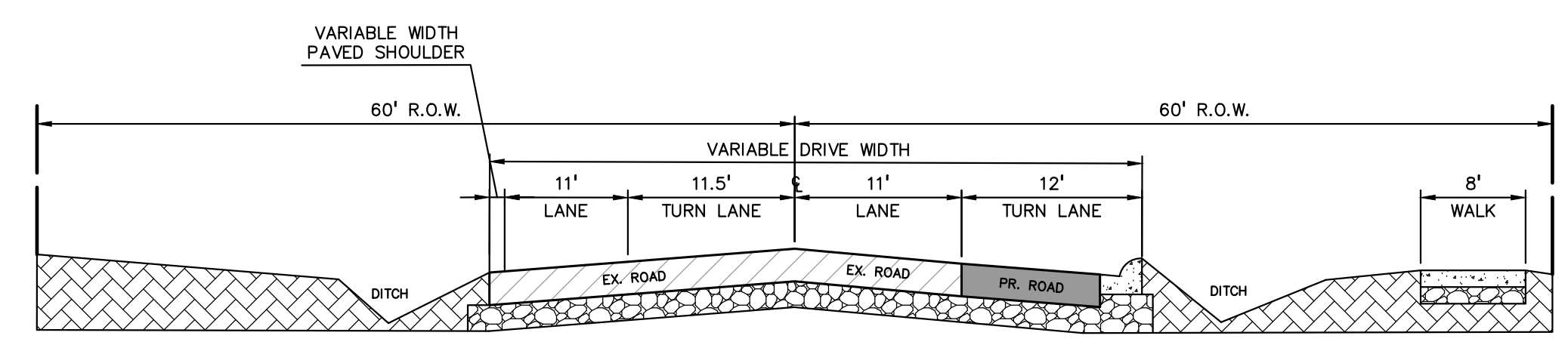
**LEGEND:**

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN
	LIGHTPOLE
	FENCE
	GUARD RAIL

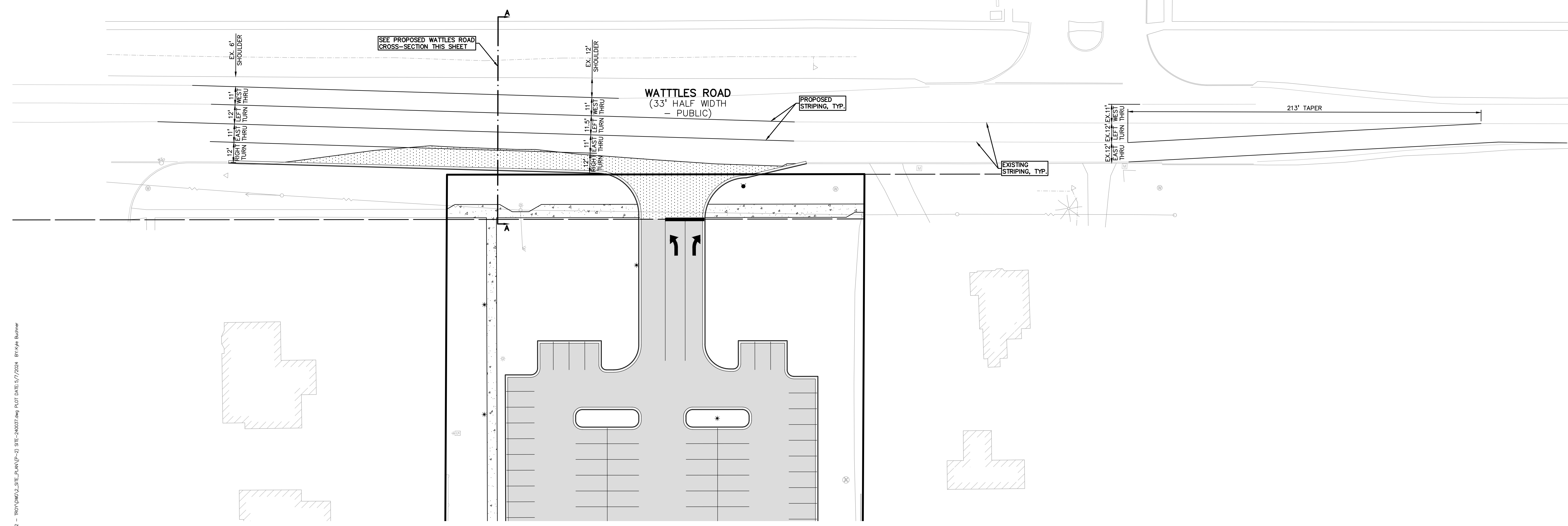
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**WATTLES ROAD CROSS SECTION**  
 NOT TO SCALE



CLIENT  
**JTA INC.**  
 309 N. MAIN STREET STE. 213  
 ROYAL OAK, MICHIGAN

PROJECT TITLE  
**MOTOR CITY CHURCH**  
 1349 WATTLES ROAD  
 TROY, MICHIGAN

**REVISIONS**

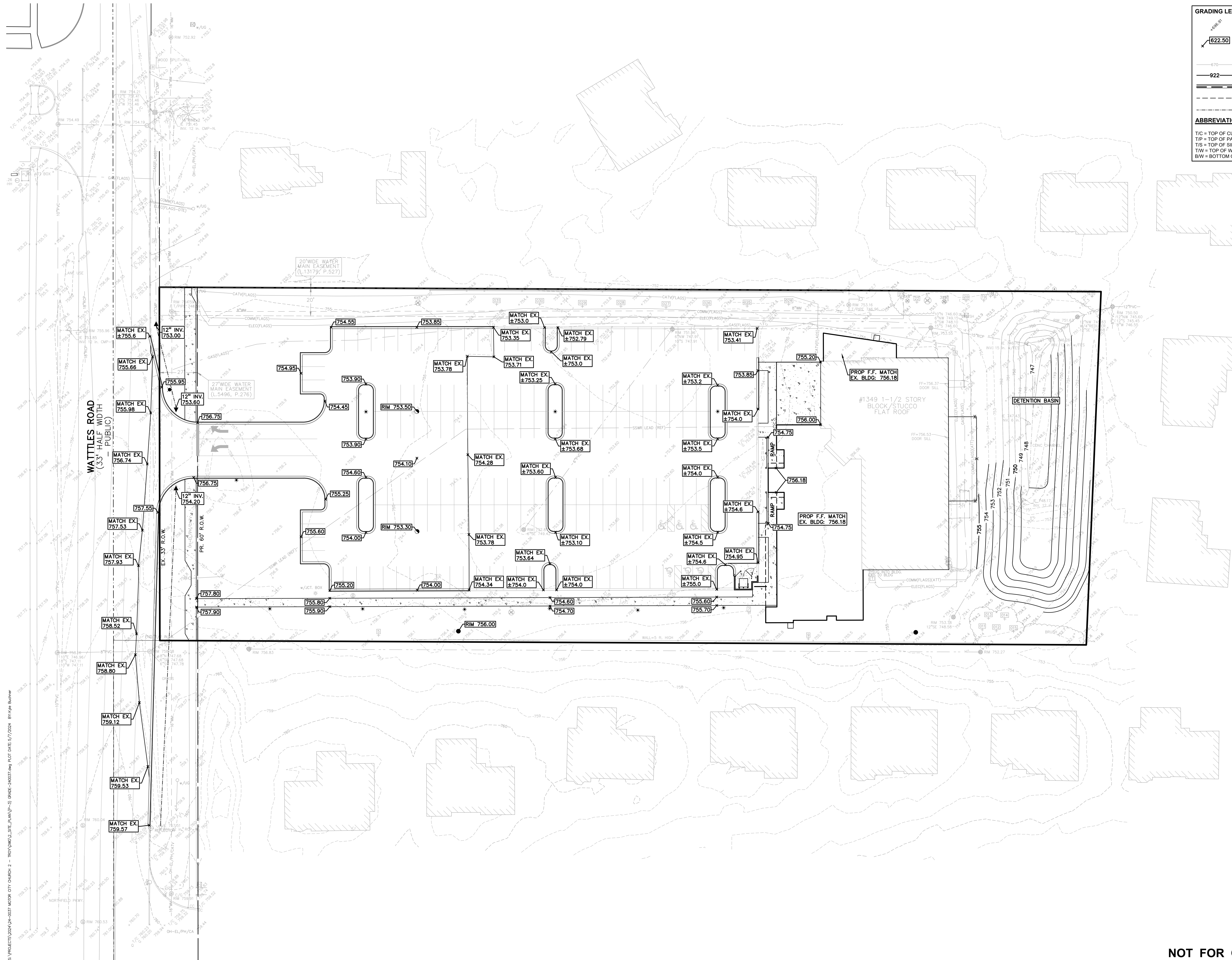
SPR/SU REVISED	05/07/24
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ORIGINAL ISSUE DATE:  
 APRIL 15, 2024

DRAWING TITLE  
**PRELIMINARY WATTLES STRIPING PLAN**

PEA JOB NO.	24-0037
P.M.	JBT
DN.	KMB
DES.	DSK
DRAWING NUMBER:	

S:\PROJECTS\2024\4-0037 MOTOR CITY CHURCH 2 - 180'x90'x3 SITE PLAN(1-2) - BE-240037.dwg PLOT DATE: 5/7/2024 BY: KMB



**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

**ABBREVIATIONS**

T/C = TOP OF CURB	G = GUTTER GRADE
T/P = TOP OF PAVEMENT	FF = FINISH FLOOR
T/S = TOP OF SIDEWALK	FG = FINISH GRADE
T/W = TOP OF WALL	RM = RIM ELEVATION
B/W = BOTTOM OF WALL	

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NORTH

0 15 30 60  
SCALE: 1" = 30'

**811** Know what's below. Call before you dig.

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CLIENT  
**JTA INC.**  
309 N. MAIN STREET STE. 213  
ROYAL OAK, MICHIGAN

PROJECT TITLE  
**MOTOR CITY CHURCH**  
1349 WATTLES ROAD  
TROY, MICHIGAN

REVISIONS	
SPR/SU REVISED	05/07/24

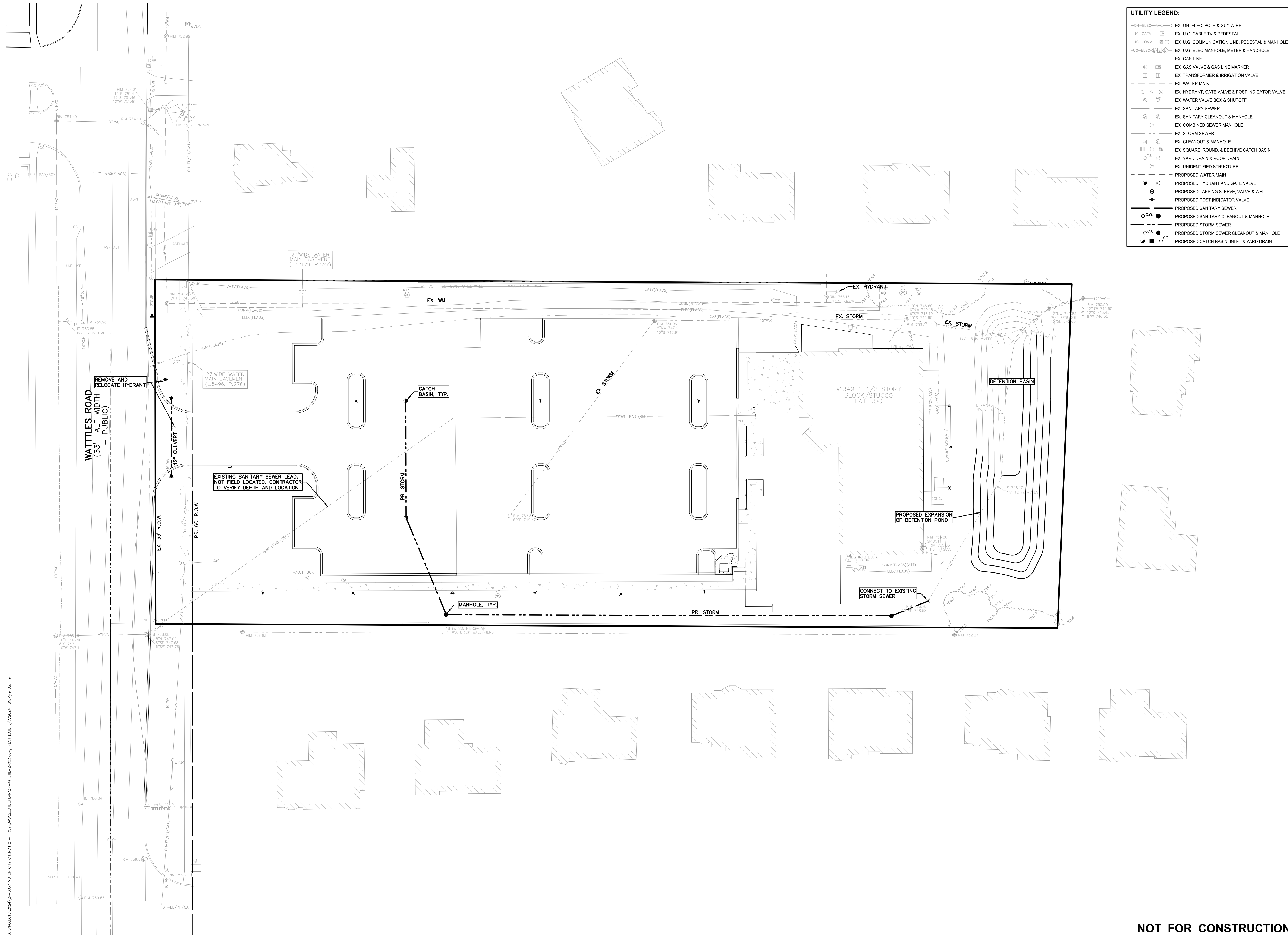
ORIGINAL ISSUE DATE:  
APRIL 15, 2024

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	24-0037
P.M.	JBT
DN.	KMB
DES.	DSK
DRAWING NUMBER:	

S:\PROJECTS\2024\4-0037 MOTOR CITY CHURCH 2 - 180'x300' SITE PLAN(P-3) (PAGE 2) 240037.dwg PLOT DATE: 5/7/2024 BY: JTA/Burh

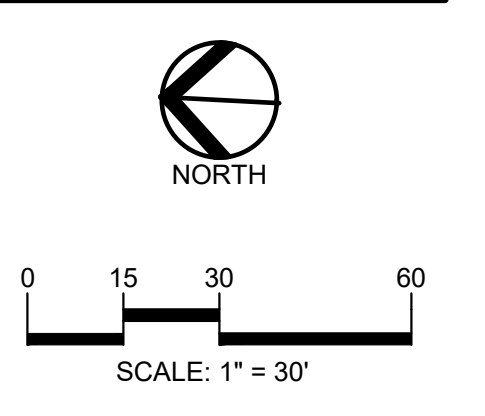




**UTILITY LEGEND:**

- OH-ELEC—W—O— EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV— EX. U.G. CABLE TV & PEDESTAL
- UG-COMM— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC— EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- ⊗ EX. GAS VALVE & GAS LINE MARKER
- ⊕ EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- ⊕ EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- ⊕ EX. WATER VALVE BOX & SHUTOFF
- ⊕ EX. SANITARY SEWER
- ⊕ EX. SANITARY CLEANOUT & MANHOLE
- ⊕ EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- ⊕ EX. CLEANOUT & MANHOLE
- ⊕ EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- ⊕ EX. YARD DRAIN & ROOF DRAIN
- ⊕ EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- ⊕ PROPOSED HYDRANT AND GATE VALVE
- ⊕ PROPOSED TAPPING SLEEVE, VALVE & WELL
- ⊕ PROPOSED POST INDICATOR VALVE
- PROPOSED SANITARY SEWER
- ⊕ PROPOSED SANITARY CLEANOUT & MANHOLE
- PROPOSED STORM SEWER
- ⊕ PROPOSED STORM SEWER CLEANOUT & MANHOLE
- ⊕ PROPOSED CATCH BASIN, INLET & YARD DRAIN

**PEA GROUP**  
 t: 844.813.2949  
 www.peagroup.com



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CLIENT  
**JTA INC.**  
 309 N. MAIN STREET STE. 213  
 ROYAL OAK, MICHIGAN

PROJECT TITLE  
**MOTOR CITY CHURCH**  
 1349 WATTLES ROAD  
 TROY, MICHIGAN

REVISIONS	
SPR/SU REVISED	05/07/24

ORIGINAL ISSUE DATE:  
 APRIL 15, 2024

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

PEA JOB NO.	24-0037
P.M.	JBT
DN.	KMB
DES.	DSK
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

**P-4**

S:\PROJECTS\2024\4-0037 MOTOR CITY CHURCH 2 - 180'x90'x2 SITE PLAN (P-4) IUT-240037.dwg PLOT DATE: 5/7/2024 BY: KMB

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
<b>DECIDUOUS TREES</b>						
ARR2.5	5	ACER RUBRUM 'REDPOINTE'	REDPOINTE MAPLE	2.5" CAL.	B&B	PER PLAN
GBF2.5	12	GINKGO BILBOA 'FASTIGIATA'	FASTIGIATE MAIDENHAIR TREE	2.5" CAL.	B&B	PER PLAN
GBM2.5	6	GINKGO BILBOA 'MAGYAR'	MAGYAR MAIDENHAIR TREE	2.5" CAL.	B&B	PER PLAN
LT2.5	3	LIRIODENDRON TULIPIFERA	TULIP POPLAR	2.5" CAL.	B&B	PER PLAN
TG2.5	2	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2.5" CAL.	B&B	PER PLAN
<b>EVERGREEN TREES</b>						
AC8	3	ABIES CONCOLOR	WHITE FIR	8" HT.	B&B	PER PLAN
PGD8	5	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	8" HT.	B&B	PER PLAN
PS8	4	PINUS STROBUS	EASTERN WHITE PINE	8" HT.	B&B	PER PLAN
<b>SHRUBS</b>						
HNE30	5	HYDRANGEA MACROPHYLLA 'BAILMER'	ENDLESS SUMMER® THE ORIGINAL HYDRANGEA	30" HT.	CONT.	48" O.C.
HPB30	18	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	30" HT.	CONT.	4" O.C.
IGC24	23	ILEX GLABRA 'COMPACTA'	COMPACT INKBERY HOLLY	24" HT.	CONT.	4" O.C.
TOS6	46	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6" HT.	B&B	36" O.C.
TO6	3	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	6" HT.	B&B	4" O.C.
<b>PERENNIALS</b>						
AG	3	ALLIUM 'GLOBEMASTER'	GLOBEMASTER GIANT ONION	2 GAL.	POT	2" O.C.
CAK	18	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL.	POT	24" O.C.
CNM	12	CALAMINTHA NEPETA 'MONTROSE WHITE'	MONTROSE WHITE CLAMINT SAVORY	1 GAL.	POT	18" O.C.
HHL	10	HOSTA 'LIBERTY'	LIBERTY HOSTA	1 GAL.	POT	36" O.C.
LMB	132	LIRIOPE MUSCURI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	POT	12" O.C.
NFA	13	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	POT	3" O.C.
PVR	9	PANICUM VIRGATUM 'ROTSTAHLBUSH'	RED SWITCH GRASS	1 GAL.	POT	3" O.C.
PVW	7	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.	POT	3" O.C.
PAL	6	PENNISETUM ALOPECUROIDES 'LUMEN GOLD'	LUMEN GOLD FOUNTAIN GRASS	1 GAL.	POT	3" O.C.
RG	17	RUDBECKIA FULGIDA SULLIVANTI 'GOLDSTURM'	GOLDSTURM CONEFLOWER	1 GAL.	POT	24" O.C.
SHT	13	SPOROBOLUS HETEROLEPIS 'TARA'	TRA DWARF PRAIRIE DROPSSEED	1 GAL.	POT	24" O.C.
SNM	17	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL.	POT	18" O.C.

TREE INVENTORY/PRESERVATION CALCULATIONS

<b>WOODLAND TREES</b>	
WOODLAND TREES REMOVED:	0 (REPLACE AT 50% OF REMOVED DBH)
DBH x 0.5 =	REPLACEMENT
WOODLAND TREES SAVED:	13 (CREDIT OF 2X DBH)
153" DBH x 2 =	306" CREDIT
0 - 306 =	-306
<b>0 DBH REQUIRED FOR WOODLAND REPLACEMENT</b>	

<b>LANDMARK TREES</b>	
LANDMARK TREES REMOVED:	4 (REPLACE AT 100% OF REMOVED DBH)
12" DBH x 1 =	12" REPLACEMENT
LANDMARK TREES SAVED:	3 (CREDIT OF 2X DBH)
55" DBH x 2 =	110" CREDIT
12 - 110 =	-98
<b>0 TOTAL DBH REQUIRED FOR REPLACEMENT</b>	

<b>EXEMPT TREES</b>	
(NO REPLACEMENT REQUIRED FOR EXEMPT TREES)	
SAVED EXEMPT TREES:	7 Trees
EXEMPT TREES ON SITE:	10 Trees
<b>TOTAL SAVED TREES 6" AND ABOVE ON SITE:</b>	23 Trees

LANDSCAPE CALCULATIONS:  
PER CITY OF TROY ZONING ORDINANCE; R-1B ONE FAMILY RESIDENTIAL DISTRICT

**SCREENING BETWEEN LAND USES**  
REQUIRED: SCREEN ALT. 1 OR 2 WHEN USE GROUP 3 CONTIGUOUS WITH USE GROUP 1  
1 NARROW EVG. PER 3 LF OR 1 LARGE EVG. PER 10 LF  
PER PRELIMINARY SITE PLAN REVIEW LETTER DATED 04/30/2024, PARKING LOT ADDITIONAL SHALL BE SCREENED FROM CONTIGUOUS LAND USE  
WEST: 120 / 10 = 12 LARGE EVG.  
EAST: 138 / 3 = 46 NARROW EVG.

PROVIDED: WEST: 12 LARGE EVERGREENS  
EAST: 46 NARROW EVERGREENS

**PARKING LOT LANDSCAPING**  
REQUIRED: 1 TREE / 8 PARKING SPACES  
160 PARKING SPACES / 8 = 20 TREES

PARKING LOTS THAT FACE R.O.W. MUST BE LANDSCAPED WITH MIN. 3' HT. BERM, SHRUB HEDGE OR 3' HT. SOLID WALL  
CURBED ISLANDS MUST BE LESS THAN 200 SF.  
PLANTINGS MUST BE MIN. 3' FROM BACK OF CURB.  
AT VEHICLE OVERHANGS MIN. OF 5' FROM BACK OF CURB TO PLANTING.

PROVIDED: 20 DEC TREES, 3' HT. HEDGE AT PARKING LOT FACING R.O.W.

**GREENBELT ON WATTLES ROAD**  
REQUIRED: 1 DEC TREE / 30 LF OF STREET FRONTAGE  
251.7 LF / 30 = 8 TREES

PROVIDED: 8 PROPOSED TREES

**GENERAL SITE LANDSCAPE**  
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL;  
167,493 SQ FT (AREA OF PROJECT) \* 20% = 33,498 SQ FT

PROVIDED: 63,117 SQ FT OF SOFT-SCAPE/167,493= 37.7% LAWN & PLANT BEDS

**EQUIPMENT SCREENING**  
REQUIRED: AT GRADE EQUIPMENT SHALL BE SCREENED BY EVG LANDSCAPE MATERIALS AND DUMPSTER.

PROVIDED: 3 UPRIGHT EVG SHRUBS

**REPLACEMENT TREES**  
SEE TREE INVENTORY/PRESERVATION CALCULATIONS  
REQUIRED: NO REPLACEMENT REQUIRED, TREE CREDIT EXISTS

KEY:

LETTER KEY:  
S = SCREENING TREES  
P = PARKING LOT TREES  
G = GREENBELT TREES

SEE L-2 FOR LANDSCAPE DETAILS AND SEED MIX  
SEE T-1 FOR TREE PLAN

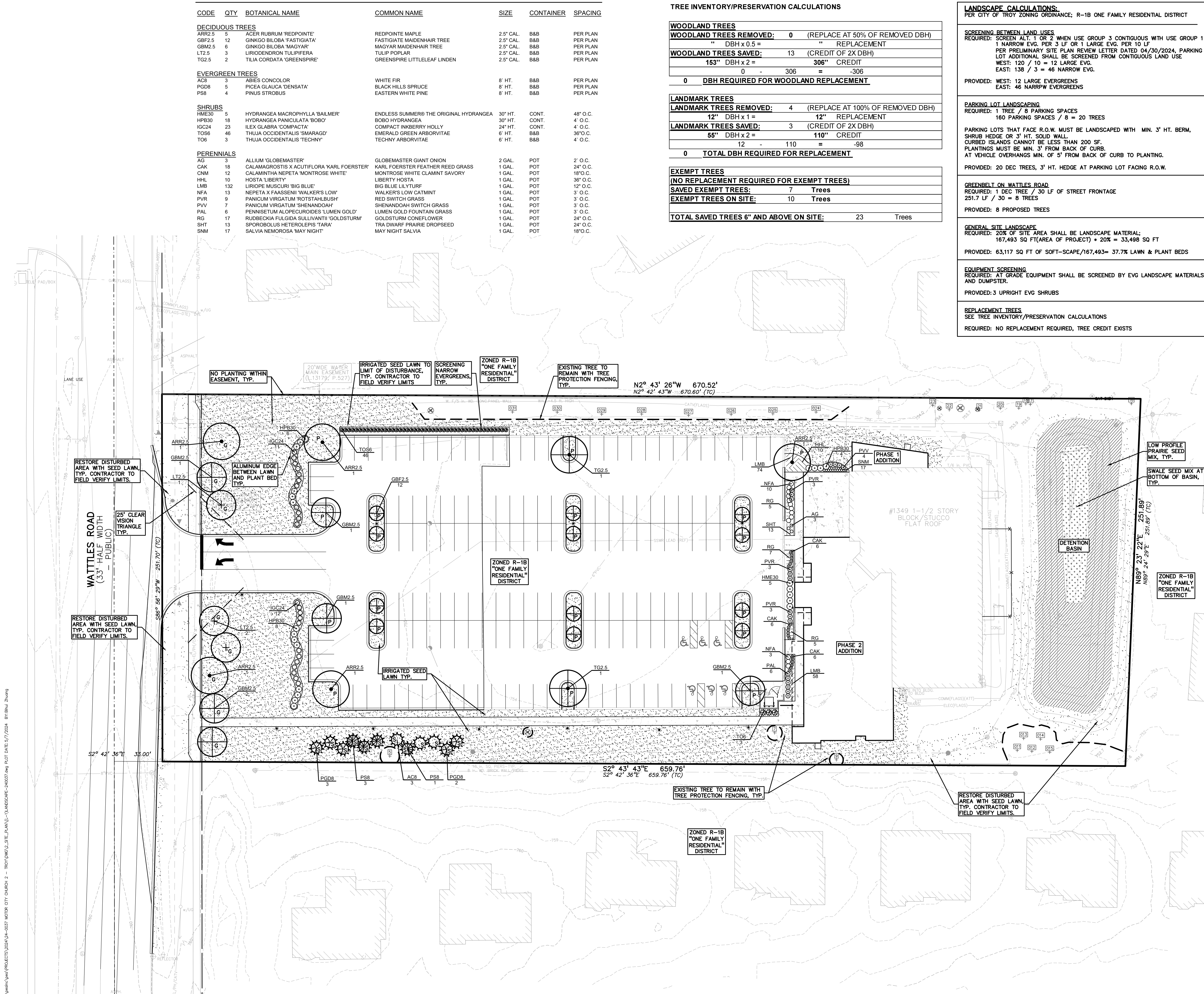
**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com

STATE OF MICHIGAN  
LYNN A. WHIPPLE  
LANDSCAPE ARCHITECT  
No. 4786

0 15 30 60  
SCALE: 1" = 30'

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CLIENT  
**JTA INC.**  
309 N. MAIN STREET STE. 213  
TROY, MICHIGAN

PROJECT TITLE  
**MOTOR CITY CHURCH**  
1349 WATTLES ROAD  
TROY, MICHIGAN

REVISIONS  
SPR/SU REVISED 10/07/24

ORIGINAL ISSUE DATE:  
APRIL 15, 2024

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN**

PEA JOB NO. 24-0037  
P.M. JBT  
DN. BZ  
DES. LAW  
DRAWING NUMBER:

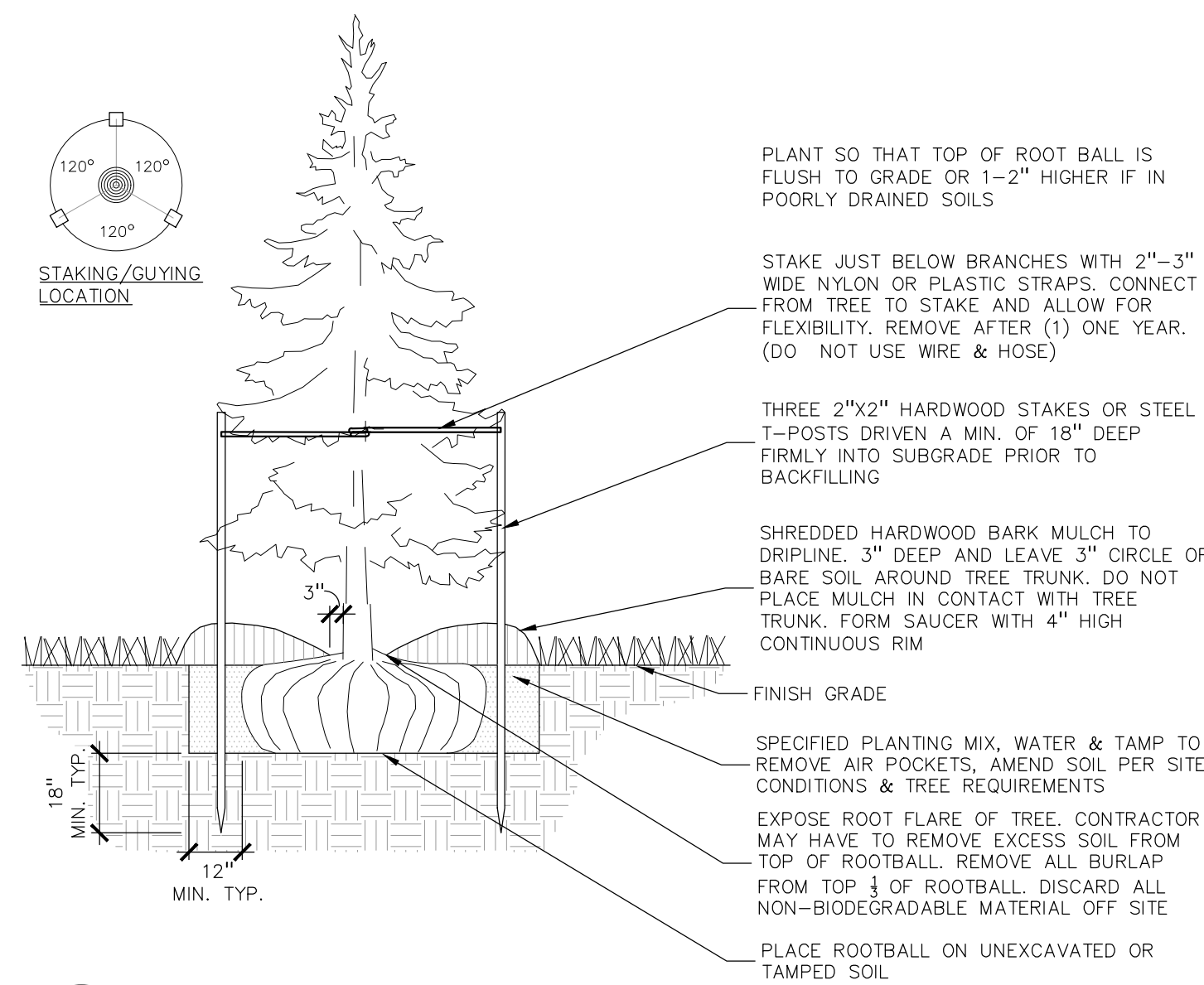
NOT FOR CONSTRUCTION

L-1

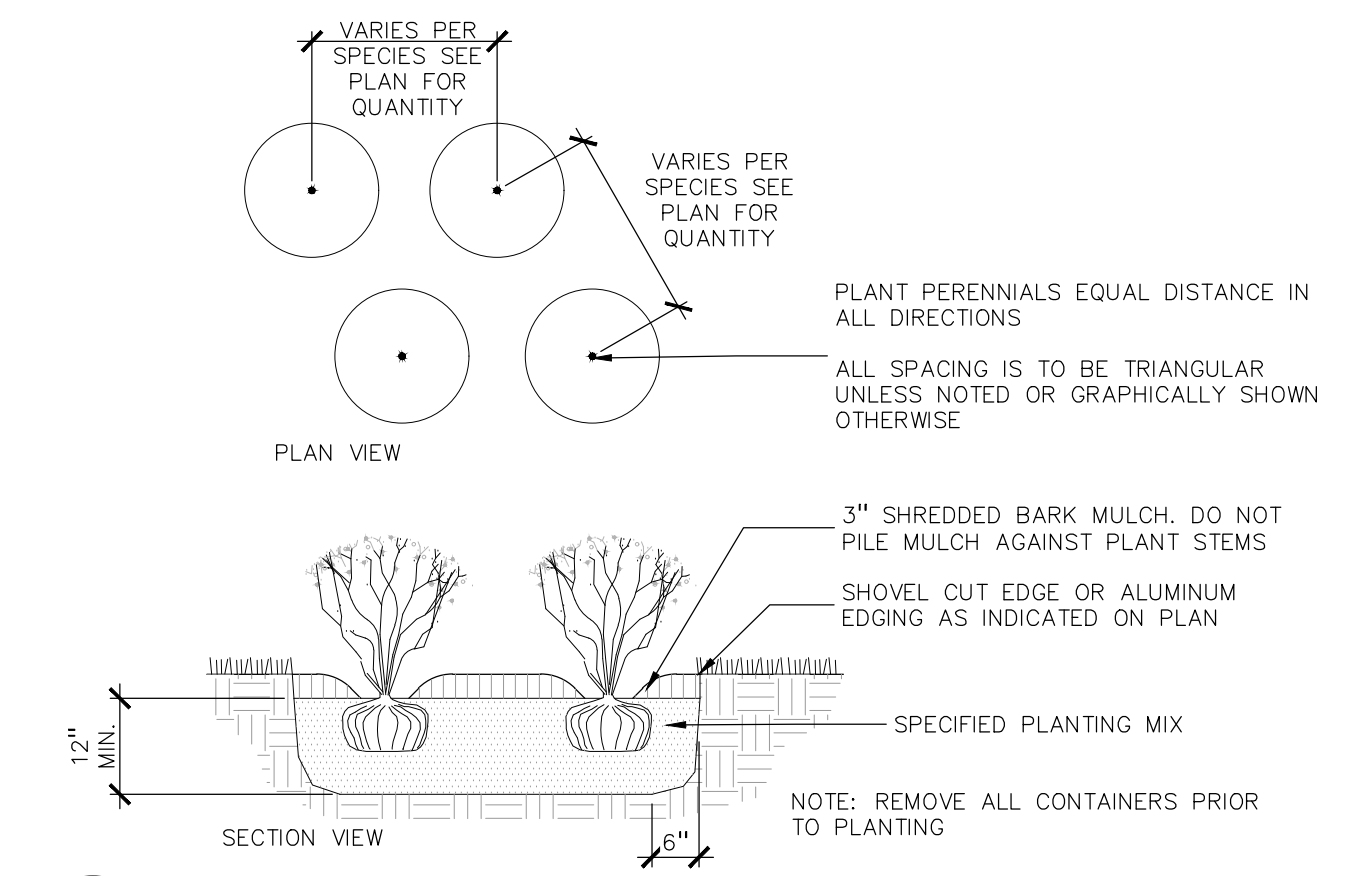
\\pea\proj\PROJECTS\2024\134-0037 MOTOR CITY CHURCH - 2 - TROY\DWG\3\_SITE\_PLAN\1-LANDSCAPE-240037.dwg PLOT DATE: 5/7/2024 BY: BHZ, Zhong



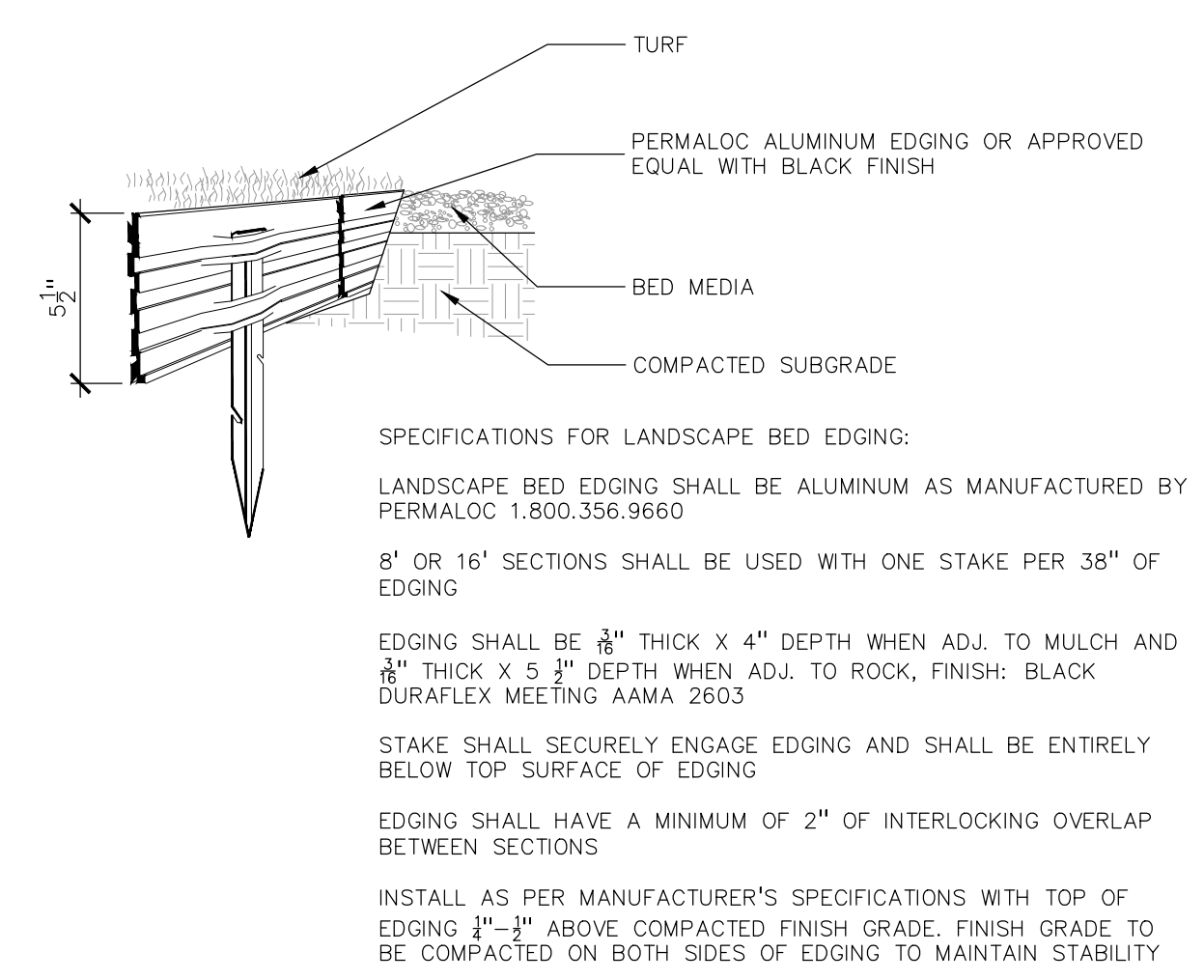
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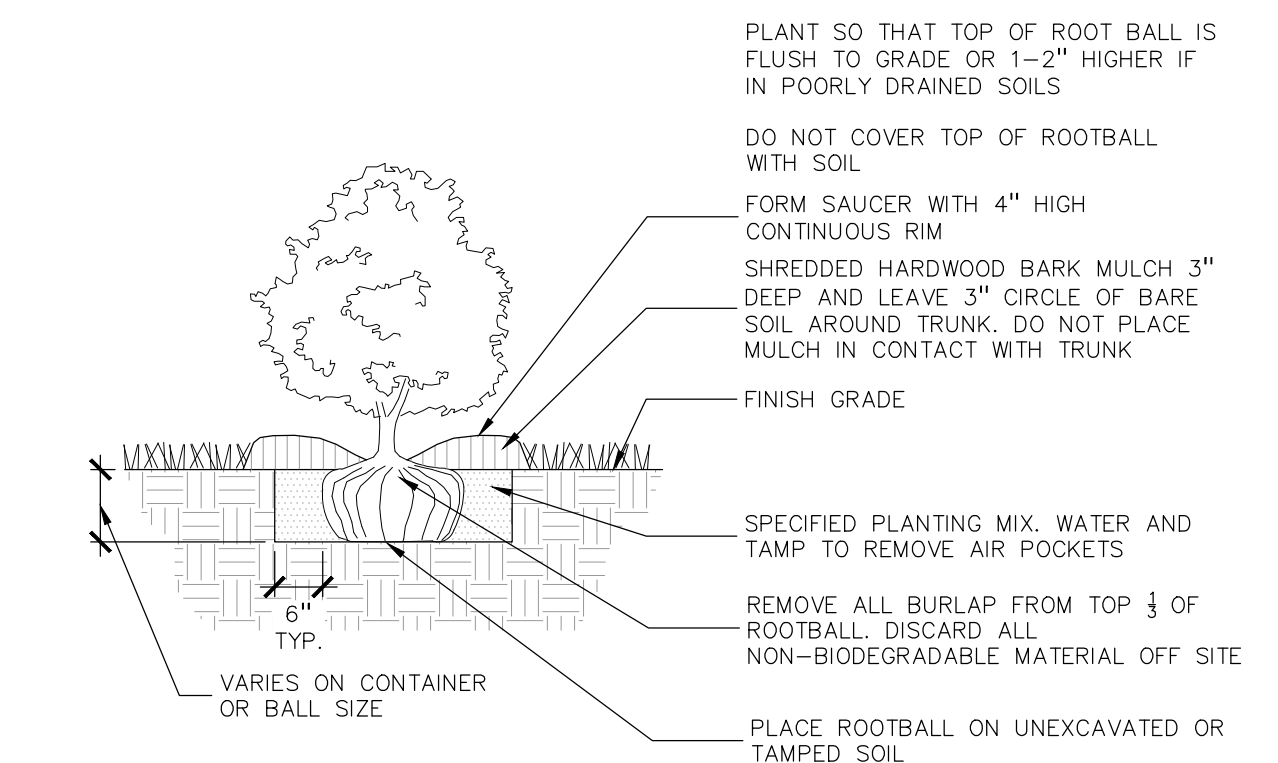
**6 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



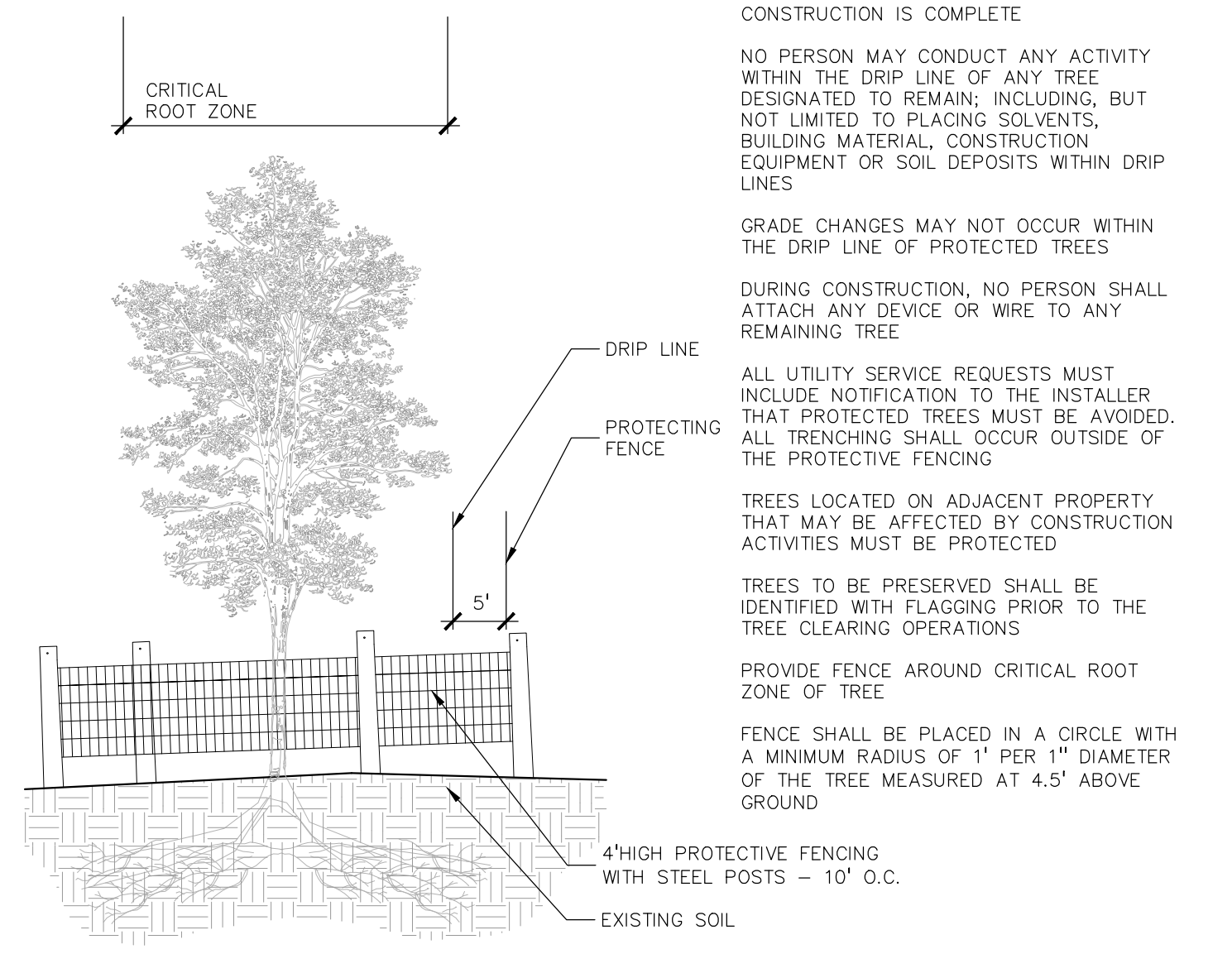
**1 PERENNIAL PLANTING DETAIL**  
SCALE: 1" = 2'-0"



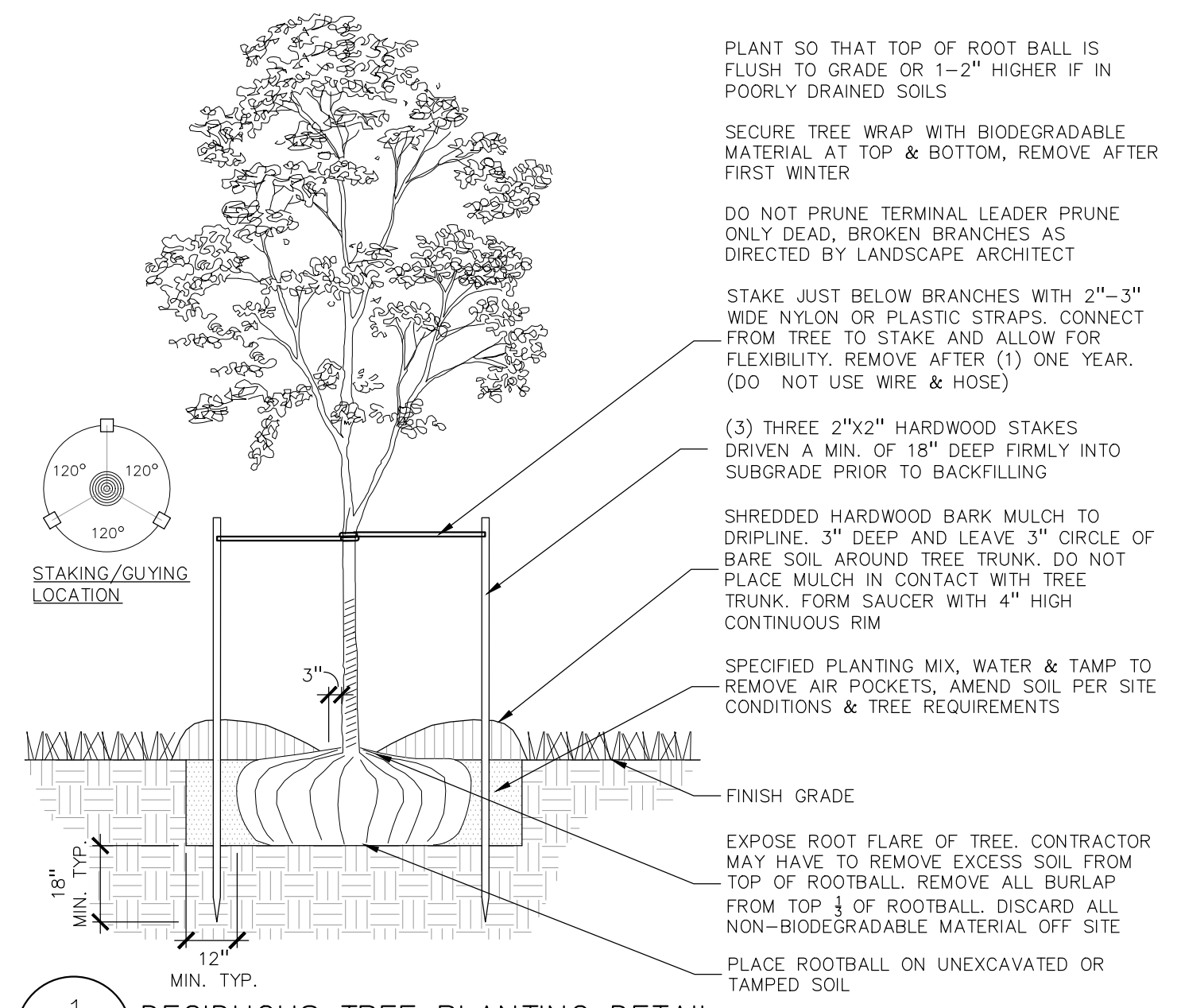
**5 ALUMINUM EDGE DETAIL**  
SCALE: 1/2" = 1'-0"



**2 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"



**4 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

**Swale Seed Mix**  
Stantec Native Plant Nursery 574-586-2412  
stantec.com/native-plant-nursery

Botanical Name	Common Name
<b>Permanent Grasses/Sedges:</b>	
<i>Andropogon gerardi</i>	Big Bluestem
<i>Carex comosa</i>	Bristly Sedge
<i>Carex cristatella</i>	Crested Oval Sedge
<i>Carex lurida</i>	Bottlebrush Sedge
<i>Carex spp.</i>	Prairie Sedge Mix
<i>Carex vulpinoidea</i>	Brown Fox Sedge
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Glyceria striata</i>	Fowl Manna Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Scirpus atrovirens</i>	Dark Green Rush
<i>Scirpus cyperinus</i>	Wool Grass
<i>Spartina pectinata</i>	Prairie Cord Grass
<b>Temporary Cover:</b>	
<i>Avena sativa</i>	Common Oat
<i>Lolium multiflorum</i>	Annual Rye
<b>Forbs:</b>	
<i>Alisma spp.</i>	Water Plantain (Various Mix)
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Coreopsis tripteris</i>	Tall Coreopsis
<i>Eutrochium latifolium</i>	Spotted Joe-Pye Weed
<i>Iris virginica</i>	Blue Flag
<i>Liatis spicata</i>	Marsh Blazing Star
<i>Lobelia cardinalis</i>	Cardinal Flower
<i>Lobelia siphilitica</i>	Great Blue Lobelia
<i>Lycopus americanus</i>	Common Water Horehound
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Rudbeckia triloba</i>	Brown-Eyed Susan
<i>Sagittaria latifolia</i>	Common Arrowhead
<i>Senna hebecarpa</i>	Wild Senna
<i>Silphium terebinthinaceum</i>	Prairie Dock
<i>Symphoricarpon novae-angliae</i>	New England Aster
<i>Verbena hastata</i>	Blue Vervain
<i>Zizia aurea</i>	Golden Alexanders

FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. INSTALL AND PREP PER MANUFACTURERS SPECIFICATIONS.

NATIVE SEED MIX. BY STANTEC NATIVE PLANT NURSERY, 574-586-2412, OR EQUAL SPECIES TO BE NATIVE TO COUNTY. NO INVASIVE SPECIES ALLOWED

FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. INSTALL AND PREP PER MANUFACTURERS SPECIFICATIONS.

**Low-profile Prairie Seed Mix**  
Stantec Native Plant Nursery 574-586-2412  
stantec.com/native-plant-nursery

Botanical Name	Common Name
<b>Permanent Grasses:</b>	
<i>Bouteloua curtipendula</i>	Side Oats Grama
<i>Carex spp.</i>	Prairie Carex Mix
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Koeleria pyramidata</i>	June Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Schizachyrium scoparium</i>	Little Bluestem
<b>Temporary Cover:</b>	
<i>Avena sativa</i>	Common Oat
<i>Lolium multiflorum</i>	Annual Rye
<b>Forbs:</b>	
<i>Amorpha canescens</i>	Lead Plant
<i>Anemone cylindrica</i>	Thimbleweed
<i>Asclepias syriaca</i>	Common Milkweed
<i>Asclepias tuberosa</i>	Butterfly Milkweed
<i>Baptisia alba</i>	White Wild Indigo
<i>Chamaecrista fasciculata</i>	Partridge Pea
<i>Coreopsis lanceolata</i>	Sand Coreopsis
<i>Coreopsis palmata</i>	Prairie Coreopsis
<i>Dalea candida</i>	White Prairie Clover
<i>Dalea purpurea</i>	Purple Prairie Clover
<i>Desmanthus illinoensis</i>	Illinois Sensitive Plant
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower
<i>Eryngium yuccifolium</i>	Rattlesnake Master
<i>Lespedeza capitata</i>	Round-Head Bush Clover
<i>Liatis aspera</i>	Rough Blazing Star
<i>Lupinus perennis</i>	Wild Lupine
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Oligoneuron rigidum</i>	Stiff Goldenrod
<i>Parthenium integrifolium</i>	Wild Quinine
<i>Penstemon digitalis</i>	Foxglove Beard Tongue
<i>Penstemon hirsutus</i>	Hairy Beard Tongue
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Ratibida pinnata</i>	Yellow Coneflower
<i>Rudbeckia hirta</i>	Black-Eyed Susan
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan
<i>Silphium terebinthinaceum</i>	Prairie Dock
<i>Solidago speciosa</i>	Showy Goldenrod
<i>Symphoricarpon ericoides</i>	Heath Aster
<i>Symphoricarpon laeve</i>	Smooth Blue Aster
<i>Symphoricarpon novae-angliae</i>	New England Aster
<i>Tradescantia ohienis</i>	Common Spiderwort
<i>Verbena stricta</i>	Hoary Vervain
<i>Vernonia spp.</i>	Ironweed (Various Mix)
<i>Veronicastrum virginicum</i>	Culvers Root

CLIENT  
**JTA INC.**  
309 N. MAIN STREET STE. 213  
ROYAL OAK, MICHIGAN

PROJECT TITLE  
**MOTOR CITY CHURCH**  
1349 WATLIES ROAD  
TROY, MICHIGAN

REVISIONS	
SPRS/US REVISED	05/07/24

ORIGINAL ISSUE DATE:  
APRIL 15, 2024  
DRAWING TITLE  
**LANDSCAPE DETAILS**

PEA JOB NO.	24-0037
P.M.	JBT
DN.	BZ
DES.	LAW
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

L-2

TAG	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
1	TH	7X8	Thornapple/Hawthorne	Cragaegus spp.	P		LANDMARK	R	Y	REPLACE
2	TH	12	Thornapple/Hawthorne	Cragaegus spp.	P		LANDMARK	R	Y	REPLACE
3	CA	10X3	Crab Apple	Malus caronaria	P		LANDMARK	R	Y	REPLACE
4	CA	9X4	Crab Apple	Malus caronaria	P		LANDMARK	R	Y	REPLACE
5	RM	30	Red Maple	Acer rubrum	F		LANDMARK	S	Y	-
6	NM	8	Norway Maple	Acer platanoides	G		INVASIVE	R	Y	-
7	NM	7	Norway Maple	Acer platanoides	F		INVASIVE	S	Y	-
8	NM	8	Norway Maple	Acer platanoides	G		INVASIVE	R	Y	-
9	B	25	Basswood	Tilia americana	P		LANDMARK	S	Y	-
10	NM	47	Norway Maple	Acer platanoides	G		INVASIVE	R	Y	-
11	BS	11	Blue Spruce	Picea pungens	P		WOODLAND	S	Y	-
12	BS	8	Blue Spruce	Picea pungens	P		WOODLAND	S	Y	-
13	BS	10	Blue Spruce	Picea pungens	F		WOODLAND	S	Y	-
14	NS	10	Norway Spruce	Picea Abies	F		WOODLAND	S	Y	-
15	BS	9	Blue Spruce	Picea pungens	F		WOODLAND	S	Y	-
16	TH	8X3	Thornapple/Hawthorne	Cragaegus spp.	F		LANDMARK	S	Y	-
17	EB	7X6	European Buckthorn	Rhamnus cathartica	P		INVASIVE	S	Y	-
18	E	21	American Elm	Ulmus americana	F		INVASIVE	S	Y	-
19	E	19	American Elm	Ulmus americana	G		INVASIVE	S	Y	-
20	EB	7	European Buckthorn	Rhamnus cathartica	F		INVASIVE	S	Y	-
21	E	18	American Elm	Ulmus americana	G		INVASIVE	S	Y	-
22	E	10	American Elm	Ulmus americana	G		INVASIVE	S	Y	-
23	E	22	American Elm	Ulmus americana	G		INVASIVE	S	Y	-
24	NS	14	Norway Spruce	Picea Abies	F		WOODLAND	S	Y	-
25	BS	13	Blue Spruce	Picea pungens	G		WOODLAND	S	Y	-
26	BS	14	Blue Spruce	Picea pungens	F		WOODLAND	S	Y	-
27	BS	12	Blue Spruce	Picea pungens	G		WOODLAND	S	Y	-
28	BS	13	Blue Spruce	Picea pungens	G		WOODLAND	S	Y	-
29	NS	12	Norway Spruce	Picea Abies	G		WOODLAND	S	Y	-
30	BS	13	Blue Spruce	Picea pungens	G		WOODLAND	S	Y	-
31	BS	14	Blue Spruce	Picea pungens	G		WOODLAND	S	Y	-

**TREE INVENTORY/PRESERVATION CALCULATIONS**

**WOODLAND TREES**

<b>WOODLAND TREES REMOVED:</b>	0	(REPLACE AT 50% OF REMOVED DBH)
" DBH x 0.5 =	"	REPLACEMENT
<b>WOODLAND TREES SAVED:</b>	13	(CREDIT OF 2X DBH)
153" DBH x 2 =	306"	CREDIT
0	-	306 = -306
<b>0 DBH REQUIRED FOR WOODLAND REPLACEMENT</b>		

**LANDMARK TREES**

<b>LANDMARK TREES REMOVED:</b>	4	(REPLACE AT 100% OF REMOVED DBH)
12" DBH x 1 =	12"	REPLACEMENT
<b>LANDMARK TREES SAVED:</b>	3	(CREDIT OF 2X DBH)
55" DBH x 2 =	110"	CREDIT
12	-	110 = -98
<b>0 TOTAL DBH REQUIRED FOR REPLACEMENT</b>		

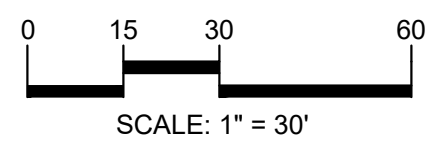
**EXEMPT TREES**

(NO REPLACEMENT REQUIRED FOR EXEMPT TREES)

<b>SAVED EXEMPT TREES:</b>	7	Trees
<b>EXEMPT TREES ON SITE:</b>	10	Trees
<b>TOTAL SAVED TREES 6" AND ABOVE ON SITE:</b>	23	Trees

KEY:

- = EXISTING TREES TO REMAIN
  - = EXISTING TREES TO BE REMOVED
  - = EXISTING TREES TO BE REMOVED
- SEE L-2 FOR TREE PROTECTION FENCE DETAIL



**CAUTION!!**  
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR OTHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**JTA INC.**  
309 N. MAIN STREET STE. 213  
ROYAL OAK, MICHIGAN

PROJECT TITLE  
**MOTOR CITY CHURCH**  
1349 WATTLES ROAD  
TROY, MICHIGAN

REVISIONS	
SPR/SU REVISED	05/07/24

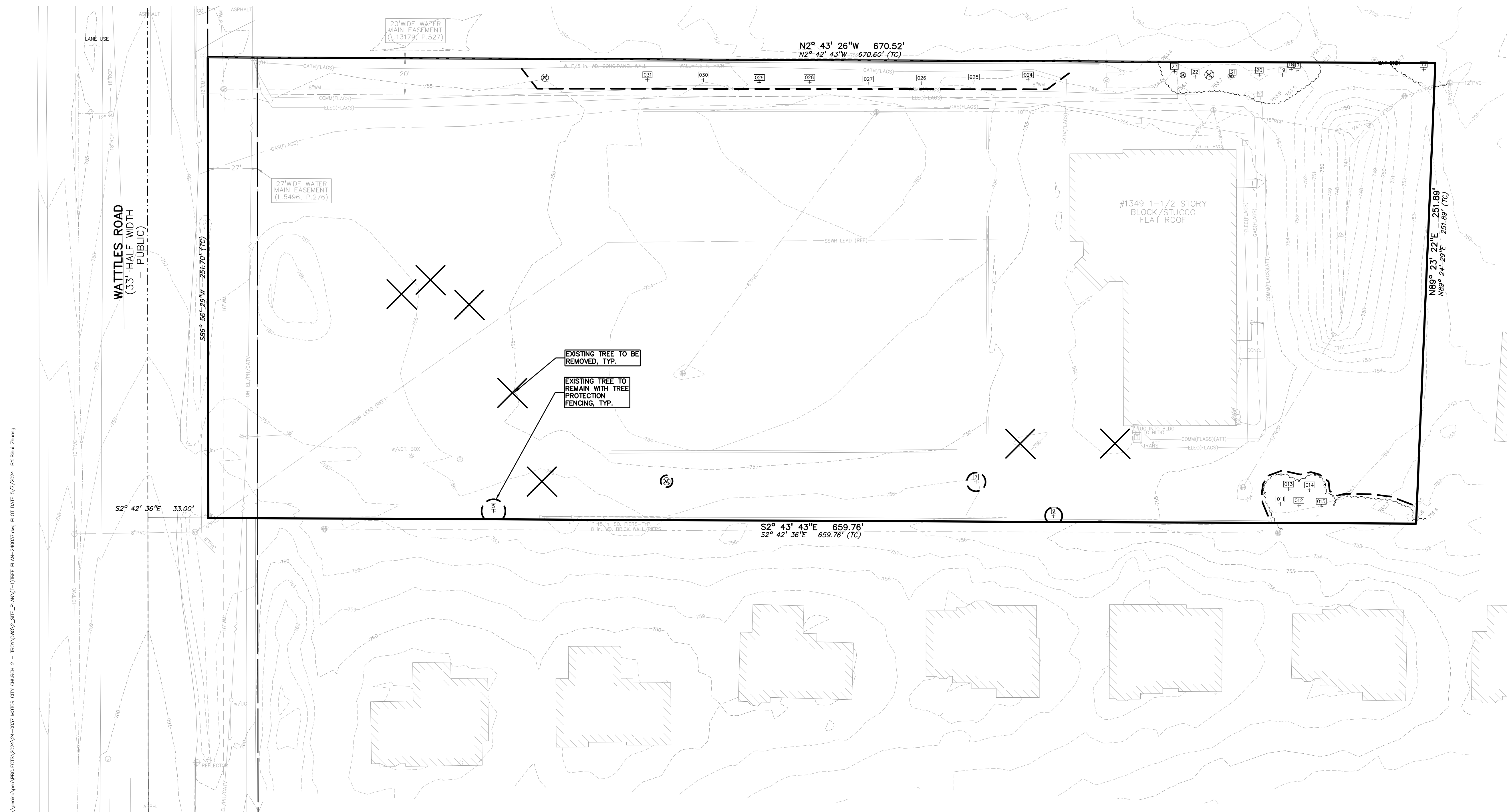
ORIGINAL ISSUE DATE:  
APRIL 15, 2024

DRAWING TITLE  
**TREE PRESERVATION PLAN**

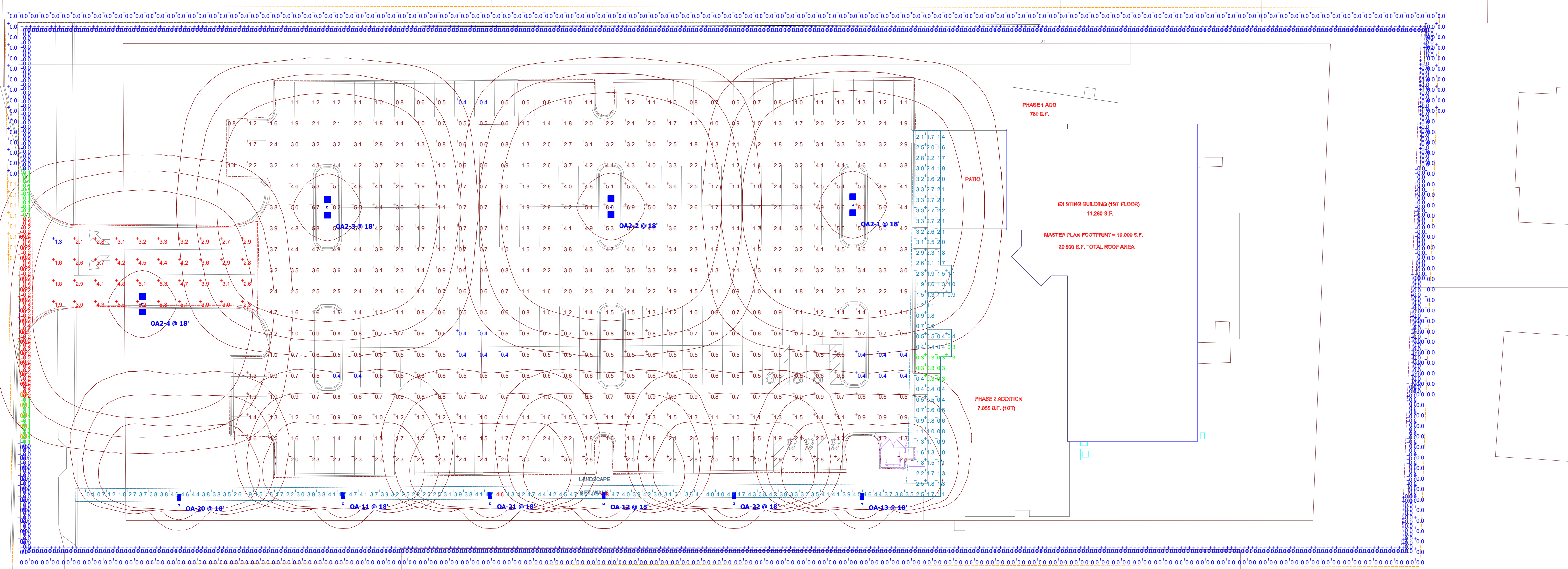
PEA JOB NO.	24-0037
P.M.	JBT
DN	BZ
DES.	LAW
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

T-1



\\pea\new\PROJECTS\2024\24-0037 MOTOR CHURCH - TREE PLAN-240037.dwg PLOT DATE: 5/7/2024 BY: Binh Zhang



**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive	+	3.6 fc	8.2 fc	1.3 fc	6.3:1	2.8:1
Parking Lot	+	1.9 fc	8.3 fc	0.4 fc	20.8:1	4.8:1
Property Line	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
SITE	+	1.1 fc	7.2 fc	0.0 fc	N/A	N/A
Walkway	+	2.4 fc	4.8 fc	0.3 fc	16.0:1	8.0:1
10' Beyond Property Line	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

**Plan View**  
Scale - 1" = 30'

**Schedule**

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
OA	OA		6	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA2C-840-U-SL4-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (2) 80 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	32	306	0.9	108	
OA2	OA2		4	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA3C-840-U-SWQ	GALLEON AREA AND ROADWAY LUMINAIRE (3) 80 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS	48	385	0.9	320	

**Luminaire Locations**

No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
12	OA	724.09	270.10	18.00	18.00	0.47	0.00	724.10	271.35	0.00
13	OA	847.11	269.82	18.00	18.00	0.47	0.00	847.12	271.07	0.00
20	OA	521.85	269.30	18.00	18.00	0.47	0.00	521.86	270.55	0.00
21	OA	670.03	270.15	18.00	18.00	0.47	0.00	670.04	271.40	0.00
1	OA2	842.72	412.26	18.00	18.00	180.00	0.00			
	OA2-1	842.72	408.51	18.00	18.00	180.00	0.00	842.72	411.01	0.00
	OA2-2	842.72	416.01	18.00	18.00	0.00	0.00	842.72	413.51	0.00
22	OA	786.03	270.15	18.00	18.00	0.47	0.00	786.04	271.40	0.00
2	OA2	727.55	411.35	18.00	18.00	180.00	0.00			
	OA2-1	727.55	407.60	18.00	18.00	180.00	0.00	727.55	410.10	0.00
	OA2-2	727.55	415.10	18.00	18.00	0.00	0.00	727.55	412.60	0.00
3	OA2	592.54	411.06	18.00	18.00	180.00	0.00			
	OA2-1	592.54	407.31	18.00	18.00	180.00	0.00	592.54	409.81	0.00
	OA2-2	592.54	414.81	18.00	18.00	0.00	0.00	592.54	412.31	0.00
4	OA2	504.40	364.95	18.00	18.00	180.00	0.00			
	OA2-1	504.40	361.20	18.00	18.00	180.00	0.00	504.40	363.70	0.00
	OA2-2	504.40	368.70	18.00	18.00	0.00	0.00	504.40	366.20	0.00
11	OA	600.03	270.15	18.00	18.00	0.47	0.00	600.04	271.40	0.00



**McGraw-Edison**  
**GALN Galleon II**  
Area / Site Luminaire

**Product Features**

- Light Management
- BAA

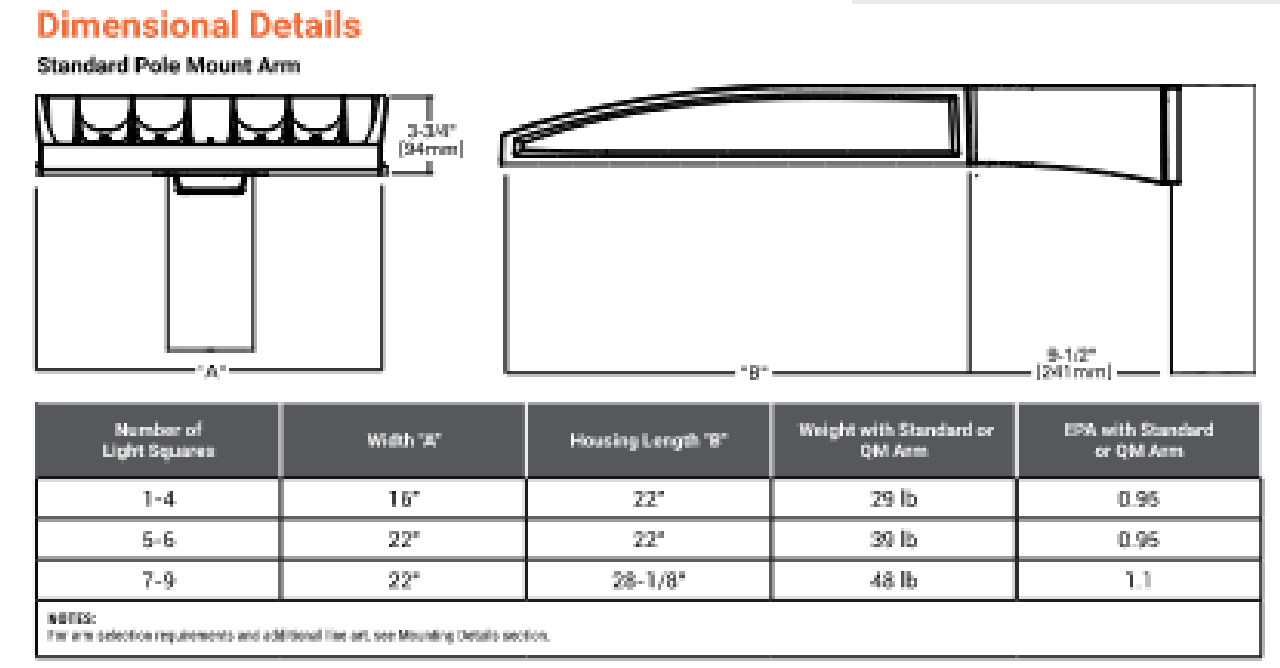
**Product Certifications**

- IS10
- DLC LISTED
- DLC Efficacy 170lm/W
- 3G VIB
- IP66
- 5 YEAR

- Interactive Menu**
- Ordering Information page 2
  - Mounting Details page 3
  - Optical Distributions page 5
  - Product Specifications page 5
  - Energy and Performance Data page 6
  - Control Options page 11

- Quick Facts**
- Lumen packages range from 3,300 - 73,500 (33W - 552W)
  - 17 optical distributions
  - Efficacy up to 159 lumens per watt

- Connected Systems**
- WaveLinx Lite
  - WaveLinx



NOTES:  
1. See the luminaire's technical specifications for details on mounting and electrical requirements.  
2. EMA (Energy Management Arm) is not available for all luminaire models.

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# Motor City Church

Master Plan and Phase 1 Renderings









MASTER PLAN



MASTER PLAN





MASTER PLAN



MASTER PLAN





PHASE 1





PHASE 1





**ITEM #6**



DATE: May 9, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2021-024) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

The petitioner Jim Butler of PEA Group submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a Starbucks restaurant with drive through within an existing retail building. Restaurant drive throughs are permitted in the CB district, subject to special use approval.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Special Use/Preliminary Site Plan application

G:\SPECIAL USE\SU\_JPLN2024-003\_STARBUCKS\PC Memo 05 14 2024.docx

**PROPOSED RESOLUTION**

PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2021-024) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

**Resolution # PC-2024-05-**

Moved by:

Seconded by:

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) District, be (granted, subject to the following conditions):

1. Provide photometric plans as described in Section 13.05, prior to Final Engineering Approval.

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

Yes:

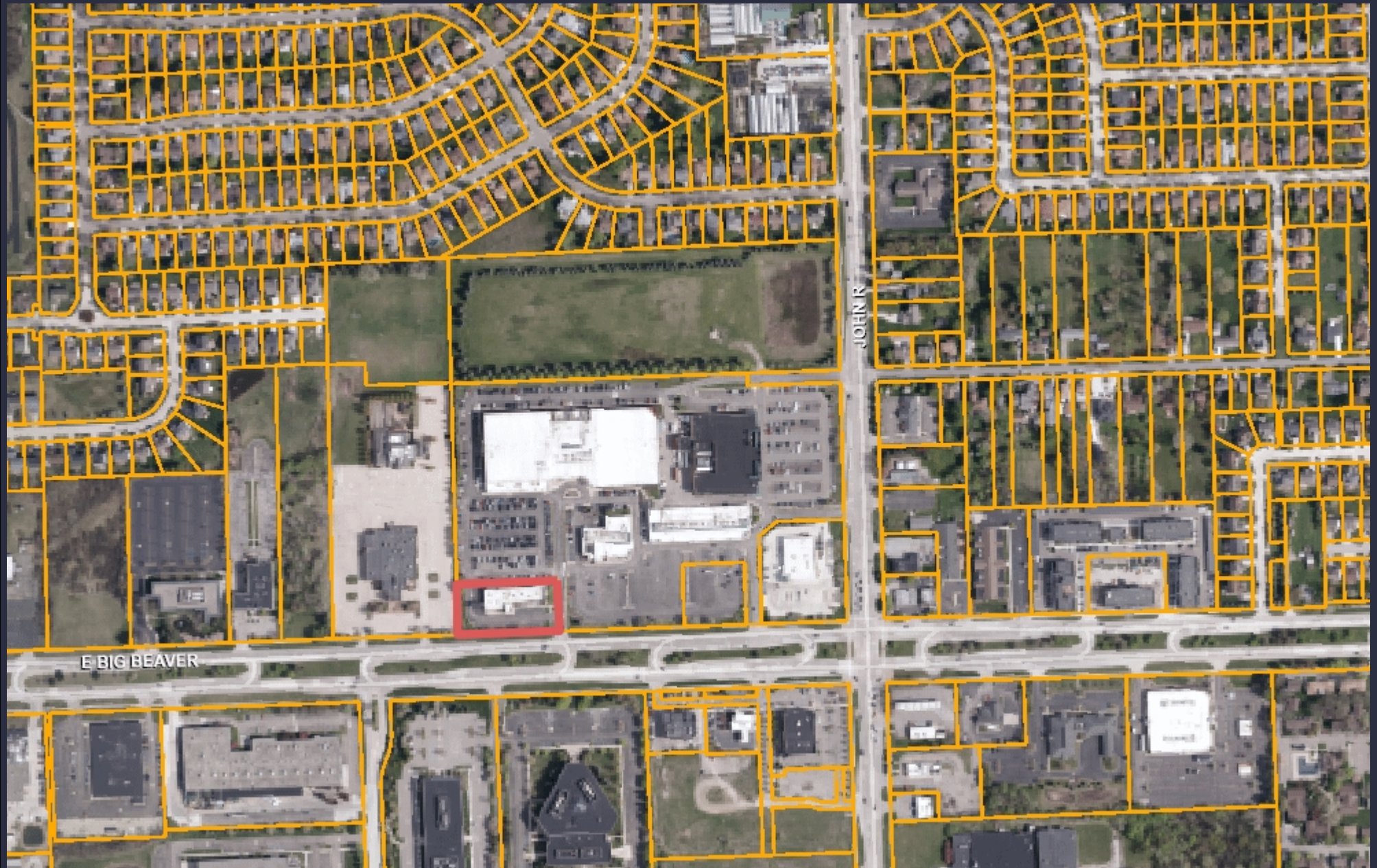
No:

Absent:

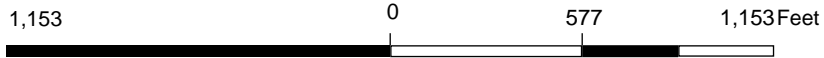
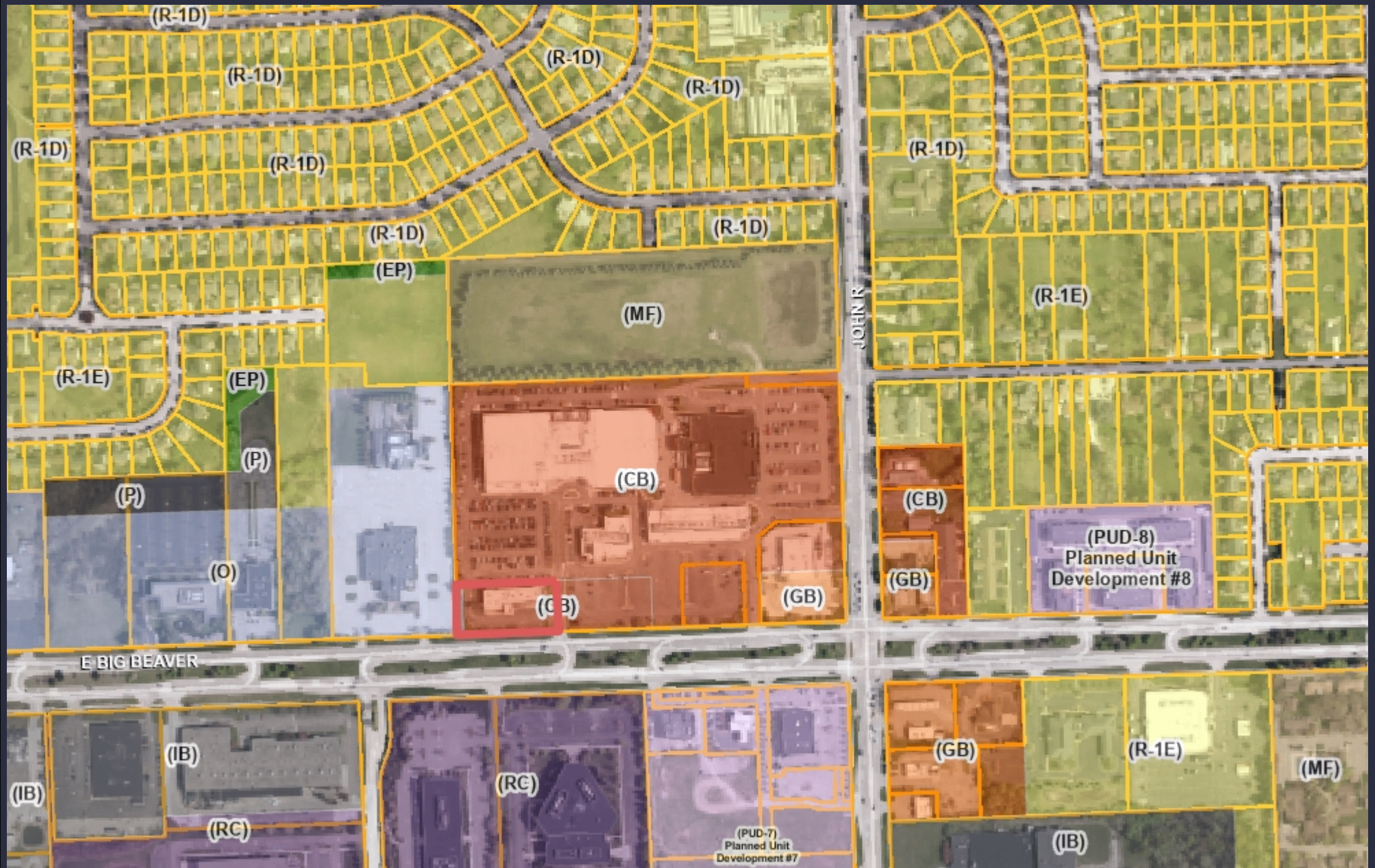
**MOTION CARRIED / FAILED**



# GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

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Date: March 27, 2024  
May 8, 2024

## **Preliminary Site Plan and Special Use Review For City of Troy, Michigan**

**Applicant:** Troy Sport Center LLC

**Project Name:** Starbucks (Big Beaver)

**Location:** 1735 E Big Beaver Road

**Plan Date:** February 27, 2024

**Zoning:** CB, Community Business

**Action Requested:** Preliminary Site Plan and Special Use Approval

### **SITE DESCRIPTION**

Starbucks has submitted an application to relocate from their existing space in the Troy Sports Center Shopping center to the former Chase Bank, which is an outlot on Big Beaver at the west end of an existing shopping plaza. The new Starbucks will replace the former Chase Bank. The proposed coffeehouse is 2,532 square feet. In addition to renovating the building and façade, the applicant proposes to erect a patio along the front façade (south side). Coffee shops are a permitted use in the CB Community Business zoning district; however, drive-throughs are a special use.

Site plan and special use approval would transfer Starbucks to a more visible location along E Big Beaver and allow the utilization of an existing drive-through at the former Chase Bank building.

Site Location:



Proposed Uses of Subject Parcel:

2,532 square foot coffeehouse with drive-through. The coffeehouse is at the west end of an existing shopping plaza.

Current Zoning:

The property is currently zoned CB, Community Business.

Surrounding Property Details:

Direction	Zoning	Use
North	CB, Community Business	Buffalo Wild Wings Arena
South	RC, Research Center	Schaeffler Group USA Inc. Altair
East	CB, Community Business	Smash Burger
West	O, Office	San Marino Club

**NATURAL FEATURES**

The site has been graded for previous development. The site has no natural features.

**Items to be Addressed:** None.

**AREA, WIDTH, HEIGHT, SETBACKS**

	Required / Maximum	Provided	Compliance
Front (South/Big Beaver)	10-foot minimum	N/A	Existing building. Applicant is making the site more compliant by adding the outdoor patio space.
Side (East)	N/A (shares wall with adjacent business)	N/A	Complies
Side (West)	20-foot minimum	83.65 feet	Complies
Rear (North)	30-foot minimum setback	21.15 feet	Existing non-conformity
Building Height	2 stories, 30 feet	20.5 feet	Complies
Parking Location	No more than 50% in front yard	Front yard parking shared with other tenants	Complies

Site plans show that the existing building does not comply with the 30-foot rear setback standard of the CB, Community Business District. We note that the entire shopping plaza is an existing non-conforming structure in regard to this standard.

**Items to be Addressed:** None.

**PARKING**

	Required	Provided	Compliance
<u>Restaurant (fast food):</u> 1 space per 70 square feet net floor area  <u>Retail:</u> 1 space per 250 square feet gross floor area	<p><b>Starbucks:</b>                      1,266 SF/70= 18 spaces</p> <p><b>SmashBurger:</b>                      1,300 SF/70= 19 spaces</p> <p><b>Tropical Smoothie:</b>                      900 SF/70= 13 spaces</p> <p><b>Vacant Retail:</b>                      4,525 SF/250= 18 spaces</p> <p><b>Total Required:</b>  <b>68 spaces</b></p>	47 spaces	Does Not Comply on site. Applicant is proposing shared parking with Troy Sports Center site.
Restaurant drive-through window	10 stacking spaces	14	Complies
Barrier Free	3	3	Complies
Bicycle	2 spaces	2 spaces	Complies

For multiple tenant buildings with shared parking, the City requires parking calculations for all uses to ensure that all tenants retain required parking. Parking calculations provided by the applicant indicate that 47 out of 68 required parking spaces are being provided on this parcel. The applicant notes that parking for the retail development is shared with the adjacent Troy Sports Center.

Shared parking may be permitted provided that a signed agreement is provided by the property owner. We note that the applicant, Troy Sports Center LLC, owns the subject property and surrounding property to the north and east. Overall parking, when considering shared parking with the Troy Sports Center, is sufficient. If one property were to be sold, a future shared parking agreement would be required.

Furthermore, pedestrian access standards found in Section 13.11 require bike racks to be provided within fifty (50) feet of the building entrance. The proposed bike rack is located on the opposite end of the shopping plaza and does not meet this requirement.

**Items to be Addressed:** Provide bike rack no further than 50 feet away from building entrance.



## SITE ACCESS AND CIRCULATION

There are no direct access points to the subject site from Big Beaver. This site and surrounding businesses of the Troy Sport Center are primarily accessed via an unnamed two-way road which runs through the center of the complex. This unnamed road is accessed via Big Beaver and there is an existing traffic light at the intersection.

From the unnamed road, there are two (2) existing access points to turn left onto the Starbucks site. The drive-through must be accessed via the north access point and drive-through patrons will then loop around and exit via the south access point. Throughout the parking lot, circulation features two-way traffic. The aisle width throughout the parking lot is exactly 24 feet.

### Pedestrian Access:

We note that the addition of the drive-through around the side and rear of the building will greatly hinder pedestrian access to the building from the rear (north end). For example, the retail area has direct access from the rear parking lot, which will require any patron that uses that entrance to cross the drive-through. To address these concerns, the applicant has provided two (2) crosswalks within the drive-through lane. We note that these pedestrian crossings must be well-marked, using such measures as pavement treatments, signs, striping, signals, lighting, pedestrian safety islands, landscaping and other traffic calming techniques.

In addition, pedestrians parking in the new spaces along the western property line will also be required to cross the drive-through. For this reason, we had requested that the applicant improve pedestrian access from the west side of the parking lot. Two (2) short crosswalks have been provided in this area, although the general arrangement is unchanged. All crosswalks on-site shall be well-marked in the manner described above.

**Items to be Addressed:** *Ensure safe pedestrian access as described in Section 13.11(C)(5).*

## LANDSCAPING

A landscaping plan has been provided on Sheet L-10. The following table discusses the development's compliance with the landscape requirements set forth in Section 13.02.

	Required	Provided	Compliance
<b>Greenbelt</b>			
Big Beaver: 1 tree per 30 feet of frontage	$326.89/30= 11$ trees	7 existing trees and 4 proposed trees	Complies
<b>Parking Lot Landscaping</b>			

1 tree per every 8 parking spaces	$18/8 = 2$ trees	2 trees in lot perimeter	Pending Planning Commission Review
<b>Screening Between Uses</b>			
1 large evergreen tree per 10 lineal feet OR 1 narrow evergreen tree per 5 lineal feet	West: $162 \text{ LF}/10 = 16$ <b>OR</b> $162/5 = 32$	32 narrow evergreen trees	Complies
<b>Overall</b>			
General site landscaping: A minimum of 20% of the site area shall be comprised of landscape material	$(52,937 \text{ SF} * .2)$  $20\% = 10,587.4 \text{ SF}$	$17,253.96 \text{ SF} =$ $32.59\%$	Complies

Plans indicate that two (2) parking lot trees have been provided as required; however, the proposed trees are situated along the perimeter of the parking lot, not within. We note that an equivalent amount of landscape plantings at the perimeter of parking lots may be approved where landscaping within lots would be impractical due to size of the parking lot, detrimental to safe and efficient traffic flow, or would create an unreasonable burden for maintenance and snowplowing, provided all other landscaping requirements are met. This is an existing parking lot and adding additional parking lot trees would require the removal of at least two parking spaces.

Trash Enclosure:

The trash enclosure is screened with a 6-foot masonry block wall matching the finish of the building.

Mechanical Equipment:

Mechanical equipment is screened with eight (8) Juniper shrubs. Access doors to the transformer shall not be blocked by plantings.

Stormwater Management:

A memo from PEA Group dated May 6, 2024 states: "We have discussed storm water management with the City's Engineering Department. As part of the final engineering submittal, we will add an in-line pretreatment structure to the existing storm sewer system."

**Items to be Addressed:** Planning Commission review of parking lot trees.

## PHOTOMETRICS

The applicant has confirmed that a photometric plan is being developed and shall be provided upon completion. Photometric plans shall include cut sheets for each type of lighting, specific location of each light, and height of each light. All exterior lighting shall be a full cut-off fixture or a fully shielded fixture, downward directed with a flat lens to prevent glare.

**Items to be Addressed:** Provide photometric plans as described in Section 13.05.

## FLOOR PLAN AND ELEVATIONS

### Floor Plans:

The Starbucks building measures 2,532 square feet with 1,266 square feet of net floor space. There are two (2) entryways along the front façade: one (1) at the far east edge and one (1) near the center of the façade. Upon entry, open space is shown in the area straight ahead and to the left. No tables or other elements are shown as to what the layout of this area will look like.

The coffeehouse bar is situated along the west wall. In the northwest corner (behind the bar), there is an entryway into a large room called “back of house” where a rear entrance/exit door is located. Restrooms and an electrical/mechanical room are located on the east side of the building. In this area, there is another private rear entrance/exit door.

A new patio for outdoor seating is proposed in front of the building; no dimensions were provided.

In addition to the Starbucks floor plans, the applicant has provided floor plans for the adjacent business to the east where Smash Burger is currently located. A memo from PEA Group dated May 6, 2024 states: “Space B is for a future user that is unknown currently. This space has been included in the parking calculations.”

### Building Materials:

The applicant proposes several architectural modifications to the building exterior. Exterior walls feature a new stucco finish of white color. Ten (10) windows are proposed along the front façade, each measuring 10-feet in height and framed with prefinished aluminum of dark bronze color. Composite wood siding is proposed along the front façade and around the drive-through window. Other materials around the drive-through include a metal canopy and metal bollards. Colored renderings depict the exterior to feature a mix of white, dark bronze, and gray.

### Elevations:

At its peak, the building is 20.5 feet in height.

**Items to be Addressed:** None.

## SPECIAL USE

Drive-through facilities are considered a special use in the CB Community Business district.

For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.”

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses.*
2. *Compatibility with the Master Plan.*
3. *Traffic Impact.*
4. *Impact on Public Services.*
5. *Compliance with Zoning Ordinance Standards.*
6. *Impact on the Overall Environment. The proposed Special Use shall no*
7. *Special Use Approval Specific Requirements.*

**Items to be Addressed:** Address items noted in report.

## DESIGN STANDARDS AND SITE PLAN REVIEW STANDARDS

The Big Beaver Node design standards as well as Site Plan review standards provide the Planning Commission with direction when reviewing the proposed site plan and design features of this development.

Section 5.04.E. outlines Design Standards:

1. *Building Orientation and Entrance*
2. *Ground Story Activation*
3. *Transitional Features*
4. *Site Access, Parking, and Loading*

Please see Section 5.04.E for standard details.

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*

- a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
  - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
  - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
    - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
    - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
    - c. *Develop buildings with creativity that includes balanced compositions and forms.*
    - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
    - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
    - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
    - a. *Provide elements that define the street and the pedestrian realm.*
    - b. *Create a connection between the public right of way and ground floor activities.*
    - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
    - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
    - e. *Improve safety for pedestrians through site design measures.*

## SUMMARY

We support the relocation of the Starbucks, as it would provide a more visible location along Big Beaver and allow the utilization of an existing drive-through at the former Chase Bank building. As part of the discussion, Planning Commission should consider the following:

1. Compliance with Special Use standards set forth in section 9.03
2. Compliance with Big Beaver design standards set forth in section 5.04
3. Compliance with site plan review standards set forth in section 8.06
4. Compliance with Safe pedestrian access as described in Section 13.11(C)(5).
5. Parking lot tree location

Starbucks (Big Beaver)  
May 8, 2024

If Planning Commission approves the Special Use and Preliminary Site Plan, we recommend the following condition:

1. *Provide photometric plans as described in Section 13.05.*

Sincerely,

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, AICP, LEED AP**  
**President**

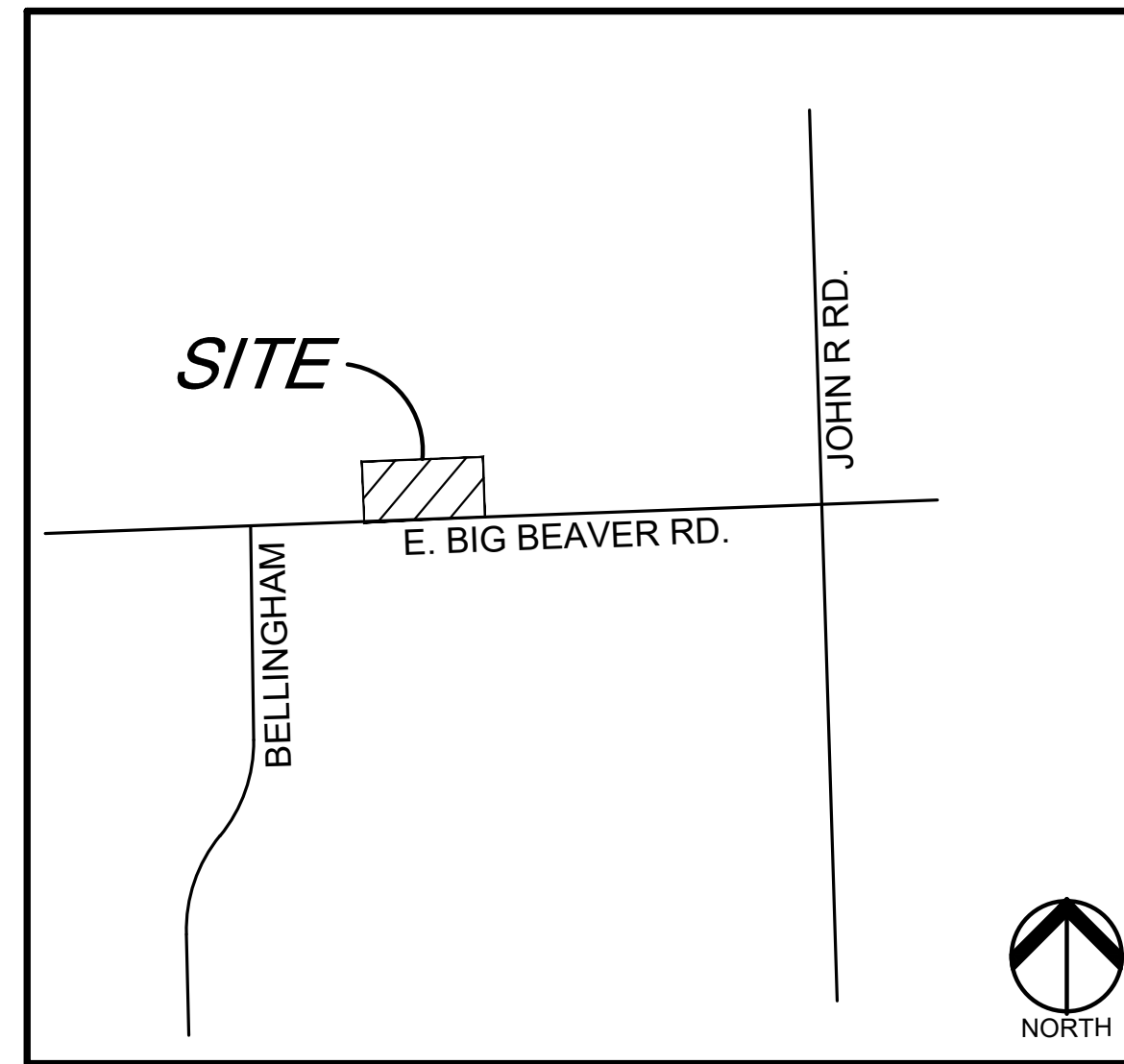
  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Shara Kot**  
**Community Planner**

PRELIMINARY SITE PLANS

# STARBUCKS

1735 EAST BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP  
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-3.0	PRELIMINARY SITE PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-9.0	NOTES AND DETAILS
C-9.1	NOTES AND DETAILS
L-1.0	LANDSCAPE PLAN
L-2.1	LANDSCAPE SPECIFICATIONS
L-2.2	LANDSCAPE SPECIFICATIONS
ARCHITECTURAL	
A-2	PROPOSED FIRST FLOOR PLAN
A-3	PROPOSED ELEVATIONS
A-4	RENDERED ELEVATIONS
	PHOTOMETRIC PLAN

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
TROY SPORT CENTER, LLC 803 W BIG BEAVER ROAD, SUITE 100 TROY, MICHIGAN 48084 CONTACT: DENNIS BOSTICK PHONE: 248.506.1287 EMAIL: DENNISBOSTICK@ATT.NET	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM

ARCHITECT

BRIAN NEEPER ARCHITECTURE  
630 NORTH OLD WOODWARD, SUITE 203  
BIRMINGHAM, MICHIGAN 48009  
CONTACT: BRIAN NEEPER  
PHONE: 248.259.1784  
EMAIL: BRIAN@BRIANNEEPER.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	

NOT FOR CONSTRUCTION

**REFERENCE DRAWINGS:**  
PEA JOB NO. 2018-034

MORTGAGE SURVEY, NOWAK & FRAUS JOB NO. 8801-05, SHEET 1, DATED 08/15/2017

CITY OF TROY UTILITY MAP (FROM PEA JOB NO. 2018-034)

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0553, DATED 01/16/2009.

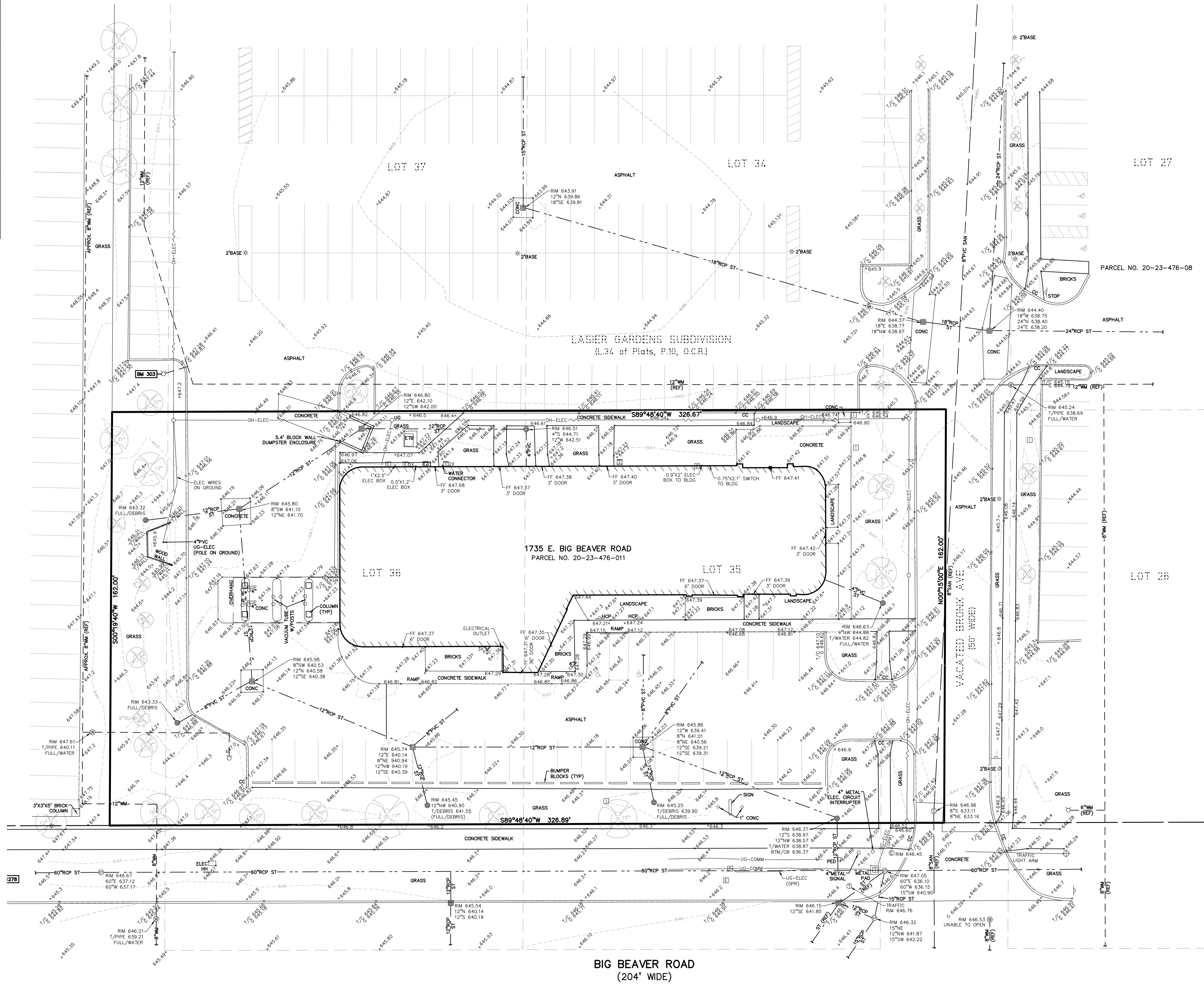
**BENCHMARKS:**  
(PER CITY OF TROY DATUM)

BM #303  
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF THE PARKING LOT ACROSS FROM THE DUMPSTER BEHIND 1735 E. BIG BEAVER ROAD, NEAR THE CHASE BANK DRIVE-THRU.  
ELEV. - 649.41

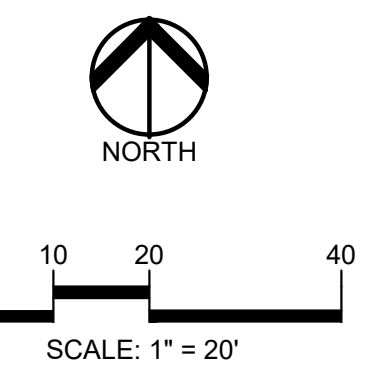
TROY BM #1277  
ARROW ON TYPHYDRANT (#23-122) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE WEST ENTRANCE TO TROY SPORTS CENTER  
ELEV. 648.728

TROY BM #1278  
ARROW ON TYPHYDRANT (#23-123) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE ENTRANCE OF BUILDING 1685  
ELEV. 648.184

**LEGAL DESCRIPTION:**  
PARCEL ID 02-23-476-011  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 35 & 36 EXC S 49 FT TAKEN FOR BIG BEAVER RD, ALSO VAC BELLINGHAM ST ADJ TO SAME, ALSO W 1/2 OF VAC BRONX AVE ADJ TO SAME

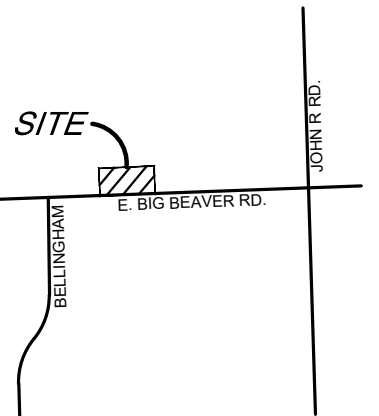


BIG BEAVER ROAD  
(204' WIDE)



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LOCATION MAP



CLIENT  
**TROY SPORTS CENTER, LLC**  
803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISIONS	

ORIGINAL ISSUE DATE:  
FEBRUARY 05, 2024

DRAWING TITLE  
**TOPOGRAPHIC PLAN**

PEA JOB NO.	23-0922
P.M.	JPB
DN	KS
DES.	JPB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-1.0**

S:\PROJECTS\2023\03-0922\_SBLX - TROY SPORTS CENTER\DWG\SITE\_PLAN\CG-10\TOPO-23-0922.dwg PLOT DATE: 4/12/2024 BY: Robert Wooley



**REFERENCE DRAWINGS:**  
PEA JOB NO. 2018-034

MORTGAGE SURVEY, NOWAK & FRAUS JOB NO. 8801-05, SHEET 1, DATED 08/15/2017

CITY OF TROY UTILITY MAP (FROM PEA JOB NO. 2018-034)

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(PER CITY OF TROY DATUM)

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ELEV. 648.184

**LEGAL DESCRIPTION:**  
PARCEL ID 02-23-476-011  
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**LEGEND:**

CONCRETE PAVEMENT	ASPHALT PAVEMENT
GRAVEL	WETLAND
CONCRETE CURB AND GUTTER	REVERSE GUTTER PAN
SETBACK LINE	SIGN LIGHTPOLE
FENCE	FENCE
GUARD RAIL	

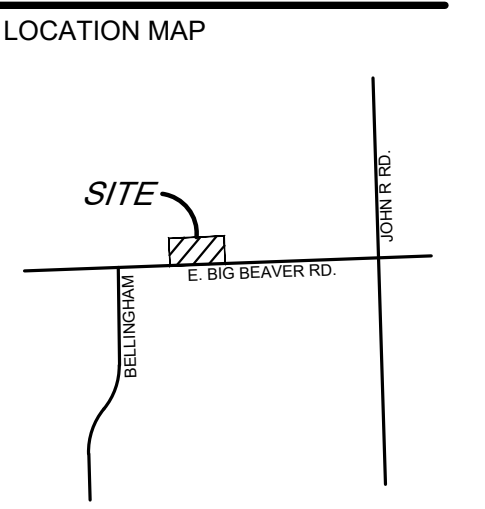
**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com

NORTH

0 10 20 40  
SCALE: 1" = 20'

**811** Know what's below. Call before you dig.

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CLIENT  
**BOSTICK HOLDINGS GROUP**  
303 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

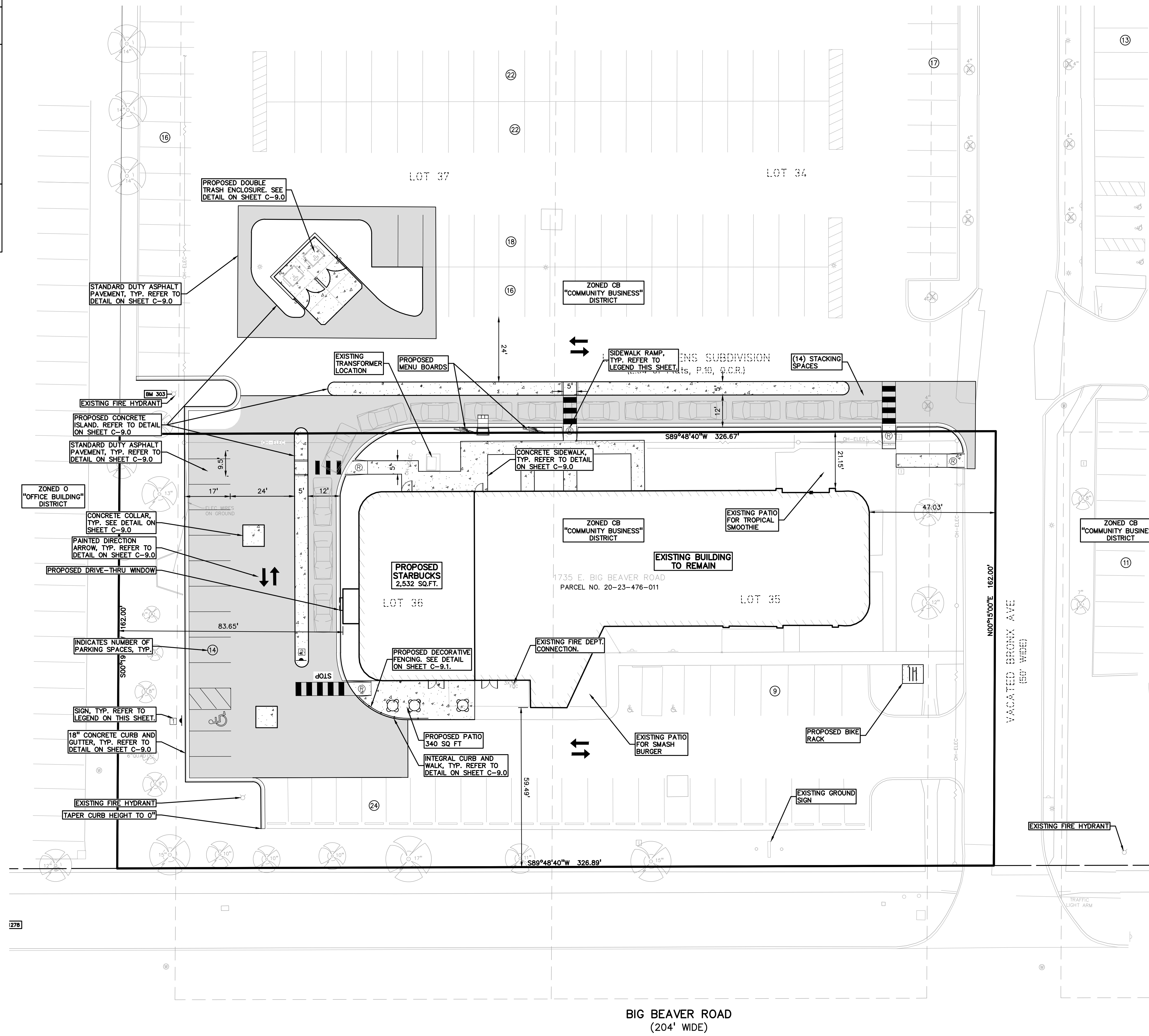
PROJECT TITLE  
**PROPOSED STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISIONS


ORIGINAL ISSUE DATE:  
DECEMBER 12, 2023

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	23-0922
P.M.	JPB
DN.	KS
DES.	JPB
DRAWING NUMBER:	



**GENERAL NOTES:**  
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
- REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS.

**SIDEWALK RAMP LEGEND:**  
SIDEWALK RAMP 'TYPE R' ®  
REFER TO LATEST MDT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**SIGN LEGEND:**  
'NO PARKING FIRE LANE' SIGN ①  
'DO NOT ENTER' SIGN ②  
REFER TO DETAIL SHEET FOR SIGN DETAILS

**SITE DATA TABLE:**

SITE AREA: 1.22 ACRES (52,937 SQ.FT.) NET AND GROSS

ZONING: CB (COMMUNITY BUSINESS)

PROPOSED USE: RESTAURANT (2,532 SQ FT)

EXISTING USES: RETAIL B = 1,492 SQ FT  
SMASH BURGER = 2,600 SQ FT  
TRUE SLEEP = 3,033 SQ FT  
TROPICAL SMOOTHIE = 1,800 SQ FT

TOTAL BUILDING (PROPOSED + EXISTING) = 11,457 SQ FT

PROPOSED BUILDING HEIGHT: 20.5' (30' MAXIMUM PER ZONING ORDINANCE)

**PARKING CALCULATIONS:**

REQUIRED RESTAURANT PARKING: 1 SPACE PER 70 SQ FT NET FLOOR AREA  
REQUIRED RETAIL PARKING: 1 SPACE PER 250 SQ FT GROSS FLOOR AREA

STARBUCKS NET FLOOR AREA = 1,266 SQ FT  
SMASH BURGER NET FLOOR AREA = 1,300 SQ FT  
TROPICAL SMOOTHIE NET FLOOR AREA = 900 SQ FT

= (1266 + 1300 + 900 = 3,466) / 70 = 50 SPACES  
= (1,492 + 3,033 = 4,525) / 250 = 18 SPACES

PARKING REQUIRED = 68 SPACES  
PARKING PROVIDED = 47 SPACES (INCLUDING 3 ADA SPACES)

NOTE: PARKING FOR THE RETAIL DEVELOPMENT IS SHARED WITH THE ADJACENT TROY SPORTS CENTER

STACKING SPACES REQUIRED: 9 SPACES  
STACKING SPACES PROVIDED: 14 SPACES

**REQUIRED SETBACKS:**

FRONT (NORTH) = 10' MINIMUM  
SIDE (EAST) = N/A  
SIDE (WEST) = 20'  
REAR (NORTH) = 30'

**SITE SOILS INFORMATION:**  
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:  
SHEBON-URBAN LAND COMPLEX, 0 TO 4 PERCENT SLOPES

BIG BEAVER ROAD  
(204' WIDE)

S:\PROJECTS\2023\23-0922\_SBLX - TROY SPORTS CENTER\DWG\SITE\_PLAN\C-3.000M-23-0922.dwg PLOT DATE: 12/17/2024 PLOT BY: James P. Bisher

NOT FOR CONSTRUCTION **C-3.0**

**REFERENCE DRAWINGS:**  
PEA JOB NO. 2018-034  
MORTGAGE SURVEY, NOWAK & FRAUS JOB NO. 8801-05, SHEET 1, DATED 08/15/2017  
CITY OF TROY UTILITY MAP (FROM PEA JOB NO. 2018-034)

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**BENCHMARKS:**  
(PER CITY OF TROY DATUM)  
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ELEV. - 649.41  
TROY BM #1277  
ARROW ON A HYDRANT (#23-122) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE WEST ENTRANCE TO TROY SPORTS CENTER  
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**GRADING LEGEND:**

EXISTING SPOT ELEVATION  
PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES

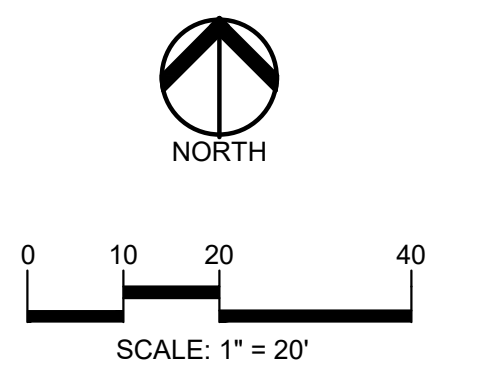
EXISTING CONTOUR  
PROPOSED CONTOUR  
PROPOSED REVERSE GUTTER PAN  
PROPOSED RIDGE LINE  
PROPOSED SWALEDITCH

**ABBREVIATIONS**  
T/C = TOP OF CURB  
T/P = TOP OF PAVEMENT  
T/S = TOP OF SIDEWALK  
T/W = TOP OF WALL  
B/W = BOTTOM OF WALL  
G = GUTTER GRADE  
FF = FINISH FLOOR  
FG = FINISH GRADE  
RM = RIM ELEVATION

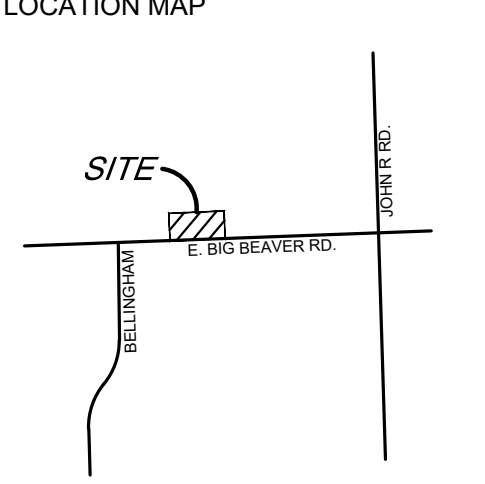
REFER TO GRADING NOTES ON SHEET C-9.0

**RETAINING WALL NOTE:**  
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

**SIDEWALK RAMP LEGEND:**  
SIDEWALK RAMP "TYPE R" (R)  
REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS



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CLIENT  
**BOSTICK HOLDINGS GROUP**  
803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

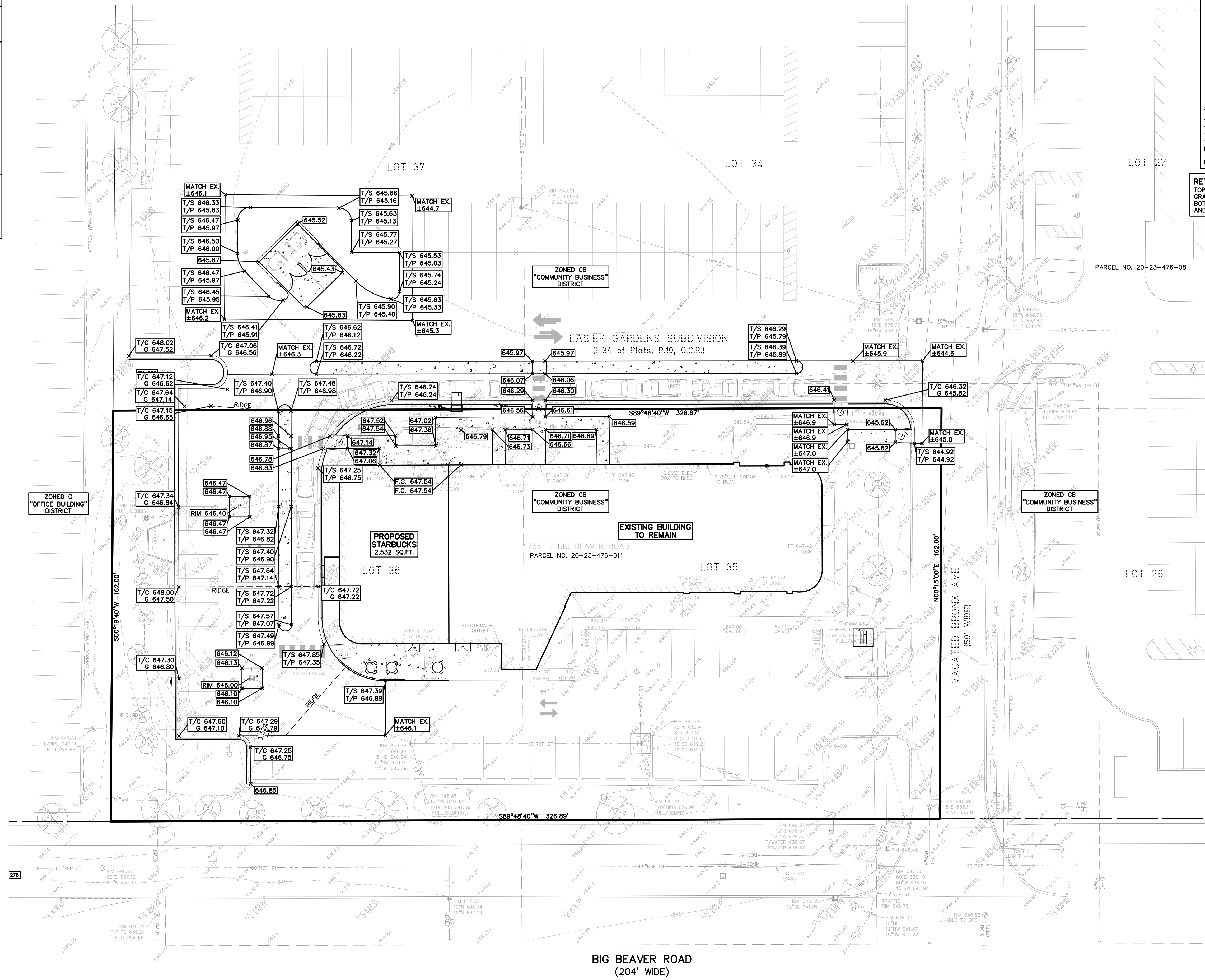
PROJECT TITLE  
**PROPOSED STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISIONS


ORIGINAL ISSUE DATE:  
DECEMBER 12, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	23-0922
P.M.	JPB
DN.	KS
DES.	JPB
DRAWING NUMBER:	

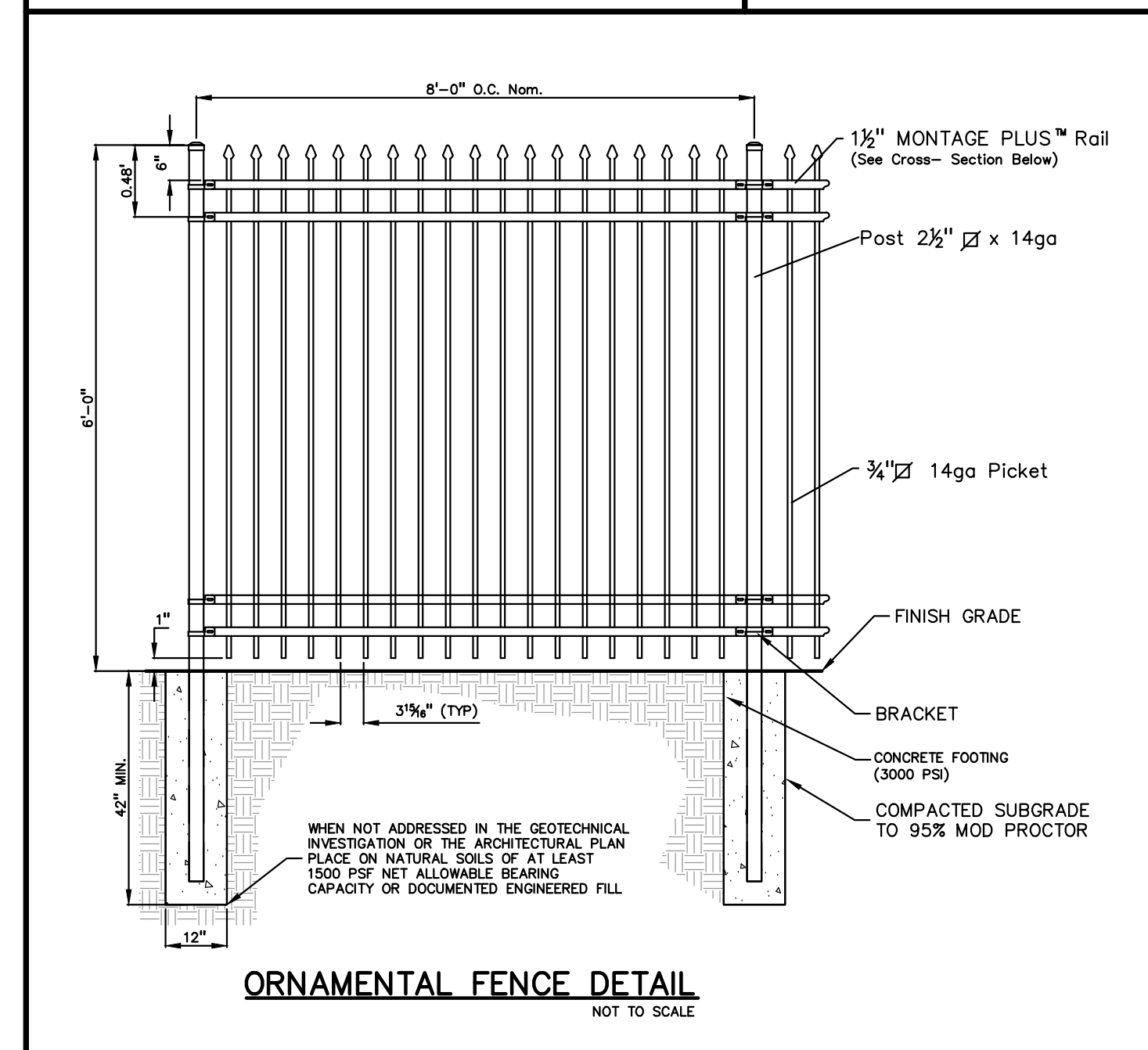


S:\PROJECTS\2023\03-0922\_SBLX - TROY SPORTS CENTER\DWG\SITE\_PLAN\CG-4\GRADE-23-0922.dwg PLOT DATE: 4/12/2024 BY: Robert Mooney





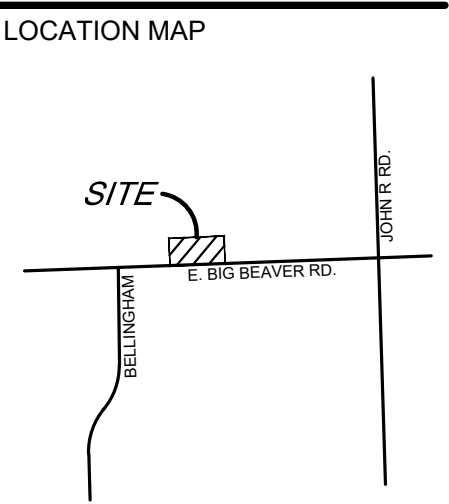
12" x 18" (R7-8)  
 GREEN BORDER AND LEGEND  
 WHITE SYMBOL, BLUE BACKGROUND,  
 REFLECTORIZED  
**DET 2**  
**BARRIER FREE  
 PARKING SIGN DETAIL**  
 NOT TO SCALE



0 10 20 40  
 SCALE: 1" = 20'



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CLIENT  
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 803 W. BIG BEAVER ROAD, SUITE 100  
 TROY, MICHIGAN 48064

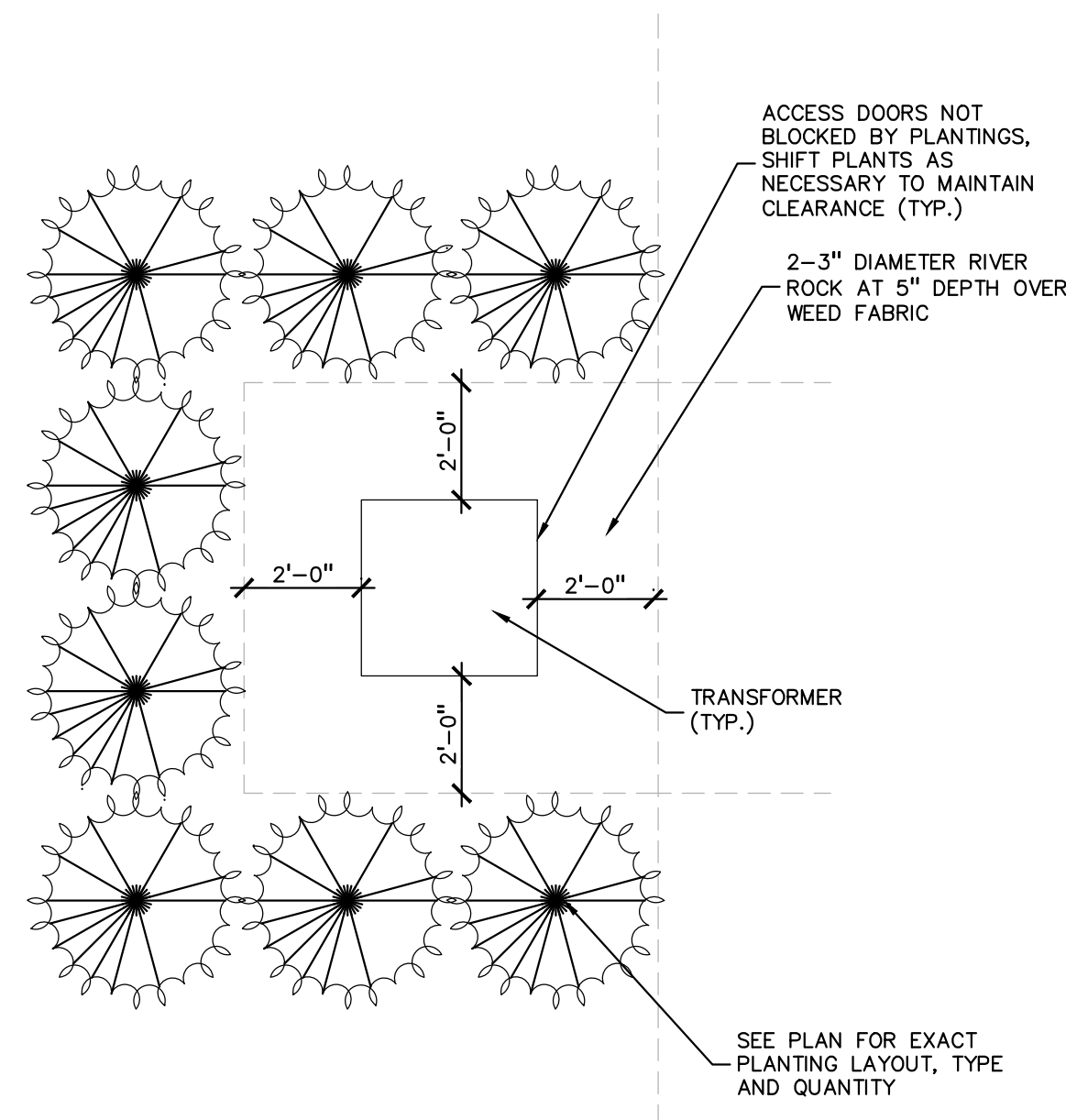
PROJECT TITLE  
**STARBUCKS**  
 1735 E. BIG BEAVER ROAD  
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISIONS	

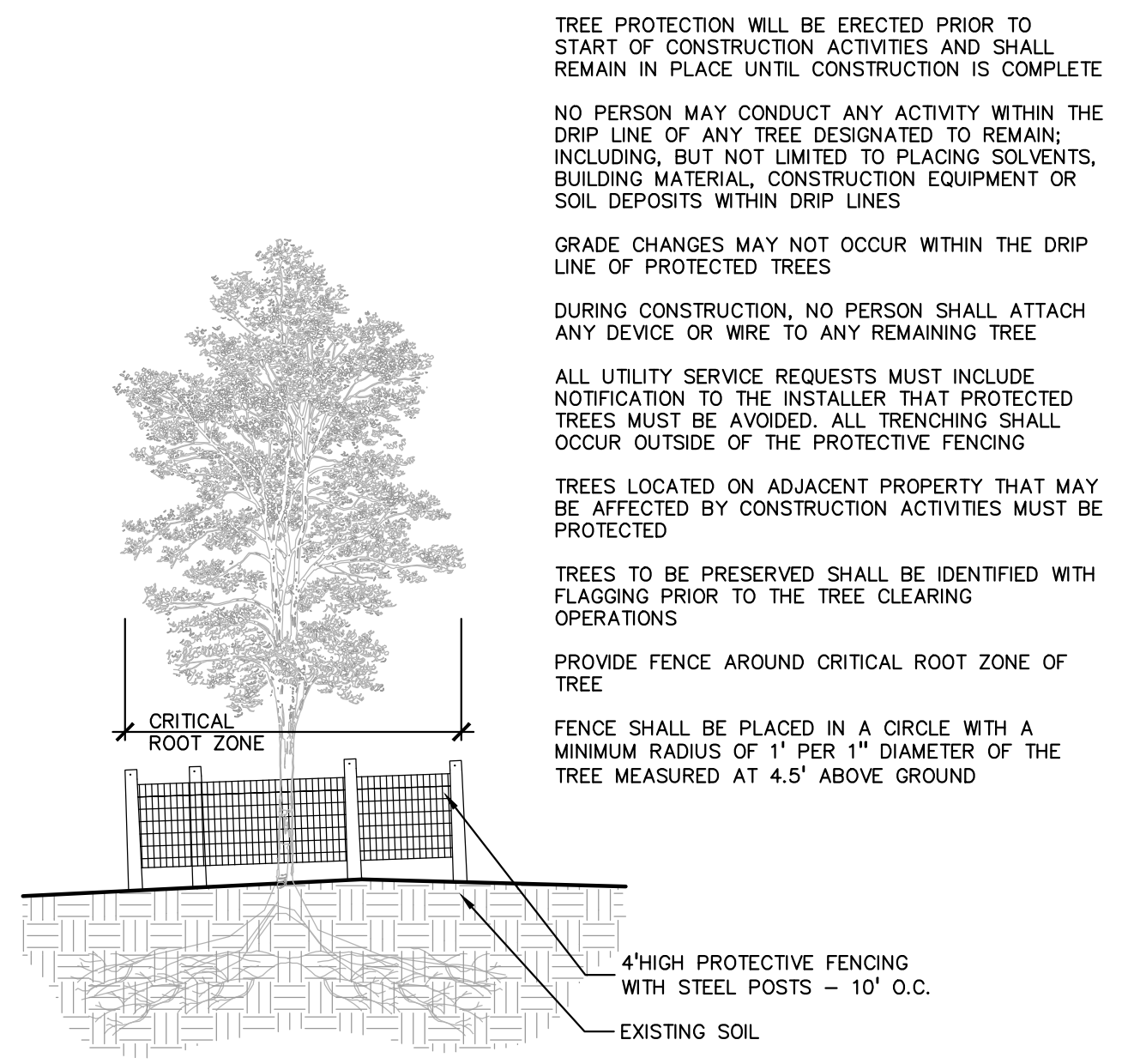
ORIGINAL ISSUE DATE:  
 FEBRUARY 05, 2024  
 DRAWING TITLE  
**NOTES AND  
 DETAILS**

PEA JOB NO.	23-0922
P.M.	JPB
DN	KS
DES.	JPB
DRAWING NUMBER:	

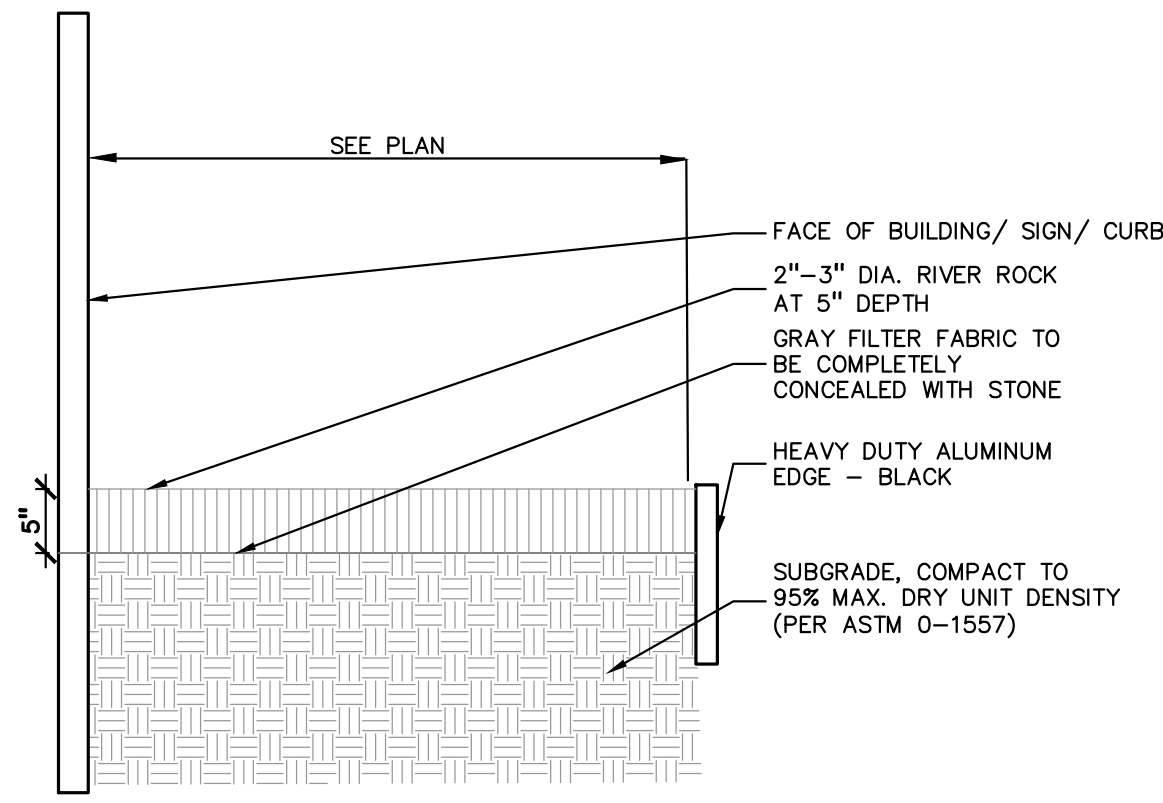
S:\PROJECTS\2023\03-0922\_SBLX - TROY SPORTS CENTER\DWG\SITE\PLAN\CG-0\DETAILS-01-0922.dwg PLOT DATE: 4/2/2024 BY: Robert Morrey



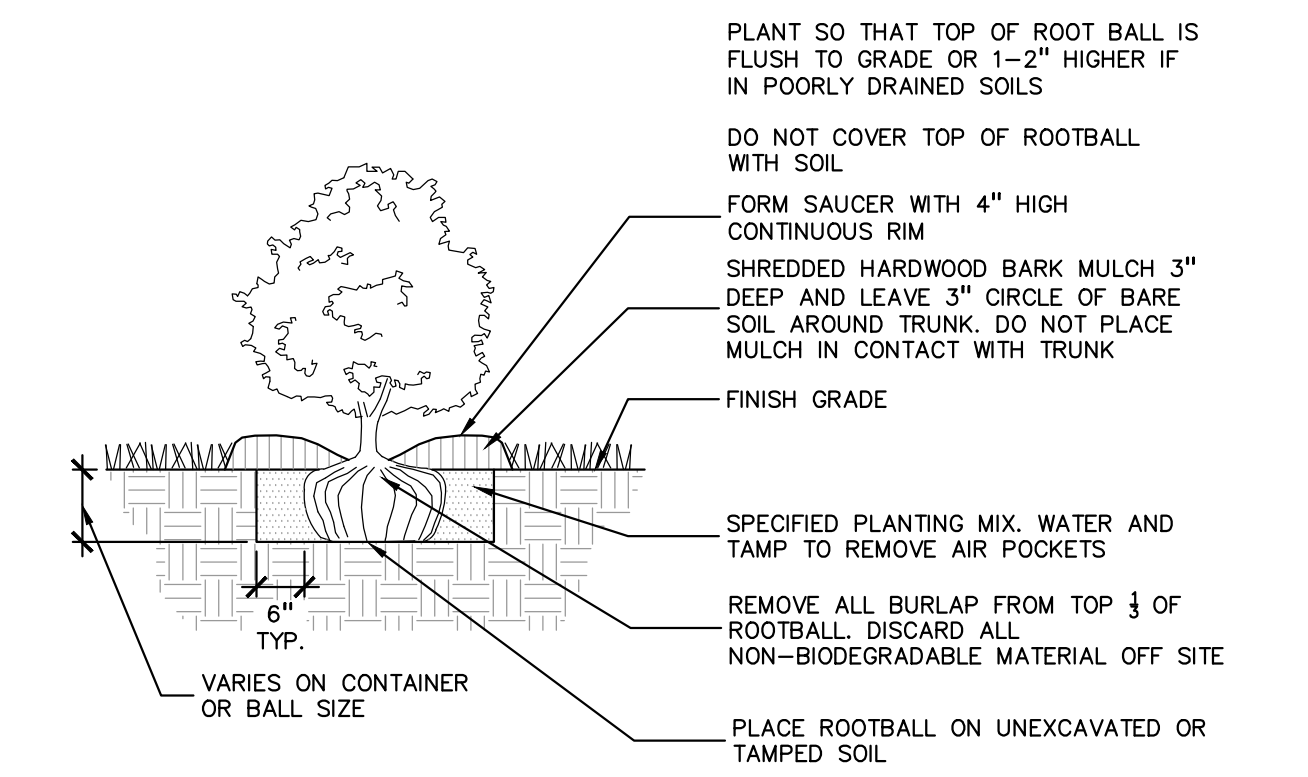
6 TRANSFORMER SCREENING DETAIL—FOR ACCESS REF. ONLY  
SCALE: 1" = 3'-0"



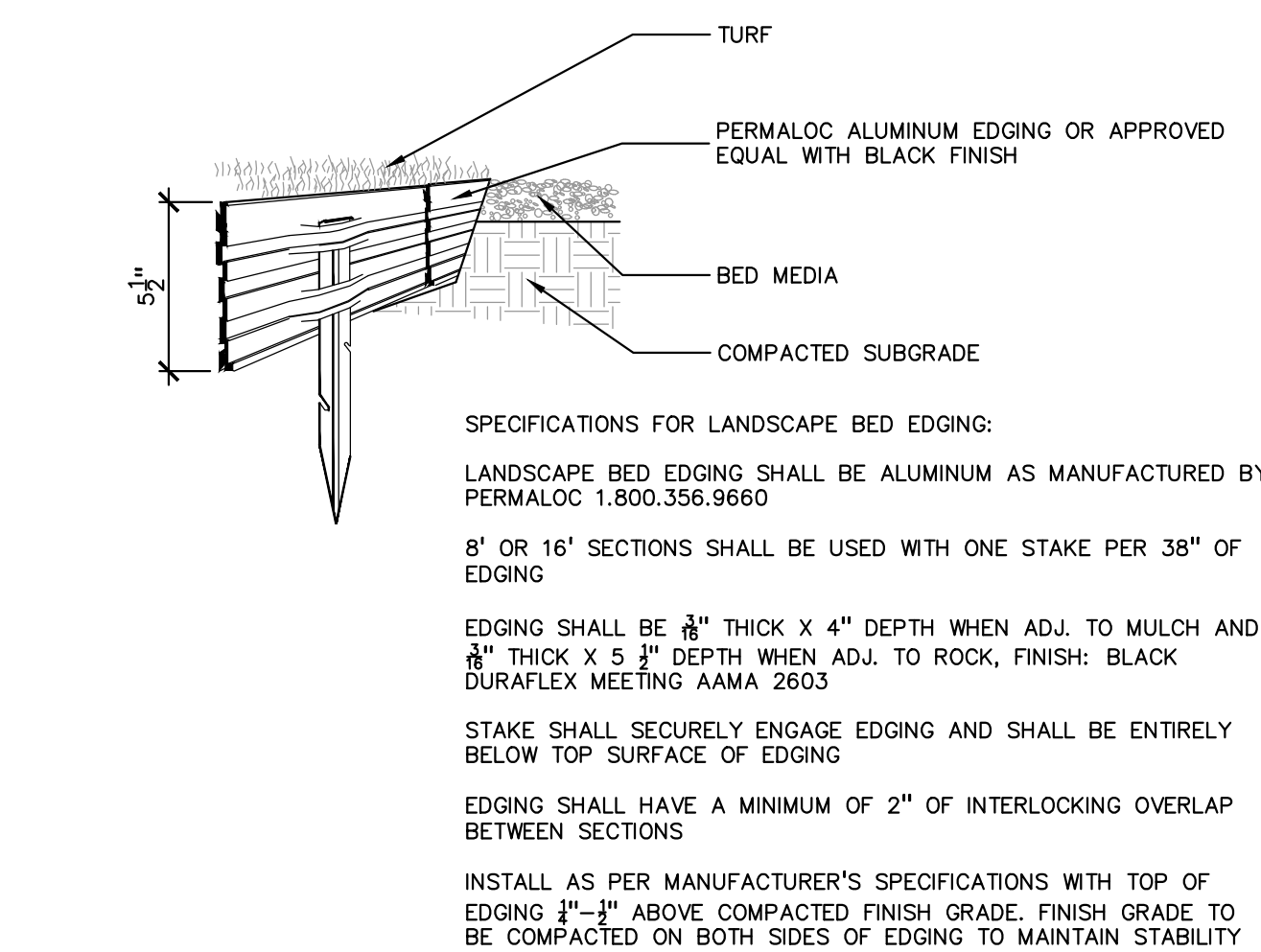
3 TREE PROTECTION DETAIL  
SCALE: 1" = 3'-0"



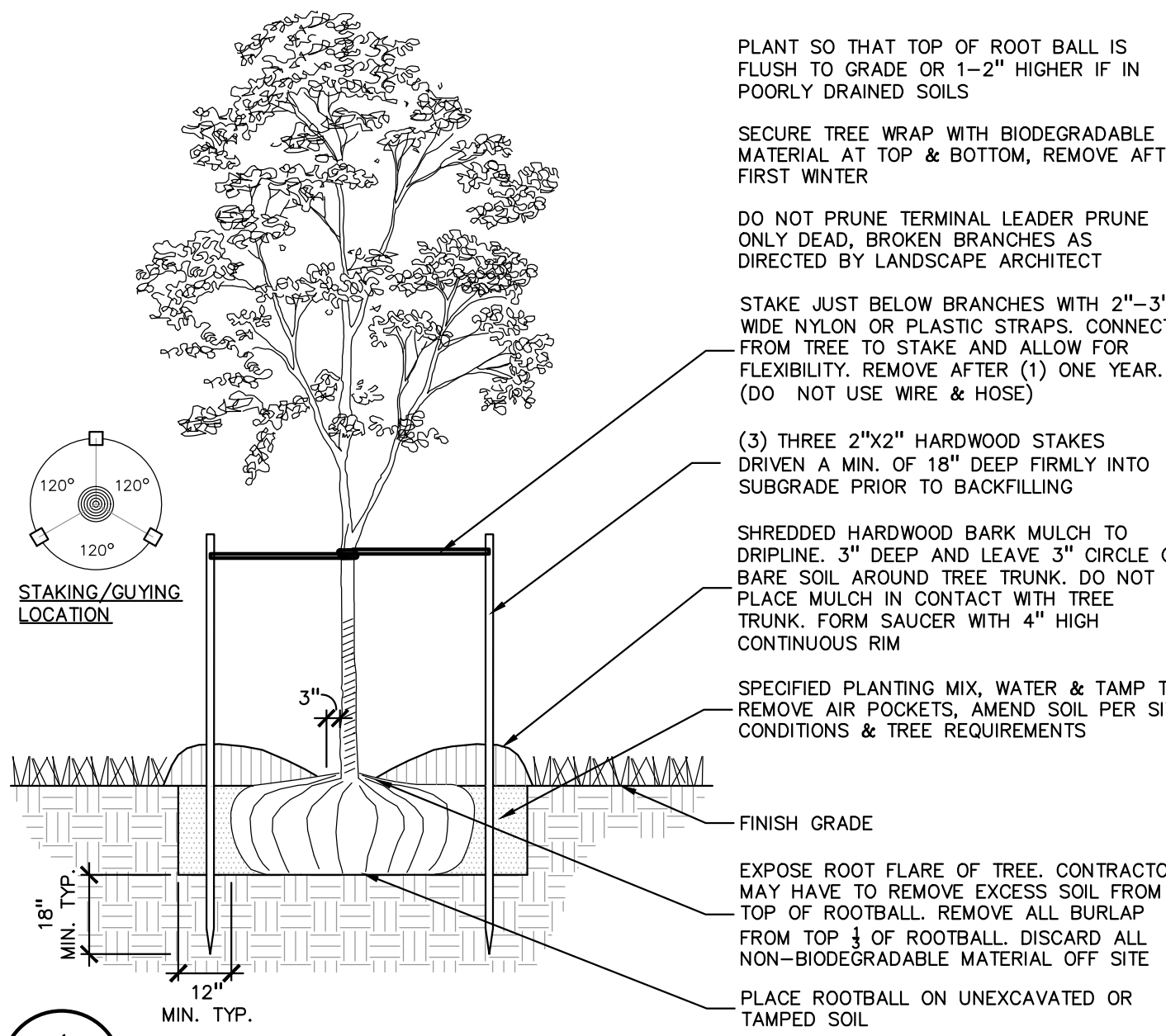
5 RIVER ROCK EDGE DETAIL  
SCALE: 1 1/2" = 1'-0"



2 SHRUB PLANTING DETAIL  
SCALE: 1" = 2'-0"



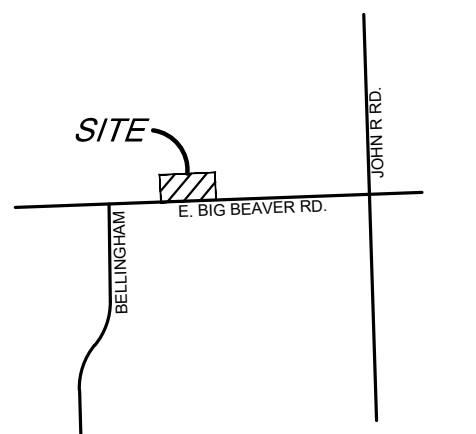
4 ALUMINUM EDGE DETAIL  
SCALE: 1/2" = 1'-0"



1 DECIDUOUS TREE PLANTING DETAIL  
SCALE: 1" = 3'-0"

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LOCATION MAP



CLIENT  
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803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISONS	

ORIGINAL ISSUE DATE:  
FEBRUARY 05, 2024

**LANDSCAPE DETAILS**

PEA JOB NO.	23-0922
P.M.	JPB
DN.	CAL
DES.	JLE
DRAWING NUMBER:	

**PLANT SCHEDULE**

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
<b>DECIDUOUS TREES</b>						
CA2.5	2	CARPINUS CAROLINIANA / AMERICAN HORNBEAM	2.5" CAL.	B&B	PER PLAN	
GBM2.5	1	GINKGO BILOBA "MAGYAR" / MAGYAR MAIDENHAIR TREE	2.5" CAL.	B&B	PER PLAN	
QS2.5	3	QUERCUS ROBUR X ALBA "JFS-KW10X" / STREETSPIRE® OAK	2.5" CAL.	B&B	PER PLAN	
	6	SUBTOTAL				
<b>SHRUBS</b>						
JH6	10	JUNIPERUS CHINENSIS "HETZ" / HETZ JUNIPER	6" HT.	B&B	5' O.C.	
TOS6	25	THUJA OCCIDENTALIS "SMARAGD" / EMERALD GREEN ARBORVITAE	6" HT.	B&B	36" O.C.	
TO6	57	THUJA OCCIDENTALIS "TECHNY" / TECHNY ARBORVITAE	6" HT.	B&B	5' O.C.	
		SUBTOTAL				

**EXISTING TREES**

TAG #	CODE	DBH	COMMON NAME	LATIN NAME	COND	SAVE/REMOVE
200	ZS	10"	Japanese Zelkova	Zelkova serrata	Good	SAVE
201	ZS	11"	Japanese Zelkova	Zelkova serrata	Good	SAVE
202	ZS	13"	Japanese Zelkova	Zelkova serrata	Good	SAVE
203	WO	7"	White Oak	Quercus alba	DEAD	REMOVE
204	ZS	6"	Japanese Zelkova	Zelkova serrata	Good	REMOVE
205	ZS	8"	Japanese Zelkova	Zelkova serrata	Good	SAVE
206	LL	8"	Littleleaf Linden	Tilia cordata	Good	SAVE
207	LL	6"	Littleleaf Linden	Tilia cordata	Good	SAVE
208	LL	9"	Littleleaf Linden	Tilia cordata	Good	SAVE
209	RM	15"	Red Maple	Acer rubrum	Good	SAVE
210	LL	10"	Littleleaf Linden	Tilia cordata	Good	SAVE
211	LL	10"	Littleleaf Linden	Tilia cordata	Good	SAVE
212	LL	10"	Littleleaf Linden	Tilia cordata	Good	SAVE
213	LL	17"	Littleleaf Linden	Tilia cordata	Good	SAVE
214	LL	11"	Littleleaf Linden	Tilia cordata	Good	SAVE
215	LL	15"	Littleleaf Linden	Tilia cordata	Good	SAVE
216	LL	12"	Littleleaf Linden	Tilia cordata	Good	SAVE
217	LL	10"	Littleleaf Linden	Tilia cordata	Good	SAVE
218	CM	4"	Crimson King Maple	Acer platanoides "Crimson King"	Good	REMOVE

**KEY:**

= PROPOSED DECIDUOUS TREES  
 = EVERGREEN SCREEN BUFFER ON WEST SIDE  
 = EVERGREEN SHRUBS  
 = EXISTING TREE TO REMAIN  
 = EXISTING TREE TO BE REMOVED  
 = EXISTING TREE INVENTORY NUMBER  
 = IRRIGATED SOD LAWN  
 = RESTORE LAWN  
 = SHRUBS/ PERENNIALS TO BE DETAILED DURING CONSTRUCTION DWGS  
 = TREE PROTECTION FENCE  
**LETTER KEY:**  
 P = PARKING LOT TREE  
 G = GREENBELT TREE  
 SEE SHEET L-1.1 FOR LANDSCAPE DETAILS

**PEA GROUP**  
 t: 844.813.2949  
 www.peagroup.com

REGISTERED PROFESSIONAL ARCHITECT  
 JANET L. EVANS  
 LANDSCAPE ARCHITECT  
 NO. 3350  
 MICHIGAN

NORTH  
 SCALE: 1" = 20'  
 0 10 20 40

**811** Know what's below. Call before you dig.

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**LOCATION MAP**

CLIENT  
**TROY SPORTS CENTER, LLC**  
 803 W. BIG BEAVER ROAD, SUITE 100  
 TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
 1735 E. BIG BEAVER ROAD  
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

**REVISIONS**

NO.	DESCRIPTION

ORIGINAL ISSUE DATE: FEBRUARY 05, 2024  
 DRAWING TITLE

**PRELIMINARY LANDSCAPE PLAN**

PEA JOB NO.	23-0922
P.M.	JPB
DN.	CAL
DES.	JLE

DRAWING NUMBER: **L-1.0**

**LANDSCAPE CALCULATIONS:**  
 PER CITY OF TROY ZONING ORDINANCE;  
 CB--COMMUNITY BUSINESS DISTRICT

**PARKING LOT LANDSCAPING = P**  
 REQUIRED: 1 TREE / 8 PARKING SPACES  
 18 PARKING SPACES / 8 = 2 TREES  
 PROVIDED: PROPOSED 2 DEC. TREES

**GREENBELT ON BIG BEAVER ROAD RD = G**  
 REQUIRED: 1 DEC TREE / 30 LF OF STREET FRONTAGE  
 BIG BEAVER RD: 326.89 LF / 30 = 11 TREES  
 PROVIDED: BIG BEAVER RD: 7 EXISTING TREES AND 4 PROPOSED TREES

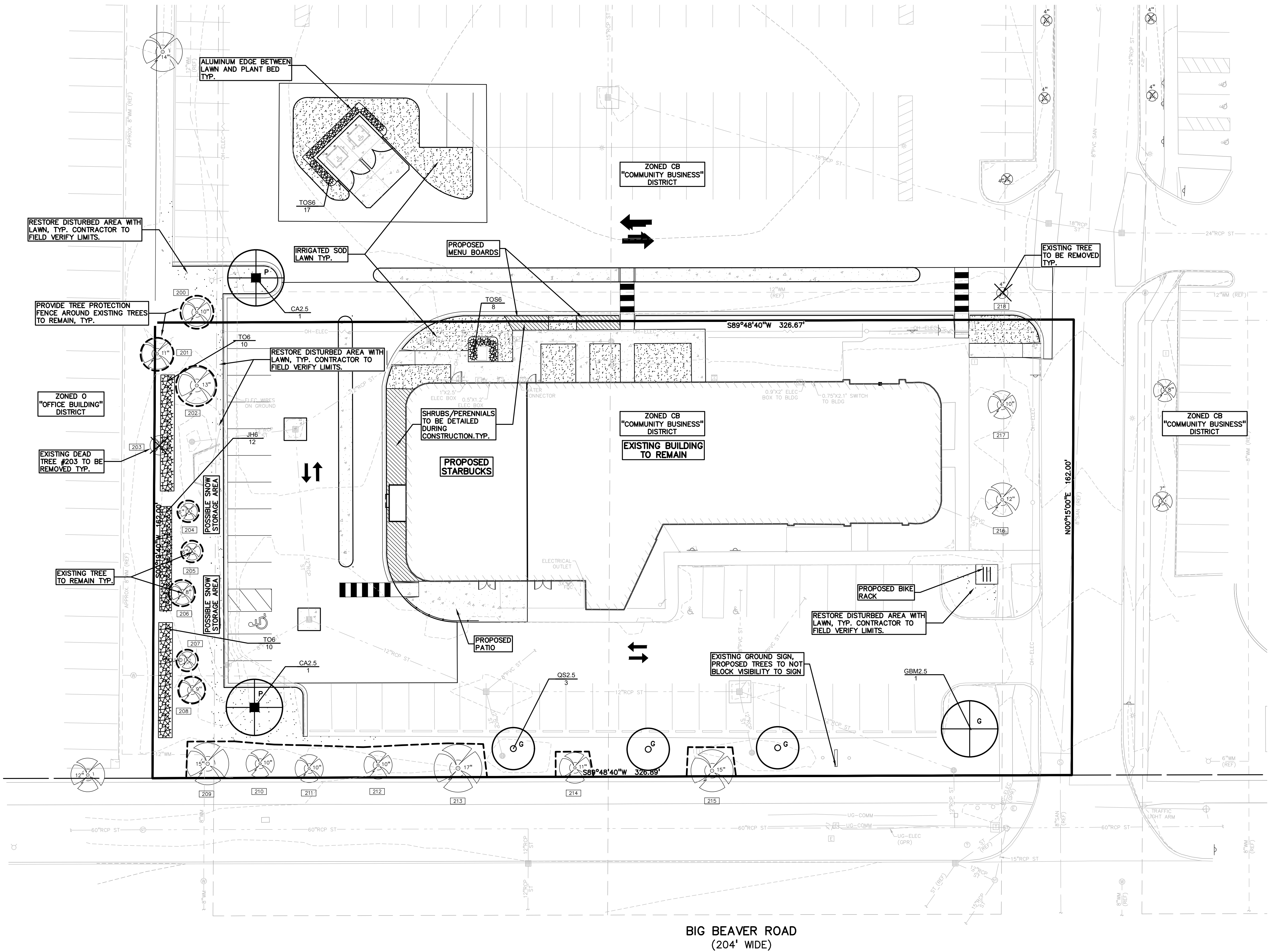
**GENERAL SITE LANDSCAPE**  
 REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL;  
 1.22 ACRES (52,937 SQ.FT.) \* 20% = 10,587.4 SQ FT  
 PROVIDED: 17,253.96 SQ FT OF SOFT SCAPE (32.59% OF SITE AREA)

**EQUIPMENT SCREENING**  
 REQUIRED: AT GRADE EQUIPMENT SHALL BE SCREENED BY EVG LANDSCAPE MATERIALS AND DUMPSTER.  
 PROVIDED: EVERGREEN SHRUBS AROUND TRASH AND UTILITIES

**SCREENING BETWEEN CONFLICTING USES**  
 REQUIRED: 1 LG EVERGREEN / 10 LF OR 1 NARROW EVERGREEN / 5 LF WEST SIDE, 162 LF / 10 = 16 LG EVG OR 162 LF/5 = 32 NARROW EVG.  
 PROVIDED: 32 NARROW EVERGREEN WEST SIDE

**GENERAL PLANTING NOTES:**

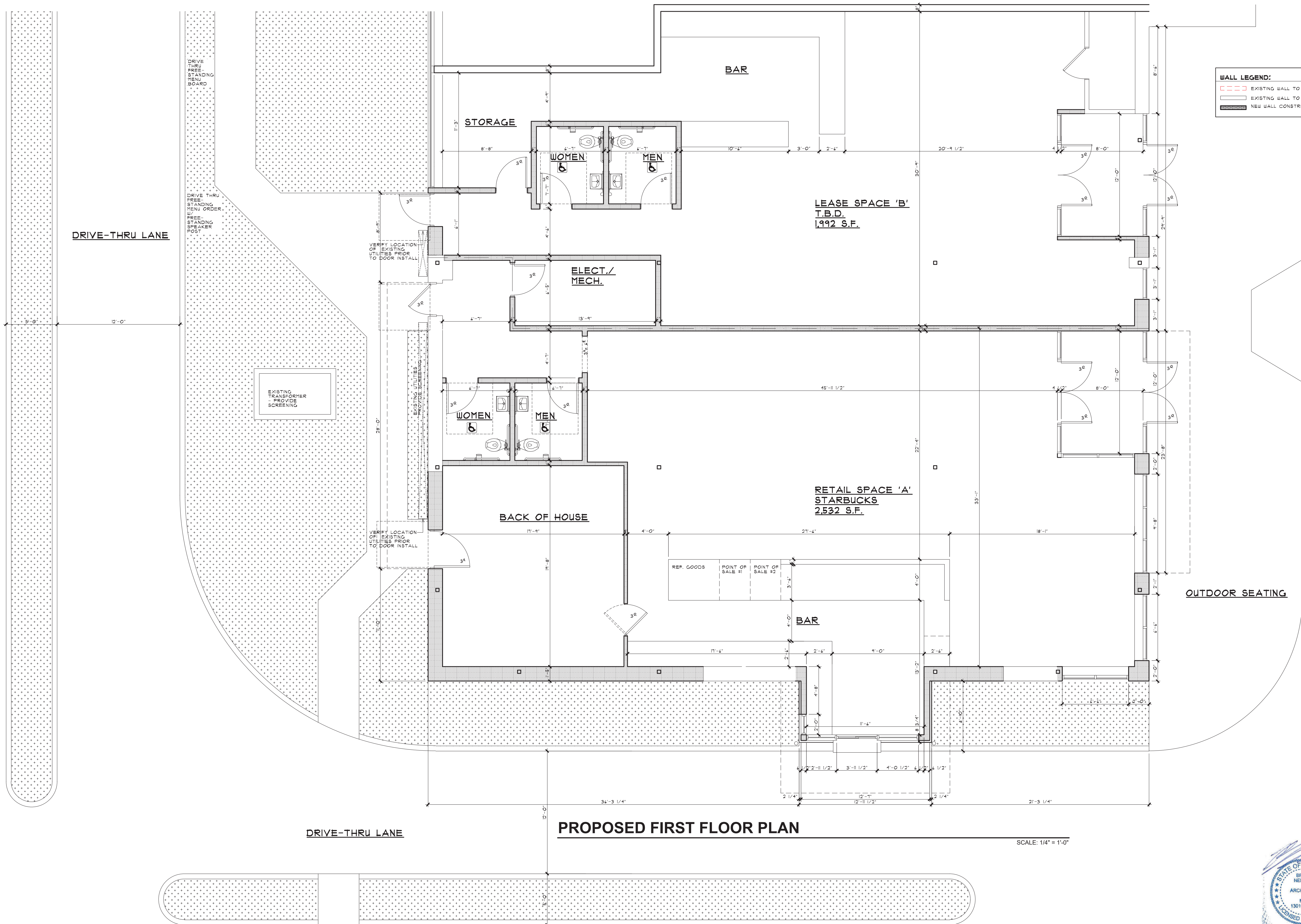
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSEYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY / DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



BIG BEAVER ROAD (204' WIDE)

S:\PROJECTS\2023\03-0922\_SBAK - TROY SPORTS CENTER\DWG\PLANS\LANDSCAPE-23-0922.dwg PLOT DATE: 4/12/2024 BY: Robert Mooney

NOT FOR CONSTRUCTION



**WALL LEGEND:**  
 - - - - - EXISTING WALL TO BE REMOVED  
 ———— EXISTING WALL TO REMAIN  
 ■■■■■■ NEW WALL CONSTRUCTION

**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN - PLANNING - INTERIORS  
 BIRMINGHAM, MICHIGAN  
 BRIANNEEPER.COM  
 248.259.1784

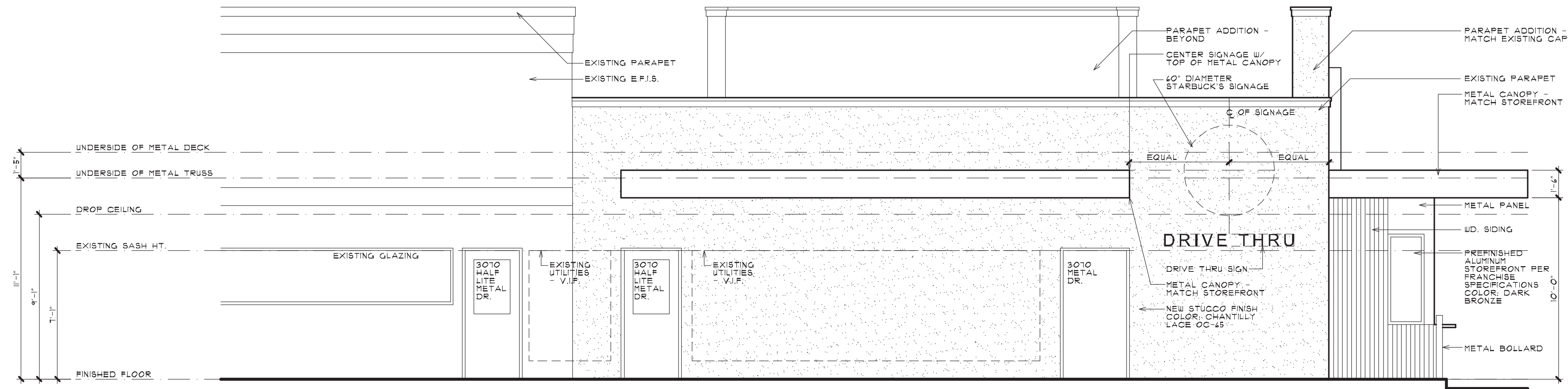
**PROPOSED FIRST FLOOR PLAN**

**TROY SPORTS CENTER LLC**  
 COMMERCIAL RENOVATION  
 1735 E. BIG BEAVER SUITE A  
 TROY, MICHIGAN

PRELIMINARY	02-03-24
SPA	02-21-24
PERMITS	
FINAL	
REVISIONS	

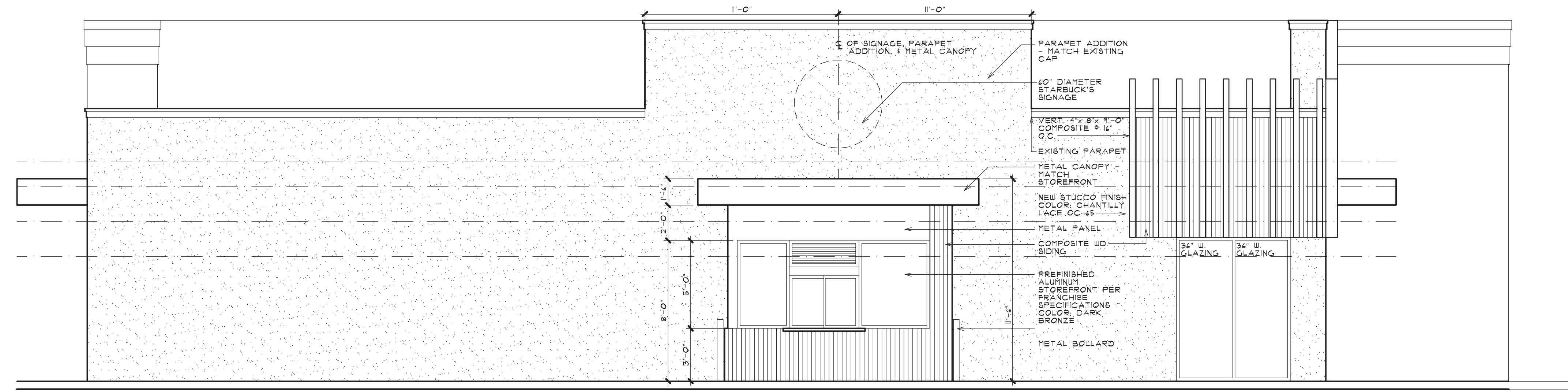
© COPYRIGHT 2023  
 BRIAN NEEPER  
 ARCHITECTURE P.C.  
 JOB NUMBER 23062  
 DRAWN BY BN / EAF  
 CHECKED BY  
 SHEET NUMBER **A-2**





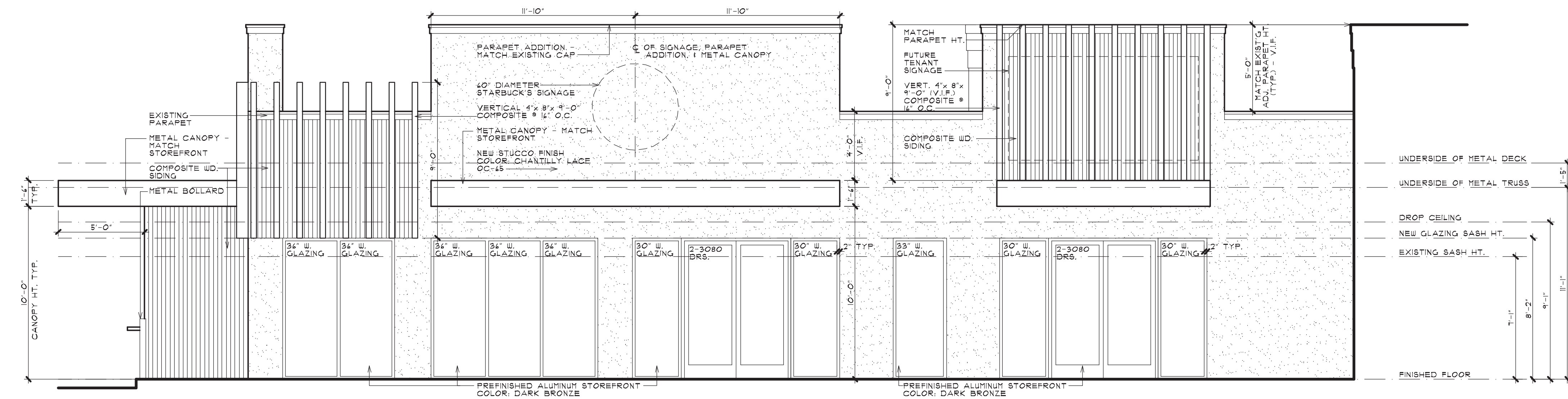
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN - PLANNING - INTERIORS  
 1735 E. BIG BEAVER SUITE A  
 BIRMINGHAM, MICHIGAN  
 BRIANNEEPER.COM  
 248.259.1784

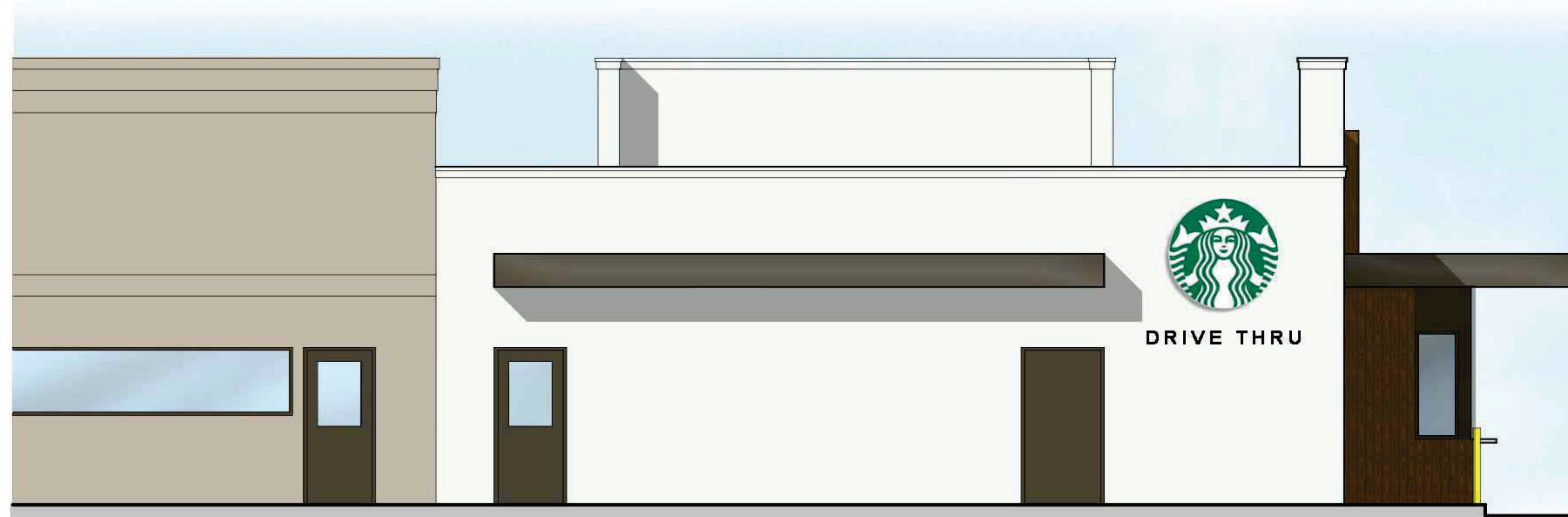
SHEET TITLE  
**PROPOSED ELEVATIONS**

CLIENT / PROJECT  
**TROY SPORTS CENTER LLC**  
**COMMERCIAL RENOVATION**  
 1735 E. BIG BEAVER SUITE A  
 TROY, MICHIGAN

PRELIMINARY	02-03-24
SPA	02-21-24
PERMITS	
FINAL	
REVISIONS	
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**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN · PLANNING · INTERIORS  
 1735 E. BIG BEAVER SUITE A  
 TROY, MICHIGAN 48063  
 BRIANNEEPER.COM  
 248.259.1784

SHEET TITLE  
**RENDERED ELEVATIONS**

CLIENT / PROJECT  
**TROY SPORTS CENTER LLC**  
 COMMERCIAL RENOVATION  
 1735 E. BIG BEAVER SUITE A  
 TROY, MICHIGAN

PRELIMINARY	02-03-24
SPA	02-21-24
PERMITS	
FINAL	
REVISIONS	

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 JOB NUMBER 23062  
 DRAWN BY BN / EAF  
 CHECKED BY  
 SHEET NUMBER  
**A-4**



**ITEM #7**

DATE: May 9, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

The petitioner Troy Sports Center, LLC. submitted the above referenced Preliminary Site Plan application for a 118-unit townhome development. The property is currently zoned MF (Multi-Family) Zoning District. Two-story attached residential units are permitted by right in the MF district. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The Planning Commission considered this item on January 23, 2024 and postponed the item to provide the applicant an opportunity to address the Planning Commission comments:

1. Landscape buffer on the south side of the development.
2. Landscape enhancements.
3. Pedestrian amenities.
4. Vehicular access at the southwest entrance.
5. Recreational amenities.
6. Consideration of saving additional trees.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Minutes from January 23, 2024 Planning Commission Regular meeting (excerpt).
3. Report prepared by Carlisle/Wortman Associates, Inc.
4. Preliminary site plan

G:\SITE PLANS\SP\_JPLN2023-0028\_JOHN R COMMONS TOWNHOME DEVELOPMENT\PC Memo 2024 05 14.docx

**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Gardens Townhome Development, East side of John R, north of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

**Resolution # PC-2024-05-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed John R Gardens Townhome Development, located on the East side of John R, North of Big Beaver, Section 23, Zoned MF (Multi-Family Residential) District, be granted, subject to applicant the following:

\_\_\_\_\_ ) or

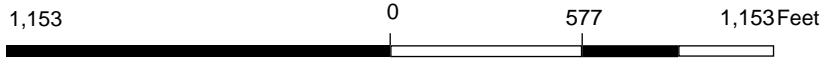
(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

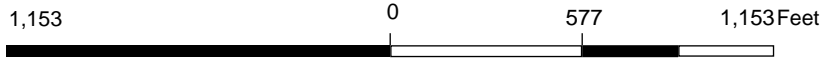
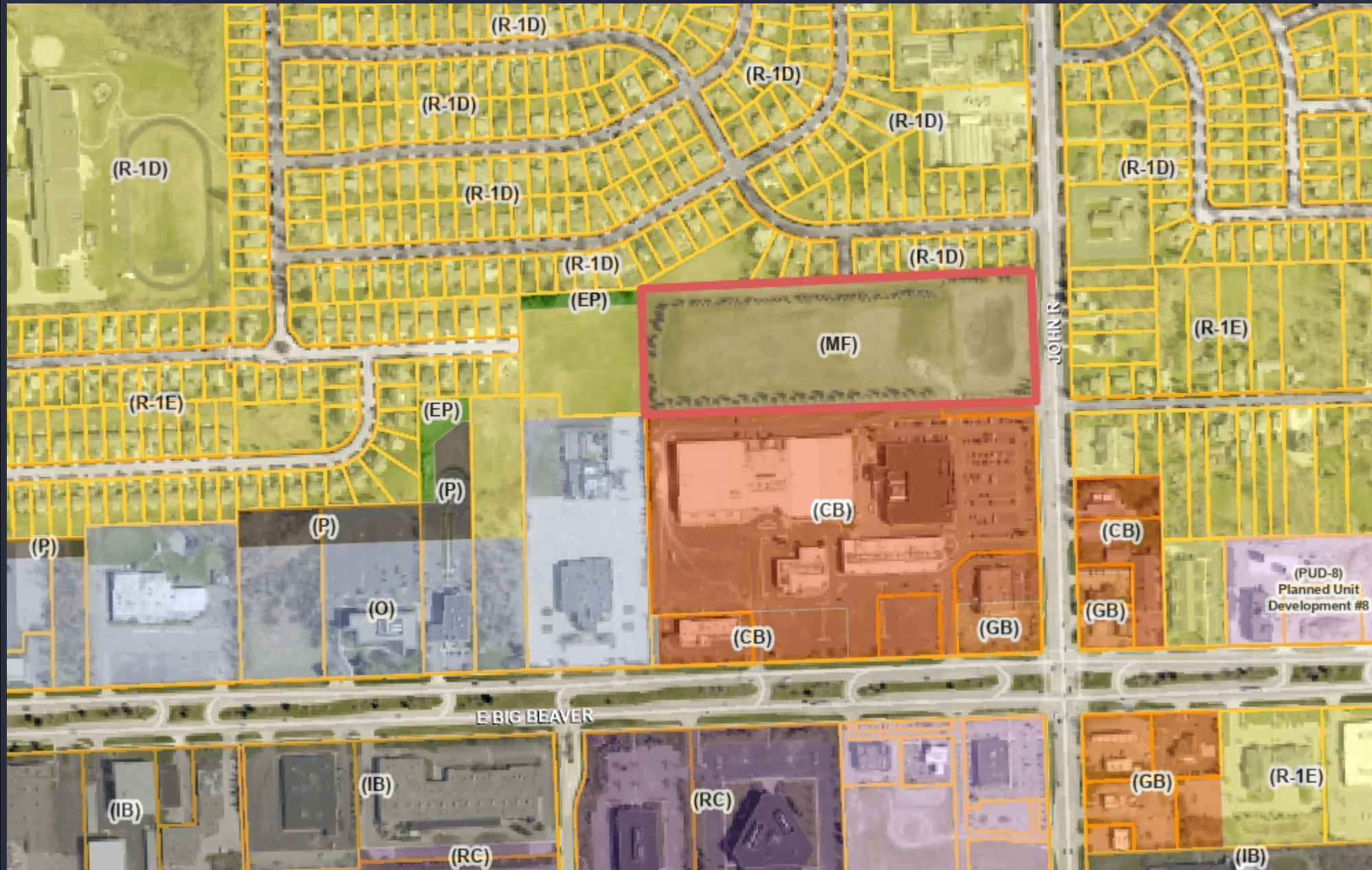
Yes:

No:

**MOTION CARRIED/FAILED**



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: September 18, 2023  
December 14, 2023  
May 7, 2024

## **Preliminary Site Plan For City of Troy, Michigan**

<b>Applicant:</b>	Troy Sports Center, LLC & JSD Real Estate, LLC
<b>Project Name:</b>	John R Townhome Development
<b>Plan Date:</b>	March 1, 2024
<b>Location:</b>	Eastside of John R Road, North of Big Beaver
<b>Zoning:</b>	MF, Multiple Family Residential
<b>Action Requested:</b>	Preliminary Site Plan Approval

### **PROJECT AND SITE DESCRIPTION**

An application has been submitted for a proposed multiple family building on the east side of John R Road just north of Big Beaver. The subject site is 11.86 acres. The site is currently vacant and used in part as stormwater detention.

The applicant is requesting approval of one hundred eighteen (118) units. The one hundred eighteen (118) units are distributed in twenty (20) buildings. The proposed residential use is permitted in the MF, Multiple Family district. The development is accessed via one proposed egress/ingress along Nancy Bostwick Drive as well as a secondary egress/ingress drive located at the western end of the development connecting to the Troy Sports Complex retail center. The site is served with internal private roadways.

The site is currently one parcel. There are no existing structures on the site.

Location of subject site:

East side of John R Road, north of Big Beaver Road.

**Location and Aerial Image of Subject Site**



Size of subject site:

The property is 11.68 acres in area.

Proposed use of subject site:

The proposed use is for one hundred eighteen (118) units.



Current use of subject site:

The property currently is vacant.

Current Zoning:

The property is currently zoned MF, Multiple Family Residential District.

Surrounding Property Details:

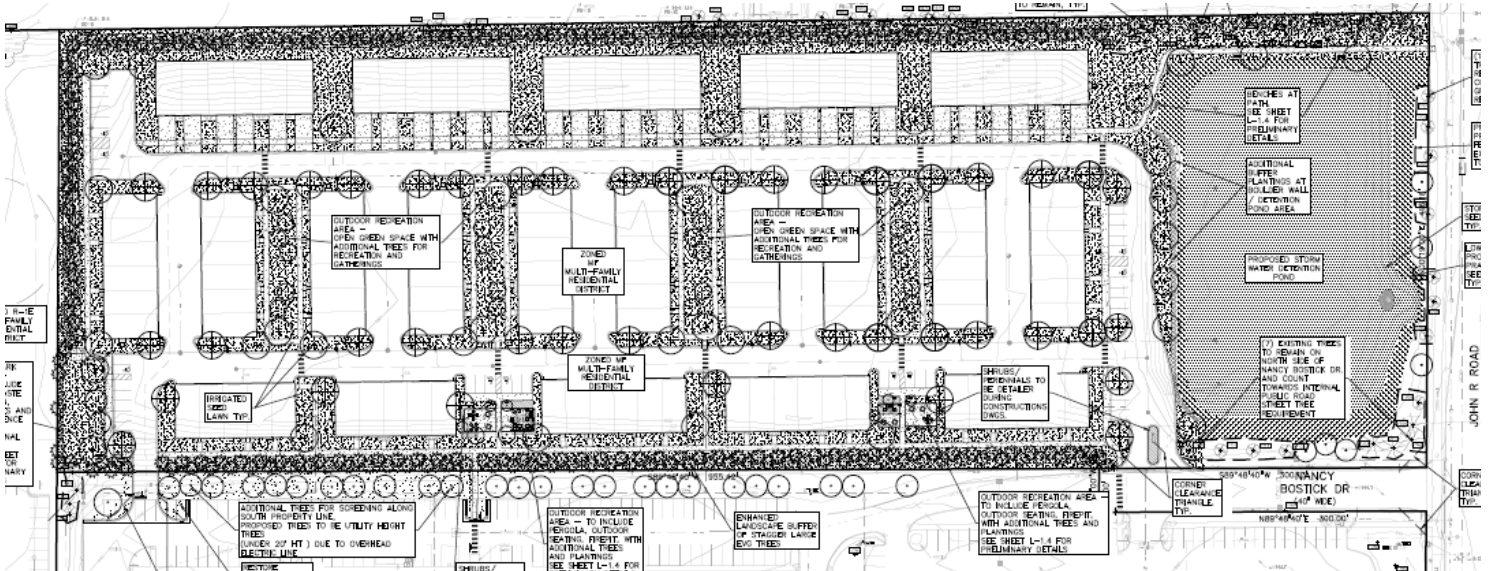
<u>Direction</u>	<u>Zoning</u>	<u>Use</u>
North	R1-D, One Family Residential District	Single Family Housing
South	CB, Community Business	Retail and Commercial Recreation
East	R1-E, One Family Residential District	Single Family Housing
West	R1-E, One Family Residential District	BWW Soccer Fields (Recreation)

**PREVIOUS PLANNING COMMISSION REVIEW**

The application was last reviewed by the Planning Commission on January 23, 2024. After lengthy discussion, the application was postponed for the following reasons to address the following Planning Commission comments:

1. Landscape buffer on the south side of the development
2. Landscape enhancements
3. Pedestrian amenities
4. Vehicular access at the southwest entrance
5. Recreational amenities
6. Consideration of saving additional trees

## CHANGES SINCE LAST REVIEW



### Landscape buffer on the south side of the development

The applicant has added 26 trees along the northern property line of the Troy Sports Arena site, which supplements the double row of trees along the southern property line.

### Landscape enhancements

In addition to trees on the Troy Sport Arena site, the applicant has added interior trees to the development along internal sidewalks, trees in the courtyard between the buildings, and trees along the detention pond. The proposed amount of trees exceed ordinance requirements.

### Pedestrian amenities

The applicant is providing a complete pedestrian circulation system within development with access to John R Road, Nancy Bostwick Drive and the Troy Sports Area site. In addition, a sidewalk is proposed to the north to connect with Floyd Drive. This will provide a pedestrian connection to Baker Middle School and the International Academy.

### Vehicular access at the southwest entrance

The applicant has added the following traffic calming devices between the Troy Sports Arena and the proposed development:

- Striped cross walk from development to Troy Sports Arena
- Stop sign exiting development
- Speed limit sign
- "Slow" and "10 MPH" pavement markings

**Recreational amenities**

The applicant is proposing the following recreational amenities:

- Two outdoor areas which include pergola, outdoor seating, firepit, and landscaping
- Dog Park
- Internal sidewalks

**Consideration of saving additional trees**

The applicant was unable to preserve any additional trees.

Replacement Details		
Protected Tree	Inches Removed	Replacement Required
Landmark	18 inches	18 inches
Woodland	1080 inches	540 inches
Preservation/Mitigation	Inches Preserved	Credit
Landmark	0 inches	0 inches
Woodland	234 inches	468 inches
<b>Total</b>	<b>90 inches required for replacement.</b>	

**SITE PLAN REVIEW STANDARDS**

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
  - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
  - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
  - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
  
2. *Development shall incorporate the recognized best architectural building design practices.*
  - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
  - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
  - c. *Develop buildings with creativity that includes balanced compositions and forms.*
  - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
  - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*

- f. *Include community amenities that add value to the development such as patio/ seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
- 3. *Enhance the character, environment and safety for pedestrians and motorists.*
  - a. *Provide elements that define the street and the pedestrian realm.*
  - b. *Create a connection between the public right of way and ground floor activities.*
  - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
  - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
  - e. *Improve safety for pedestrians through site design measures.*

**Items to be Addressed:** *Planning Commission to consider if site plan standards have been met.*

## RECOMMENDATIONS

The Planning Commission should review the development and confirm if the site plan standards have been met.



---

CARLISLE/WORTMAN ASSOC., INC.  
Benjamin R. Carlisle, LEED AP, AICP

## **PRELIMINARY SITE PLAN**

5. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District

Mr. Savidant announced three dimensional (3-D) color renderings requested of the applicant are displayed in the visual presentation this evening.

Mr. Carlisle gave a brief history of a previous 2019 application of the John R Commons Townhome Development in which the applicant requested a rezoning of the parcels and was denied by the City Council. Mr. Carlisle stated the application before the Board this evening is a by-right development and not for a rezoning change. He identified the significant changes to the application as relates to a reduction in the number of units, alignment of five apartment buildings along the south property line, reconfiguration of the detention pond, a reduction of size/massing of the buildings abutting the northern property line, elimination of recreational area and clubhouse, reduction of building height to 25 feet and adding outdoor amenity spaces.

Mr. Carlisle addressed site arrangement, setbacks, building height, buffers along both the north and south property lines, access and circulation, mitigation of trees, trash removal, elevations, landscaping, and parking. He asked the applicant to consider some type of physical screening and/or additional landscaping to improve the buffer adjacent to the commercial uses. Mr. Carlisle asked the applicant to provide color renderings and to address building materials, specifically the type of siding.

Mr. Carlisle announced that the City Traffic Consultant Stephen Dearing of OHM Advisors is present this evening to address any traffic concerns.

In summary, Mr. Carlisle asked the Planning Commission to consider in its deliberations if the application meets Site Plan Review Design Standards (Section 8.06) and that the applicant consider additional screening options including a screen wall with additional landscaping as part of the Final Site Plan submittal.

Some of the comments during discussion among the administration related to:

- Ingress and egress.
- Width of typical residential streets and private roads.
- Public stub street off John R.
- Bicycle parking.
- Green space.
- Recreational amenities.

Property owner/applicant Dennis Bostick, Civil Engineer Greg Bono of PEA and Project Architect Brian Neeper were present.

Mr. Bostick addressed the proposed rezoning that the City Council denied in 2019. He said the 2019 townhome project offered more amenities than the proposed development for Planning Commission consideration this evening. He identified properties he owns, including five acres behind the San Marino Club zoned for single family residential.

There was discussion, some comments related to:

- Ingress and egress.
  - Nancy Bostick Drive
  - Commercial center to the south.
- Buffer/screening on both the north side adjacent to residential and the south side adjacent to the commercial uses.
  - Solid screening (brick wall) to buffer residential to north.
  - Additional landscaping.
  - Difference of north and south density of buffering.
  - Applicant prefers landscaping.
- Potential for light spillage and noise pollution from commercial uses.
- Pedestrian circulation within development; pattern of sidewalks.
- Pedestrian access to commercial uses.
- Commercial entrances; both front and rear.
- Retention pond, as relates to aesthetics.
- Green space, amenities offered; i.e., outdoor seating, dog park, internal sidewalk loops, optional recreational uses.
- Concerns with traffic circulation, traffic pattern.
  - Internal circulation.
  - Access points.
  - Safety of children and pedestrians (nearby soccer fields and commercial parking).
  - Traffic calming devices.
  - Emergency vehicular access (EVA).
- Bicycle parking, location of bicycle spaces.
- Marketing of townhomes; option to rent or own.
- Building materials and color scheme.
- Site arrangement; soften with green space, vertical landscaping.
- Tree survey; removal of landmark tree.
- Architectural features as relates to Site Plan Design Standards.

Mr. Bostick indicated he is amenable to the Planning Commission comments.

City Traffic Consultant Stephen Dearing addressed the ingress and egress accesses off Nancy Bostick Drive and the commercial center to the south. He said the traffic impact study completed for the previously proposed development in 2019 determined that access off Nancy Bostick Drive should be signalized. Mr. Dearing said the reduced density of the proposed development before the Board this evening would generate less traffic. He indicated a rudimentary analysis of generated traffic during peak hours would go either way; to signalize Nancy Bostwick Drive or install an EVA. He addressed traffic calming techniques that might ease concerns for safety.

Chair Perakis opened the floor for public comment. Acknowledging there was no one present who wished to speak, Chair Perakis closed the floor for public comment.

**Resolution # PC-2024-01-006**

Moved by: Lambert  
 Seconded by: Fox

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed John R Commons Townhome Development, located on the West side of John R, North of Big Beaver, Section 23, Zoned MF (Multi-Family Residential) District, be postponed for the following reasons to address the Planning Commission comments:

1. Landscape buffer on the south side of the development.
2. Landscape enhancements.
3. Pedestrian amenities.
4. Vehicular access at the southwest entrance.
5. Recreational amenities.
6. Consideration of saving additional trees.

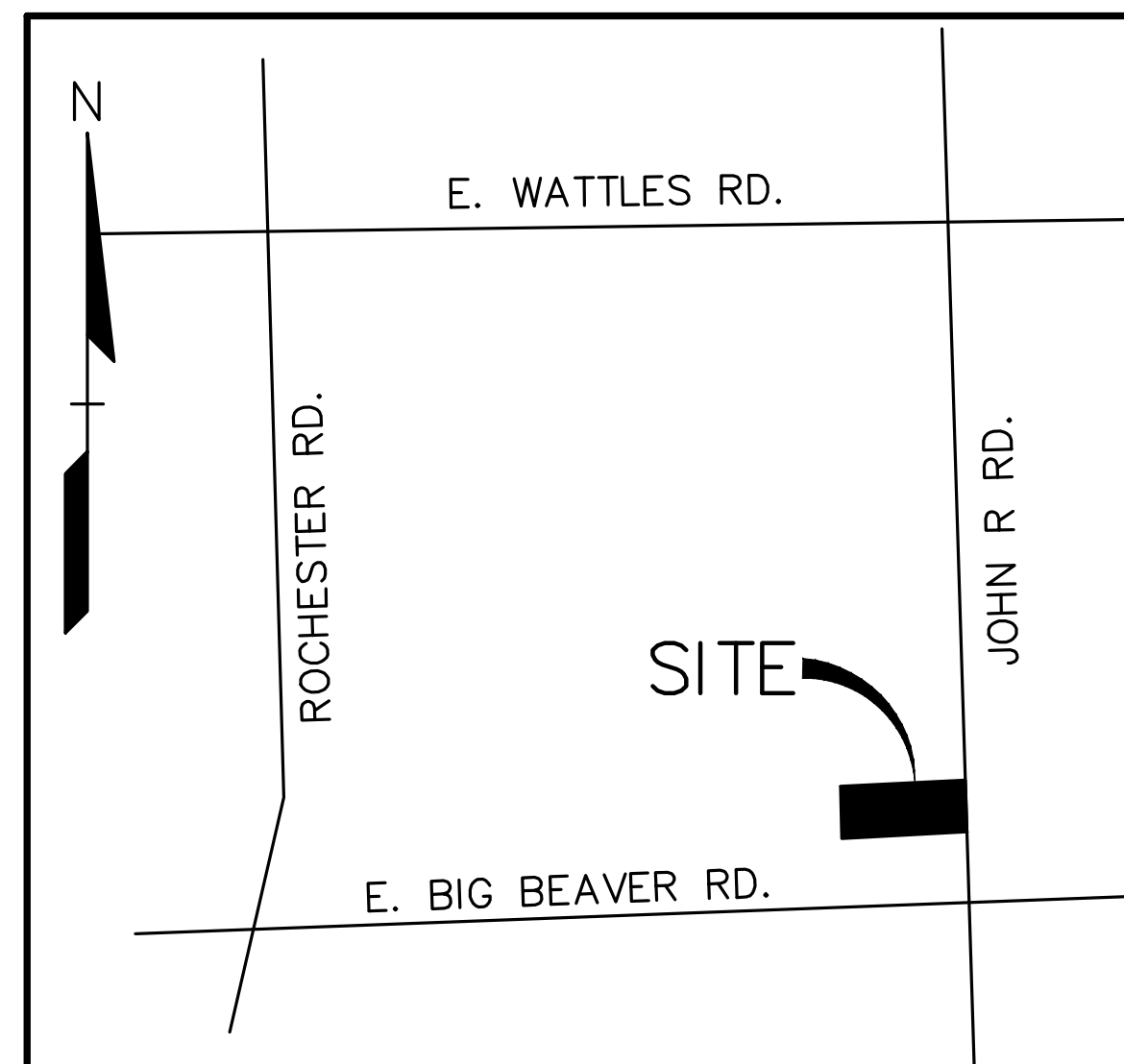
Yes: All present (9)

**MOTION CARRIED**

PRELIMINARY SITE PLANS

# JOHN R COMMONS TOWNHOME DEVELOPMENT

PART OF THE SOUTHEAST 1/4  
OF SECTION 23, T.2N, R.11E  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP  
NO SCALE



DESIGN TEAM

<b>OWNER/APPLICANT/DEVELOPER</b>	<b>CIVIL ENGINEER</b>
TROY SPORTS CENTER, LLC & JSD REAL ESTATE, LLC 1819 EAST BIG BEAVER ROAD TROY, MI 48063 CONTACT: DENNIS BOSTICK PHONE: 248.709.4001 EMAIL: DENNISBOSTICK@ATT.NET	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: GREG BONO, PE PHONE: 844.813.2949 EMAIL: GBONO@PEAGROUP.COM
<b>ARCHITECT</b>	<b>LANDSCAPE ARCHITECT</b>
BRIAN NEEPER ARCHITECTURE P.C. 630 N. OLD WOODWARD SUITE 203 BIRMINGHAM, MI 48009 CONTACT: BRIAN NEEPER PHONE: 248.259.1784	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JEFF SMITH, PLA, LEED AP PHONE: 844.813.2949 EMAIL: JSMITH@PEAGROUP.COM

INDEX OF DRAWINGS	
NUMBER	TITLE
C-0.0	COVER SHEET
C-1.1	TOPOGRAPHIC SURVEY
C-1.2	TOPOGRAPHIC SURVEY
C-2.0	OVERALL SITE PLAN
C-2.1	PRELIMINARY SITE PLAN
C-2.2	PRELIMINARY SITE PLAN
C-3.1	PRELIMINARY GRADING PLAN
C-3.2	PRELIMINARY GRADING PLAN
C-4.1	PRELIMINARY UTILITY PLAN
C-4.2	PRELIMINARY UTILITY PLAN
C-5.0	NOTES AND DETAILS
L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	PRELIMINARY LANDSCAPE PLAN - WEST
L-1.2	PRELIMINARY LANDSCAPE PLAN - EAST
L-1.3	LANDSCAPE DETAILS
L-1.4	SITE AMENITY DETAILS
T-1.0	TREE SURVEY PLAN - WEST
T-1.1	TREE SURVEY PLAN - EAST
T-1.2	EXISTING TREE LIST
SL-1.0	LIGHTING PLAN
T-1A	TITLE SHEET
A-1A	BUILDING FOUNDATION PLAN - 5 UNIT
A-2A	BUILDING FIRST & SECOND FLOOR PLANS - 5 UNIT
A-3A	BUILDING ROOF PLAN - 5 UNIT
A-4A	BUILDING FOUNDATION PLAN - 6 UNIT
A-5A	BUILDING FIRST & SECOND FLOOR PLAN - 6 UNIT
A-6A	BUILDING ROOF PLAN - 6 UNIT
A-7A	BUILDING ELEVATIONS - 5 UNIT
A-8A	BUILDING ELEVATIONS - 6 UNIT
A-9A	DWELLING UNIT PLANS
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A-11A	BUILDING SECTION & EXTERIOR WALL SECTIONS
A-12A	INTERIOR WALL SECTIONS
A-13A	RENDERED FRONT ELEVATION
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A-1B	BUILDING FOUNDATION PLAN - 6 UNIT
A-2B	BUILDING FIRST & SECOND FLOOR PLANS - 6 UNIT
A-3B	BUILDING ROOF PLAN - 6 UNIT
A-4B	BUILDING ELEVATIONS - 6 UNIT
A-5B	DWELLING UNIT PLANS
A-6B	UNIT ELEVATIONS
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A-8B	INTERIOR WALL SECTIONS
A-9B	RENDERED FRONT ELEVATIONS

REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	8/18/2023
SPA COMMENTS	11/8/2023
SPA COMMENTS	3/1/2024



NOT FOR CONSTRUCTION





0 20 40 80  
 SCALE: 1" = 40'



**CAUTION!**  
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CLIENT

**TROY SPORTS CENTER, LLC**  
 1819 EAST BIG BEAVER ROAD  
 TROY, MI 48063

PROJECT TITLE

**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
 PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

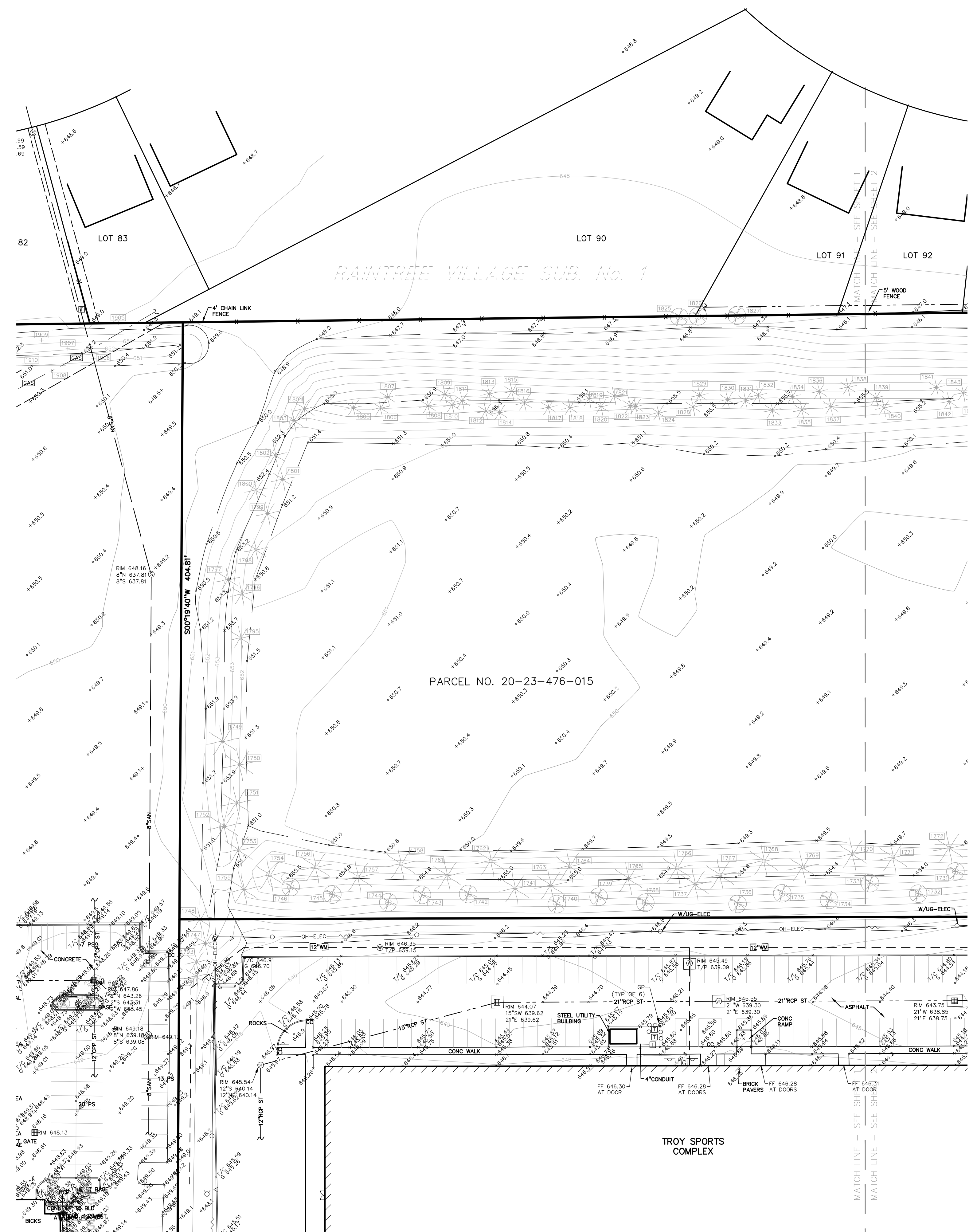
REVISIONS

SPA COMMENTS	DATE
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
 AUGUST 18, 2023

DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	



**LEGAL DESCRIPTION (20-23-476-015)**  
 (Per City of Troy Assessing)  
 T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR; TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR; TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

**BENCHMARKS**  
 (GPS DERIVED - NAVD88)  
**BM #300**  
 ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
 ELEV. - 648.05  
**BM #301**  
 MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.  
 ELEV. - 648.13  
**BM #302**  
 ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.  
 ELEV. - 647.09

**FLOODPLAIN NOTE:**  
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0553C, DATED JANUARY 16, 2009.

NOT FOR CONSTRUCTION **C-1.1**

S:\PROJECTS\2018\2018-04 JOHN R COMMONS-PR\DWG\TOPO\PLANS\C-1.0 TOPO-BROOKWAY PLT.DWG DATE: 2/2/2024 BY: John Steinhilber



0 20 40 80  
SCALE: 1" = 40'



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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

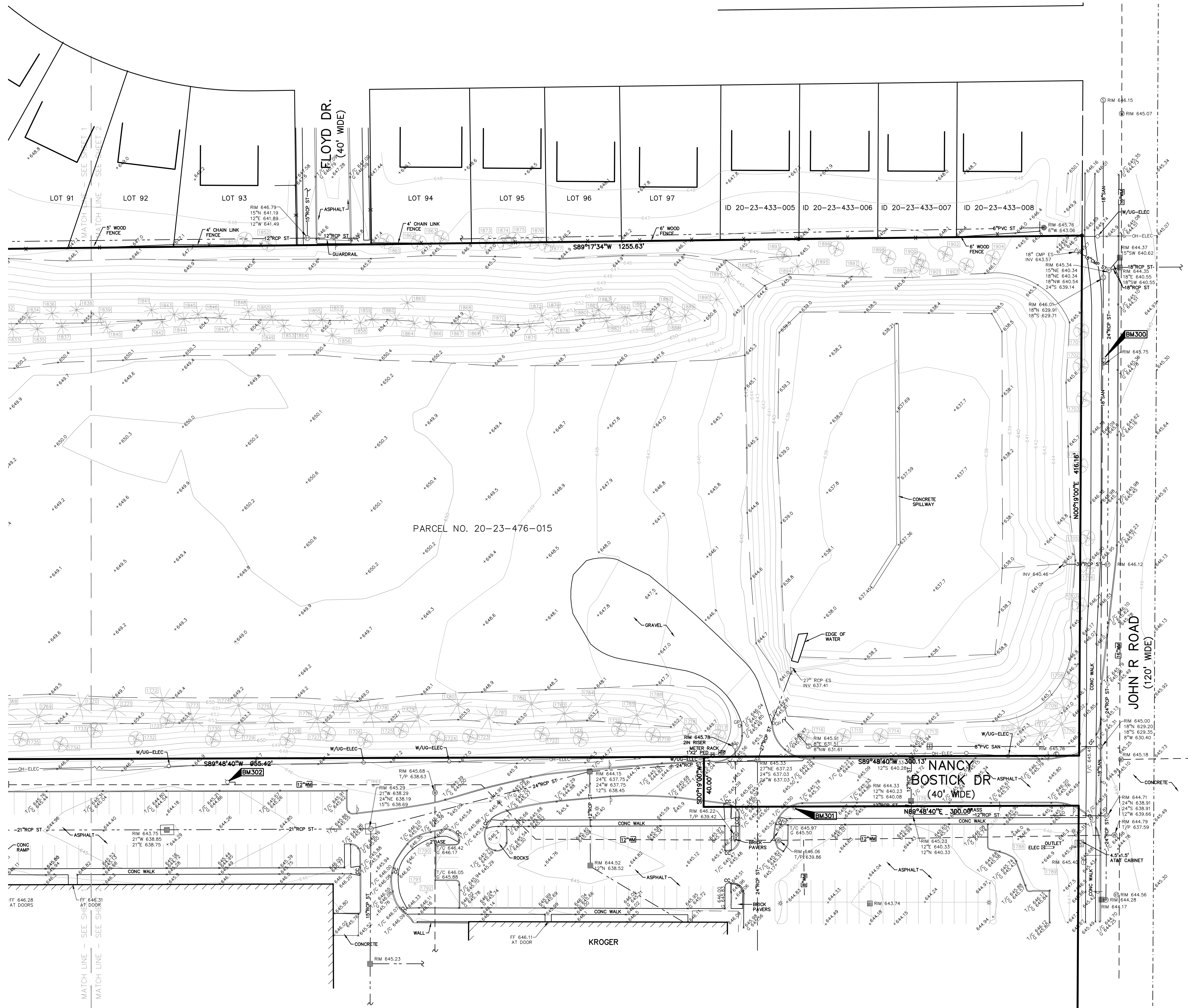
REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

**NOT FOR CONSTRUCTION** **C-1.2**

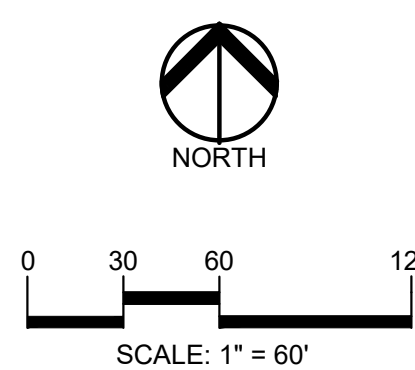
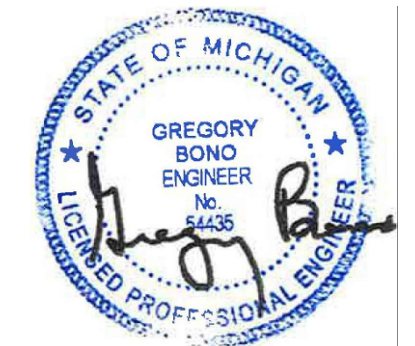


**LEGAL DESCRIPTION (20-23-476-015)**  
(Per City of Troy Assessing)  
T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR, TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR, TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

**BENCHMARKS**  
(GPS DERIVED - NAVD88)  
**BM #300**  
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
ELEV. - 648.05  
**BM #301**  
MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.  
ELEV. - 648.13  
**BM #302**  
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.  
ELEV. - 647.09

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0536, DATED JANUARY 16, 2009.

S:\PROJECTS\2018\2018-04 JOHN R COMMONS-PEA\COMPLETE PLANS\C-1.0 TOPO-BROADWAY PLOT DATE: 2/2/2024 BY: John Skelton



**CAUTION!!**  
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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 7TH & 8TH STS., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPAP/C COMMENTS	5/3/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**OVERALL SITE PLAN**

PEA JOB NO. 18-0034

P.M. GMB  
DN. CNR

DES. GMB

DRAWING NUMBER:

**C-2.0**

**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN
[Symbol]	LIGHT POLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

**SITE DATA TABLE:**

SITE AREA: 11.86 AC (516,625 SF) NET AND GROSS  
ZONING: MF, (MULTI-FAMILY RESIDENTIAL)  
PROPOSED USE: MULTI-FAMILY RESIDENTIAL (118-UNIT DEVELOPMENT)

**BUILDING INFORMATION:**  
BUILDING HEIGHT = 25 FEET (2 STORIES)  
BUILDING TYPE A (FRONT GARAGE) = 7,233 SF  
BUILDING TYPE B (6-UNIT REAR GARAGE) = 6,633 SF  
BUILDING TYPE C (5-UNIT REAR GARAGE) = 5,533 SF

MAXIMUM BUILDING LOT COVERAGE = 35%  
PROPOSED BUILDING LOT COVERAGE:  
= 7,233 x 5 + 6,633 x 13 + 5,533 x 2  
= 133,468 SF = 25.83%

**SETBACK REQUIREMENTS:**

REQUIRED	PROPOSED
FRONT SETBACK (EAST): 30 FEET	311.39 FEET
SIDE SETBACK (NORTH): 30 FEET	30 FEET
REAR SETBACK (WEST): 30 FEET	40.29 FEET

**PARKING CALCULATIONS:**  
MULTI-FAMILY RESIDENTIAL = 2 SPACES PER DWELLING UNIT  
PARKING REQUIRED:  
= 118 UNITS \* 2 SPACES/UNIT = 236 SPACES

**PARKING PROVIDED:**  
BUILDINGS 1-5:  
12 GARAGE SPACES x 5 = 60 SPACES  
12 DRIVEWAY SPACES x 5 = 60 SPACES  
BUILDINGS 6-20:  
12 GARAGE SPACES x 13 = 156 SPACES  
10 GARAGE SPACES x 2 = 20 SPACES

**GUEST PARKING:**  
SURFACE SPACES = 40 SPACES

**TOTAL PARKING PROVIDED:**  
336 SPACES

**RECREATION SPACE:**  
MULTI-FAMILY RESIDENTIAL = 450 SF PER DWELLING UNIT  
REQUIRED:  
= 118 UNITS \* 450 SF/UNIT = 53,100 SF  
PROVIDED:  
= 59,045 SF (WALKS, PICNIC AREAS, AND MISC. OPEN SPACE)

**GENERAL NOTES:**

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - REFER TO SHEET C-5.0 FOR ON-SITE PAVING DETAILS.
  - REFER TO SHEET C-5.0 FOR ON-SITE SIDEWALK RAMP DETAILS.
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  - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

**LEGAL DESCRIPTION (20-23-476-015)**  
(Per City of Troy Assessing)

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**FLOODPLAIN NOTE:**  
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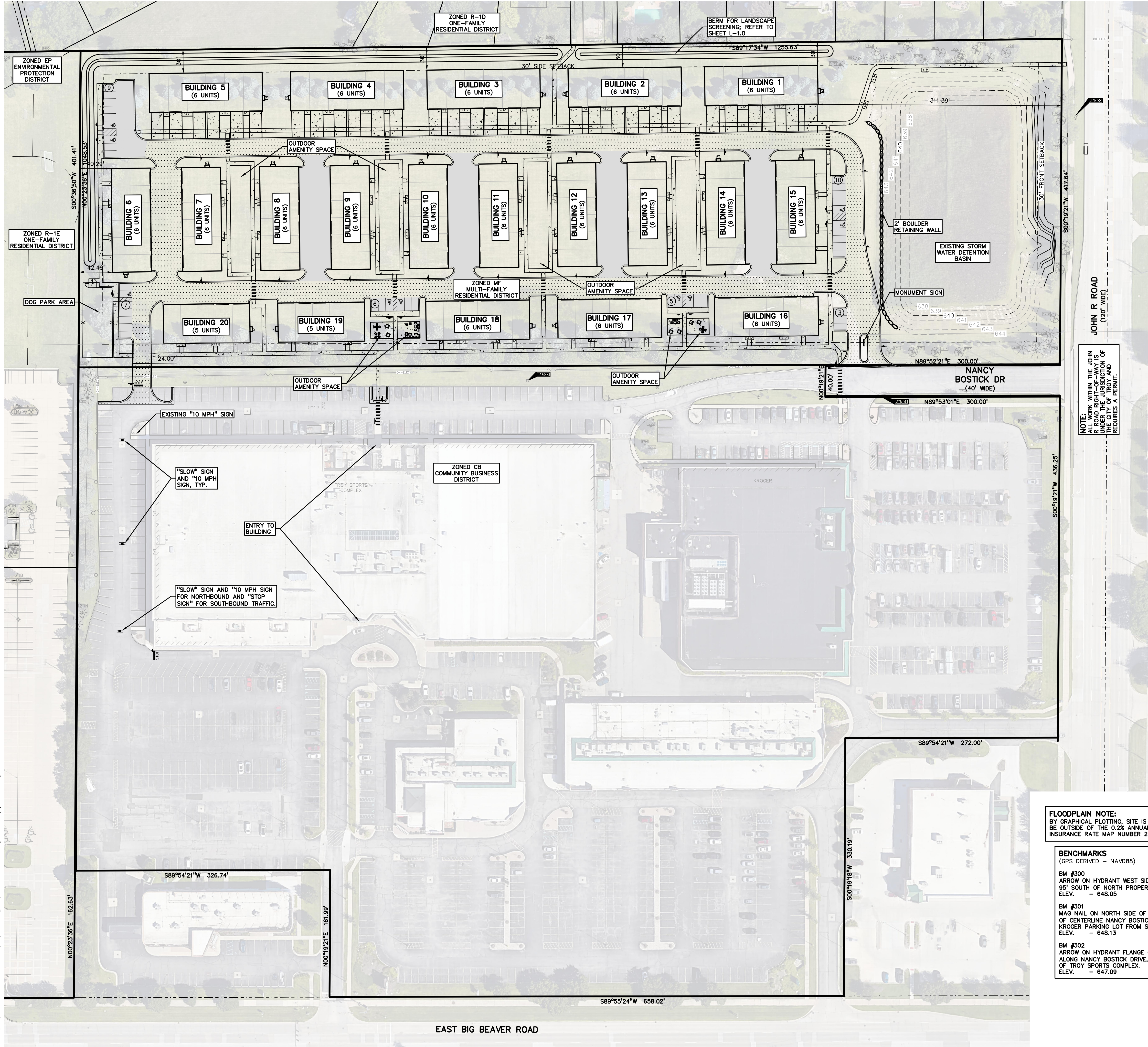
**BENCHMARKS**  
(GPS DERIVED - NAVD88)

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ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
ELEV. - 648.05
- BM #301  
MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.  
ELEV. - 648.13
- BM #302  
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.  
ELEV. - 647.09

**NOTES:**  
TRASH WILL BE COLLECTED USING WEEKLY PICKUP SERVICE.

**NOTES:**  
BICYCLE PARKING WILL BE PROVIDED WITHIN GARAGES.

**NOTE:**  
NO WORK WITHIN THE JOHN R ROAD RIGHT-OF-WAY UNDER THE JURISDICTION OF THE CITY OF TROY AND REQUIRES A PERMIT.



S:\PROJECTS\2018\2018-034 JOHN R COMMONS-SP (COMPLETE PLANS)(C-2.0) OVERALL SITE-BOOKING.PLOT DATE: 5/6/2024 BY: Greg Bono

**NOT FOR CONSTRUCTION**

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

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ELEV. - 648.05

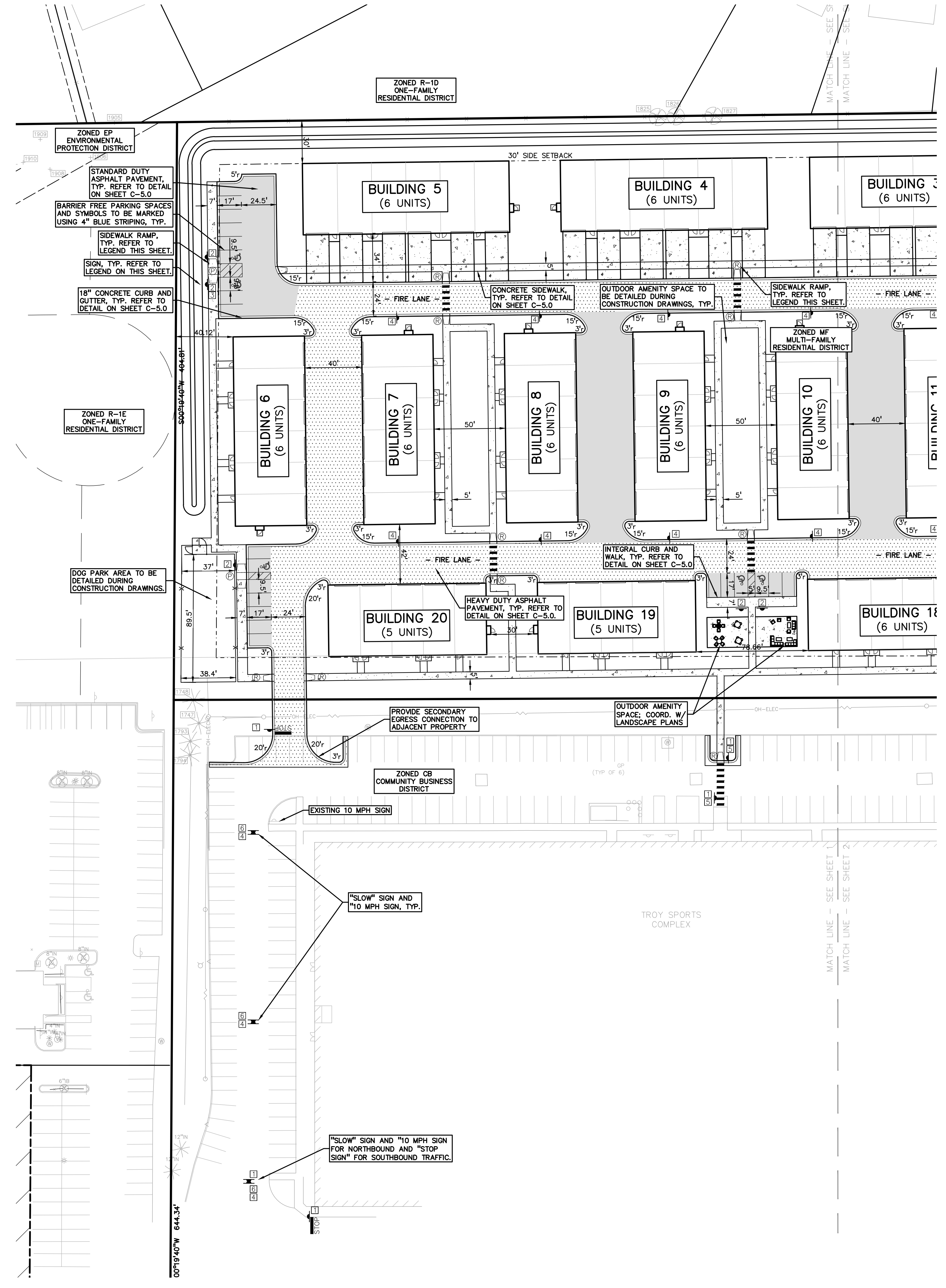
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ELEV. - 648.13

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ELEV. - 647.09

**FLOODPLAIN NOTE:**  
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**LEGAL DESCRIPTION (20-23-476-015)**  
(Per City of Troy Assessing)

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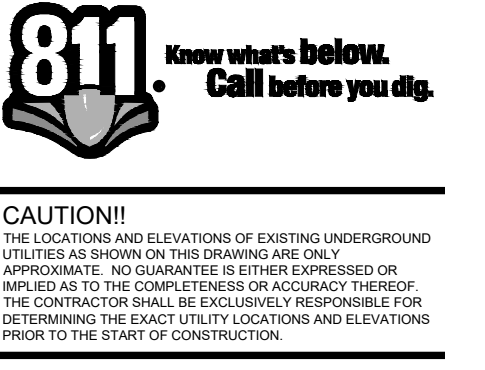
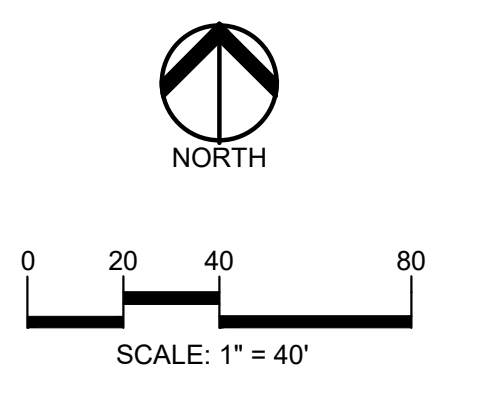
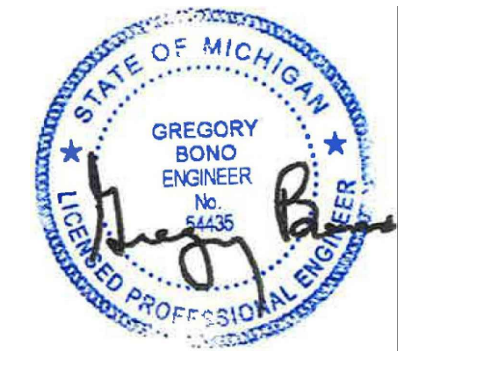


- SIDEWALK RAMP LEGEND:**
- SIDEWALK RAMP 'TYPE R'
  - SIDEWALK RAMP 'TYPE P'
- REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS
- SIGN LEGEND:**
- 'STOP' SIGN
  - 'BARRIER FREE PARKING' SIGN
  - 'VAN ACCESSIBLE' SIGN
  - 'NO PARKING FIRE LANE' SIGN
  - 'CROSSWALK' SIGN
  - 'SLOW' SIGN
  - '10 MPH' SIGN
- REFER TO SHEET C-5.0 FOR SIGN DETAILS

- LEGEND:**
- CONCRETE PAVEMENT
  - ASPHALT PAVEMENT
  - GRAVEL
  - WETLAND
  - CONCRETE CURB AND GUTTER
  - REVERSE GUTTER PAN
  - SETBACK LINE
  - SIGN
  - LIGHTPOLE
  - FENCE
  - GUARD RAIL

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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-2.1**

S:\PROJECTS\2018\2018-034 JOHN R COMMONS-PR\W\SITE PLANS\C-2.1 SITE-180034.dwg PLOT DATE: 5/27/2024 BY: Greg Bond

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

BM #300  
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
ELEV. - 648.05

BM #301  
MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.  
ELEV. - 648.13

BM #302  
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.  
ELEV. - 647.09

**LEGAL DESCRIPTION (20-23-476-015)**  
(Per City of Troy Assessing)

T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE, DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR, TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR, TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 2612503536, DATED JANUARY 16, 2009.

**SIDEWALK RAMP LEGEND:**

SIDEWALK RAMP 'TYPE R'

SIDEWALK RAMP 'TYPE P'

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**SIGN LEGEND:**

'STOP' SIGN

'BARRIER FREE PARKING' SIGN

'VAN ACCESSIBLE' SIGN

'NO PARKING FIRE LANE' SIGN

'CROSSWALK' SIGN

'SLOW' SIGN

'10 MPH' SIGN

REFER TO SHEET C-5.0 FOR SIGN DETAILS

**LEGEND:**

CONCRETE PAVEMENT

ASPHALT PAVEMENT

GRAVEL

WETLAND

CONCRETE CURB AND GUTTER

REVERSE GUTTER PAN

SETBACK LINE

SIGN

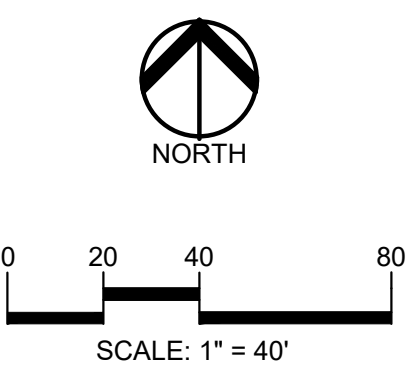
LIGHTPOLE

FENCE

GUARD RAIL

**NOTES:**  
BICYCLE PARKING WILL BE PROVIDED WITHIN GARAGES.

**NOTES:**  
TRASH WILL BE COLLECTED USING WEEKLY PICKUP SERVICE.



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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

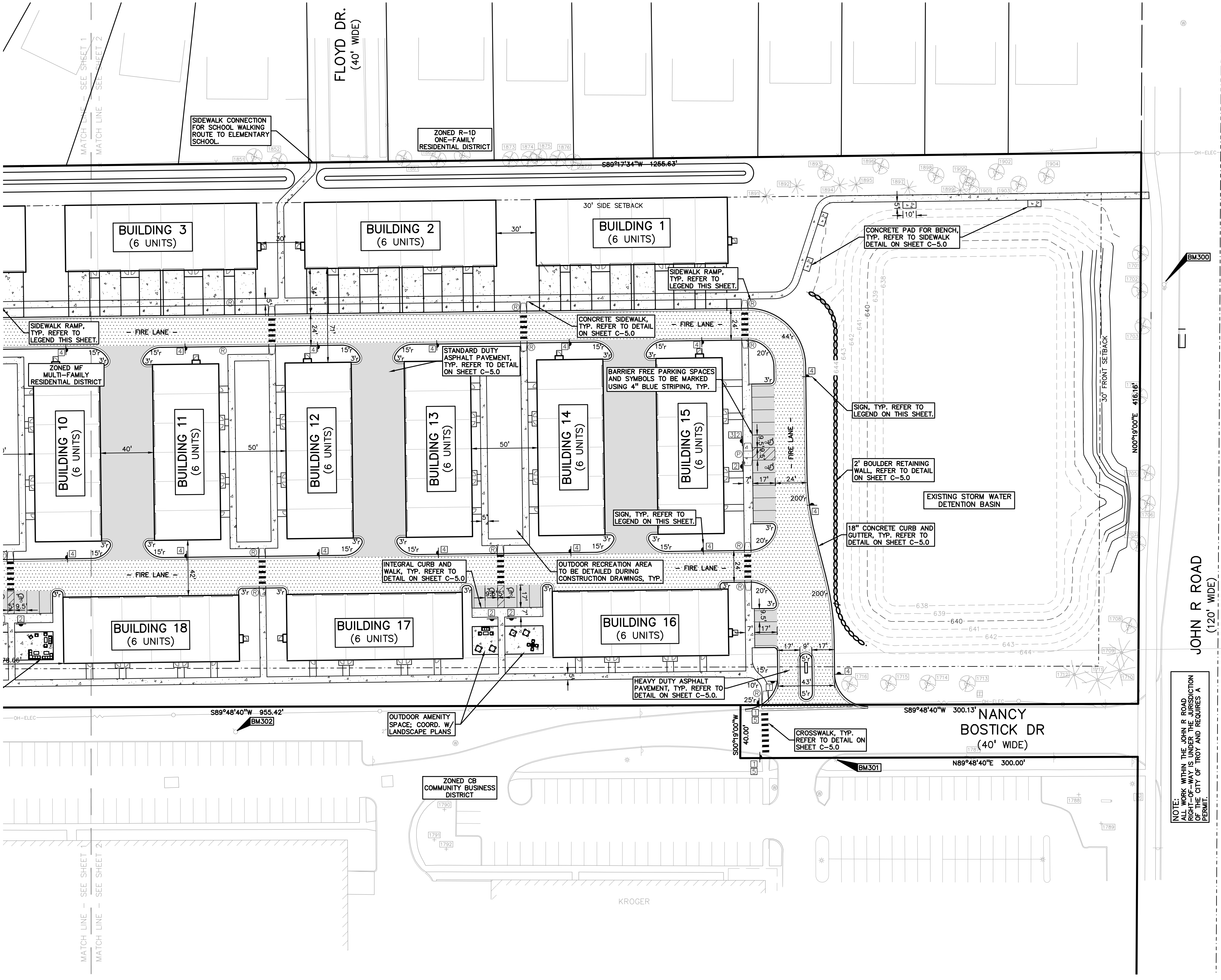
REVISIONS	DATE
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-2.2**



S:\PROJECTS\2018\2018-04 JOHN R COMMONS - PRELIMINARY SITE PLANS (C-2.1) - 2023-11-08 10:04 AM BY: Greg Bono

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

BM #300  
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
ELEV. = 648.05

BM #301  
MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.  
ELEV. = 648.13

BM #302  
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.  
ELEV. = 647.09

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SIDEWALK RAMP 'TYPE R'

SIDEWALK RAMP 'TYPE P'

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**SYMBOLS: GRADING**

PROPOSED SPOT GRADE ELEVATION. ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

PROPOSED CONTOUR LINE

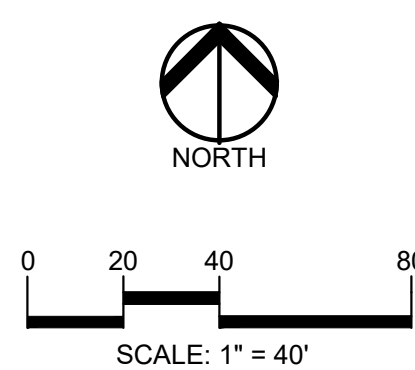
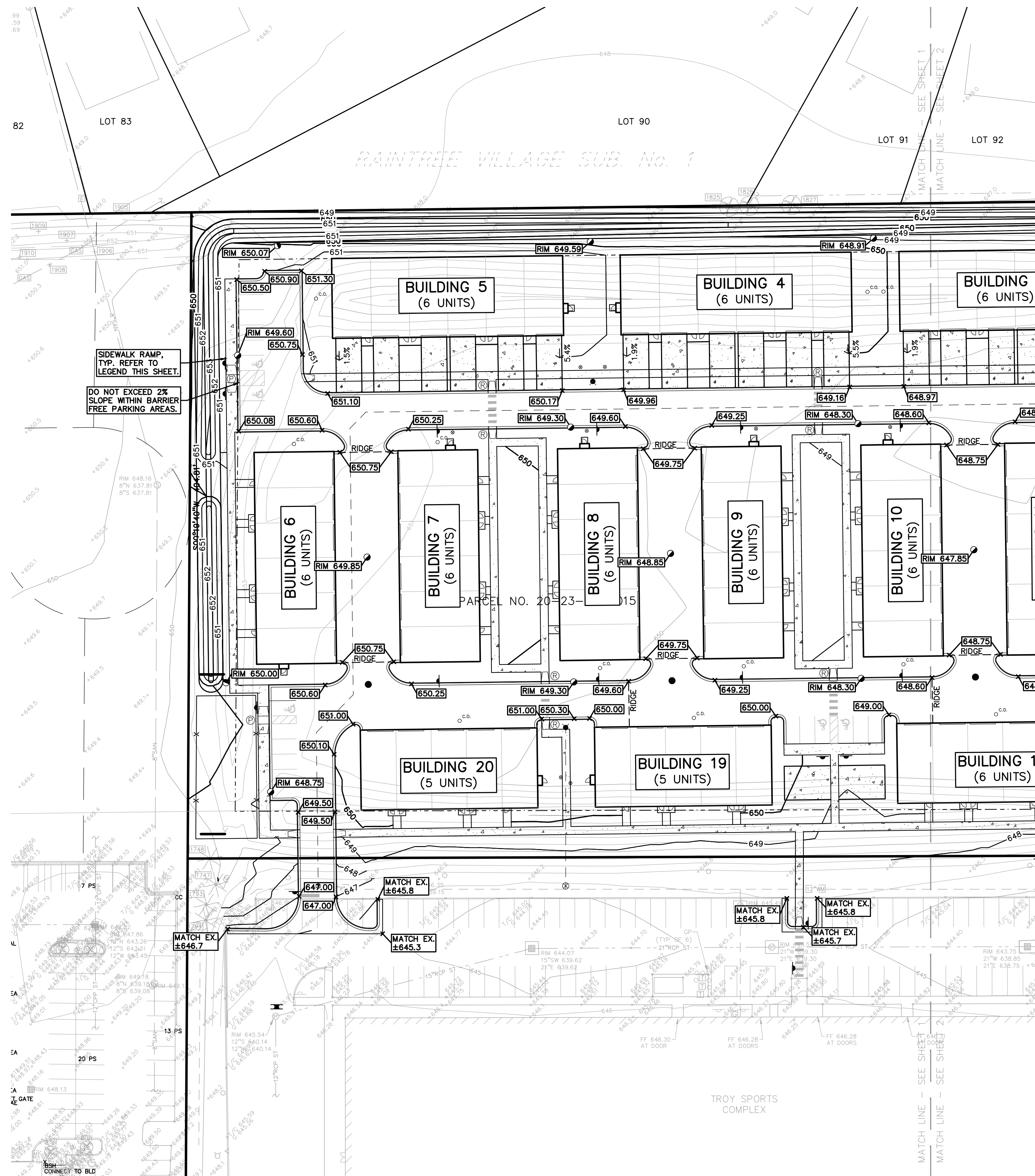
**EARTHWORK BALANCING NOTE:**

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**GENERAL GRADING AND EARTHWORK NOTES:**

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
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- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.



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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB

DRAWING NUMBER:

NOT FOR CONSTRUCTION **C-3.1**

S:\PROJECTS\2018\018-034 JOHN R COMMONS - PRELIMINARY PLANS\C-3.0 PRELIMINARY GRADING PLAN.DWG PLOT DATE: 2/29/2024 BY: John Sheehan

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

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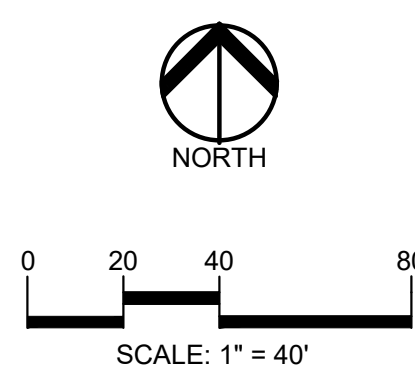
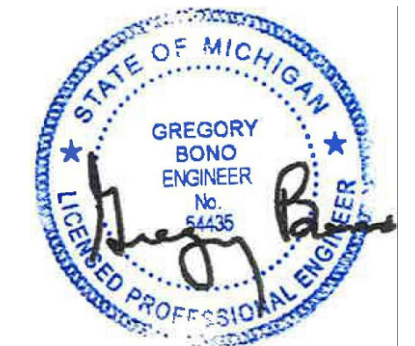
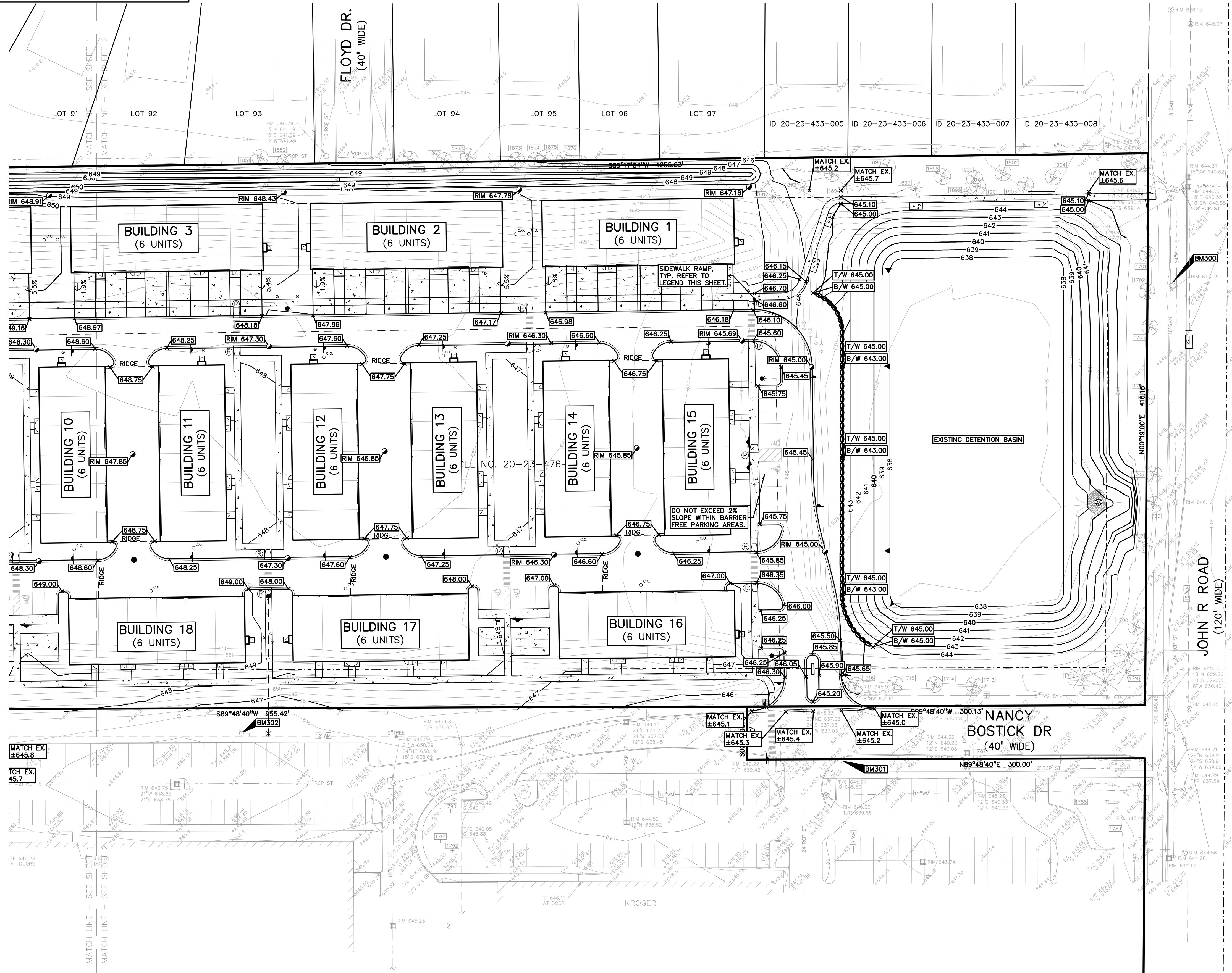
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CLIENT  
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1818 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-3.2**

S:\PROJECTS\2018\018-0034-04 JOHN R COMMONS - PRELIMINARY GRADING PLANS\C-3.0 PRELIMINARY GRADING PLAN.PLOT DATE: 2/29/2024 BY: John Shelton

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

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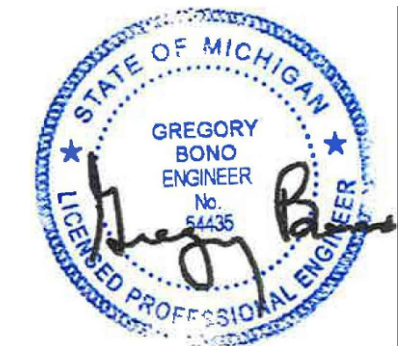
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**PUBLIC UTILITY EASEMENTS:**  
ALL SANITARY SEWERS 8" AND LARGER IN DIAMETER ARE TO BE PUBLIC AND SHALL BE LOCATED IN A 20' WIDE EASEMENT. ALL WATER MAIN SHALL BE LOCATED IN A 20' WIDE EASEMENT.

**UTILITY LEGEND:**

—OH-ELEC—W—O—	EX. OH. ELEC. POLE & GUY WIRE
—UG-CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG-COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
—UG-ELEC—	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
—	EX. GAS LINE
⊗	EX. GAS VALVE & GAS LINE MARKER
⊠	EX. TRANSFORMER & IRRIGATION VALVE
—	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊗	EX. WATER VALVE BOX & SHUTOFF
—	EX. SANITARY SEWER
⊗	EX. SANITARY CLEANOUT & MANHOLE
⊗	EX. COMBINED SEWER MANHOLE
⊗	EX. STORM SEWER
⊗	EX. CLEANOUT & MANHOLE
⊗	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊗	EX. YARD DRAIN & ROOF DRAIN
⊗	EX. UNIDENTIFIED STRUCTURE
—	PROPOSED WATER MAIN
⊗	PROPOSED HYDRANT AND GATE VALVE
⊗	PROPOSED TAPPING SLEEVE, VALVE & WELL
⊗	PROPOSED POST INDICATOR VALVE
⊗	PROPOSED SANITARY SEWER
⊗	PROPOSED SANITARY CLEANOUT & MANHOLE
⊗	PROPOSED STORM SEWER
⊗	PROPOSED STORM SEWER CLEANOUT & MANHOLE
⊗	PROPOSED CATCH BASIN, INLET & YARD DRAIN

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



0 20 40 80  
SCALE: 1" = 40'



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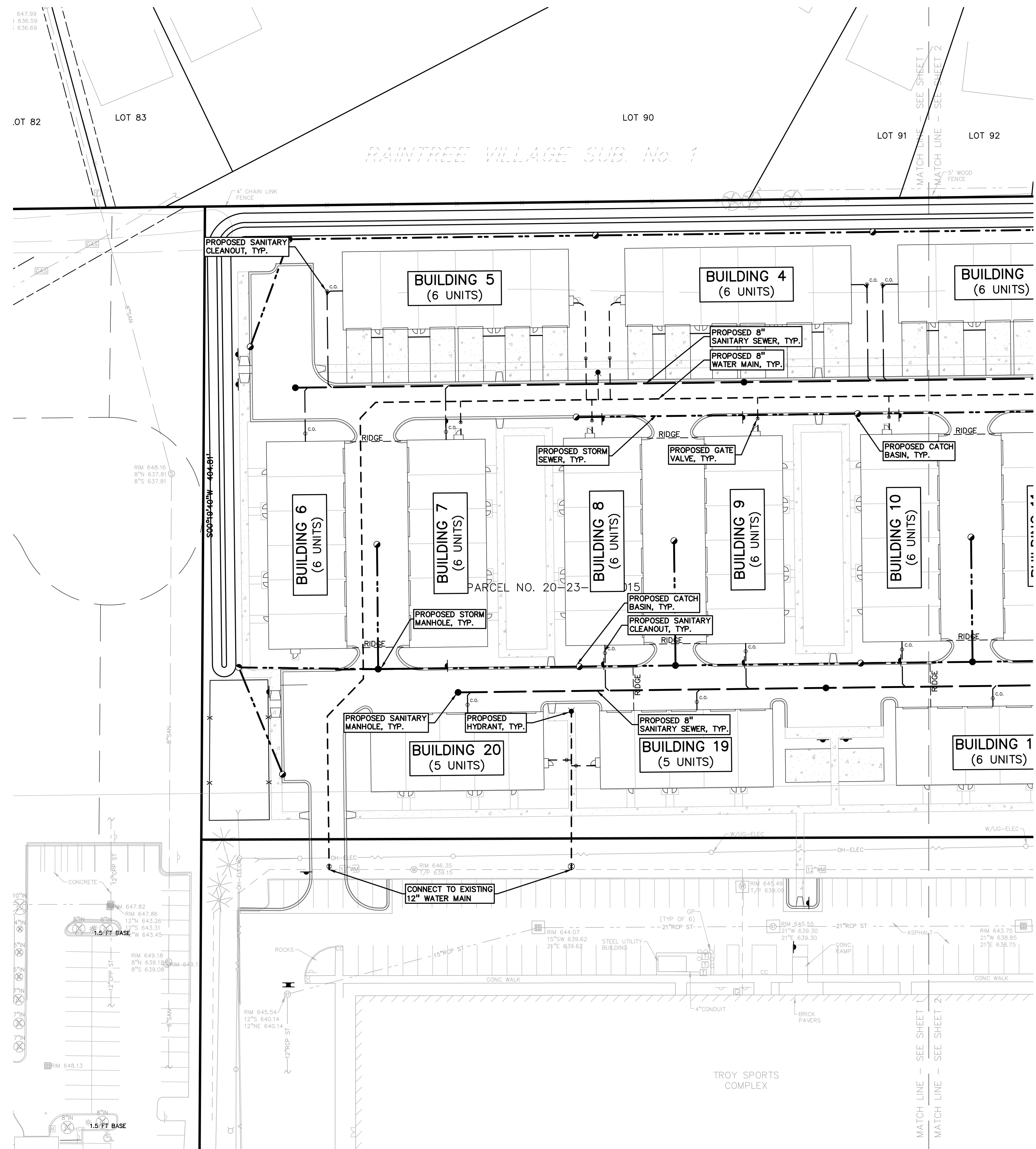
PROJECT TITLE  
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PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	



S:\PROJECTS\2018\018-034 JOHN R COMMONS - PRELIMINARY UTILITY PLAN (C-4) UTILITY PLAN (C-4) DATE: 2/29/2024 BY: Jani Skelton

NOT FOR CONSTRUCTION **C-4.1**



**BENCHMARKS**  
(GPS DERIVED - NAVD88)

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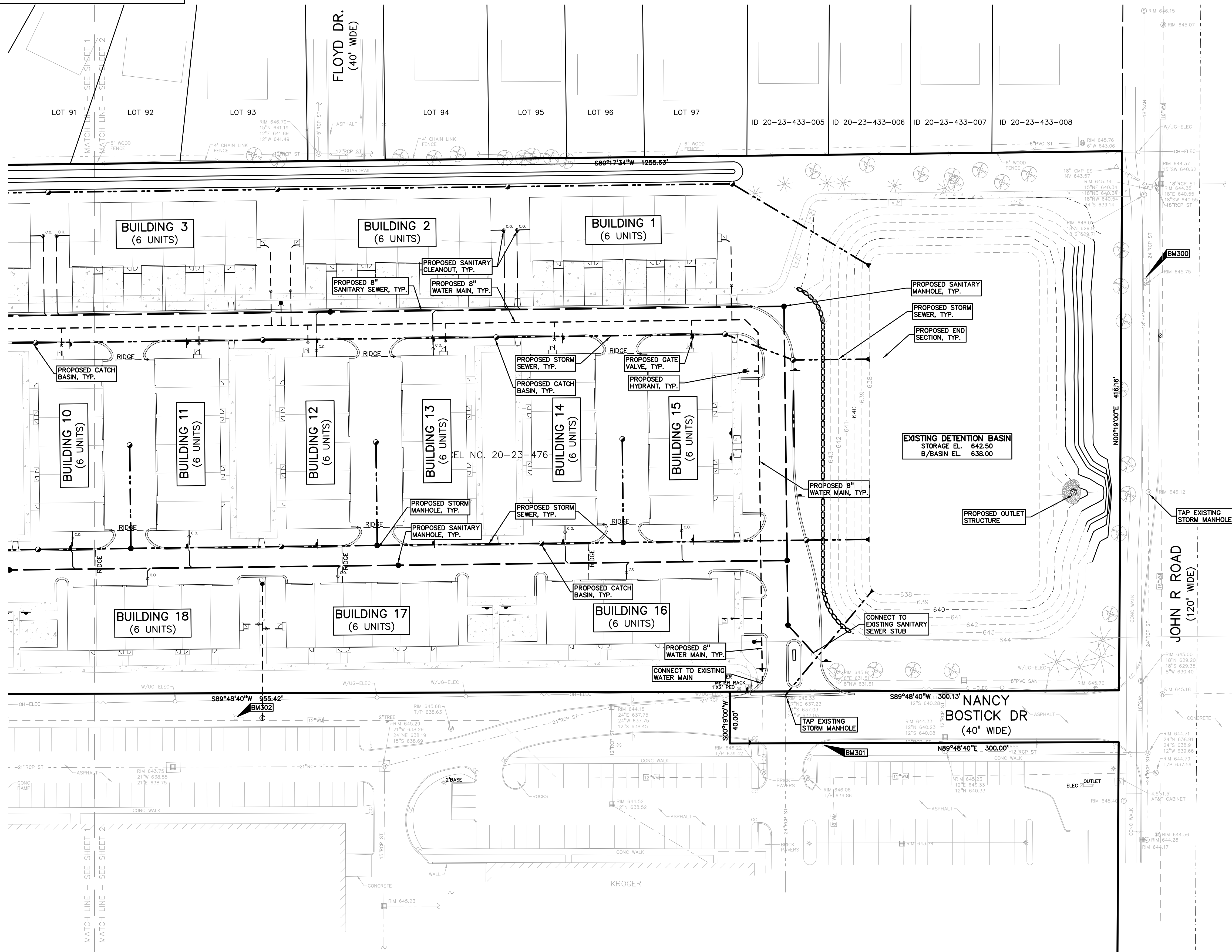
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EX. YARD DRAIN & ROOF DRAIN	EX. YARD DRAIN & ROOF DRAIN
EX. UNIDENTIFIED STRUCTURE	EX. UNIDENTIFIED STRUCTURE
PROPOSED WATER MAIN	PROPOSED WATER MAIN
PROPOSED HYDRANT AND GATE VALVE	PROPOSED HYDRANT AND GATE VALVE
PROPOSED TAPPING SLEEVE, VALVE & WELL	PROPOSED TAPPING SLEEVE, VALVE & WELL
PROPOSED POST INDICATOR VALVE	PROPOSED POST INDICATOR VALVE
PROPOSED SANITARY SEWER	PROPOSED SANITARY SEWER
PROPOSED SANITARY CLEANOUT & MANHOLE	PROPOSED SANITARY CLEANOUT & MANHOLE
PROPOSED STORM SEWER	PROPOSED STORM SEWER
PROPOSED STORM SEWER CLEANOUT & MANHOLE	PROPOSED STORM SEWER CLEANOUT & MANHOLE
PROPOSED CATCH BASIN, INLET & YARD DRAIN	PROPOSED CATCH BASIN, INLET & YARD DRAIN



SCALE: 1" = 40'



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**Rainfall Intensity**

Time of Concentration (T <sub>c</sub> )	20.00 min
Since 15 < T <sub>c</sub> < 60, use intensity equation	
I = 30.2 / ((T + 9.17)^0.81)	1.97 in/hr
I10 = 50.12 / ((T + 9.17)^0.81)	3.26 in/hr
I100 = 83.3 / ((T + 9.17)^0.81)	5.42 in/hr

**CPVC: Channel Protection Volume Control Volume**  
V<sub>cpvc</sub> = (4719)/CA  
43,095 cf

**CPRC: Channel Protection Rate Control Volume: Extended Detention**  
VED = (6897)/CA  
62,985 cf

**CPRC Allowable Outlet Rate**  
Q<sub>VED</sub> = V<sub>ED</sub> / (48\*60\*60)  
0.36 cfs

**Water Quality Control**  
Forebay Volume = (545)/CA  
4,977 cf  
Forebay Release Rate: Q<sub>VF</sub> = V<sub>F</sub> / (48\*60\*60)  
0.03 cfs

**100-Year Allowable Outlet Rate**  
Since 2 < A < 100, Q<sub>VRR</sub> = 1.1055 \* 0.206 \* I<sub>100</sub> \* A  
Q<sub>VRR</sub> = 0.60 cfs/ac

**100-Year Peak Allowable Discharge**  
Area, A = 11.86 ac  
Q<sub>100P</sub> = Q<sub>VRR</sub> \* A  
7.07 cfs

**100-Year Runoff Volume**  
V<sub>100R</sub> = (18,985)/CA  
173,376 cf

**100-Year Peak Inflow**  
Q<sub>100IN</sub> = C<sub>I</sub> \* I<sub>100</sub> \* A  
49.50 cfs

**Storage Curve Factor (Vs/Vr)**  
R = 0.206 \* 0.15 \* ln(Q<sub>100P</sub> / Q<sub>100IN</sub>)  
0.498

**100-Year Storage Volume**  
V<sub>s</sub> = R \* V<sub>100R</sub>  
86,341 cf

Infiltration will be provided. CPVC can be deducted:  
V<sub>100</sub> = V<sub>s</sub> - V<sub>cpvc</sub>  
EXISTING VOLUME FROM TROY SPORTS DEVELOPMENT  
V<sub>TROYSports</sub> = 111,472 cf  
**DETENTION VOLUME REQUIRED = 197,813 cf**

**Design Requirements**

CPRC Extended Detention: V <sub>ED</sub> =	62,985 cf
CPRC Allowable Outlet Rate: Q <sub>VED</sub> =	0.36 cfs
100-Year Storage Volume, V <sub>100R</sub> =	197,813 cf
100-Year Allowable Outlet Rate: Q <sub>VRR</sub> =	7.07 cfs
100 Year Peak Inflow: Q <sub>100IN</sub> =	49.50 cfs

**Detention Basin**

CPRC Storage Elevation:	639.62	62,985 cf	
100-yr Storage Elevation:	642.31	197,813 cf	
Elev. (ft)	Area (sf)	Vol. (cf)	Total Vol. (cf)
638.00	34,362	0	0
639.00	39,349	36,856	36,856
640.00	44,758	42,054	78,910
641.00	50,391	47,575	126,484
642.00	56,439	53,415	179,899
642.50	59,300	28,935	208,833
643.50	freeboard	0	208,833
Bottom Elevation of Pond:			638.00

CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

**REVISIONS**

SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

PEA JOB NO. 18-0034

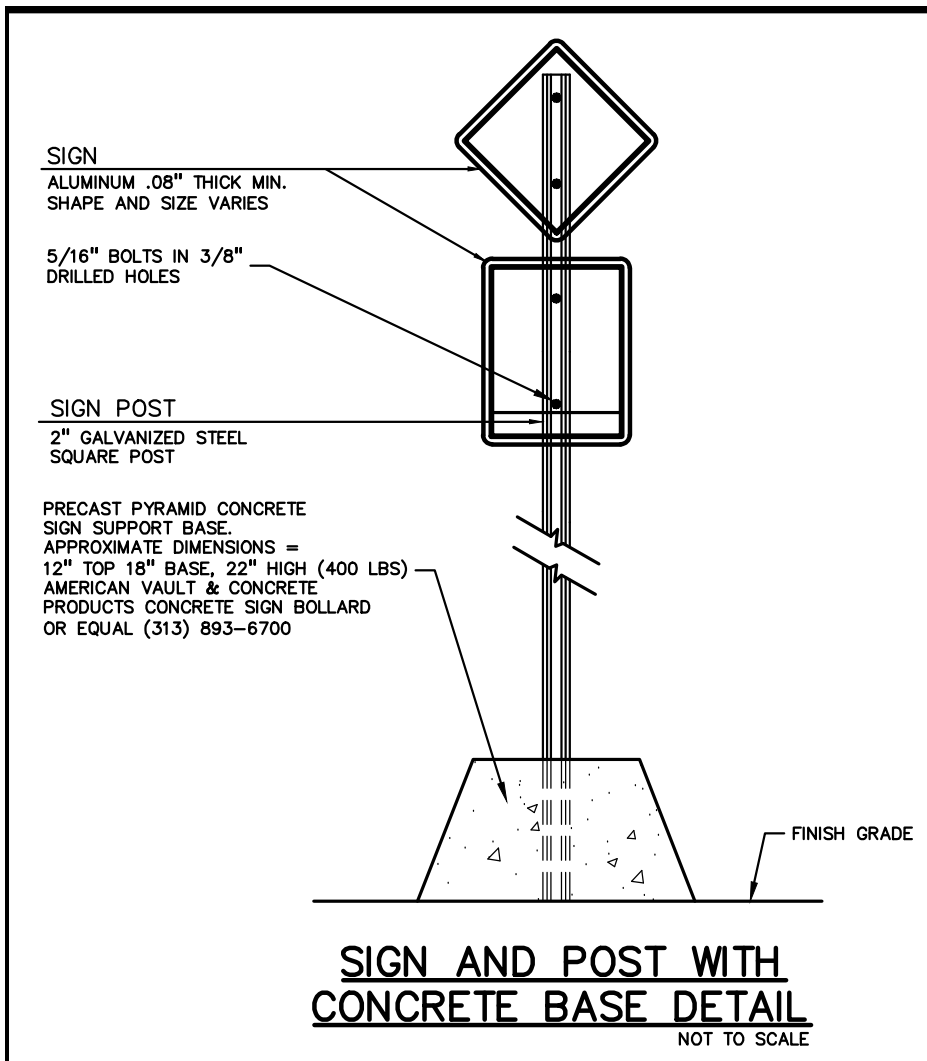
P.M.	GMB
DN.	CNR
DES.	GMB

DRAWING NUMBER:

NOT FOR CONSTRUCTION **C-4.2**

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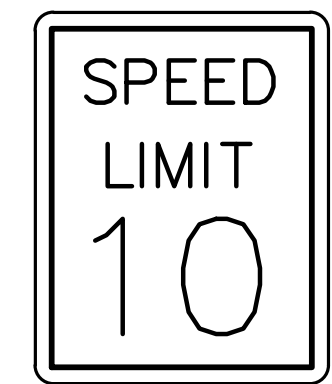
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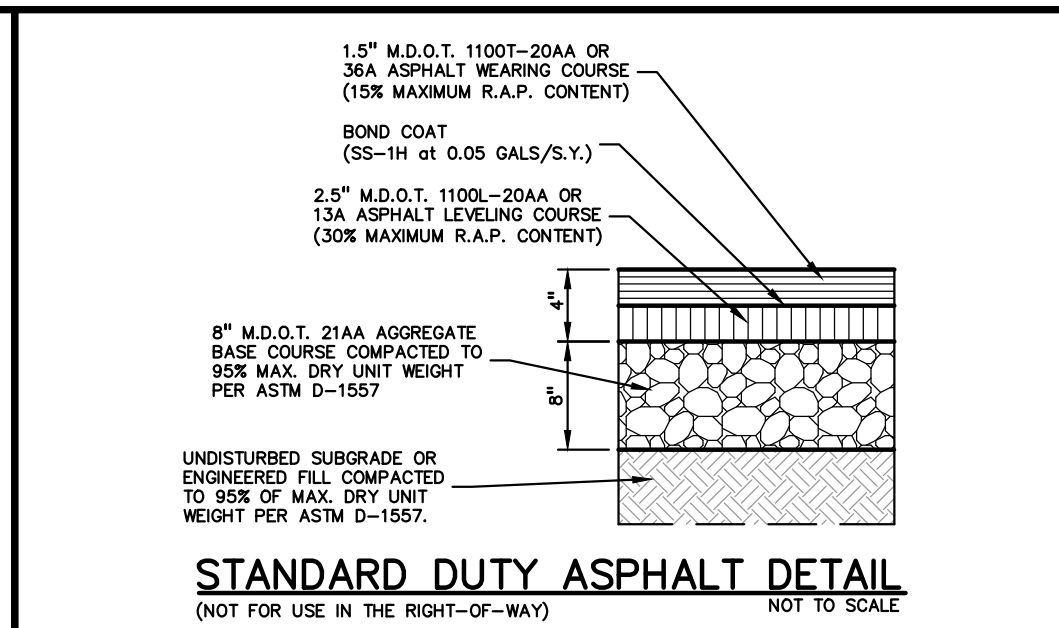
**SIGN AND POST WITH CONCRETE BASE DETAIL**  
NOT TO SCALE



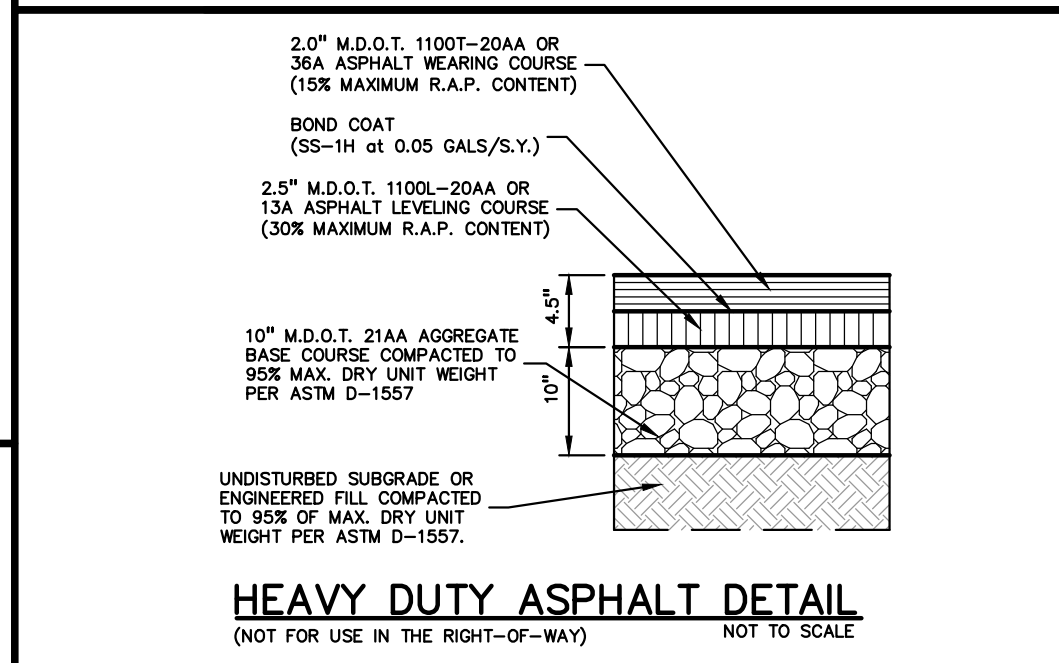
**SLOW SIGN DETAIL**  
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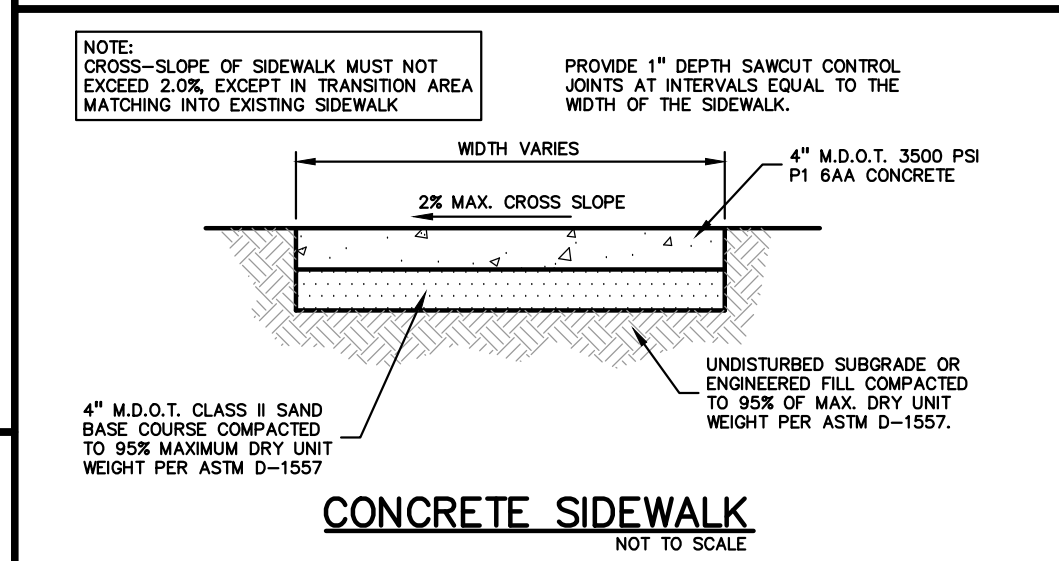
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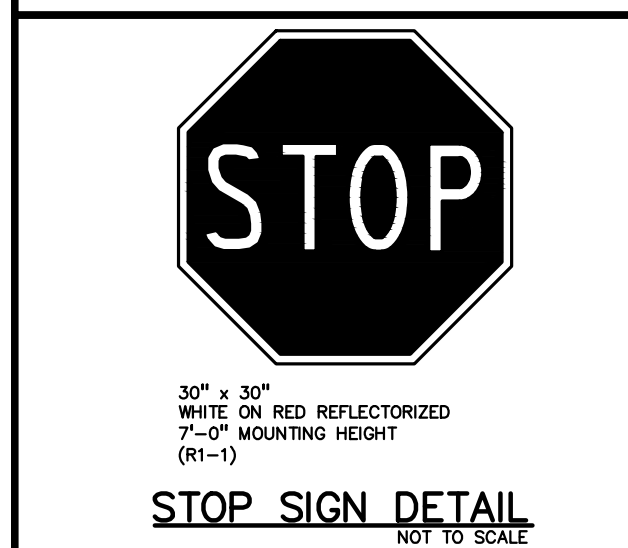
**STANDARD DUTY ASPHALT DETAIL**  
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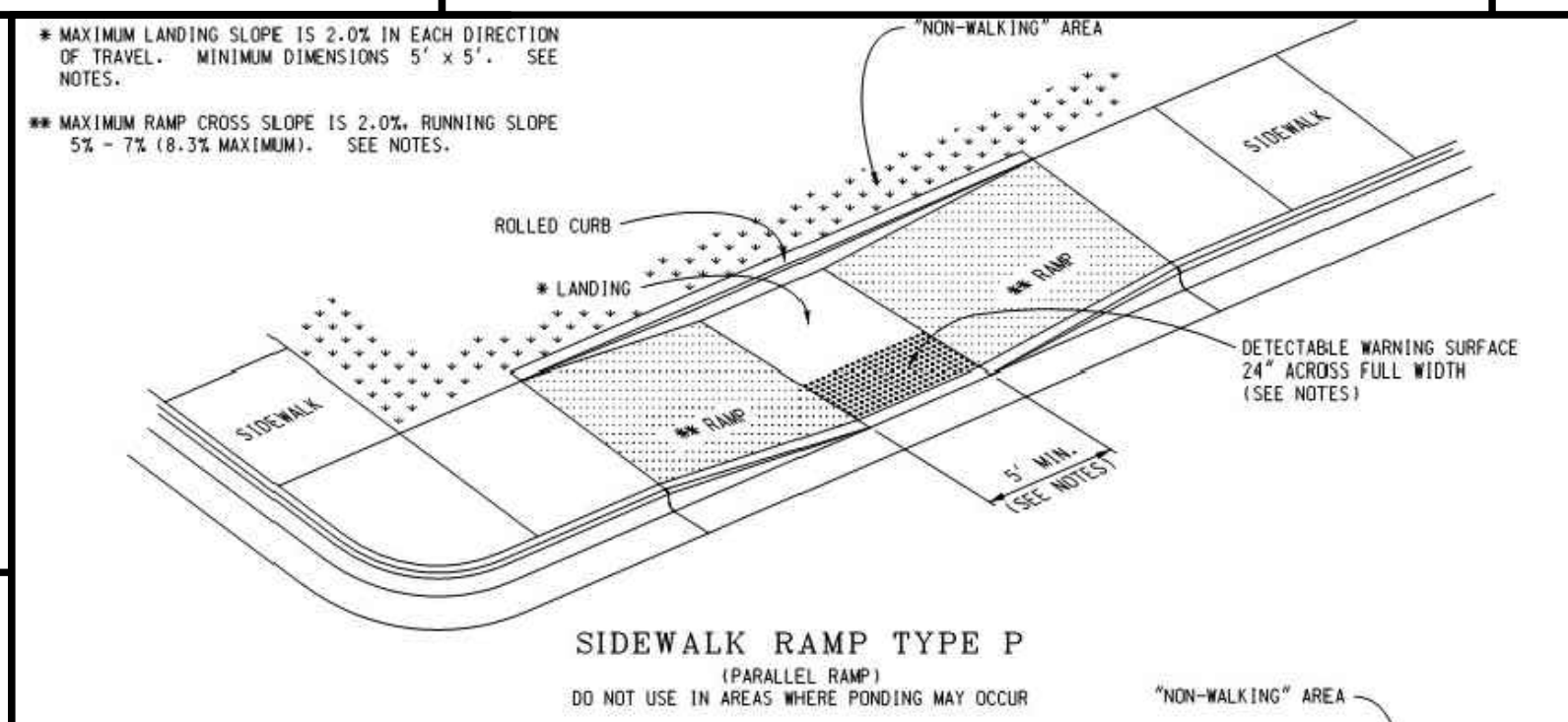
**HEAVY DUTY ASPHALT DETAIL**  
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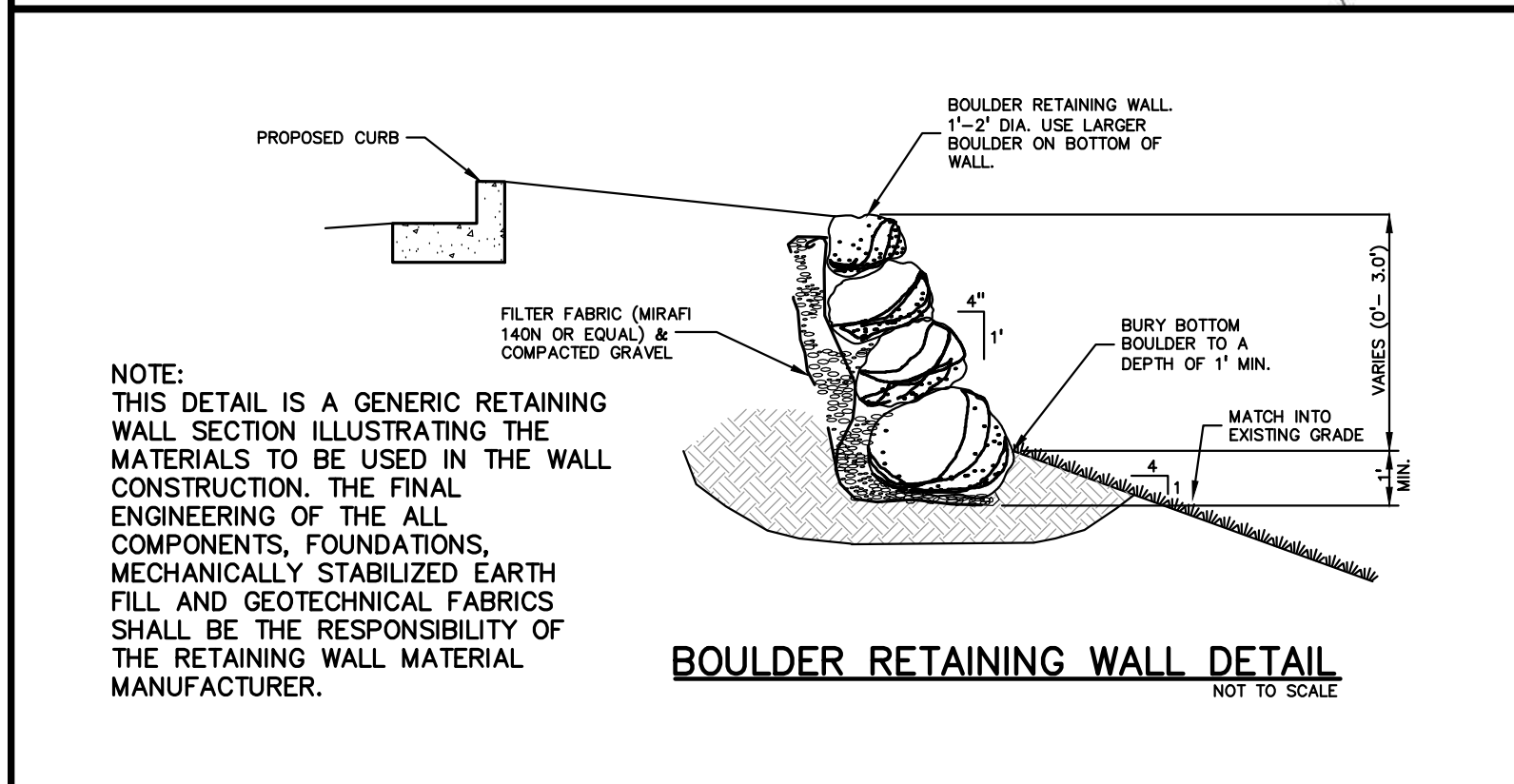
**CONCRETE SIDEWALK DETAIL**  
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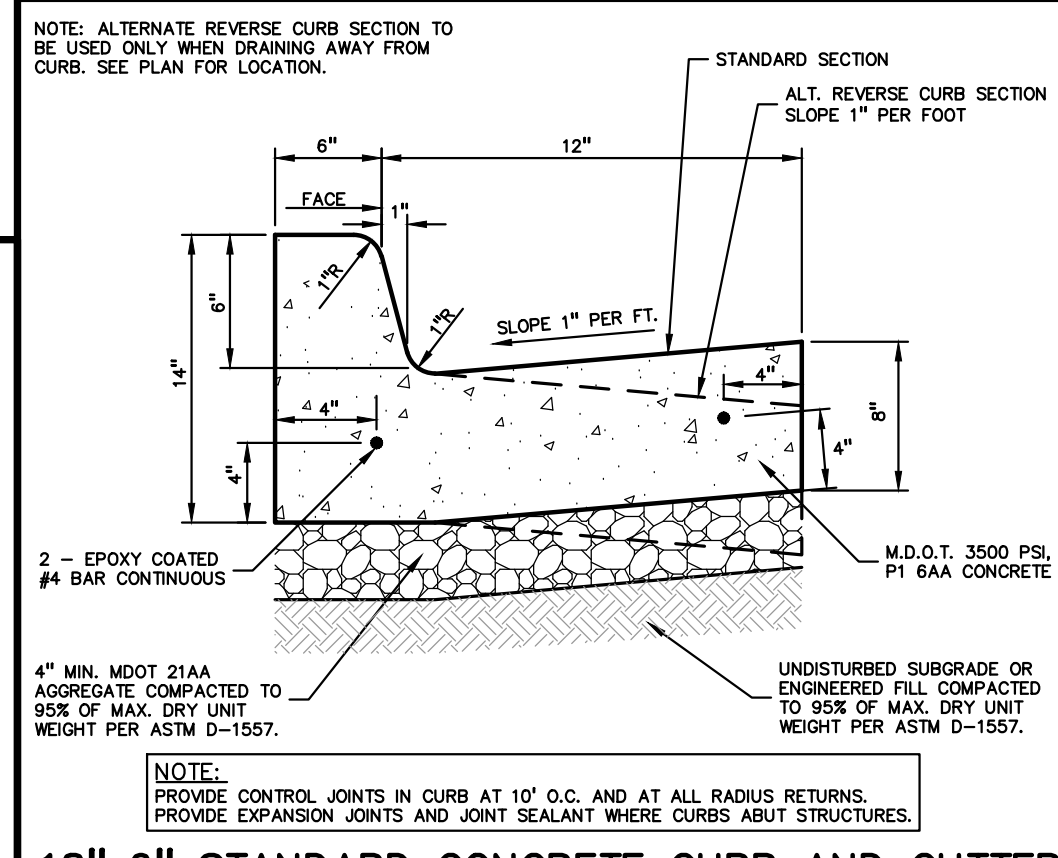
**STOP SIGN DETAIL**  
NOT TO SCALE



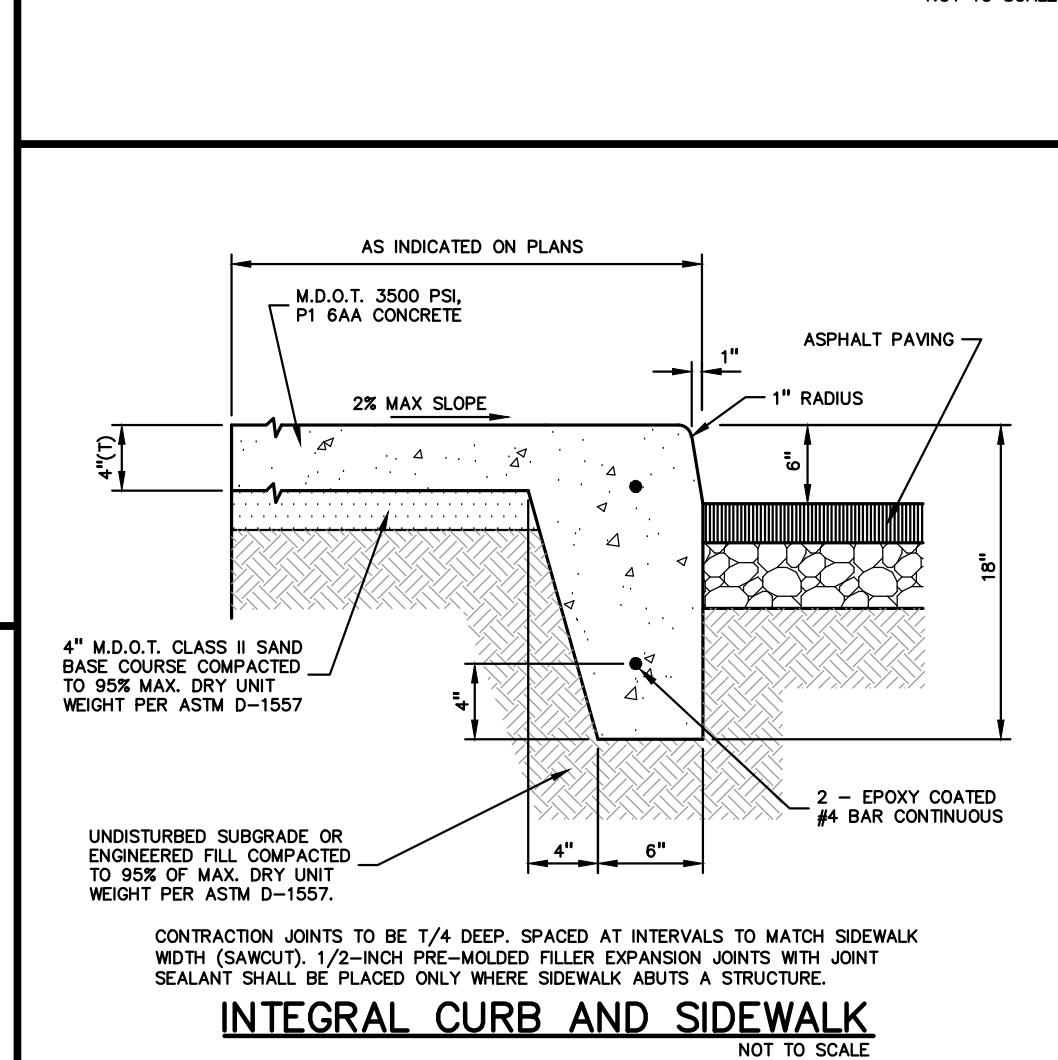
**SIDEWALK RAMP TYPE P (PARALLEL RAMP)**  
DO NOT USE IN AREAS WHERE PONING MAY OCCUR



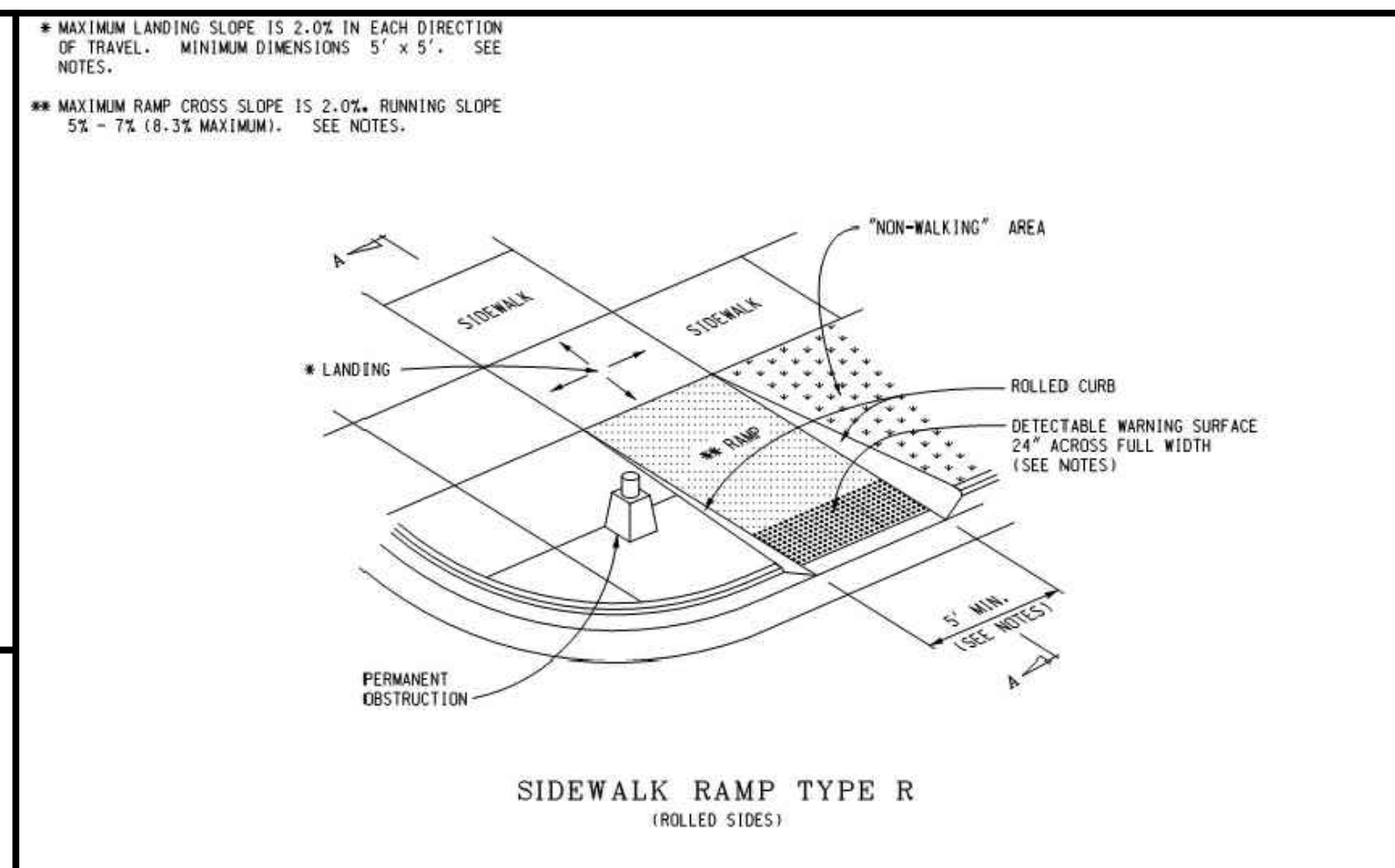
**BOULDER RETAINING WALL DETAIL**  
NOT TO SCALE



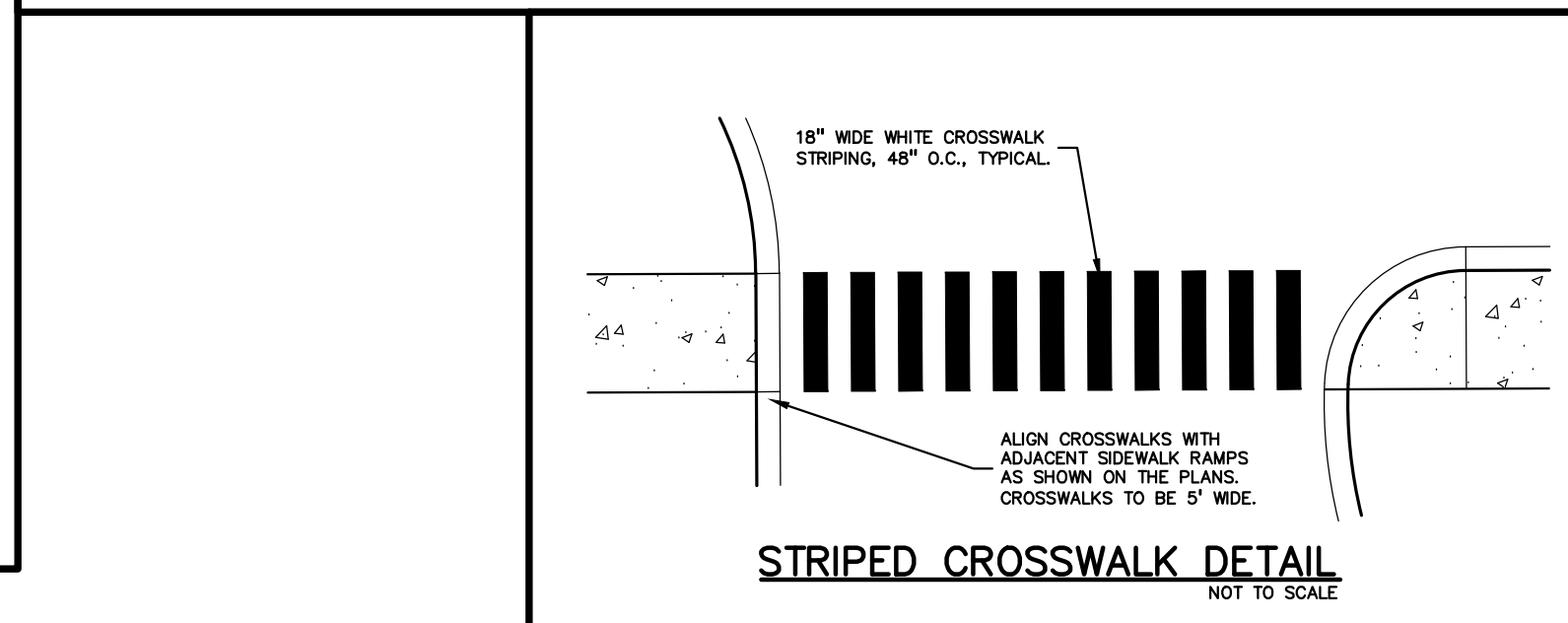
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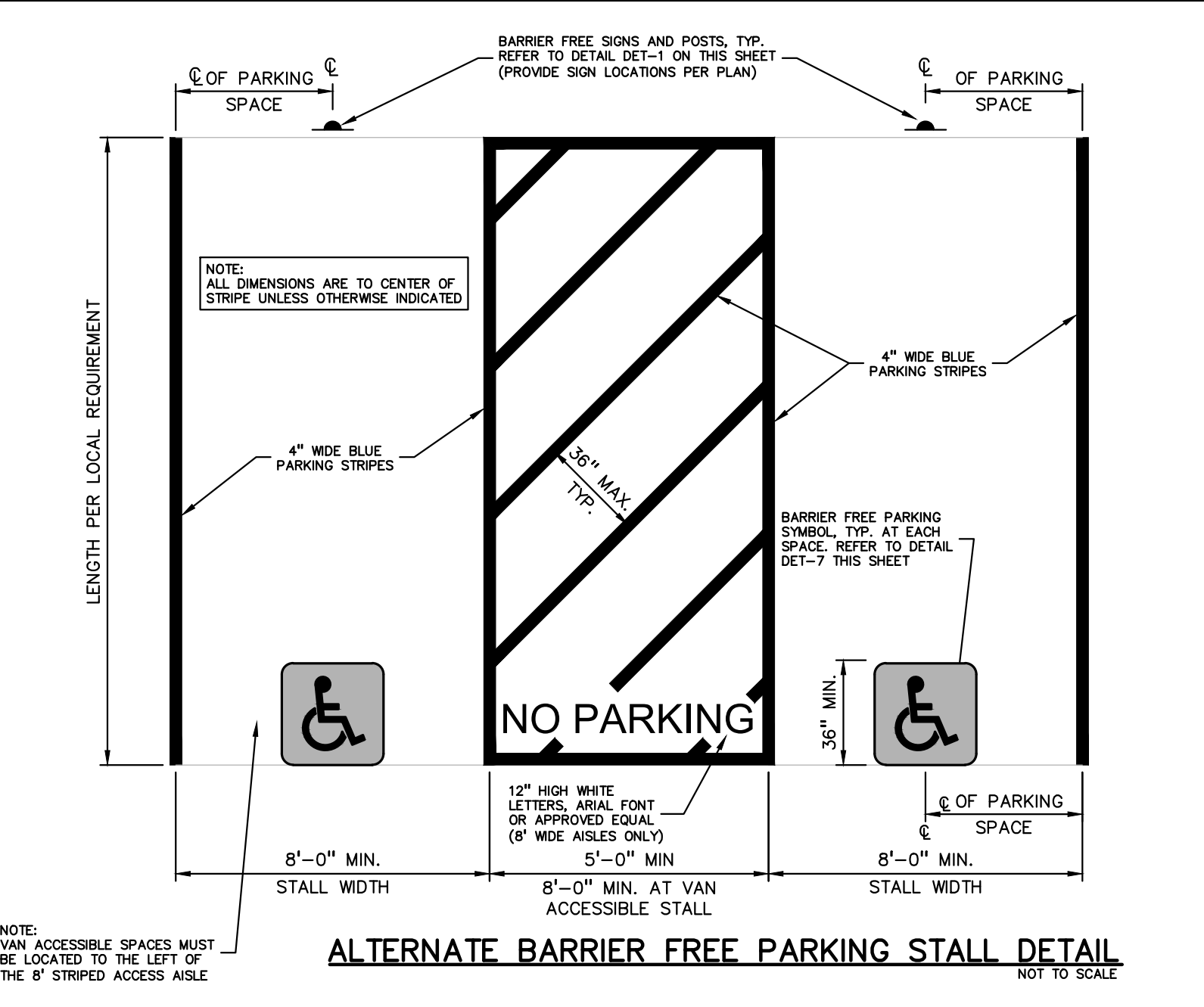
**INTEGRAL CURB AND SIDEWALK**  
NOT TO SCALE



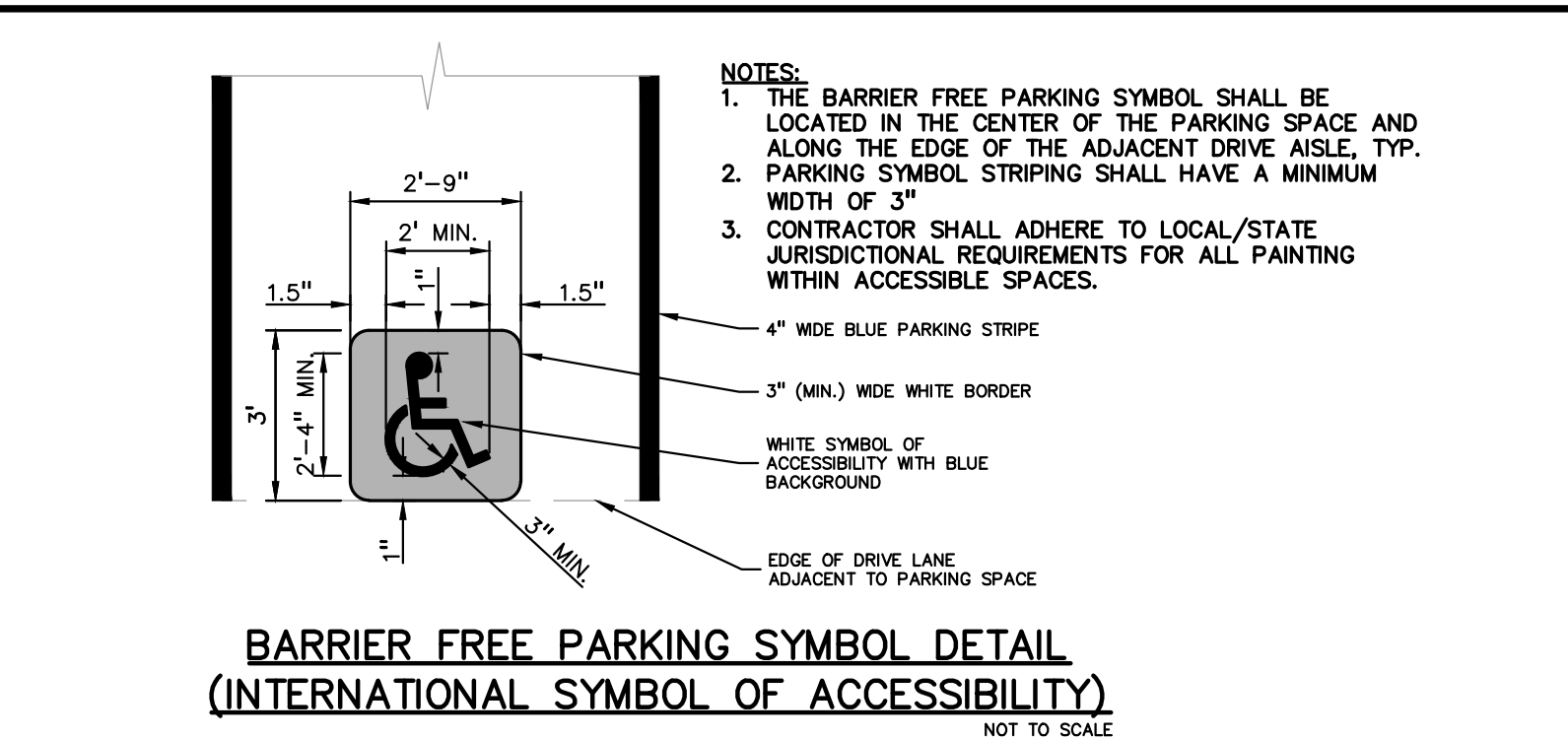
**SIDEWALK RAMP TYPE R (ROLLED SIDES)**



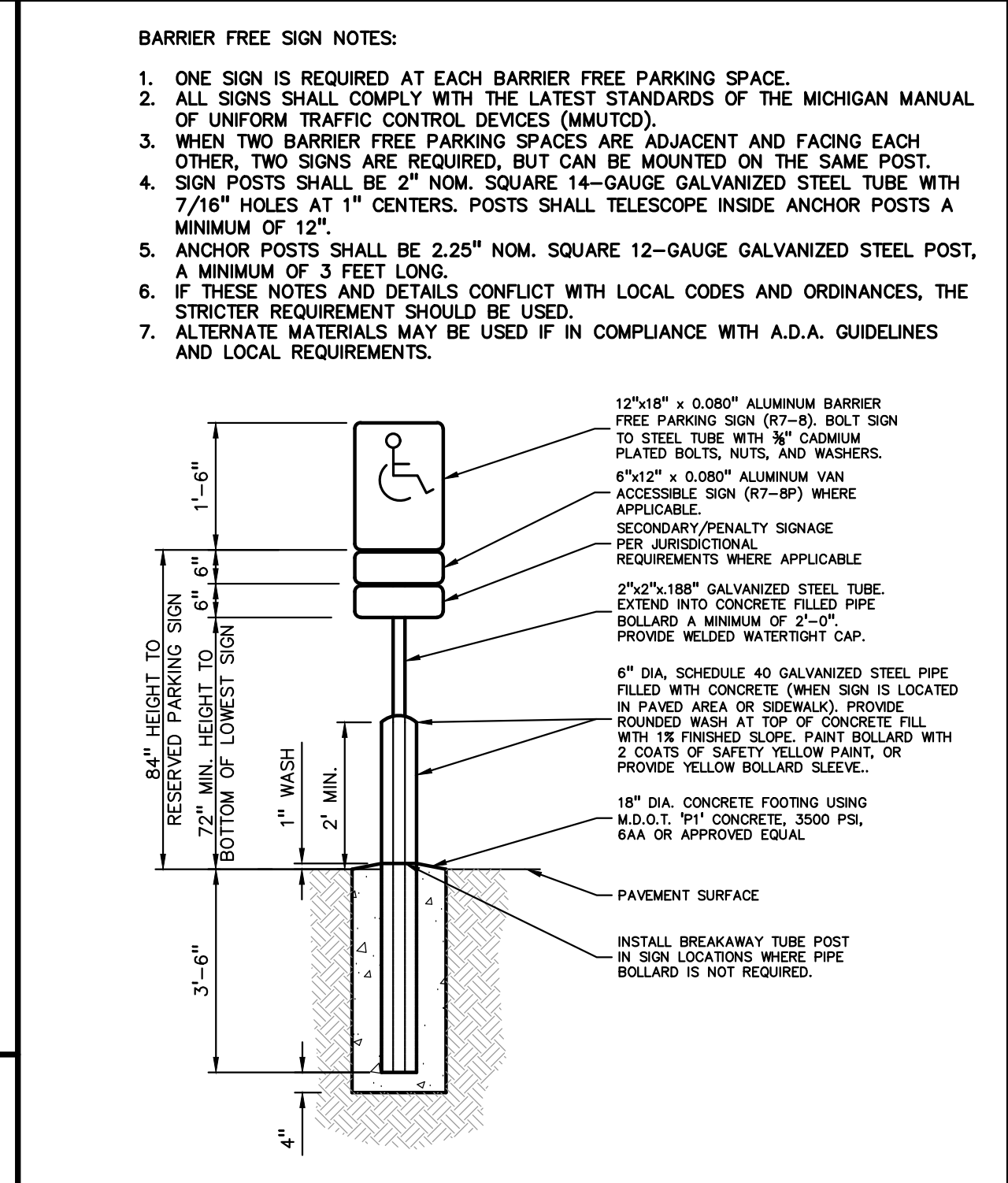
**STRIPED CROSSWALK DETAIL**  
NOT TO SCALE



**ALTERNATE BARRIER FREE PARKING STALL DETAIL**  
NOT TO SCALE



**BARRIER FREE PARKING SYMBOL DETAIL (INTERNATIONAL SYMBOL OF ACCESSIBILITY)**  
NOT TO SCALE



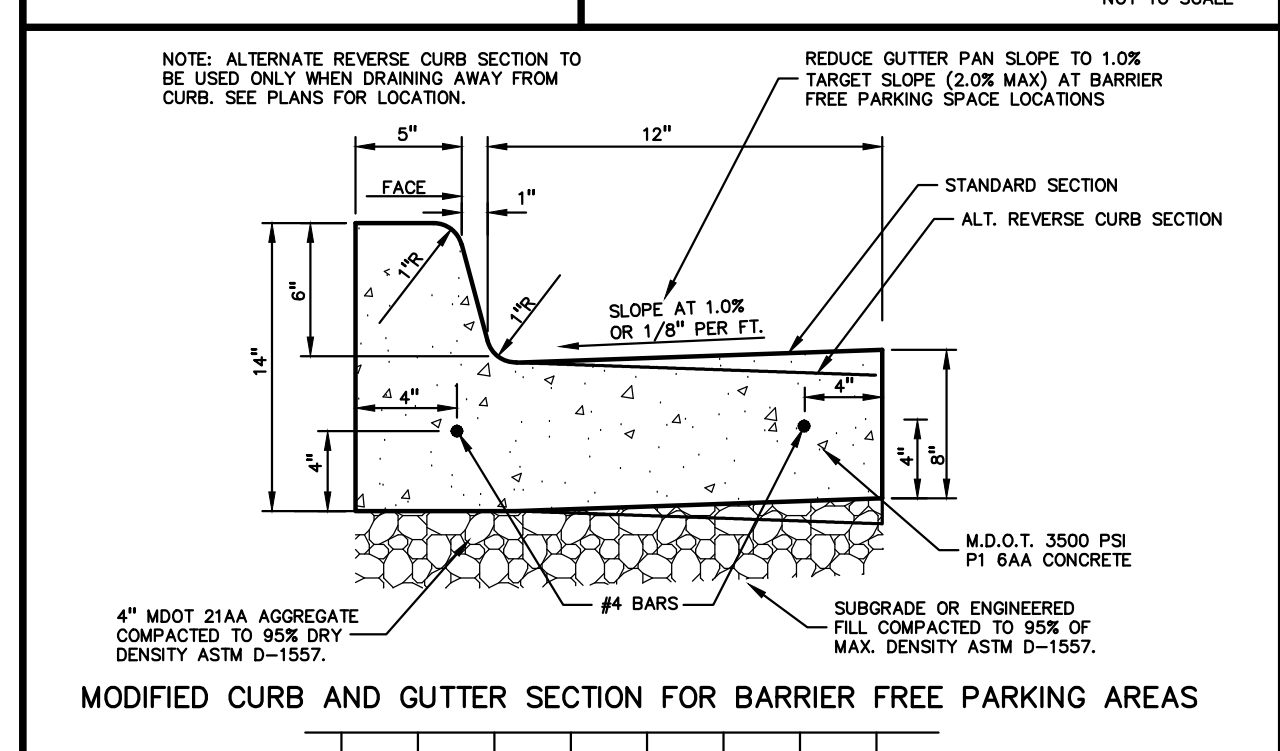
**BARRIER FREE SIGN AND POST DETAIL**  
NOT TO SCALE



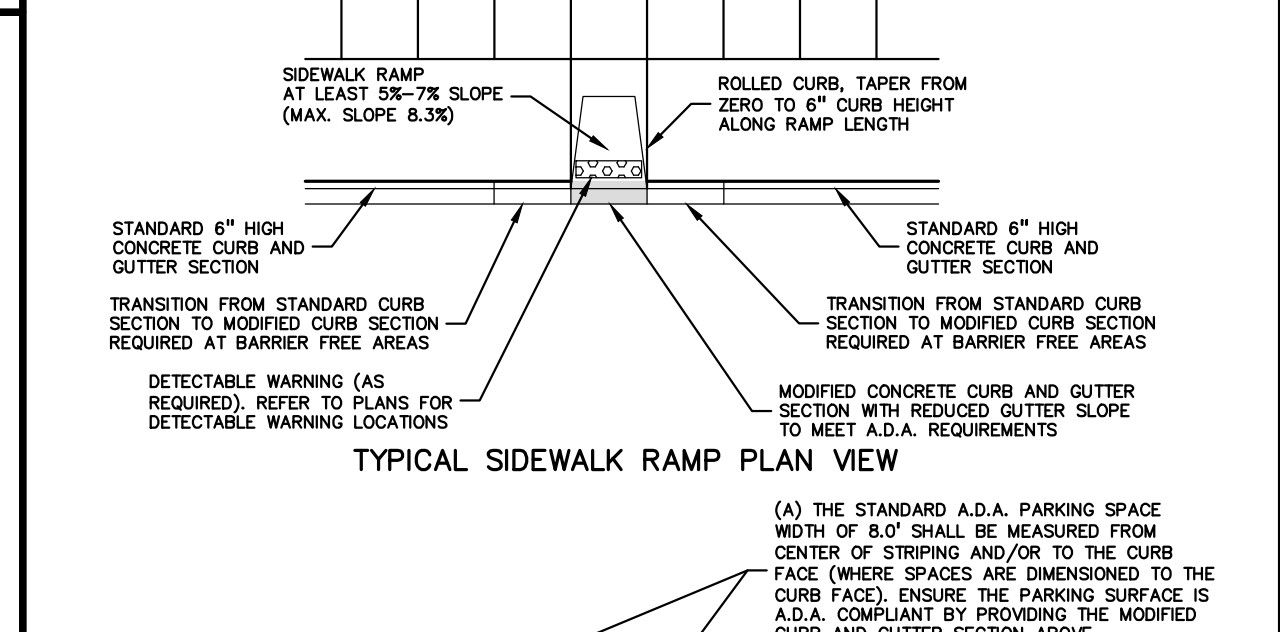
**RESERVED PARKING ONLY SIGN DETAIL**  
NOT TO SCALE



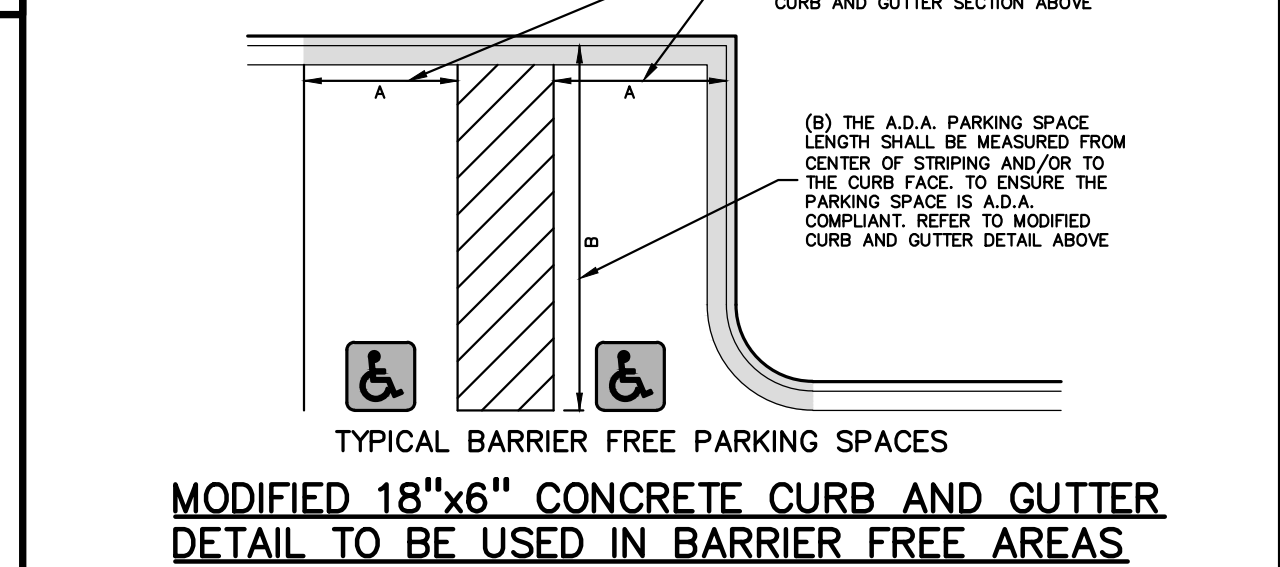
**VAN ACCESSIBLE PARKING ONLY SIGN DETAIL**  
NOT TO SCALE



**MODIFIED CURB AND GUTTER SECTION FOR BARRIER FREE PARKING AREAS**



**TYPICAL SIDEWALK RAMP PLAN VIEW**



**TYPICAL BARRIER FREE PARKING SPACES**  
**MODIFIED 18\"/>**

**NOT FOR CONSTRUCTION**



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2 SW 1/4

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**NOTES AND DETAILS**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB

DRAWING NUMBER:

**C-5.0**



0 30 60 120  
SCALE: 1" = 60'



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS  
SPA COMMENTS 11/8/23  
SPA COMMENTS 3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**OVERALL LANDSCAPE PLAN**

PEA JOB NO. 18-0034

P.M. GMB

DN. BZ

DES. JLE

DRAWING NUMBER:

**L-1.0**

**GENERAL PLANTING NOTES:**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALLETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

**KEY:**

- = BUFFER TREES / EVERGREEN SCREENING BETWEEN USES
- = PARKING LOT TREES
- = GREENBELT / ROW TREES AND INTERNAL ROAD TREES
- = REPLACEMENT TREES
- = ADDITIONAL TREE ADDED PER PLANNING COMMISSION COMMENTS
- = IRRIGATED SEED LAWN
- = NON-IRRIGATED SEED LAWN
- = SHRUBS / PERENNIALS TO BE DETAILED DURING CONSTRUCTION DWGS.
- = EXISTING TREE TO REMAIN
- = TREE PROTECTION FENCING

SEE SHEETS L-1.2, L-1.3 FOR TREE TYPE / QTY.  
R-10 TO NORTH SIDE OF SITE.  
SEE SHEETS T-1.0 - T-1.2 FOR EXISTING TREE INFORMATION

NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.

**LANDSCAPE CALCULATIONS:**

PER CITY OF TROY ZONING ORDINANCE: MF - MULTIFAMILY RESIDENTIAL

5.03 C-1a - GENERAL SITE LANDSCAPE  
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL  
516,625 SF \* 20% = 103,325 SQ FT REQUIRED

PROVIDED: 173,048 SQ FT LANDSCAPE

**13.02 B. SCREENING BETWEEN USES**

REQUIRED: 1 NARROW EVG. TREE / 3 FT OR 1 LARGE EVG. TREE / 10 LF  
NORTH SIDE: 1,255.63 LF / 10 = 125.6 LARGE EVG.  
WEST SIDE: 401.41 LF / 10 = 40.1 LARGE EVG.  
SOUTH SIDE: 959 LF / 10 = 95.9

PROVIDED:  
NORTH SIDE: 120 LARGE EVG. AND 6 EXISTING EVG. TREES  
WEST SIDE: 38 LARGE EVG. AND 12 NARROW EVERGREEN TREES  
SOUTH SIDE: 102 LARGE EVG.

**13.02 C. PARKING LOT LANDSCAPE**

REQUIRED: 13.02 C2 = 1 TREE PER 8 SPACES  
337 PARKING SPACES / 8 = 42.25 TREES REQUIRED  
REQUIRED: 5.03. B-1 = SCREENING HEDGE IF VISIBLE TO PUBLIC ROAD

PROVIDED: 43 TREES  
PROVIDED: LANDSCAPE HEDGE SCREEN WHERE VISIBLE ON JOHN R. RD

**13.02 D2 - GREENBELT / ROW**

REQUIRED: 1 TREE / 30 LF OF FRONTAGE TO PUBLIC RD.

JOHN R. ROAD = 417.64 LF FRONTAGE / 30 = 13.9 TREES

PROVIDED: 3 PROPOSED TREES AND 11 EXISTING TREES TO REMAIN ALONG JOHN R. ROAD

PER CITY OF TROY ZONING ORDINANCE: SOUTH EAST END OF SITE

**INTERNAL PUBLIC ROADS STREET TREES**

REQUIRED: 1 TREE / 30 LF

NANCY BOSTICK DRIVE: 300 LF / 30 LF = 10 TREES

PROVIDED: 3 PROPOSED TREE AND 7 EXISTING TREES

**TREE REPLACEMENT:**

**WOODLAND TREES:**  
WOODLAND TREES REMOVED (115 TREES): REPLACE AT 50% OF REMOVED DBH  
1080" DBH X .5 = 540" REPLACEMENT

WOODLAND TREES SAVED (26 TREES): CREDIT OF 2X DBH  
234" DBH X 2 = 468" CREDIT  
540" - 468" = 72" REPLACEMENT REQUIRED

PROVIDED: 2.5" X 29 TREES = 72.5" REPLACED

**LANDMARK TREES:**

LANDMARK TREES REMOVED (1 TREES): REPLACE AT 100% OF REMOVED DBH

18" DBH X 1 = 18" REPLACEMENT

LANDMARK TREES SAVED (0 TREES): CREDIT OF 2X DBH

0" X 2 = 0" CREDIT  
18" - 0" = 18" REPLACEMENT REQUIRED

PROVIDED: 2.5" X 8 TREES = 20" REPLACED

NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.

**ADDITIONAL TREES/ LANDSCAPE PER PLANNING COMMISSION COMMENTS:**

TREES / LANDSCAPE ADDED:  
AT DOG PARK: 2 TREES  
AT SOUTH PROPERTY LINE: 26 ORNAMENTAL TREES  
AT 4 MAIN BUILDING COURTYARDS: 16 TREES  
AT AMENITY SPACE PATIO AREAS: 10 TREES, SHRUBS TO BE DTL. AT CDS  
AT BOULDER WALL AT DETENTION AREA: 48 SHRUBS AND 27 PERENNIALS  
ADDITIONAL PRELIMINARY AMENITY DETAILS ADDED TO SHEET L-1.3

**WOODLAND TREES**

WOODLAND TREES REMOVED: 115 (REPLACE AT 50% OF REMOVED DBH)

1080" DBH X 0.5 = 540" REPLACEMENT

WOODLAND TREES SAVED: 26 (CREDIT OF 2X DBH)

234 DBH X 2 = 468" CREDIT

72" DBH REQUIRED FOR REPLACEMENT

18" DBH X 1 = 18" REPLACEMENT

LANDMARK TREES REMOVED: 1 (REPLACE AT 100% OF REMOVED DBH)

18" DBH X 1 = 18" REPLACEMENT

LANDMARK TREES SAVED: 0 (CREDIT OF 2X DBH)

0" DBH X 2 = 0" CREDIT

18" DBH REQUIRED FOR REPLACEMENT

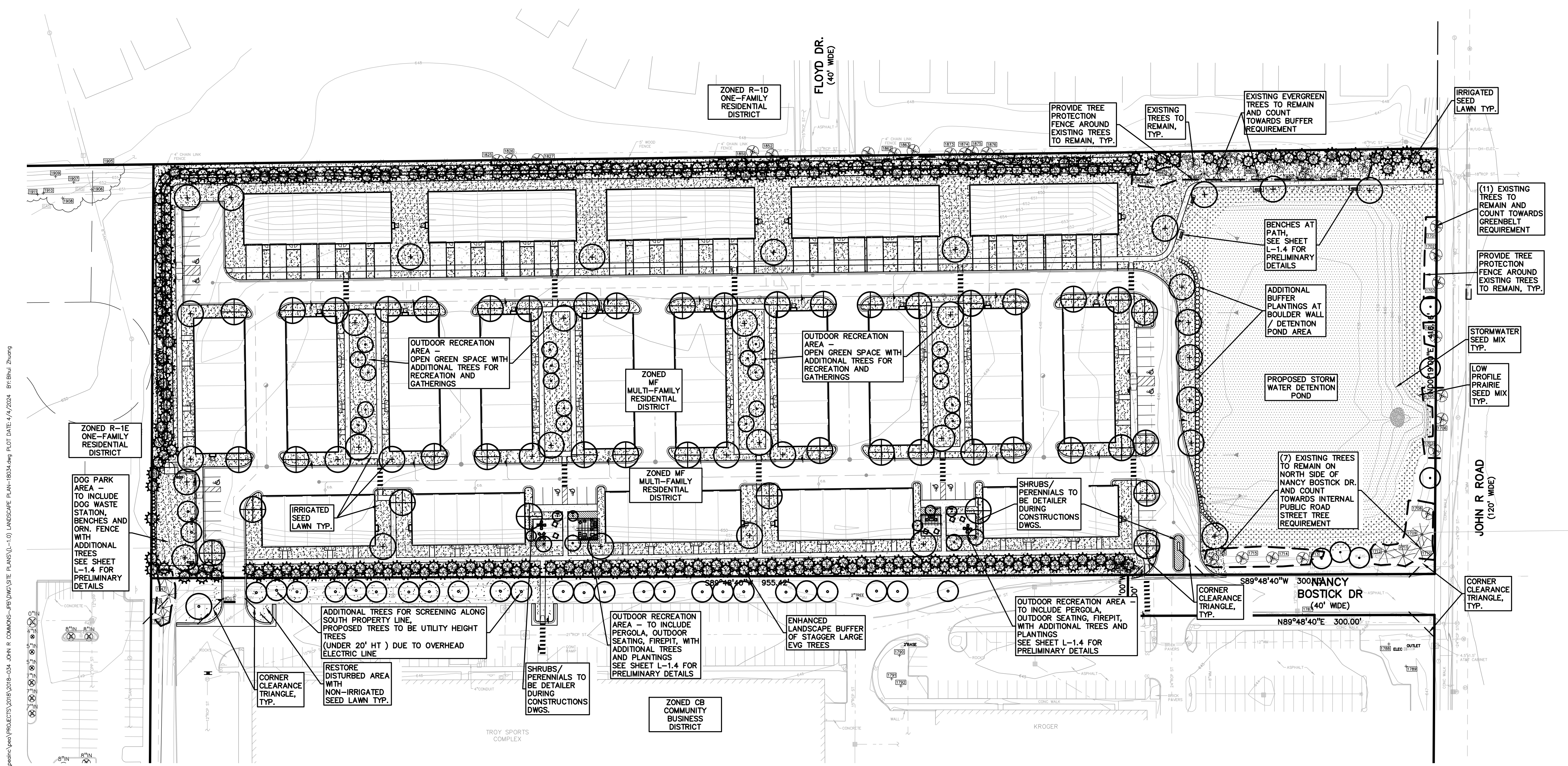
EXEMPT TREES (NO REPLACEMENT REQUIRED FOR EXEMPT TREES)

SAVED EXEMPT TREES: 6 TREES

EXEMPT TREES ON SITE: 6 TREES

TOTAL SAVED TREES 6" AND ABOVE ON SITE: 32 TREES

NOT FOR CONSTRUCTION



\\pea\proj\2018-2019-204 JOHN R COMMONS-PEA\DWG\SITE PLANS\L-1.0 LANDSCAPE PLAN-1804.dwg PLOT DATE: 1/4/2024 BY: Bhu, Bhung

ADDITIONAL PLANTING PLANT LIST

DECIDUOUS TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	AL8	Allegheny Serviceberry	<i>Amelanchier laevis</i>	8' Ht.	B&B
1	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
1	AS2.5	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
7	CC8	Ace of Heart Eastern Redbud	<i>Cercis canadensis 'Ace of Heart'</i>	8' Ht.	B&B
5	H18	Arnold Promise Witch Hazel	<i>Hamamelis x intermedia 'Arnold Promise'</i>	8' Ht.	B&B
1	LS2.5	Slender Silhouette Sweetgum	<i>Liquidambar styraciflua 'Slender Silhouette'</i>	2.5" Cal.	B&B
7	MR2.5	Red Jewel Crabapple	<i>Malus 'Red Jewel'</i>	2.5" Cal.	B&B
2	QS2.5	Streetspire Oak	<i>Quercus alba 'JFS-KW10X' (columnar)</i>	2.5" Cal.	B&B
4	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata</i>	2.5" Cal.	B&B
33	TOTAL DEC.				

SHRUB PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
12	JH6	Hetz Columnar Juniper	<i>Juniperus chinensis 'Hetzii Columnaris'</i>	6'	B&B
12	TOTAL SHRUBS				

DECIDUOUS TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
2	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
2	AS2.5	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
8	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	2.5" Cal.	B&B
4	PA2.5	Encore London Planetree	<i>Platanus x acerifolia 'Encore'</i>	2.5" Cal.	B&B
4	QR2.5	Red Oak	<i>Quercus rubra</i>	2.5" Cal.	B&B
8	TC2.5	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2.5" Cal.	B&B
8	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
36	TOTAL DEC.				

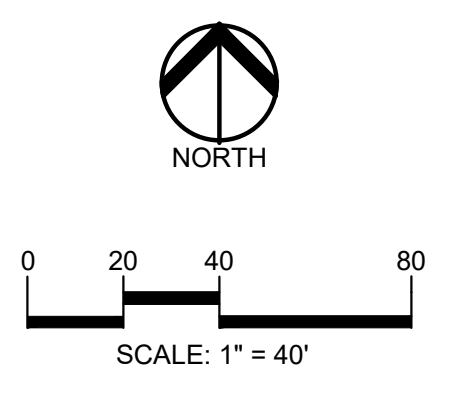
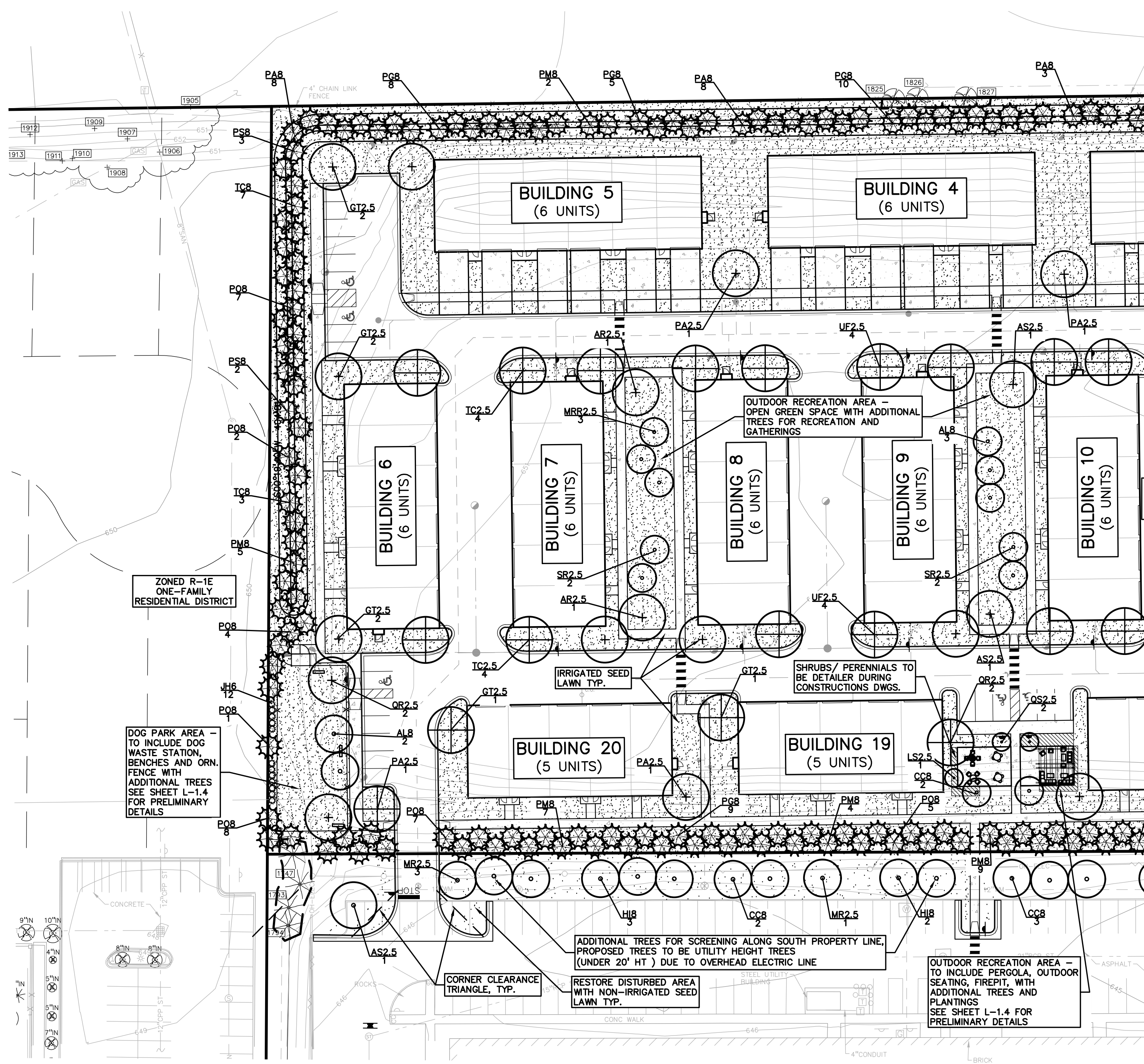
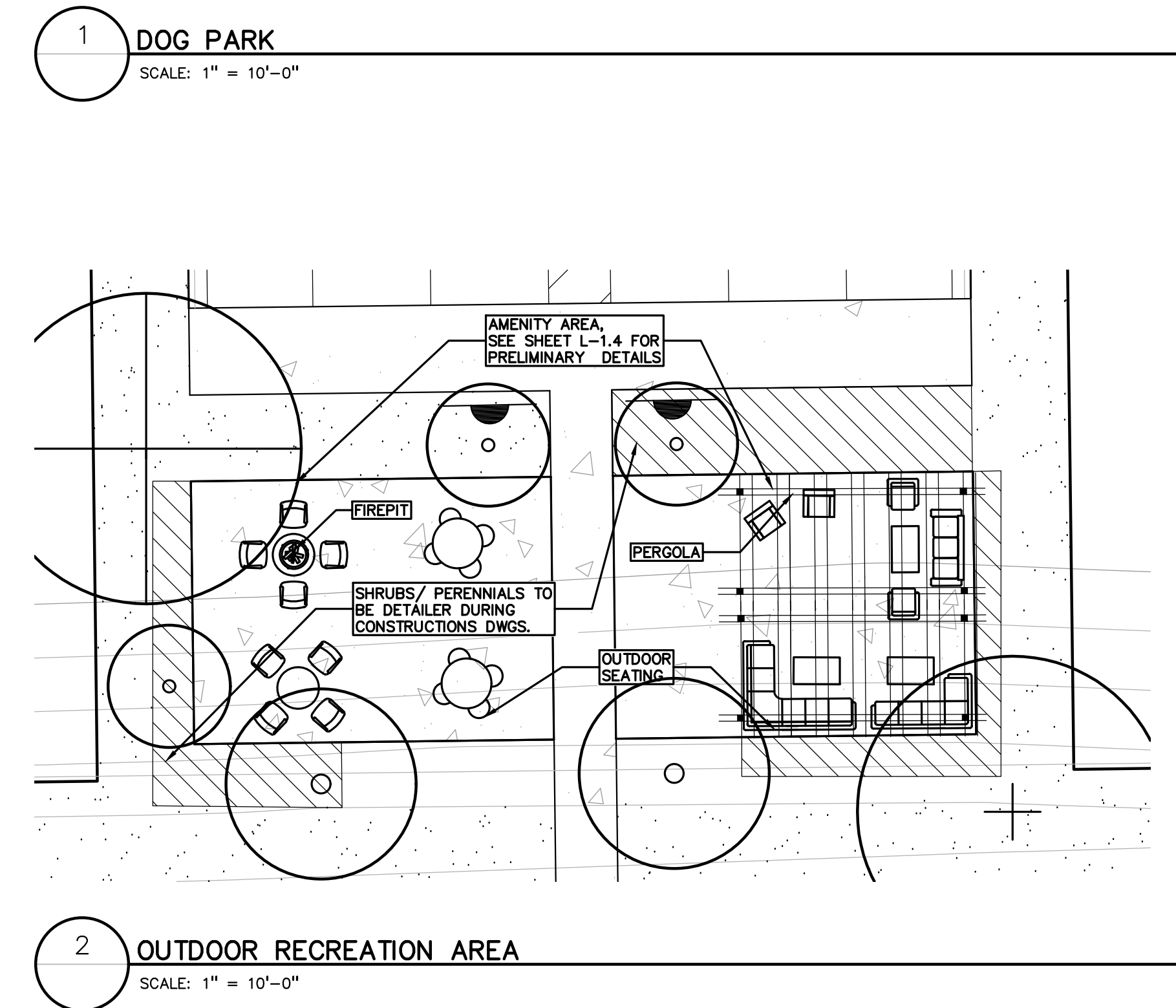
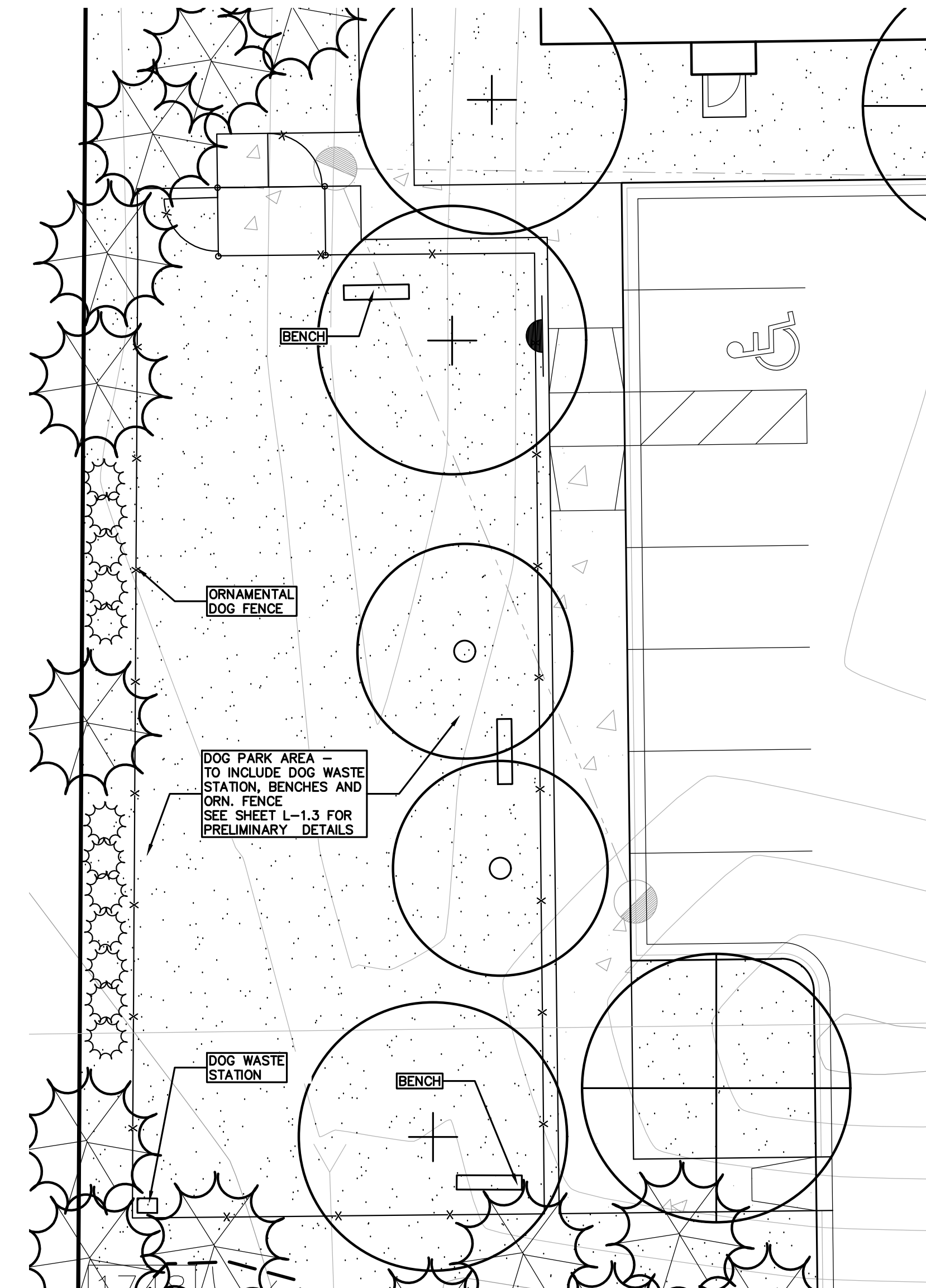
  

EVERGREEN TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
19	PA8	Norway Spruce	<i>Picea abies</i>	8' Ht.	B&B
32	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8' Ht.	B&B
34	PO8	Serbian Spruce	<i>Picea omorika</i>	8' Ht.	B&B
27	PM8	Douglas Fir	<i>Pseudotsuga menziesii</i>	8' Ht.	B&B
5	PS8	Eastern White pine	<i>Pinus strobus</i>	8' Ht.	B&B
10	TC8	Canadian Hemlock	<i>Tsuga canadensis</i>	8' Ht.	B&B
127	TOTAL EVG.				

**KEY:**

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- = IRRIGATED SEED LAWN
- = NON-IRRIGATED SEED LAWN
- = SHRUBS / PERENNIALS TO BE DETAILED DURING CONSTRUCTION DWGS.
- = EXISTING TREE TO REMAIN
- = TREE PROTECTION FENCING

SEE SHEETS L-1.2, L-1.3 FOR TREE TYPE / QTY;  
L-1.3 FOR LANDSCAPE DETAILS, SHEET L-1.4 FOR PRELIMINARY AMENITY DETAILS  
SEE SHEETS T-1.0 - T-1.2 FOR EXISTING TREE INFORMATION  
NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.



**CAUTION!**  
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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN - WEST**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	BZ
DES.	JLE
DRAWING NUMBER:	

\\work\pea\projects\2018\2018-034 JOHN R COMMONS TOWNHOME DEVELOPMENT\LANDSCAPE PLAN\18-0034 PRELIMINARY LANDSCAPE PLAN - WEST.dwg PLOT DATE: 11/14/2024 BY: Bnuj Shuang

ADDITIONAL PLANTING PLANT LIST

DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	AL8	Allegheny Serviceberry	<i>Amelanchier laevis</i>	8' Ht.	B&B
1	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
5	CC8	Ace of Heart Eastern Redbud	<i>Cercis canadensis 'Ace of Heart'</i>	8' Ht.	B&B
3	HI8	Arnold Promise Witch Hazel	<i>Hamamelis x intermedia 'Arnold Promise'</i>	8' Ht.	B&B
7	MR2.5	Red Jewel Crabapple	<i>Malus 'Red Jewel'</i>	2.5" Cal.	B&B
2	QS2.5	Streetspire Oak	<i>Quercus alba 'JFS-KW1QX' (columnar)</i>	2.5" Cal.	B&B
4	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata</i>	2.5" Cal.	B&B
25	TOTAL SHRUBS				

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
24	CS30	Bergeson Compact Dogwood	<i>Cornus sericea 'Bergeson'</i>	30" Ht.	Cont.
24	DV30	Kodiak Orange Diervilla	<i>Diervilla X 'Kodiak Orange'</i>	30" Ht.	Cont.
48	TOTAL SHRUBS				

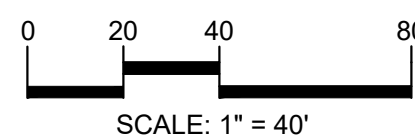
PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
17	PV	Heavy Metal Switch Grass	<i>Panicum virgatum 'Heavy Metal'</i>	1 Gal.	Cont.
17	TOTAL PERENNIALS				

KEY:

	= BUFFER TREES / EVERGREEN SCREENING BETWEEN USES		= LOW PROFILE PRAIRIE SEED MIX SEE SHEET L-1.1 FOR DETAILS STAKED EROSION MAT ON SLOPES TYP.
	= PARKING LOT TREES		= STORMWATER SEED MIX SEE SHEET L-1.1 FOR DETAILS STAKED EROSION MAT ON SLOPES TYP.
	= GREENBELT / ROW TREES AND INTERNAL ROAD TREES		= IRRIGATED SEED LAWN
	= REPLACEMENT TREES		= NON-IRRIGATED SEED LAWN
	= ADDITIONAL TREE ADDED PER PLANNING COMMISSION COMMENTS		= SHRUBS / PERENNIALS TO BE DETAILED DURING CONSTRUCTION DWGS.
	= EXISTING TREE TO REMAIN		
	= TREE PROTECTION FENCING		

SEE SHEETS L-1.2, L-1.3 FOR TREE TYPE / QTY.  
L-1.3 FOR LANDSCAPE DETAILS, SHEET L-1.4 FOR PRELIMINARY AMENITY DETAILS  
SEE SHEETS T-1.0 - T-1.2 FOR EXISTING TREE INFORMATION  
NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.



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DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
2	AS2.5	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
7	GB2.5	Magyar Ginkgo	<i>Ginkgo biloba 'Magyar'</i>	2.5" Cal.	B&B
5	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	2.5" Cal.	B&B
3	PA2.5	Encore London Planetree	<i>Platanus x acerifolia 'Encore'</i>	2.5" Cal.	B&B
8	QR2.5	Red Oak	<i>Quercus rubra</i>	2.5" Cal.	B&B
8	TC2.5	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2.5" Cal.	B&B
11	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
50	TOTAL DEC.				

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
44	AC8	Concolor Fir	<i>Abies concolor</i>	8' Ht.	B&B
28	PA8	Norway Spruce	<i>Picea abies</i>	8' Ht.	B&B
8	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8' Ht.	B&B
15	PO8	Serbian Spruce	<i>Picea omarika</i>	8' Ht.	B&B
23	PM8	Douglas Fir	<i>Pseudotsuga menziesii</i>	8' Ht.	B&B
13	PS8	Eastern White pine	<i>Pinus strobus</i>	8' Ht.	B&B
131	TOTAL EVG.				

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
24	TO6	Techny Arborvitae	<i>Thuja occidentalis 'Techny'</i>	6'	B&B
24	TOTAL SHRUBS				

CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

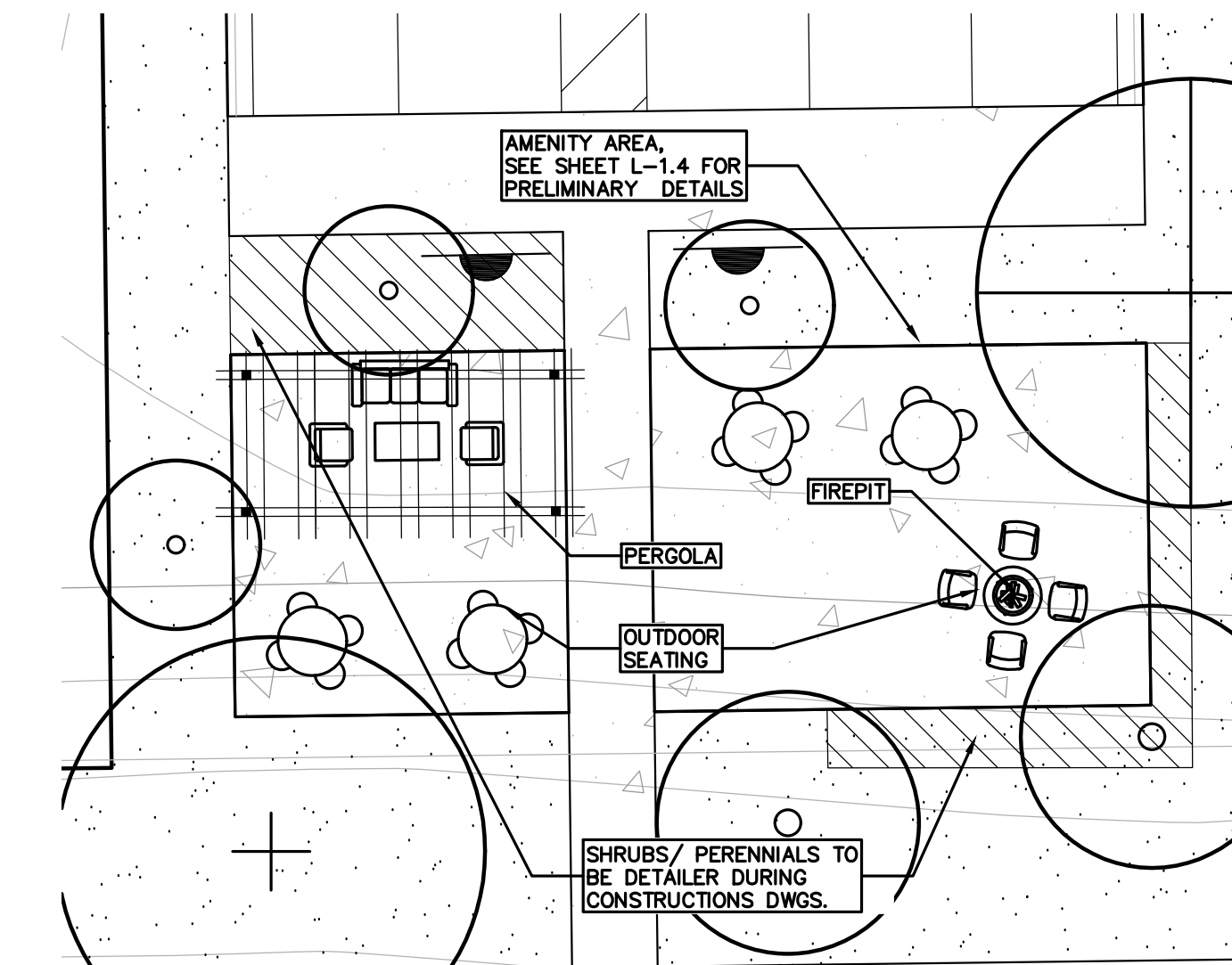
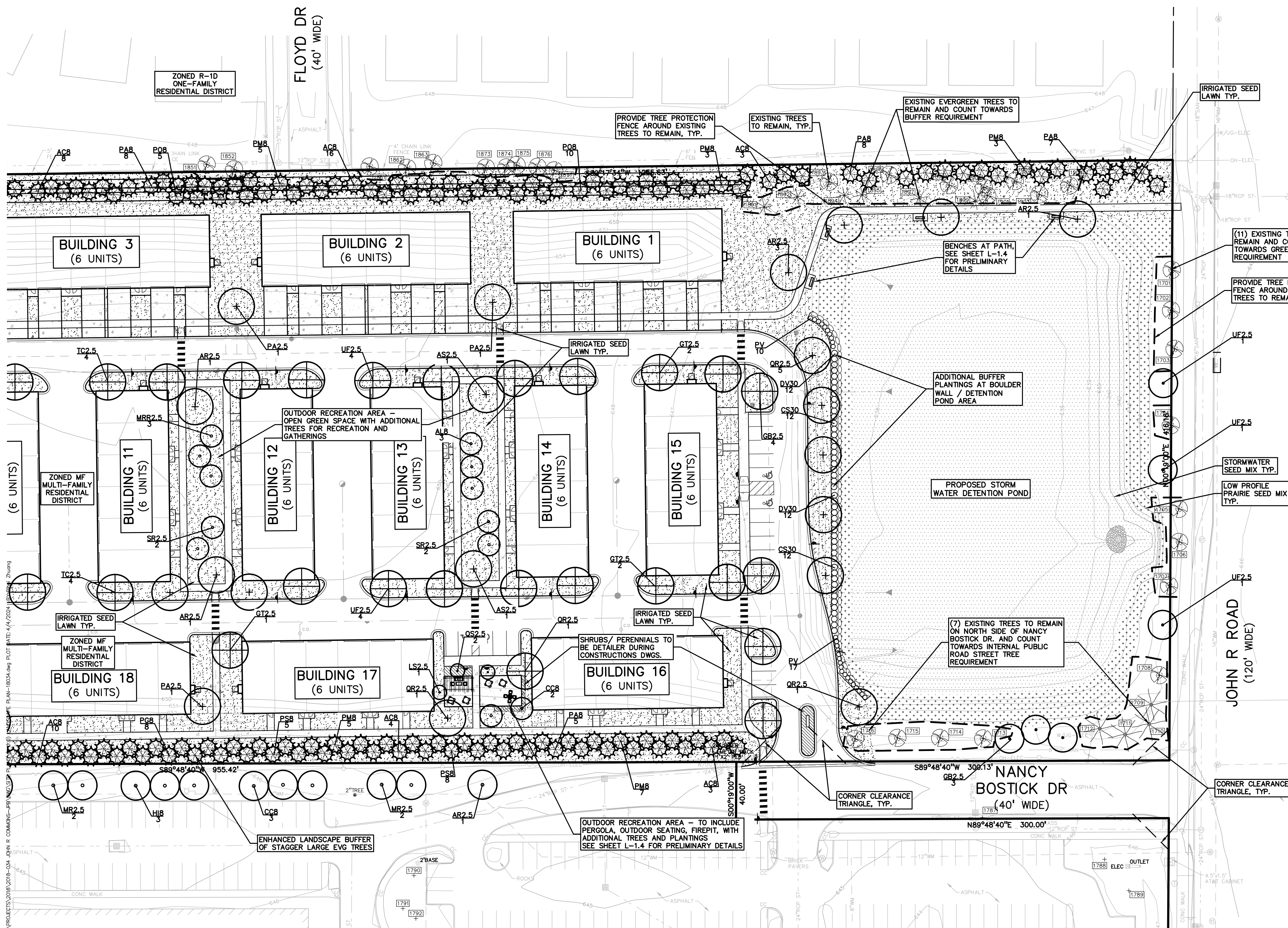
PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	DATE
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN - EAST**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	BZZ
DES.	JLE
DRAWING NUMBER:	



1 OUTDOOR RECREATION AREA  
SCALE: 1" = 10'-0"



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CLIENT  
**TROY SPORTS CENTER, LLC**  
1619 EAST BIG BEAVER ROAD  
TROY, MI 48063

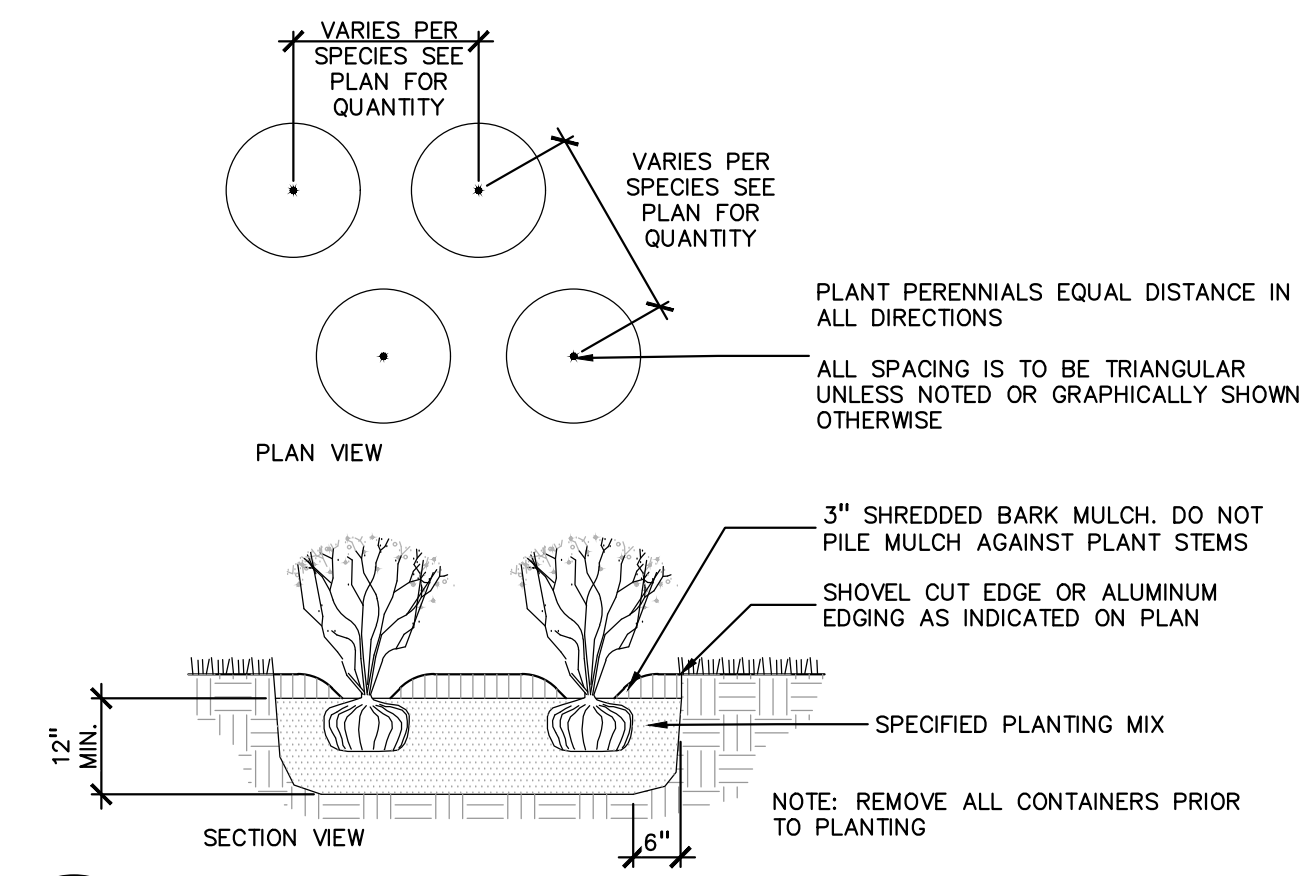
PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 1E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24

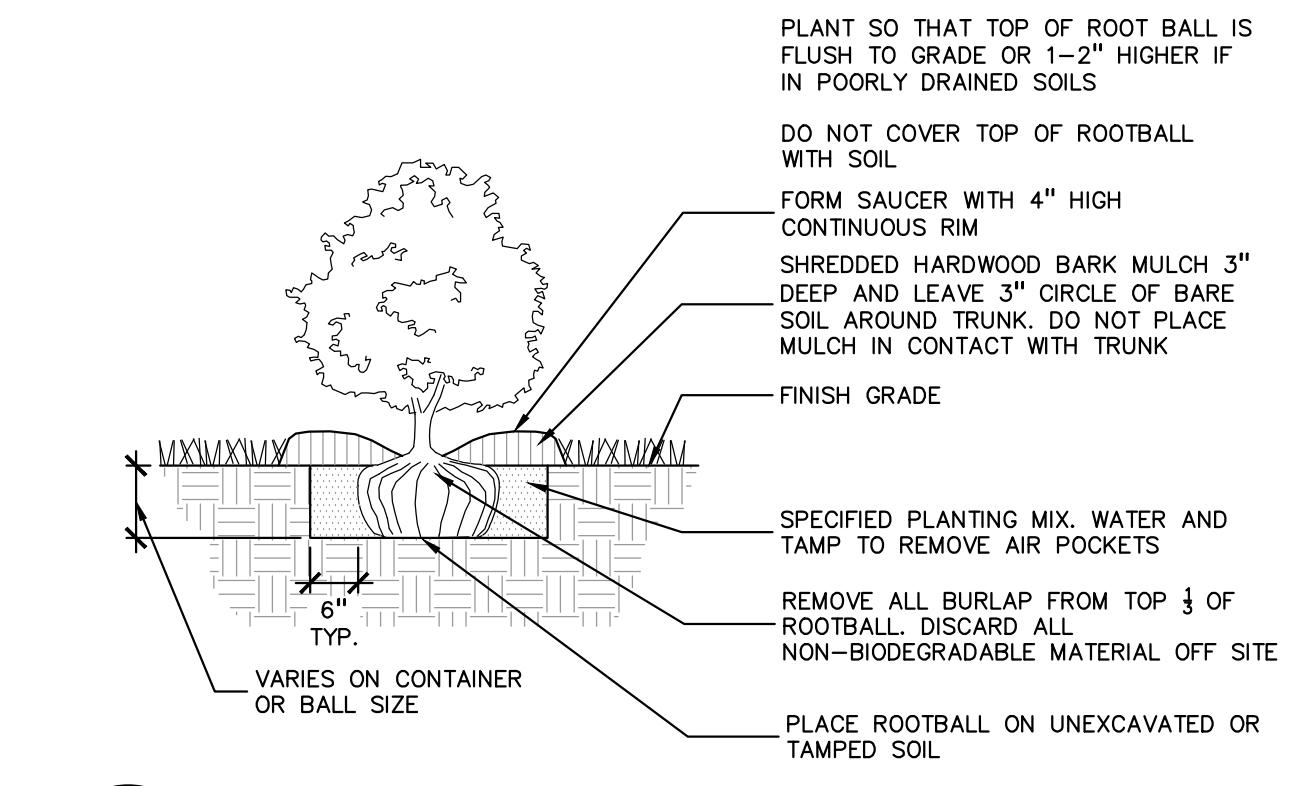
ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**LANDSCAPE DETAILS**

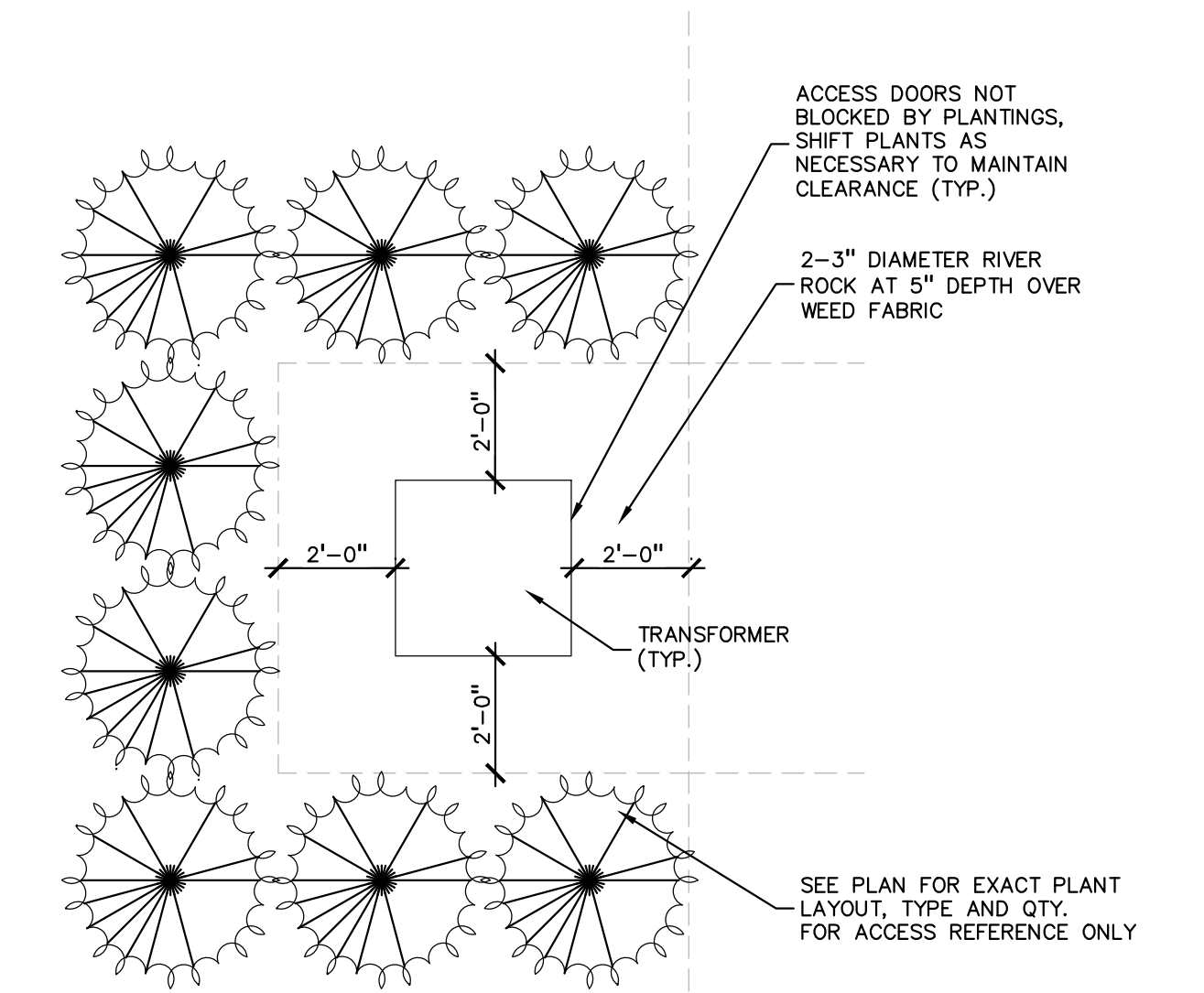
PEA JOB NO.	18-0034
P.M.	GMB
DN.	BGG
DES.	JLE
DRAWING NUMBER:	



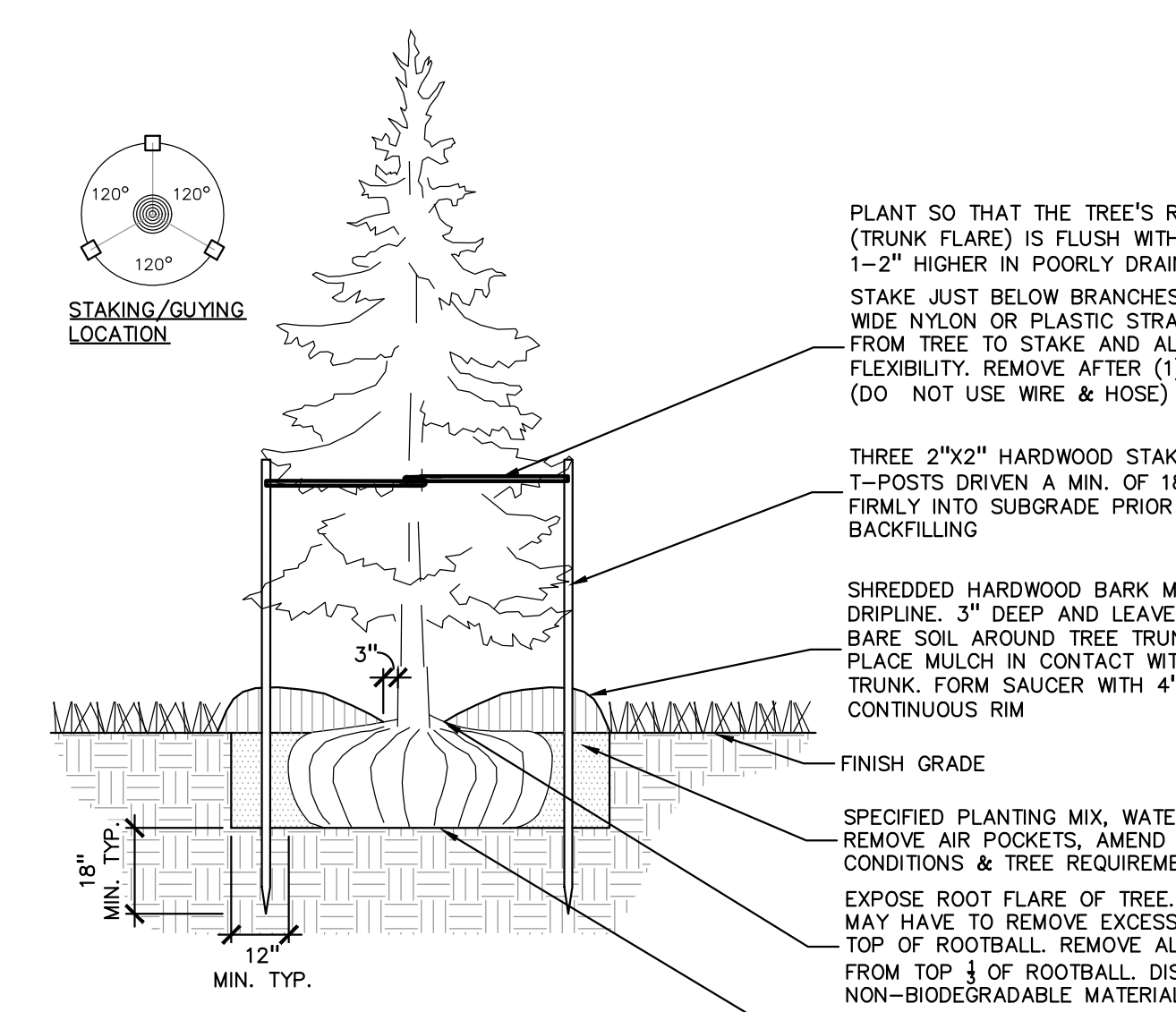
**6 PERENNIAL PLANTING DETAIL**  
SCALE: 1" = 2'-0"



**3 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"



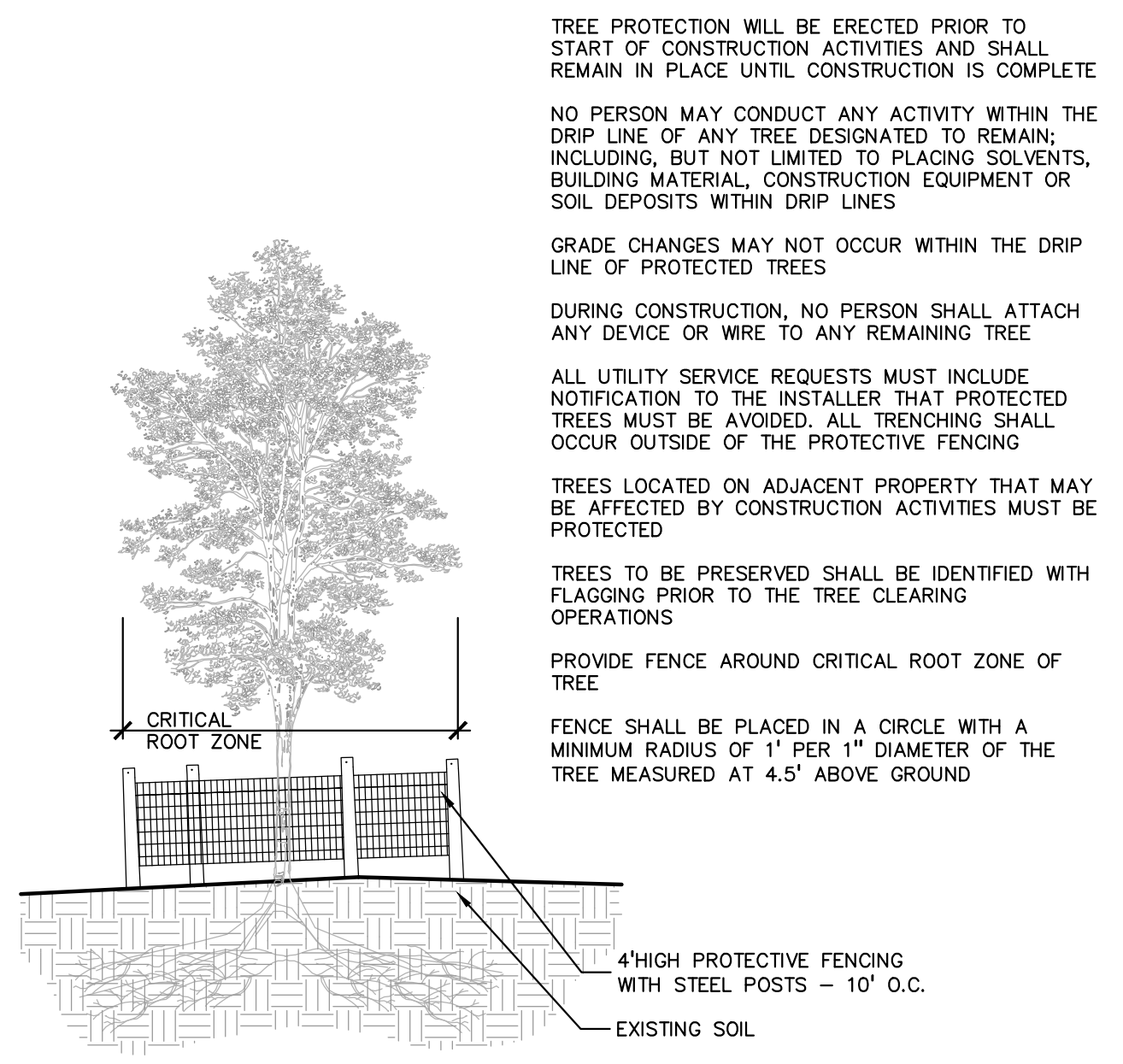
**5 TRANSFORMER SCREENING DETAIL**  
SCALE: 1" = 3'-0"



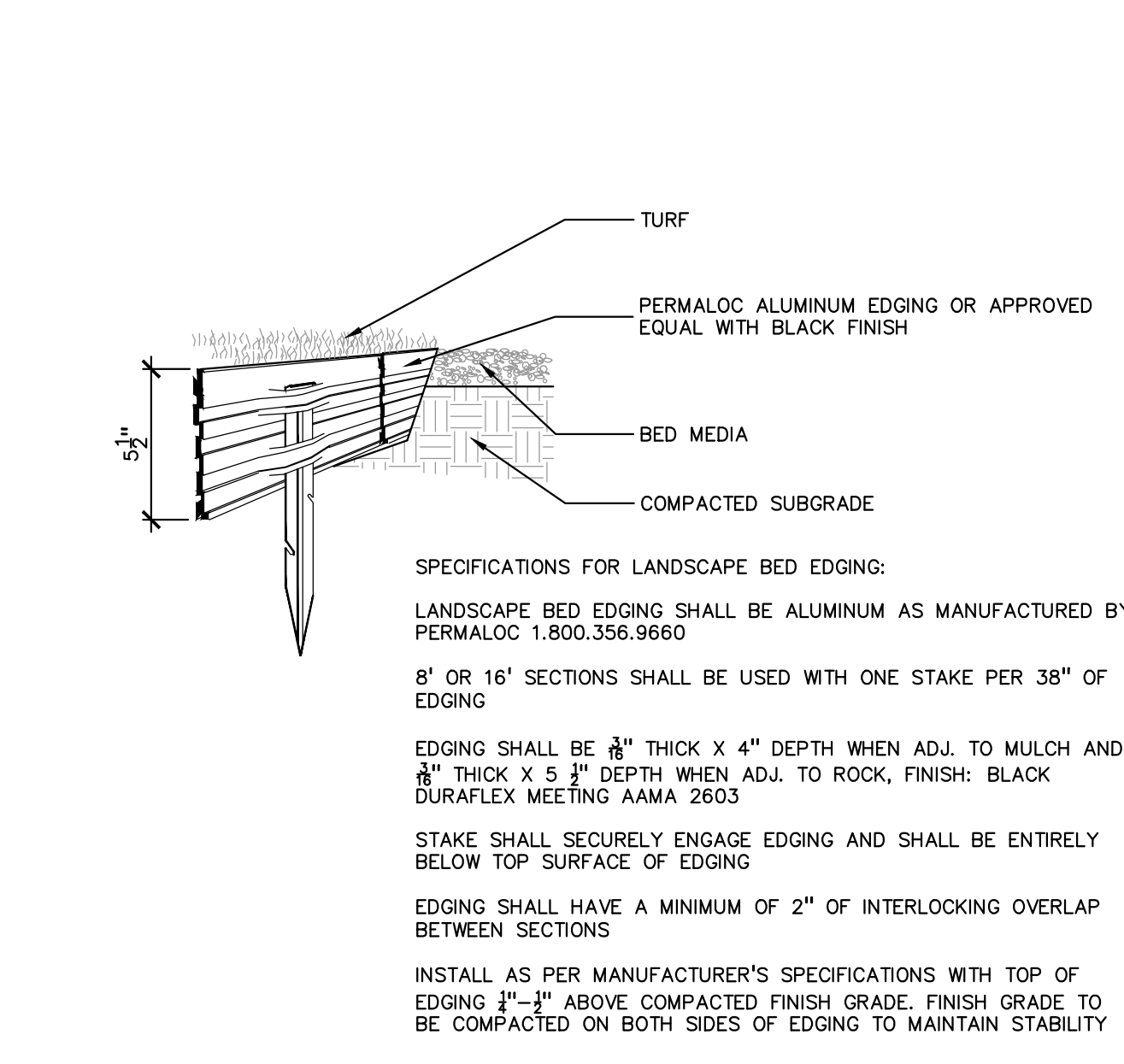
**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. INSTALL AND PREP PER MANUFACTURER'S SPECIFICATIONS. NO INVASIVE SPECIES PERMITTED, USE ONLY SPECIES NATIVE TO COUNTY.

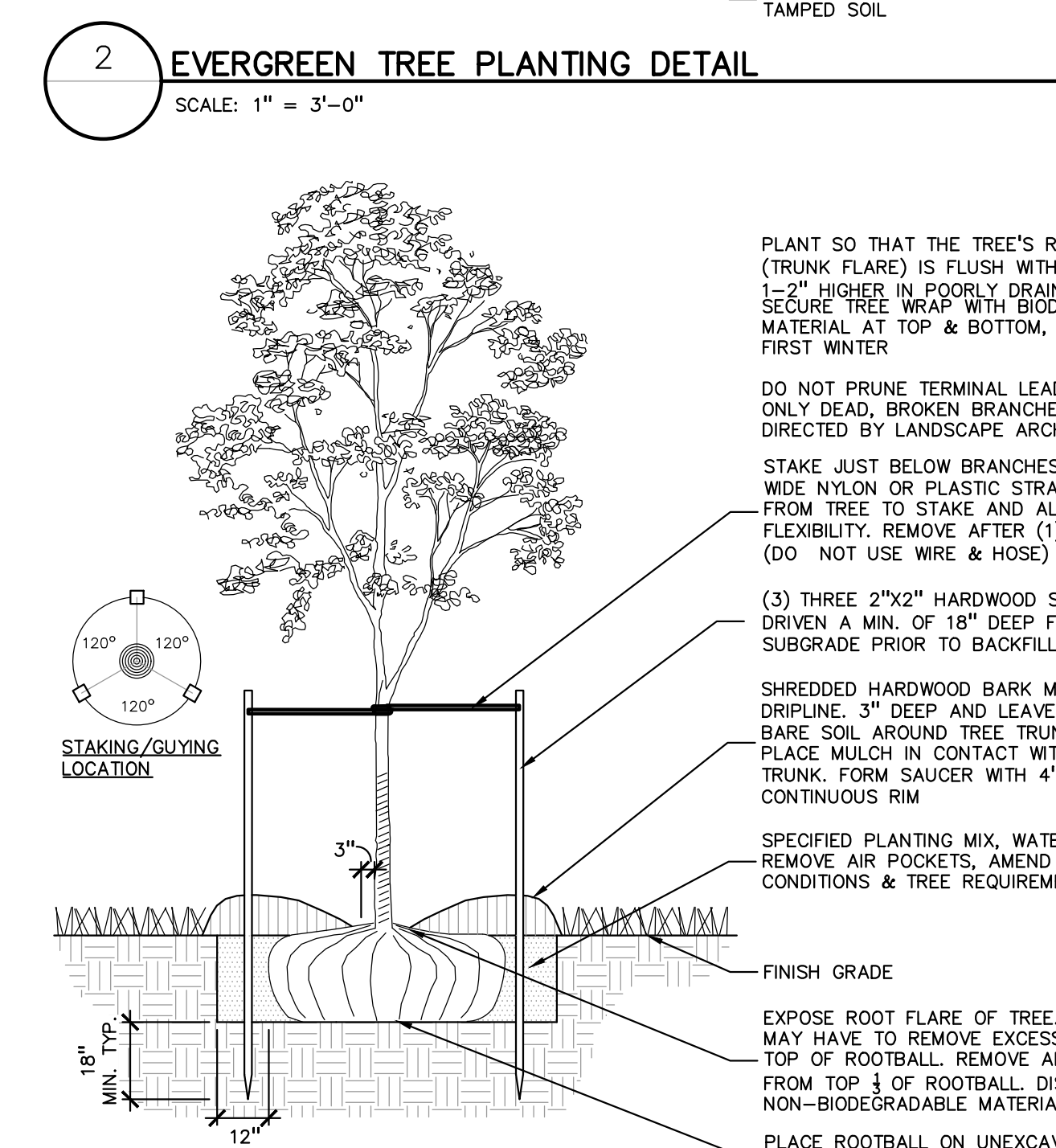
Botanical Name	Common Name
<b>Low-profile Prairie Seed Mix</b>	
Stantec Native Plant Nursery 574-586-2412 stantec.com/native-plant-nursery	
<b>Permanent Grasses:</b>	
<i>Bouteloua curtipendula</i>	Side Oats Grama
<i>Carex spp.</i>	Prairie Carex Mix
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Koeleria pyramidata</i>	June Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Schizachyrium scoparium</i>	Little Bluestem
<b>Temporary Cover:</b>	
<i>Avena sativa</i>	Common Oat
<i>Lolium multiflorum</i>	Annual Rye
<b>Forbs:</b>	
<i>Amorpha canescens</i>	Lead Plant
<i>Anemone cylindrica</i>	Thimbleweed
<i>Asclepias syriaca</i>	Common Milkweed
<i>Asclepias tuberosa</i>	Butterfly Milkweed
<i>Baptisia alba</i>	White Wild Indigo
<i>Chamaecrista fasciculata</i>	Partridge Pea
<i>Coreopsis lanceolata</i>	Sand Coreopsis
<i>Coreopsis palmata</i>	Prairie Coreopsis
<i>Dalea candida</i>	White Prairie Clover
<i>Dalea purpurea</i>	Purple Prairie Clover
<i>Desmanthus illinoensis</i>	Illinois Sensitive Plant
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower
<i>Eryngium yuccifolium</i>	Rattlesnake Master
<i>Lespedeza capitata</i>	Round-Head Bush Clover
<i>Liatris aspera</i>	Rough Blazing Star
<i>Lupinus perennis</i>	Wild Lupine
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Oligoneuron rigidum</i>	Stiff Goldenrod
<i>Parthenium integrifolium</i>	Wild Quinine
<i>Penstemon digitalis</i>	Foxglove Beard Tongue
<i>Penstemon hirsutus</i>	Hairy Beard Tongue
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Ratibida pinnata</i>	Yellow Coneflower
<i>Rudbeckia hirta</i>	Black-Eyed Susan
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan
<i>Silphium terebinthinaceum</i>	Prairie Dock
<i>Solidago speciosa</i>	Showy Goldenrod
<i>Symphoricarpon encicoides</i>	Heath Aster
<i>Symphoricarpon laeve</i>	Smooth Blue Aster
<i>Symphoricarpon novae-angliae</i>	New England Aster
<i>Tradescantia ohnensis</i>	Common Spiderwort
<i>Verbena stricta</i>	Hoary Vervain
<i>Vernonia spp.</i>	Ironweed (Various Mix)
<i>Veronicastrum virginicum</i>	Culvers Root
<b>Temporary Cover:</b>	
<i>Avena sativa</i>	Common Oat
<i>Lolium multiflorum</i>	Annual Rye
<b>Forbs &amp; Shrubs:</b>	
<i>Alisma spp.</i>	Water Plantain (Various Mix)
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Bidens (Various Mix)</i>	Bidens (Various Mix)
<i>Helenium autumnale</i>	Sneezeweed
<i>Iris virginica</i>	Blue Flag
<i>Lycopus americanus</i>	Common Water Horehound
<i>Mimulus ringens</i>	Monkey Flower
<i>Oligoneuron rigidum</i>	Riddell's Goldenrod
<i>Pentstemon sedoides</i>	Ditch Stonecrop
<i>Polygonum spp.</i>	Pinkweed (Various Mix)
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan
<i>Rudbeckia triloba</i>	Brown-Eyed Susan
<i>Sagittaria latifolia</i>	Common Arrowhead
<i>Senna hebecarpa</i>	Wild Senna
<i>Symphoricarpon novae-angliae</i>	New England Aster
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue



**7 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"



**4 ALUMINUM EDGE DETAIL**  
SCALE: 1/2" = 1'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

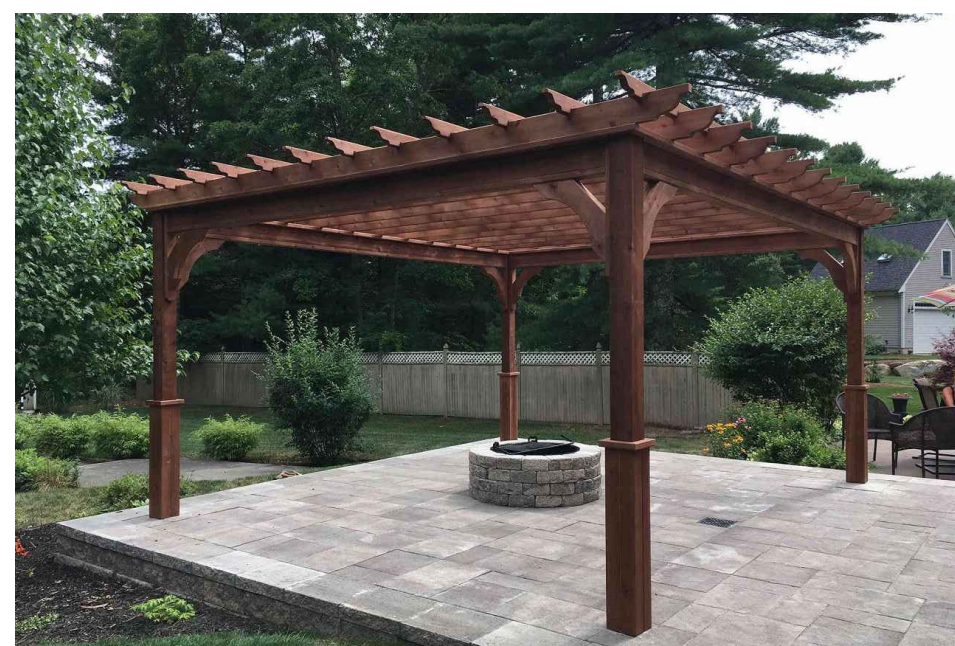
\\pea\pea\PROJECTS\2018-2024\JOHN R. COMMONS TOWNHOME DEVELOPMENT\LANDSCAPE\DETAILS\LANDSCAPE\LOT D1\1619-2024\_01.dwg, 8/1/2024, BY: JANE L. EVANS



PERGOLA: 14X16 MODERN FIBERGLASS PERGOLA WITH CUSTOM OVERHANG  
BY: PERGOLA KITS USA  
PHONE: 800-403-9259  
COLOR: FRAME IN SHERWIN WILLIAMS PEPPERCORN COLOR, LOUVERED RAFTERS IN SHERWIN WILLIAMS BRANDY WIND COLOR. OWNER TO SELECT/APPROVE COLOR  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER



PERGOLA: PREMIUM VINYL PAVILION, TRADITIONAL ROOF  
BY: PERGOLA KITS USA  
PHONE: 800-403-9259  
COLOR: OWNER TO SELECT/APPROVE COLOR  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER



PERGOLA: SERENITY CEDAR PERGOLA KIT  
BY: PERGOLA KITS USA  
PHONE: 800-403-9259  
COLOR: MAPLE, RUSTIC CEDAR, CEDAR, MAHOGANY, CINDER, WALNUT. OWNER TO SELECT/APPROVE COLOR  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER

**8** PERGOLA IMAGE DETAIL OPTIONS  
NOT TO SCALE



TABLE: COLUMN TABLE  
BY: FORMS+SURFACES  
PHONE: 412-781-9003  
COLOR: OWNER TO SELECT/APPROVE COLOR  
FINISH: SANDSTONE, DIAMOND, SATIN. OWNER TO SELECT/APPROVE FINISH  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER



TABLE: CAROUSEL WITH 3 OR 4 SEATS. SEATS ARE AVAILABLE BACKLESS, BACKED OR HOOP  
BY: LANDSCAPE FORMS  
PHONE: 800-430-6209  
COLOR: OWNER TO SELECT/APPROVE COLOR  
TABLE TOP: OWNER TO SELECT/APPROVE TABLE TOP MATERIAL  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER

**6** TABLE SET IMAGE DETAIL OPTIONS  
NOT TO SCALE



LITTER CONTAINER: TONYO  
BY: FORMS+SURFACES  
PHONE: 412-781-9003  
COLOR: OWNER TO SELECT/APPROVE COLOR  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER



LITTER CONTAINER: DISPATCH  
BY: FORMS+SURFACES  
PHONE: 412-781-9003  
COLOR: OWNER TO SELECT/APPROVE COLOR  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER

**3** LITTER IMAGE DETAIL OPTIONS  
NOT TO SCALE

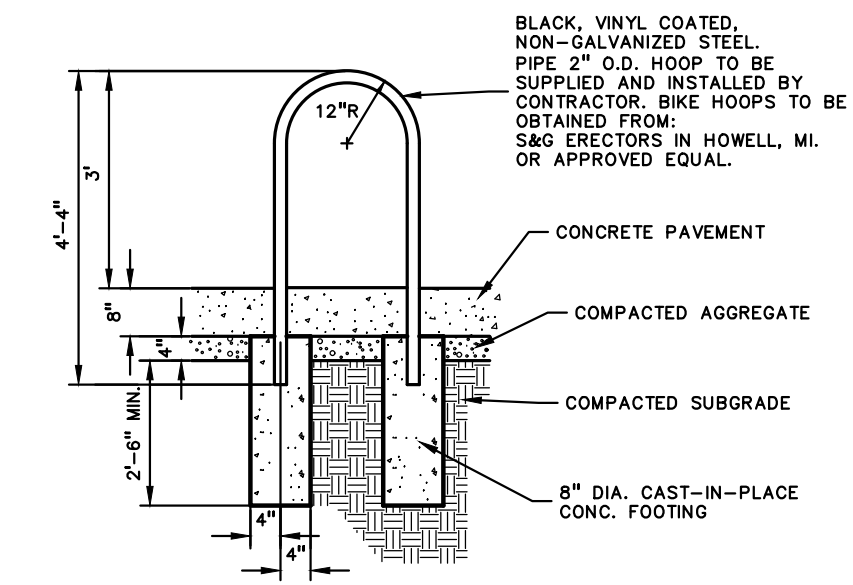
LITTER CONTAINER: PLAINWELL, ALUMINUM WITH SIDE OPEN LID AT 30 3/8" HIGH  
BY: LANDSCAPE FORMS OR APPROVED EQUAL  
PHONE: 800-521-2546

COLOR: TITANIUM OR SILVER, POWDER COATED, OWNER TO SELECT/APPROVE COLOR  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER



FIRE PIT INSERT: RECTANGLE H 54"x16" NATURAL GAS FIRE PIT INSERT WITH REMOTE ELECTRONIC IGNITION CONTROL (E1 SERIES)  
COVER: HPHC-54X16SS  
BY: HPC  
PHONE: 877-585-9800  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER

**5** FIRE PIT IMAGE DETAIL, OR EQUAL  
NOT TO SCALE



**2** BIKE RACK DETAIL  
NOT TO SCALE

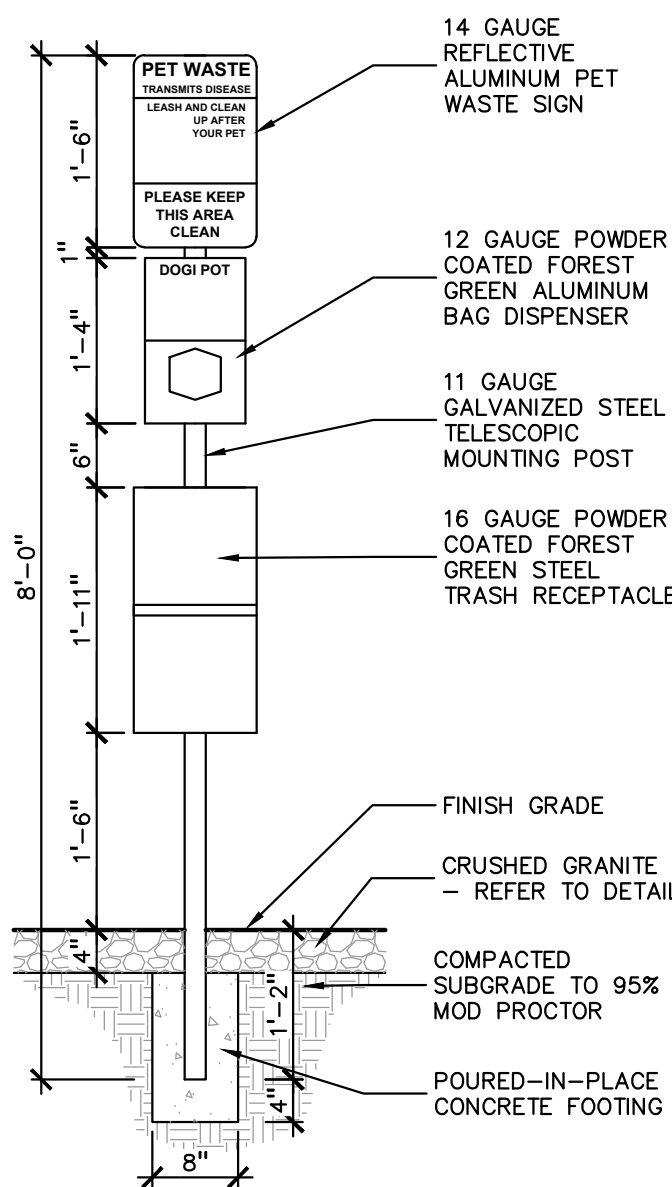


BENCH: TRIO BENCH  
BY: FORMS+SURFACES  
PHONE: 412-781-9003  
COLOR: ALUMINUM, POWDER COATED, OWNER TO SELECT/APPROVE COLOR  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER



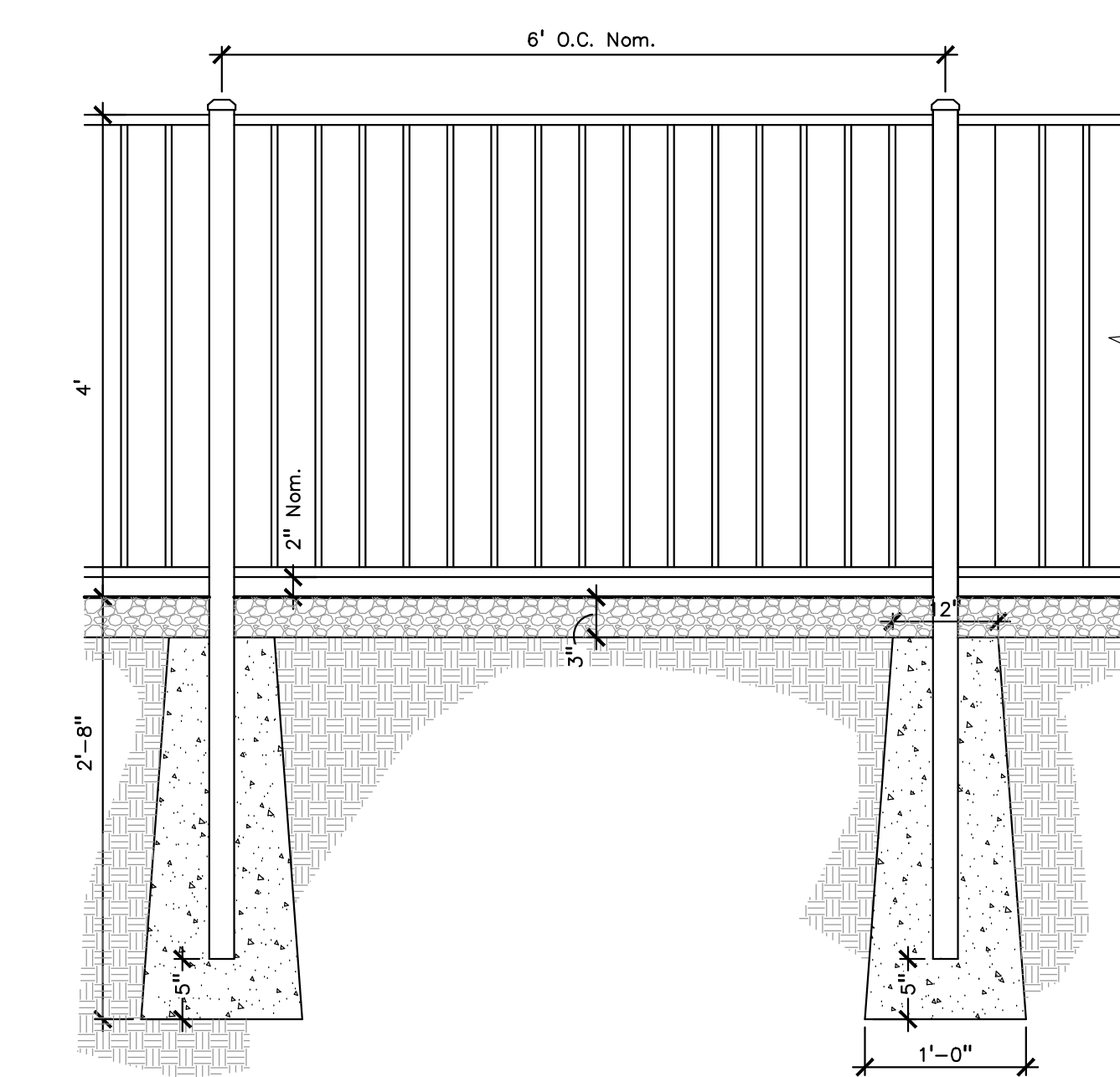
BENCH: 72" PLAINWELL, ALUMINUM  
BY: LANDSCAPE FORMS OR APPROVED EQUAL  
PHONE: 800-521-2546  
COLOR: TITANIUM OR SILVER, POWDER COATED, OWNER TO SELECT/APPROVE COLOR  
QUANTITY: **X**. QTY. TO BE APPROVED BY OWNER

**7** BENCH IMAGE DETAIL OPTIONS  
NOT TO SCALE



NOTE: MANUFACTURER: THE PARK CATALOG  
PRODUCT: ALUMINUM HEADER PAK PET STATION WITH SIGN OR APPROVED EQUAL  
MODEL #: 135-1027  
PHONE #: 800.695.3503  
INSTALL PER MANUFACTURER'S RECOMMENDATIONS  
EMBED STATION INTO CONCRETE FOOTING BELOW.

**4** PET STATION DETAIL, OR EQUAL  
SCALE: 1 1/2" = 1'-0"



**1** ORNAMENTAL FENCE @ DOG PARK  
NOT TO SCALE



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CLIENT  
**TROY SPORTS CENTER, LLC**  
1619 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 1E, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**SITE AMENITY DETAILS**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	BZ
DES.	JLE
DRAWING NUMBER:	





KEY:

- = EXISTING TREE TO BE REMOVED
- = EXISTING TREE TO REMAIN
- = TREE PROTECTION FENCING

SEE SHEET T-1.2 FOR EXISTING TREE LIST  
SEE SHEET L-1.0 FOR REPLACEMENT CALCULATIONS

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com

NORTH

SCALE: 1" = 40'

**811** Know what's below. Call before you dig.

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1819 EAST BIG BEAVER ROAD  
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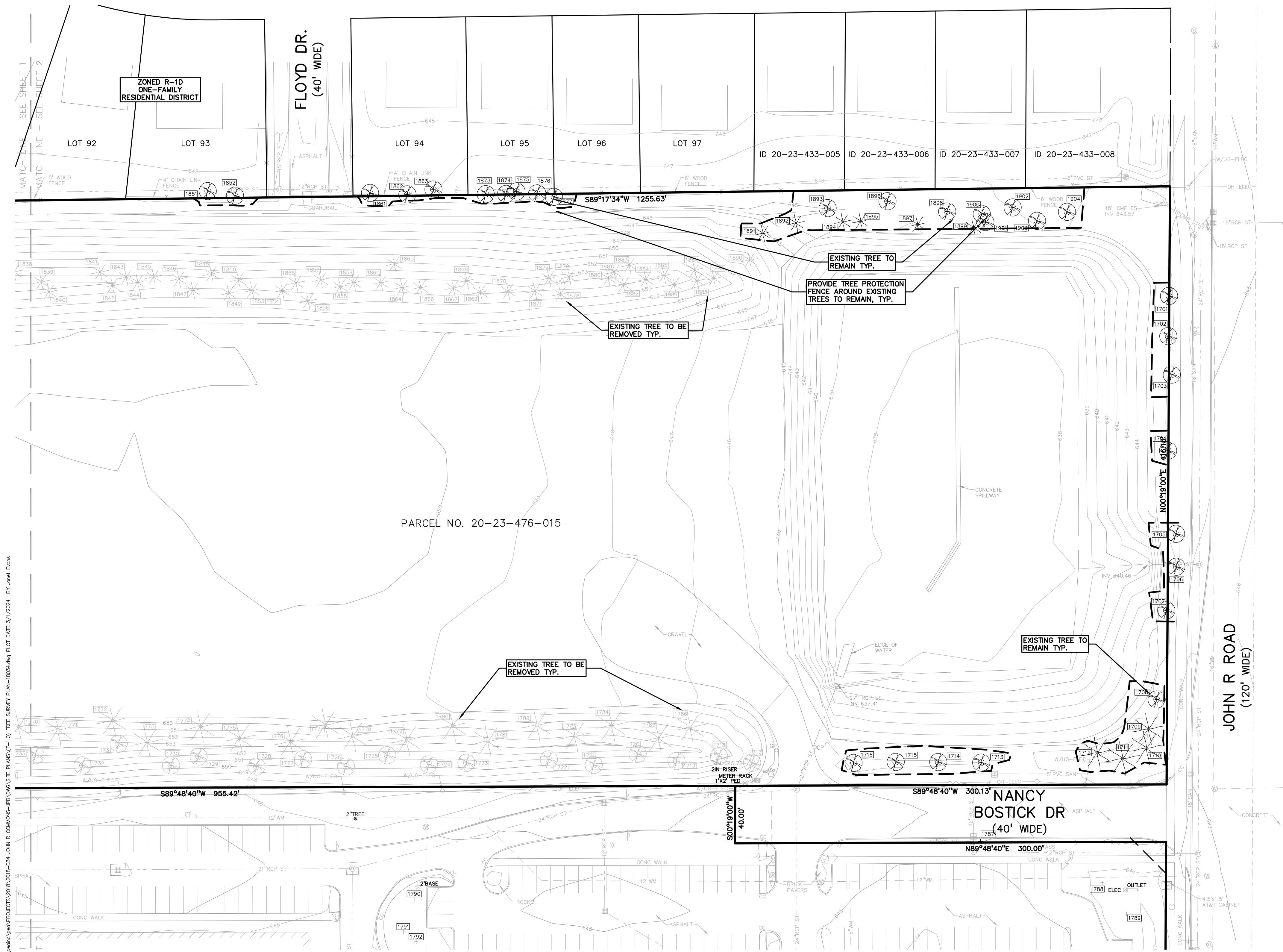
PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**TREE SURVEY PLAN - EAST**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	BGG
DES.	JLE
DRAWING NUMBER:	




\\works\proj\PROJECTS\2018-2019-2024\JOHN R COMMONS TOWNHOME DEVELOPMENT\T-1.0 TREE SURVEY PLAN-182024.dwg PLOT DATE: 5/7/2024 BY: Janet Evans



**Cylinder 3000K LED 12.25" Wall Light** 11310BKTLED  
© 2023 Kichler Lighting LLC. All Rights Reserved.

**SPECIFICATIONS**

<b>Certifications/Qualifications</b>	
Title 24 Compliant	Yes www.kichler.com/warranty
<b>Dimensions</b>	
Base Backplate	5.00" X 5.00"
Extension	6.50"
Weight	2.63 LBS
Height from center of Wall opening (Spec Sheet)	6.21"
Height	12.25"
Width	5.00"
<b>Light Source</b>	
Delivered Lumens	925
Dimmable	Yes
Expected Life Span (Hours)	45000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	20.00
Max Wattage/Range	20W
<b>Mounting/Installation</b>	
Interior/Exterior	Exterior
Location Rating	Wet
Mounting Style	Wall Mount
Mounting Weight	3.50 LBS
<b>Photometrics</b>	
Color Rendering Index	90
Kelvin Temperature	3000K
<b>FIXTURE ATTRIBUTES</b>	
<b>Housing</b>	
Primary Material	EPMM
Shade Dimensions	4.60" D X 12.25"
<b>Product/Ordering Information</b>	
SKU	11310BKTLED
Finish	Textured Black
Style	Other
LPC	763927545297
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●	Textured Black

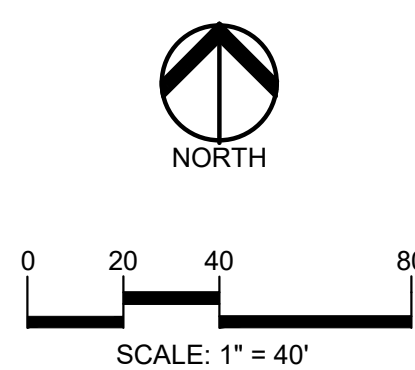
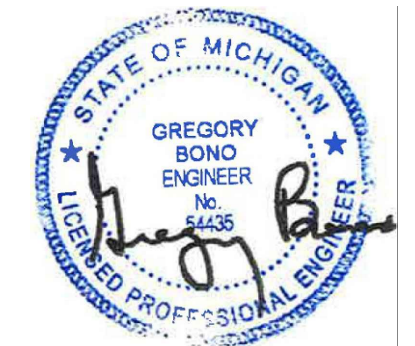


Kichler.com

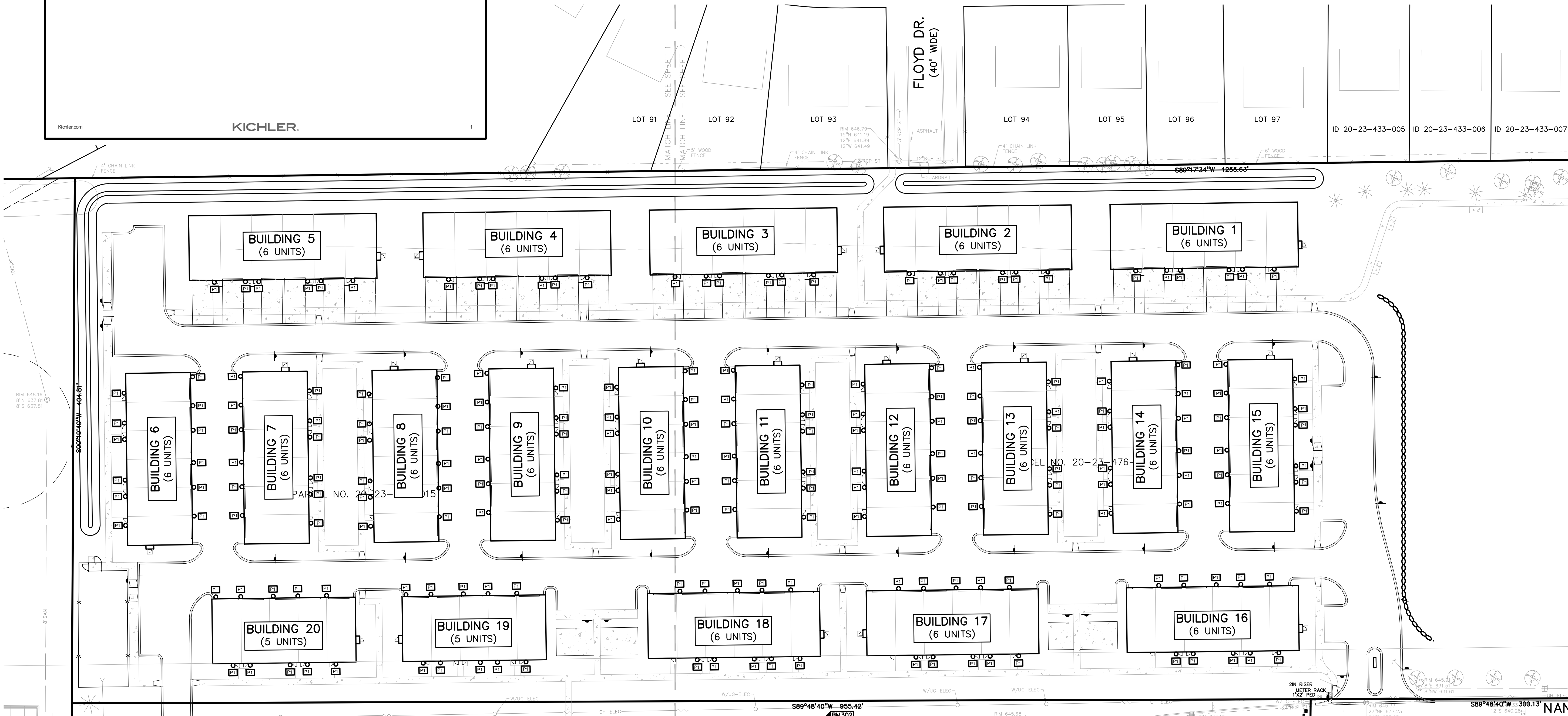
**KICHLER.**

- GENERAL SITE LIGHTING NOTES:**
1. ALL AREA LIGHT FIXTURES ARE TO BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES AND ROADWAYS.
  2. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIALS AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
  3. COORDINATE LIGHT FIXTURE PLACEMENT AND INSTALLATION WITH ARCHITECT.

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 7E., TROY, OAKLAND COUNTY, MI

**REVISIONS**

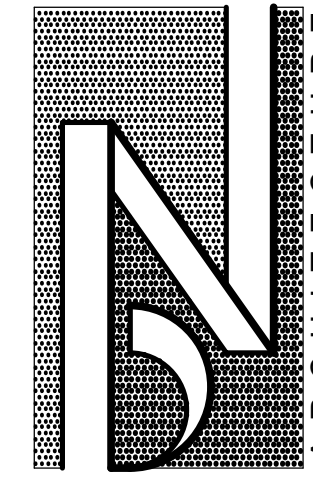
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023  
DRAWING TITLE  
**LIGHTING PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **SL-1.0**

S:\PROJECTS\2018\2018-04 JOHN R COMMONS - PEA\COMPOSITE PLANS\SL-1.0 PHOTO-180004.dwg PLOT DATE: 5/6/2024 BY: Kelly, Strydom



**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN - PLANNING - INTERIORS  
 630 N. OLD WOODWARD, SUITE 203  
 BIRMINGHAM, MICHIGAN  
 BRIANNEEPER.COM  
 248. 259. 1784

# JOHN R. TOWNHOME DEVELOPMENT

## BUILDING TYPE 'A'

## TROY, MICHIGAN

### CODE SUMMARY

CODE:  
 2015 MICHIGAN RESIDENTIAL CODE: TOWNHOUSE OPTION

TENANT SEPARATION: 1 HOUR REQUIRED  
 2 HOUR PROVIDED

FIRE SUPPRESSION: N/A

TYPE 'A' DWELLING UNITS: N/A

TYPE 'B' DWELLING UNITS: N/A (MULTI-STORY DWELLING UNITS)

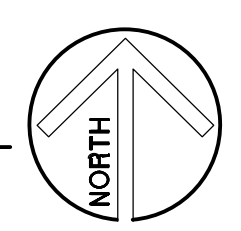
### SHEET INDEX

T-A	TITLE SHEET
ARCHITECTURAL DRAWINGS	
A-1A	O.A. BUILDING FOUNDATION PLAN - 5 UNIT
A-2A	O.A. BUILDING FIRST & SECOND FLOOR PLANS - 5 UNIT
A-3A	O.A. BUILDING ROOF PLAN - 5 UNIT
A-4A	O.A. BUILDING FOUNDATION PLAN - 4 UNIT
A-5A	O.A. BUILDING FIRST & SECOND FLOOR PLANS - 4 UNIT
A-6A	O.A. BUILDING ROOF PLAN - 4 UNIT
A-7A	O.A. BUILDING ELEVATIONS - 5 UNIT
A-8A	O.A. BUILDING ELEVATIONS - 4 UNIT
A-9A	DWELLING UNIT PLANS
A-10A	UNIT ELEVATIONS
A-11A	BUILDING SECTION & EXTERIOR WALL SECTIONS
A-12A	INTERIOR WALL SECTIONS
A-13A	RENDERED FRONT ELEVATION
A-14A	RENDERED FRONT ELEVATION



LOCATION MAP

NOT TO SCALE



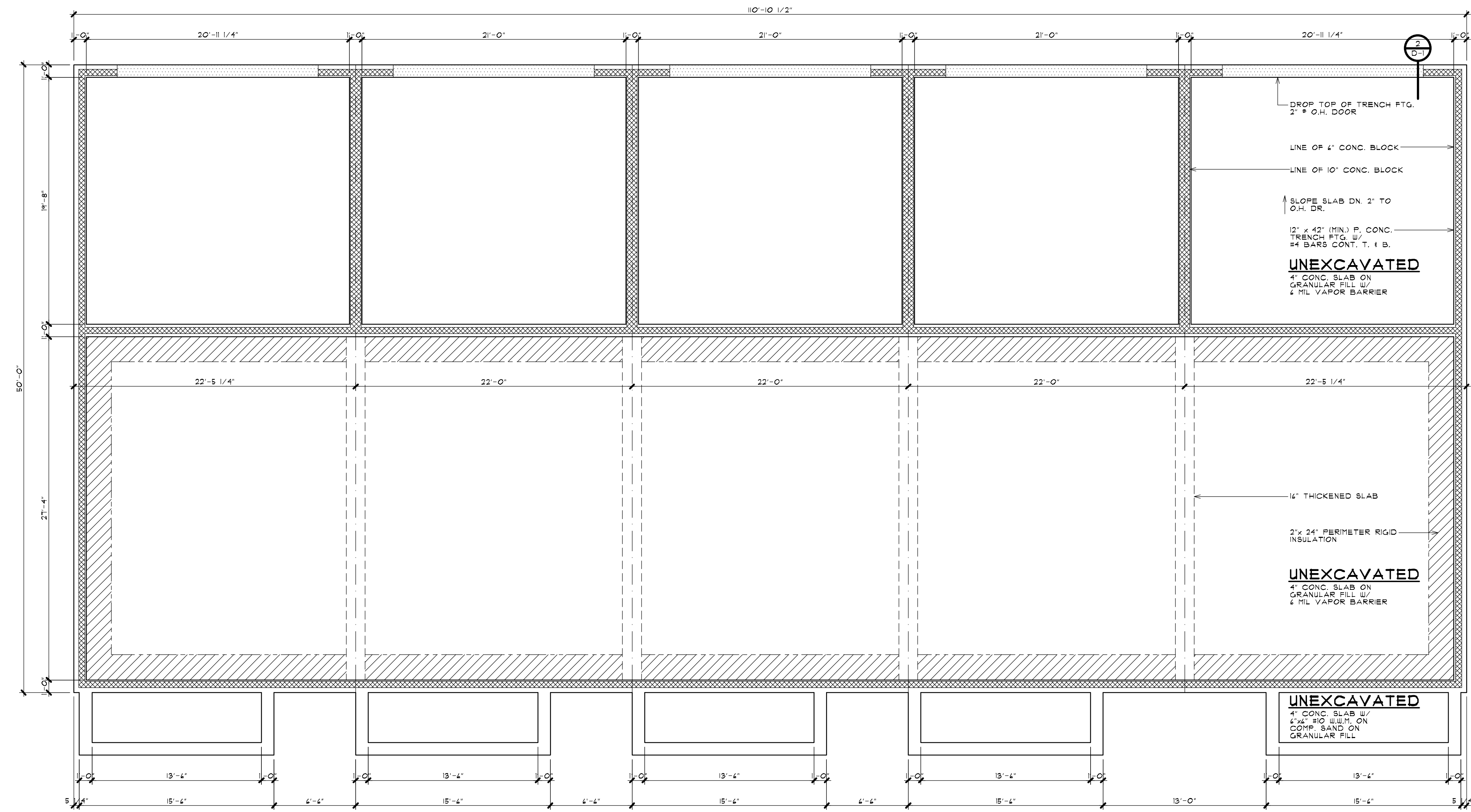
ARCHITECT: \_\_\_\_\_

**BRIAN NEEPER ARCHITECTURE P.C.**  
 630 N. OLD WOODWARD, SUITE 203  
 BIRMINGHAM, MICHIGAN 48009  
 248. 259. 1784 Brian@BrianNeeper.com

SHEET TITLE  
**TITLE SHEET**  
 PRELIMINARY

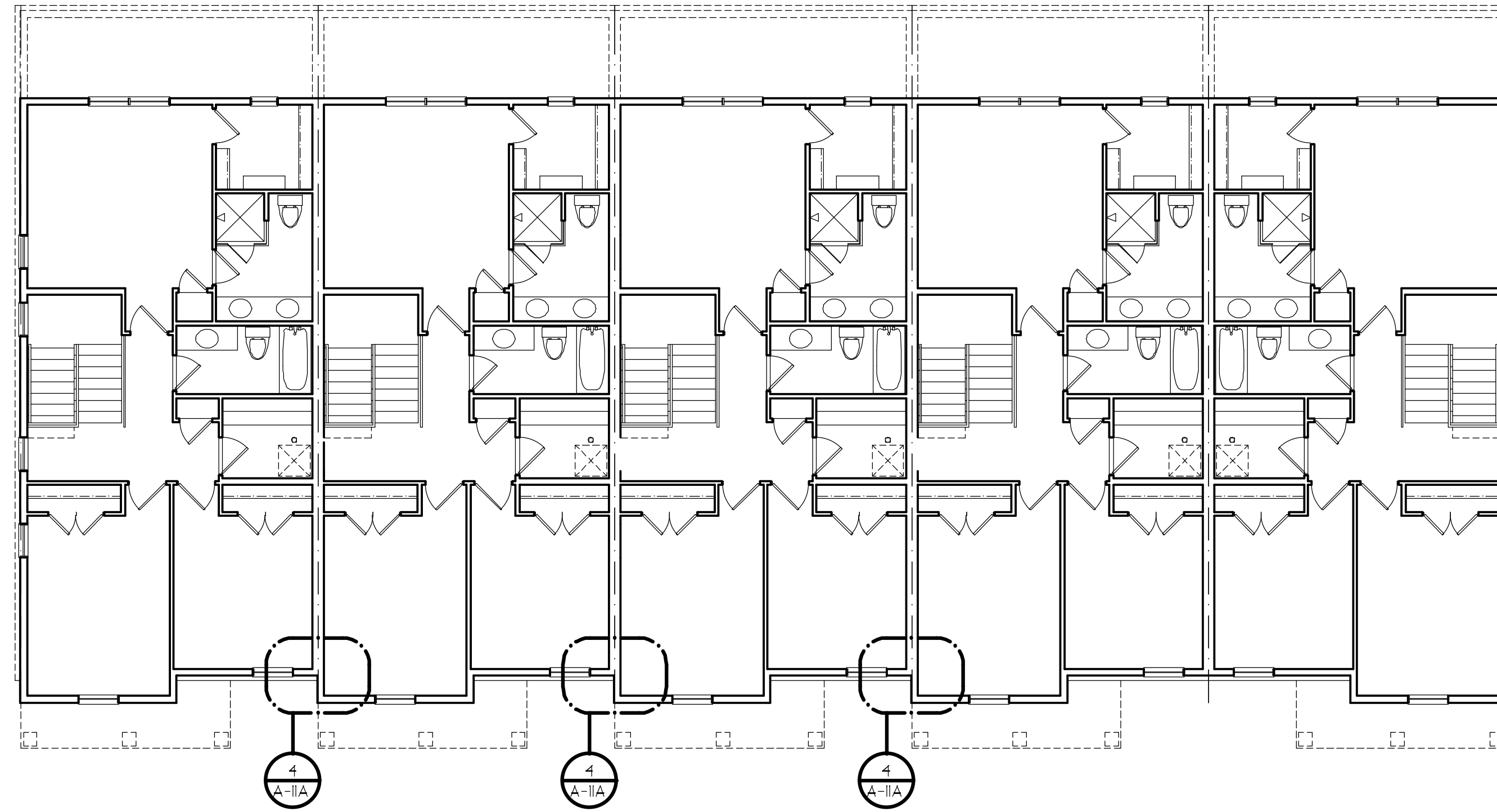
CLIENT / PROJECT  
**JOHN R. TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
 TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	
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<b>T-1A</b>	



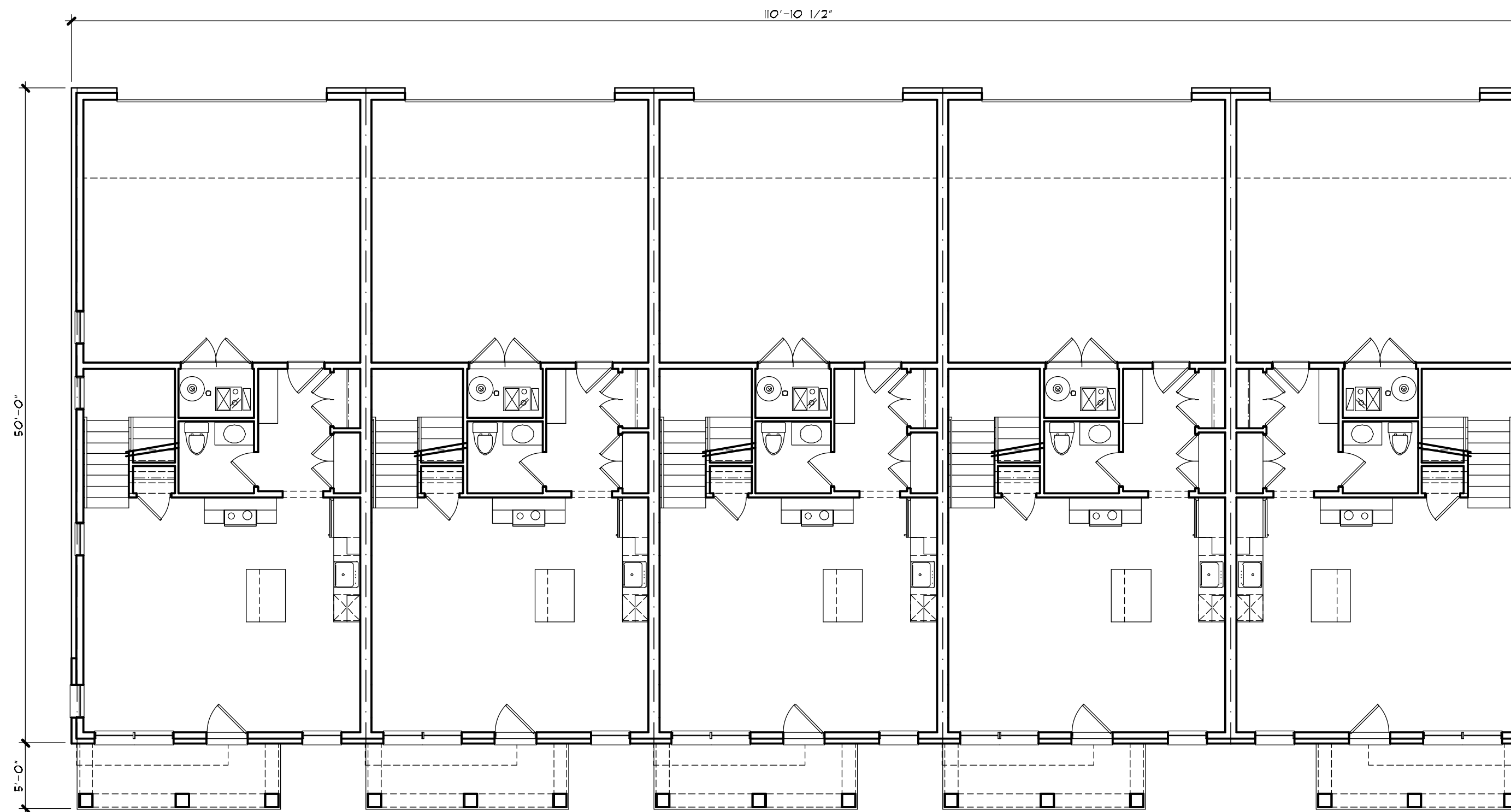
**FOUNDATION PLAN - BUILDING TYPE 'A'**

5 - UNIT  
 SCALE: 3/16" = 1'-0"



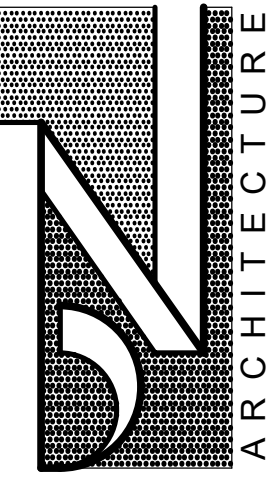
**SECOND FLOOR PLAN - BUILDING TYPE 'A'**

5 - UNIT  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - BUILDING TYPE 'A'**

5 - UNIT  
SCALE: 1/8" = 1'-0"



**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN - PLANNING - INTERIORS  
 630 BRIMLEY AVE. SUITE 203  
 TROY, MICHIGAN 48064  
 BRIANNEEPER.COM  
 248.259.1784

SHEET TITLE  
**1st & 2nd FLOOR PLANS**  
**BLDG. TYPE 'A'-5 UNIT**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
 TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	
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**A-2A**

**VENTING EXCEPTION**

EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE, PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:

- IN CLIMATE ZONES 6, 7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
- NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORY WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER DWG# FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING, RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

**ROOF VENTING CALCULATIONS:**

**PROPOSED VENT AREA PER UNIT**  
 VENT AREA RATIO 1:150  
 ATTIC AREA = 966 SQ.FT. (1/300)  
 VENT AREA = 3.22 SQ.FT. x 144 = 464 SQ.IN.  
 55% SOFFIT = 255 SQ.IN. EACH  
 45% RIDGE = 209 SQ.IN. EACH

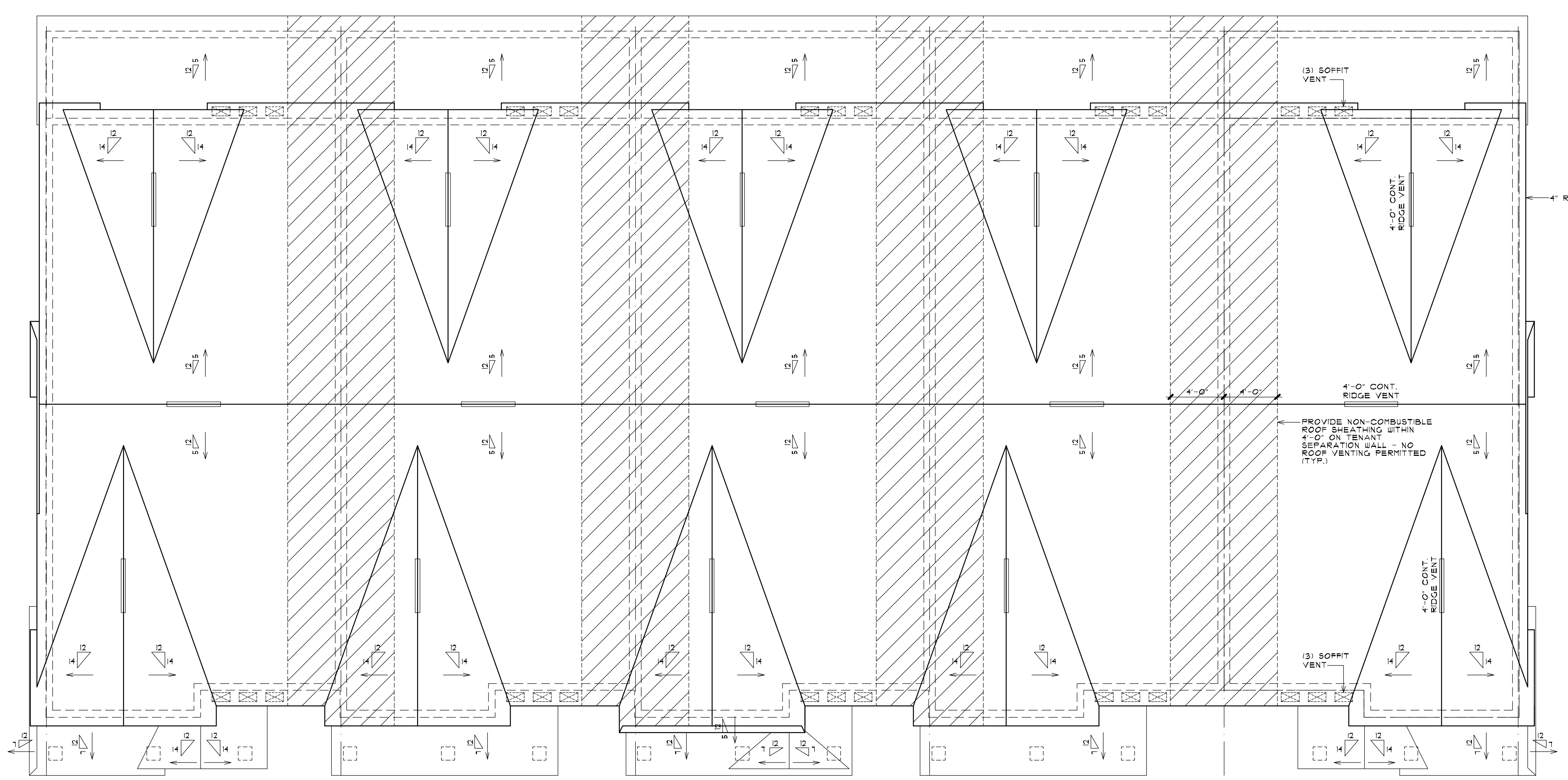
**VENT AREA PROVIDED @ RIDGE**  
 CONT. RIDGE TYPE @ 18 SQ.IN. PER FT. = 12 LIN.FT.  
 TOTAL VENTING AT RIDGE = 216 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 16" x 8" SOFFIT VENT @ 50 SQ.IN. PER UNIT = 4 UNITS  
 TOTAL VENTING AT SOFFIT = 300 SQ.IN.

**PROPOSED VENT AREA PER UNIT @ LOWER GARAGE**  
 VENT AREA RATIO 1:150  
 ATTIC AREA = 143 SQ.FT. (1/150)  
 VENT AREA = 0.95 SQ.FT. x 144 = 137 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 68.5 SQ.IN. EACH

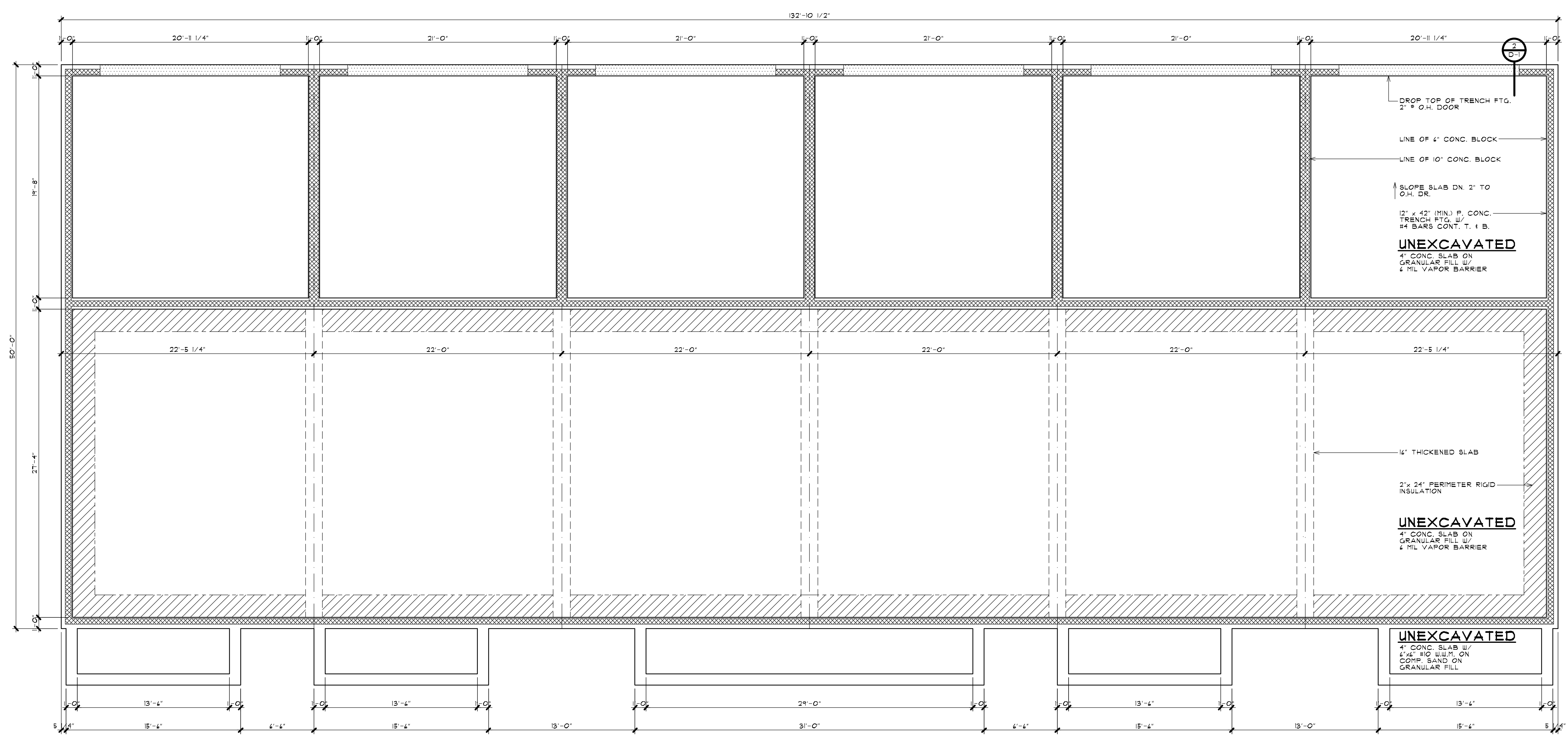
**VENT AREA PROVIDED @ RIDGE**  
 OMNI-WALL VENT @ 9 SQ.IN. PER FT. = 8 LIN.FT.  
 TOTAL VENTING AT RIDGE = 72 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 CONTINUOUS SOFFIT TYPE @ 9 SQ.IN. PER FT. = 8 LIN.FT.  
 TOTAL VENTING AT SOFFIT = 72 SQ.IN.



**ROOF PLAN - BUILDING TYPE 'A'**

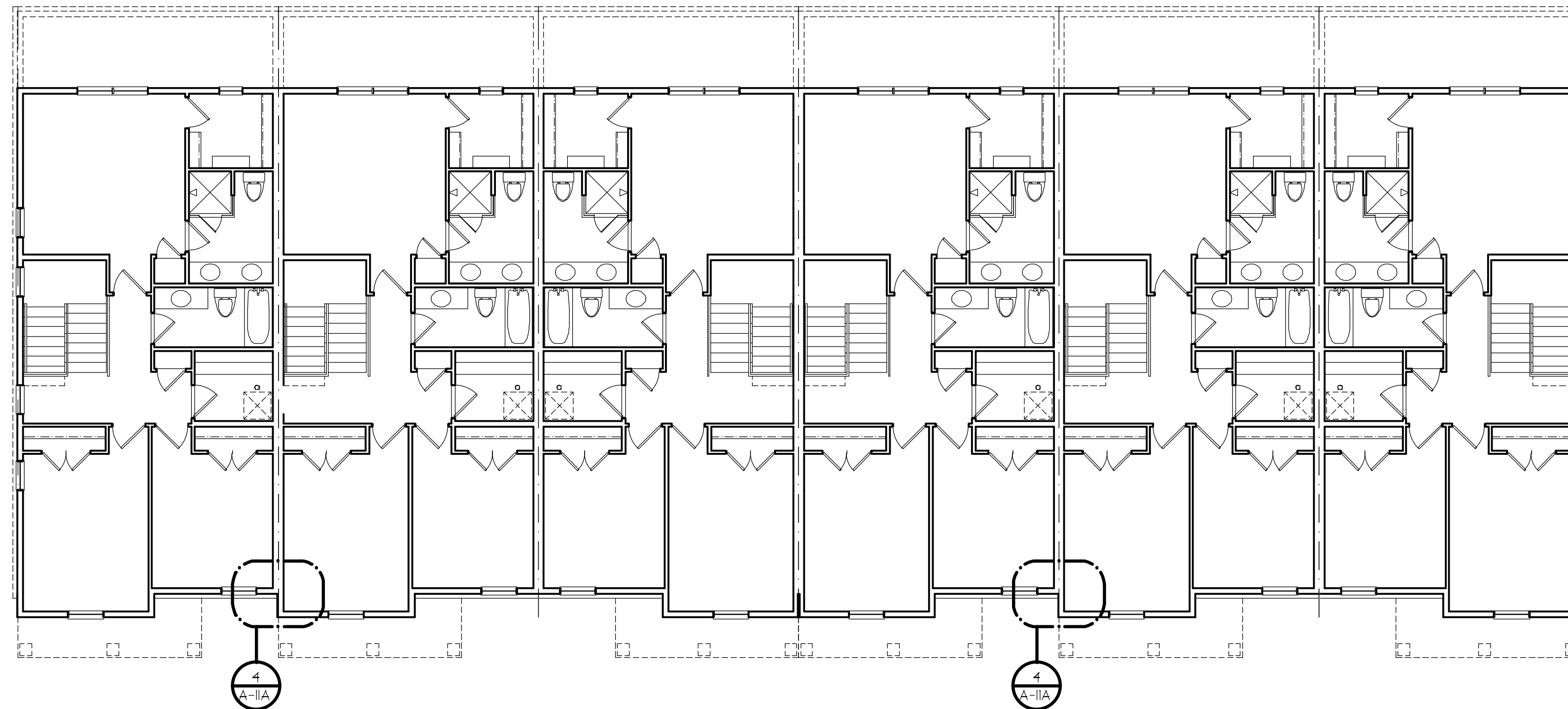
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 SCALE: 3/16" = 1'-0"



**FOUNDATION PLAN - BUILDING TYPE 'A'**

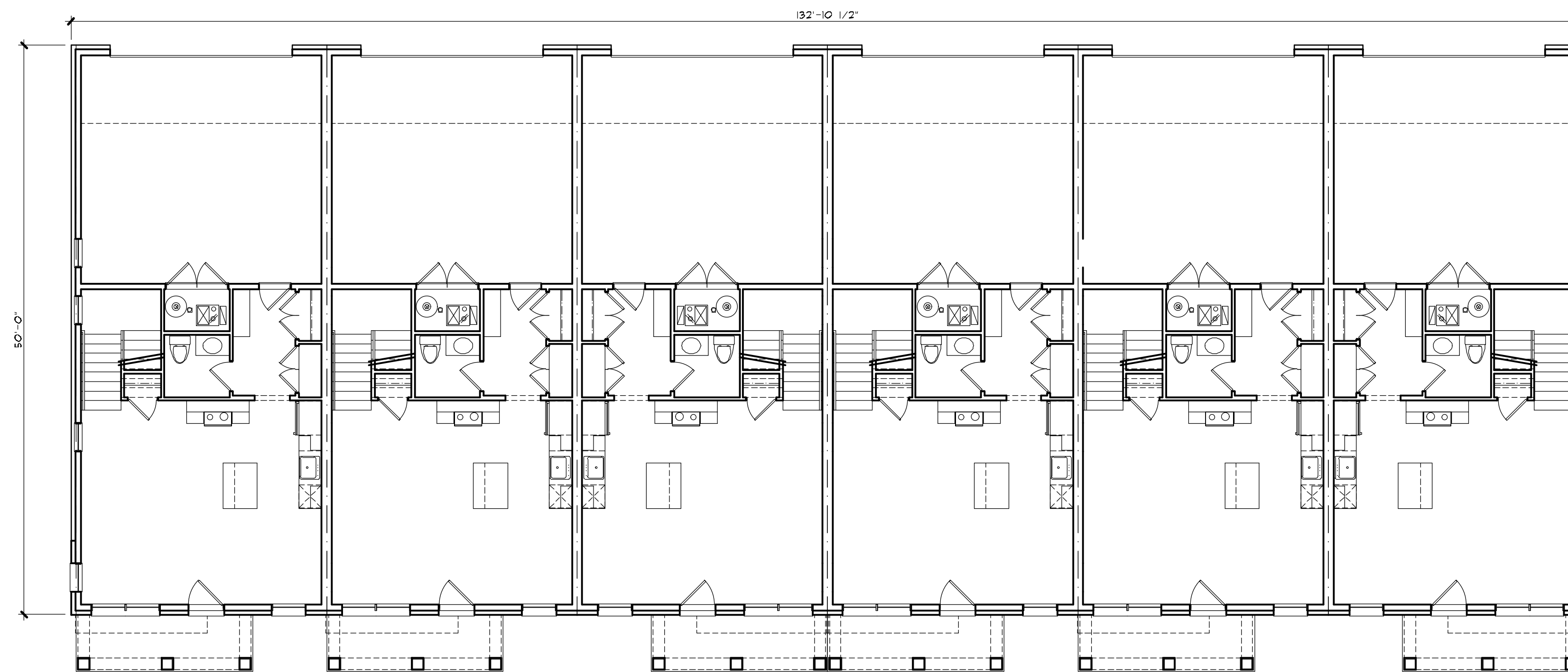
6 - UNIT  
 SCALE: 3/16" = 1'-0"





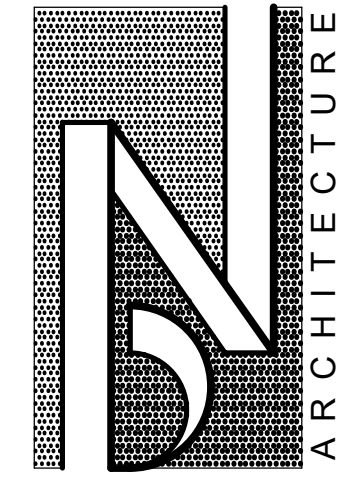
**SECOND FLOOR PLAN - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



**BRIAN NEEPER ARCHITECTURE P.C.**  
DESIGN - PLANNING - INTERIORS  
630 BRIMINGHAM HIGHWAY  
BIRMINGHAM, MICHIGAN  
BRIANNEEPER.COM  
248.259.1784

SHEET TITLE  
**1st & 2nd FLOOR PLANS**  
**BLDG. TYPE 'A' - 6 UNIT**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	

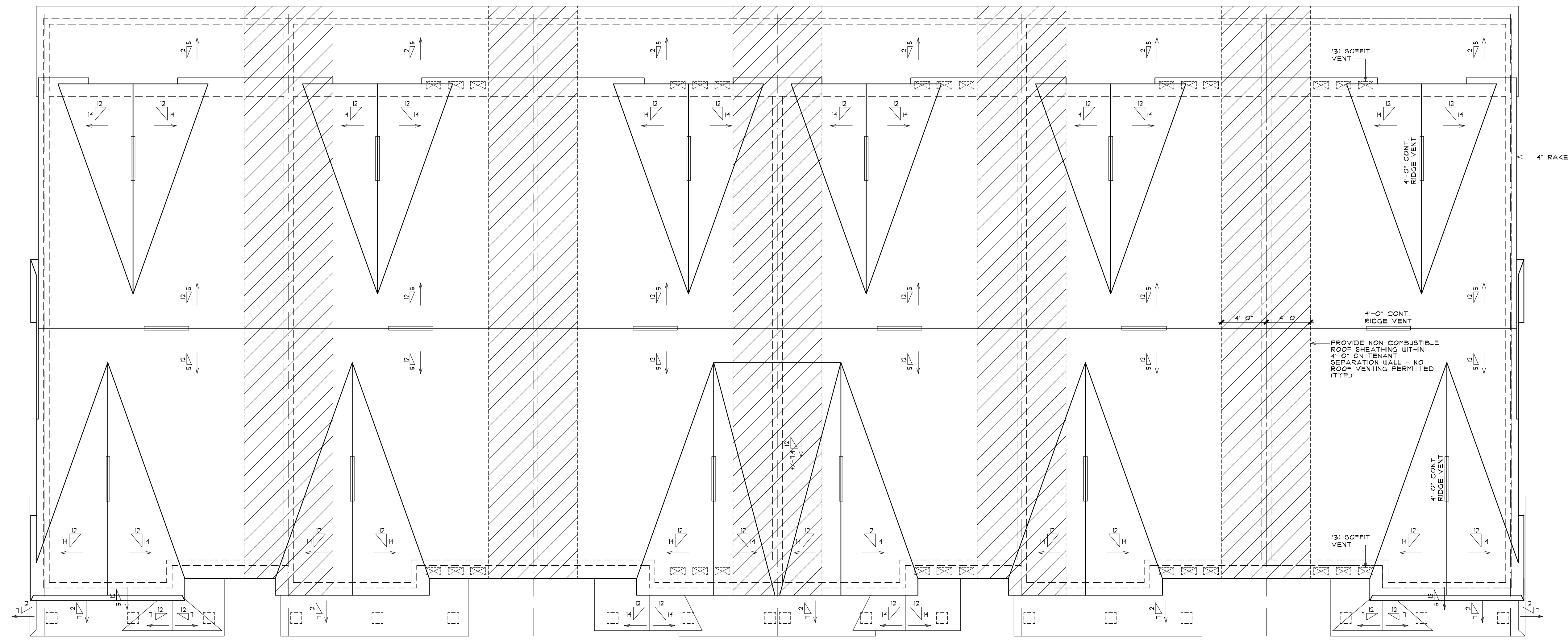
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BRIAN NEEPER  
ARCHITECTURE P.C.  
JOB NUMBER  
23060  
DRAWN BY  
BN / EAF  
CHECKED BY

SHEET NUMBER  
**A-5A**

**VENTING EXCEPTION**  
 EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE, PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:  
 1. IN CLIMATE ZONES 6, 7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.  
 2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

**OVERHANGS & DRAINAGE**  
 PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORY WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER DUG# FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.  
 UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING, RAKE DIMENSIONS ARE 4" AT BRICK AND 4" AT SIDING.

**ROOF VENTING CALCULATIONS:**  
**PROPOSED VENT AREA PER UNIT**  
 VENT AREA RATIO 1:150  
 ATTIC AREA = 966 SQ.FT. (1/300)  
 VENT AREA = 3.22 SQ.FT. x 144 = 464 SQ.IN.  
 55% SOFFIT = 255 SQ.IN. EACH  
 45% RIDGE = 209 SQ.IN. EACH  
**VENT AREA PROVIDED @ RIDGE**  
 CONT. RIDGE TYPE @ 18 SQ.IN. PER FT. = 12 LIN.FT.  
 TOTAL VENTING AT RIDGE = 216 SQ.IN.  
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 TOTAL VENTING AT SOFFIT = 300 SQ.IN.  
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 ATTIC AREA = 143 SQ.FT. (1/150)  
 VENT AREA = 0.95 SQ.FT. x 144 = 137 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 68.5 SQ.IN. EACH  
**VENT AREA PROVIDED @ RIDGE**  
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 TOTAL VENTING AT RIDGE = 72 SQ.IN.  
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 CONTINUOUS SOFFIT TYPE @ 9 SQ.IN. PER FT. = 8 LIN.FT.  
 TOTAL VENTING AT SOFFIT = 72 SQ.IN.



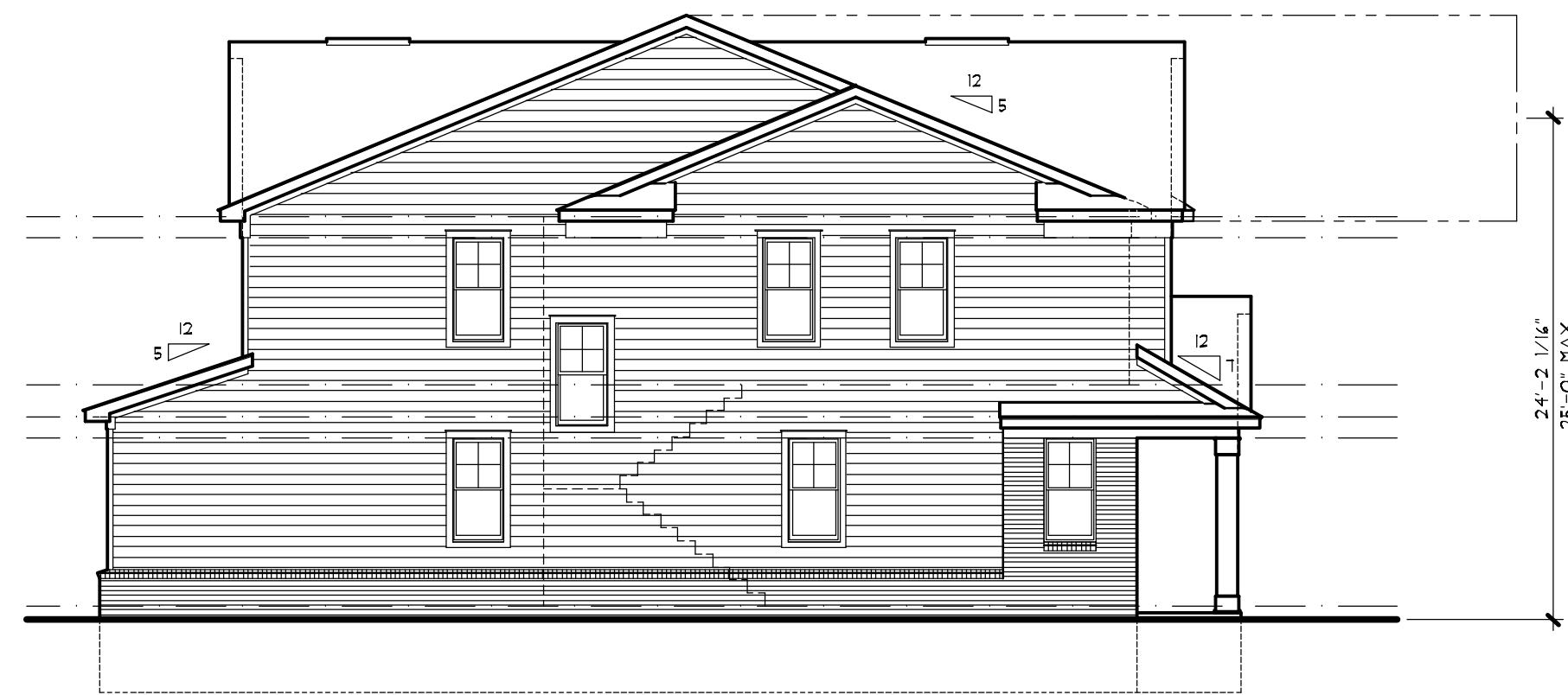
**ROOF - BUILDING TYPE 'A'**

6-UNIT  
 SCALE: 3/16" = 1'-0"



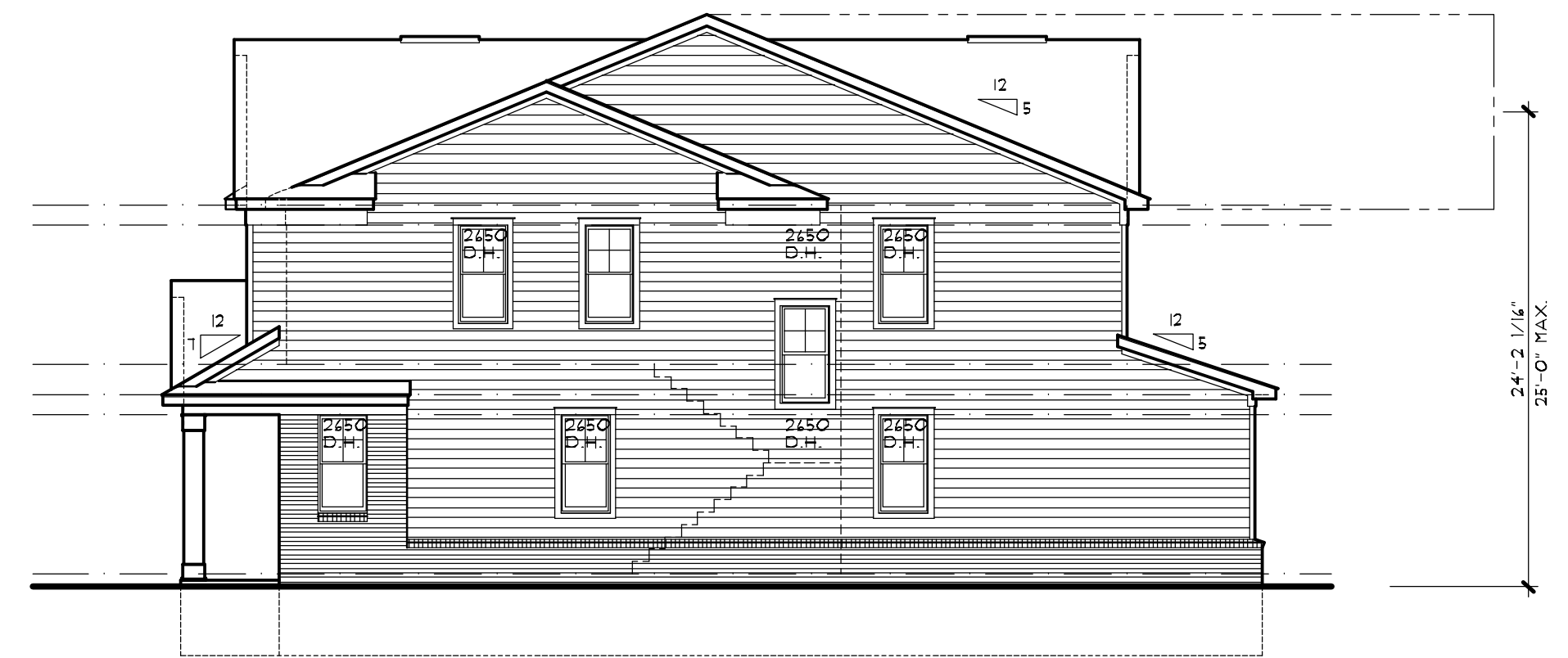
**REAR ELEVATION - BUILDING TYPE 'A'**

5 - UNIT  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'A'**

5 - UNIT  
SCALE: 1/8" = 1'-0"



**BRIAN NEEP ARCHITECTURE P.C.**  
DESIGN - PLANNING - INTERIORS  
630 Woodward Hill, Suite 203  
Brimley Park, Michigan  
BRIANNEEP.COM  
248.259.1784

SHEET TITLE  
**O.A. BUILDING ELEVATIONS**  
**BUILDING TYPE 'A' 5-UNIT**  
PRELIMINARY

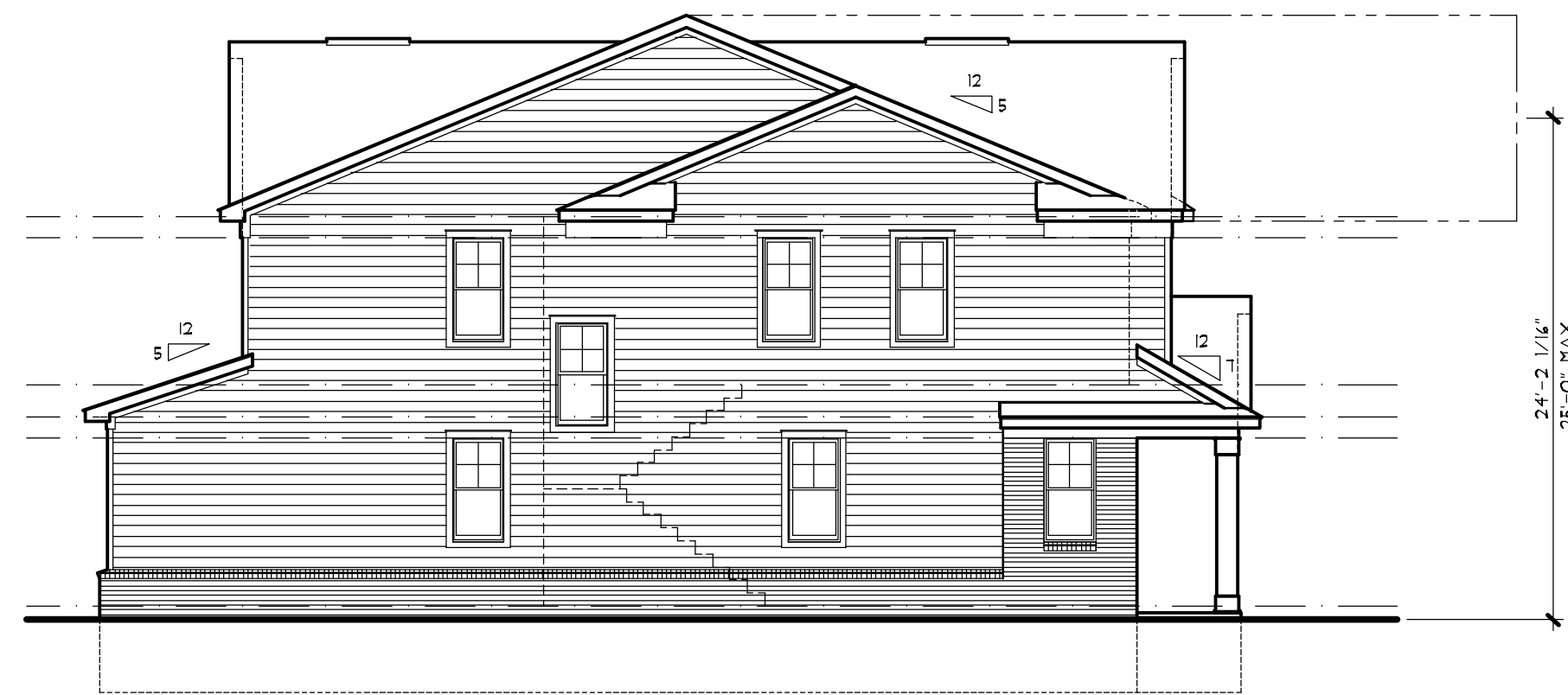
CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	
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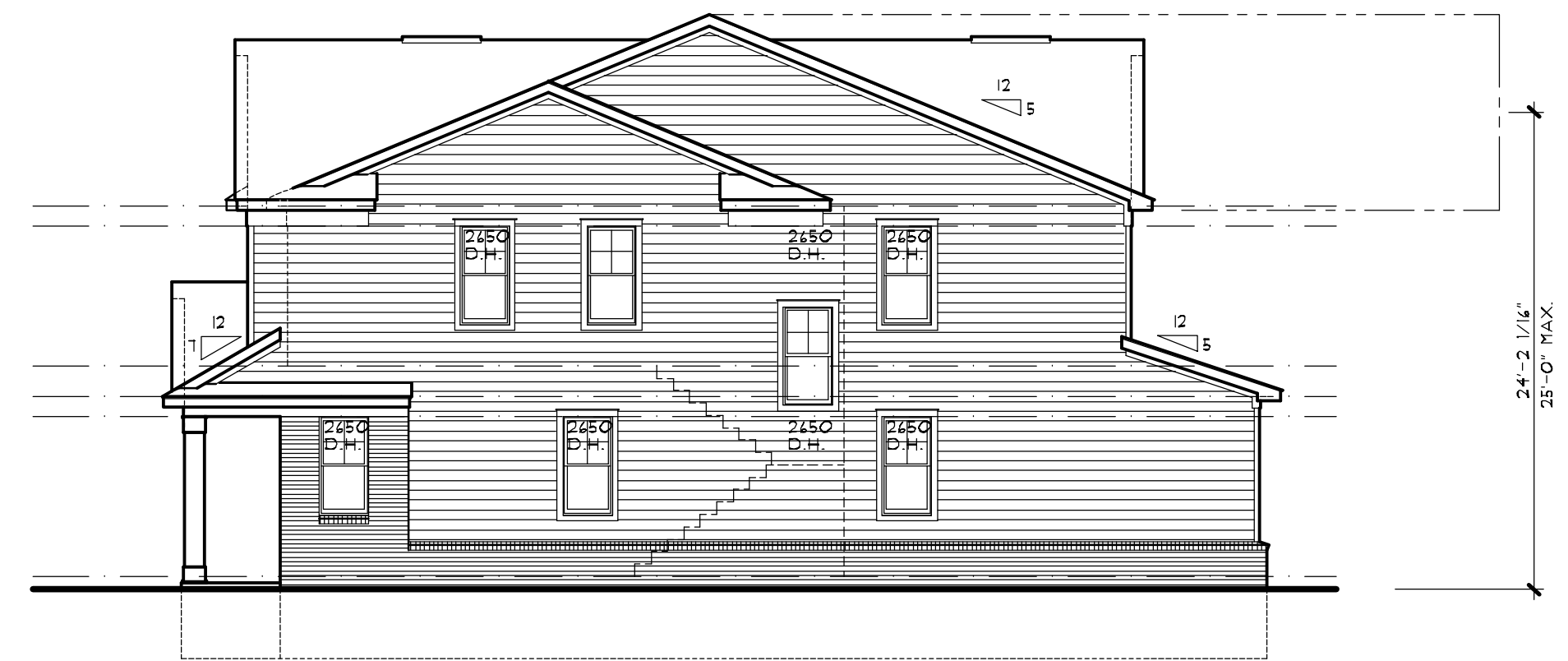
**REAR ELEVATION - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



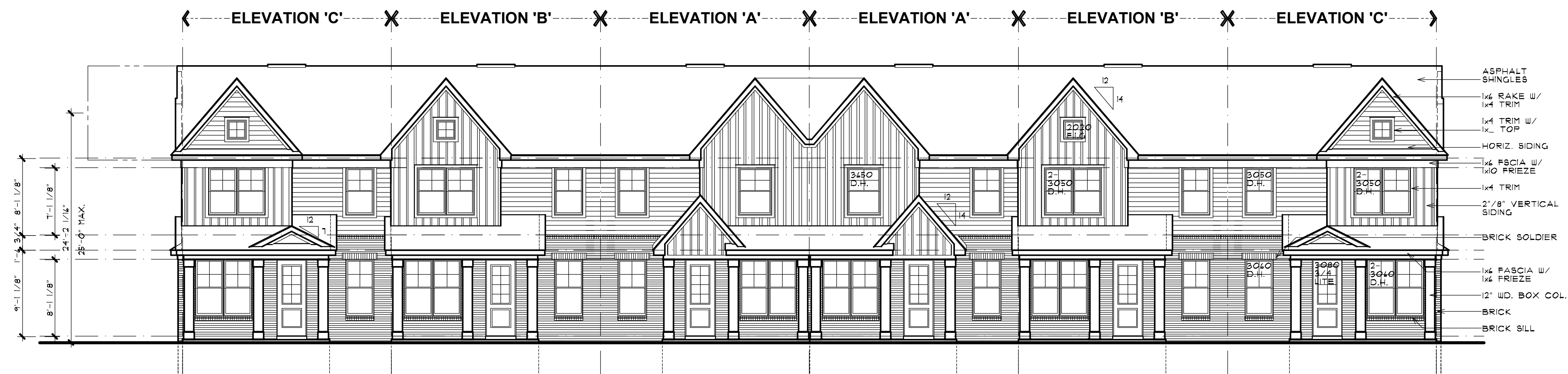
**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 1/8" = 1'-0"

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	
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**STRUCTURAL NOTES:**

(2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUD UNLESS NOTED OTHERWISE.  
 (2) 2x10 LARGER HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.  
 ALL PRE-ENGINEERED HEADERS FRAMED PERPENDICULAR TO WALL LINE SHALL BEAR ON REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL.  
 ALL PRE-ENGINEERED HEADERS FRAMED PARALLEL TO WALL LINE SHALL BEAR ON A MINIMUM (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.  
 ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT-UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS. ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.  
 ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLYS, WHICH EVER IS GREATER.  
 TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL No. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.  
 CARPENTER CONTRACTOR TO INSTALL NAIL SIZES I NUMBER REQ'D AS SPECIFIED FOR EACH TYPE OF HANGER.  
 LVL DESIGN VALUES FOR MODULUS OF ELASTICITY ( E ) SHALL BE 2000,000 PSI ( 2.0 E )

**WALL DIMENSION NOTE:**  
 ALL WALL DIMENSIONS ARE TO THE ROUGH. INTERIOR PARTITIONS ARE 3/4" UNLESS NOTED OR DIMENSIONED OTHERWISE. EXTERIOR FRAME WALLS INCLUDE 1/2" NOMINAL DIMENSION FOR EXTERIOR SHEATHING. EXTERIOR FRAME WALLS ARE 4" (2x4) UNLESS NOTED OR DIMENSIONED OTHERWISE. BRICK EDGE BRICK OR STONE EXTERIOR WITH AIR SPACE IS 4 1/2" UNLESS NOTED OR DIMENSIONED OTHERWISE.

**TRUSS NOTES:**

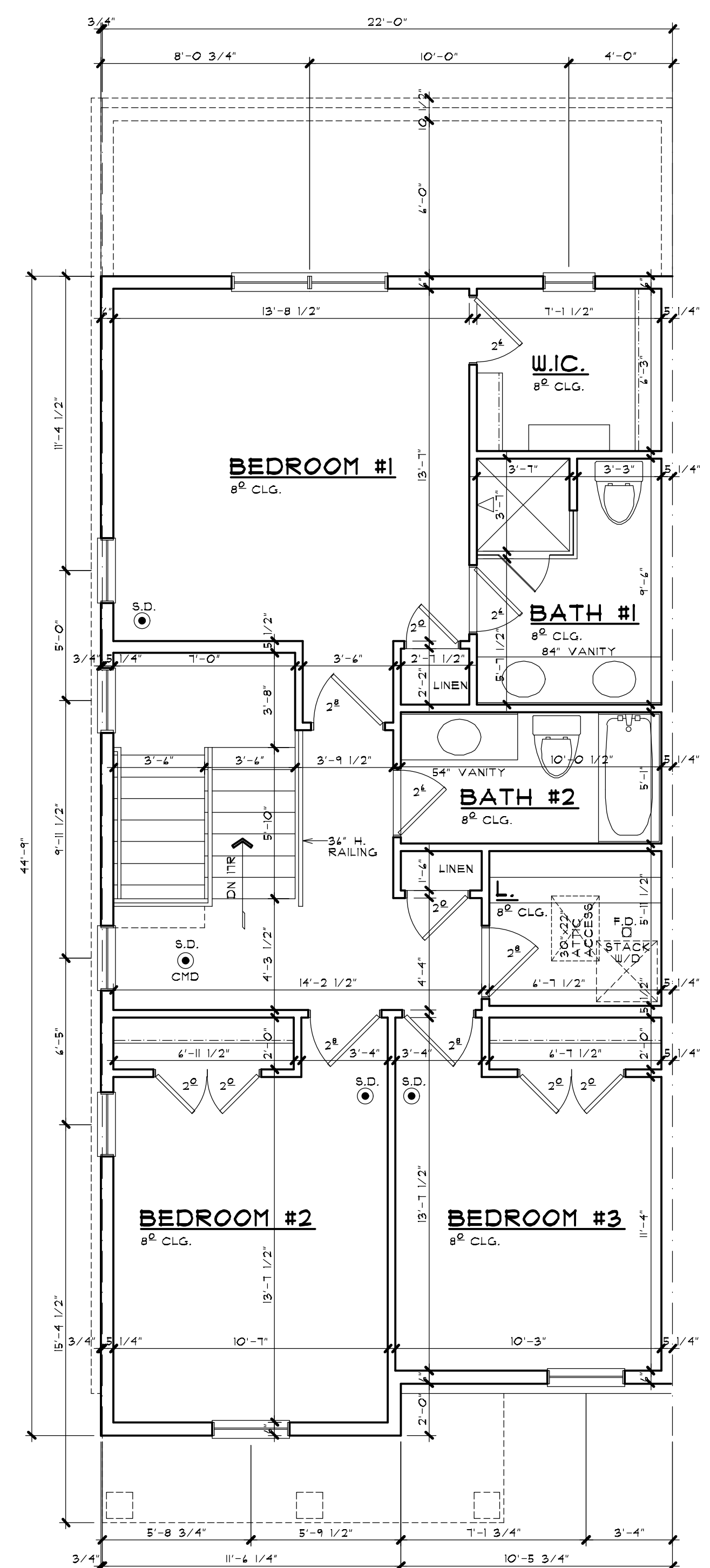
FLOOR TRUSS MANUFACTURER TO DESIGN FOR ADDITIONAL DEAD LOAD OF NON-BEARING DOUBLE STUD WALLS) AND STAGGER STUD WALLS) CONSTRUCTION.  
 PROVIDE VERTICAL BLOCKING \* TRUSS WEB AREA IF THERE IS SOLID BLOCKING ON THE FLOOR ABOVE.  
 ALL STRUCTURAL MEMBERS WHICH ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND WHICH SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ROOF, OR SUPPORT A LOADBEARING WALL OR A NONLOADBEARING WALL MORE THAN TWO STORES IN HEIGHT, SHALL BE INDIVIDUALLY PROTECTED ON ALL SIDES FOR THE FULL LENGTH OR HEIGHT WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.

**ELECTRICAL NOTES:**

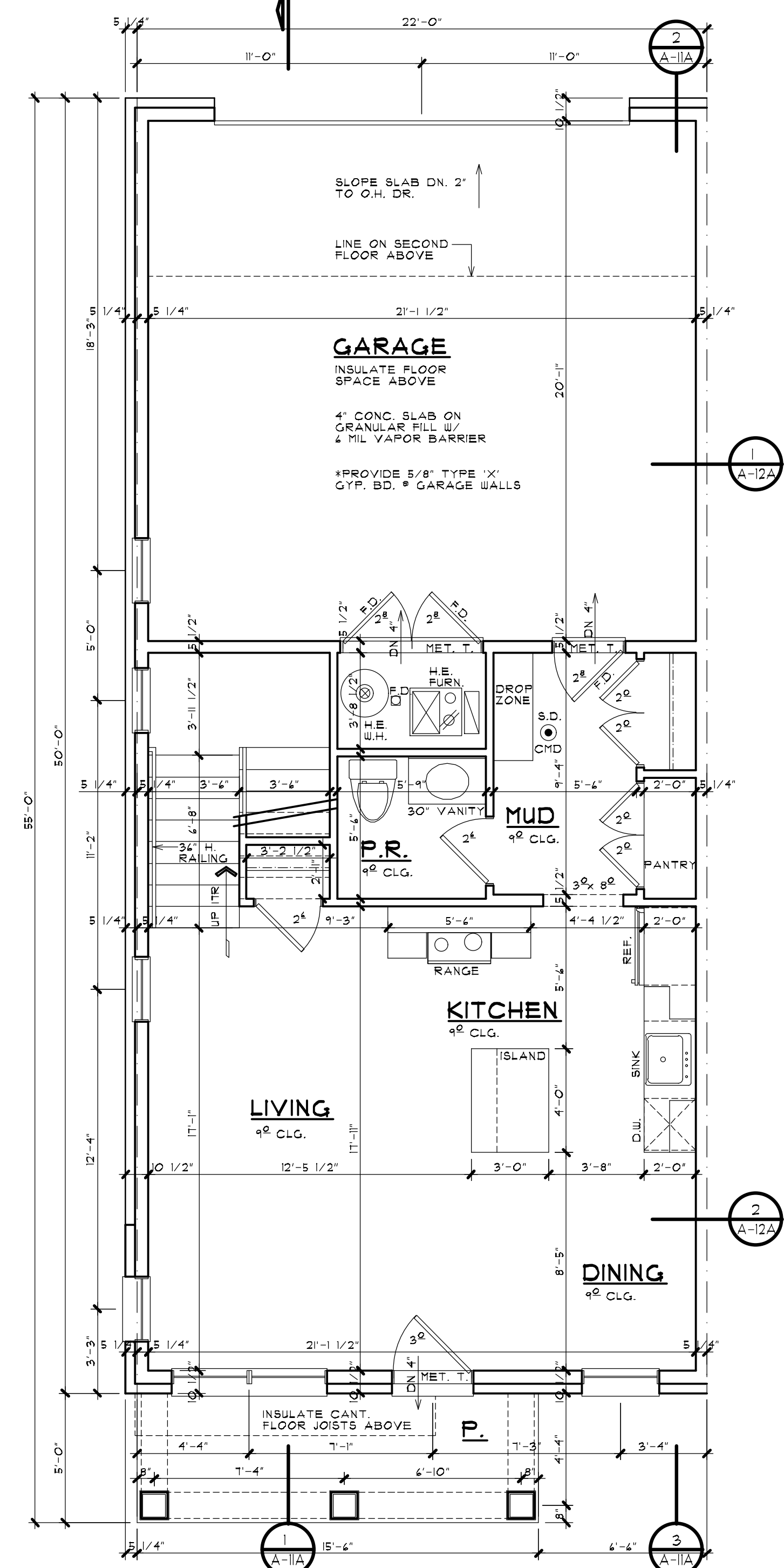
ALL RECESSED LIGHT ARE TO BE IC (INSULATION CONTACT) RATED.  
 ALL RECESSED FIXTURES ARE TO BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES  
 PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR ALL 120-VOLT SINGLE-PHASE 15- AND 20-AMPERE RECEPTACLES INSTALLED IN GARAGES AND UNFINISHED BASEMENTS AREAS EXCEPT THOSE FOR FIRE OR BURGLAR ALARM SYSTEMS.  
 A MINIMUM OF 15% OF ALL PERMANENTLY INSTALLED LIGHTING FIXTURES MUST USE CFL BULBS OR OTHER HIGH EFFICIENCY LAMPS  
 ALL INTERIOR TREADS AND LANDINGS MUST BE ILLUMINATED WITH NOT LESS THAN 1 FOOT CANDLE.  
 EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP OF THE LANDING.

**MICHIGAN UNIFORM ENERGY CODE**  
 BUILDERS OPTIONS FOR COMPLIANCE: **CLIMATE ZONE 5A**

- A) PROVIDE INSULATION AND PERFORMANCE VALUES AS PRESCRIBED IN SECTION 302 (PRESCRIPTIVE) 2004 M.U.E.C.
- | EXTERIOR ENCLOSURE   | VALUE  |
|--|--------|
| WALL ASSEMBLIES  | R-20   |
| ROOF / CEILING   | R-38   |
| SLAB ON GRADE  | R-10   |
| CRAWL SPACE WALL (CONTINUOUS)                                  | R-10   |
| CRAWL SPACE WALL (CAVITY)                                      | R-13   |
| BASEMENT WALL (CONTINUOUS)                                     | R-10   |
| BASEMENT WALL (CAVITY)   | R-13   |
| FENESTRATION / OPENINGS  | U-0.35 |
| AREA WEIGHTED AVERAGE OF THE TOTAL AREA OF FENESTRATION UNITS) | R-2.85 |
- † SEE TABLE 402.1.1 FOR FOOTNOTES
- B) PROVIDE A SIMULATED ENERGY PERFORMANCE ANALYSIS (BY OTHERS) AS PRESCRIBED IN SECTION 405 (PERFORMANCE). PROVIDE INSULATION AND FENESTRATION VALUES AS REQUIRED.

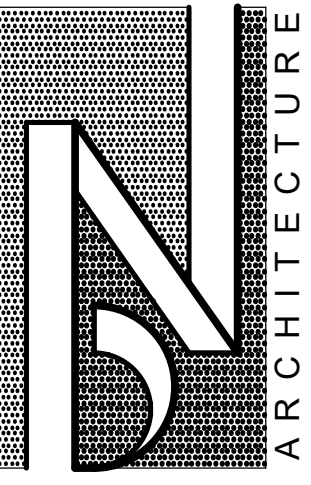


**SECOND FLOOR PLAN**  
 BUILDING TYPE 'A' SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
 BUILDING TYPE 'A' SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
1ST FLOOR	581 SQ FT
2ND FLOOR	964 SQ FT
TOTAL	1,545 SQ FT



**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN - PLANNING - INTERIORS  
 630 BRUNING AVENUE, SUITE 203  
 BIRMINGHAM, MICHIGAN 48202  
 BRIANNEEPER.COM  
 248.259.1784

SHEET TITLE  
**DWELLING UNIT PLANS**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
 BUILDING TYPE 'A'  
 TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	
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**WINDOW SILLS**

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

- WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2010.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER Dwg FOR CONNECTION DETAILS & LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 1" AT SIDING.

**STEEL LINTEL SCHEDULE**

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
6'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
10'-0" OR LESS	5" x 3 1/2" x 3/8"
12'-0" OR LESS	4" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.

NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF CORROSIVE RESISTANT PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

**TYP. WINDOW DESIGNATION**

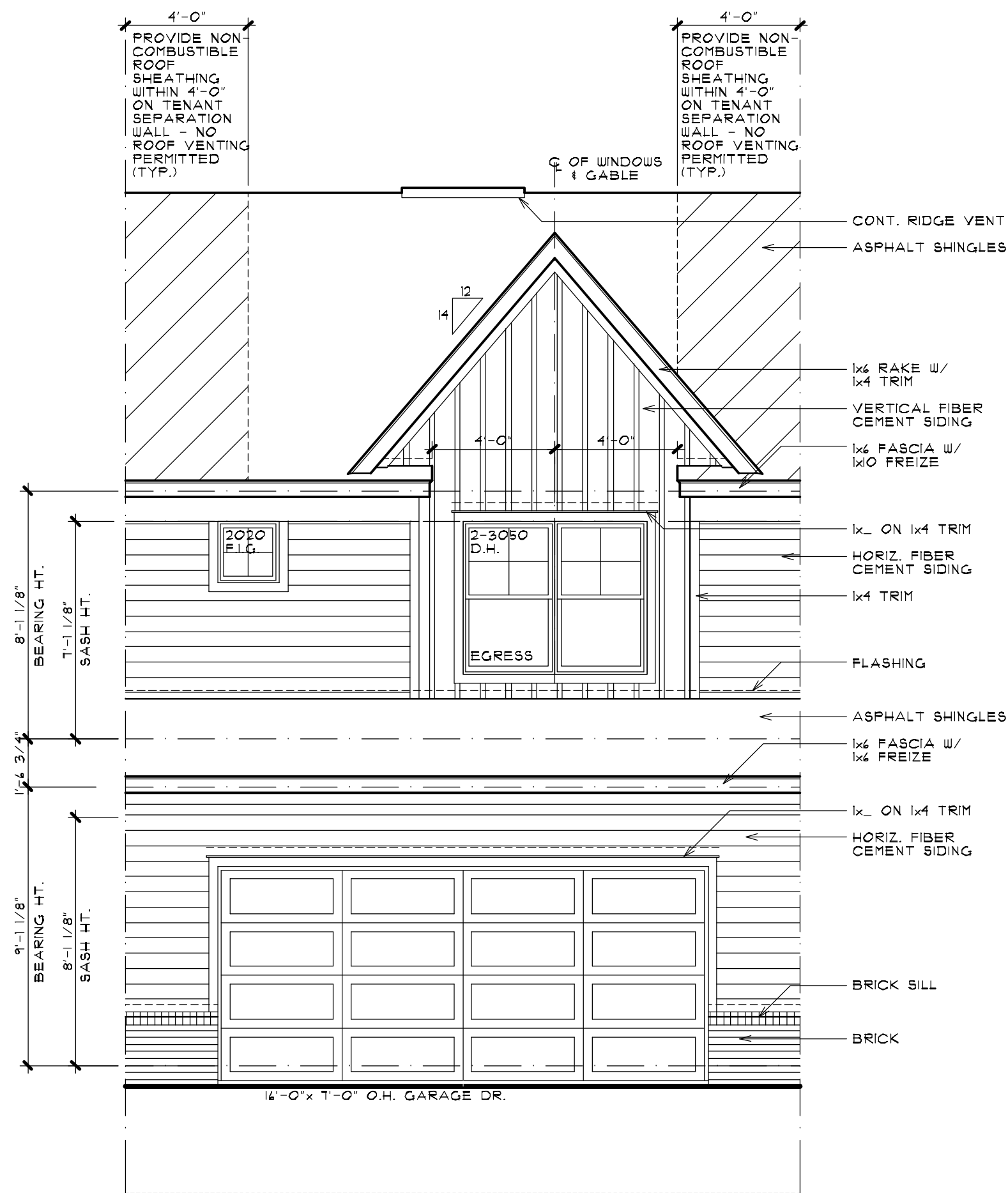
GENERAL REFERENCE FOR WINDOW OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS

**EGRESS WINDOW**

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 30 INCHES.

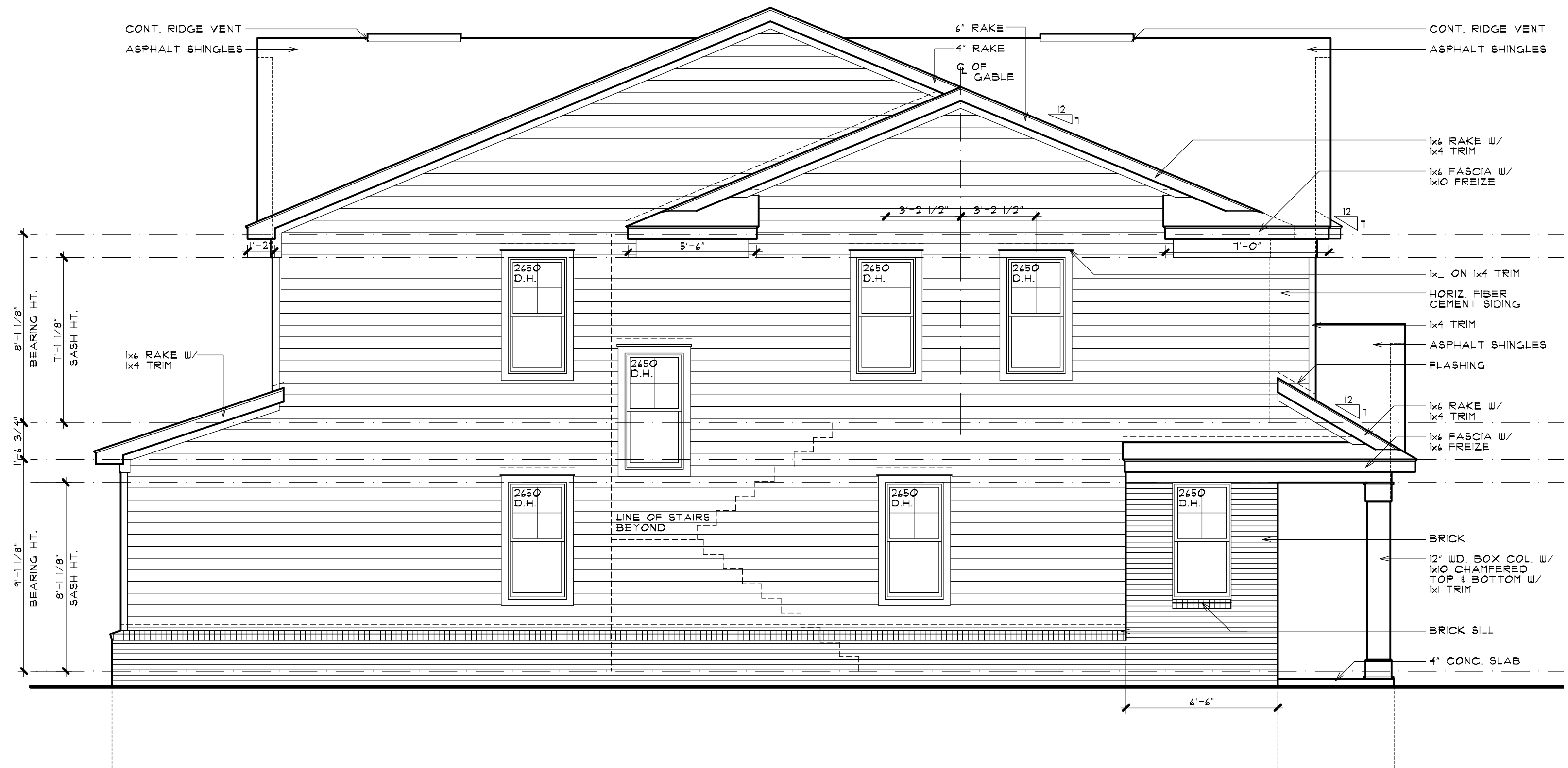
**GENERAL NOTES**

- BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER FOR ADDITIONAL NOTES & INFORMATION.
- TRUSS DESIGNER/FABRICATOR SEE SHEET N-2 FOR ADDITIONAL NOTES & INFORMATION.
- DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
- SEE CIVIL ENGINEER'S DWG FOR ALL FINAL A/C UNIT, ELECTRICAL METER & GAS METER LOCATIONS.



**REAR ELEVATION**

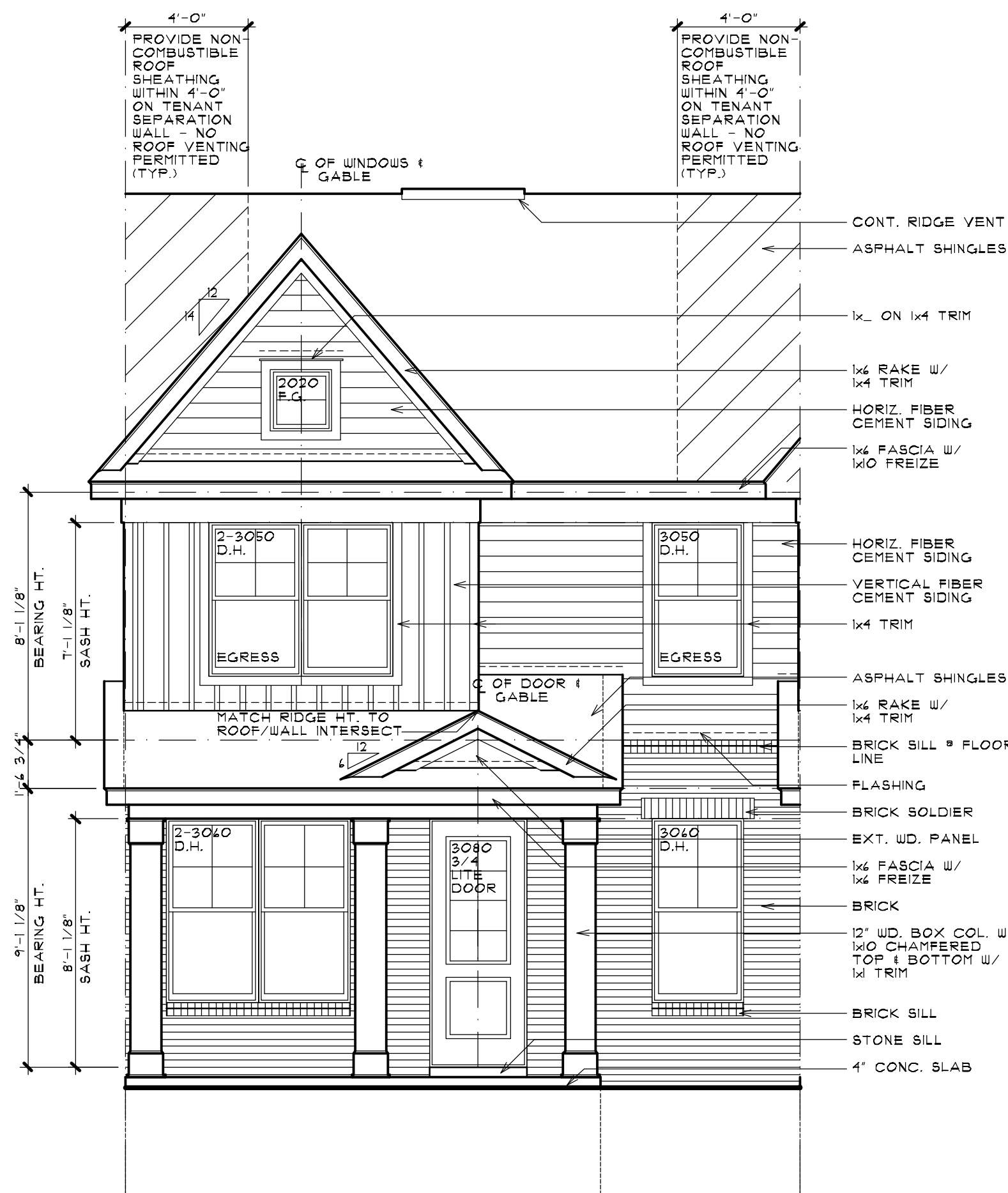
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

RIGHT SIDE OPPOSITE HAND

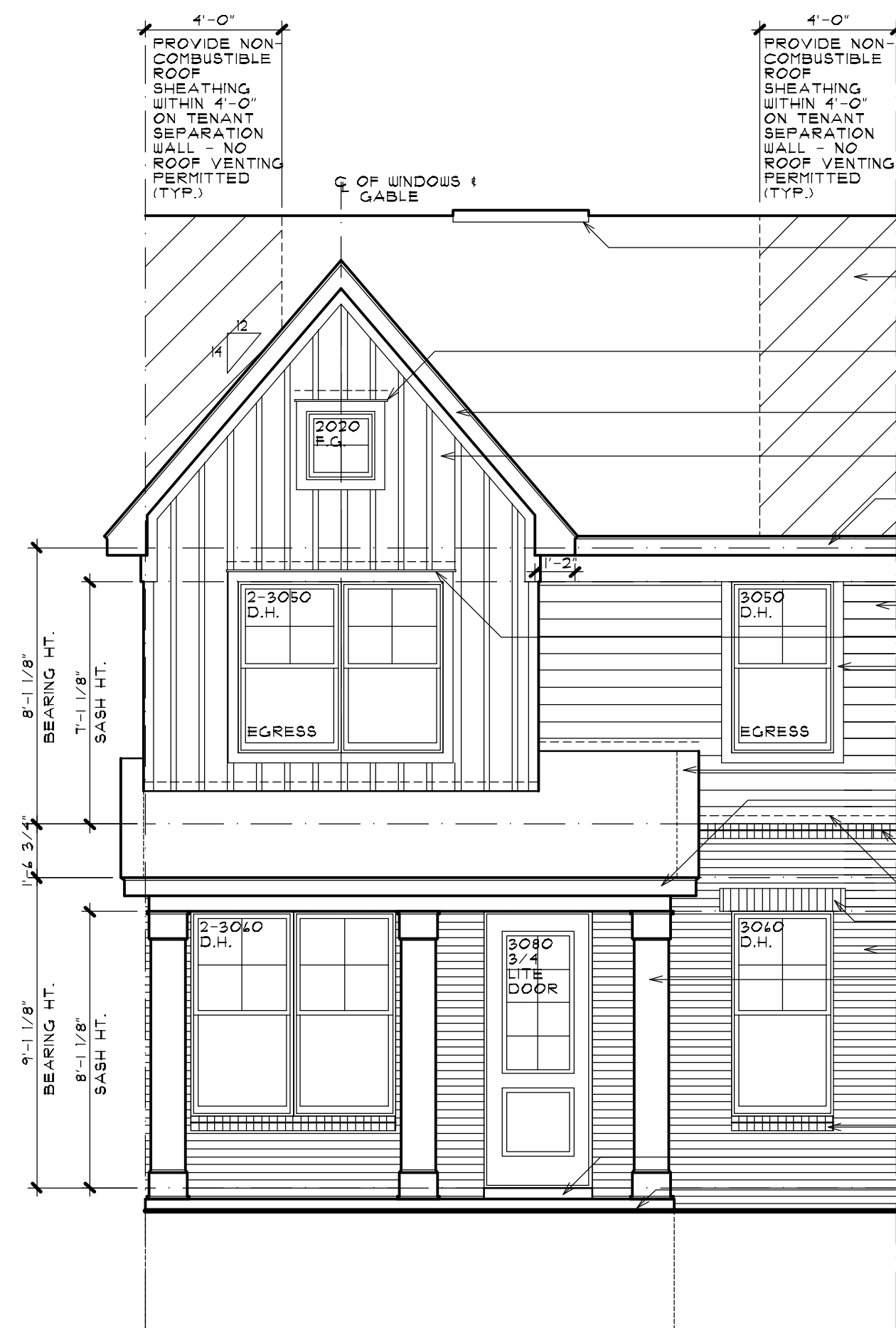
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'C'

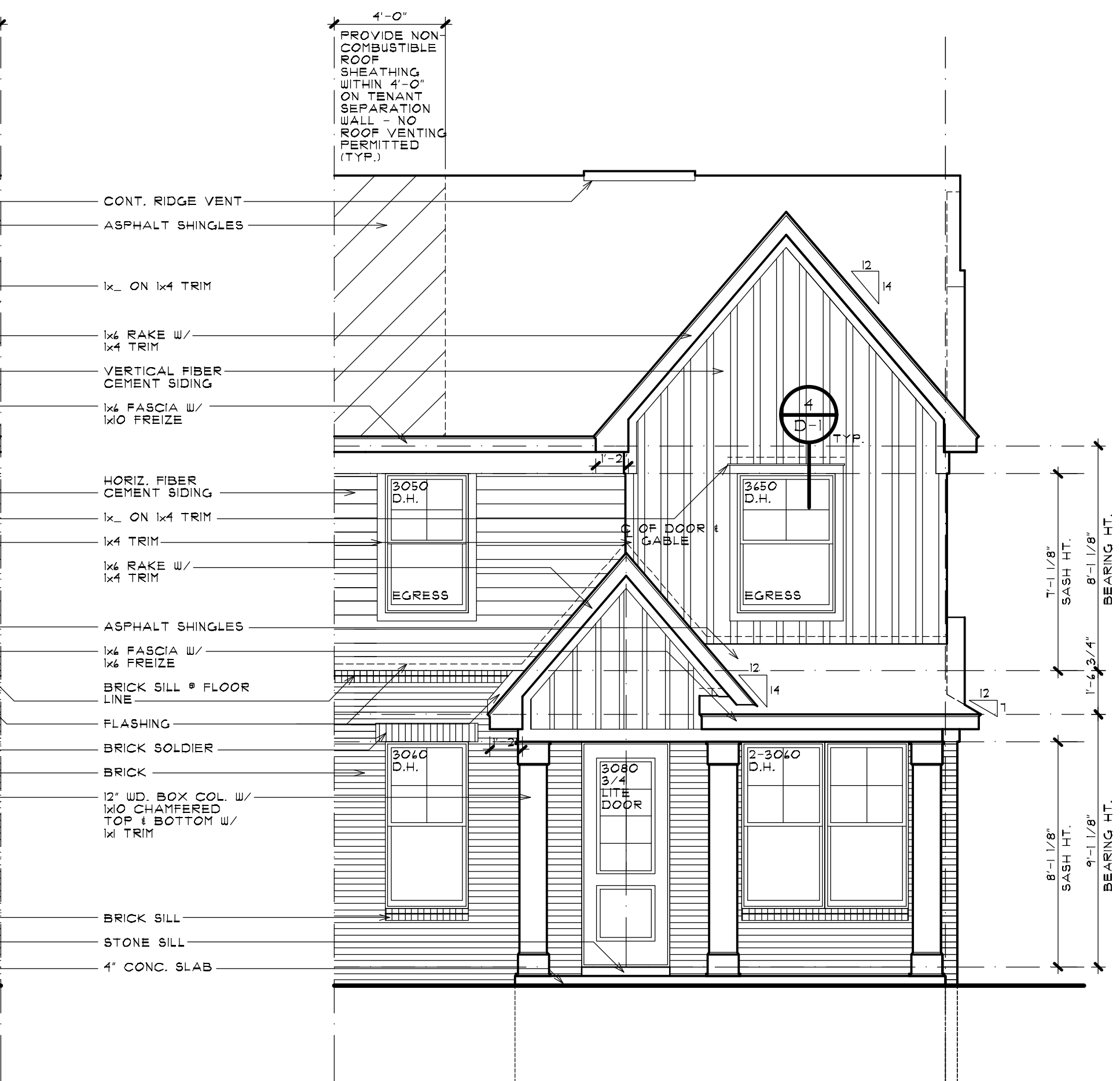
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'B'

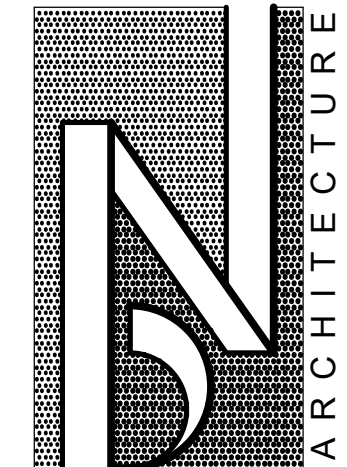
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'A'

SCALE: 1/4" = 1'-0"

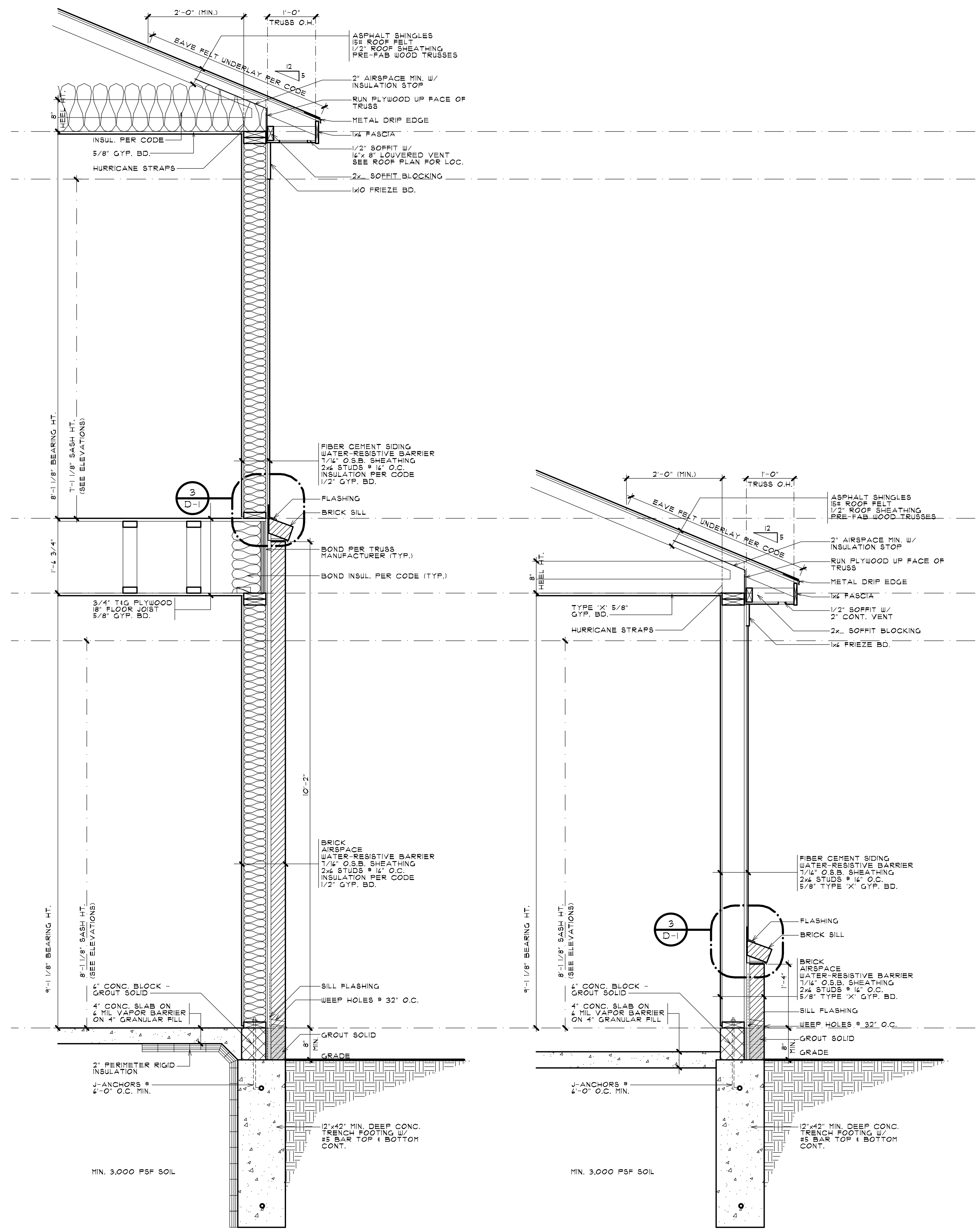


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SHEET TITLE  
**UNIT ELEVATIONS**  
**BUILDING TYPE 'A'**  
 PRELIMINARY

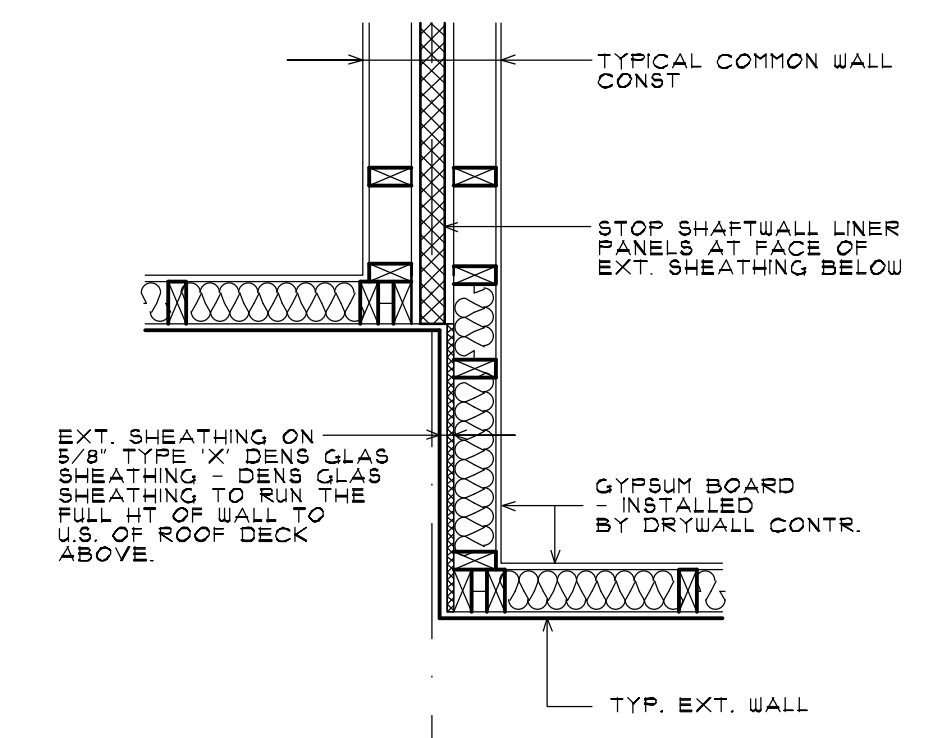
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**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
 TROY, MICHIGAN

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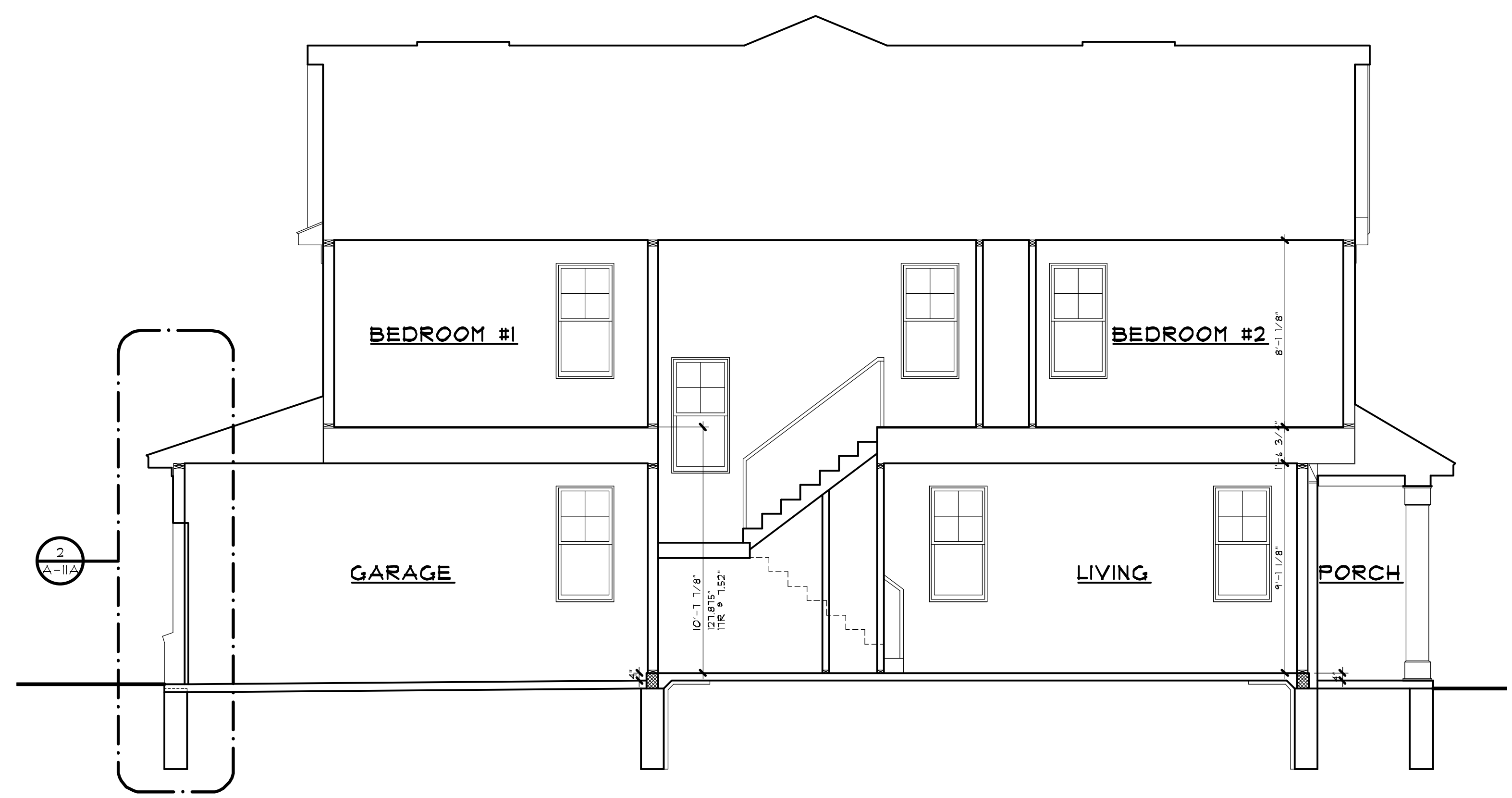


**3 WALL SECTION**  
 A-11A SCALE: 3/4" = 1'-0"

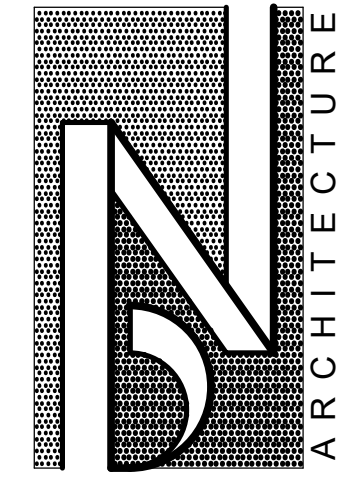
**2 WALL SECTION**  
 A-11A SCALE: 3/4" = 1'-0"



**4 WALL SECTION**  
 A-11A SCALE: 3/4" = 1'-0"



**1 BUILDING SECTION**  
 A-11A SCALE: 1/4" = 1'-0"



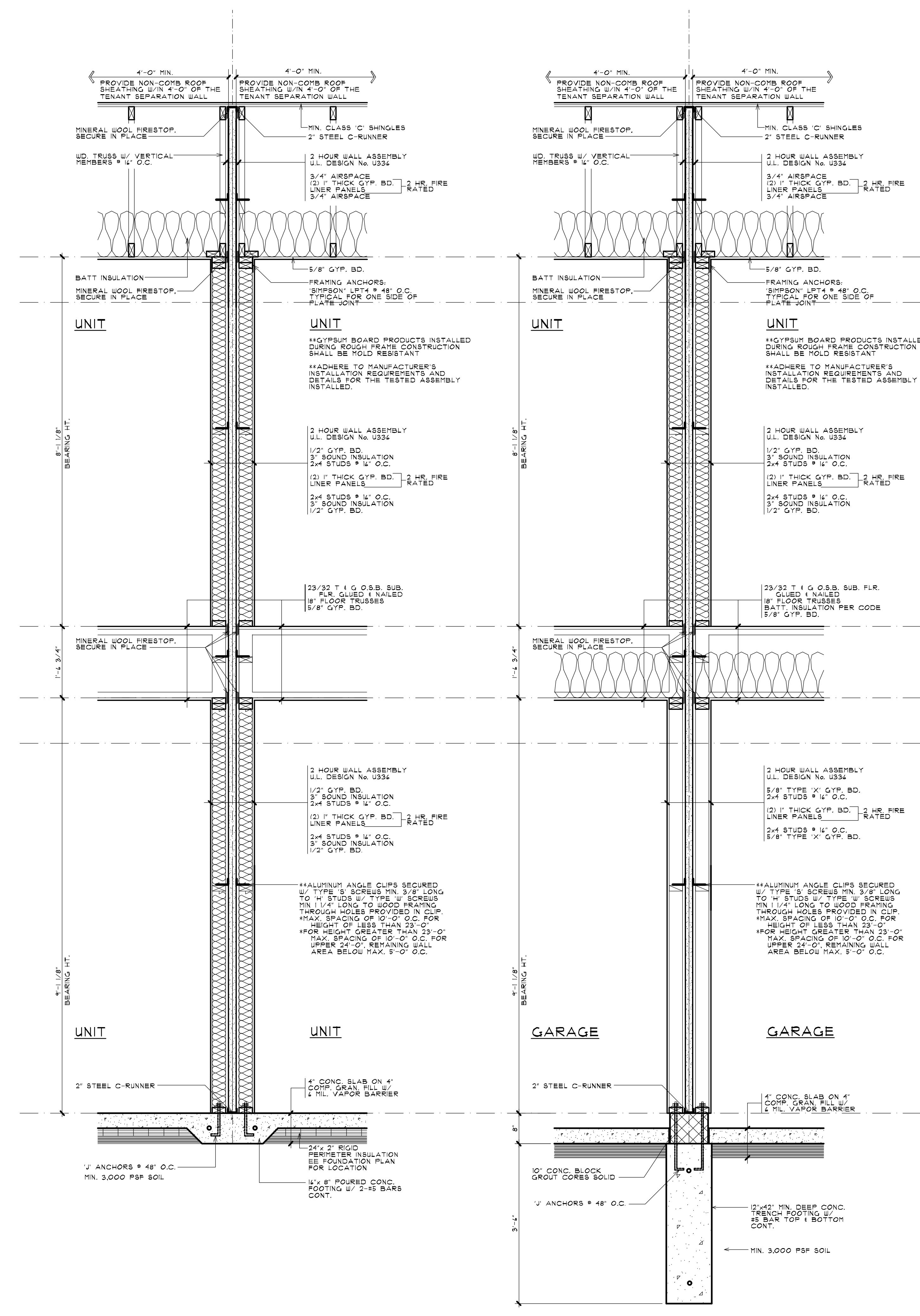
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SHEET TITLE  
**WALLS SECTIONS**  
**BUILDING TYPE 'A'**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
 TROY, MICHIGAN

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**A-12A**



**2 WALL SECTION**  
 A-12A SCALE: 3/4" = 1'-0"

**1 WALL SECTION**  
 A-12A SCALE: 3/4" = 1'-0"





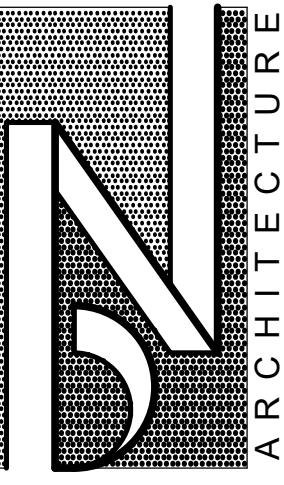
**FRONT ELEVATION - BUILDING TYPE 'A'**

5 - UNIT  
SCALE: 3/16" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 3/16" = 1'-0"



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SHEET TITLE  
**RENDERED FRONT BUILDING  
ELEVATIONS  
BUILDING TYPE 'A'  
PRELIMINARY**

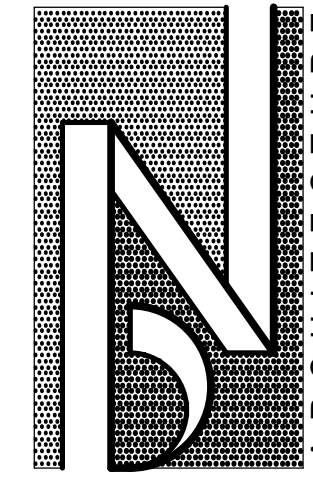
CLIENT / PROJECT  
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BUILDING TYPE 'A'  
TROY, MICHIGAN**

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PERMITS	
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**A-13A**



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# JOHN R. TOWNHOME DEVELOPMENT

## BUILDING TYPE 'B'

## TROY, MICHIGAN

### CODE SUMMARY

CODE:  
 2015 MICHIGAN RESIDENTIAL CODE: TOWNHOUSE OPTION

TENANT SEPARATION: 1 HOUR REQUIRED  
 2 HOUR PROVIDED

FIRE SUPPRESSION: N/A

TYPE 'A' DWELLING UNITS: N/A

TYPE 'B' DWELLING UNITS: N/A (MULTI-STORY DWELLING UNITS)

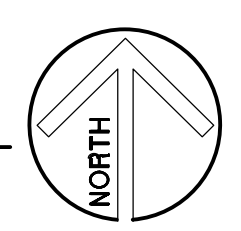
### SHEET INDEX

T-I	TITLE SHEET
ARCHITECTURAL DRAWINGS	
A-1B	O.A. BUILDING FOUNDATION PLAN - 4 UNIT
A-2B	O.A. BUILDING FIRST & SECOND FLOOR PLANS - 4 UNIT
A-3B	O.A. BUILDING ROOF PLAN - 4 UNIT
A-4B	O.A. BUILDING ELEVATIONS - 4 UNIT
A-5B	DWELLING UNIT PLANS
A-6B	UNIT ELEVATIONS
A-7B	BUILDING SECTION & EXTERIOR WALL SECTIONS
A-8B	INTERIOR WALL SECTIONS
A-9B	RENDERED FRONT ELEVATIONS



LOCATION MAP

NOT TO SCALE



ARCHITECT: \_\_\_\_\_

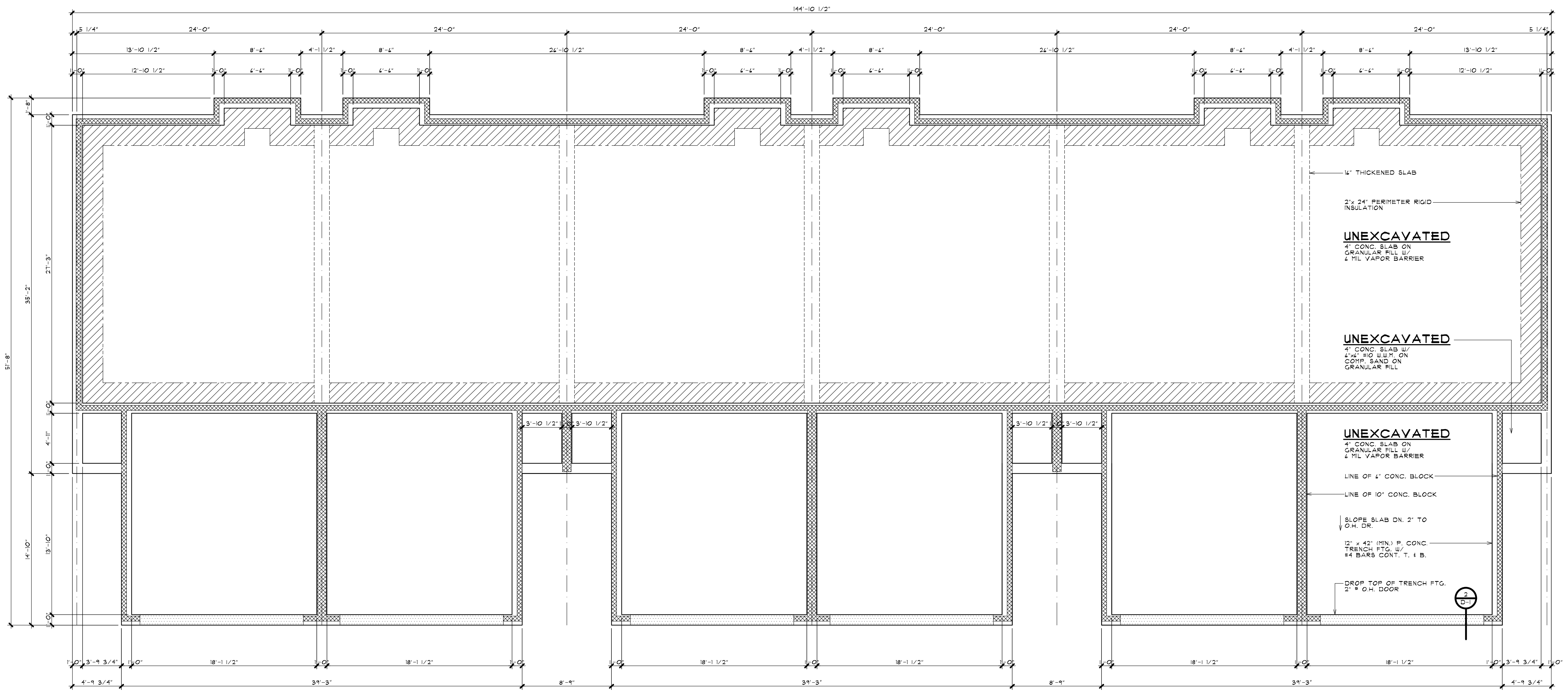
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 BIRMINGHAM, MICHIGAN 48009  
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SHEET TITLE  
**TITLE SHEET**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
**TROY, MICHIGAN**

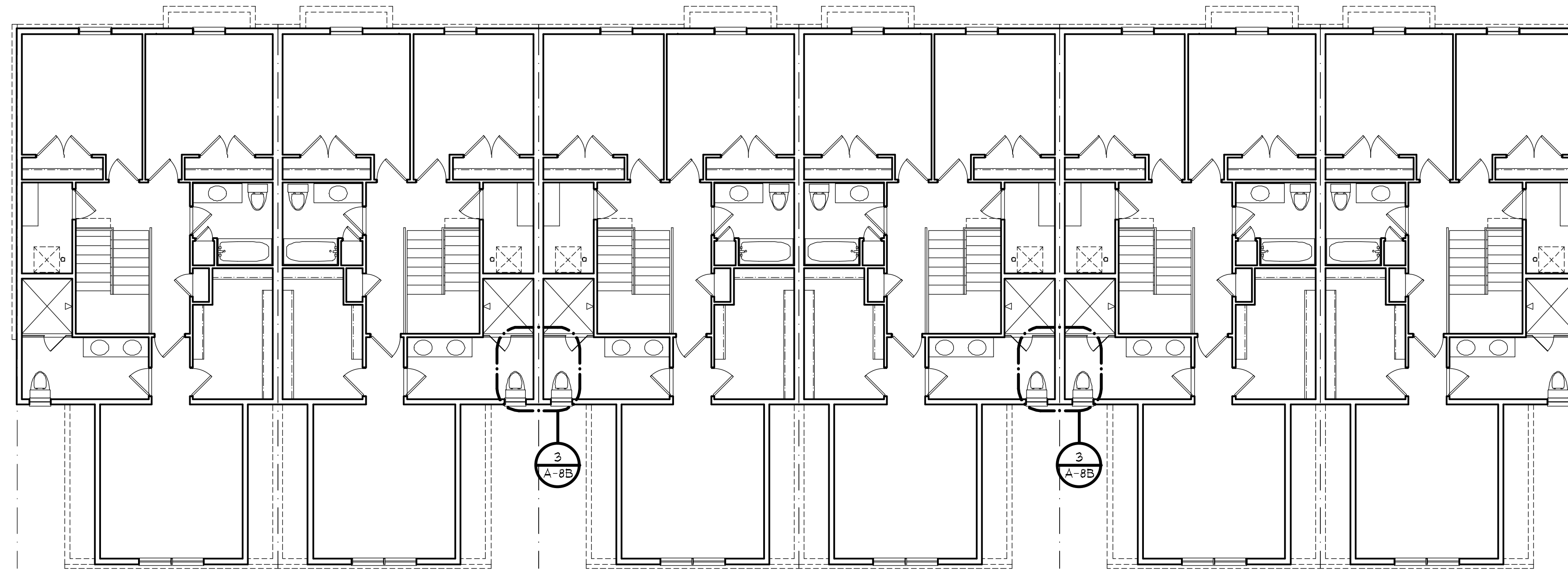
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<b>T-1</b>	

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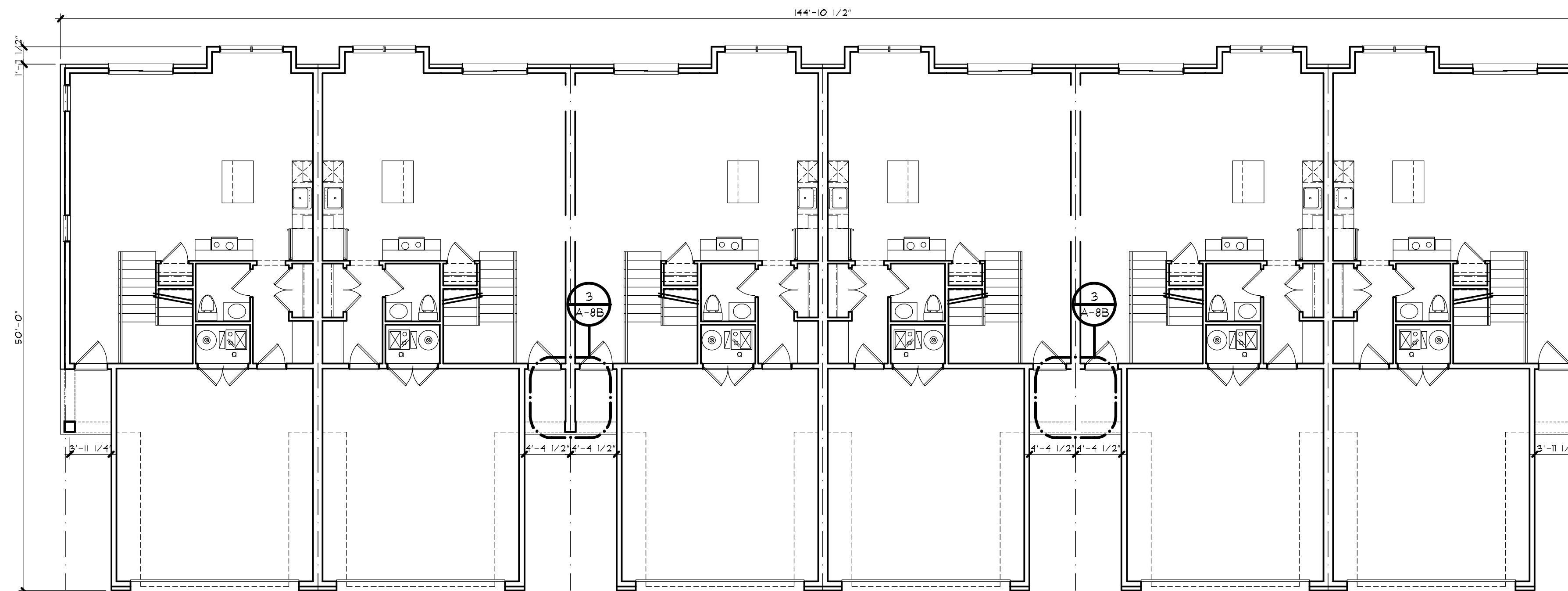
**FOUNDATION PLAN - BUILDING TYPE 'B'**

6 - UNIT  
 SCALE: 3/16" = 1'-0"



**SECOND FLOOR PLAN - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



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SHEET TITLE  
**1st & 2nd FLOOR PLANS**  
**BLDG. TYPE 'B' - 6 UNIT**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
TROY, MICHIGAN

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**A-2B**

**ROOF VENTING CALCULATIONS:**

**PROPOSED VENT AREA PER UNIT**  
 VENT AREA RATIO 1/150  
 ATTIC AREA = 1029 SQ.FT. (1/150)  
 VENT AREA = 4.9 SQ.FT. x 144 = 994 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 497 SQ.IN. EACH

**VENT AREA PROVIDED @ RIDGE**  
 CONT. RIDGE TYPE # 18 SQ.IN. PER FT. = 34 LIN.FT.  
 TOTAL VENTING AT RIDGE = 448 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 16"x 8" SOFFIT VENT # 50 SQ.IN. PER UNIT = 10 UNITS  
 TOTAL VENTING AT SOFFIT = 500 SQ.IN.

**PROPOSED VENT AREA PER UNIT @ LOWER ROOF (DINING)**  
 VENT AREA RATIO 1/150  
 ATTIC AREA = 17 SQ.FT. (1/150)  
 VENT AREA = 0.11 SQ.FT. x 144 = 16 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 8 SQ.IN. EACH

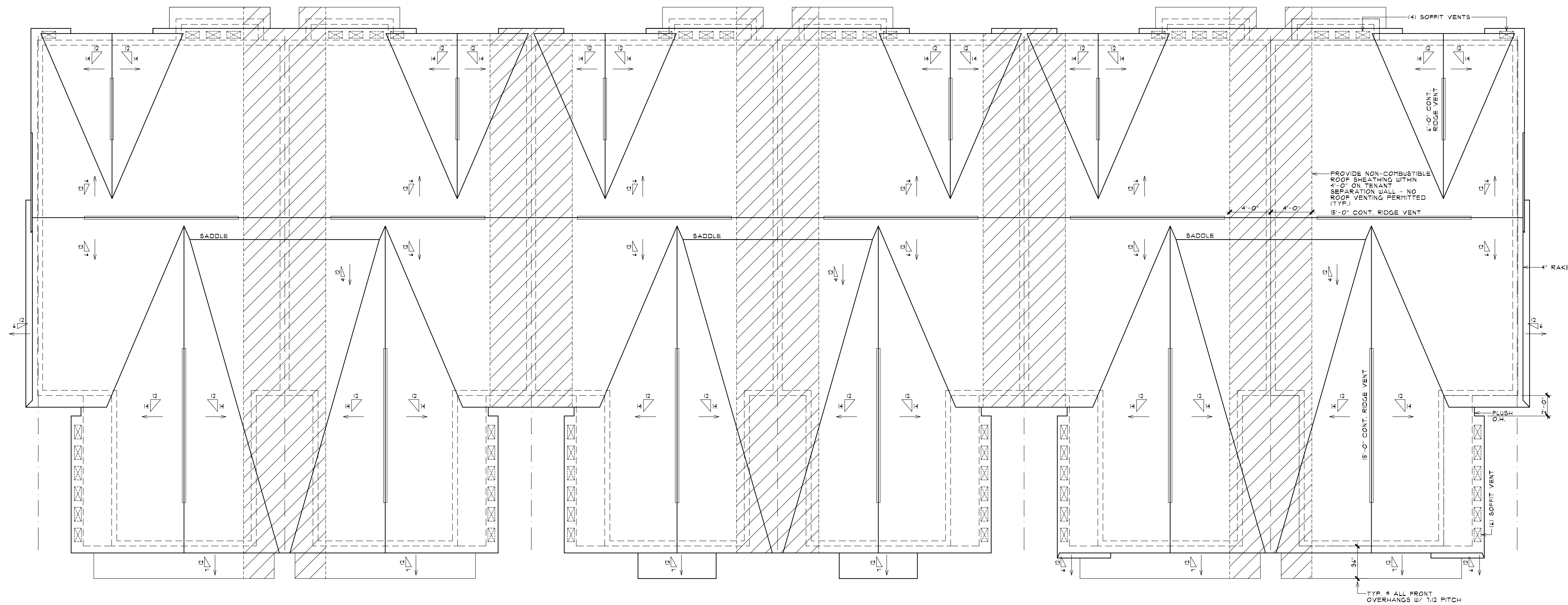
**VENT AREA PROVIDED @ RIDGE**  
 OMNI-WALL VENT # 9 SQ.IN. PER FT. = 2 LIN.FT.  
 TOTAL VENTING AT RIDGE = 18 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 CONTINUOUS SOFFIT TYPE # 9 SQ.IN. PER FT. = 2 LIN.FT.  
 TOTAL VENTING AT SOFFIT = 18 SQ.IN.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER DRAW FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 4" AT SIDING.



**ROOF PLAN - BUILDING TYPE 'B'**

6 - UNIT  
 SCALE: 3/16" = 1'-0"



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SHEET TITLE  
**ROOF PLAN**  
**BLDG. TYPE 'B' - 6 UNIT**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
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**A-3B**



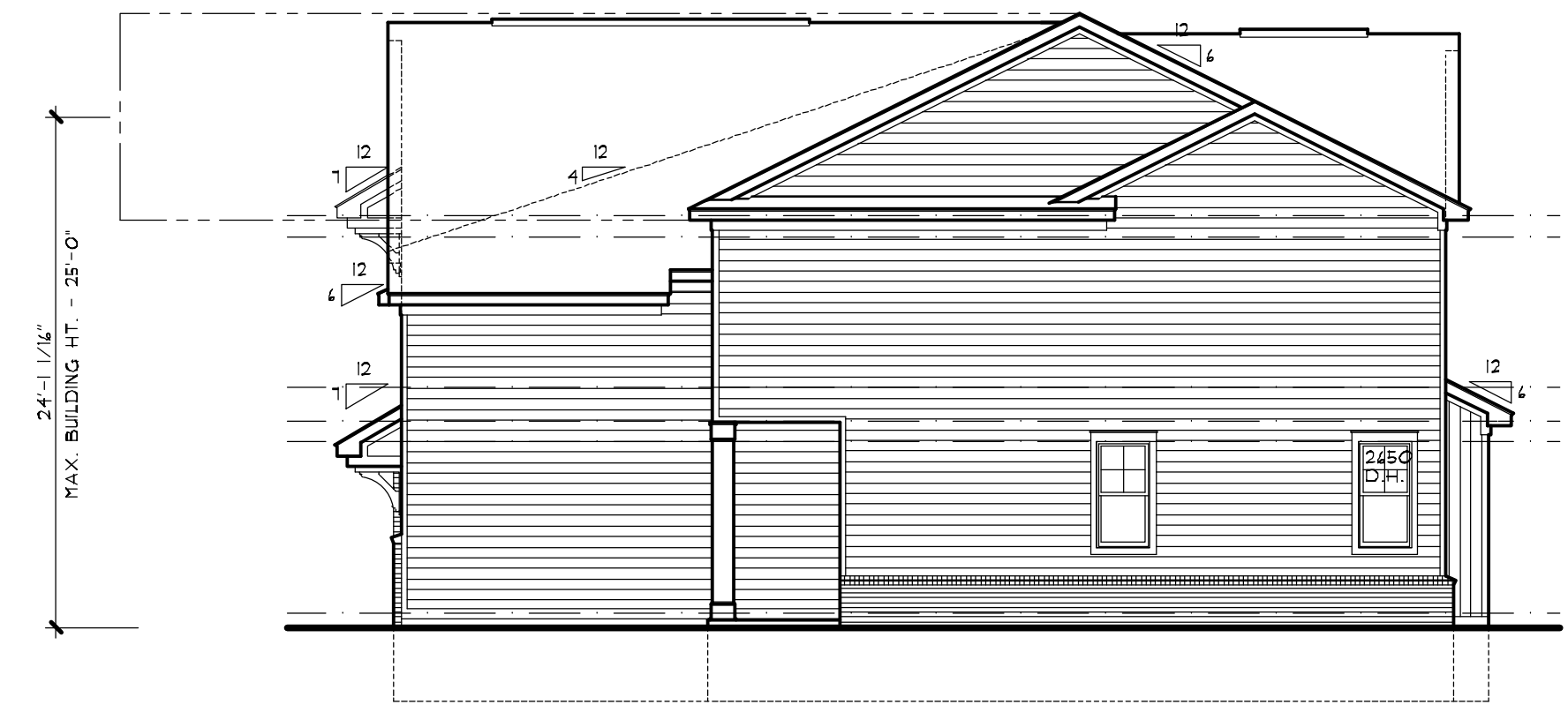
**REAR ELEVATION - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

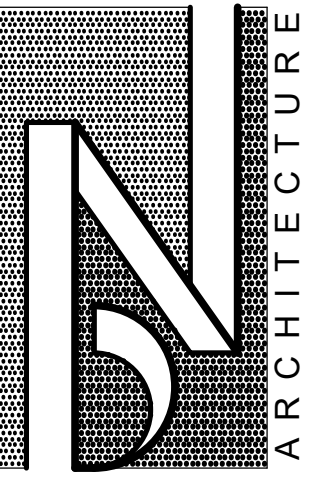


**FRONT ELEVATION - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 1/8" = 1'-0"

- ASPHALT SHINGLES
- 1/4" RAKE W/ 1/4" TRIM
- VERTICAL SIDING
- 1/4" FSCIA W/ 1/4" FRIEZE
- 1/4" TRIM W/ 1/4" TOP 1 1/4" TRIM
- HORIZ. SIDING
- 1/4" TRIM
- VERTICAL SIDING
- BRICK SILL
- BRICK

- ASPHALT SHINGLES
- 1/4" RAKE W/ 1/4" TRIM
- VERTICAL SIDING
- 1/4" FSCIA W/ 1/4" FRIEZE
- 1/4" TRIM W/ 1/4" TOP 1 1/4" TRIM
- HORIZ. SIDING
- BRICK SOLDIER
- 1/4" TRIM
- DEC. WD. BRACKET
- 12" WD. BOX COL.
- BRICK SILL
- BRICK



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SHEET TITLE  
**O.A. BUILDING ELEVATIONS**  
**BUILDING TYPE 'B' 6-UNIT**  
 PRELIMINARY

CLIENT / PROJECT  
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**BUILDING TYPE 'B'**  
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<b>A-4B</b>	

**STRUCTURAL NOTES:**

(2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUD UNLESS NOTED OTHERWISE.  
 (2) 2x10 LARGER HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.  
 ALL PRE-ENGINEERED HEADERS FRAMED PERPENDICULAR TO WALL LINE SHALL BEAR ON REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL.  
 ALL PRE-ENGINEERED HEADERS FRAMED PARALLEL TO WALL LINE SHALL BEAR ON A MINIMUM (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.  
 ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT-UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS. ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.  
 ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLYS, WHICH EVER IS GREATER.  
 TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL No. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.  
 CARPENTER CONTRACTOR TO INSTALL NAIL SIZES I NUMBER REQ'D. AS SPECIFIED FOR EACH TYPE OF HANGER.  
 LVL DESIGN VALUES FOR MODULUS OF ELASTICITY ( E ) SHALL BE 2000000 PSI ( 2.0 E )

**WALL DIMENSION NOTE:**  
 ALL WALL DIMENSIONS ARE TO THE ROUGH. INTERIOR PARTITIONS ARE 1/2" (2x4) UNLESS NOTED OR DIMENSIONED OTHERWISE. EXTERIOR FRAME WALLS INCLUDE 1/2" NOMINAL DIMENSION FOR EXTERIOR SHEATHING. EXTERIOR FRAME WALLS ARE 4" (2x4) UNLESS NOTED OR DIMENSIONED OTHERWISE. BRICK OR STONE EXTERIOR WITH AIR SPACE IS 4 1/2" UNLESS NOTED OR DIMENSIONED OTHERWISE.

**TRUSS NOTES:**

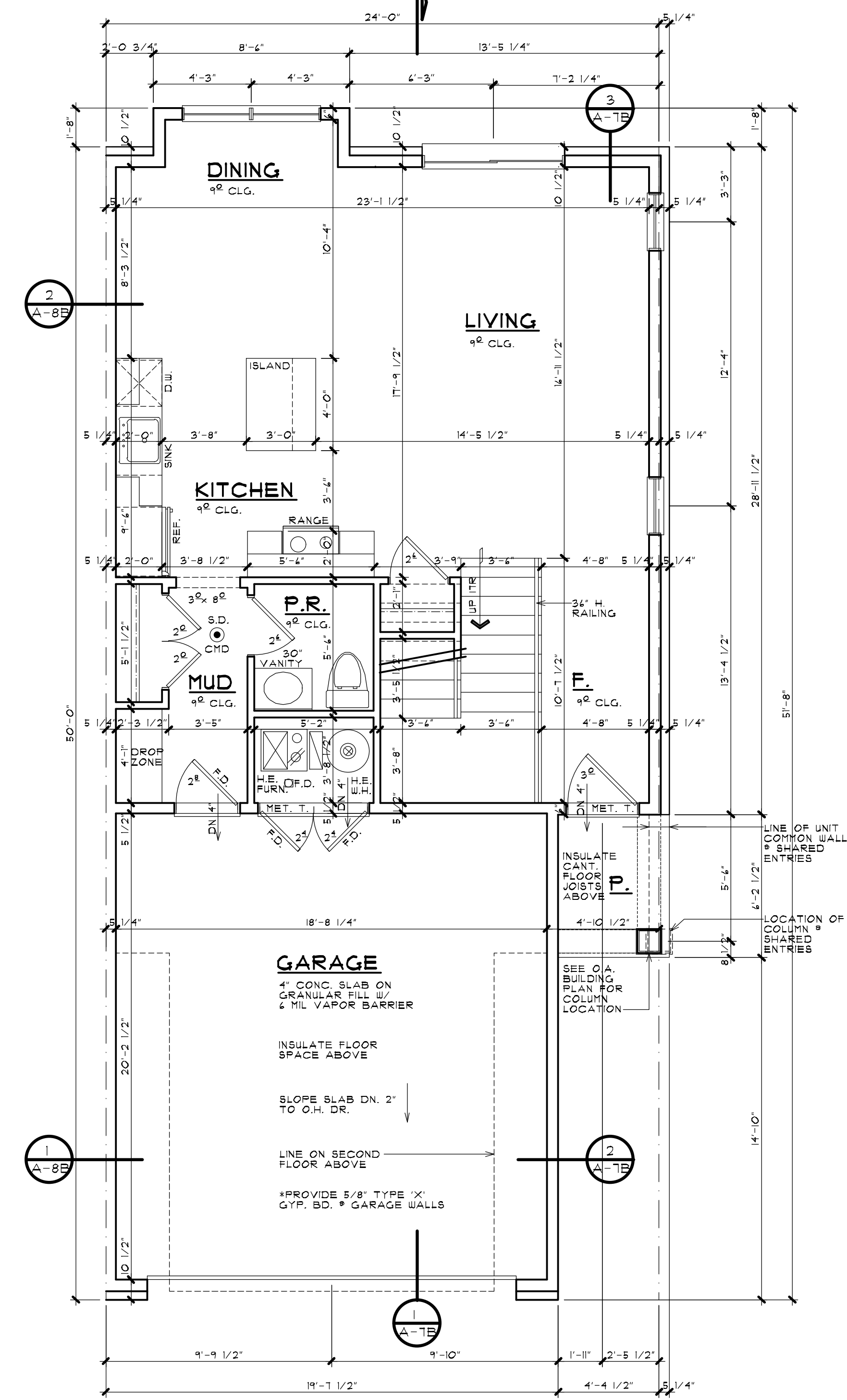
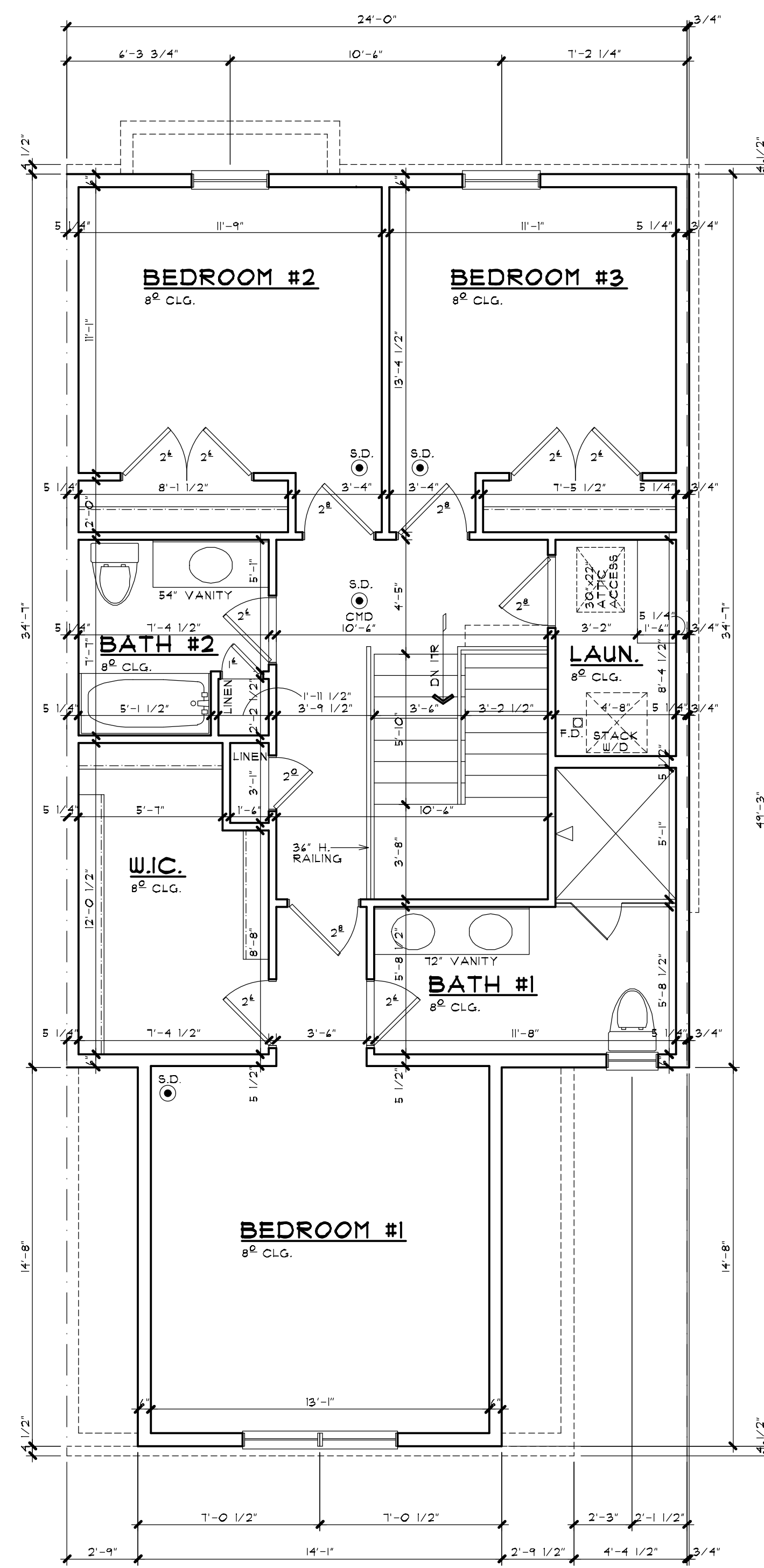
FLOOR TRUSS MANUFACTURER TO DESIGN FOR ADDITIONAL DEAD LOAD OF NON-BEARING DOUBLE STUD WALLS) AND STAGGER STUD WALLS) CONSTRUCTION.  
 PROVIDE VERTICAL BLOCKING @ TRUSS WEB AREA IF THERE IS SOLID BLOCKING ON THE FLOOR ABOVE.  
 ALL STRUCTURAL MEMBERS WHICH ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND WHICH SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ROOF, OR SUPPORT A LOADBEARING WALL OR A NONLOADBEARING WALL MORE THAN TWO STORES IN HEIGHT, SHALL BE INDIVIDUALLY PROTECTED ON ALL SIDES FOR THE FULL LENGTH OR HEIGHT WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.

**ELECTRICAL NOTES:**

ALL RECESSED LIGHT ARE TO BE IC (INSULATION CONTACT) RATED.  
 ALL RECESSED FIXTURES ARE TO BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.  
 PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR ALL 125-VOLT SINGLE-PHASE 15- AND 20-AMPERE RECEPTACLES INSTALLED IN GARAGES AND UNFINISHED BASEMENTS AREAS EXCEPT THOSE FOR FIRE OR BURGLAR ALARM SYSTEMS.  
 A MINIMUM OF 75% OF ALL PERMANENTLY INSTALLED LIGHTING FIXTURES MUST USE CFL BULBS OR OTHER HIGH EFFICIENCY LAMPS.  
 ALL INTERIOR TREADS AND LANDINGS MUST BE ILLUMINATED WITH NOT LESS THAN 1 FOOT CANDLE.  
 EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP OF THE LANDING.

**MICHIGAN UNIFORM ENERGY CODE**  
 BUILDERS OPTIONS FOR COMPLIANCE: **CLIMATE ZONE 5A**

- A) PROVIDE INSULATION AND PERFORMANCE VALUES AS PRESCRIBED IN SECTION 302 (PRESCRIPTIVE) 2004 M.U.E.C.
- | EXTERIOR ENCLOSURE  | VALUE  |
|---|--------|
| WALL ASSEMBLIES   | R-20   |
| ROOF / CEILING  | R-38   |
| SLAB ON GRADE   | R-10   |
| CRAWL SPACE WALL (CONTINUOUS)                                 | R-10   |
| CRAWL SPACE WALL (CAVITY)                                     | R-13   |
| BASEMENT WALL (CONTINUOUS)                                    | R-10   |
| BASEMENT WALL (CAVITY)  | R-13   |
| PENETRATION / OPENINGS  | U-0.35 |
| AREA WEIGHTED AVERAGE OF THE TOTAL AREA OF PENETRATION UNITS) | R-2.85 |
- † SEE TABLE 402.1.1 FOR FOOTNOTES
- B) PROVIDE A SIMULATED ENERGY PERFORMANCE ANALYSIS (BY OTHERS) AS PRESCRIBED IN SECTION 405 (PERFORMANCE). PROVIDE INSULATION AND PENETRATION VALUES AS REQUIRED.



**SQUARE FOOTAGE**

1ST FLOOR	650 SQ FT
2ND FLOOR	1,031 SQ FT
TOTAL	1,681 SQ FT



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SHEET TITLE  
**DWELLING UNIT PLANS**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
 BUILDING TYPE 'B'  
 TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	
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**WINDOW SILLS**

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2094 OR F 2090.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER Dwg. FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 1" AT SIDING.

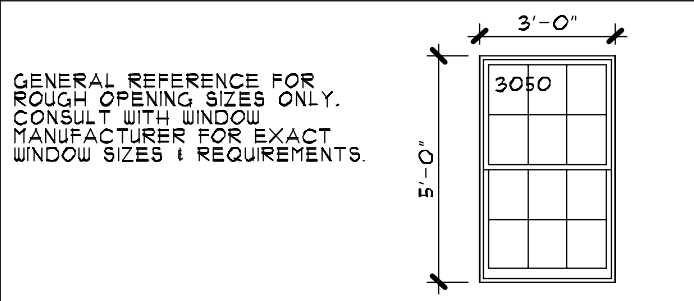
**STEEL LINTEL SCHEDULE**

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	4" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.  
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF CORROSIVE RESISTANT PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

**TYP. WINDOW DESIGNATION**

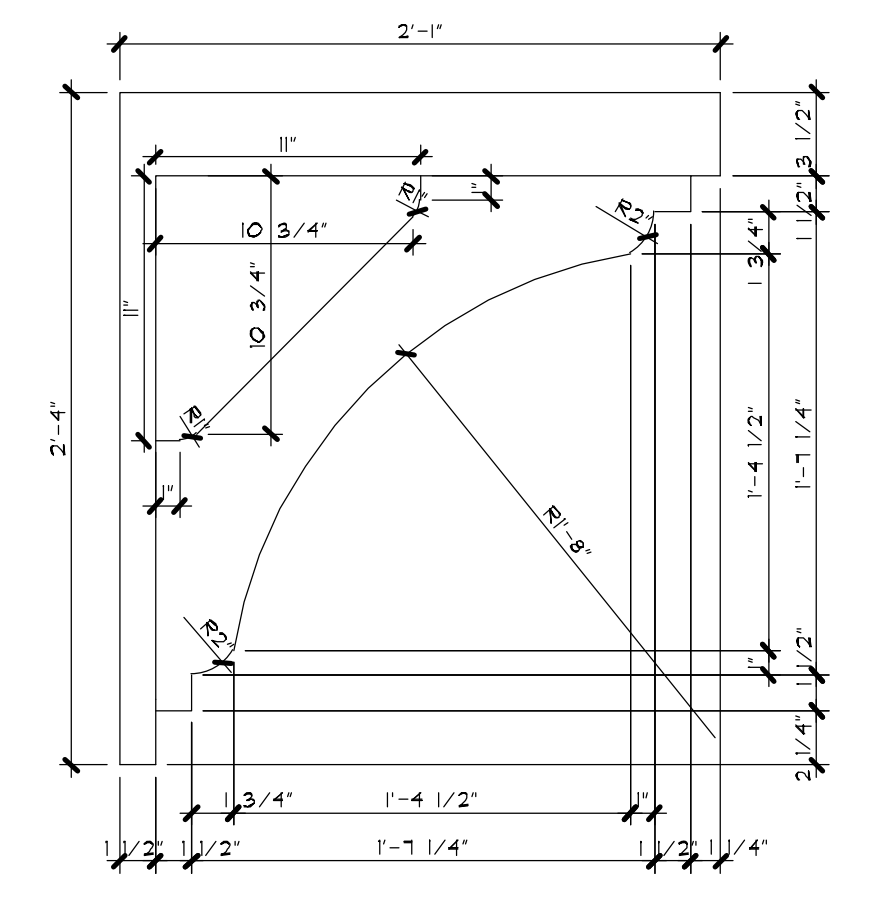


**EGRESS WINDOW**

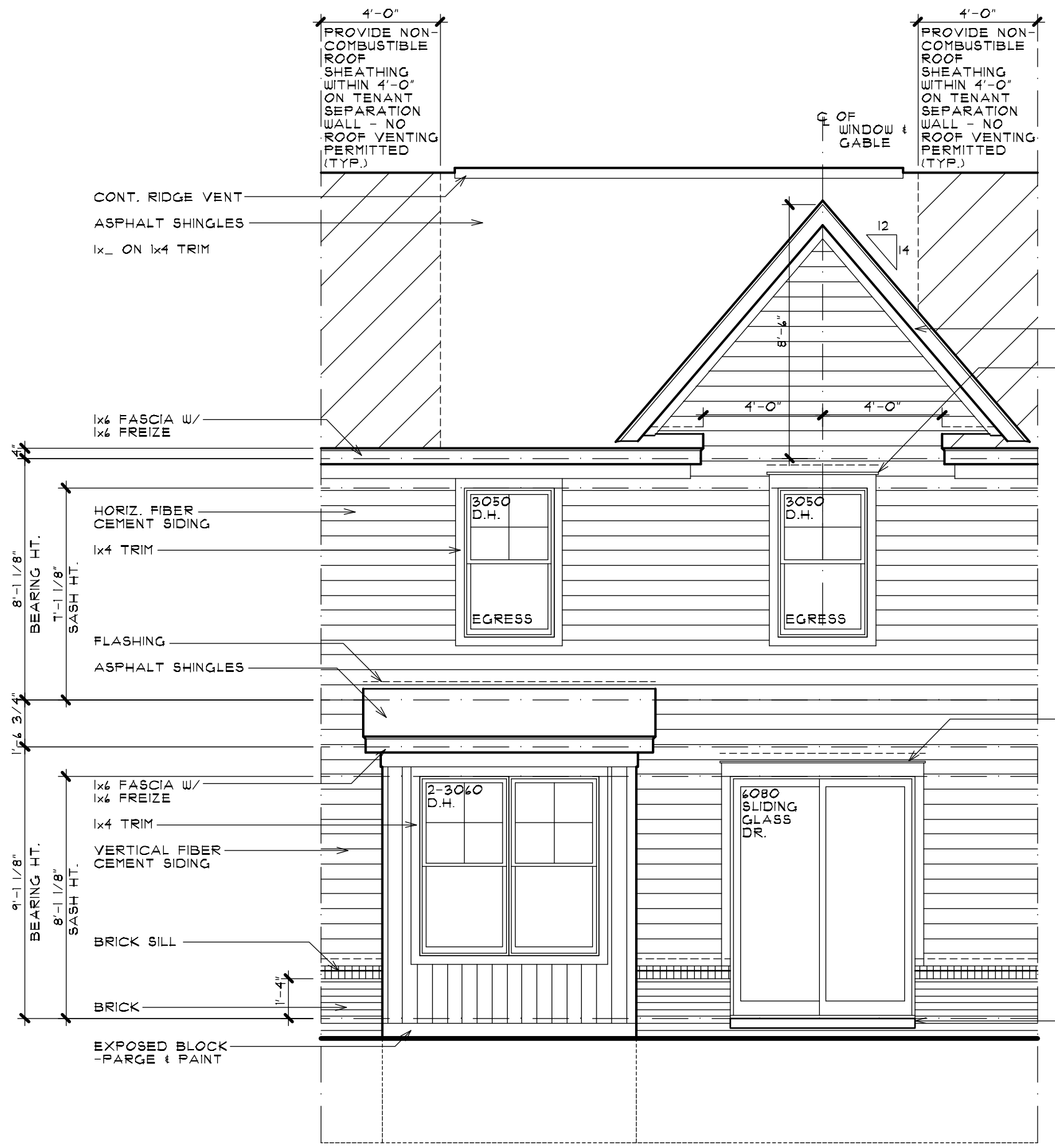
EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

**GENERAL NOTES**

1. BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.
2. TRUSS DESIGNER/FABRICATOR SEE SHEET N-2 FOR ADDITIONAL NOTES & INFORMATION.
3. DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
4. SEE CIVIL ENGINEER'S DWG. FOR ALL FINAL A/C UNIT, ELECTRICAL METER & GAS METER LOCATIONS.

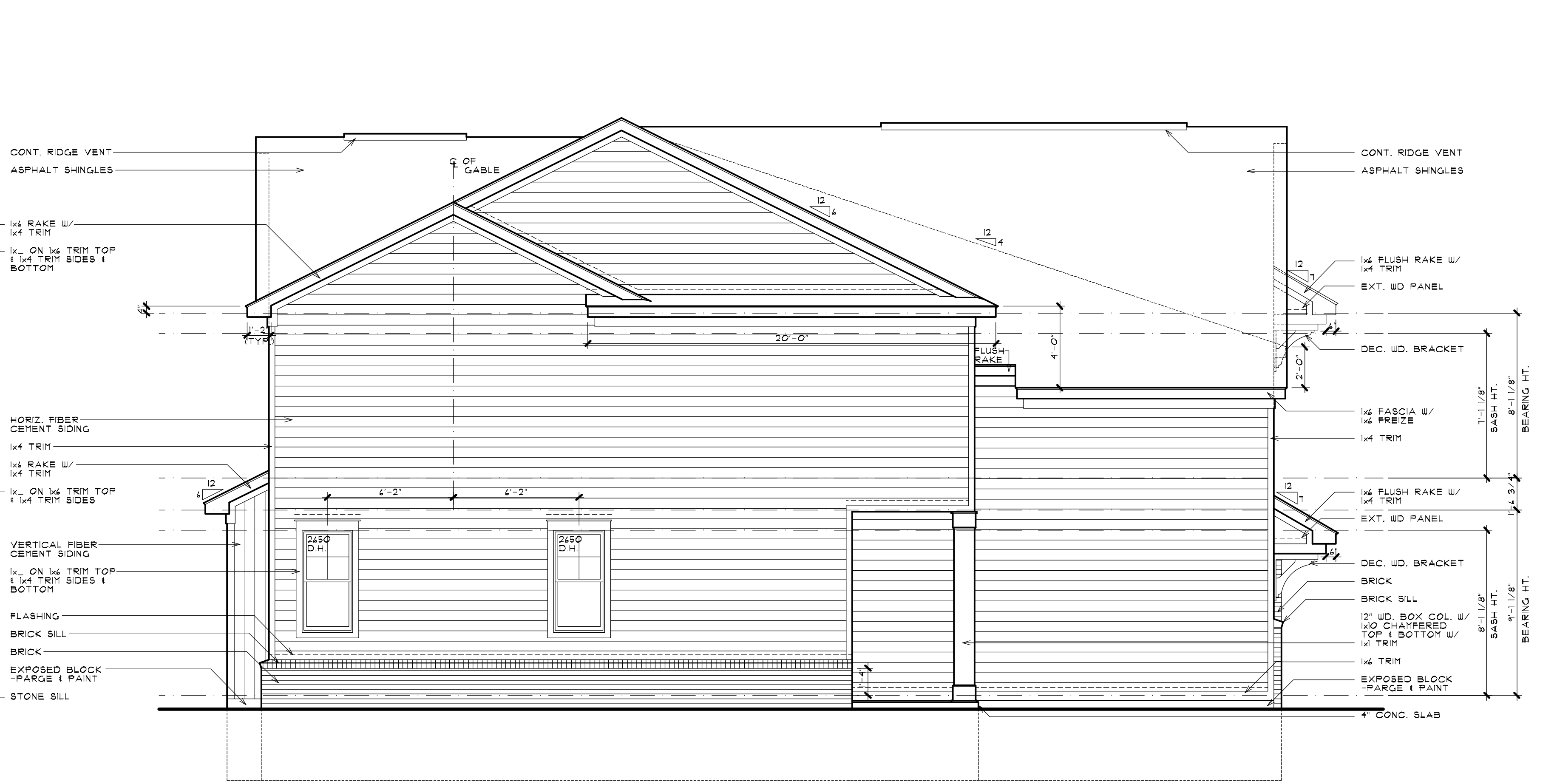


**BRACKET DETAIL**  
SCALE: 1 1/2" = 1'-0"



**REAR ELEVATION**

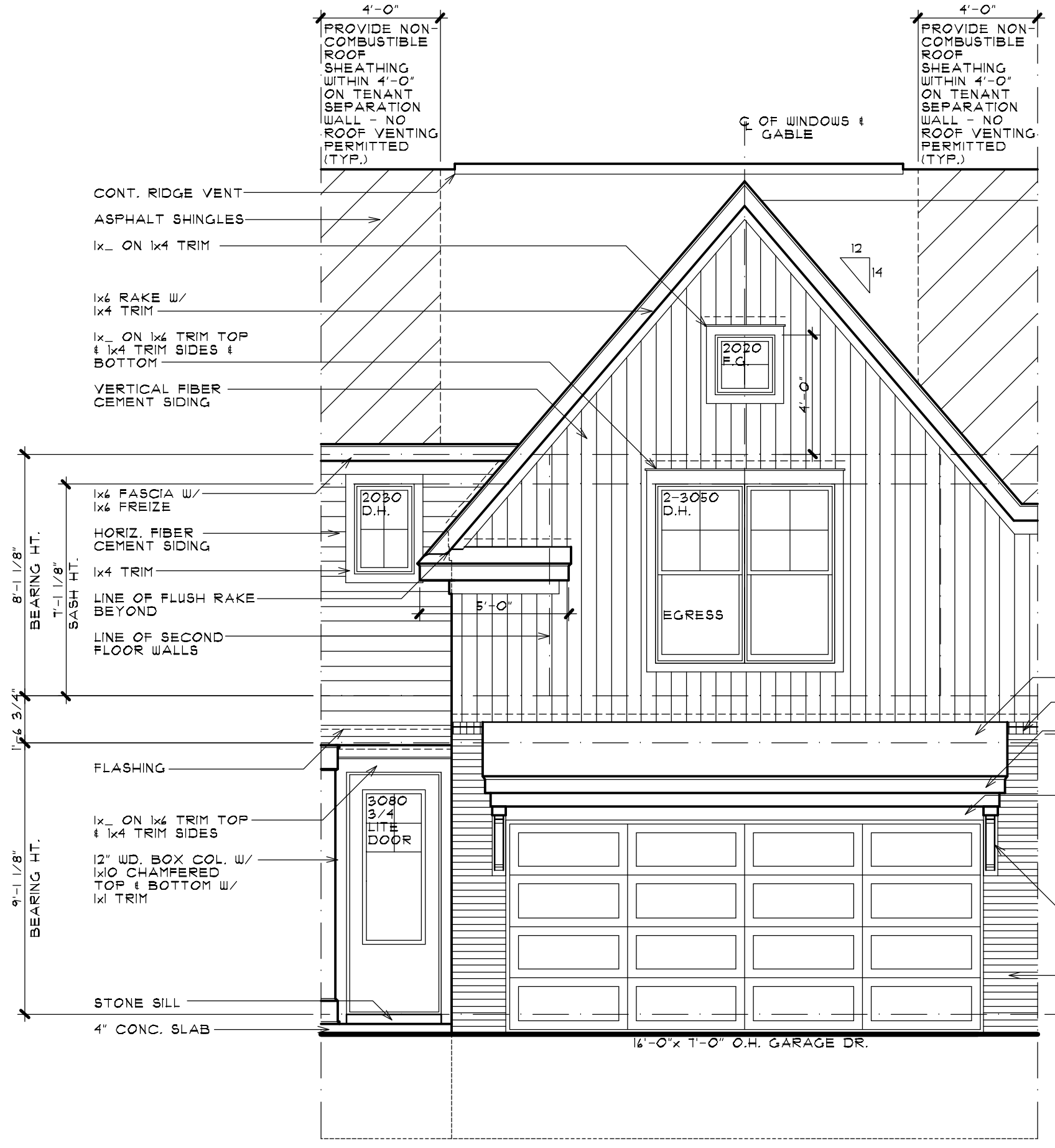
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

RIGHT SIDE OPPOSITE HAND

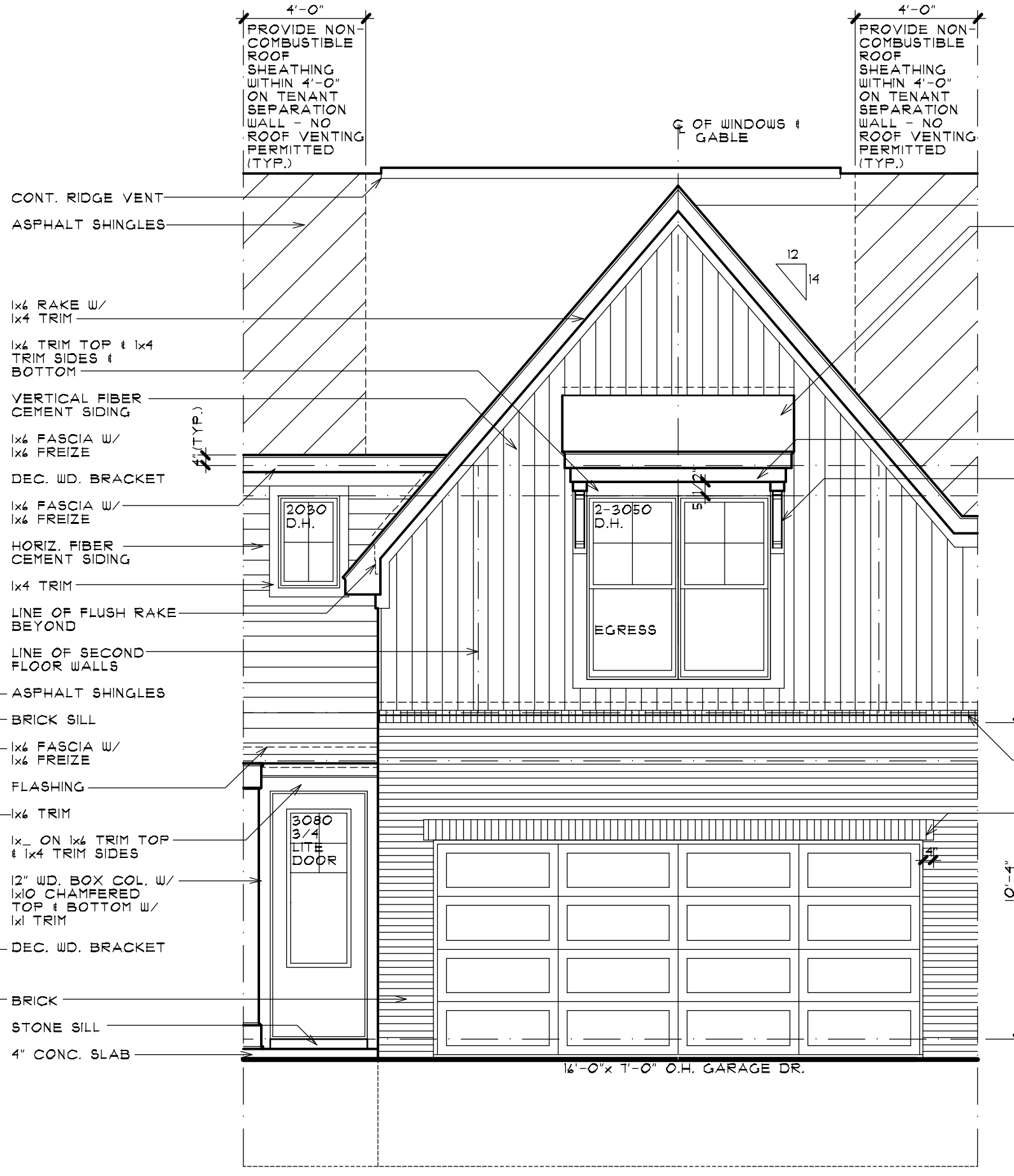
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'C'

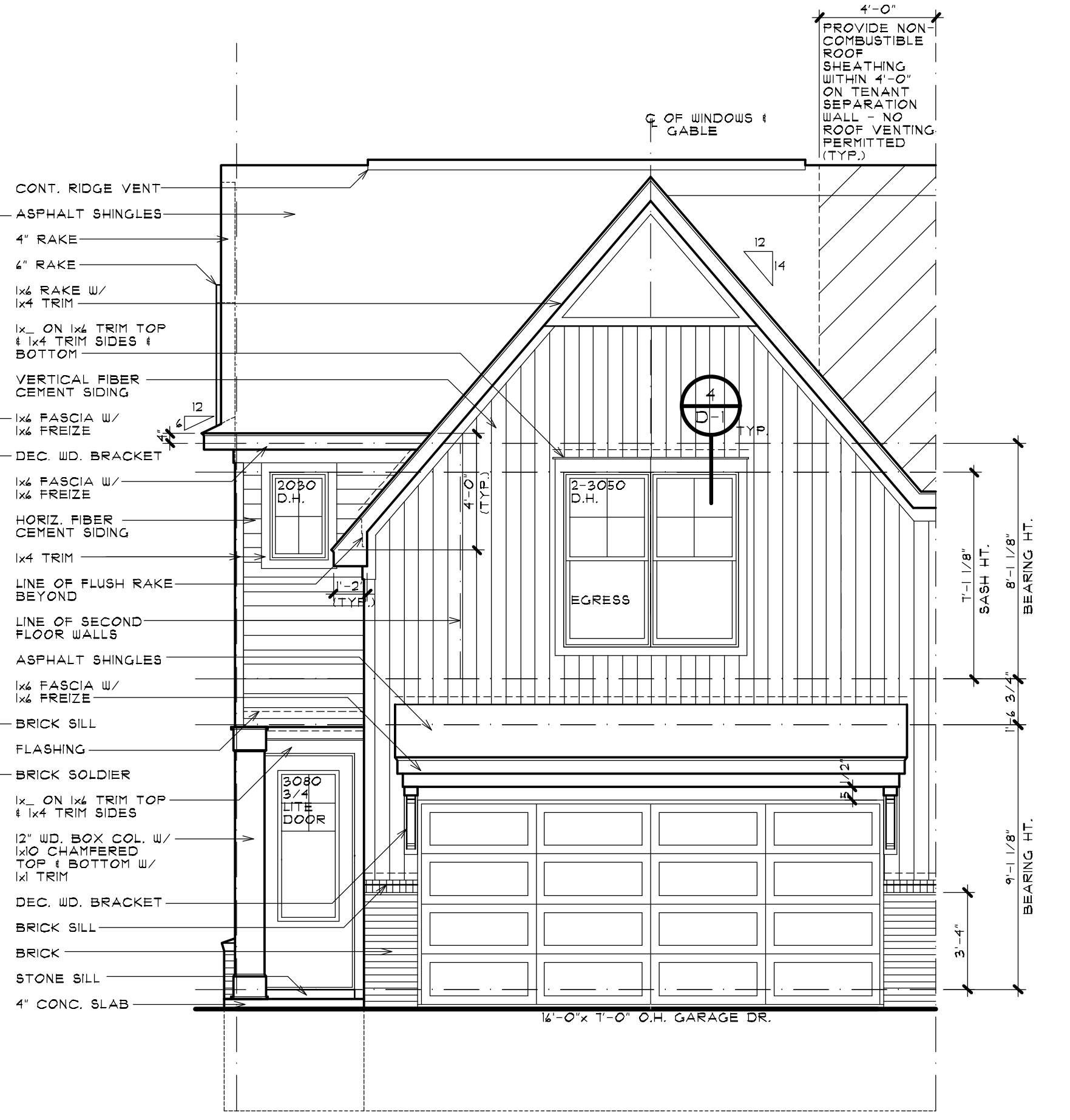
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'B'

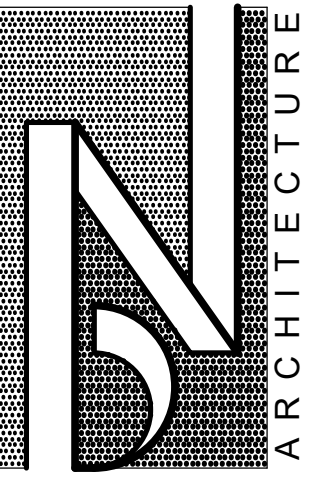
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'A'

SCALE: 1/4" = 1'-0"



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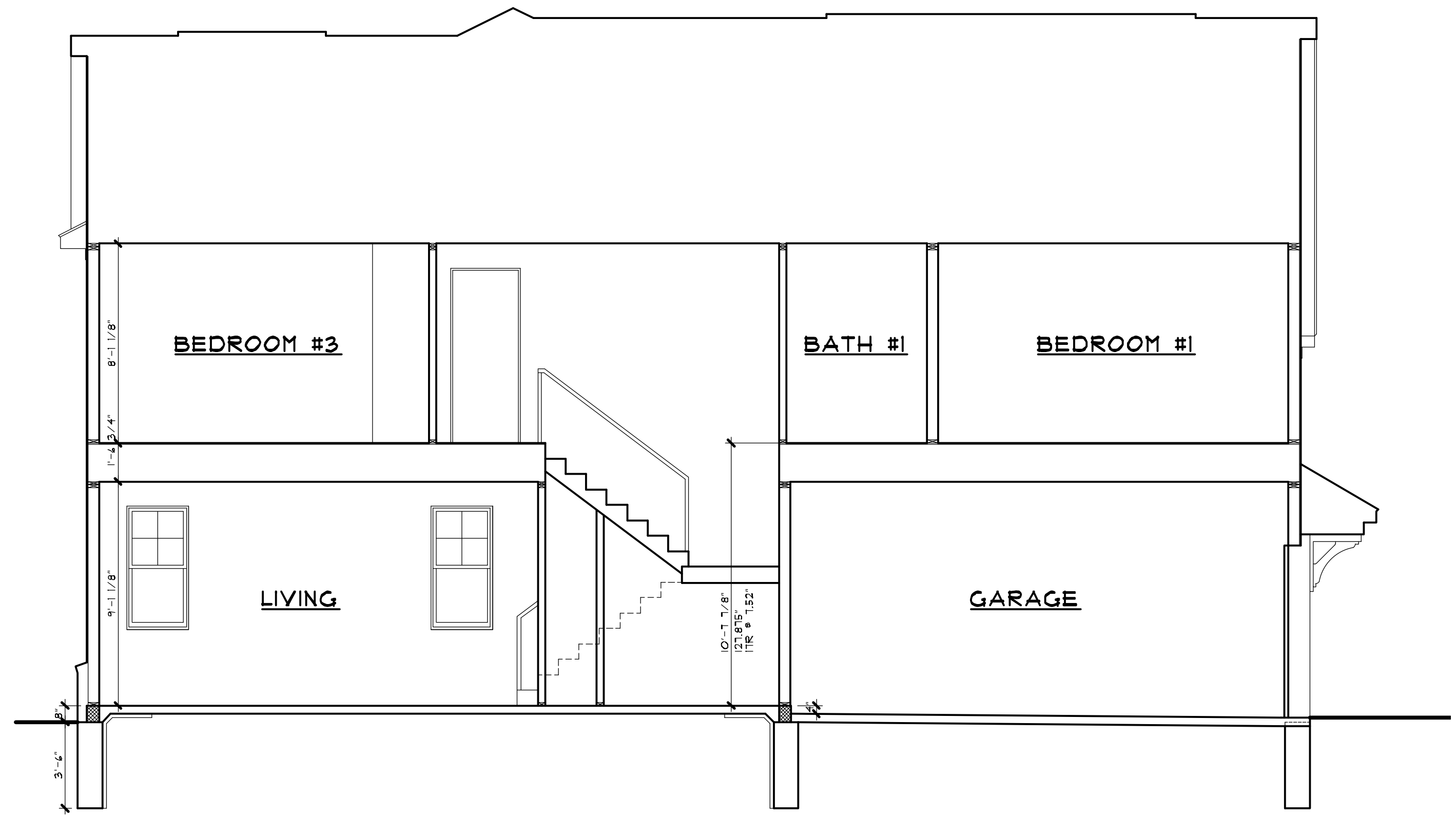
SHEET TITLE  
**UNIT ELEVATIONS**  
**BUILDING TYPE 'B' 6-UNIT**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
TROY, MICHIGAN

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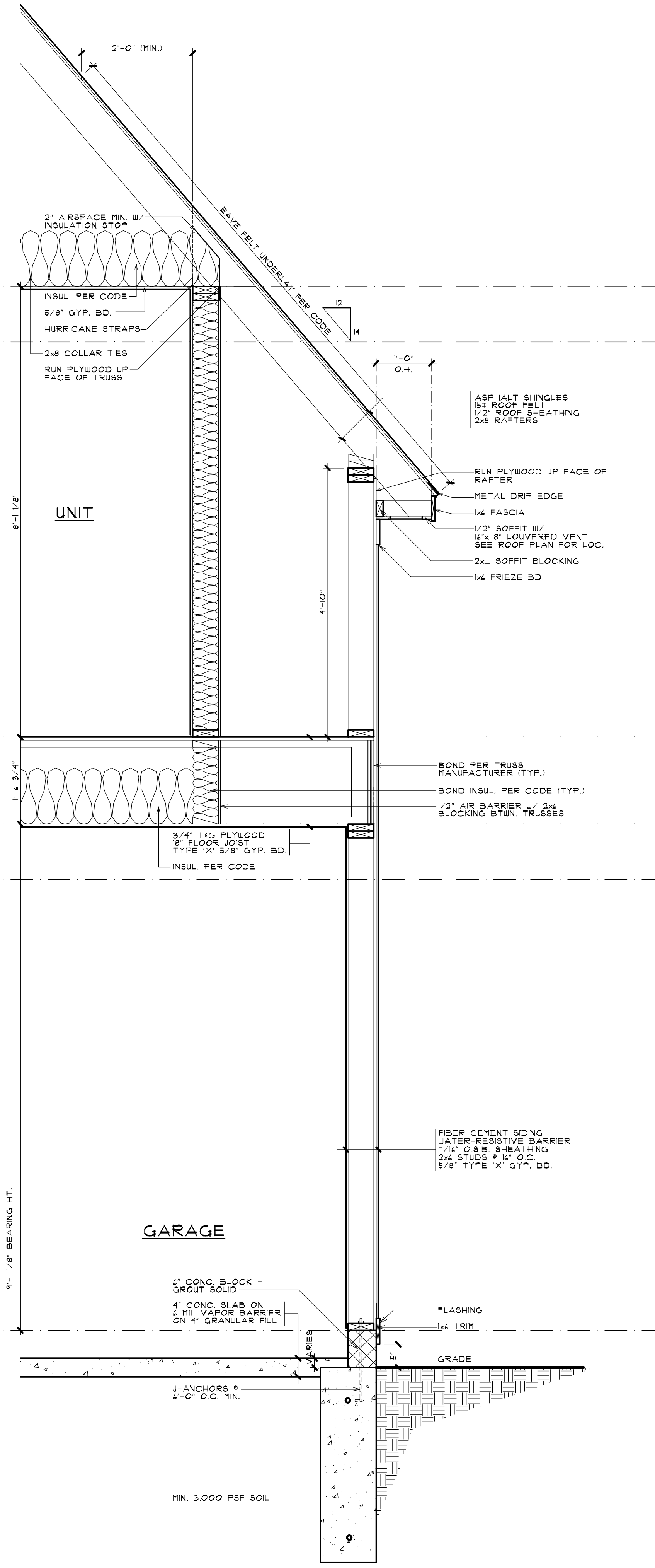


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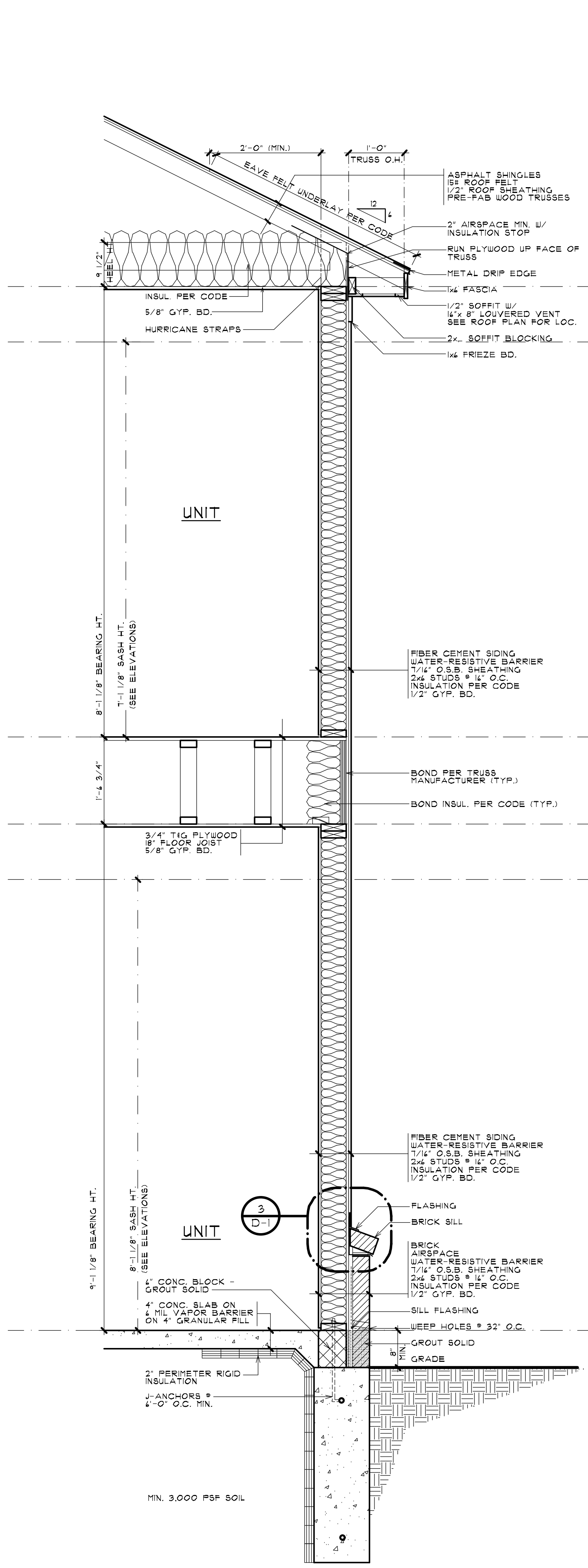
**1 BUILDING SECTION**  
 A-7B

SCALE: 1/4" = 1'-0"



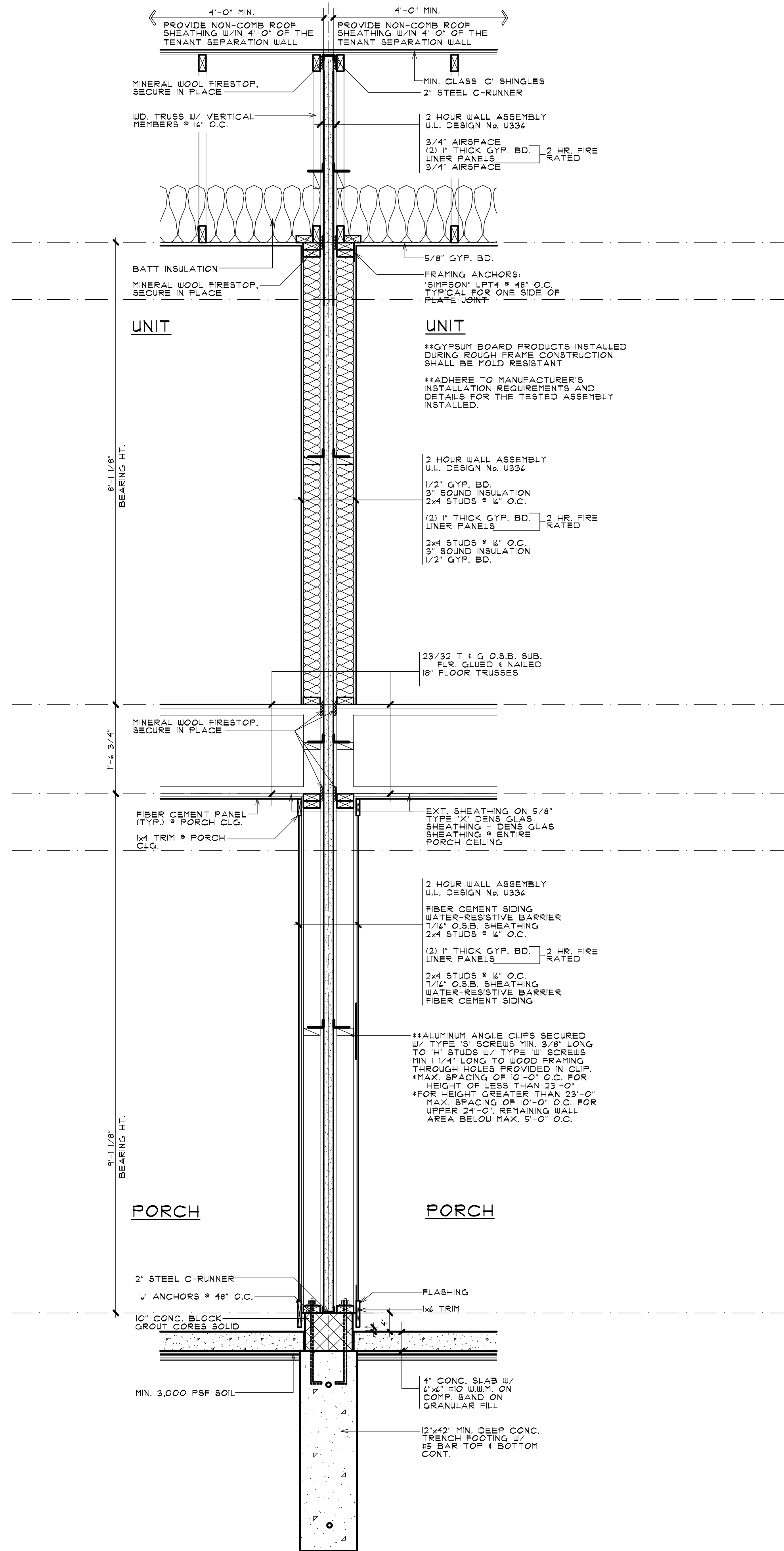
**2 WALL SECTION**  
 A-7B

SCALE: 3/4" = 1'-0"

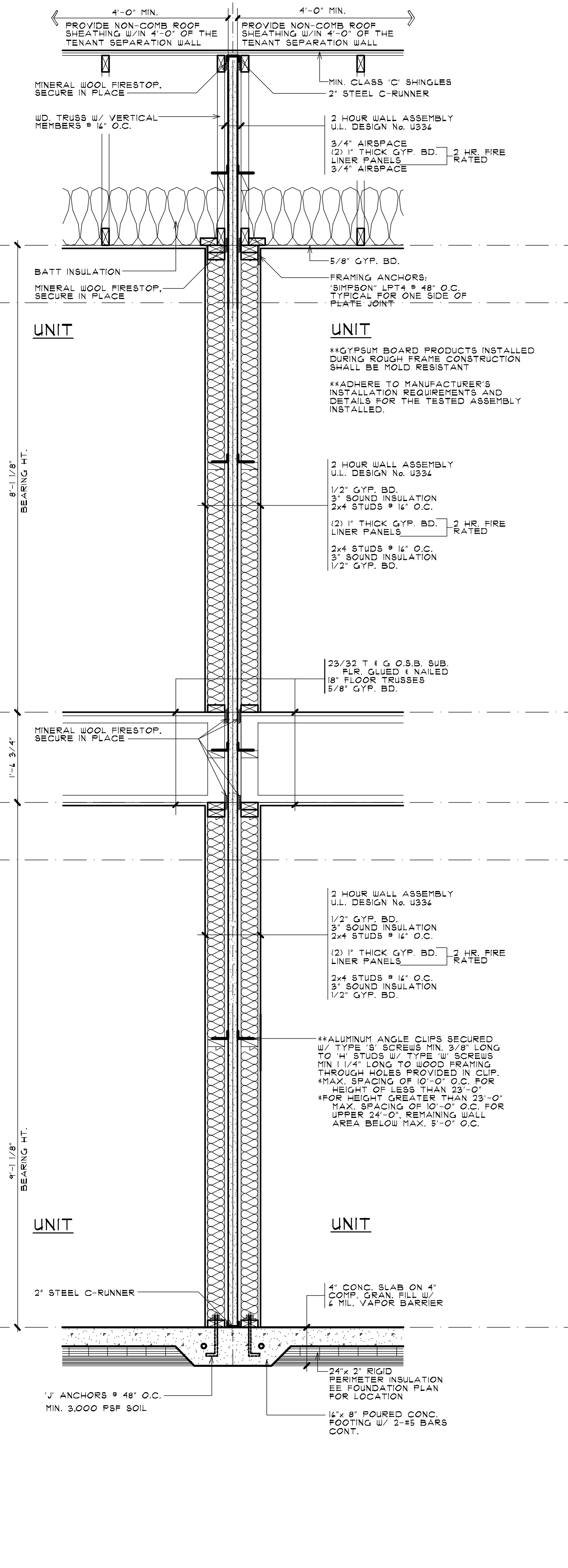


**3 WALL SECTION**  
 A-7B

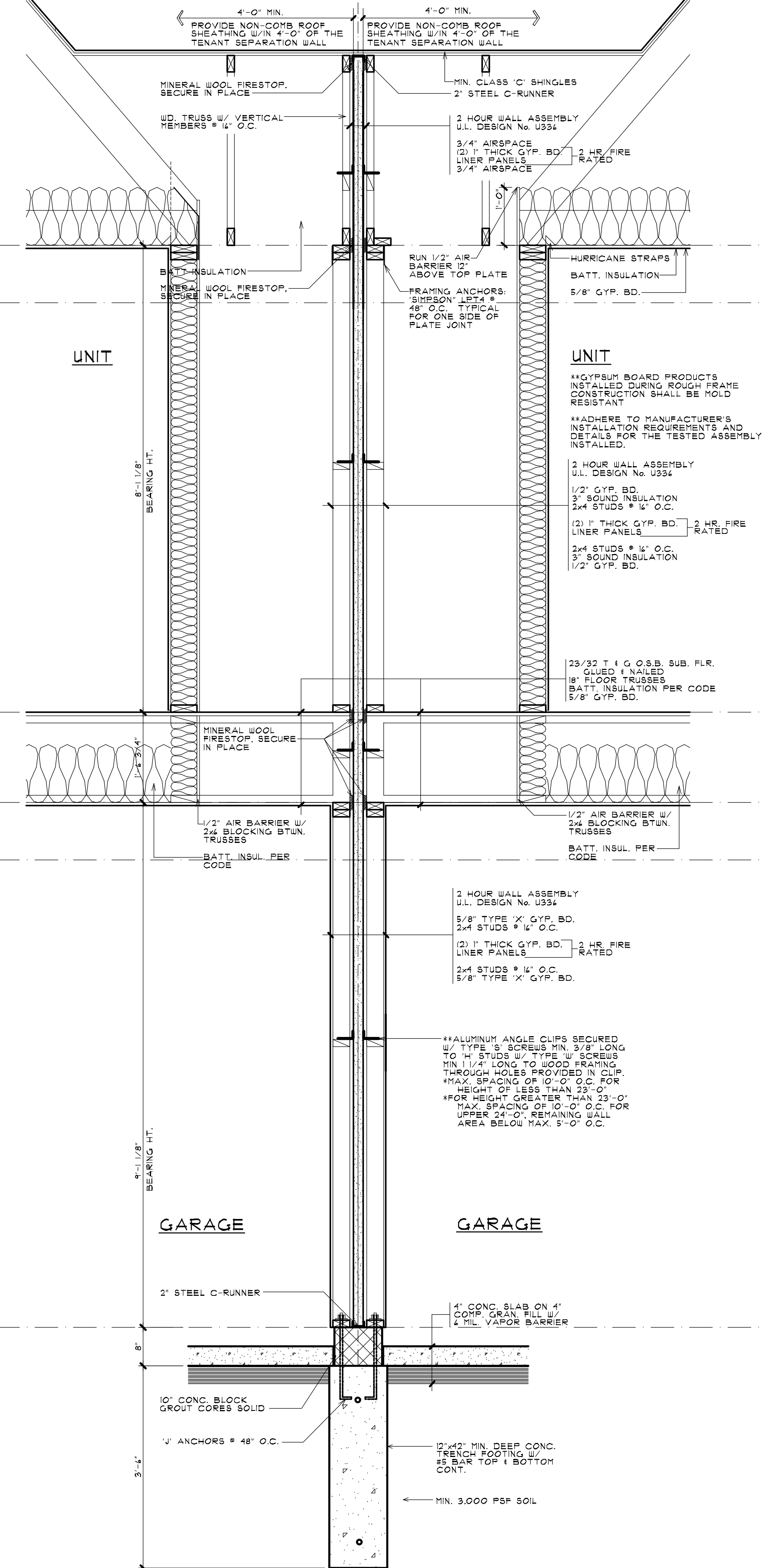
SCALE: 3/4" = 1'-0"



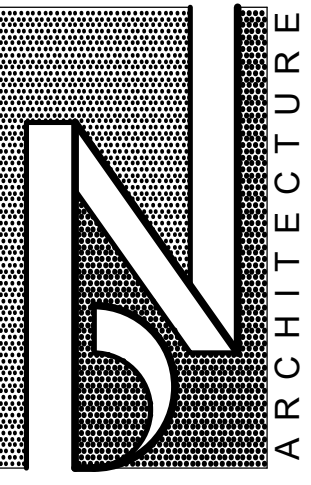
3 WALL SECTION  
A-8B SCALE: 3/4" = 1'-0"



2 WALL SECTION  
A-8B SCALE: 3/4" = 1'-0"



1 WALL SECTION  
A-8B SCALE: 3/4" = 1'-0"



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SHEET TITLE  
**WALL SECTIONS**  
**BUILDING TYPE 'B' 6-UNIT**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
TROY, MICHIGAN

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SHEET NUMBER	<b>A-8B</b>



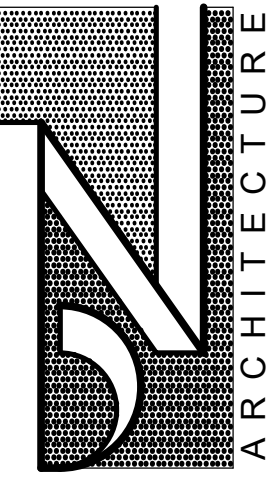
**FRONT ELEVATION - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 3/16" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 3/16" = 1'-0"



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SHEET TITLE  
**RENDERED FRONT ELEVATIONS**  
**BUILDING TYPE 'B' 6-UNIT**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
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SHEET NUMBER  
**A-9B**