



500 West Big Beaver
Troy, MI 48084
troymi.gov

248.524.3364
planning@troymi.gov

ZONING BOARD OF APPEALS MEETING AGENDA

Michael Bossenbroek, Chair, Thomas Desmond, Vice Chair
Aaron Green, David Eisenbacher, Mahendra Kenkre, Jim McCauley,
Tyler Fox, Barbara Chambers, Alternate, Jeffrey Forster, Alternate

JUNE 18, 2024

7:00 P.M.

COUNCIL CHAMBERS

1. ROLL CALL

2. PROCEDURE

3. APPROVAL OF MINUTES – May 21, 2024

4. APPROVAL OF AGENDA

5. HEARING OF CASES:

A. 4095-4115 CROOKS, CINDY RHODES VICTOR FOR THE VICTOR FIRM, PLLC –
The Zoning Board of Appeals will hold a public hearing at Troy City Hall, 500 W. Big Beaver, Troy MI 48084, on June 18, 2024, 7:00 pm, to consider the following appeal of a decision made by the Zoning Administrator: The applicant's appeal specifically requests that the Zoning Board of Appeals reverse the the Zoning Administrator's April 9, 2024 finding ..."that the development does not comply with Section 5.06.3 c" which states "Any building, or portion of a building, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height. Multiple portions of the building(s) as measured from the foundations to the peak of roof exceed 30 feet in height"

ZONING ORDINANCE SECTION: 15.04 C & D

B. 310 BURTMAN, PAUL SCHILLER FOR ITALY AMERICAN CONSTRUCTION - A variance request to allow a proposed detached accessory structure (garage) be set back 3 feet from the side property line, where the Zoning Ordinance requires the proposed garage be set back 6 feet from the side property line.

ZONING ORDINANCE SECTION: 7.03 B 2 d

C. 2023 CECIL DRIVE, MOHAMED SULTAN- A variance request to allow a proposed new home be set back 18.5 feet from the rear (east) property line where the Zoning Ordinance requires new home to be set back 40 feet from the rear property line.

ZONING ORDINANCE SECTION: 4.06 C (R-1D Zoning)

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

- D. 219 WEBB, RYAN and MICHELLE MURPHY - A variance request to allow a proposed home addition be set back 30.26 feet from the front property line, where the Zoning Ordinance requires the proposed home addition be set back 40 feet from the front property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning District

6. COMMUNICATIONS
7. MISCELLANEOUS BUSINESS
8. PUBLIC COMMENT
9. ADJOURNMENT



Zoning Board of Appeals Application

STATEMENT OF PRACTICAL DIFFICULTY

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

MOTION TEMPLATE GRANT VARIANCE

RESOLUTION TEMPLATE

Moved by:

Seconded by:

That the variance request for [applicant name, address or location], for [request]

Be granted for the following reasons:

The applicant has demonstrated that:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:

Nays:

MOTION CARRIED / FAILED

MOTION TEMPLATE DENY

Moved by:

Seconded by:

That the variance request for [applicant name, address or location], for [request]

Be denied for the following reason(s):

The applicant has not demonstrated that:

- f) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- g) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- h) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- i) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- j) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:

Nays:

MOTION CARRIED / FAILED

MOTION TEMPLATE POSTPONE

Moved by:

Seconded by:

RESOLVED, that the variance request for [applicant name, address or location], for [request]

Be postponed for the following reason(s):

Yeas:

Nays:

MOTION CARRIED / FAILED

G:\ZONING BOARD OF APPEALS\Resolution Template Zoning Board of Appeals.doc

ZONING BOARD OF APPEALS – OPENING STATEMENT

The Zoning Board of Appeals is a group of seven of your neighbors appointed by the Troy City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Applicants must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

PROCEDURE

The Board will hear the items in the order that they appear on the approved agenda. When an item is called, the Chairperson will verify that the applicant is present. Then the City Administration will summarize the facts of the case. If there is less than a full board (7 members) present at a meeting, an applicant may request a postponement so his or her request can be heard by a full board. If there is no request for a postponement, the applicant will then be given an opportunity to address the Board to explain the justification for the action requested.

After the applicant makes their presentation, and answers any questions that the Board may have, the Chairperson will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairperson, come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next-door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairperson. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairperson to speak at one time.

At the conclusion of public comments, the Chairperson will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.

On May 21, 2024 at 7:02 p.m., Chairperson Bossenbroek called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bossenbroek
Barbara Chambers
Tommy Desmond
David Eisenbacher
Aaron Green
Mahendra Kenkre
James McCauley

Also Present:

Paul Evans, Zoning and Compliance Specialist
Nicole McMillan, Assistant City Attorney

2. PROCEDURE- read by Vice Chair Desmond

3. APPROVAL OF MINUTES –

Moved by Green
Second by Desmond

RESOLVED, to approve the November February 20, 2024 draft minutes.

Yes: All

MOTION PASSED

4. APPROVAL OF AGENDA – Remove item 5B

5. HEARING OF CASES:

233 NOTTINGHAM, JASON MCFALL FOR WAYNE CRAFT INC. - A variance request to allow a proposed home addition to be constructed 38.34 feet from the rear property line, where the Zoning Ordinance requires the addition to be setback 45 feet from the rear property line.

Moved by Green
Second by McCauley

RESOLVED, to deny the request.

Yes: Bossenbroek, Chambers, Green
No: McCauley, Eisenbacher, Kenkre, Desmond

MOTION FAILED

Moved by McCauley
Second by Desmond

RESOLVED, to postpone the request.

Motion by Green
Second by Desmond

RESOLVED, to amend the motion to specify postponement to the July 2024 ZBA meeting.

Yes: All

MOTION PASSED

Moved by McCauley
Second by Desmond

Amended resolution RESOLVED, to postpone the request to the July 2024 ZBA meeting.

Yes: All

MOTION PASSED

6. COMMUNICATIONS – Mr. Evans and Chair Bossenbroek directed to Board's attention to a ZBA-related publication by Michigan Association of Planning.

7. MISCELLANEOUS BUSINESS –

1. Election of Chair and Vice Chair

Moved by Eisenbacher
Seconded by Green

RESOLVED, to reappoint Chair Bossenbroek, and Vice Chair Desmond.

Yes: All

MOTION PASSED

2. Training Presentation by City Staff

8. PUBLIC COMMENT – None

9. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 9:19pm

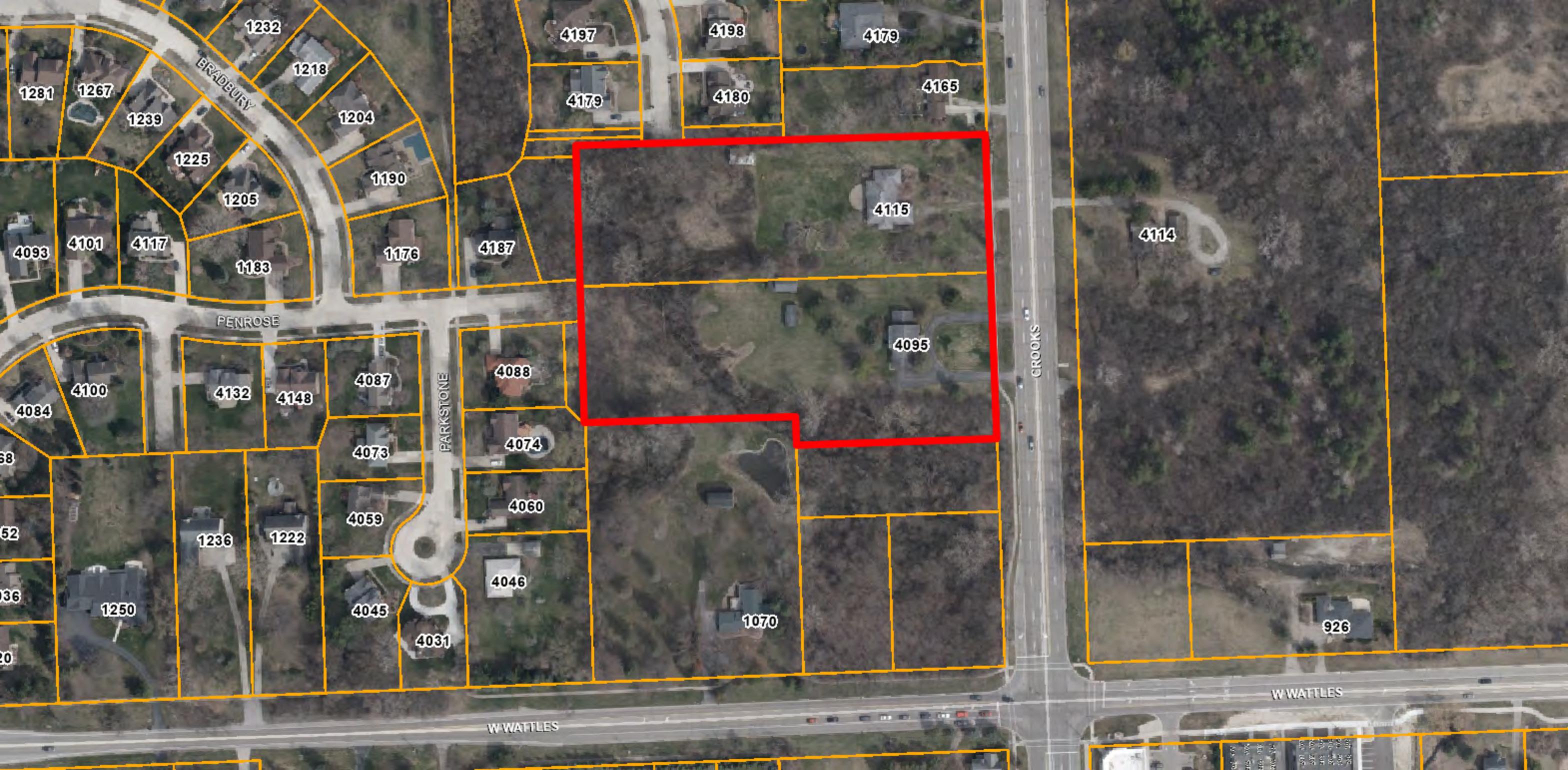
Respectfully submitted,

Michael Bossenbroek, Chairperson

Paul Evans, Zoning & Compliance Specialist

- A. 4095-4115 CROOKS, CINDY RHODES VICTOR FOR THE VICTOR FIRM, PLLC –
The Zoning Board of Appeals will hold a public hearing at Troy City Hall, 500 W. Big Beaver, Troy MI 48084, on June 18, 2024, 7:00 pm, to consider the following appeal of a decision made by the Zoning Administrator: The applicant’s appeal specifically requests that the Zoning Board of Appeals reverse the the Zoning Administrator’s April 9, 2024 finding ...”that the development does not comply with Section 5.06.3 c” which states “Any building, or portion of a building, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height. Multiple portions of the building(s) as measured from the foundations to the peak of roof exceed 30 feet in height”

ZONING ORDINANCE SECTION: 15.04 C & D





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CROOKS

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Zoning Board of Appeals Application

planning@troymi.gov | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 4095 & 4115 Crooks Rd Troy 48048
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-17-476-013 (part of), 88-20-17-476-014 and 88-20-17-476-055
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: Section 2.02, and 5.06(E)(3)(c)(i)
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: January 19th, 2021, appeal of Nov 10, 2020 planning commission denial of preliminary site plan
5. APPLICANT:
NAME Cindy Rhodes Victor
COMPANY The Victor Firm, PLLC
ADDRESS 2977 Telegraph Road, Suite 2410
CITY Southfield STATE MI ZIP 48034
PHONE 248-905-3990
E-MAIL cvictor@victorfirm.com
AFFILIATION TO THE PROPERTY OWNER: Counsel



Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME Safet "Sam" Stafa

COMPANY Sterling Construction Inc.

ADDRESS 1612 Muer Drive

CITY Troy STATE MI ZIP 48084

TELEPHONE 248-890-8421

E-MAIL sstafa3@gmail.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Cindy Rhodes Victor (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE *Cindy Rhodes Victor* DATE May 9, 2024

PRINT NAME: Cindy Rhodes Victor

PROPERTY OWNER SIGNATURE *Safet Stafa* DATE May 9, 2024

PRINT NAME: Safet "Sam" Stafa

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

LAW OFFICES
THE VICTOR FIRM, PLLC
29777 TELEGRAPH ROAD, SUITE 2410
SOUTHFIELD, MICHIGAN 48034

TELEPHONE (248) 905-3990
FACSIMILE (586) 884-0548

May 9, 2024

Zoning Board of Appeals
City of Troy
500 W. Big Beaver Road
Troy, Michigan 48084

APPEAL TO THE ZONING BOARD OF APPEALS
FROM ADMINISTRATIVE DECISION

DECISION OF CITY OF TROY ZONING ADMINISTRATOR:

Refusal to Process Site Plan
Interpretation of the Zoning Ordinance

Decision Made by Correspondence Sent on April 9, 2024

Sterling Construction, Inc. (“Appellant”), by its counsel, The Victor Firm, PLLC, submits this Appeal to the Zoning Board of Appeals, pursuant to the City of Troy Zoning Ordinance Sections 15.03 and 15.04, from the decision of the City of Troy Zoning Administrator on April 9, 2024.

Appellant states that the ground for its appeal is as follows:

**I. DISAPPROVAL OF APPELLANT’S SITE PLAN WAS BASED ON AN
ERRONEOUS INTERPRETATION OF THE ZONING ORDINANCE**

Appellant submitted an application for approval of the preliminary site plans for the Crooks Road Development (“The Westbrook”) on August 18, 2023 (a copy of the application is attached hereto as Exhibit 1). The developer retained by appellant was Tollbrook North, LLC, and PEA Group was retained to prepare the site plans. The City refused to process the application because of alleged issues with the building height. On January 30, 2024, Arban Stafa wrote to Troy Community Development Director Brent Savidant and the City’s consultant, Benjamin Carlisle, in response to Carlisle’s

email correspondence indicating that the height of the building did not comply with the Zoning Ordinance (a copy of the email correspondence from Arban Stafa to Benjamin Carlisle and Brent Savidant, January 30, 2024, is attached hereto as Exhibit 2). Arban Stafa made it clear that the building height *did* comply with the Zoning Ordinance and included both the definitions from the Zoning Ordinance and the illustrations contained in the Zoning Ordinance (*Id.*). Despite this, the City would not process the application.

Appellant was forced to make changes to the site plans and resubmitted the site plans on February 29, 2024 (a copy of the revised site plans are attached hereto as Exhibit 3). The City still would not process the application, allegedly because of building height. On March 1, 2024, Arban Stafa wrote to Carlisle and Savidant requesting the planning report (a copy of the email correspondence chain among Arban Stafa, Benjamin Carlisle and Brent Savidant, March 1 - March 13, 2024, is attached hereto as Exhibit 4). On March 12, 2024, Carlisle wrote back, indicating that the buildings exceeded 30 feet “at the peak of the buildings” (*Id.*). On March 13, 2024, Arban Stafa sent detailed email correspondence which set forth the definition of Building Height under the Zoning Ordinance and the Zoning Ordinance’s illustrations, which made it clear that gable roofs are not measured to the peak, but to the “average height between eaves and ridge for gable, hip, and gambrel roofs,” and that under the Zoning Ordinance’s definition, the elevations were all below 30 feet (*Id.*).

Having received no response from the City, on March 26, 2024, Arban Stafa asked Carlisle and Savidant for an update (a copy of the email correspondence chain among Arban Stafa, Benjamin Carlisle and Brent Savidant, March 26 - April 5, 2024, is attached hereto as Exhibit 5). Carlisle advised Stafa that he and Savidant would talk to the City Manager, who was also the Zoning Administrator, for his “interpretation” (*Id.*). Having heard nothing by April 5, 2024, Arban Stafa again asked for an update (*Id.*).

On April 9, 2024, City Manager Mark Miller, who was also acting as Zoning Administrator, sent a letter to plaintiffs, stating

I serve as the City of Troy Zoning Administrator. I have reviewed the Crooks Road Development (Westbrook) plan set application, dated February 29, 2024. I have found that the development does not comply with Section 5.06.3.c [*sic*]:

Any building, or portion of a building, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5 stories, 30 feet in height.

Multiple portions of the building(s) as measured from the foundation to the peak of the roof exceed 30 feet in height.

(a copy of the correspondence from City Manager Mark Miller to Arban Stafa, April 9, 2024, is attached hereto as Exhibit 6).

The City Manager/Zoning Administrator's "interpretation" does not comport with the Zoning Ordinance. Article 2 of the Zoning Ordinance sets forth definitions, which include "Building Height." This term is defined as "The term 'building height' shall mean the vertical distance as measured from the established grade to the highest point of the roof for flat rooms, including walls or parapets that extend above the horizontal roof surface; to the deck line of mansard roofs; and to the average height between eaves and ridges for gable, hip and gambrel roofs." The definition provides how to measure grade for sloping terrains, and at no place mentions "foundation."

As to City Manager Miller's statement that the building is "as measured from the foundation to the peak of the roof," that is also contrary to the specific definition in the Zoning Ordinance. The Zoning Ordinance definition of "Building Height" includes illustrations of types of roofs. Comparing the plans for the Crooks Road Development to these illustrations shows that the Crooks Road Development has what the Zoning Ordinance would call "gable roofs." Under the definition of "Building Height," the measurement should be not to the peak of the gable roof, but "to the average height between eaves and ridges for gable, hip and gambrel roofs."

Based upon the clear language in the Zoning Ordinance, the Crooks Road Development preliminary site plans conform to Section 5.06(E)(3)(c)(i). Thus, there is no basis on which the City may disapprove the site plans. Accordingly, as the decision of the City Manager/Zoning Administrator was based on an erroneous interpretation of the City's Zoning Ordinance, appellant respectfully requests that this Zoning Board of Appeals reverse the decision of the City Manager/Zoning Administrator, and approve the site plans for The Westbrook development on Crooks Road.

Respectfully submitted,

/s/ Cindy Rhodes Victor
Cindy Rhodes Victor (P33613)
The Victor Firm, PLLC
29777 Telegraph Road, Suite 2410
Southfield, Michigan 48034
(248) 905-3990
cvictor@victorfirm.com

EXHIBIT 1

CITY OF TROY
PRELIMINARY SITE PLAN APPLICATION

RECEIVED

AUG 18 2023

PLANNING

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
248- 524-3364
FAX: 248-524-3382
E-MAIL: planning@troymi.gov



PRELIMINARY SITE PLAN REVIEW FEE
\$1,000.00
ESCROW FEE
\$1,500.00
ADMINISTRATIVE SITE PLAN REVIEW FEE
\$300.00
SITE PLAN RENEWAL (BEFORE EXPIRATION)
\$500.00
FINAL SITE PLAN REVIEW
\$100.00

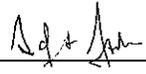
REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE PRELIMINARY SITE PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

1. NAME OF THE PROPOSED DEVELOPMENT: The Westbrook
2. ADDRESS OF THE SUBJECT PROPERTY: 4095 & 4115 Crooks Rd Troy MI 48084
3. ZONING CLASSIFICATION OF THE SUBJECT PROPERTY: Neighborhood Node
4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-17-476-013, 88-20-17-476-014 and 88-20-17-476-055
(part of)
5. DESCRIPTION OF PROPOSED USE: Multi-Family Residential

- | | |
|---|--|
| 6. APPLICANT: | PROPERTY OWNER: |
| NAME <u>Safet "Sam" Stafa</u> | NAME <u>Alvin Miller</u> |
| COMPANY <u>Sterling Construction Inc.</u> | COMPANY <u>SOHO DK INVESTMENTS LLC</u> |
| ADDRESS <u>1612 Muer Dr.</u> | ADDRESS <u>15001 Ehle Road,</u> |
| CITY <u>Troy</u> STATE <u>MI</u> ZIP <u>48084</u> | CITY <u>New Haven</u> STATE <u>IN</u> ZIP <u>46774</u> |
| TELEPHONE <u>248-890-8421</u> | TELEPHONE <u>517-677-5237</u> |
| E-MAIL <u>sstafa3@gmail.com</u> | E-MAIL <u>alvinsarahml@gmail.com</u> |

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:
Equitable title in property (vendee in land contract)

8. SIGNATURE OF APPLICANT  DATE 08 / 18 / 2023
9. SIGNATURE OF PROPERTY OWNER  DATE 08 / 18 / 2023

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PRELIMINARY SITE PLAN.

EXHIBIT 2

-----Original Message-----

From: "Arban S." <arbanstafa@gmail.com>
Sent: Tuesday, January 30, 2024 2:52pm
To: "Brent Savidant" <SavidantB@troym.gov>
Cc: "Sam Stafa" <sstafa3@gmail.com>
Subject: Re: FW: Crooks Road Development (Westbrook)

Hello and good afternoon,
I hope all is well; I have provided answers to your questions below in blue italics and the requested attachments.
Let me know if you have any questions. Thank you, and have a wonderful day.

Arban Stafa,
C: 248-906-5400

On Wed, Jan 10, 2024 at 2:12 PM Brent Savidant <SavidantB@troym.gov> wrote:

Sam:

Please address the issues identified in the email

below.



R. Brent Savidant, AICP
Community Development Director
City of Troy
O. 248.524.3366



From: Benjamin Carlisle <bcarlisle@cwaplan.com>
Sent: Tuesday, January 9, 2024 4:06 PM
To: Brent Savidant <SavidantB@troym.gov>
Cc: Paul M Evans <P.Evans@troym.gov>
Subject: Crooks Road Development (Westbrook)

CAUTION: This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brent,

I completed another cursory review of the proposed Crooks Road Development (Westbrook). There appear to be two outstanding issues that must be addressed prior to Planning Commission consideration:

1. Efficiency units: The applicant is proposing 152 efficiency units. However, when reviewing the floor plans, the proposed units do not appear to meet the definition of an Efficiency Unit: a *dwelling unit containing not more than one (1) room in addition to kitchen, dining and sanitary facilities.*

See attached for plans

If the applicant is proposing only efficiency units, the applicant shall justify/explain the appropriateness of efficiency units at this location. How does efficiency only units meet the intent of the neighborhood node in the Master Plan?

The use of the site plan is multifamily. Efficiency units are a unit type that comprises a multifamily building and are found in many of the multifamily developments throughout the city. Multifamily is a permitted use for this site under the zoning ordinance; therefore, it is appropriate.

Regarding the Master Plan, the zoning ordinance is law, while a master plan is a policy document. We are seeking site plan approval under the zoning ordinance, with no variances.

Under the zoning ordinance, the Master plan is only considered when an applicant is requesting a change in use from what is permitted on the site, such as a special use, PUD, or change in the underlying zoning with a rezoning or conditional rezoning.

When applying for a change in use, the zoning ordinance has "standard for approval" which direct the Planning Commission to consider Master Plan such as as § 16.04 Conditional Rezoning Procedures, C. 3, B. as an example.

Here, for site plan review, there is no "standard for approval" section in the ordinance, and the planning commission is only to consider § 8.06 Site Plan Review Design Standards in administering the ordinance.

1. Building height: To ensure compatibility and scale, the City passed a zoning ordinance amendment to restrict height to 2.5 story or 30-feet for any development in a node adjacent to residential. Through grading, the applicant is proposing essentially a two-story front and three-story rear.

In our previous review we asked the applicant to indicate how they meet the definition of height. *BUILDING HEIGHT: The term "building height" shall mean the vertical distance as measured from the established grade to the highest point of the roof for flat roofs, including walls or parapets that extend above the horizontal roof surface; to the deck line of mansard roofs; and to the average height between eaves and ridge for gable, hip, and gambrel roofs. When a non-residential building is located on sloping terrain, the height may be measured from the average ground level of the grade at the building wall. When a residential building is located on sloping terrain, the height shall be measured from the highest grade adjacent to the front of the structure to the highest point of the roof for flat roofs, including walls or parapets that extend above the horizontal roof surface; to the deck line of mansard roofs; and to the average height between eaves and ridge for gable, hip, and gambrel roofs. For residential buildings, the major or main roof over the living area shall be used to determine building height, with the following exception: when the total horizontal roof area of dormers and/or minor gables enclosing the living area exceeds twenty (20) percent of the total horizontal area of the roof to which such dormers or gables are attached, the predominant height of such dormers or gables shall be used as the basis for the determination of the building height.*

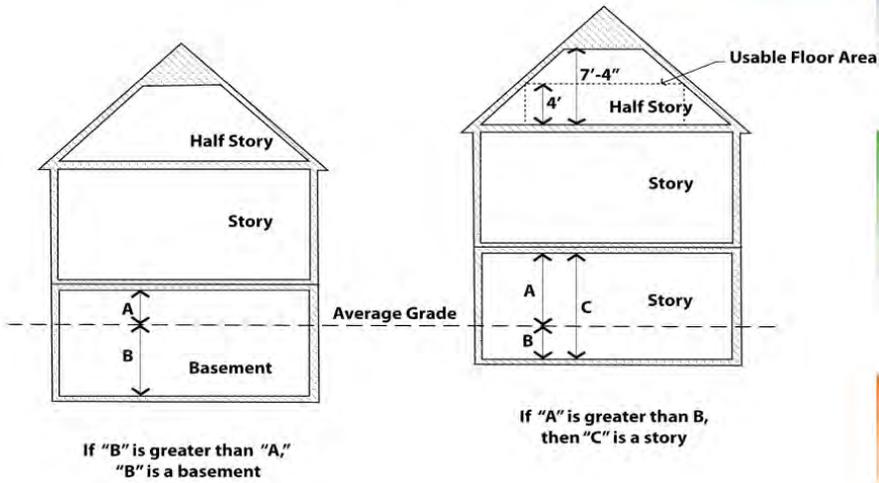
GRADE: A ground elevation established for the purpose of regulating the number of stories and the height of the building. The building grade shall be the level of the ground adjacent to the walls of the building if the finished grade is level. If the ground is not level, the average grade shall be applied.

One issue to note, regardless of the definition of height, the three-story side of the structure faces the adjacent residential homes. The applicant shall provide a narrative explanation including dimensioned diagram of how the building meets the height requirements based on Zoning Ordinance definitions.

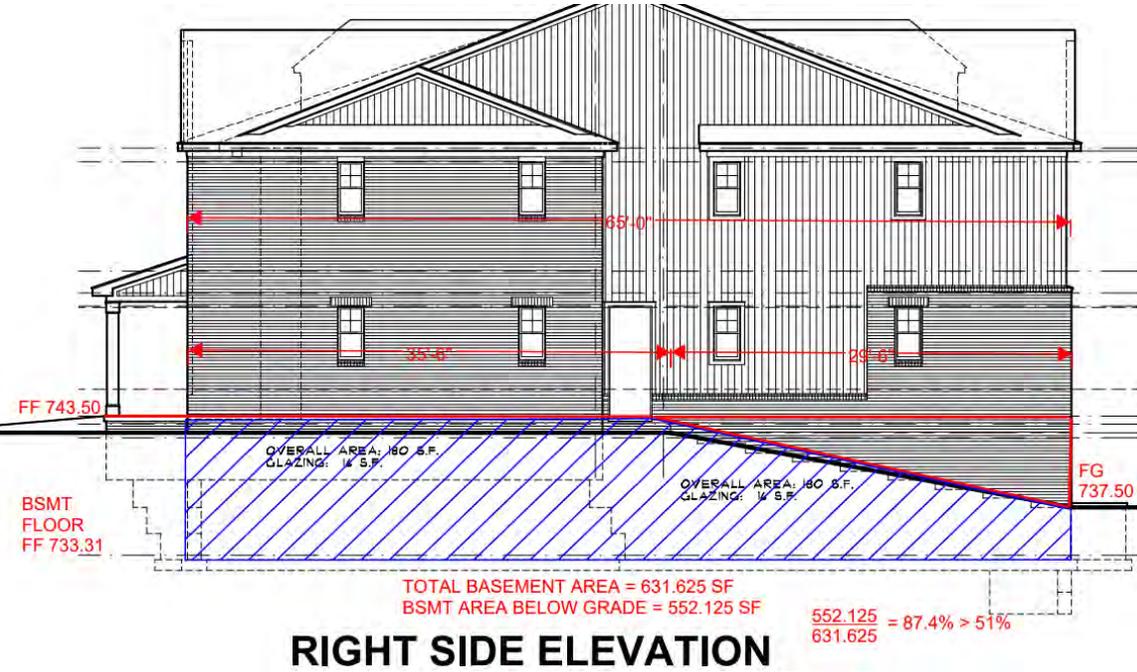
The building is considered a two story building, the lower section is not considered a story under the ordinance.

*Under the ordinance Article 2, Definitions pg. 30, "STORY: That part of a building, except a mezzanine, included between the surface of one (1) floor and the surface of the next floor, or if there is not a floor above, then the ceiling next above. **A story thus defined shall not be counted as a story when more than fifty (50) percent by cubic content** is below the height level of the adjoining ground." (emphasis added)*

Illustration screenshot from the zoning ordinance pg. 31 Article 2, Definitions



Here, attached, I provided a diagram, prepared by PEA, showing 87.4%, by cubic content below the height level of adjoining ground, which greatly exceeds the greater than 50% required amount.



RIGHT SIDE ELEVATION

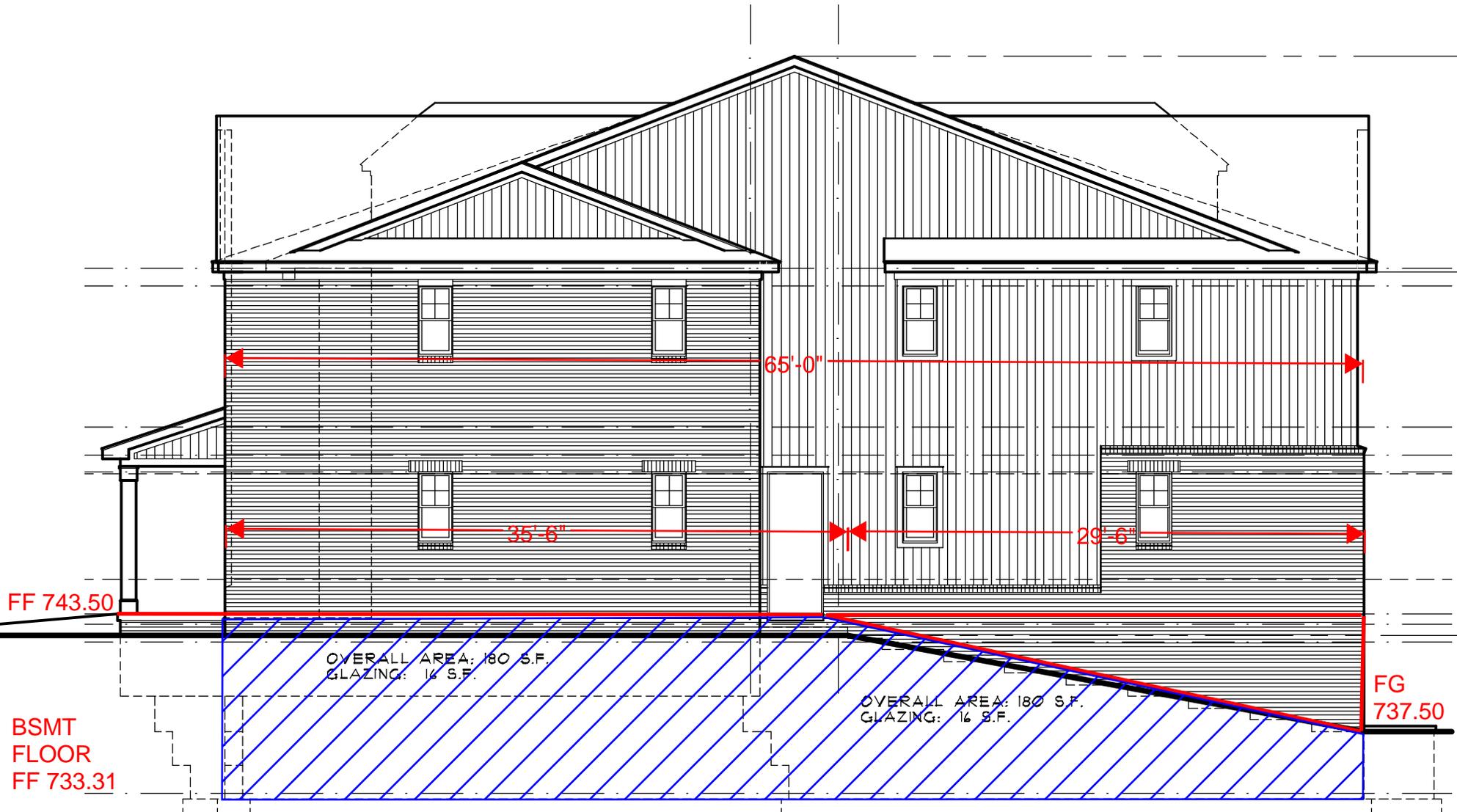
Until these items are addressed by the applicant, we can't proceed with a review.

Ben



Benjamin R. Carlisle
President, AICP, LEED-AP
Phone: 734-662-2200
117 N. 1st Street, Suite 70, Ann Arbor, MI 48104



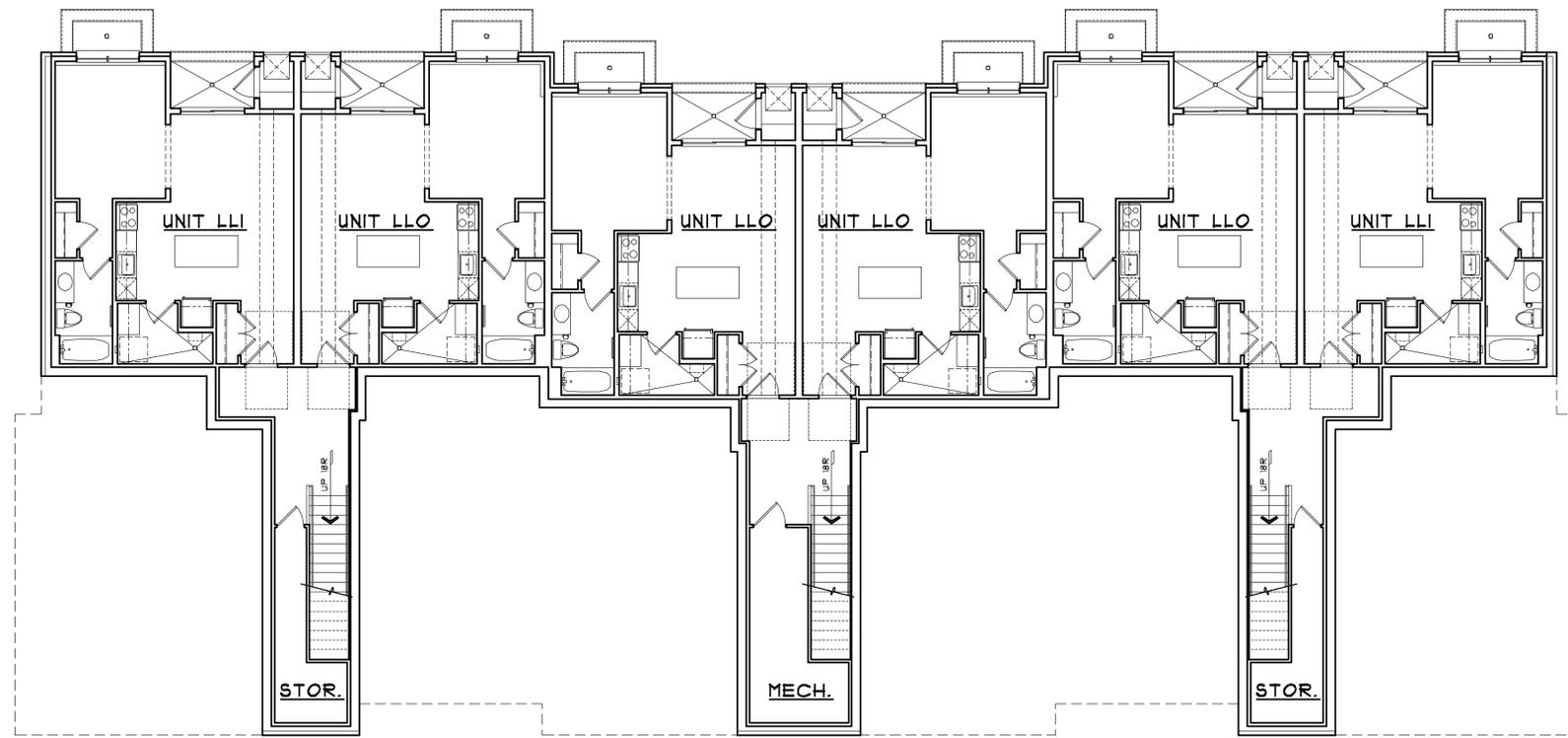


TOTAL BASEMENT AREA = 631.625 SF
 BSMT AREA BELOW GRADE = 552.125 SF

$$\frac{552.125}{631.625} = 87.4\% > 51\%$$

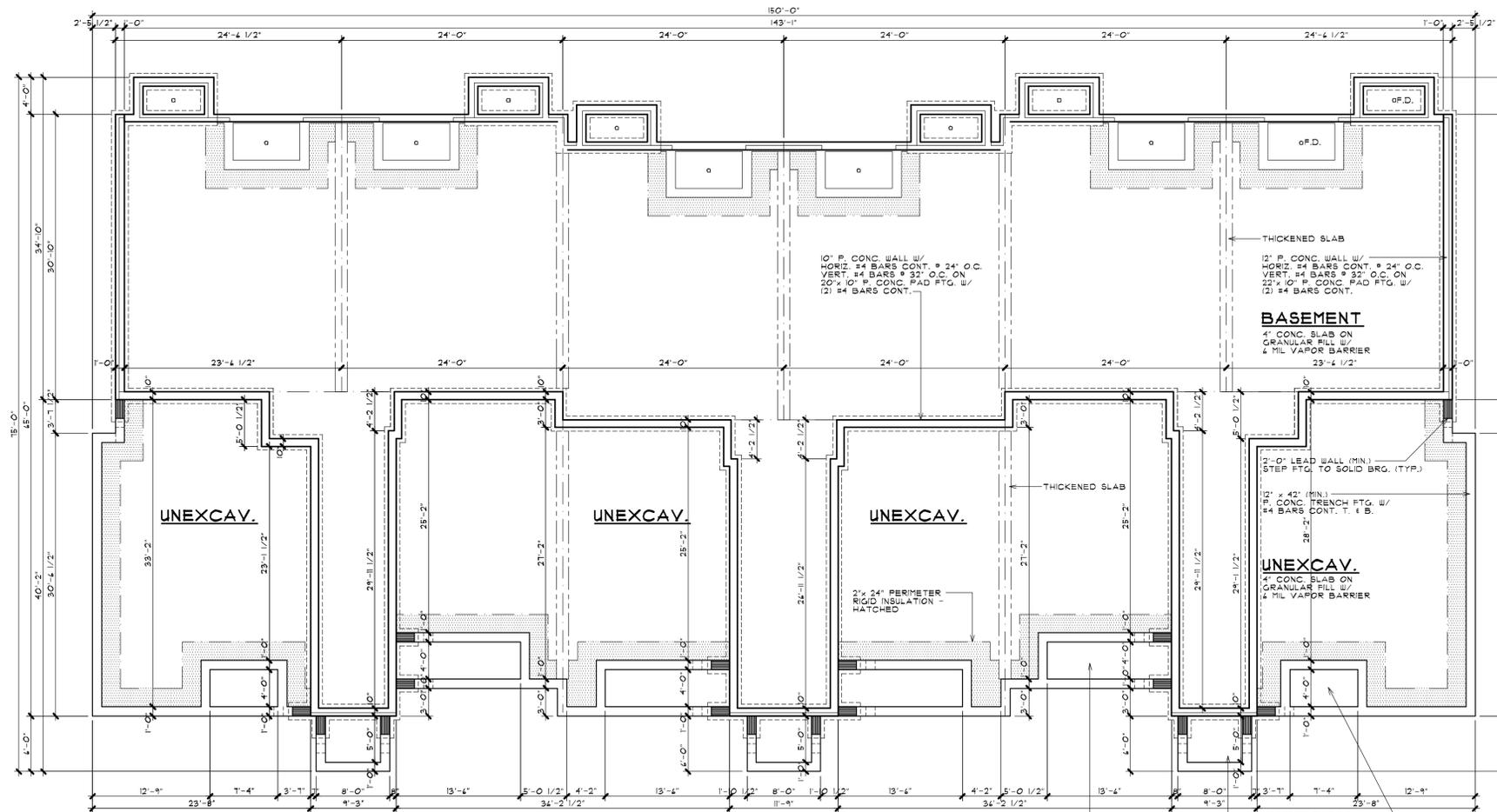
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



LOWER LEVEL PLAN - BUILDING TYPE 'I'

SCALE: 1/8" = 1'-0"



FOUNDATION PLAN - BUILDING TYPE 'I'

SCALE: 1/8" = 1'-0"



BRIAN NEEP ARCHITECTURE P.C.
DESIGN - PLANNING - INTERIORS
630 BRIMINGHAM HIGHWAY
BIRMINGHAM, AL 35202
BRIANNEEP.COM
248.259.1784

SHEET TITLE
FOUNDATION & LL PLAN
BUILDING TYPE 'I'
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

PRELIMINARY
08-31-23

BIDS

PERMITS

FINAL

REVISIONS

11-21-23
01-26-24

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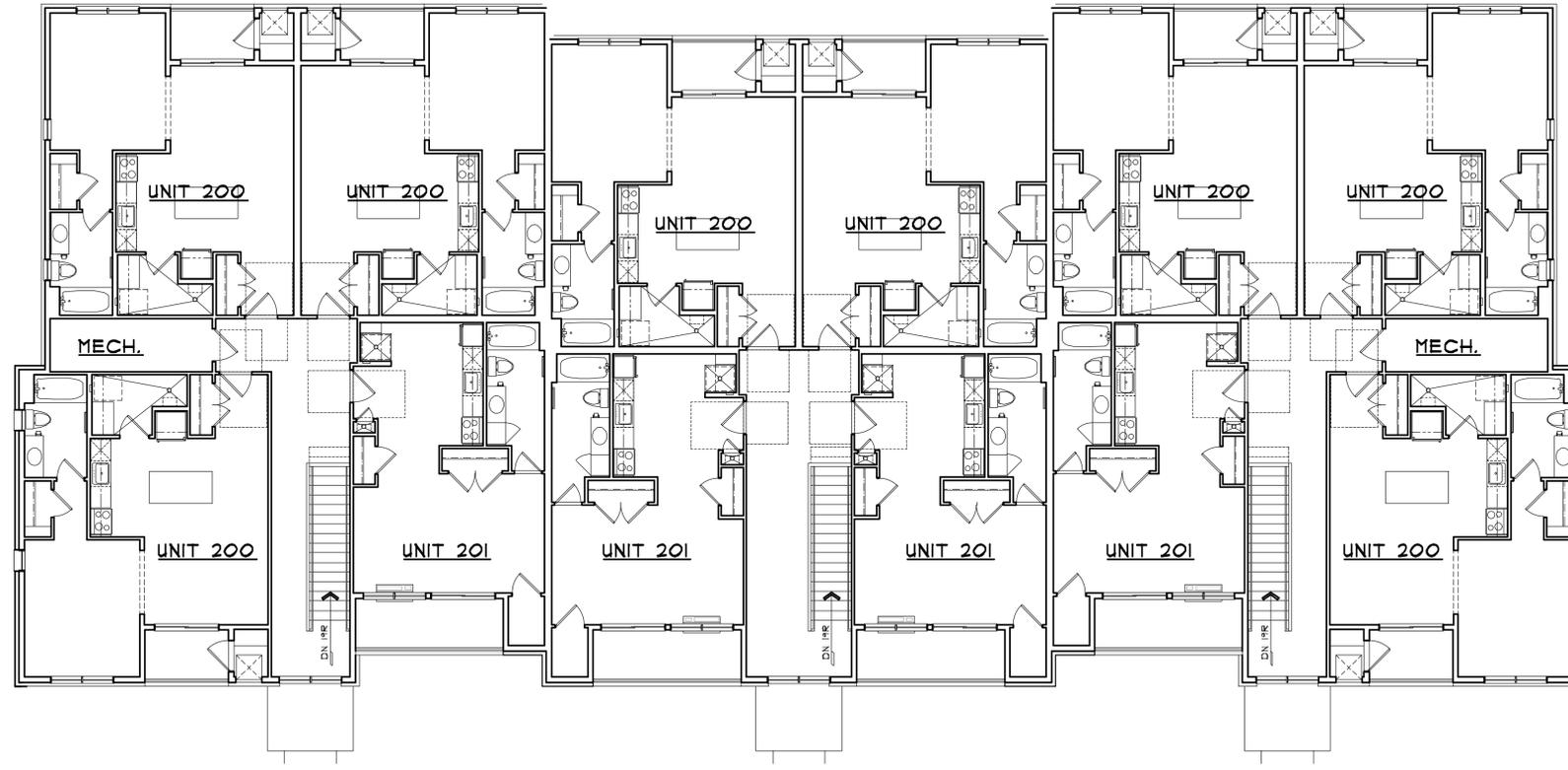
JOB NUMBER
23035

DRAWN BY
BN / EAF

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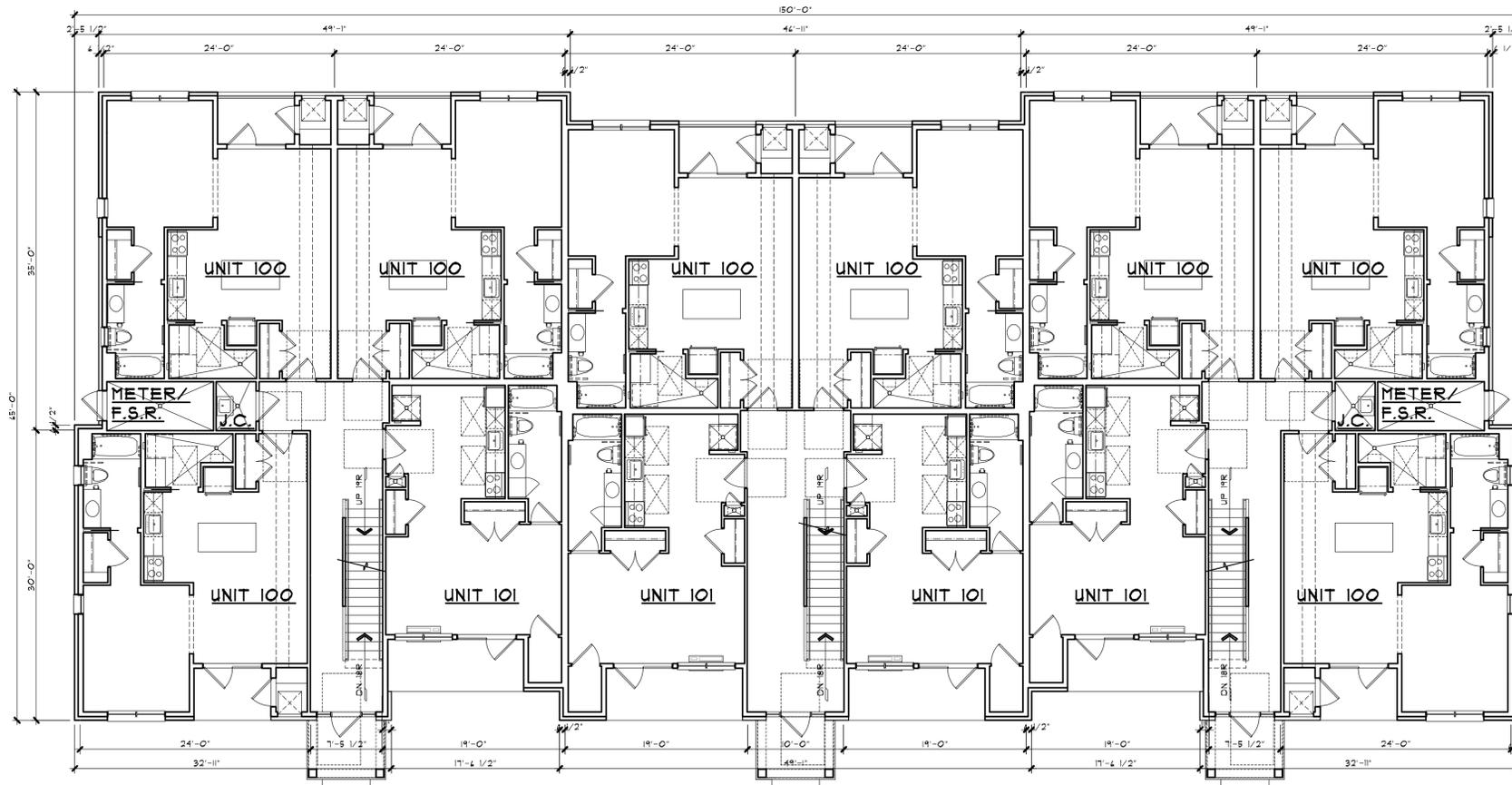
SHEET NUMBER

A-1



SECOND FLOOR PLAN - BUILDING TYPE 'I'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'I' TOTAL UNITS PER BUILDING: 30 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 8,700 S.F.

SCALE: 1/8" = 1'-0"

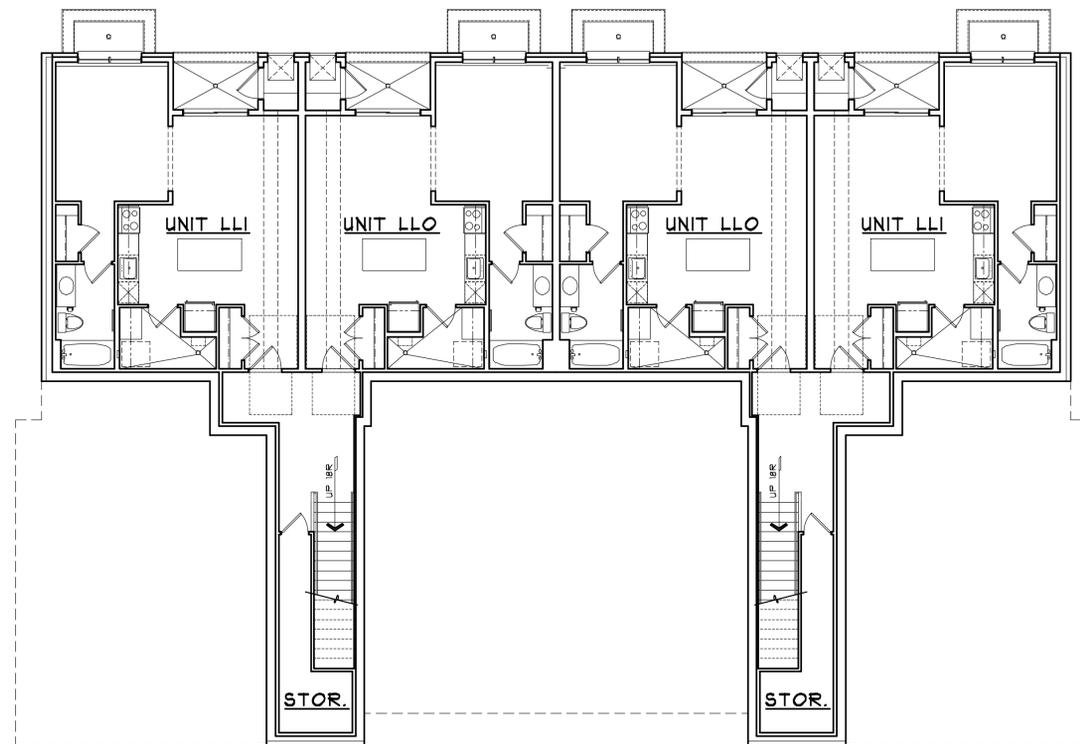


BRIAN NEEP ARCHITECTURE P.C.
DESIGN - PLANNING - INTERIORS
630 BRIMINGHAM HIGHWAY
BIRMINGHAM, MICHIGAN
BRIANNEEP@COM
248.259.1784

SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'I'
PRELIMINARY

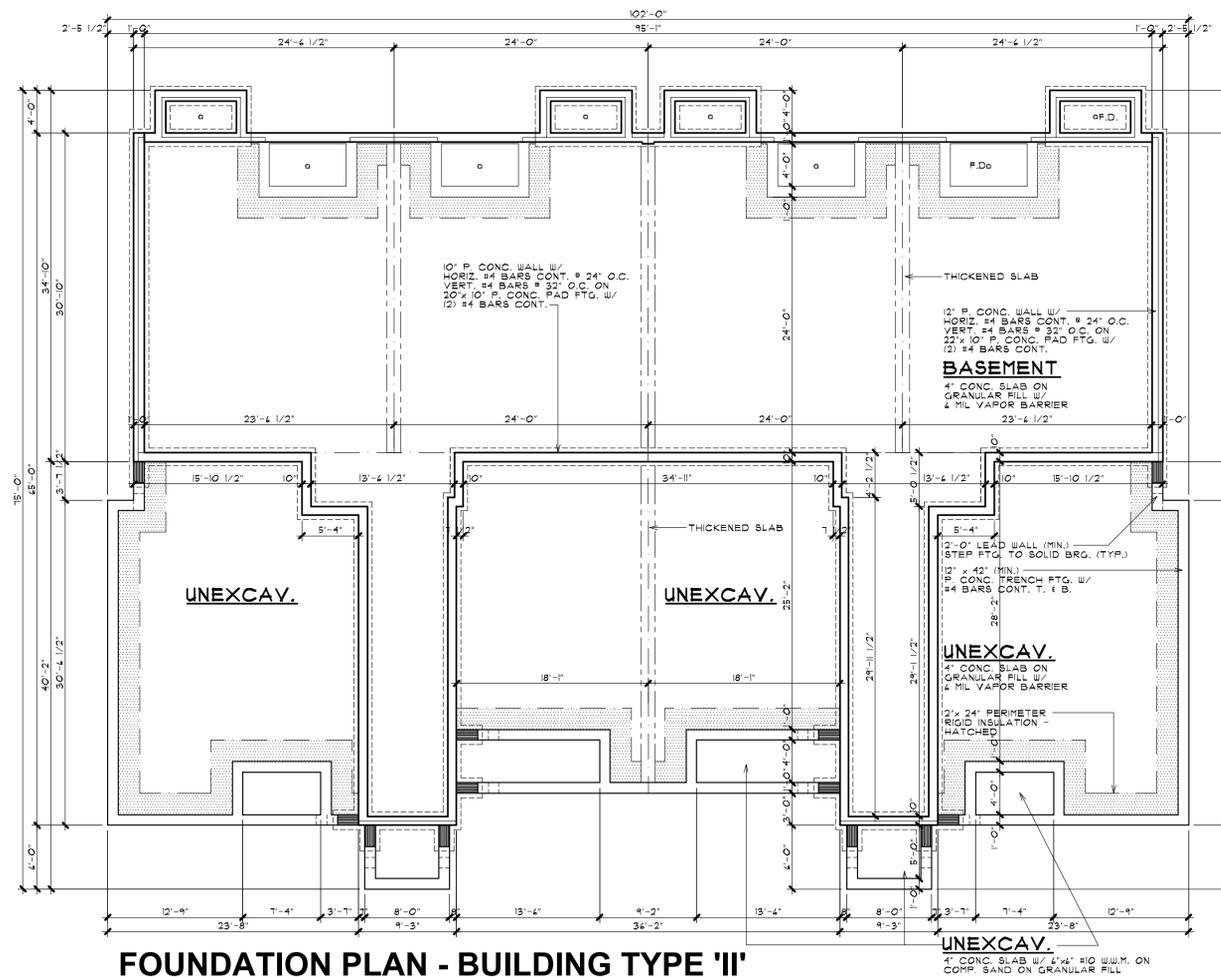
CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
REVISIONS	11-21-23 01-26-24
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SHEET NUMBER	A-2



LOWER LEVEL PLAN - BUILDING TYPE 'II'

SCALE: 1/8" = 1'-0"



FOUNDATION PLAN - BUILDING TYPE 'II'



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DESIGN - PLANNING - INTERIORS
630 BRIMLEY AVE. SUITE 203
BIRMINGHAM, AL 35203
BRIANNEEPER.COM
248.259.1784

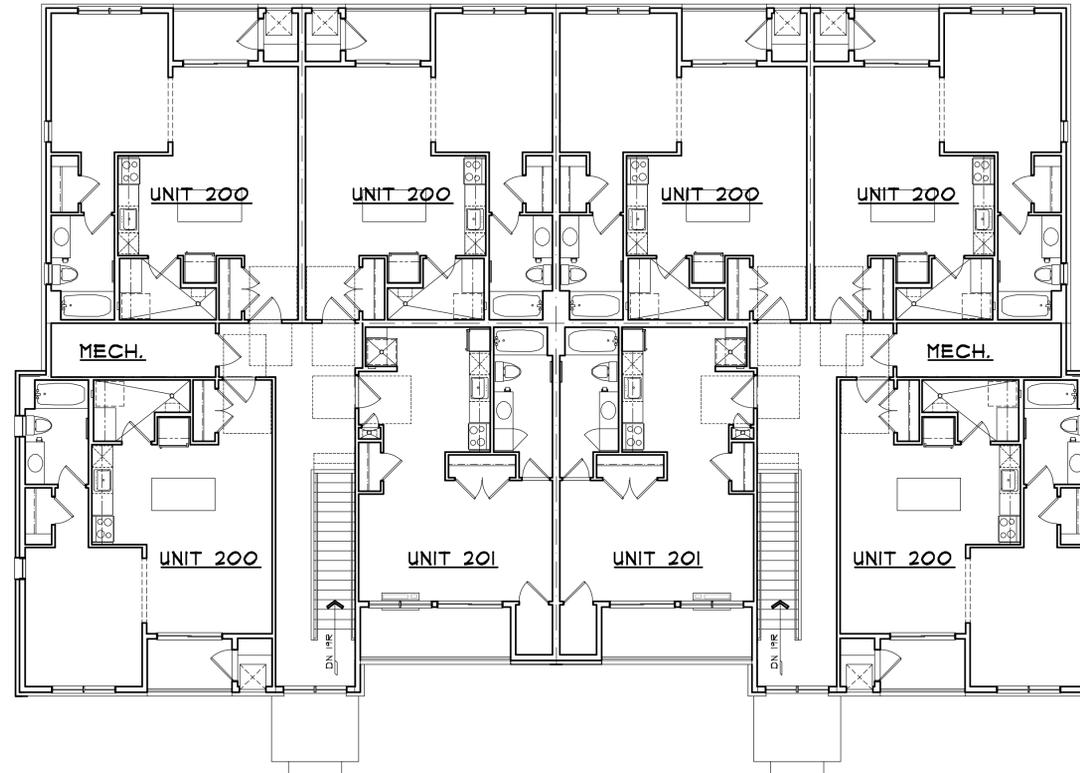
SHEET TITLE
FOUNDATION & LL PLAN
BUILDING TYPE 'II'
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

PRELIMINARY	08-31-23
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PERMITS	
FINAL	
REVISIONS	11-21-23 01-26-24

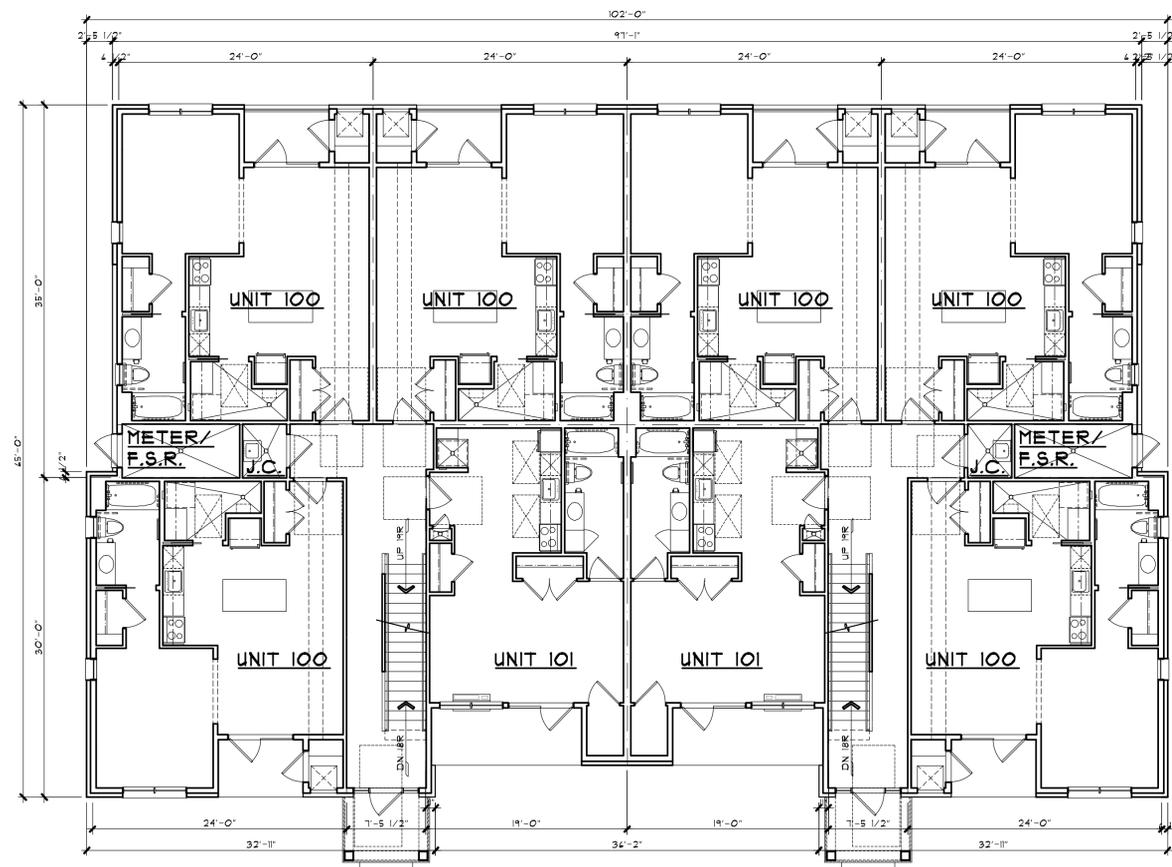
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SHEET NUMBER
A-3



SECOND FLOOR PLAN - BUILDING TYPE 'II'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'II'

TOTAL UNITS PER BUILDING: 20 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 5,941 S.F.

SCALE: 1/8" = 1'-0"

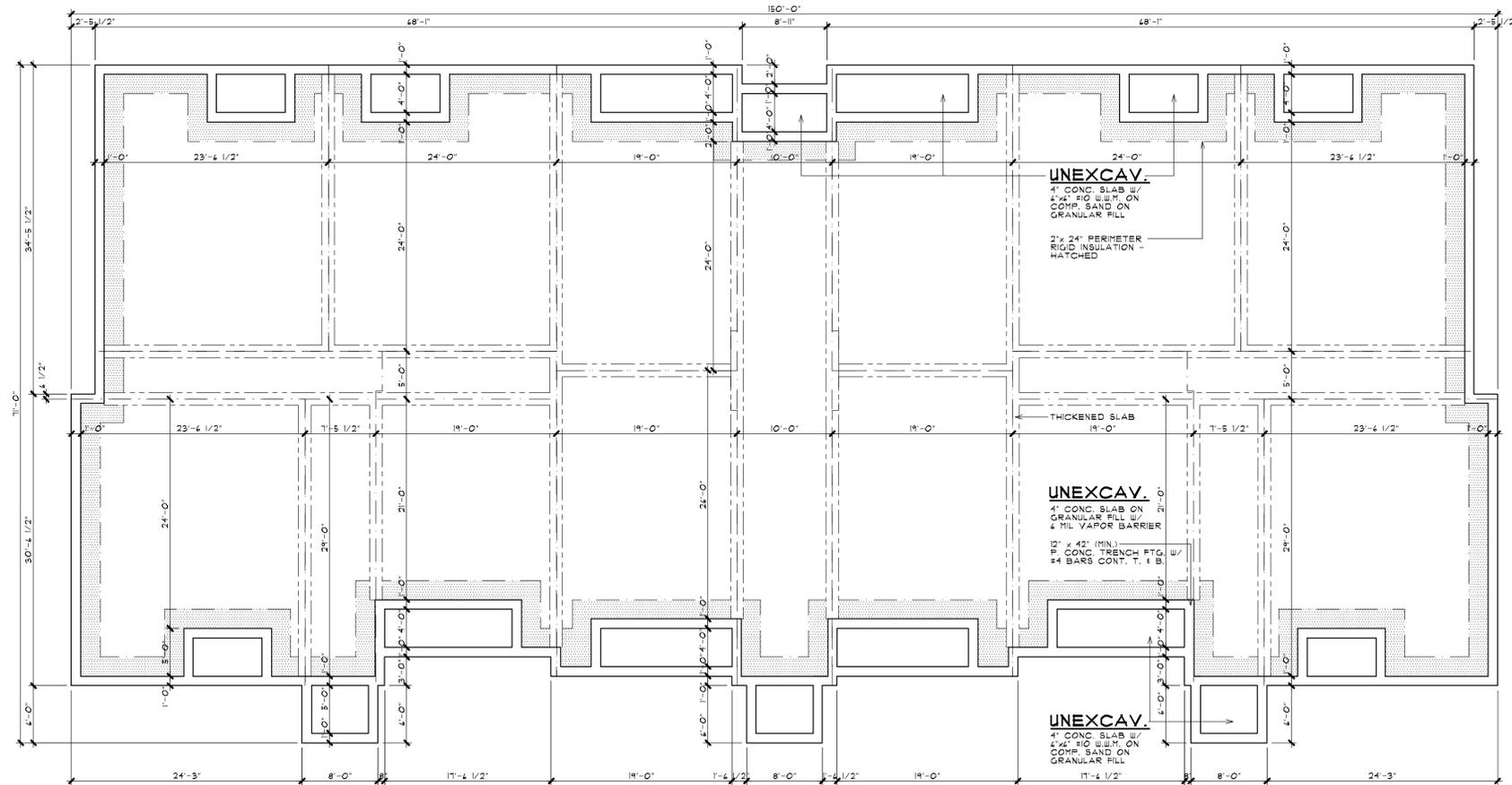


BRIAN NEEPER ARCHITECTURE P.C.
DESIGN - PLANNING - INTERIORS
630 BRIMINGHAM HIGHWAY
BIRMINGHAM, MICHIGAN 48226
BRIANNEEPER.COM
248.259.1784

SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'II'
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
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SHEET NUMBER	A-4



FOUNDATION PLAN - BUILDING TYPE 'III'

SCALE: 1/8" = 1'-0"



ARCHITECTURE

BRIAN NEEPER ARCHITECTURE P.C.
 DESIGN - PLANNING - INTERIORS
 630 BRIMLEY AVENUE, SUITE 203
 BIRMINGHAM, MICHIGAN
 BRIANNEEPER.COM
 248.259.1784

FOUNDATION PLAN
 BUILDING TYPE 'III'
 PRELIMINARY

CLIENT / PROJECT
 THE WESTBROOK
 CROOKS ROAD
 EFFICIENCY APARTMENTS
 TROY, MICHIGAN

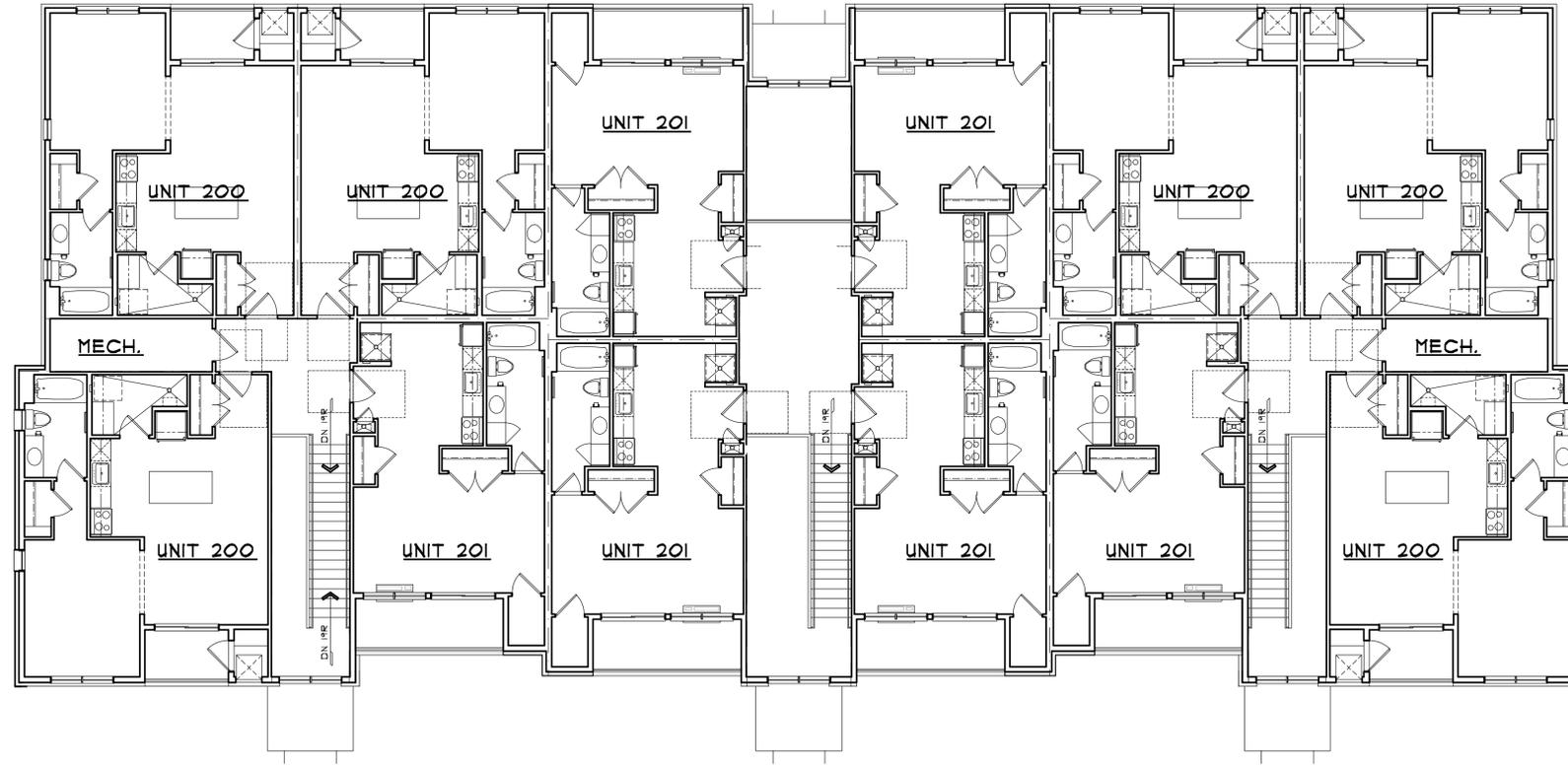
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BIDS	
PERMITS	
FINAL	
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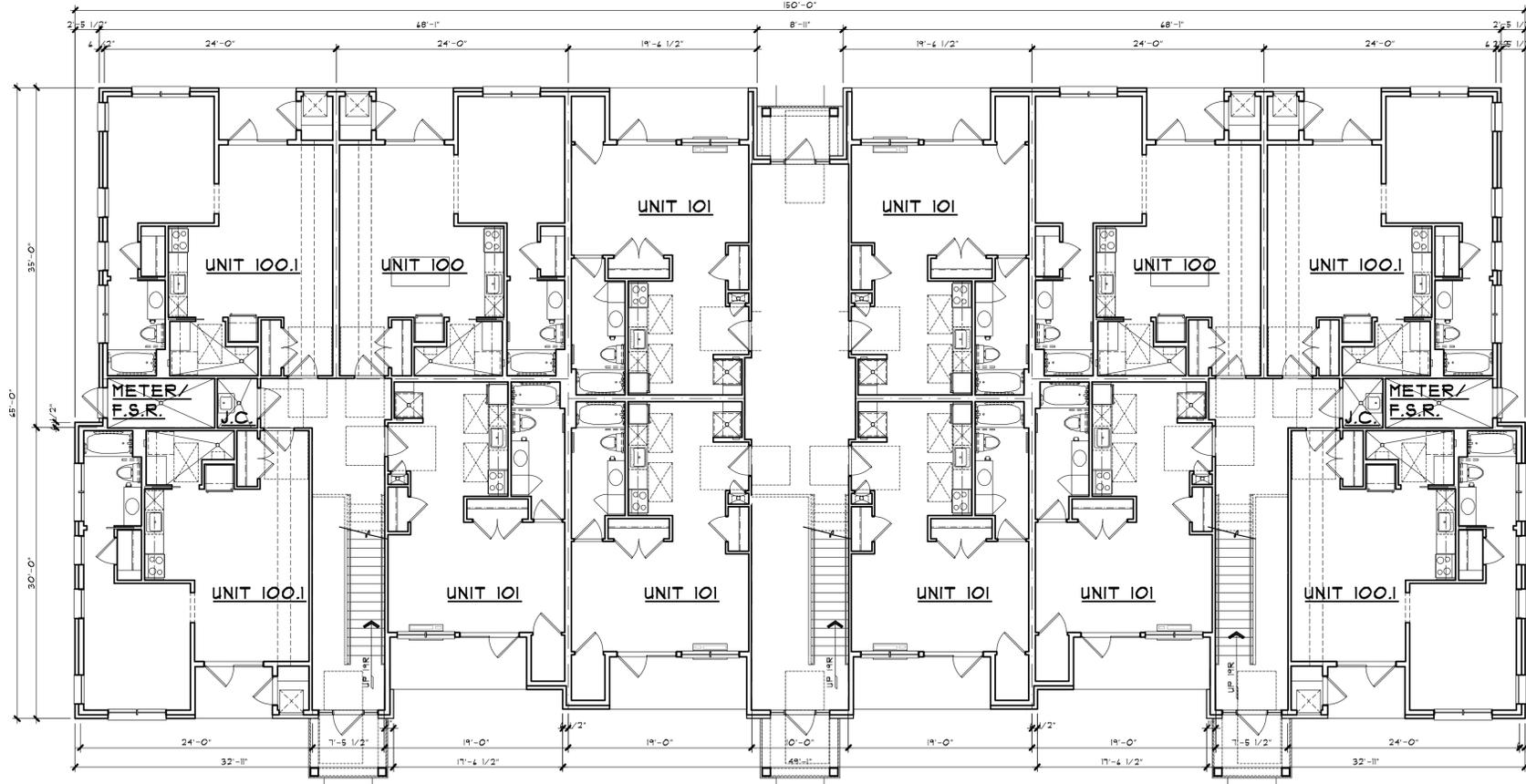
SHEET NUMBER

A-5



SECOND FLOOR PLAN - BUILDING TYPE 'III'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'IIIA'

TOTAL UNITS PER BUILDING, 24 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 8,450 S.F.

SCALE: 1/8" = 1'-0"

BUILDING FRONTING CROOKS ROAD

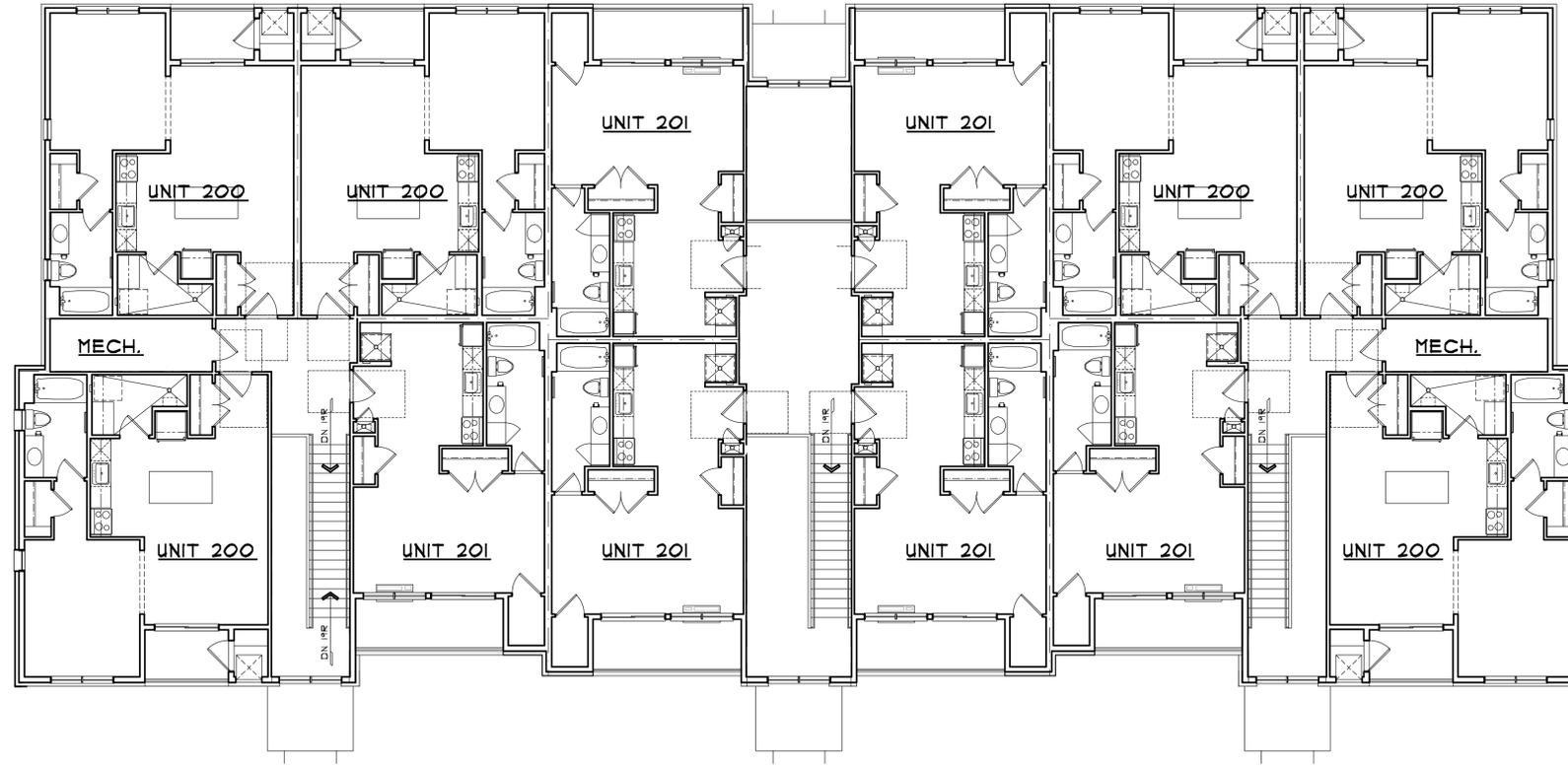


BRIAN NEEPER ARCHITECTURE P.C.
DESIGN - PLANNING - INTERIORS
630 BRIMINGHAM HIGHWAY
TROY, MICHIGAN 48068
BRIANNEEPER.COM
248.259.1784

SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'IIIA'
CROOKS RD.
PRELIMINARY

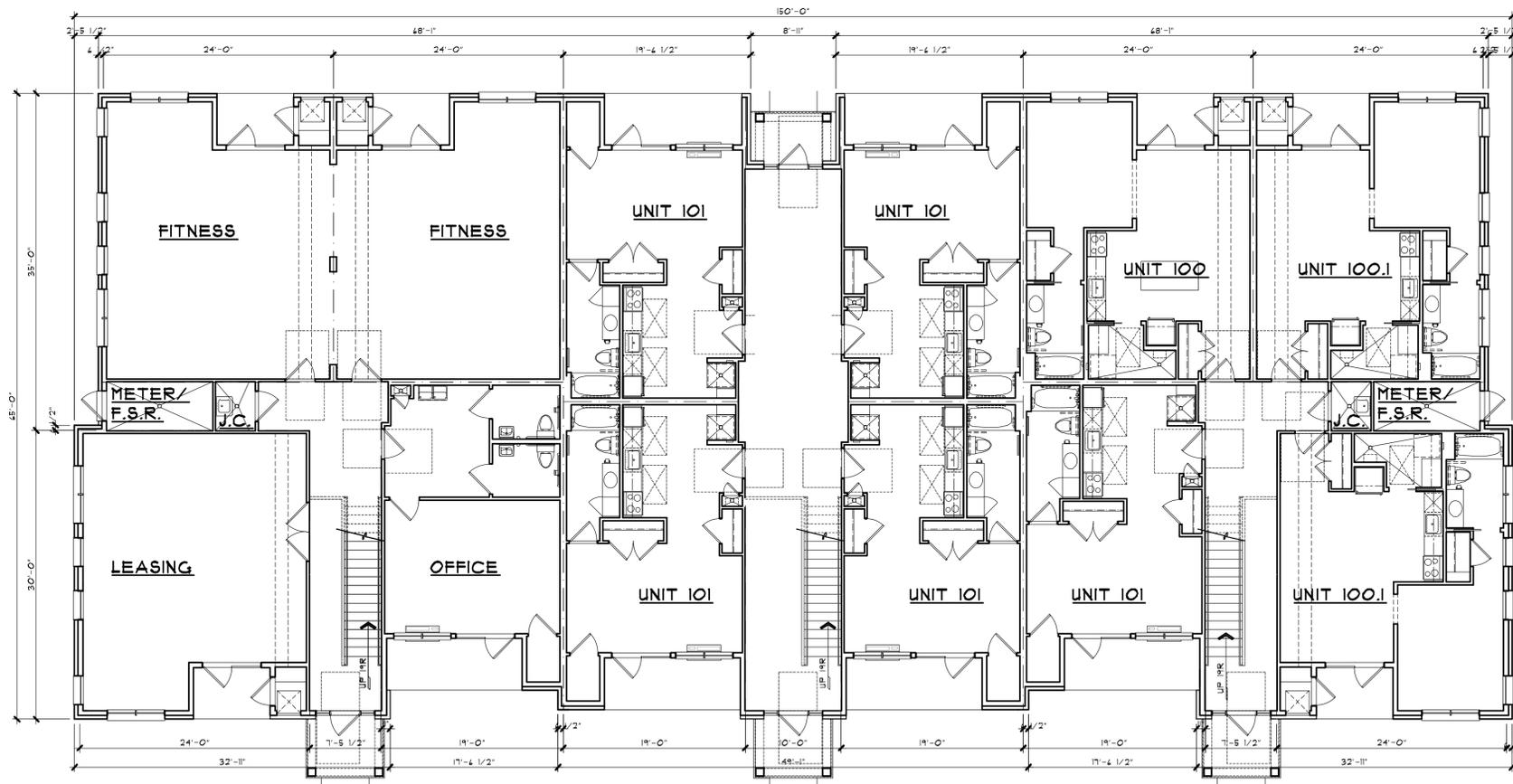
CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
PERMITS	
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SHEET NUMBER	A-6



SECOND FLOOR PLAN - BUILDING TYPE 'III'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'IIIB'

BUILDING FRONTING CROOKS ROAD

TOTAL UNITS PER BUILDING: 20 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 8,450 S.F.

SCALE: 1/8" = 1'-0"



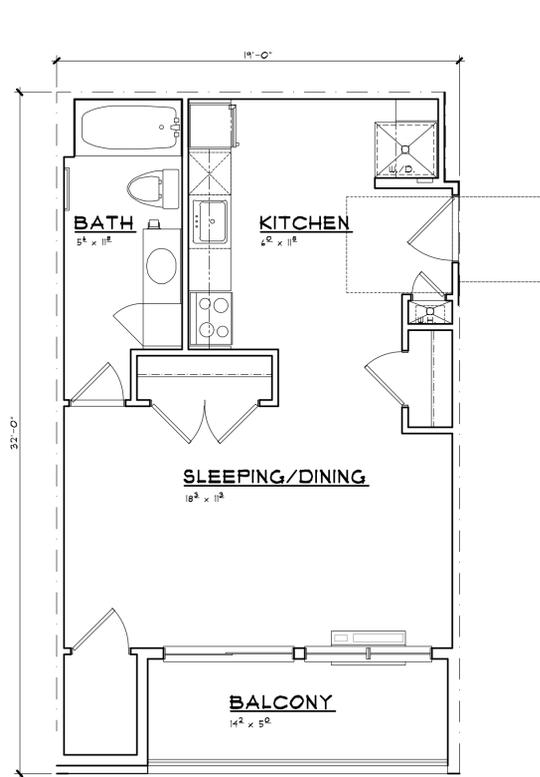
BRIAN NEEPER ARCHITECTURE P.C.
DESIGN - PLANNING - INTERIORS
630 BRIMINGHAM HIGHWAY
TROY, MICHIGAN 48068
BRIANNEEPER.COM
248.259.1784

SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'IIIB'
CROOKS RD.
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

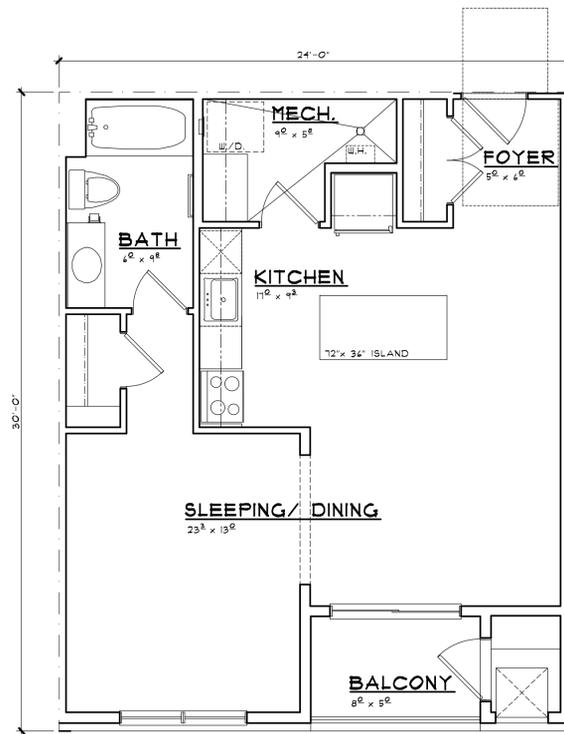
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BIDS	
PERMITS	
FINAL	
REVISIONS	
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SHEET NUMBER	

A-7



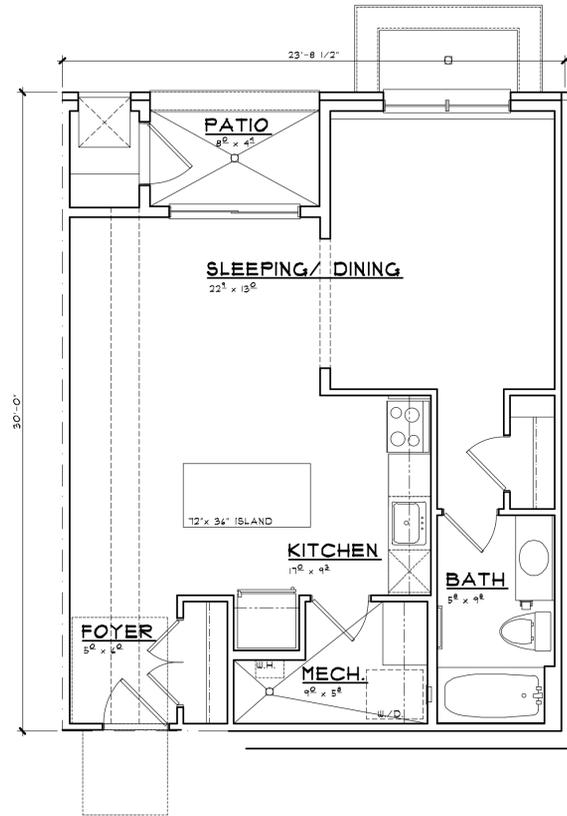
UNIT 200

EFFICIENCY DWELLING UNIT 529 S.F. SCALE: 1/4" = 1'-0"



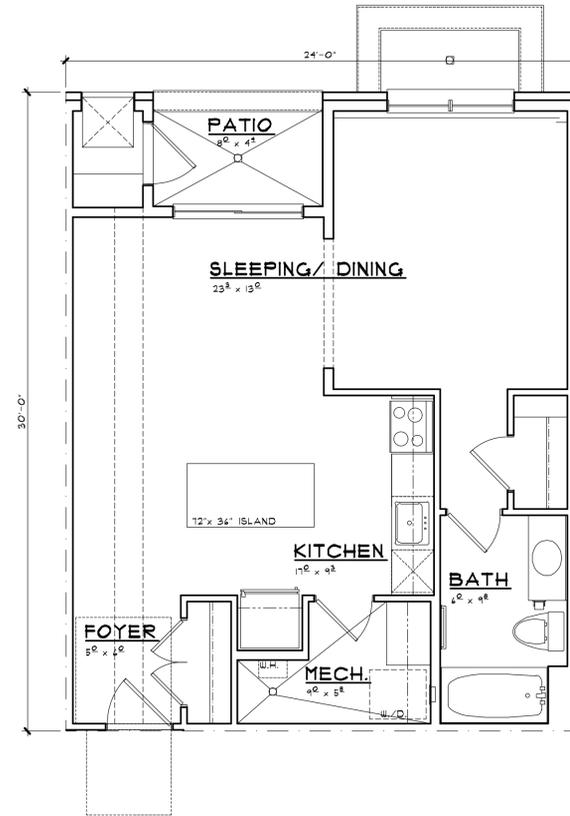
UNIT 201

EFFICIENCY DWELLING UNIT 677 S.F. SCALE: 1/4" = 1'-0"



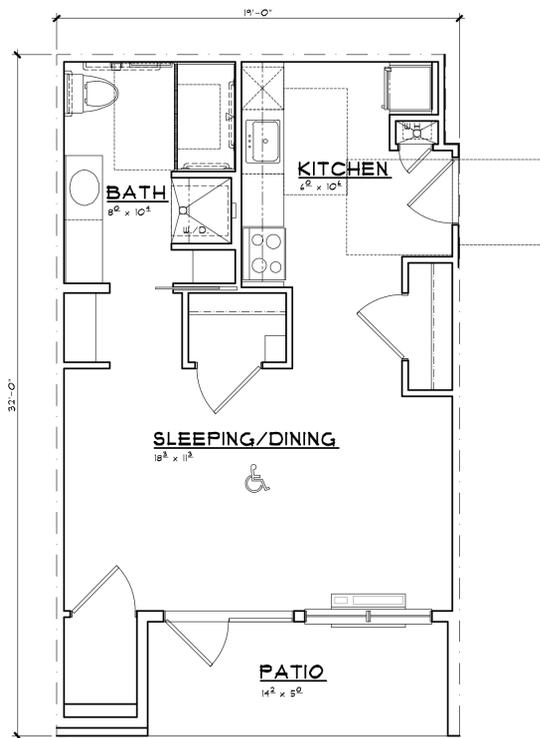
UNIT LL1

EFFICIENCY DWELLING UNIT 663 S.F. SCALE: 1/4" = 1'-0"



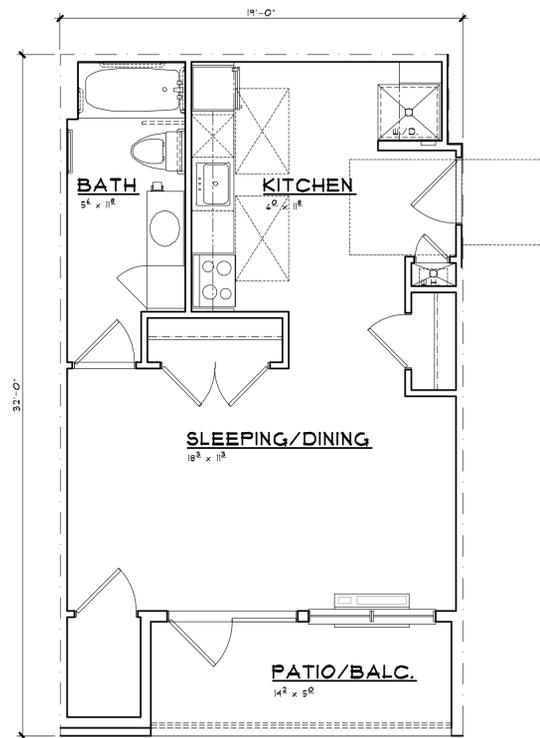
UNIT LL0

EFFICIENCY DWELLING UNIT 677 S.F. SCALE: 1/4" = 1'-0"



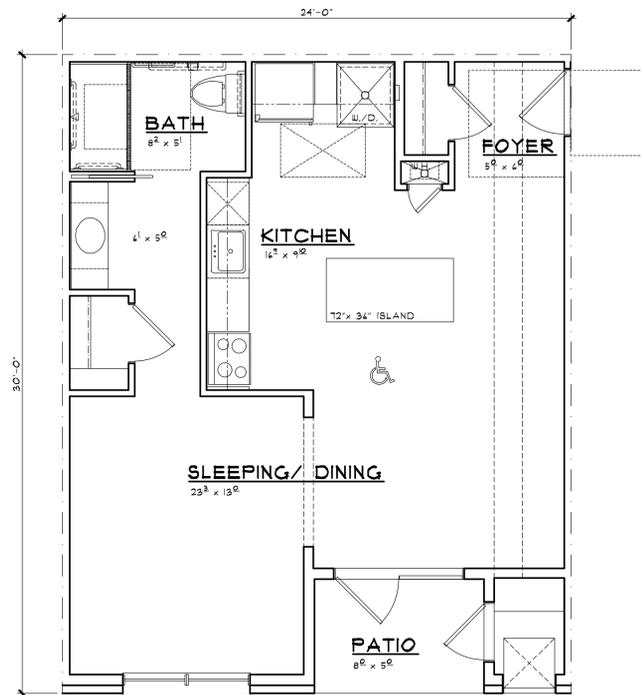
UNIT 101A

EFFICIENCY TYPE 'A' DWELLING UNIT 534 S.F. SCALE: 1/4" = 1'-0"



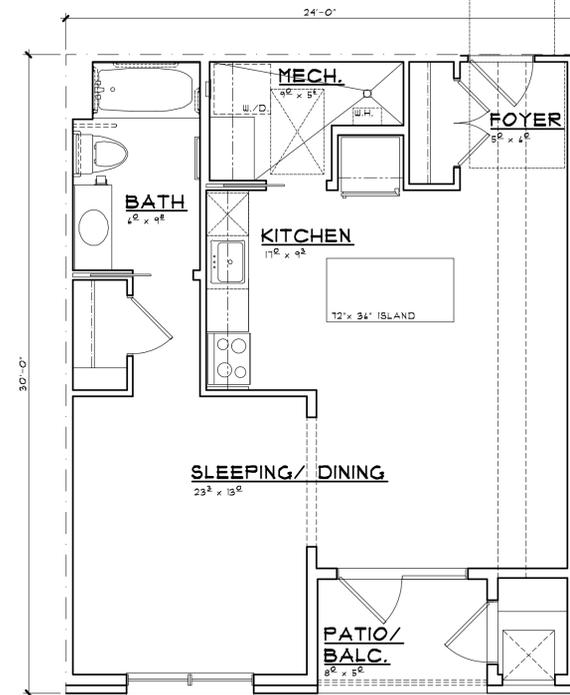
UNIT 101

EFFICIENCY TYPE 'B' DWELLING UNIT 534 S.F. SCALE: 1/4" = 1'-0"



UNIT 100A

EFFICIENCY TYPE 'A' DWELLING UNIT 677 S.F. SCALE: 1/4" = 1'-0"



UNIT 100

EFFICIENCY TYPE 'B' DWELLING UNIT 677 S.F. SCALE: 1/4" = 1'-0"



BRIAN NEEP ARCHITECTURE P.C.
 DESIGN - PLANNING - INTERIORS
 630 BRIMLEY AVE. SUITE 203
 BRIMLEY, ONTARIO, CANADA
 BRIANNEEP.COM
 248.259.1784

SHEET TITLE
DWELLING UNIT PLANS
 PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
 CROOKS ROAD
 EFFICIENCY APARTMENTS
 TROY, MICHIGAN

PRELIMINARY	08-31-23
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PERMITS	
FINAL	
REVISIONS	
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 SHEET NUMBER

A-8



REAR ELEVATION - BUILDING TYPE 'II'

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'II'

SCALE: 1/8" = 1'-0"



BRIAN NEEPER ARCHITECTURE P.C.
 DESIGN - PLANNING - INTERIORS
 630 BRUNSWICK RD., SUITE 203
 BRIMLEY, MICHIGAN
 BRIANNEEPER.COM
 248.259.1784

SHEET TITLE
O.A. BUILDING ELEVATIONS
BUILDING TYPE 'II'
 PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
 CROOKS ROAD
 EFFICIENCY APARTMENTS
 TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
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SHEET NUMBER	A-10



REAR ELEVATION - BUILDING TYPE 'III'

CROOKS ROAD FRONT ELEVATION

OVERALL GLAZING FACING CROOKS ROAD 50%
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

CROOKS ROAD ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

CROOKS ROAD ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'III'

CROOKS ROAD ELEVATION

SCALE: 1/8" = 1'-0"



BRIAN NEEP ARCHITECTURE P.C.
DESIGN - PLANNING - INTERIORS
630 Crooks Rd., Suite 203
Brimley, MI 48108
BRIANNEEP.COM
248.259.1784

SHEET TITLE
O.A. BUILDING ELEVATIONS
BUILDING TYPE 'III'
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

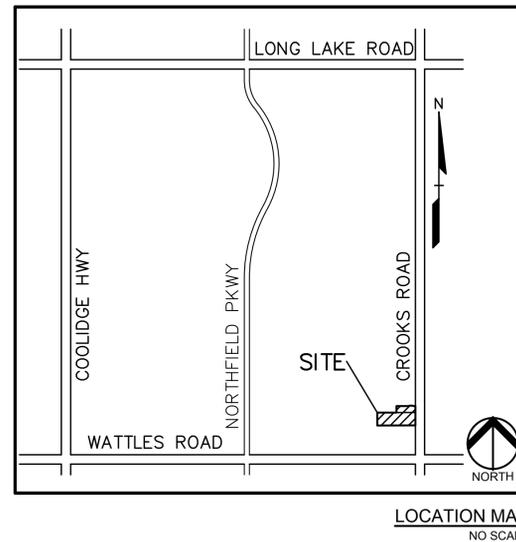
PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
REVISIONS	
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SHEET NUMBER	A-11

EXHIBIT 3

PRELIMINARY SITE - PLANS

CROOKS ROAD DEVELOPMENT

CITY OF TROY, OAKLAND COUNTY, MICHIGAN



INDEX OF DRAWINGS	
NUMBER	TITLE
C-0.0	COVER
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	PRELIMINARY DIMENSION PLAN
C-3.0	GRADING PLAN
C-4.0	UTILITY PLAN
C-5.0	DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
T-1.0	TREE PRESERVATION PLAN
T-1.1	TREE PRESERVATION LIST
SL-1.0	LIGHTING PLAN
ARCHITECTURALS	
A-1	FOUNDATION & LL PLAN BUILDING TYPE 'A-1'
A-2	1ST & 2ND FLOOR PLANS BUILDING TYPE 'A-1'
A-3	FOUNDATION & LL PLAN BUILDING TYPE 'A-2'
A-4	1ST & 2ND FLOOR PLANS BUILDING TYPE 'A-2'
A-5	FOUNDATION PLAN BUILDING TYPE 'B-1, B-2 & B-3'
A-6	1ST & 2ND FLOOR PLANS BUILDING TYPE 'B-1'
A-7	1ST & 2ND FLOOR PLANS BUILDING TYPE 'B-2'
A-8	1ST & 2ND FLOOR PLANS BUILDING TYPE 'B-3'
A-9	DWELLING UNIT PLANS
A-10	BUILDING ELEVATIONS TYPE 'A-1'
A-11	BUILDING ELEVATIONS TYPE 'A-2'
A-12	BUILDING ELEVATIONS TYPE 'B-1' & 'B-2'
A-13	BUILDING ELEVATIONS TYPE 'B-3'

DESIGN TEAM

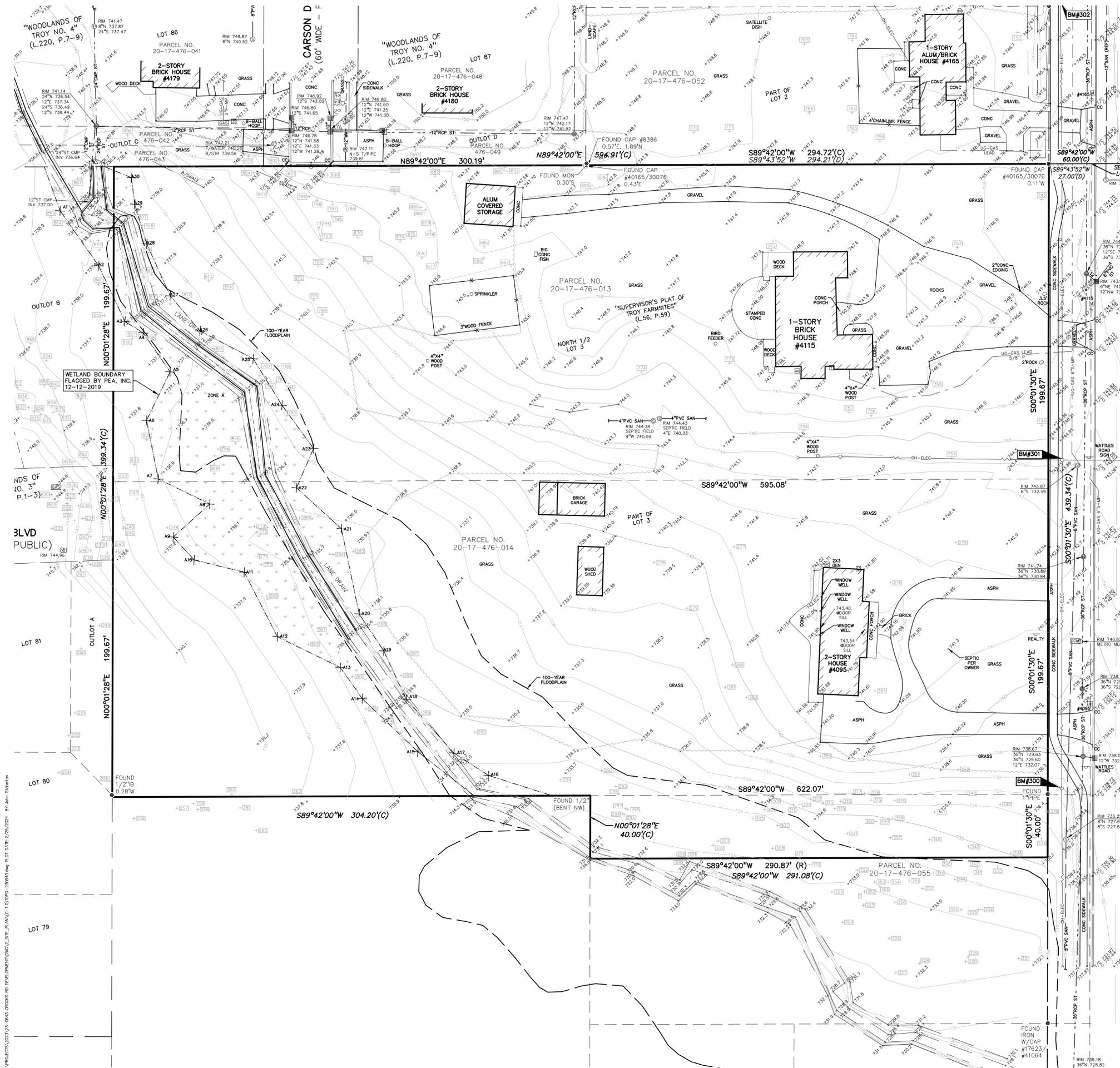
OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
TOLLBROOK NORTH LLC 1612 MUER DR. TROY, MI 48063 CONTACT: SAM STAFA PHONE: 248.890.8621 EMAIL: SSTAFA3@GMAIL.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: GREG BONO, PE PHONE: 844.813.2949 EMAIL: GBONO@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
BRIAN NEEPER ARCHITECTURE P.C. 630 NORTH OLD WOODWARD, SUITE 203 BIRMINGHAM, MI 48009 CONTACT: BRIAN NEEPER PHONE: 248.259.1784 EMAIL: CONTACT@BRINANEPPER.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: LYNN WHIPPLE, PLA PHONE: 844.813.2949 EMAIL: LWHIPPLE@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	8/18/2023
CITY COMMENTS	11/27/2023
CITY COMMENTS	2/29/2024



NOT FOR CONSTRUCTION



LEGAL DESCRIPTION
(Per PEA, Inc.)

OVERALL COMBINED PARCEL
Land in the City of Troy, Oakland County, Michigan, described as follows:

All of Lot 3 and the north 40 feet of Lot 4, except for the East 27 feet taken for Crooks Road, "Supervisor's Plat of Troy Farmsites" as recorded in Liber 56 of Plats, Page 59, Oakland County Records, and being more particularly described as:

Commencing at the East 1/4 corner of Section 17, Town 2 North, Range 11 East; thence along the east line of said section 17, S00°01'30"E, 1620.52 feet to the extension of the north line of said Lot 3; thence along said extension, S89°42'00"W, 60.00 feet to the west line of Crooks Road (120 feet wide) and the POINT OF BEGINNING; thence along said west line, S00°01'30"E, 439.34 feet; thence S89°42'00"W, 291.08 feet to the west line of said Lot 4; thence along said west line, N00°01'28"E, 40.00 feet to the south line of said Lot 3; thence along said south line, S89°42'00"W, 304.20 feet to the west line of said Lot 3, said line also being the east line of "Woodlands of Troy No. 3", as recorded in Liber 207, Page 1, Oakland County Records; thence along said east line, N00°01'28"E, 399.34 feet to the north line of said Lot 3, said line also being the south line of "Woodlands of Troy No. 4", as recorded in Liber 220, Page 7, Oakland County Records; thence along said north line, N89°42'00"E, 594.91 feet to the aforementioned west line of Crooks Road and the Point of Beginning. Containing 5.72 acres of land, more or less.

LEGAL DESCRIPTION
(Per Warranty Deed, as recorded in Liber 50005, Page 197, Oakland County Records)

PARCEL NO 20-17-476-052 (#4165 Crooks Road)
Land in the City of Troy, Oakland County, Michigan, described as follows:

Part of Lot 2, Supervisor's Plat of Troy Farmsites, as recorded in Liber 56, Page 59 of Plats, Oakland County Records, beginning at point distant S8 43'52"W, 27 feet from the Southeast lot corner; thence S89°43'52"W, 294.21 feet; thence N00°06'04"E, 100 feet; thence N89°43'52"E, 194.99 feet; thence N62°18'31"E, 11.29 feet; thence N89°43'52"E, 44.60 feet; thence S62°44'34"E, 11.25 feet; thence N89°43'52"E, 34.40 feet; thence S00°01'30"E, 100 feet to Beginning.

LEGAL DESCRIPTION
(Per Warranty Deed, as recorded in Liber 48572, Page 470, Oakland County Records)

PARCEL NO 20-17-476-013 (#4115 Crooks Road)
Land in the City of Troy, Oakland County, Michigan, described as follows:

The North 1/2 of Lot 3 except the East 27 feet taken for Crooks Road, Supervisor's Plat of Troy Farmsites, according to the plat thereof as recorded in Liber 56 of Plats, Page 59, Oakland County Records.

FLOODPLAIN:
(Per Flood Insurance Rate Map Number 26125C-0533F, Revised Date September 29, 2009)

BY GRAPHICAL PLOTTING, THE SITE LIES WITHIN:

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
The 1% annual chance flood (100 year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A - No Base Flood Elevations determined.

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊙ MONUMENT FOUND	⊙ RECORDED
⊗ NAIL FOUND	⊙ MONUMENT SET	⊙ MEASURED
⊗ NAIL & CAP SET		⊙ CALCULATED

EXISTING

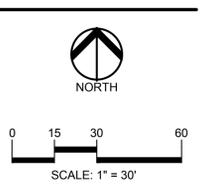
- OH-ELEC-11-C- UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-CATV- NOT FIELD LOCATED (PER GIS)
- UG-PHONE- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- ⊙ GAS MAN, VALVE & GAS LINE MARKER
- ⊙ WATERMAN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- ⊙ SANITARY SEWER, CLEANOUT & MANHOLE
- ⊙ STORM SEWER, CLEANOUT & MANHOLE
- ⊙ COMBINED SEWER & MANHOLE
- ⊙ SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- ⊙ POST INDICATOR VALVE
- ⊙ WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- ⊙ MALKO, TRANSFORMER, IRIGATOR CONTROL VALVE
- ⊙ UNIDENTIFIED STRUCTURE
- ⊙ SPOT ELEVATION
- ⊙ CONTOUR LINE
- ⊙ FENCE
- ⊙ GUARD RAIL
- ⊙ STREET LIGHT
- ⊙ SIGN

BENCHMARKS
(GPS DERIVED - NAVD83)

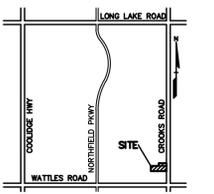
BM #300
BENCHMARK IN NORTH SIDE OF POWERPOLE, ±290' SOUTHEAST FROM SOUTHEAST HOUSE CORNER #4115.
ELEV. - 739.19

BM #301
BENCHMARK IN WEST SIDE OF POWERPOLE, ±133' SOUTHEAST FROM SOUTHEAST HOUSE CORNER #4115.
ELEV. - 745.59

BM #302
BENCHMARK ON WEST SIDE OF POWERPOLE, ±62' EAST OF HOUSE #4165.
ELEV. - 746.80



CAUTION!!
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CLIENT
TOLLBROOK NORTH LLC.
1612 MUER DR.
TROY, MI 48063

PROJECT TITLE
CROOKS ROAD DEVELOPMENT
TROY, MICHIGAN

REVISIONS

CITY COMMENTS	11-27-23
CITY COMMENTS	02-29-24

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO.	23-0643
P.M.	GB
DN.	JKS
DES.	JKS

DRAWING NUMBER:

NOT FOR CONSTRUCTION **C-1.0**

S:\PROJECTS\2023\03-0643_CROOKS RD DEVELOPMENT\DWG\SITE_PLAN\JOB-C-10780-230643.dwg PLOT DATE: 2/29/2024 BY: John Stibelto



0 15 30 60
 SCALE: 1" = 30'



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LOCATION MAP - NOT TO SCALE

CLIENT
TOLLBROOK NORTH LLC.
 1612 MUER DR.
 TROY, MI 48063

PROJECT TITLE
CROOKS ROAD DEVELOPMENT
 TROY, MICHIGAN

REVISIONS	
CITY COMMENTS	11-27-23
CITY COMMENTS	02-29-24

ORIGINAL ISSUE DATE:
 AUGUST 18, 2023

DRAWING TITLE
PRELIMINARY DIMENSION PLAN

PEA JOB NO. 23-0643

P.M. GB
 DN. JKS
 DES. JKS

DRAWING NUMBER:

C-2.0

LEGEND:

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

SITE DATA TABLE:

SITE AREA: 5.72 ACRES (249,257 SF) NET AND GROSS

ZONING: (NN) NODE 1

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

BUILDING INFORMATION:
 MAXIMUM ALLOWABLE BUILDING HEIGHT = 25 FT. (2 STORIES)
 PROPOSED BUILDING HEIGHT = 21 FT. (2 STORY)

BUILDING FOOTPRINT AREA = 50,075 SF

REQUIRED BUILDING LOT COVERAGE = 35% MAX.
 PROVIDED BUILDING LOT COVERAGE = 20%

SETBACK REQUIREMENTS:	REQUIRED:	PROPOSED:
FRONT (EAST)	10'	14.81'
SIDE (NORTH)	0'	44.96'
SIDE (SOUTH)	0'	22.08'
REAR (WEST)	30'	138.55'

PARKING CALCULATIONS:
 MULTI-FAMILY RESIDENTIAL = 1 SPACES PER DWELLING UNIT
 TOTAL REQUIRED PARKING = 152 UNITS x 1 SPACE PER UNIT = 152 SPACES

TOTAL PROPOSED PARKING SPACES = 181 SPACES INC. 6 H/C SPACES

OPEN SPACE:
 REQUIRED OPEN SPACE = 30% MIN.
 PROVIDED OPEN SPACE = 41%

SITE SOILS INFORMATION:
 ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:
 SHEBEON SANDY LOAM, 0 TO 4 PERCENT SLOPES

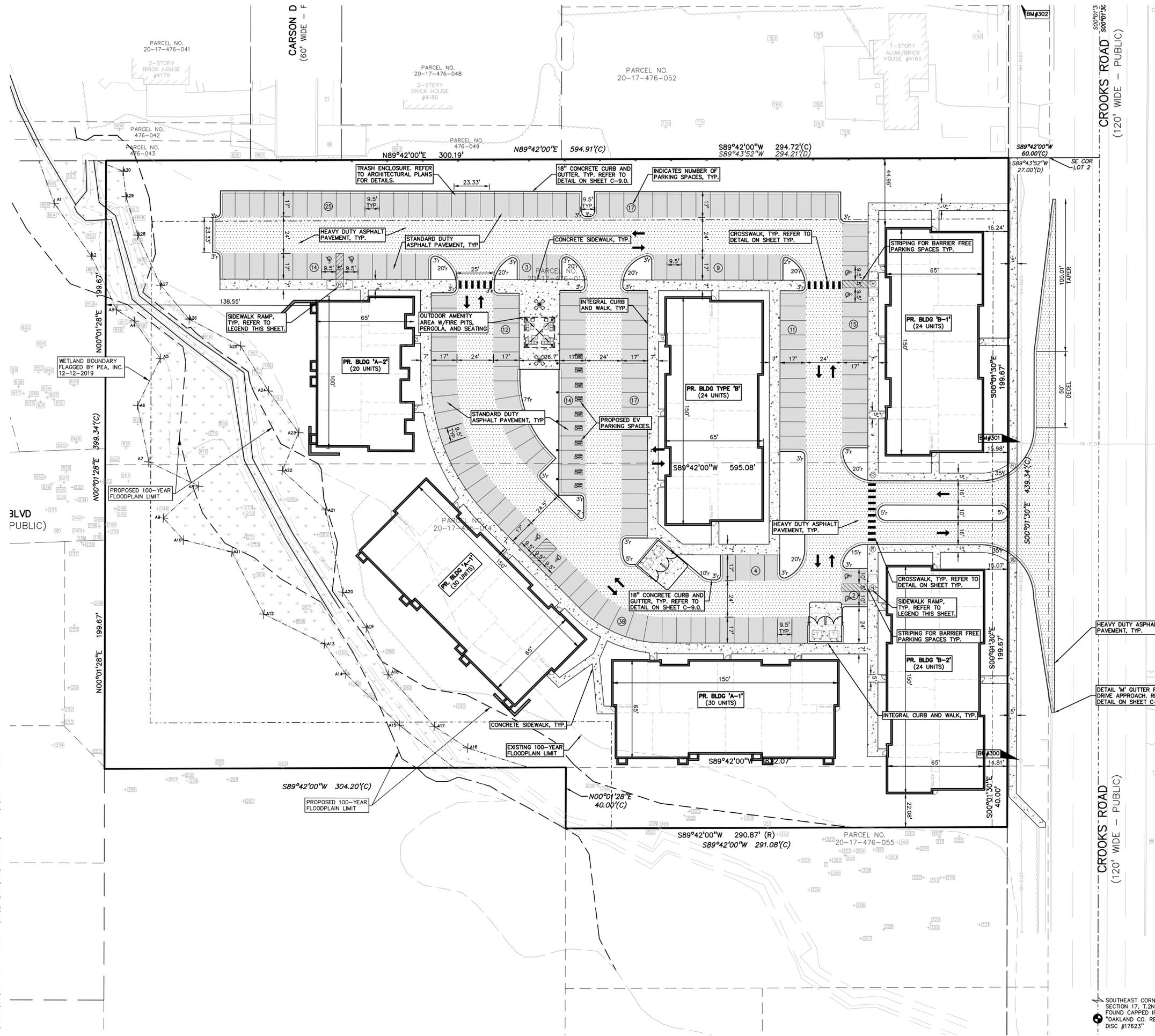
GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- NO PARKING-FIRE LANE SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
- REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP "TYPE R"
 REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

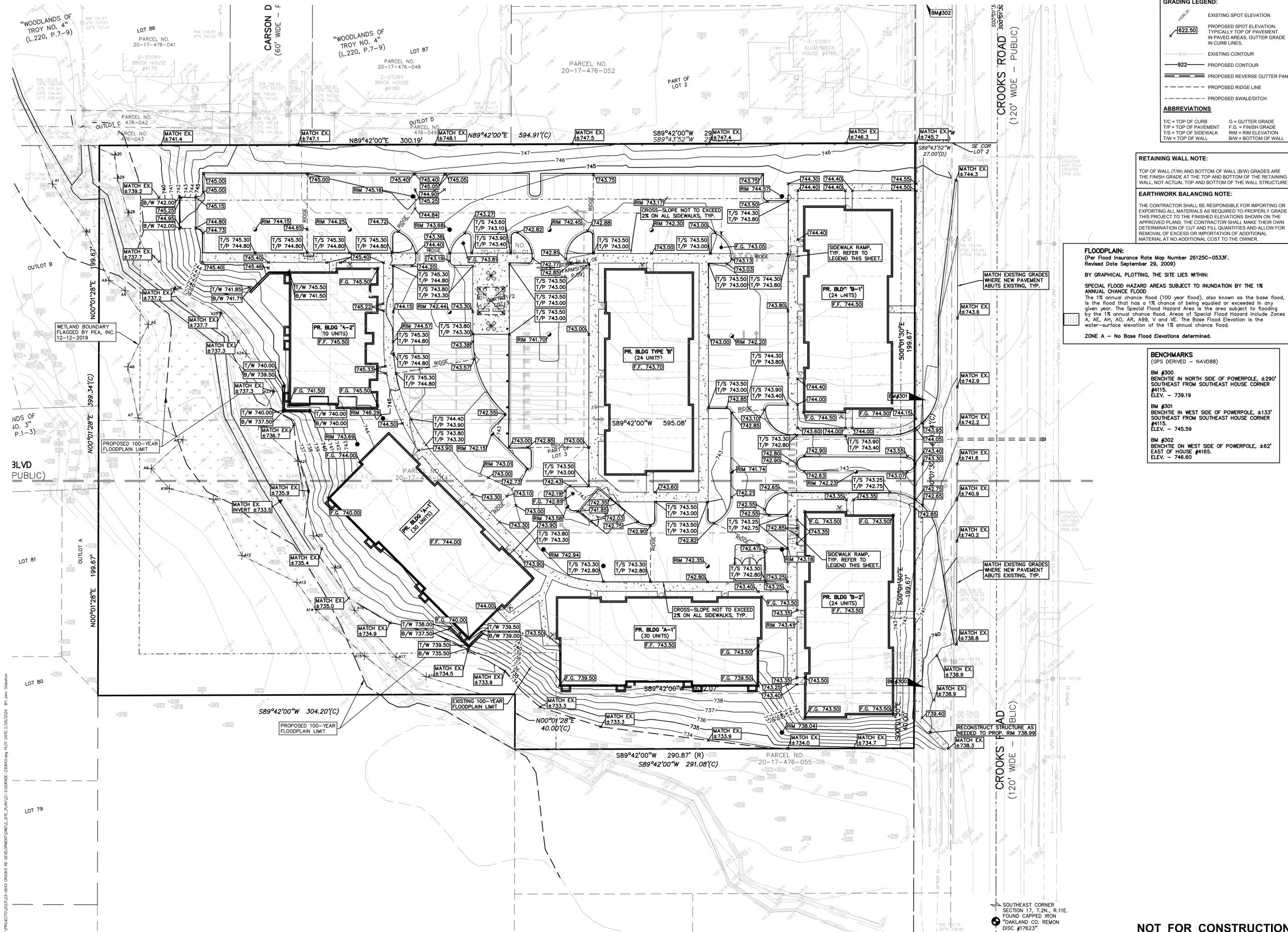


CROOKS ROAD
 (120' WIDE - PUBLIC)

CROOKS ROAD
 (120' WIDE - PUBLIC)

SOUTHEAST CORNER
 SECTION 17, T.2N., R.11E.
 FOUND CAPPED IRON
 *OAKLAND CO. REMON
 DISC #17623*

NOT FOR CONSTRUCTION



GRADING LEGEND:

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

ABBREVIATIONS

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- T/W = TOP OF WALL
- G = GUTTER GRADE
- F.G. = FINISH GRADE
- RIM = RIM ELEVATION
- B/W = BOTTOM OF WALL

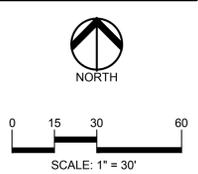
RETAINING WALL NOTE:
TOP OF WALL (TW) AND BOTTOM OF WALL (BW) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

EARTHWORK BALANCING NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

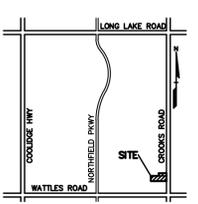
FLOODPLAIN:
(Per Flood Insurance Rate Map Number 26125C-0533F. Revised Date September 29, 2009)
BY GRAPHICAL PLOTTING, THE SITE LIES WITHIN:
SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
The 1% annual chance flood (100 year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
ZONE A - No Base Flood Elevations determined.

BENCHMARKS
(GPS DERIVED - NAVD83)

- BM #300
BENCHMITE IN NORTH SIDE OF POWERPOLE, ±290'
SOUTHEAST FROM SOUTHEAST HOUSE CORNER #4115.
ELEV. - 739.19
- BM #301
BENCHMITE IN WEST SIDE OF POWERPOLE, ±133'
SOUTHEAST FROM SOUTHEAST HOUSE CORNER #4115.
ELEV. - 745.59
- BM #302
BENCHMITE ON WEST SIDE OF POWERPOLE, ±62'
EAST OF HOUSE #4165.
ELEV. - 746.60



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CLIENT
TOLLBROOK NORTH LLC.
1612 MUER DR.
TROY, MI 48063

PROJECT TITLE
CROOKS ROAD DEVELOPMENT
TROY, MICHIGAN

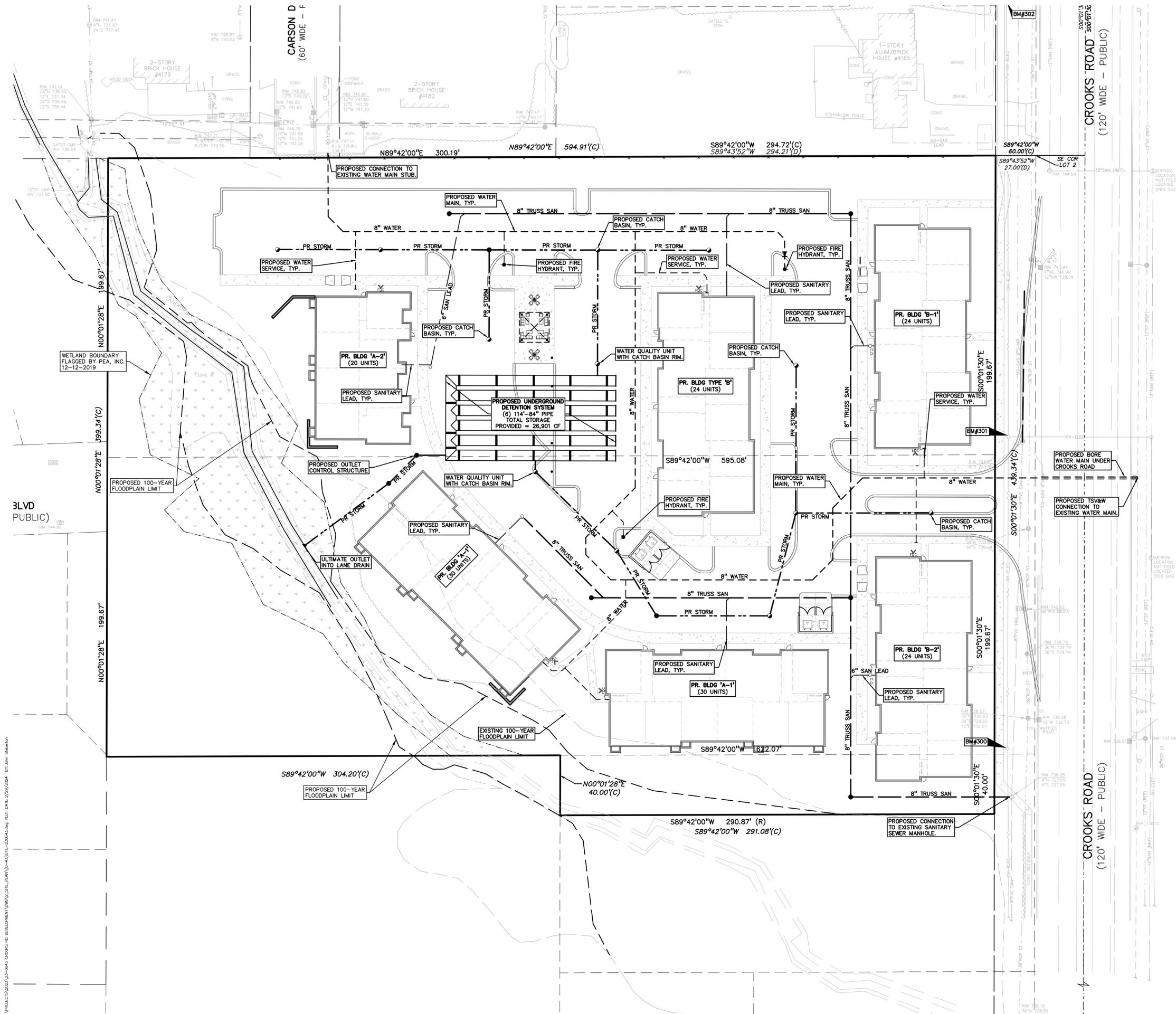
REVISIONS	
CITY COMMENTS	11-27-23
CITY COMMENTS	02-29-24

ORIGINAL ISSUE DATE:
AUGUST 18, 2023
DRAWING TITLE
GRADING PLAN

PEA JOB NO.	23-0643
P.M.	GB
DN.	JKS
DES.	JKS
DRAWING NUMBER:	

NOT FOR CONSTRUCTION C-3.0

S:\PROJECTS\2023\03-0643_CROOKS RD DEVELOPMENT\DWG\LS\SITE_PLAN\C-3.0\GRADE-230643.dwg PLOT DATE: 2/29/2024 By: John Sheehan



UTILITY LEGEND:

- OH-ELEC-W-O- EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV- EX. U.G. CABLE TV & PEDESTAL
- UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC-CL- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- PROPOSED HYDRANT AND GATE VALVE
- PROPOSED TAPPING SLEEVE, VALVE & WELL
- PROPOSED POST INDICATOR VALVE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY CLEANOUT & MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER CLEANOUT & MANHOLE
- PROPOSED CATCH BASIN, INLET & YARD DRAIN

Site Drainage Data

Select County: **Oakland**

Existing

Natural Greenspace area:	0.00 acre	C = 0.25
Select NCRS Soil type:	C	
Improved Greenspace area:	4.16 acre	C = 0.25
Select NCRS Soil type:	C	
Wooded Area:	1.56 acre	C = 0.25
Select NCRS Soil type:	C	
Impervious Area:	0.00 acre	C = 0.95
Greenbelt Area:	5.72 acre	C = 0.25
Total Area (A):	5.72 acre	
Weighted Coefficient of Runoff (C):	0.25	

Proposed

Natural Greenspace area:	0.00 acre	C = 0.25
Select NCRS Soil type:	C	
Improved Greenspace area:	0.65 acre	C = 0.25
Select NCRS Soil type:	C	
Wooded Area:	0.00 acre	C = 0.25
Select NCRS Soil type:	C	
Impervious Area:	3.05 acre	C = 0.95
Greenbelt Area:	0.65 acre	C = 0.25
Total Area (A):	3.70 acre	
Weighted Coefficient of Runoff (C):	0.83	

Rainfall Intensity

Flood Control Time of Concentration, T_c = **20.00 min**

Design Requirements

CPRC Extended Detention: V _{ED} =	21,183 cf
CPRC Allowable Outlet Rate: Q _{VED} =	0.12 cfs
100-Year Storage Volume: V ₁₀₀₀₀ =	26,705 cf
100-Year Allowable Outlet Rate: Q _{V,RR} =	3.09 cfs

UNDERGROUND DETENTION SYSTEM

PROJECT SUMMARY

CALCULATION DETAILS

- LOADING = RESIDHS25
- APPROX. LINEAR FOOTAGE = 699 LF

STORAGE SUMMARY

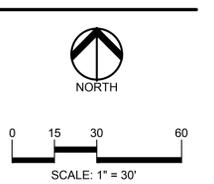
- STORAGE VOLUME REQUIRED = 26,705 CF
- PIPE STORAGE VOLUME = 26,901 CF
- BACKFILL STORAGE VOLUME = 0 CF
- TOTAL STORAGE PROVIDED = 26,901 CF

PIPE DETAILS

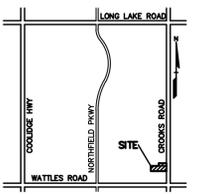
- DIAMETER = 84"
- CORRUGATION = 5x1
- GAGE = 16
- COATING = ALT2
- WALL TYPE = SOLID
- BARREL SPACING = 36"

BACKFILL DETAILS

- WIDTH AT ENDS = 12'
- ABOVE PIPE = 0'
- WIDTH AT SIDES = 12'
- BELOW PIPE = 0'



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CLIENT
TOLLBROOK NORTH LLC.
1612 MUER DR.
TROY, MI 48063

PROJECT TITLE
CROOKS ROAD DEVELOPMENT
TROY, MICHIGAN

REVISIONS

CITY COMMENTS	11-27-23
CITY COMMENTS	02-29-24

ORIGINAL ISSUE DATE:
AUGUST 16, 2023

DRAWING TITLE
UTILITY PLAN

PEA JOB NO.	23-0643
P.M.	GB
DN	JKS
DES.	JKS
DRAWING NUMBER:	

NOT FOR CONSTRUCTION C-4.0

S:\PROJECTS\2023\03-0643_CROOKS RD DEVELOPMENT\DWG\LS\SITE_PLAN(C-4.0).PLT - 230643.dwg PLOT DATE: 2/29/2024 8:11:46m Station



0 15 30 60
SCALE: 1" = 30'



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LOCATION MAP - NOT TO SCALE

CLIENT
TOLLBROOK NORTH LLC.
1612 MUER DR.
TROY, MI 48063

PROJECT TITLE
CROOKS ROAD DEVELOPMENT
TROY, MICHIGAN

REVISIONS

CITY COMMENTS	11-27-23
CITY COMMENTS	02-29-24

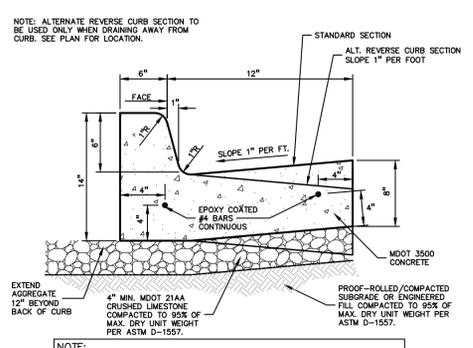
ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
DETAILS

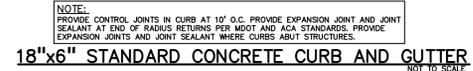
PEA JOB NO.	23-0643
P.M.	GB
DN.	JKS
DES.	JKS

DRAWING NUMBER:

C-5.0



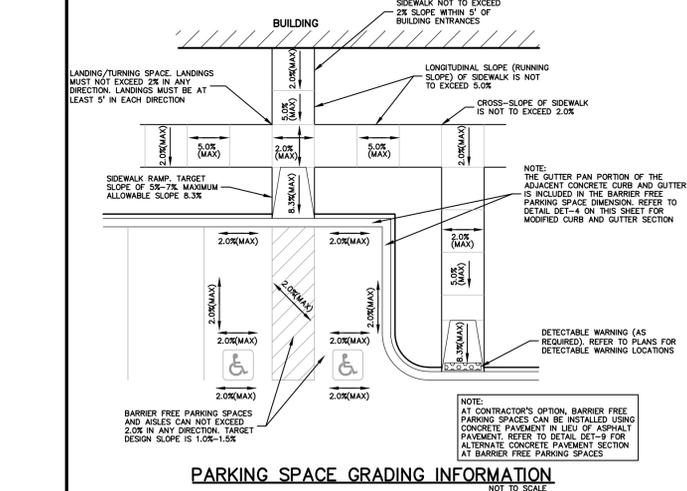
BARRIER FREE PARKING SPACE ALTERNATE CONCRETE PAVEMENT DETAIL
NOT TO SCALE



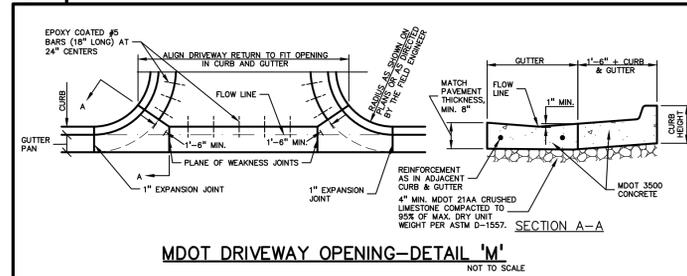
18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



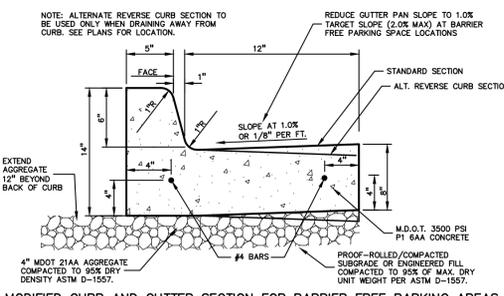
BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



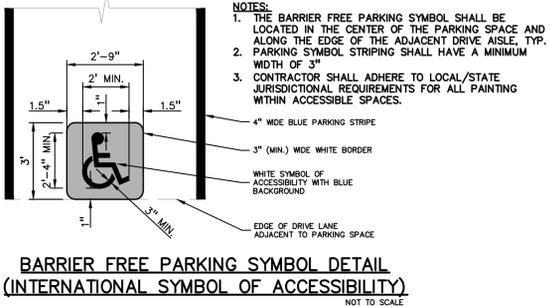
PARKING SPACE GRADING INFORMATION
NOT TO SCALE



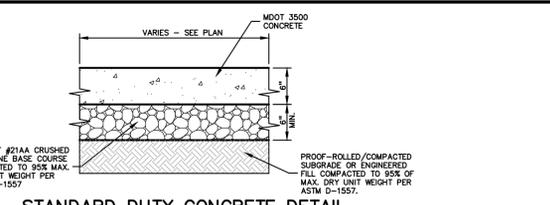
M.D.O.T. DRIVEWAY OPENING-DETAIL 'M'
NOT TO SCALE



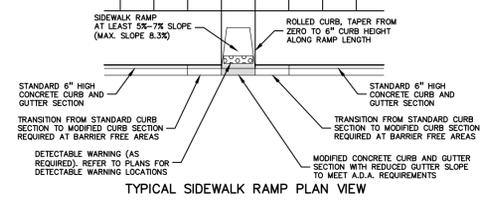
MODIFIED CURB AND GUTTER SECTION FOR BARRIER FREE PARKING AREAS
NOT TO SCALE



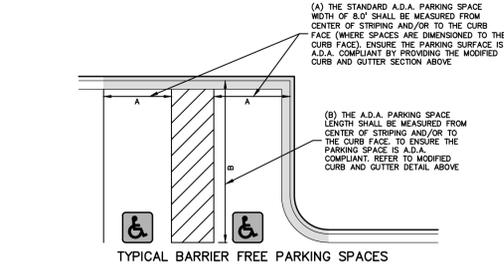
BARRIER FREE PARKING SYMBOL DETAIL (INTERNATIONAL SYMBOL OF ACCESSIBILITY)
NOT TO SCALE



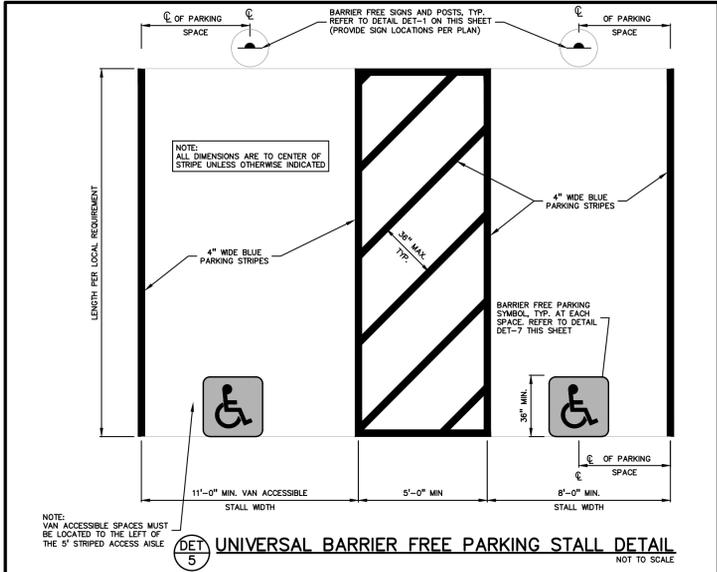
STANDARD DUTY CONCRETE DETAIL
NOT TO SCALE



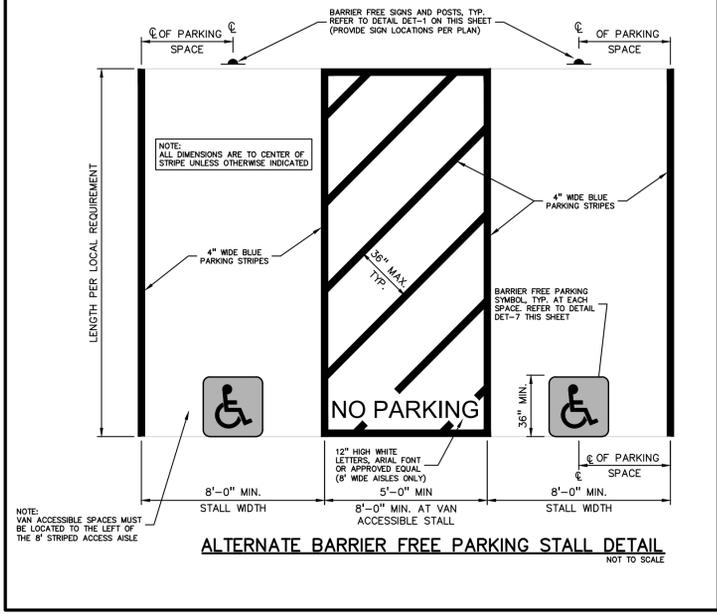
TYPICAL SIDEWALK RAMP PLAN VIEW
NOT TO SCALE



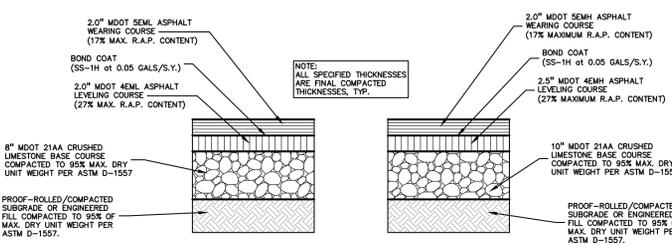
TYPICAL BARRIER FREE PARKING SPACES MODIFIED 18"x6" CONCRETE CURB AND GUTTER DETAIL TO BE USED IN BARRIER FREE AREAS
NOT TO SCALE



UNIVERSAL BARRIER FREE PARKING STALL DETAIL
NOT TO SCALE



ALTERNATE BARRIER FREE PARKING STALL DETAIL
NOT TO SCALE



STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE

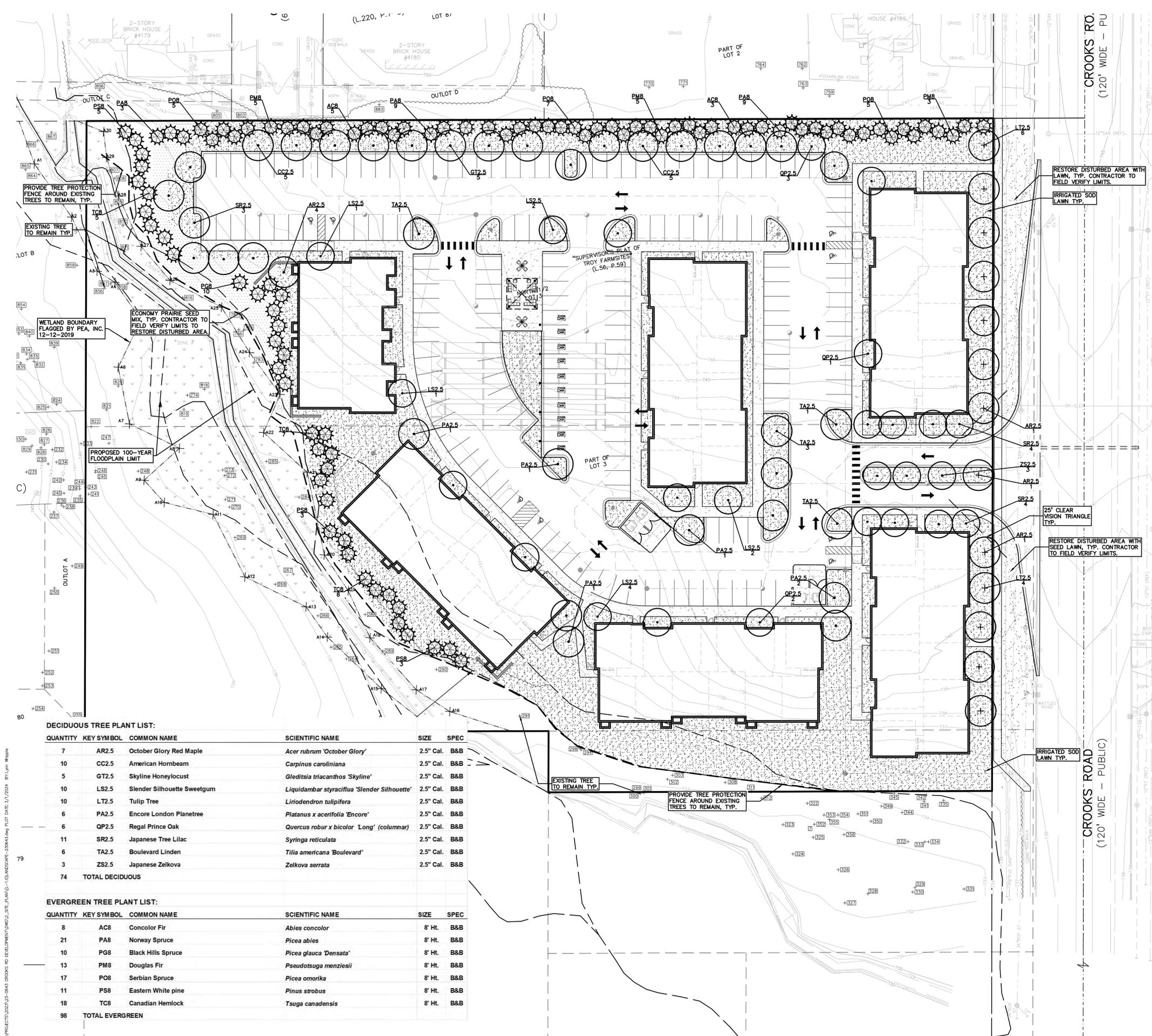
HEAVY DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE

AGGREGATE BASE NOTE:
THIS PAVEMENT SECTION DESIGN ASSUMES THE USE OF M.D.O.T. 21AA CRUSHED LIMESTONE BASE MATERIAL THAT MEETS THE REQUIREMENTS OF M.D.O.T. STANDARD SPECIFICATION SECTION 902 FOR AGGREGATE. IF CRUSHED CONCRETE AGGREGATE BASE IS PROPOSED IN LIEU OF THE SPECIFIED CRUSHED LIMESTONE MATERIAL, PEA GROUP WILL REQUIRE A MINIMUM 25% INCREASE IN BASE THICKNESS. HOWEVER, IF TESTING DOCUMENTATION IS PROVIDED TO PEA GROUP THAT SHOWS THAT THE CRUSHED CONCRETE MATERIAL MEETS ALL REQUIREMENTS OF M.D.O.T. STANDARD SPECIFICATION SECTION 902, THEN THE 25% INCREASE IN THICKNESS MAY BE REEVALUATED.

ASPHALT MATERIAL NOTES:
HOT-MIX ASPHALT MIXTURES UTILIZING RECYCLED ASPHALT PAVEMENT (RAP) MUST MEET M.D.O.T. SPECIAL PROVISION 125P(6)(1). THE BINDER GRADE FOR THIS WORK IS PG64-28. IF ASPHALT MIXES CONTAINING RAP ARE TO BE SUPPLIED FOR THIS PROJECT, THE ASPHALT BINDER MUST BE REVISED PER M.D.O.T. TIER 1 OR TIER 2 REQUIREMENTS (RAP CONTENT UP TO 27% MAXIMUM). TIER 3 MIXES ARE NOT ACCEPTABLE ON THIS PROJECT. AN ASPHALT MIX DESIGN FOR ALL SPECIFIED MIXES SHOULD BE FORWARDED TO PEA GROUP FOR REVIEW PRIOR TO CONSTRUCTION.

ASPHALT MIX DESIGN CHART

COMMERCIAL ADT 0-300	COMMERCIAL ADT 301-1000	COMMERCIAL ADT 1001-3400	COMMERCIAL ADT 3401	APPLICATION RATE (LB/YD ²) MINIMUM - MAXIMUM
4EL	4EM	4EMH	4EMH	220-275
5EL	5EM	5EMH	SMA OR SEMH	165-220
PG 58-28	PG 64-28	PG 64-28	PG 70-28P	



LANDSCAPE CALCULATIONS:
PER CITY OF TROY ZONING ORDINANCE, R1-B, NN: I NODE, BUILDING FORM C.

GREENBELT
REQUIRED: 1 TREE / 30 LF OF FRONTAGE
CROOKS ROAD: 400 LF FRONTAGE / 30 = 13 TREES
PROVIDED: 13 TREES

INTERNAL PUBLIC OR PRIVATE ROAD STREET TREES:
REQUIRED: 1 TREE / 50 LF (BOTH SIDES RD.)
3,064 LF / 50 LF = 61 TREES
PROVIDED: 61 DECIDUOUS TREES

RESIDENTIAL BUFFER
NORTH PROPERTY LINE
REQUIRED: 1 EVERGREEN / 10 FT OR 1 NARROW EVERGREEN/3 FT OR SOLID OPAQUE FENCE
594 LF / 10 = 59 EVERGREEN TREES
PROVIDED: SOLID OPAQUE FENCE AND 59 EVERGREEN TREES ALONG NORTH SIDE OF PROPERTY

WEST PROPERTY LINE
REQUIRED: 399 LF / 10 FT = 40 TREES
PROVIDED: 40 EVERGREEN TREES + AN ADDITIONAL 58 TREES

GENERAL SITE LANDSCAPE
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL
SITE AREA: 5.72 ACRES (249,257 SF) * 0.20 = 49,851 SF
PROVIDED: 114,895 SF

WOODLAND TREES

WOODLAND TREES REMOVED:	45	(REPLACE AT 50% OF REMOVED DBH)
44" DBH x 0.5 =	221"	REPLACEMENT
WOODLAND TREES SAVED:	24	(CREDIT OF 2X DBH)
23" DBH x 2 =	462"	CREDIT
220.5	=	241.5
0	" DBH REQUIRED FOR WOODLAND REPLACEMENT.	

LANDMARK TREES

LANDMARK TREES REMOVED:	5	(REPLACE AT 100% OF REMOVED DBH)
108" DBH x 1 =	108"	REPLACEMENT
LANDMARK TREES SAVED:	1	(CREDIT OF 2X DBH)
13" DBH x 2 =	26"	CREDIT
108	=	26
0	" TOTAL DBH REQUIRED FOR REPLACEMENT.	

EXEMPT TREES

NO REPLACEMENT REQUIRED FOR EXEMPT TREES	15	Trees
SAVED EXEMPT TREES:	34	Trees
EXEMPT TREES ON SITE:	34	Trees
TOTAL SAVED TREES 6" AND ABOVE ON SITE:	40	Trees

KEY:

- = GREENBELT TREES
- = INTERNAL PUBLIC ROAD STREET TREES
- = RESIDENTIAL BUFFER TREES
- = RESTORED SEED LAWN
- = IRRIGATED SOD LAWN
- = STORM WATER SEED MIX WITH STAKED EROSION MAT BY: STANTEC NATIVE PLANT NURSERY PHONE: 574-586-2412
- = SLOPE STABILIZATION MIX WITH STAKED EROSION MAT BY: STANTEC NATIVE PLANT NURSERY PHONE: 574-586-2412
- = LOW PROFILE PRAIRIE MIX WITH STAKED EROSION MAT BY: STANTEC NATIVE PLANT NURSERY PHONE: 574-586-2412
- = EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCE

*NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.

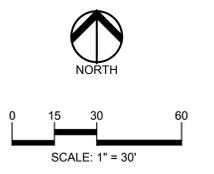
DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
7	AR2.5	October Glory Red Maple	<i>Acer rubrum</i> 'October Glory'	2.5" Cal.	B&B
10	CC2.5	American Hornbeam	<i>Carpinus caroliniana</i>	2.5" Cal.	B&B
5	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos</i> 'Skyline'	2.5" Cal.	B&B
10	LS2.5	Slender Silhouette Sweetgum	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	2.5" Cal.	B&B
10	LT2.5	Tulip Tree	<i>Liriodendron tulipifera</i>	2.5" Cal.	B&B
6	PA2.5	Encore London Planetree	<i>Platanus x acerifolia</i> 'Encore'	2.5" Cal.	B&B
6	QP2.5	Regal Prince Oak	<i>Quercus robur x bicolor</i> 'Long' (columnar)	2.5" Cal.	B&B
11	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata</i>	2.5" Cal.	B&B
6	TA2.5	Boulevard Linden	<i>Tilia americana</i> 'Boulevard'	2.5" Cal.	B&B
3	ZS2.5	Japanese Zelkova	<i>Zelkova serrata</i>	2.5" Cal.	B&B
74		TOTAL DECIDUOUS			

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
8	AC8	Concolor Fir	<i>Abies concolor</i>	8' Ht.	B&B
21	PA8	Norway Spruce	<i>Picea abies</i>	8' Ht.	B&B
10	PG8	Black Hills Spruce	<i>Picea glauca</i> 'Densata'	8' Ht.	B&B
13	PM8	Douglas Fir	<i>Pseudotsuga menziesii</i>	8' Ht.	B&B
17	PO8	Serbian Spruce	<i>Picea omorika</i>	8' Ht.	B&B
11	PS8	Eastern White pine	<i>Pinus strobus</i>	8' Ht.	B&B
18	TC8	Canadian Hemlock	<i>Tsuga canadensis</i>	8' Ht.	B&B
98		TOTAL EVERGREEN			

PEA GROUP
t: 844.813.2949
www.peagroup.com



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CLIENT
TOLLBROOK NORTH LLC
1612 MUER DR.
TROY, MI 48063

PROJECT TITLE
CROOKS ROAD DEVELOPMENT
TROY, MICHIGAN

REVISIONS

CITY COMMENTS	11-27-23
CITY COMMENTS	02-29-24

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
OVERALL PRELIMINARY LANDSCAPE PLAN

PEA JOB NO.	23-0643
P.M.	GB
DN.	LAW
DES.	LAW
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **L-1.0**

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALLETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

SLOPE STABILIZATION

This grass and sedge mix is best suited for sites with slopes where erosion control is needed. Applications include embankments, dams, and levees. Use this mix in conjunction with erosion control materials for best results. This seed mix includes 7 of 8 native permanent grass and sedge species. Apply at 60.00 PLS pounds per acre.

Botanical Name	Common Name	PLS QTY/Acre
Permanent Grasses		
<i>Andropogon gerardi</i>	Big Bluestem	45.00
<i>Boehmeria carolinensis</i>	Side-Oats Grama	16.00
<i>Carex spp.</i>	Prairie Sedge Species	4.00
<i>Elymus canadensis</i>	Canada Wild Rye	32.00
<i>Elymus virginicus</i>	Virginia Wild Rye	24.00
<i>Festuca virginica</i>	Switch Grass	12.00
<i>Schizachyrium scoparium</i>	Little Bluestem	32.00
<i>Sorghastrum nutans</i>	Indian Grass	32.00
Temporary Cover		
<i>Avena sativa</i>	Common Oat	640.00
<i>Lobelia multiflora</i>	Annual Rye	130.00

ECONOMY PRAIRIE

This prairie seed mix offers an economical way to establish a prairie. In addition to native prairie grasses, flowering species provide color throughout the growing season and food sources for birds and butterflies. Adding seed or plant plugs at a later date is a wonderful way to increase a prairie's richness and diversity. This seed mix includes at least 6 of 7 native permanent grass and sedge species and 10 of 13 native forb species. Apply at 41.16 PLS pounds per acre.

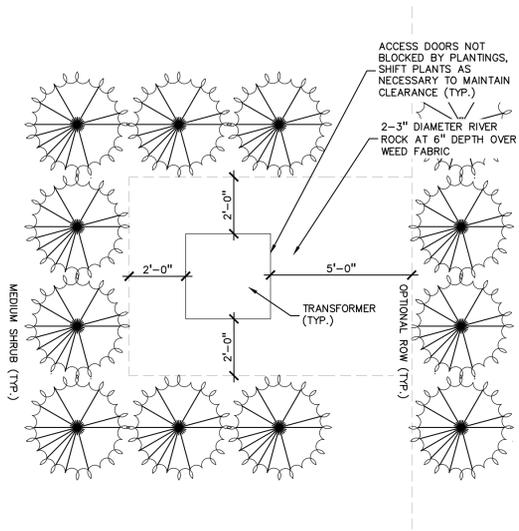
Botanical Name	Common Name
Permanent Grasses	
<i>Andropogon gerardi</i>	Big Bluestem
<i>Boehmeria carolinensis</i>	Side-Oats Grama
<i>Carex spp.</i>	Prairie Sedge Species
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Festuca virginica</i>	Switch Grass
<i>Schizachyrium scoparium</i>	Little Bluestem
<i>Sorghastrum nutans</i>	Indian Grass
Temporary Cover	
<i>Avena sativa</i>	Common Oat
Forbs	
<i>Astilbe spicata</i>	Common Milkweed
<i>Aster sp.</i>	Butterfly Weed
<i>Chamaecrista fasciculata</i>	Partridge Pea
<i>Coleoptera lanceolata</i>	Sand Coreopsis
<i>Echinacea purpurea</i>	Broad Leaved Purple Coneflower
<i>Heliopsis helianthoides</i>	False Sunflower
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Polemonium digitale</i>	Four-lobed Beard Tongue
<i>Rudbeckia hirta</i>	Black-Eyed Susan
<i>Rudbeckia spicata</i>	Yellow Coneflower
<i>Solidago speciosa</i>	Showy Goldenrod
<i>Symphoricarpos racemosa</i>	Smooth Blue Aster
<i>Symphoricarpos racemosa</i>	New England Aster

STORMWATER

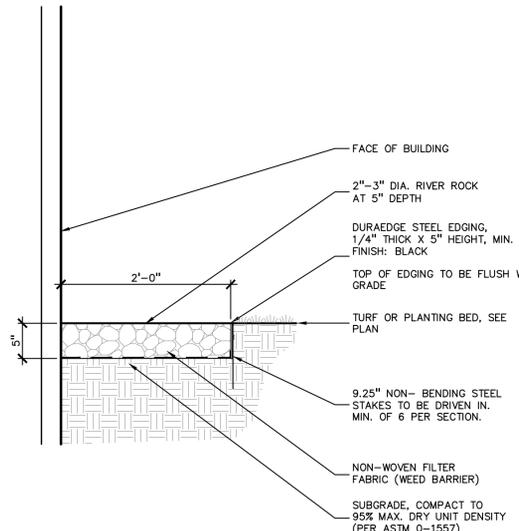
A wetland seed mix for saturated soils in a detention pond or for seeding a saturated basin. This mix will tolerate highly fluctuating water levels and poor water quality associated with urban stormwater wetlands and ponds. For detention basins that experience long, dry periods, use the Economy Prairie seed mix in the upper third to half of the basin area in combination with this mix. This seed mix includes at least 10 of 13 native permanent grass and sedge species and 13 of 17 native forb species. Apply at 36.38 PLS pounds per acre.

Botanical Name	Common Name	PLS QTY/Acre
Permanent Grasses and Sedges		
<i>Bolboschoenus flexuosus</i>	River Bulrush	4.00
<i>Carex acuticarpa</i>	Claytonia Sedge	0.50
<i>Carex lasiocarpa</i>	Bottlebrush Sedge	2.00
<i>Carex rostrata</i>	Brown Top Sedge	2.00
<i>Echinochloa polystachya</i>	Burnt Spike Rush	0.50
<i>Elymus virginicus</i>	Virginia Wild Rye	24.00
<i>Glycerhiza striata</i>	Four Member Grass	1.00
<i>Utricularia flexilis</i>	Common Rush	1.00
<i>Luzula snyderi</i>	Rice Cut Grass	1.00
<i>Phalaris virginica</i>	Sheep Grass	2.00
<i>Schizachyrium scoparium</i>	Clay Rush	3.00
<i>Scirpus americanus</i>	Dark Green Rush	2.00
<i>Scirpus cyperinus</i>	Weed Grass	1.00
Temporary Cover		
<i>Avena sativa</i>	Common Oat	613.00
<i>Lobelia multiflora</i>	Annual Rye	120.00
Forbs and Shrubs		
<i>Alnus incana</i>	Common Water Plantain	2.50
<i>Andropogon scoparius</i>	Savanna Milkweed	2.00
<i>Bidens sp.</i>	Bidens Species	2.00
<i>Erigeron phillyriaefolius</i>	Common Broomrape	1.00
<i>Helenium autumnale</i>	Spiceweed	2.00
<i>IPS spp.</i>	Blue Flag Species	4.00
<i>Lupinus americanus</i>	Common Hoop Netweed	0.50
<i>Mimulus rigens</i>	Minkley Finlet	1.00
<i>Prostrum serotinum</i>	Drift Starwort	0.50
<i>Rudbeckia sp.</i>	Fireweed Species	2.00
<i>Rudbeckia subtomentosa</i>	Swamp Black-Eyed Susan	1.00
<i>Rudbeckia hirta</i>	Black-Eyed Susan	1.50
<i>Sagittaria arifolia</i>	Common Arrowhead	1.00
<i>Sida sp.</i>	Wild Beards	2.00
<i>Symphoricarpos racemosa</i>	Franklin Aster	0.50
<i>Symphoricarpos racemosa</i>	New England Aster	0.50
<i>Thalictrum flavum</i>	Purple Meadow Rue	2.00

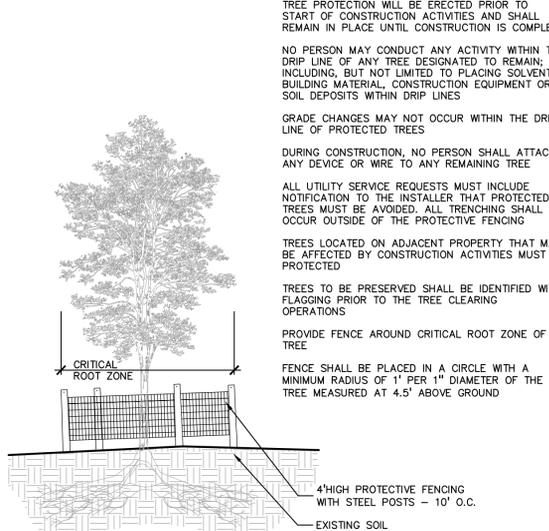
FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. INSTALL AND PREP PER MANUFACTURERS SPECIFICATIONS. SEED MIX TO BE NATIVE PER COUNTY. NO INVASIVE SPECIES PERMITTED. STANTEC NATIVE PLANT NURSERY 574-588-2412 stantec.com/native-plant-nursery



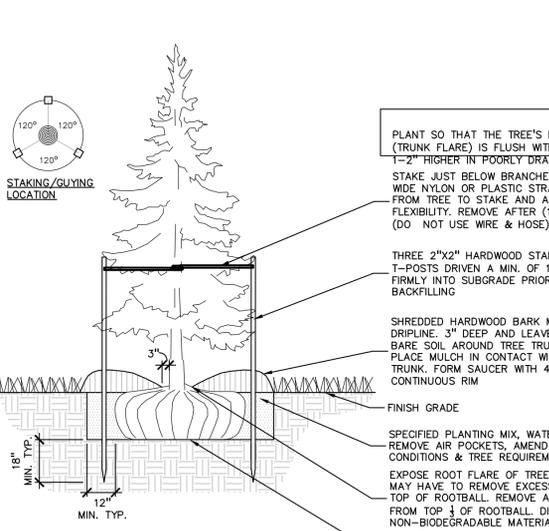
6 TRANSFORMER SCREENING DETAIL
SCALE: 1" = 3'-0"



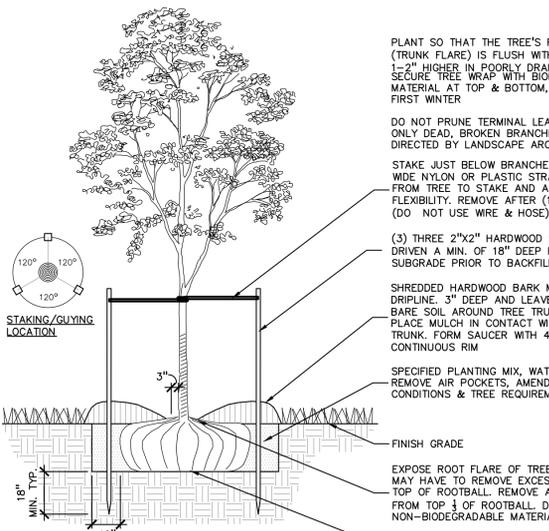
8 STONE MAINTENANCE STRIP
SCALE: 1" = 1'-0"



3 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"



2 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"

PEA GROUP
t: 844.813.2949
www.peagroup.com

STATE OF MICHIGAN
LYNN A. WHIPPLE
REGISTERED LANDSCAPE ARCHITECT
No. 4750

NORTH

0 15 30 60
SCALE: 1" = 30'

811 Know what's below. Call before you dig.

CAUTION!
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CLIENT
TOLLBROOK NORTH LLC
1612 MUER DR.
TROY, MI 48063

PROJECT TITLE
CROOKS ROAD DEVELOPMENT
TROY, MICHIGAN

REVISIONS	CITY COMMENTS	DATE
		11-27-23
		02-29-24

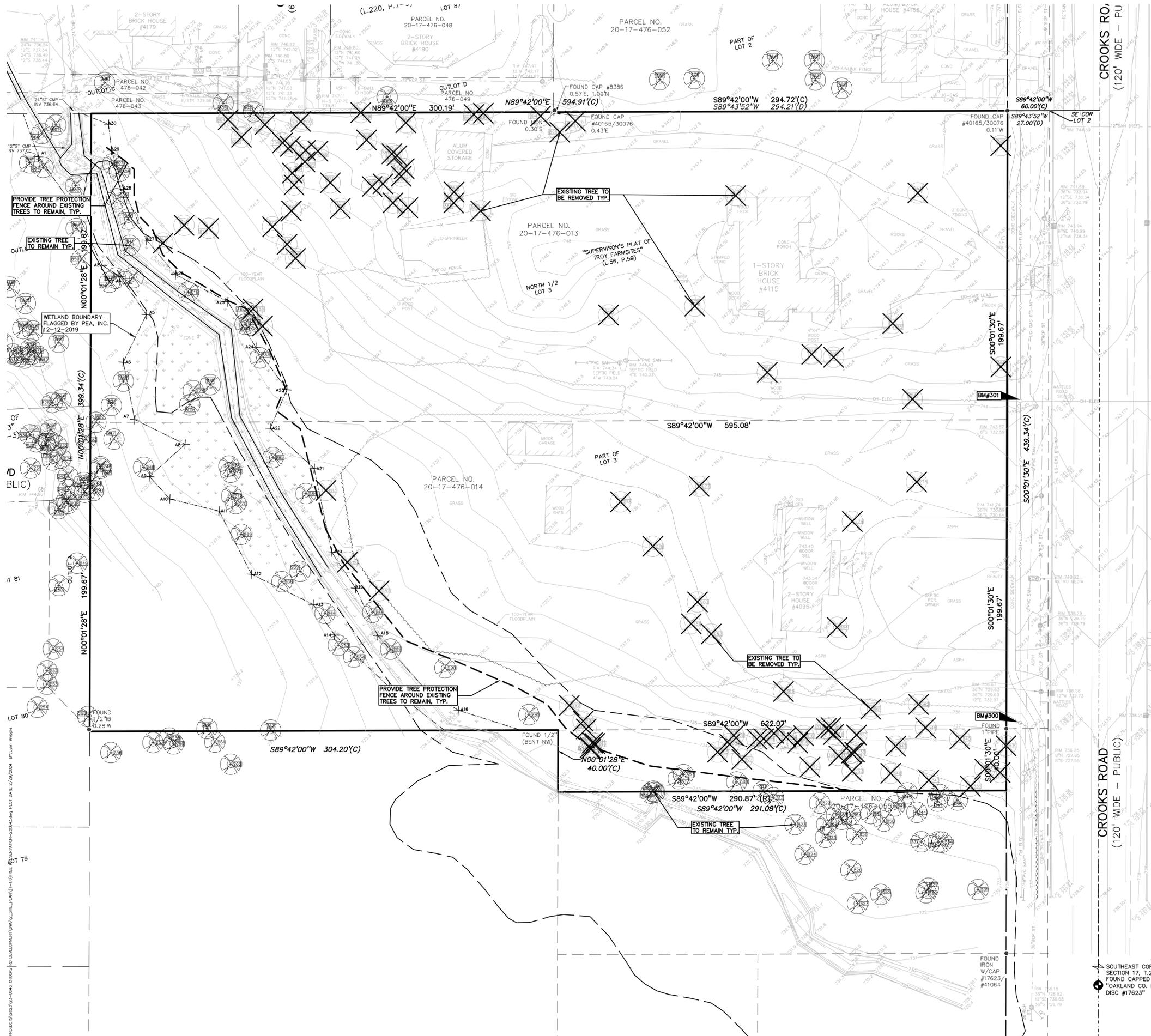
ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
LANDSCAPE DETAILS

PEA JOB NO.	23-0643
P.M.	GB
DN.	LAW
DES.	LAW
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

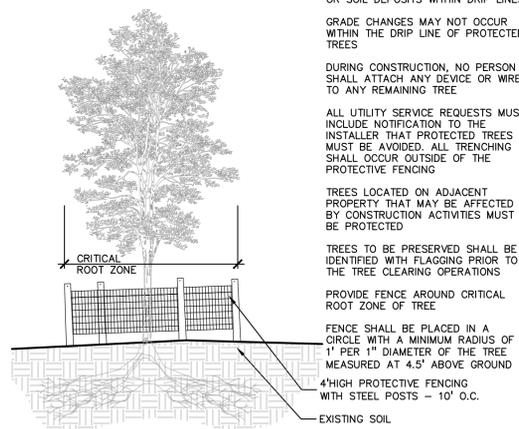
L-1.1



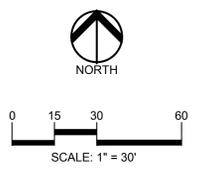
KEY:

- = EXISTING TREE TO BE REMOVED
- = EXISTING TREE TO REMAIN
- = TREE PROTECTION FENCING

SEE SHEET T-1.1 FOR EXISTING TREE LIST AND REPLACEMENT CALCULATIONS



1 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"



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CLIENT
TOLLBROOK NORTH LLC.
1612 MUER DR.
TROY, MI 48063

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CROOKS ROAD DEVELOPMENT
TROY, MICHIGAN

REVISIONS	
CITY COMMENTS	11-27-23
CITY COMMENTS	02-29-24

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE
TREE PRESERVATION PLAN

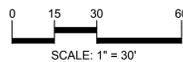
PEA JOB NO.	23-0643
P.M.	GB
DN.	LAW
DES.	LAW

DRAWING NUMBER:

T-1.0

NOT FOR CONSTRUCTION

S:\PROJECTS\2023\03-3643_CROOKS\0 DEVELOPMENT\DWG\3_SITE_PLAN\T-1_TREE_PRESERVATION-230643.dwg PLOT DATE: 2/29/2024 BY: Lynn Whipple



CAUTION!
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CLIENT
TOLLBROOK NORTH LLC
1612 MUER DR.
TROY, MI 48063

PROJECT TITLE
CROOKS ROAD DEVELOPMENT
TROY, MICHIGAN

REVISIONS	
CITY COMMENTS	11-27-23
CITY COMMENTS	02-29-24

ORIGINAL ISSUE DATE:
AUGUST 18, 2023

DRAWING TITLE

TREE PRESERVATION LIST

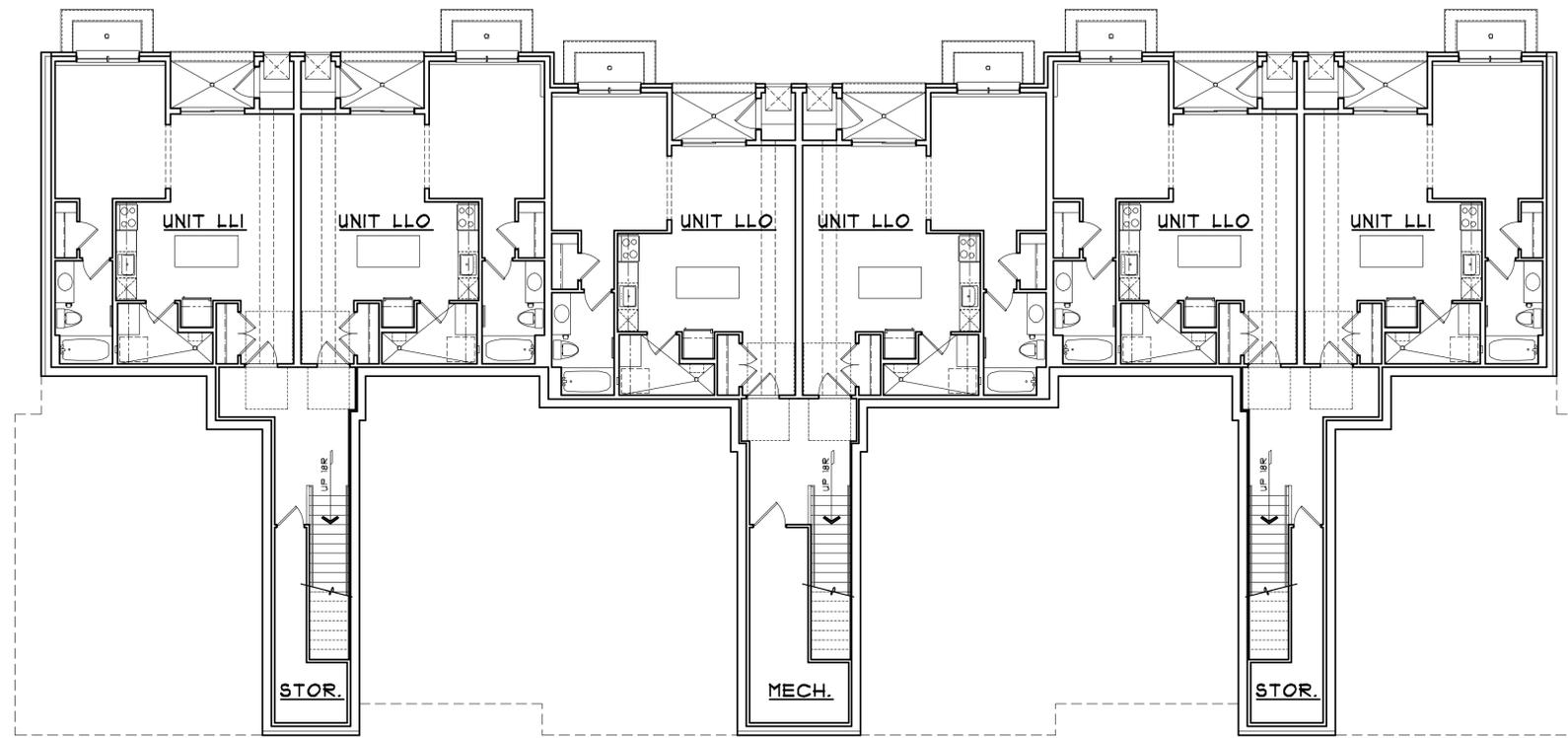
PEA JOB NO. 23-0643

P.M. GB
DN. LAW
DES. LAW

DRAWING NUMBER:

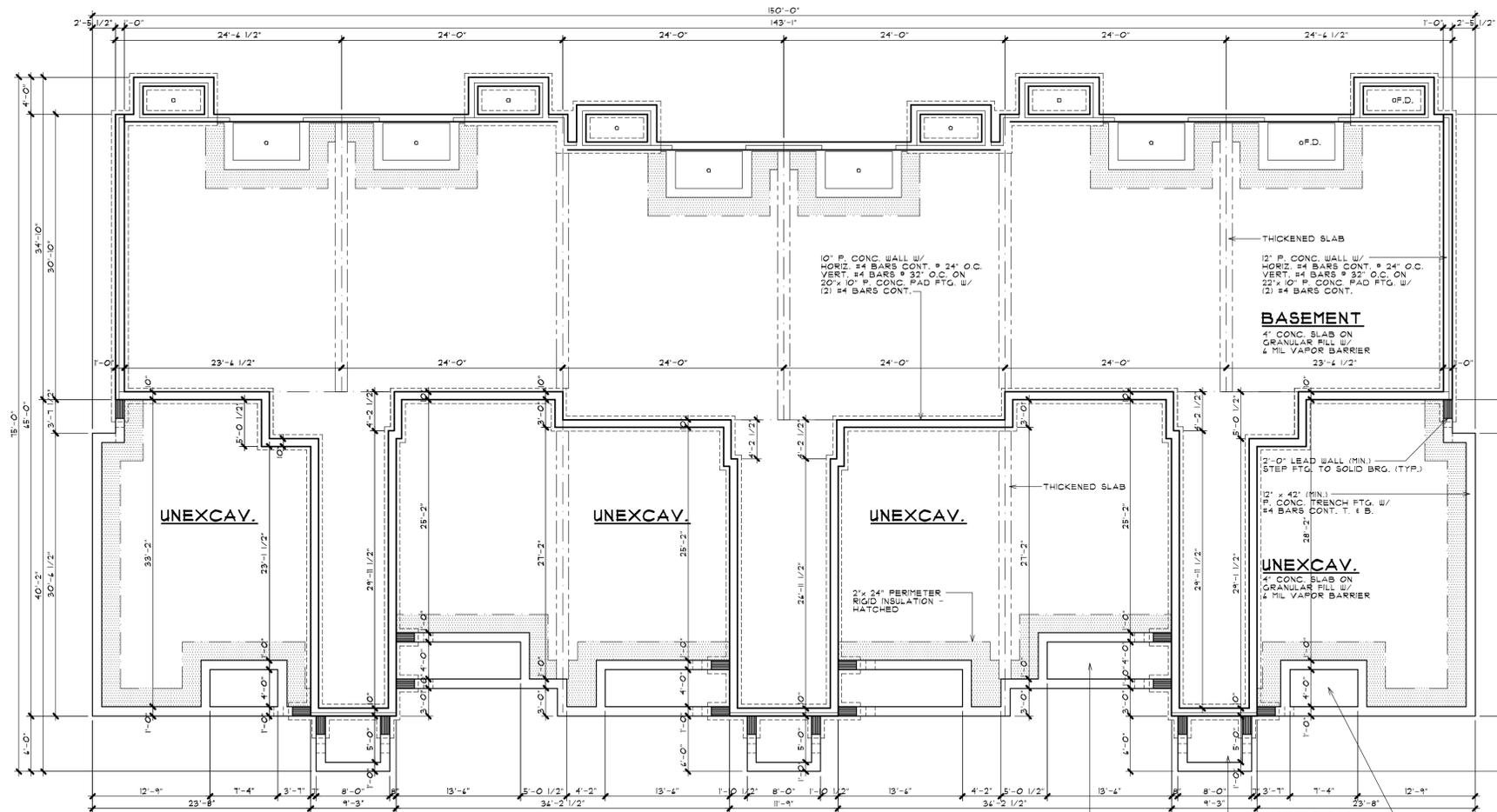
TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENT	CLASS	SAVE / REMOVE	ON-SITE
230	WW	7	Weeping Willow	Salix babylonica	Very Poor		INVASIVE	-	N
231	CT	23	Cottonwood	Populus deltoides	Fair		INVASIVE	-	N
232	CT	13	Cottonwood	Populus deltoides	Fair		INVASIVE	-	N
233	BW	8	Black Walnut	Juglans nigra	Fair		WOODLAND	-	N
234	WW	8	Weeping Willow	Salix babylonica	Fair		INVASIVE	-	N
235	CT	10	Cottonwood	Populus deltoides	Fair	x1	INVASIVE	-	N
236	CT	7	Cottonwood	Populus deltoides	Fair		INVASIVE	-	N
237	EE	8	Siberian Elm	Ulmus pumila	Fair		INVASIVE	-	N
238	CT	15	Cottonwood	Populus deltoides	Fair		INVASIVE	-	N
239	CT	8	Cottonwood	Populus deltoides	Fair		INVASIVE	-	N
240	CT	9	Cottonwood	Populus deltoides	Fair		INVASIVE	-	N
241	CT	7	Cottonwood	Populus deltoides	Fair		INVASIVE	S	Y
242	CT	6	Cottonwood	Populus deltoides	Fair		INVASIVE	-	Y
243	CT	7	Cottonwood	Populus deltoides	Fair		INVASIVE	-	Y
244	CT	17	Cottonwood	Populus deltoides	Fair		INVASIVE	-	N
245	CT	8	Cottonwood	Populus deltoides	Fair		INVASIVE	S	Y
246	CT	12	Cottonwood	Populus deltoides	Fair		INVASIVE	S	Y
247	BW	12	Black Walnut	Juglans nigra	Fair		WOODLAND	S	Y
248	EE	7	Siberian Elm	Ulmus pumila	Poor		INVASIVE	S	Y
249	BW	8	Black Walnut	Juglans nigra	Fair		WOODLAND	-	N
250	WW	14	Weeping Willow	Salix babylonica	Good		INVASIVE	-	N
251	WW	14	Weeping Willow	Salix babylonica	Good		INVASIVE	-	N
252	BW	10	Black Walnut	Juglans nigra	Fair		WOODLAND	-	N
253	E	8	American Elm	Ulmus americana	Fair		INVASIVE	-	N
254	MW	15	White Mulberry	Morus alba	Fair		INVASIVE	-	N
255	AP	6	Domestic Apple	Malus domestica	Poor		WOODLAND	S	Y
256	CT	12	Cottonwood	Populus deltoides	Fair		INVASIVE	-	N
257	BW	13	Black Walnut	Juglans nigra	Good		WOODLAND	-	N
258	WS	8	White Spruce	Picea glauca	Very Poor		WOODLAND	-	N
259	WS	11	White Spruce	Picea glauca	Poor		WOODLAND	-	N
260	E	9	American Elm	Ulmus americana	Poor		INVASIVE	R	Y
261	WS	13	White Spruce	Picea glauca	Fair		WOODLAND	-	N
262	CT	20	Cottonwood	Populus deltoides	Fair	x1	INVASIVE	-	N
263	CH	8	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
264	TH	8	Thornapple/Hawthorne	Crataegus spp.	Poor	x1	WOODLAND	S	Y
265	E	6	American Elm	Ulmus americana	Poor		INVASIVE	S	Y
266	BW	13	Black Walnut	Juglans nigra	Fair		WOODLAND	S	Y
267	BW	10	Black Walnut	Juglans nigra	Fair		WOODLAND	S	Y
268	BW	8	Black Walnut	Juglans nigra	Fair		WOODLAND	S	Y
269	BW	11	Black Walnut	Juglans nigra	Fair		WOODLAND	S	Y
270	CH	11	Domestic Cherry	Prunus avium	Fair		WOODLAND	S	Y
271	BW	8	Black Walnut	Juglans nigra	Fair		WOODLAND	S	Y
272	E	12	American Elm	Ulmus americana	Poor		INVASIVE	S	Y
273	E	10	American Elm	Ulmus americana	Poor		INVASIVE	S	Y
274	CT	30	Cottonwood	Populus deltoides	Fair		INVASIVE	S	Y
275	NS	13	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y
276	NS	16	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y
277	SC	16	Scotch Pine	Pinus sylvestris	Fair		WOODLAND	R	Y
278	SC	16	Scotch Pine	Pinus sylvestris	Fair	x1	WOODLAND	R	Y
279	SC	16	Scotch Pine	Pinus sylvestris	Fair		WOODLAND	R	Y
280	TH	8	Thornapple/Hawthorne	Crataegus spp.	Poor		WOODLAND	R	Y
281	CH	8	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
282	WP	14	(Eastern) White Pine	Pinus strobus	Good		WOODLAND	R	Y
283	E	24	American Elm	Ulmus americana	Fair		INVASIVE	R	Y
284	TH	7	Thornapple/Hawthorne	Crataegus spp.	Poor	x2	WOODLAND	S	Y
285	BW	20	Black Walnut	Juglans nigra	Very Poor		LANDMARK	S	Y
286	CH	8	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
287	CH	7	Domestic Cherry	Prunus avium	Poor	x1	WOODLAND	R	Y
288	CH	8	Domestic Cherry	Prunus avium	Fair		WOODLAND	S	Y
289	GA	13	Green Ash	Fraxinus pennsylvanica	Very Poor		INVASIVE	S	Y
290	E	15	American Elm	Ulmus americana	Poor		INVASIVE	S	Y
291	E	12	American Elm	Ulmus americana	Poor		INVASIVE	S	Y
292	BW	12	Black Walnut	Juglans nigra	Fair		WOODLAND	R	Y
293	CT	16	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y
294	CT	23	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y
295	BWW	25	Black Willow	Salix nigra	Poor		INVASIVE	R	Y
296	CT	18	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y
297	BX	7	Box elder	Acer negundo	Poor		INVASIVE	R	Y
298	E	10	American Elm	Ulmus americana	Poor	no tag	INVASIVE	R	Y
299	BX	7	Box elder	Acer negundo	Very Poor		INVASIVE	S	Y
300	BX	6	Box elder	Acer negundo	Poor		INVASIVE	-	N
301	BX	6	Box elder	Acer negundo	Poor		INVASIVE	-	N
302	BX	6	Box elder	Acer negundo	Poor		INVASIVE	-	N
303	BX	6	Box elder	Acer negundo	Poor		INVASIVE	S	Y
304	E	9	American Elm	Ulmus americana	Poor		INVASIVE	R	Y
305	BW	6	Black Walnut	Juglans nigra	Fair		WOODLAND	R	Y
306	E	19	American Elm	Ulmus americana	Poor		INVASIVE	R	Y
307	E	9	American Elm	Ulmus americana	Poor		INVASIVE	R	Y
308	SM	16	Silver Maple	Acer saccharinum	Fair	move 5 feet south / no tag	INVASIVE	S	Y
309	BX	10	Box elder	Acer negundo	Very Poor		INVASIVE	R	Y
310	CH	16	Domestic Cherry	Prunus avium	Poor		LANDMARK	R	Y
311	E	8	American Elm	Ulmus americana	Poor	move south 7 ft / no tag	INVASIVE	S	Y
312	CH	12	Domestic Cherry	Prunus avium	Poor	move south 8 ft / no tag	LANDMARK	-	N
313	CH	8	Domestic Cherry	Prunus avium	Poor		WOODLAND	R	Y
314	CT	25	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y
315	CH	9	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
316	BX	8	Box elder	Acer negundo	Poor		INVASIVE	R	Y
317	CH	7	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
318	CH	8	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
319	CH	7	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
320	CH	6	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
321	BX	8	Box elder	Acer negundo	Fair		INVASIVE	R	Y
322	MW	7	White Mulberry	Morus alba	Fair		INVASIVE	-	N
323	BX	6	Box elder	Acer negundo	Poor		INVASIVE	-	N
324	E	7	American Elm	Ulmus americana	Fair		INVASIVE	-	N
325	E	8	American Elm	Ulmus americana	Poor		INVASIVE	-	N
326	BW	10	Black Walnut	Juglans nigra	Poor		WOODLAND	-	N
327	E	13	American Elm	Ulmus americana	Poor		INVASIVE	-	N
328	CH	9	Domestic Cherry	Prunus avium	Fair		WOODLAND	-	N
329	E	10	American Elm	Ulmus americana	Fair		INVASIVE	-	N
330	CH	9	Domestic Cherry	Prunus avium	Fair		WOODLAND	-	N
331	CH	9	Domestic Cherry	Prunus avium	Fair		WOODLAND	-	N
332	BW	6	Black Walnut	Juglans nigra	Fair		WOODLAND	-	N
333	BW	10	Black Walnut	Juglans nigra	Fair		WOODLAND	-	N
334	BW	7	Black Walnut	Juglans nigra	Fair		WOODLAND	-	N
335	E	9	American Elm	Ulmus americana	Poor	x3	INVASIVE	-	N
336	BW	7	Black Walnut	Juglans nigra	Fair		WOODLAND	R	Y
337	BW	9	Black Walnut	Juglans nigra	Fair		WOODLAND	R	Y
338	BW	7	Black Walnut	Juglans nigra	Poor		WOODLAND	R	Y
339	MW	7	White Mulberry	Morus alba	Fair		INVASIVE	R	Y
340	CH	7	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
341	GA	6	Green Ash	Fraxinus pennsylvanica	Very Poor		INVASIVE	-	N
342	E	6	American Elm	Ulmus americana	Very Poor		INVASIVE	-	N
343	E	7	American Elm	Ulmus americana	Fair	x3	INVASIVE	-	N
344	E	7	American Elm	Ulmus americana	Fair	x1	INVASIVE	-	N
345	E	6	American Elm	Ulmus americana	Fair		INVASIVE	-	N
346	GA	8	Green Ash	Fraxinus pennsylvanica	Fair		INVASIVE	R	Y
347	CH	6	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
348	E	6	American Elm	Ulmus americana	Fair		INVASIVE	R	Y
349	E	9	American Elm	Ulmus americana	Fair	x1	INVASIVE	-	N
350	E	6	American Elm	Ulmus americana	Fair		INVASIVE	-	N
351	E	7	American Elm	Ulmus americana	Fair	x5	INVASIVE	-	N
352	E	8	American Elm	Ulmus americana	Fair		INVASIVE	-	N
353	CH	9	Domestic Cherry	Prunus avium	Fair		WOODLAND	-	N
354	CH	9	Domestic Cherry	Prunus avium	Fair		WOODLAND	-	N
355	CH	6	Domestic Cherry	Prunus avium	Fair		WOODLAND	-	N
356	E	10	American Elm	Ulmus americana	Poor		INVASIVE	-	N
357	BX	7	Box elder	Acer negundo	Fair		INVASIVE	R	Y
358	CH	8	Domestic Cherry	Prunus avium	Poor		WOODLAND	R	Y
359	CH	11	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
360	CH	9	Domestic Cherry	Prunus avium	Fair	x1	WOODLAND	R	Y
361	CH	6	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
362	SC	14	Scotch Pine	Pinus sylvestris	Fair		WOODLAND	R	Y
363	CH	10	Domestic Cherry	Prunus avium	Fair		WOODLAND	R	Y
364	BS	19	Blue Spruce	Picea pungens	Fair		LANDMARK	R	Y
364	NS	19	Norway Spruce	Picea Abies	POOR		LANDMARK	R	Y
365	NS	24	Norway Spruce	Picea Abies	FAIR		LANDMARK	R	Y

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENT	CLASS	SAVE / REMOVE	ON-SITE
746	BS	8	Blue Spruce	Picea pungens	FAIR		WOODLAND	-	N
747	NS	8	Norway Spruce	Picea Abies	GOOD		WOODLAND	-	N
748	NS	8	Norway Spruce	Picea Abies	GOOD		WOODLAND	-	N
749	NS	6	Norway Spruce	Picea Abies	GOOD		WOODLAND	-	N
750	BS	6	Blue Spruce	Picea pungens	GOOD	X2	WOODLAND	-	N
751	WP	7	(Eastern) White Pine	Pinus strobus	FAIR		WOODLAND	-	N
752	NM	17	Norway Maple	Acer platanoides	GOOD	X2	WOODLAND	-	N
753	PR	14	Pear	Pyrus communis	POOR		WOODLAND	R	Y
754	MR	24	Red Mulberry	Morus rubra	POOR		INVASIVE	R	Y
755	MR	7	Red Mulberry	Morus rubra	GOOD		INVASIVE	R	Y
756	B	7	Basswood	Tilia americana	GOOD		WOODLAND	R	Y
757	B	6	Basswood	Tilia americana	GOOD	X4	WOODLAND	R	Y
758	BS	15	Blue Spruce	Picea pungens	POOR		WOODLAND	R	Y
759	RC	12	Red Cedar	Juniperus virginiana	POOR	X3	INVASIVE	-	N
760	SM	13	Silver Maple	Acer saccharinum	GOOD	X5	INVASIVE	-	N
761	GA	11	Green Ash	Fraxinus pennsylvanica	POOR		INVASIVE	-	N
762	SM	29	Silver Maple	Acer saccharinum	GOOD		INVASIVE	-	N
763	BH	13	Black Walnut	Juglans nigra	GOOD		WOODLAND	-	N
764	SM	27	Silver Maple	Acer saccharinum	POOR		INVASIVE	-	N
765	SM	18	Silver Maple	Acer saccharinum	GOOD</				



LOWER LEVEL PLAN - BUILDING TYPE 'A-1'

SCALE: 1/8" = 1'-0"



FOUNDATION PLAN - BUILDING TYPE 'A-1'

SCALE: 1/8" = 1'-0"



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 BRIANNEEPER.COM
 248.259.1784

FOUNDATION & LL PLAN
BUILDING TYPE 'A-1'
 PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
 CROOKS ROAD
 EFFICIENCY APARTMENTS
 TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
REVISIONS	
11-21-23	
01-26-24	
02-23-24	

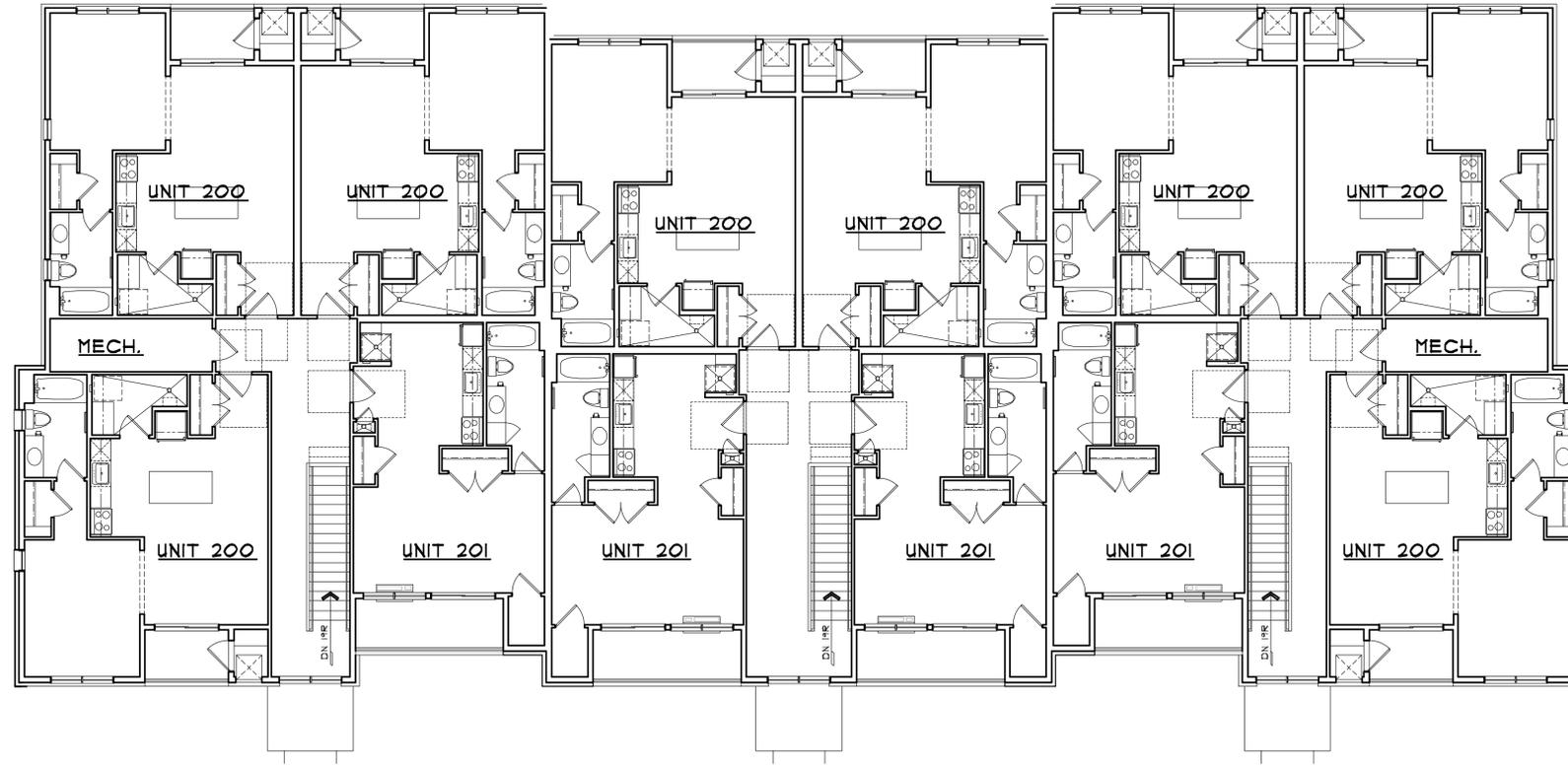
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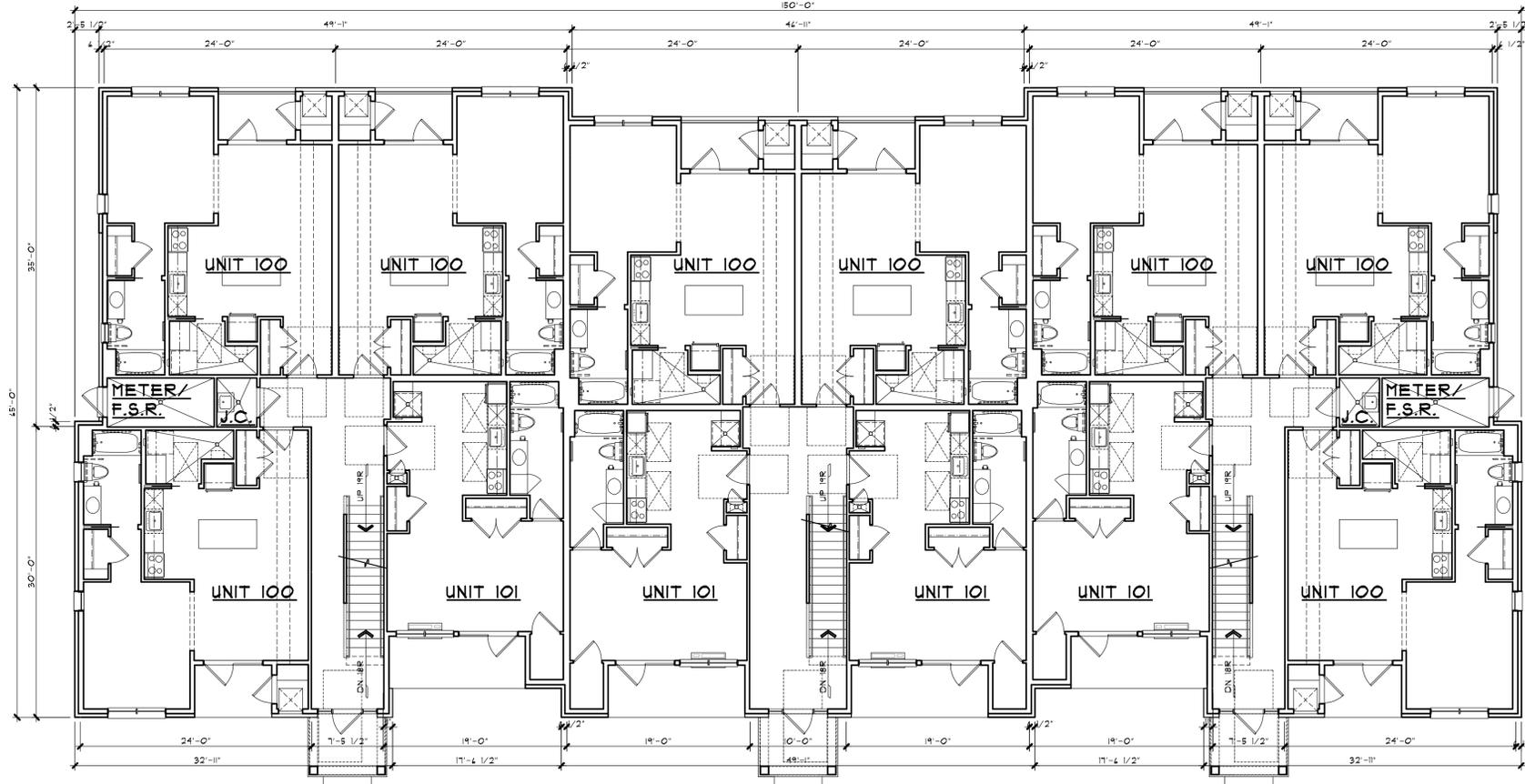
SHEET NUMBER

A-1



SECOND FLOOR PLAN - BUILDING TYPE 'A-1'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'A-1' TOTAL UNITS PER BUILDING: 30 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 8,100 S.F.

SCALE: 1/8" = 1'-0"



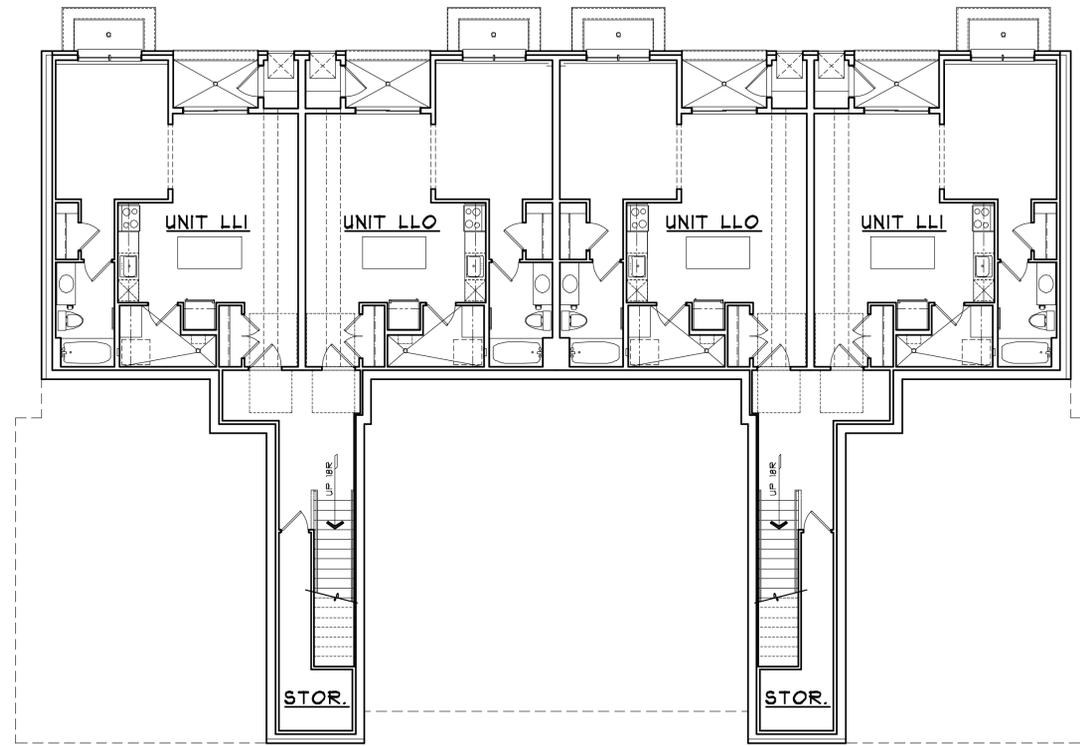
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SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'A-1'
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

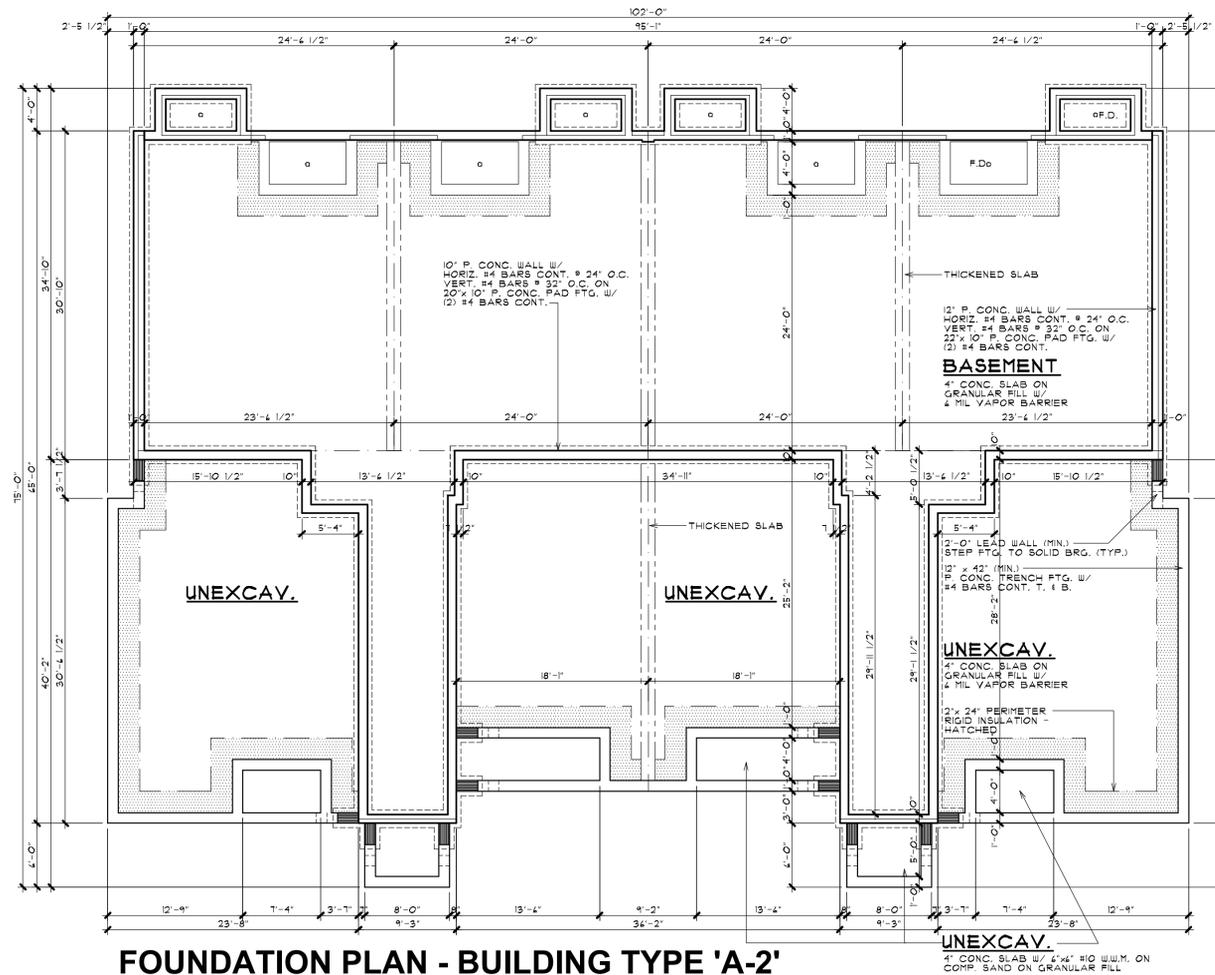
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A-2



LOWER LEVEL PLAN - BUILDING TYPE 'A-2'

SCALE: 1/8" = 1'-0"



FOUNDATION PLAN - BUILDING TYPE 'A-2'

SCALE: 1/8" = 1'-0"



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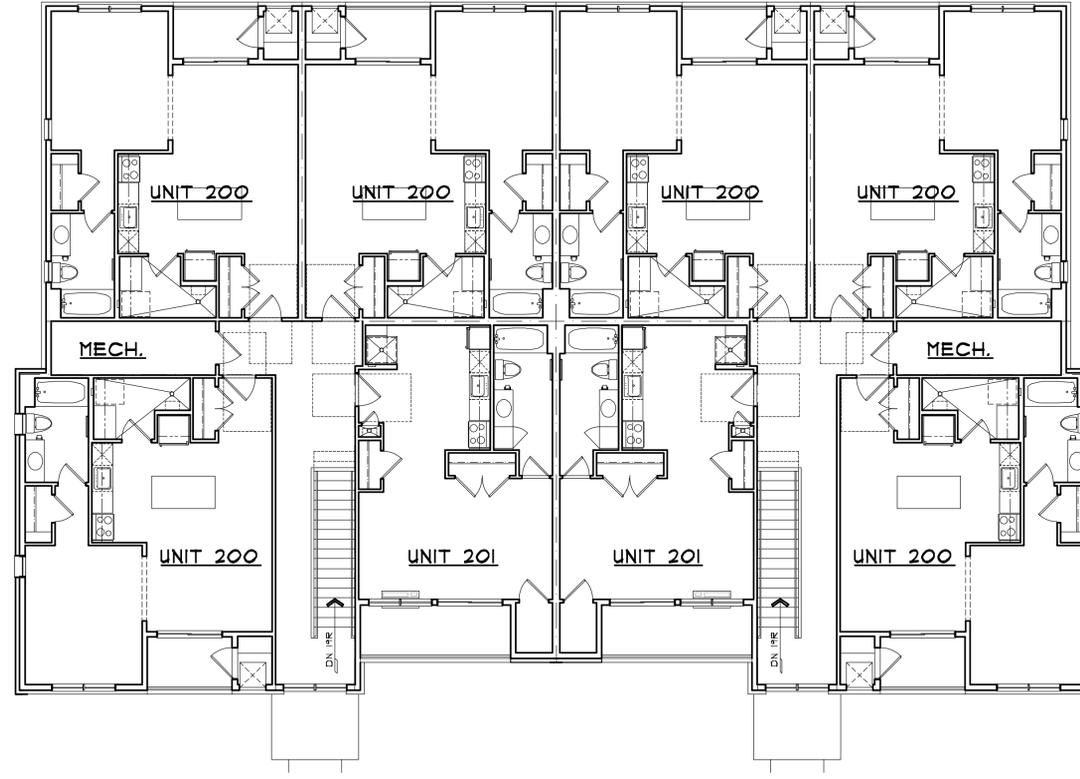
SHEET TITLE
FOUNDATION & LL PLAN
BUILDING TYPE 'A-2'
PRELIMINARY

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EFFICIENCY APARTMENTS
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BIDS	
PERMITS	
FINAL	
REVISIONS	11-21-23 01-26-24 02-23-24

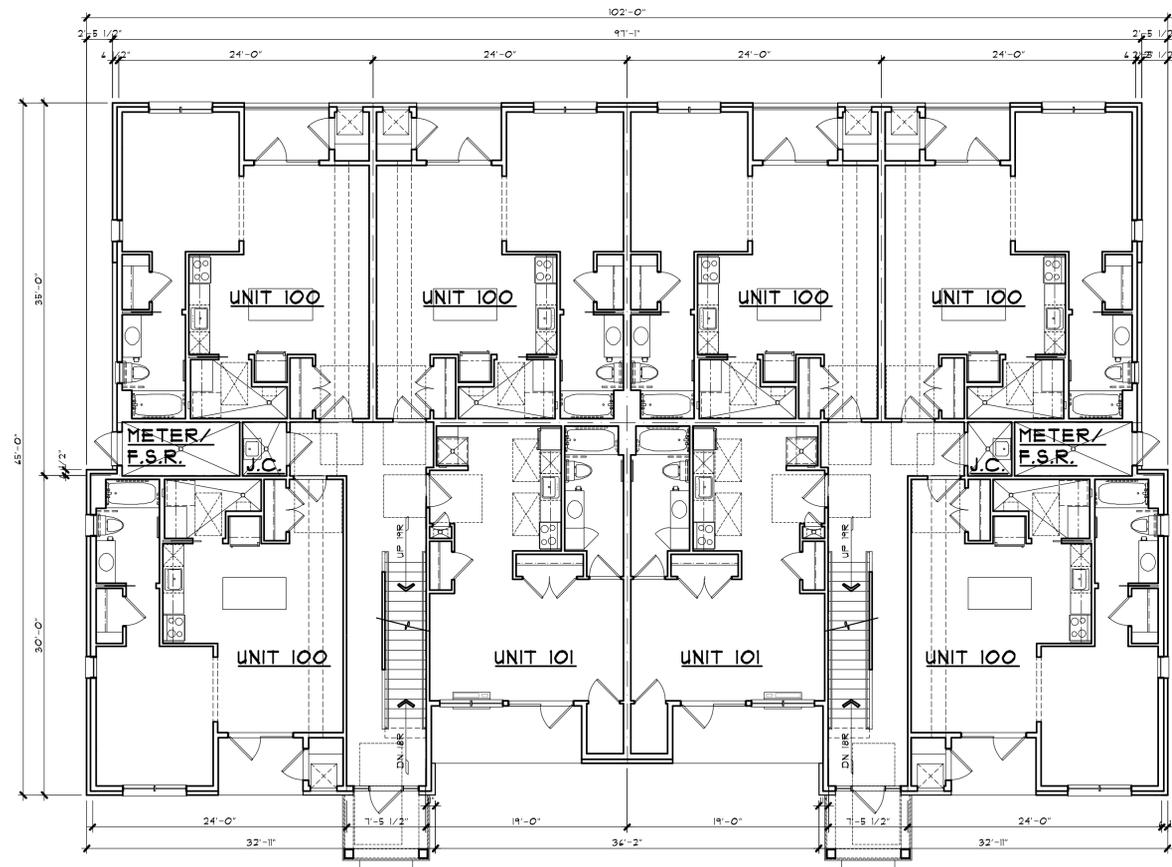
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A-3



SECOND FLOOR PLAN - BUILDING TYPE 'A-2'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'A-2'

TOTAL UNITS PER BUILDING: 20 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 5,941 S.F.

SCALE: 1/8" = 1'-0"

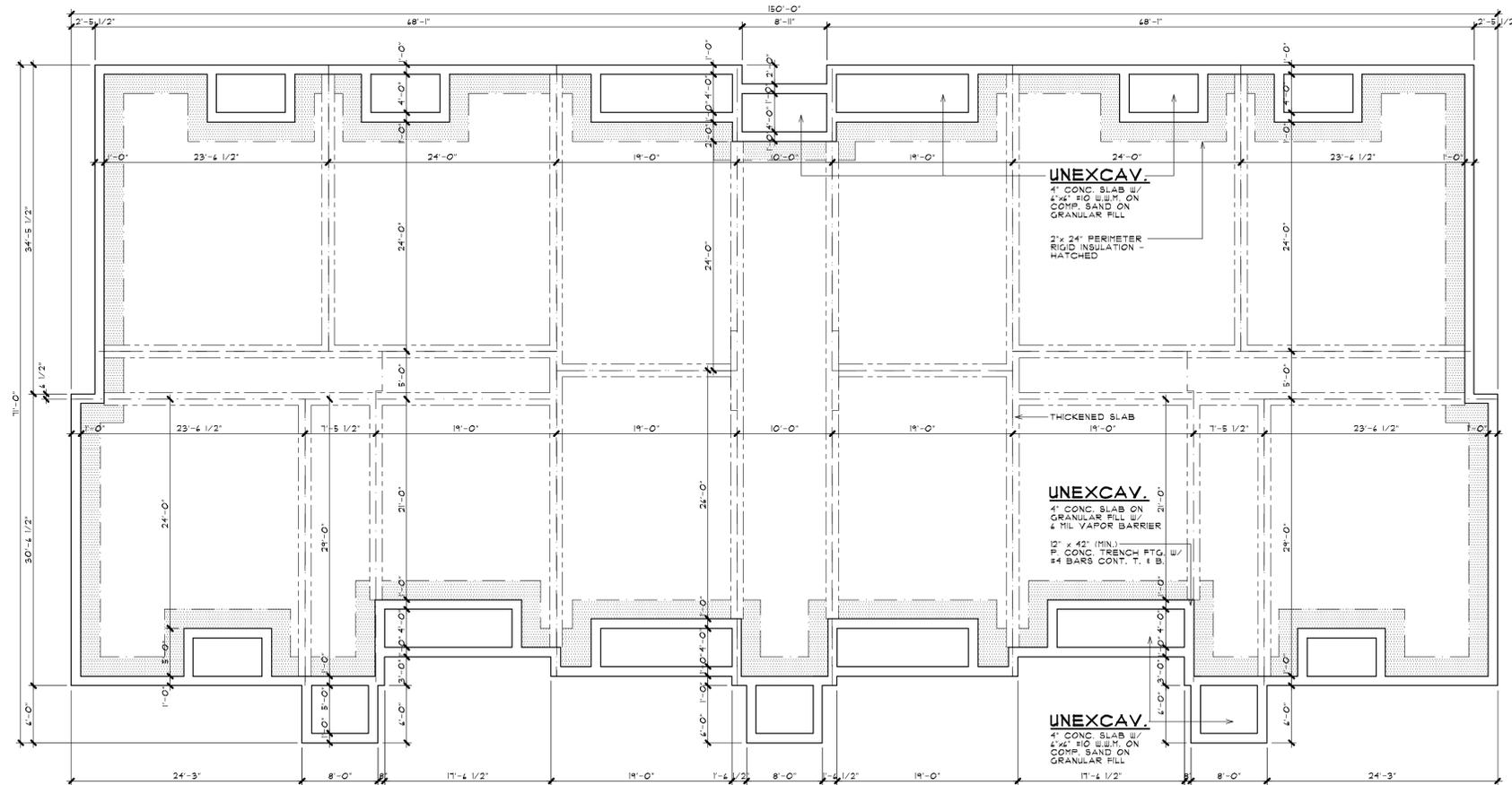


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SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'A-2'
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
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SHEET NUMBER	A-4



FOUNDATION PLAN - BUILDING TYPES 'B-1', 'B-2', & 'B-3'

SCALE: 1/8" = 1'-0"



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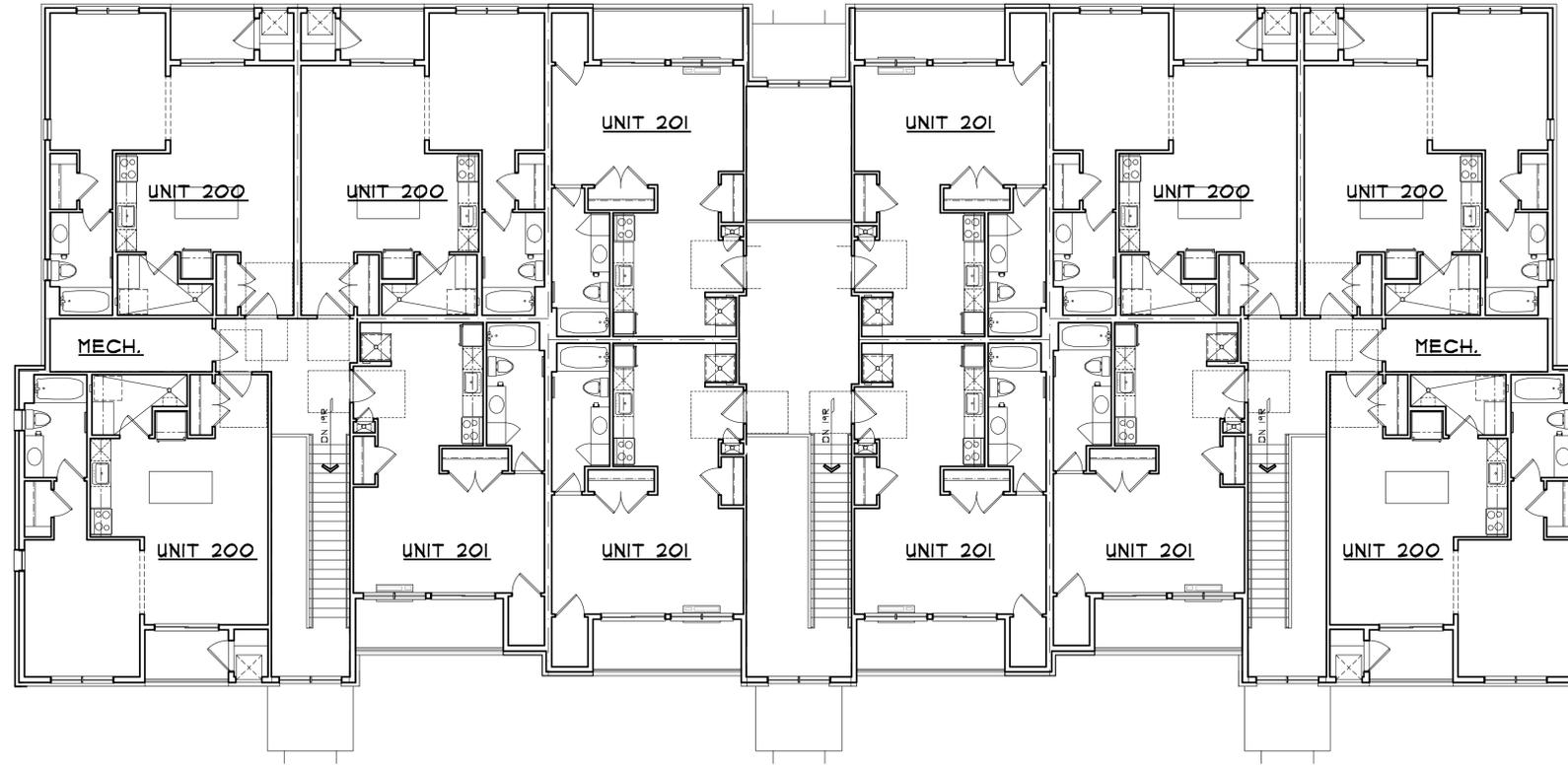
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**FOUNDATION PLAN -BLDG.
TYPES 'B-1', 'B-2', & 'B-3'**
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
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PERMITS	
FINAL	
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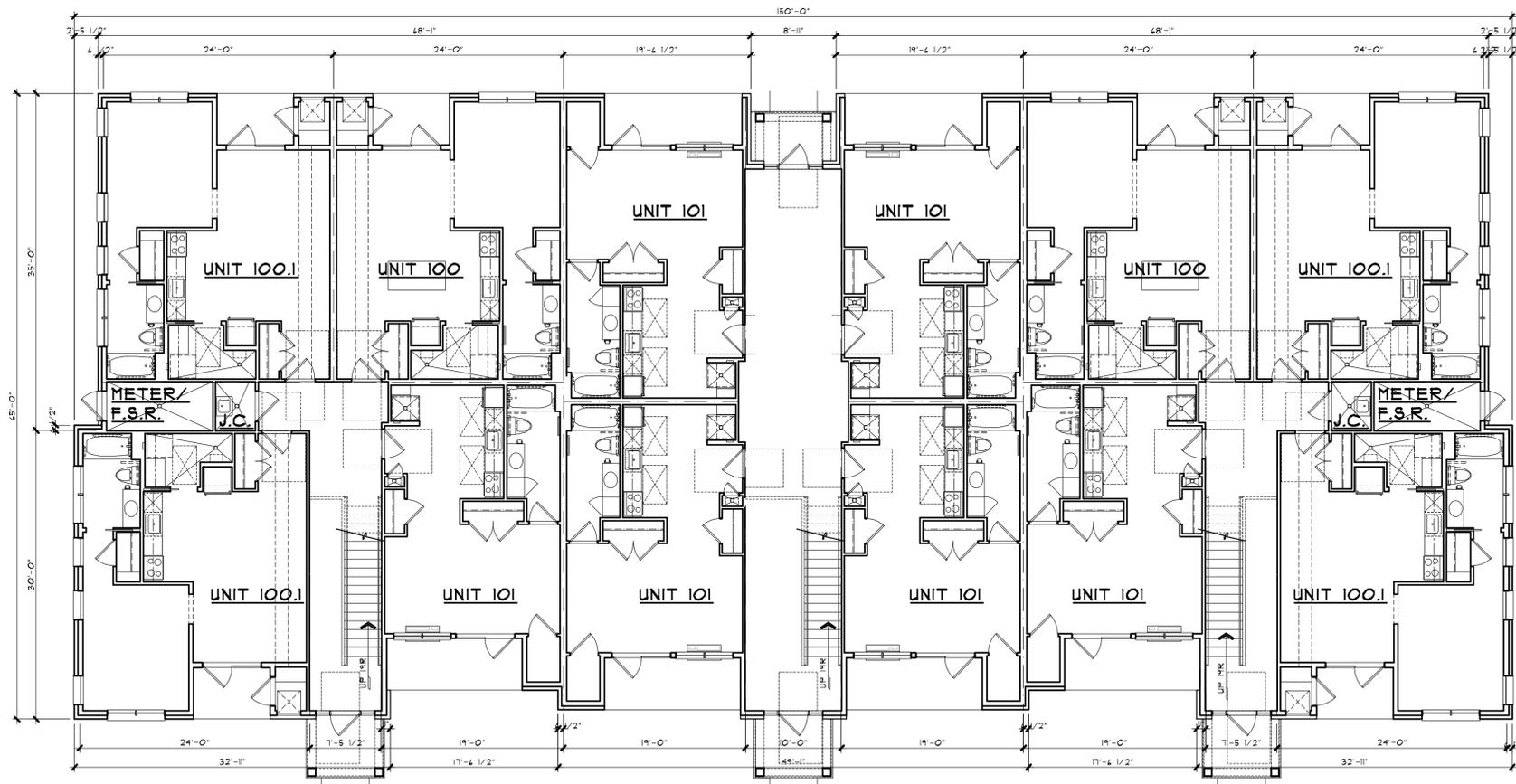
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SHEET NUMBER
A-5



SECOND FLOOR PLAN - BUILDING TYPE 'B-1'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'B-1'

TOTAL UNITS PER BUILDING: 24 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 8,450 S.F.

SCALE: 1/8" = 1'-0"

BUILDING FRONTING CROOKS ROAD



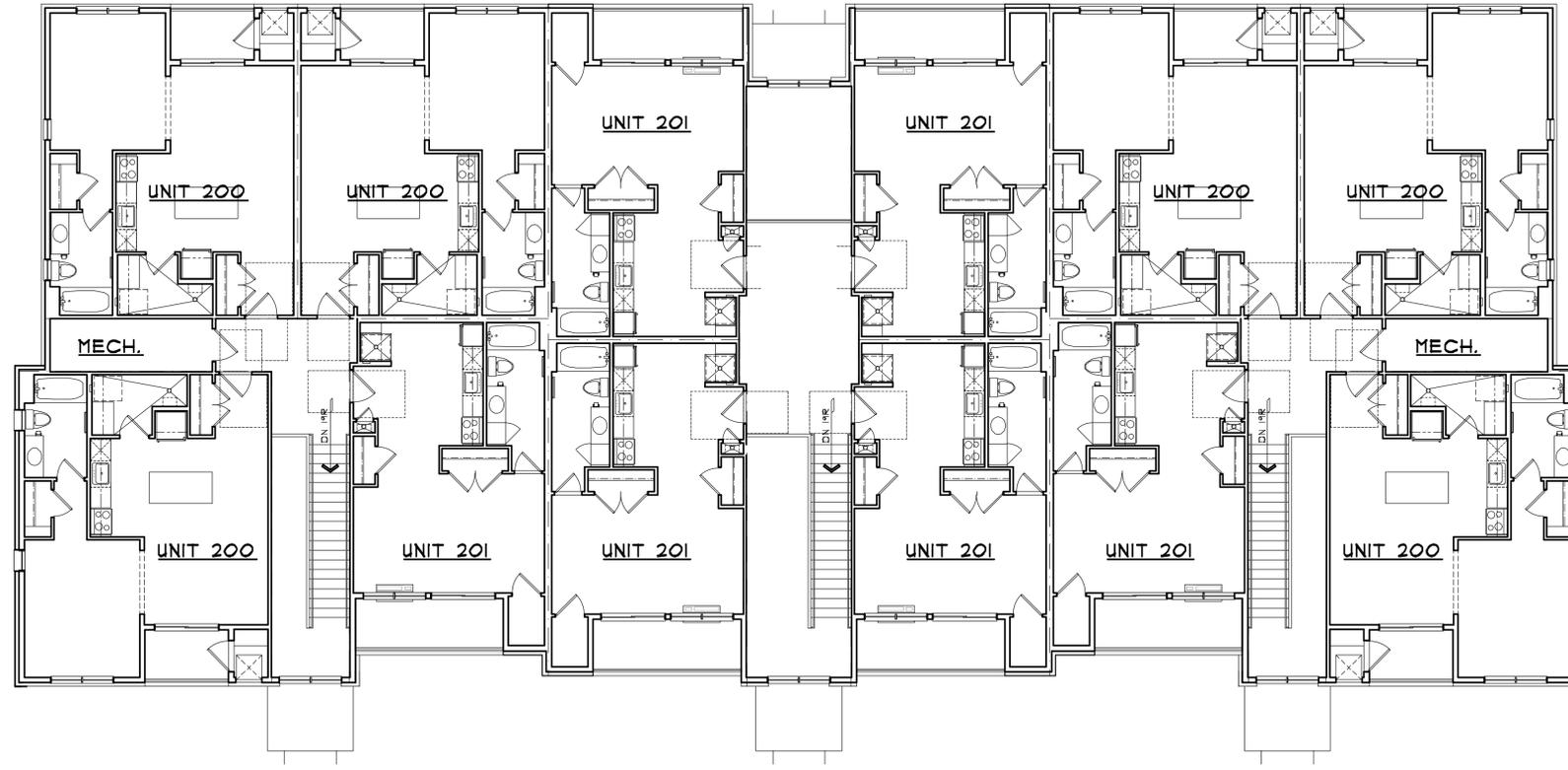
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SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'B-1'
CROOKS RD.
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

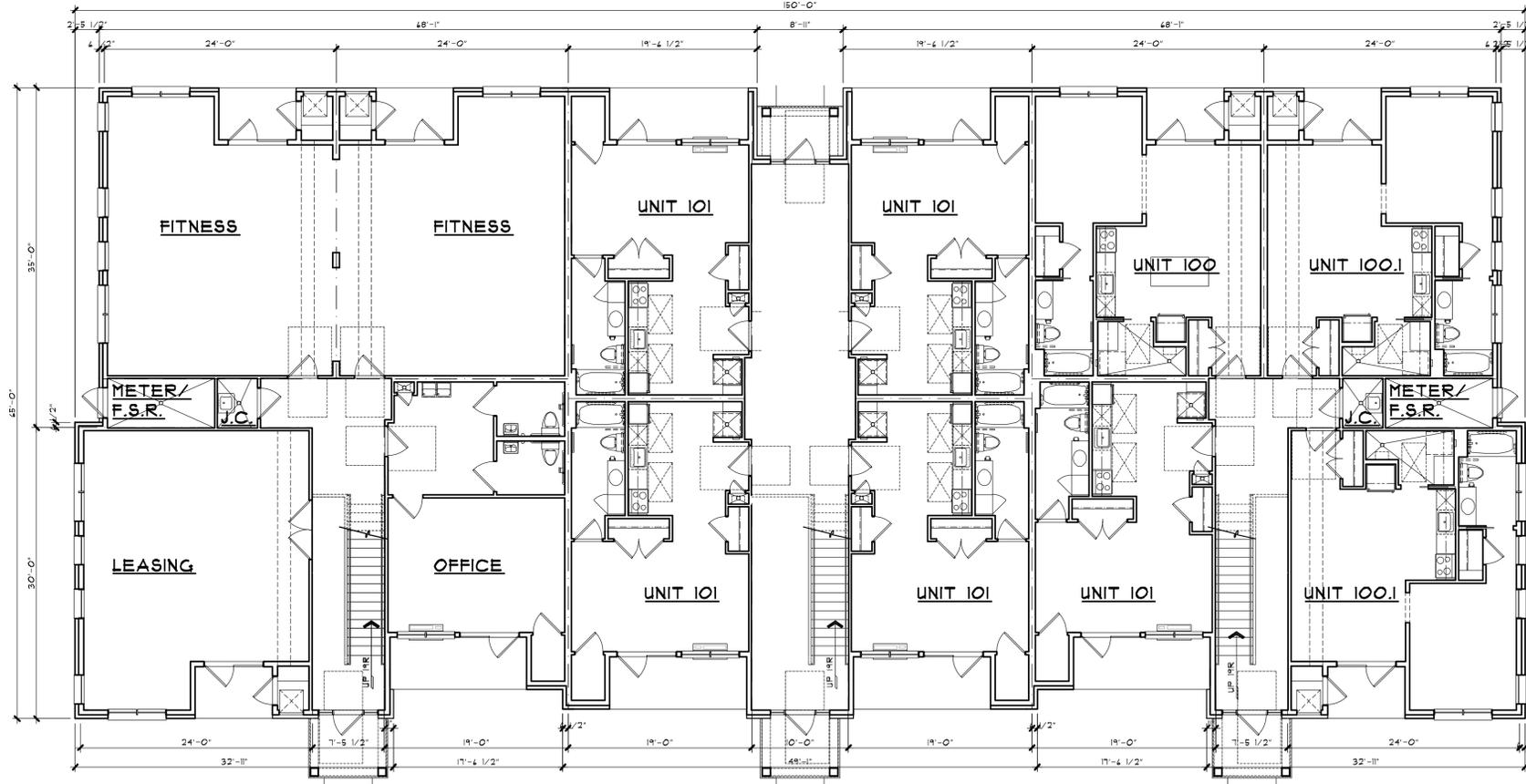
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A-6



SECOND FLOOR PLAN - BUILDING TYPE 'B-2'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'B-2'

BUILDING FRONTING CROOKS ROAD

TOTAL UNITS PER BUILDING: 20 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 8,450 S.F.

SCALE: 1/8" = 1'-0"



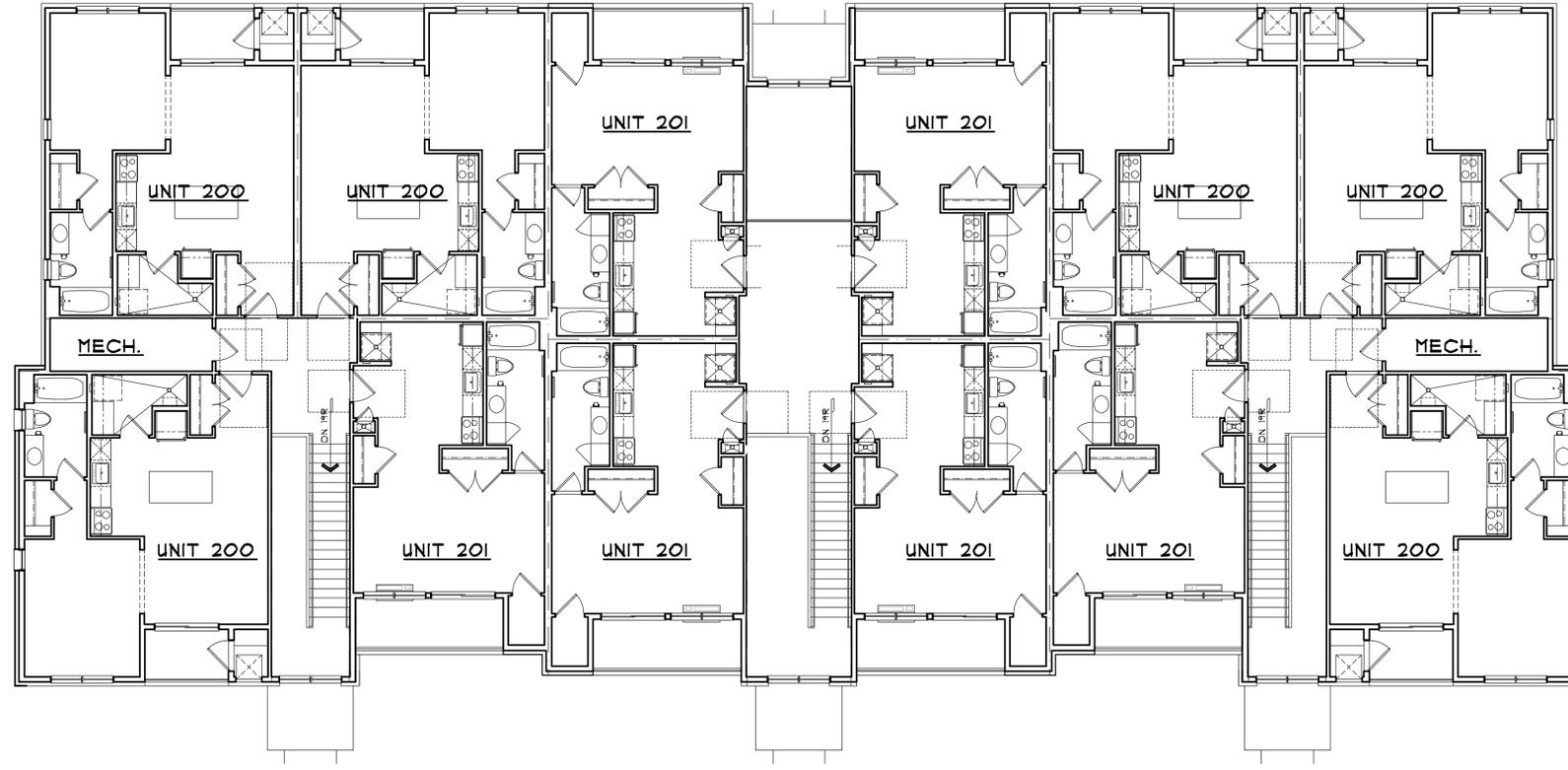
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SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'B-2'
CROOKS RD.
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

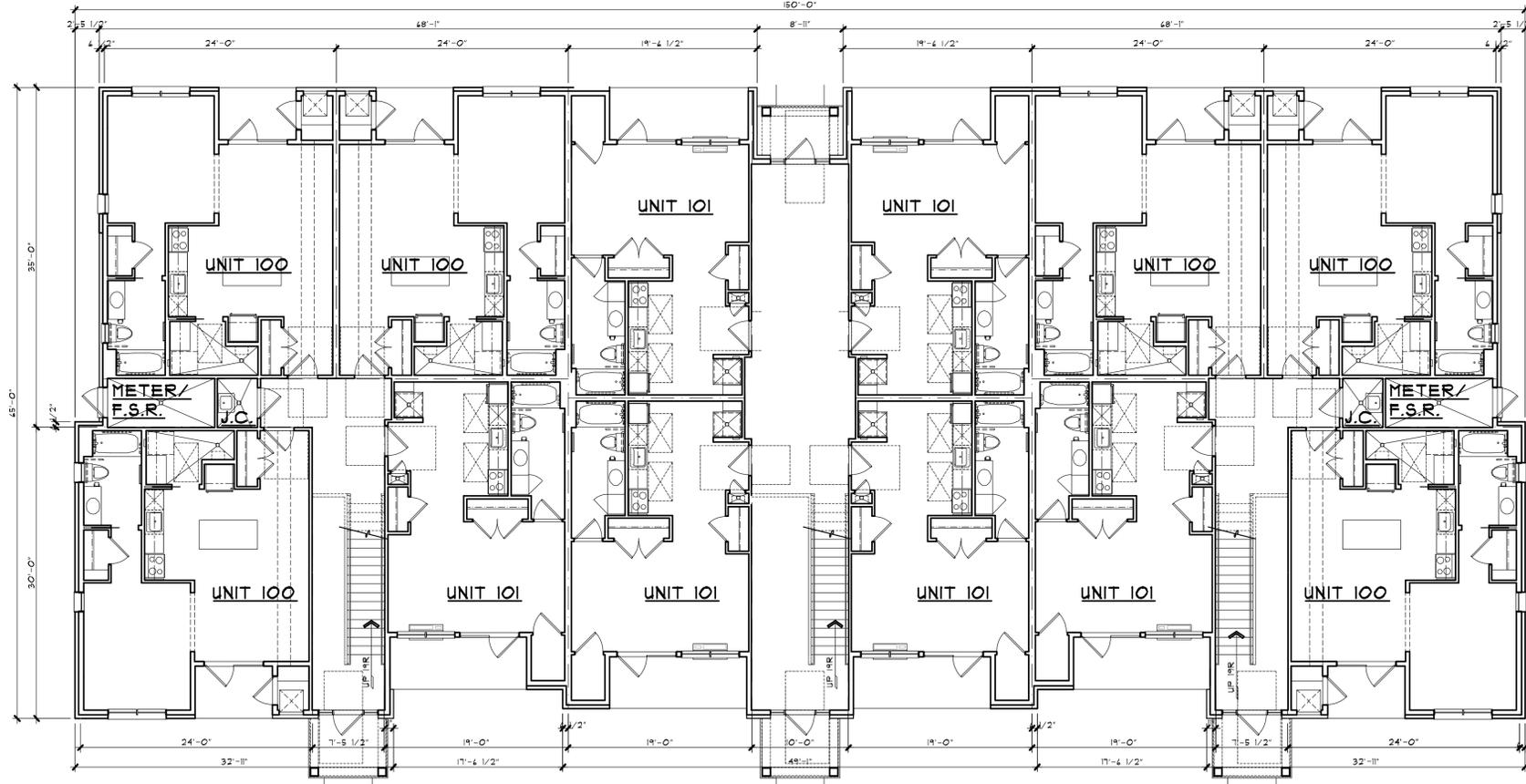
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BIDS	
PERMITS	
FINAL	
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A-7



SECOND FLOOR PLAN - BUILDING TYPE 'B-3'

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING TYPE 'B-3'

TOTAL UNITS PER BUILDING: 24 EFFICIENCY UNITS
OVERALL BUILDING S.F. = 8,450 S.F.

SCALE: 1/8" = 1'-0"



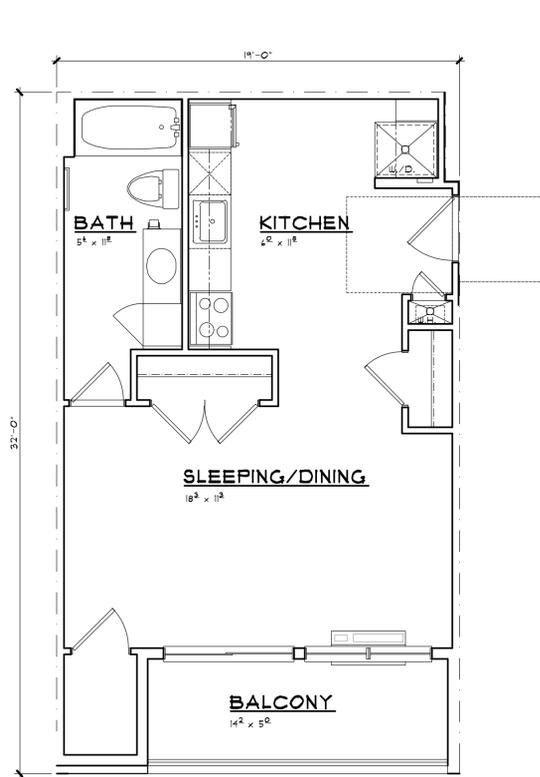
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SHEET TITLE
1st & 2nd FLOOR PLANS
BUILDING TYPE 'B-3'
PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

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PERMITS	
FINAL	
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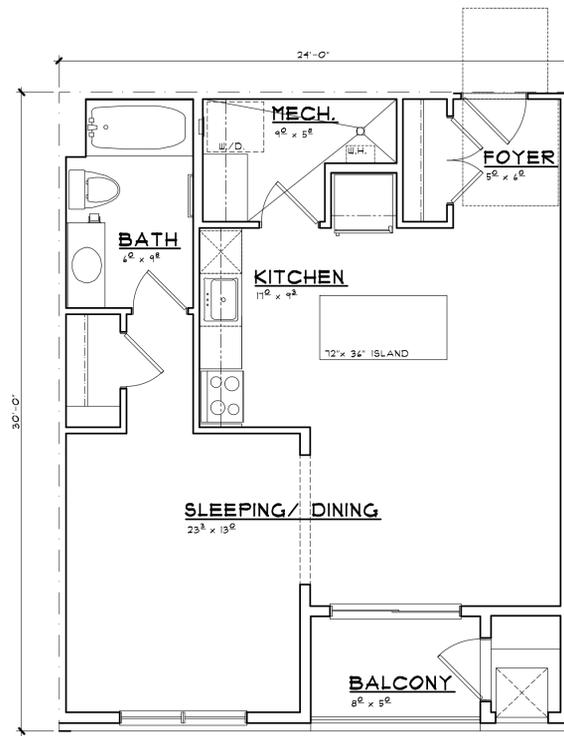
A-8



UNIT 200

EFFICIENCY DWELLING UNIT SCALE: 1/4" = 1'-0"

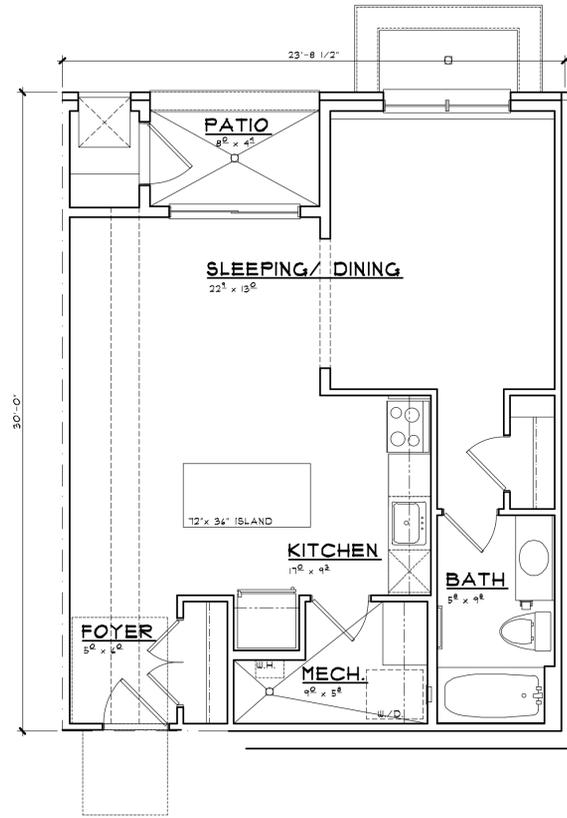
529 S.F.



UNIT 201

EFFICIENCY DWELLING UNIT SCALE: 1/4" = 1'-0"

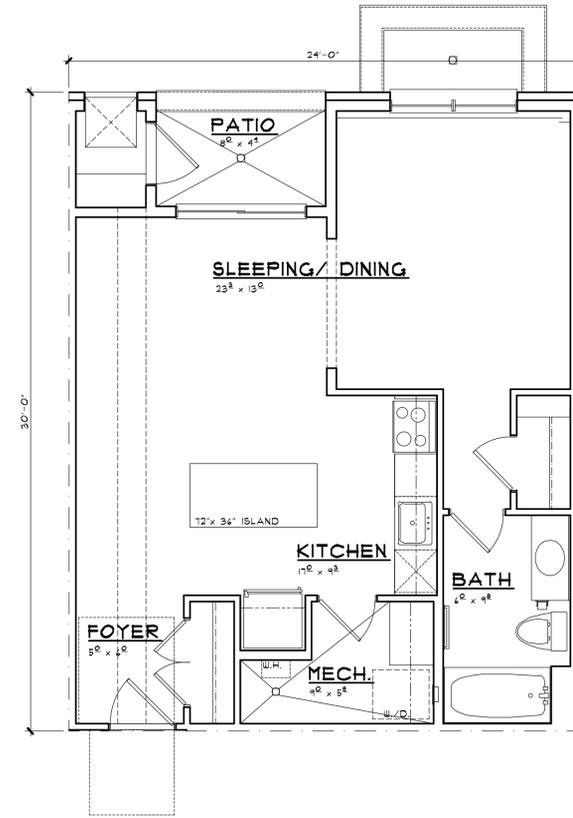
677 S.F.



UNIT LL1

EFFICIENCY DWELLING UNIT SCALE: 1/4" = 1'-0"

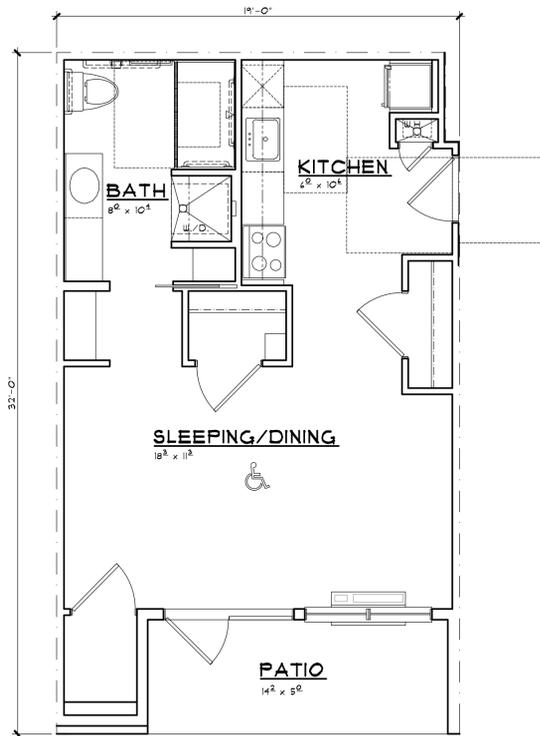
663 S.F.



UNIT LLO

EFFICIENCY DWELLING UNIT SCALE: 1/4" = 1'-0"

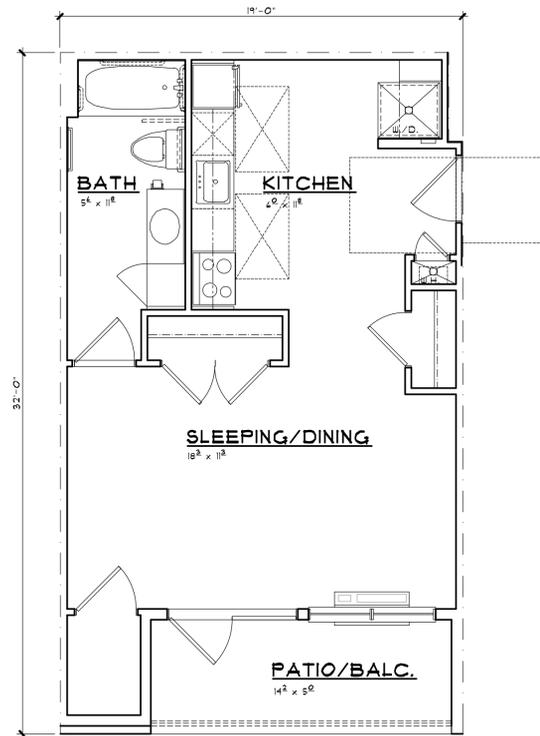
677 S.F.



UNIT 101A

EFFICIENCY TYPE 'A' DWELLING UNIT TOTAL TYPE 'A' UNITS & LOCATION TBD SCALE: 1/4" = 1'-0"

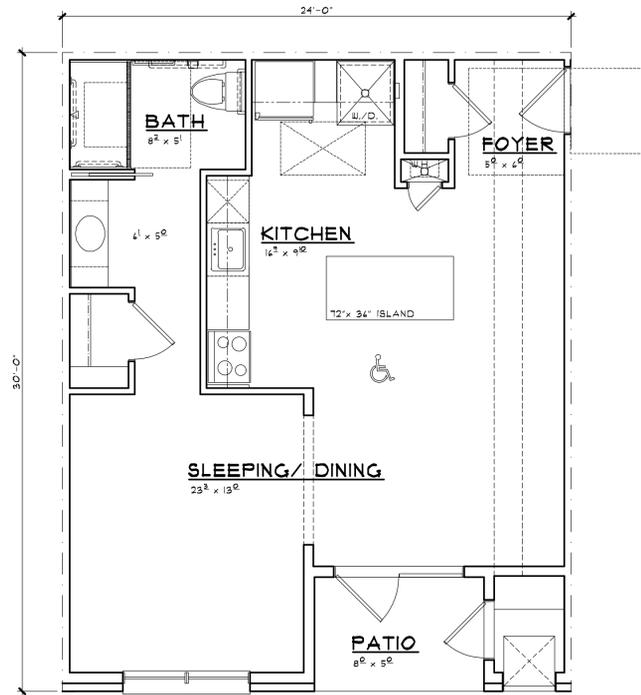
534 S.F.



UNIT 101

EFFICIENCY TYPE 'B' DWELLING UNIT SCALE: 1/4" = 1'-0"

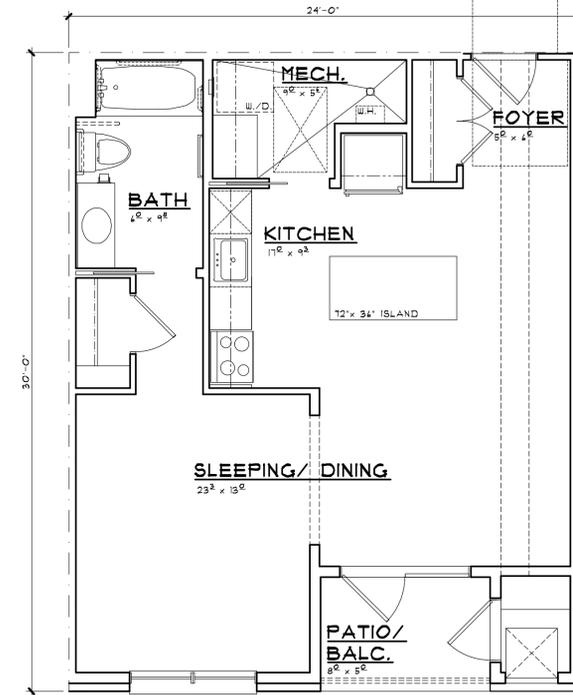
534 S.F.



UNIT 100A

EFFICIENCY TYPE 'A' DWELLING UNIT TOTAL TYPE 'A' UNITS & LOCATION TBD SCALE: 1/4" = 1'-0"

677 S.F.



UNIT 100

EFFICIENCY TYPE 'B' DWELLING UNIT SCALE: 1/4" = 1'-0"

677 S.F.



BRIAN NEEP ARCHITECTURE P.C.
 DESIGN - PLANNING - INTERIORS
 630 BRIMLEY AVE. SUITE 203
 BRIMLEY, ONTARIO, CANADA
 BRIANNEEP@GMAIL.COM
 248.259.1784

SHEET TITLE
DWELLING UNIT PLANS
 PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
 CROOKS ROAD
 EFFICIENCY APARTMENTS
 TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
REVISIONS	
11-21-23	
01-26-24	
02-23-24	

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 BRIAN NEEP
 ARCHITECTURE P.C.
 JOB NUMBER
 23035
 DRAWN BY
 BN / EAF
 CHECKED BY
 SHEET NUMBER

A-9



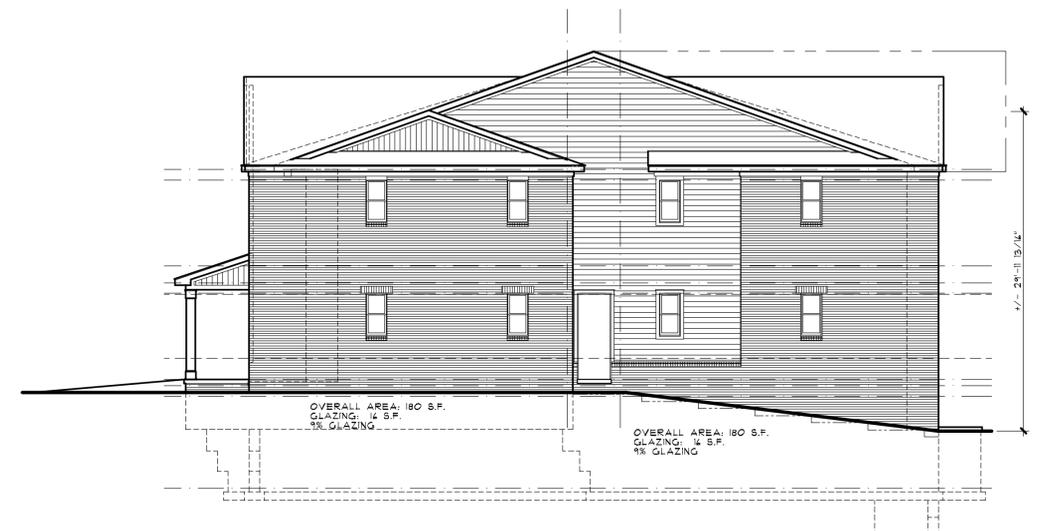
REAR ELEVATION - BUILDING TYPE 'A-1'

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'A-1'

SCALE: 1/8" = 1'-0"



BRIAN NEEP ARCHITECTURE P.C.
 DESIGN - PLANNING - INTERIORS
 630 WOODLAND CHASE, SUITE 203
 BIRMINGHAM, AL 35203
 BRIANNEEP.COM
 248.259.1784

SHEET TITLE
O.A. BUILDING ELEVATIONS
BUILDING TYPE 'A-1'
 PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
 CROOKS ROAD
 EFFICIENCY APARTMENTS
 TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
REVISIONS	
11-21-23	
01-26-24	
02-23-24	
COPYRIGHT © 2023 BRIAN NEEP ARCHITECTURE P.C.	
JOB NUMBER	23035
DRAWN BY	BN / EAF
CHECKED BY	
SHEET NUMBER	A-10



REAR ELEVATION - BUILDING TYPE 'A-2'

SCALE: 1/8" = 1'-0"



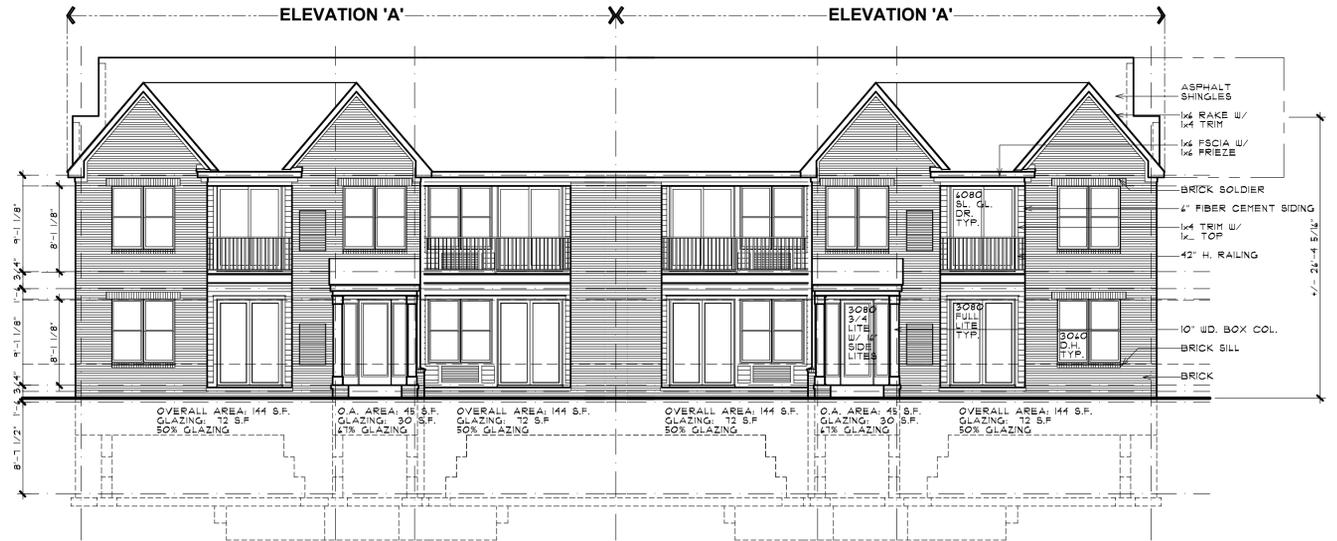
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'A-2'

SCALE: 1/8" = 1'-0"



BRIAN NEEP ARCHITECTURE P.C.
 DESIGN - PLANNING - INTERIORS
 630 WOODBURN CHASE, SUITE 203
 BRIMMINGHAM, ALABAMA
 BRIANNEEP.COM
 248.259.1784

SHEET TITLE
O.A. BUILDING ELEVATIONS
BUILDING TYPE 'A-2'
 PRELIMINARY

CLIENT / PROJECT
THE WESTBROOK
CROOKS ROAD
EFFICIENCY APARTMENTS
TROY, MICHIGAN

PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
REVISIONS	
11-21-23	
01-26-24	
02-23-24	
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JOB NUMBER	23035
DRAWN BY	BN / EAF
CHECKED BY	
SHEET NUMBER	A-11



REAR ELEVATION - BUILDING TYPE 'B-1' & 'B-2'
 CROOKS ROAD FRONT ELEVATION
 OVERALL GLAZING FACING CROOKS ROAD 50%
 SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION
 CROOKS ROAD ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
 CROOKS ROAD ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'B-1' & 'B-2'
 CROOKS ROAD ELEVATION
 SCALE: 1/8" = 1'-0"

PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
REVISIONS	
	11-21-23
	01-26-24
	02-23-24
COPYRIGHT 2023 BRIAN NEEPER ARCHITECTURE P.C.	
JOB NUMBER	23035
DRAWN BY	BN / EAF
CHECKED BY	
SHEET NUMBER	A-12



REAR ELEVATION - BUILDING TYPE 'B-3'

OVERALL GLAZING FACING CROOKS ROAD 50%
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - BUILDING TYPE 'B-3'

SCALE: 1/8" = 1'-0"

PRELIMINARY	08-31-23
BIDS	
PERMITS	
FINAL	
REVISIONS	
	11-21-23
	01-26-24
	02-23-24

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JOB NUMBER	23035
DRAWN BY	BN / EAF
CHECKED BY	
SHEET NUMBER	

EXHIBIT 4

-----Original Message-----

From: "Arban S." <arbanstafa@gmail.com>
Sent: Wednesday, March 13, 2024 11:22am
To: "Benjamin Carlisle" <bcarlisle@cwaplan.com>
Cc: "Brent Savidant" <SavidantB@troy.mi.gov>, "Megan E Schubert" <Megan.Schubert@troy.mi.gov>, "Sam Stafa" <sstafa3@gmail.com>, "Brian Neeper" <brian@brianneeper.com>
Subject: Re: FW: Westbrook Building Height

Hello and good morning,
Based on the ordinance, gable roofs are not measured to the peak.
Under Article 2, Definitions, pg. 9 "Building Height", "The term "building height" shall mean the vertical distance as measured from the established grade to the highest point of the roof for flat roofs, including walls or parapets that extend above the horizontal roof surface; to the deck line of mansard roofs; and to the average height between eaves and ridge for gable, hip, and gambrel roofs." (emphasis added)

Based on how building height is measured for gable roofs under the zoning ordinance's "building height" definition, Building Types A-1/A-2, the two building types under discussion, are under 30 feet in height on all sides of the buildings.

The rear elevation is 29'-11 12/16", below the 30-foot maximum permitted height.



The height on the tallest portion of the building's side is 29'-11 12/16", below the 30-foot maximum permitted height.



OVERALL AREA: 180 S.F.
GLAZING: 14 S.F.
9% GLAZING

OVERALL AREA: 180 S.F.
GLAZING: 14 S.F.

The front elevation height is 26'-4 5/16", below the 30-foot maximum permitted height.



ASPHALT SHINGLES

1/2" RAKE W/
1x4 TRIM

1/2" FSCIA W/
1x6 FRIEZE

BRICK SOLDIER

4" FIBER CEMENT SIDING

1x4 TRIM W/
1" TOP

42" H. RAILING

10" WD. BOX COL.

BRICK SILL

BRICK

144 S.F. O.A. AREA: 45 S.F. OVERALL AREA: 144 S.F.

Feel free to let me know if you have any questions; thank you and have a wonderful day.

Thank you,
Arban Stafa, TOLLBROOK BROKERAGE LLC
C: 248-906-5400

On Tue, Mar 12, 2024 at 2:21 PM Benjamin Carlisle <bcarlisle@cwaplan.com> wrote:
Arban,

Thank you for responding. After a review of the revised plans, we still find the proposed buildings to not comply with section 5.06.E.3.c.i:

Height. i. Any building, **or portion of a building**, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height.

Note the emphasis added on **“portion of a building.”**

All proposed building types exceed 30-feet at the peak of the roof. Section 5.06.E.3.c.i was intentionally written to include “portion of a building” to address situations where through grading or other means, an applicant would be able to exceed 2.5 stories or 30 feet. It was written to reduce impact and visually massing, especially towards adjacent single-family residential properties.



Based on your submitted plans we can not complete the review. Please reduce the height and resubmit.

Thanks
Ben



Benjamin R. Carlisle
President, AICP, LEED-AP
Phone: 734-662-2200 |
117 N. 1st Street, Suite 70, Ann Arbor, MI 48104



From: Arban S. <arbanstafa@gmail.com>
Sent: Friday, March 1, 2024 4:32 PM
To: Brent Savidant <SavidantB@troymi.gov>
Cc: Benjamin Carlisle <bcarlisle@cwaplan.com>; Megan E Schubert <Megan.Schubert@troymi.gov>; Sam Stafa <[sstafa3@gmail.com](mailto:ssstafa3@gmail.com)>
Subject: Re: FW: Westbrook Building Height

Hello and good afternoon,
PEA Engineering also updated its engineering sheets and added Neeper's updated plans. (see attached)

Please provide the planning report when it is completed.

Thank you, and have a wonderful weekend.

Arban Stafa, TOLLBROOK BROKERAGE LLC
C: 248-906-5400

On Tue, Feb 27, 2024 at 6:17 PM Arban S. <arbanstafa@gmail.com> wrote:

Hello,

The plans have been updated to comply; please take a look at the attachment.

Thank you,

Arban Stafa, TOLLBROOK BROKERAGE LLC
C: 248-906-5400

On Fri, Feb 2, 2024 at 3:38 PM Brent Savidant <SavidantB@troymi.gov> wrote:

Sam:

See correspondence below from the City's Planning Consultant as it pertains to the Westbrook building elevations.



R. Brent Savidant, AICP
Community Development Director
City of Troy
O: 248.524.3366



From: Benjamin Carlisle <bcarlisle@cwaplan.com>
Sent: Friday, February 2, 2024 3:22 PM
To: Brent Savidant <SavidantB@troymi.gov>
Cc: Shana Kot <skot@cwaplan.com>
Subject: Westbrook Building Height

CAUTION: This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

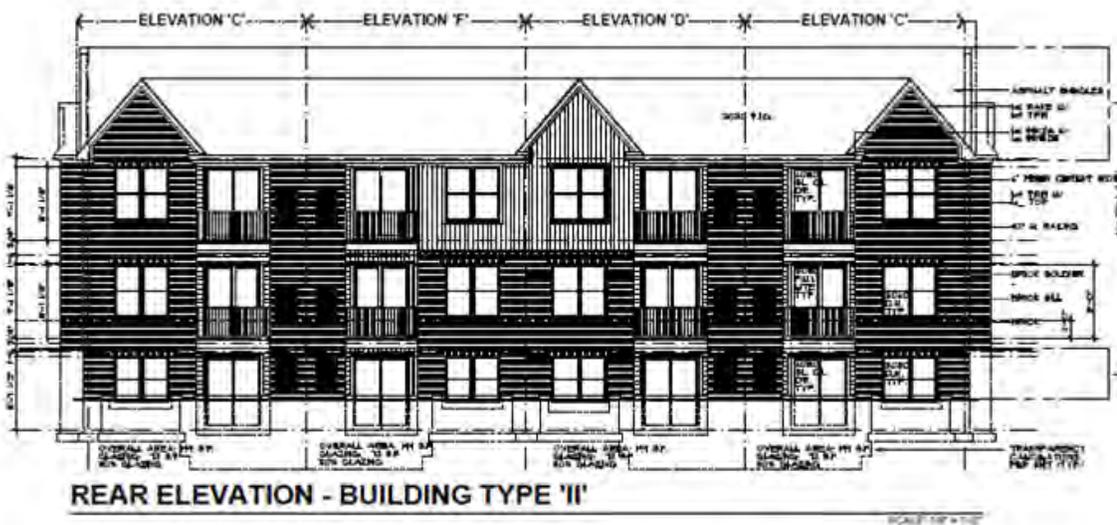
Brent,

We are finalizing our review for Westbrook and still question the proposed number of stories and height. As set forth in Section 5.06.E.3.c.:

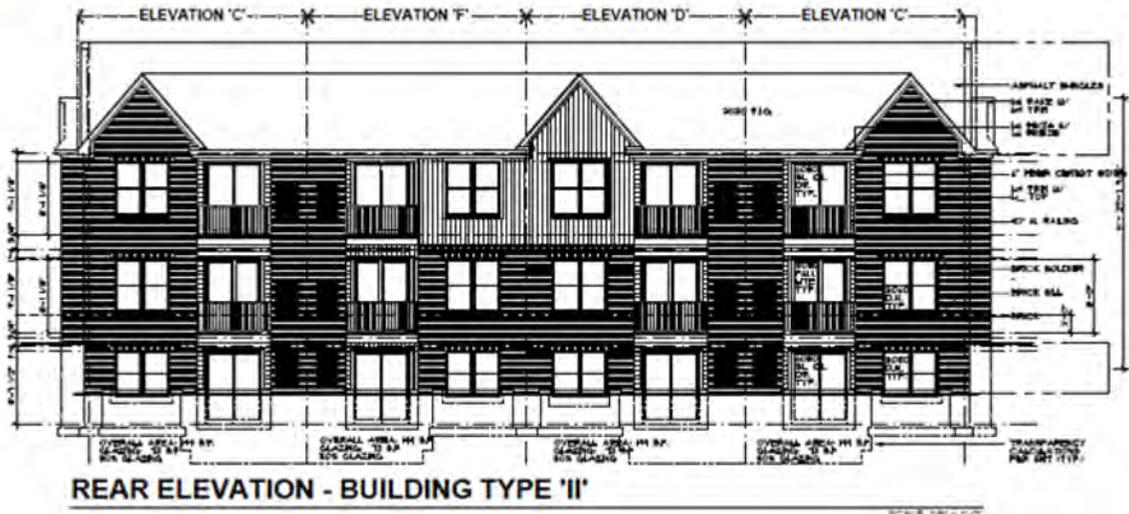
- I. Any building, or portion of a building, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height.
- II. Any building, or portion of a building, on a parcel that is not abutting a one-family residentially zoned parcel shall not exceed 3-stories, 38 feet in height.

When looking at the proposed building, the rear elevation (one that faces the adjacent residential) both exceeds 30 feet and 2.5 stories. That section was intentionally written to include "portion of a building" to address situations such as this where through grading or other means, an applicant would be able to exceed 2.5 stories or 30 feet. It was written to reduce impact and visually massing, especially towards adjacent single-family residential properties.

I will also note that multiple family residential projects in neighborhood nodes have been very divisive. There will be a lot of eyes on this project. I think the applicant needs to relook at the height issue and submit elevations that comply with the above referenced height provision.



Ben



REAR ELEVATION - BUILDING TYPE 'II'

SCALE: 1/4" = 1'-0"



Carlisle | Wortman
ASSOCIATES, INC.

Code Enforcement
SERVICES





OVERALL AREA: 180 S.F.
 GLAZING: 16 S.F.
 9% GLAZING

OVERALL AREA: 180 S.F.
 GLAZING: 16 S.F.
 9% GLAZING

+/- 24'-11 13/16"



ASPHALT SHINGLES

1x6 RAKE W/
 1x4 TRIM

1x6 FSCIA W/
 1x6 FRIEZE

BRICK SOLDIER

4" FIBER CEMENT SIDING

1x4 TRIM W/
 1x TOP

42" H. RAILING

10" WD. BOX COL.

BRICK SILL

BRICK

6080
 SL. GL.
 DR.
 TYP.

3080
 3/4
 LITE
 W/ 1/2
 SIDE
 LITES

3080
 FULL
 LITE
 TYP.

3040
 D.H.
 TYP.

+/- 26'-4 5/16"

144 S.F. O.A. AREA: 45 S.F. OVERALL AREA: 144 S.F.

EXHIBIT 5

Re: Westbrook Building Height

From: Arban S. <arbanstafa@gmail.com>

Sent: Fri, Apr 5, 2024 at 12:23 pm

To: Benjamin Carlisle

Cc: Brent Savidant, Megan E Schubert, Sam Stafa, Brian Neeper

Hello and good afternoon, any updates?

Thank you,

Arban Stafa, TOLLBROOK BROKERAGE LLC

C: 248-906-5400

On Tue, Mar 26, 2024 at 6:03 PM Benjamin Carlisle <bcarlisle@cwaplan.com> wrote:

Arban,

Brent and I are out of town. When we get back we're going to talk to City Manager (also the City Zoning Administrator) for his interpretation. We'll get back to you next week

Ben

Sent from my iPhone

On Mar 26, 2024, at 11:56 AM, Arban S. <arbanstafa@gmail.com> wrote:

Hello and good afternoon, any updates?

Thank you,

Arban Stafa, TOLLBROOK BROKERAGE LLC

C: 248-906-5400

On Wed, Mar 13, 2024 at 11:22 AM Arban S. <arbanstafa@gmail.com> wrote:

Hello and good morning,

Based on the ordinance, gable roofs are not measured to the peak.

Under Article 2, Definitions, pg. 9 *"Building Height"*, *"The term "building height" shall mean the vertical distance as measured from the established grade to the highest point of the roof for flat roofs, including walls or parapets that extend above the horizontal roof surface; to the deck line of mansard roofs; and to the average height between eaves and ridge for gable, hip, and gambrel roofs."* (emphasis added)

Based on how building height is measured for gable roofs under the zoning ordinance's "building height" definition, Building Types A-1/A-2, the two building types under discussion, are under 30 feet in height on all sides of the buildings.

The rear elevation is 29'-11 12/16", below the 30-foot maximum permitted height.

<image.png>

The height on the tallest portion of the building's side is 29'-11 12/16", below the 30-foot maximum permitted height.

<image.png>

The front elevation height is 26'-4 5/16", below the 30-foot maximum permitted height.

<image.png>

Feel free to let me know if you have any questions; thank you and have a wonderful day.

Thank you,

Arban Stafa, TOLLBROOK BROKERAGE LLC
C: 248-906-5400

On Tue, Mar 12, 2024 at 2:21 PM Benjamin Carlisle <bcarlisle@cwaplan.com> wrote:

Arban,

Thank you for responding. After a review of the revised plans, we still find the proposed buildings to not comply with section 5.06.E.3.c.i:

*Height. i. Any building, **or portion of a building**, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height.*

*Note the emphasis added on "**portion of a building.**"*

All proposed building types exceed 30-feet at the peak of the roof. Section 5.06.E.3.c.i was intentionally written to include "portion of a building" to address situations where through grading or other means, an applicant would be able to exceed 2.5 stories or 30 feet. It was written to reduce impact and visually massing, especially towards adjacent single-family residential properties.

<image021.png>

Based on your submitted plans we can not complete the review. Please reduce the height and resubmit.

Thanks
Ben

<image022.png>

<image023.png>

Benjamin R. Carlisle
President, AICP, LEED-AP
Phone: 734-662-2200 |
117 N. 1st Street, Suite 70, Ann Arbor, MI 48104
<image024.png>
<image025.png>

From: Arban S. <arbanstafa@gmail.com>
Sent: Friday, March 1, 2024 4:32 PM
To: Brent Savidant <SavidantB@troy.mi.gov>
Cc: Benjamin Carlisle <bcarlisle@cwaplan.com>; Megan E Schubert <Megan.Schubert@troy.mi.gov>; Sam Stafa <sstafa3@gmail.com>

Subject: Re: FW: Westbrook Building Height

Hello and good afternoon,
PEA Engineering also updated its engineering sheets and added Neeper's updated plans. (see attached)

Please provide the planning report when it is completed.

Thank you, and have a wonderful weekend.

Arban Stafa, TOLLBROOK BROKERAGE LLC
C: 248-906-5400

On Tue, Feb 27, 2024 at 6:17 PM Arban S. <arbanstafa@gmail.com> wrote:

Hello,

The plans have been updated to comply; please take a look at the attachment.

Thank you,

Arban Stafa, TOLLBROOK BROKERAGE LLC
C: 248-906-5400

On Fri, Feb 2, 2024 at 3:38 PM Brent Savidant <SavidantB@troy.mi.gov> wrote:

Sam:

See correspondence below from the City's Planning Consultant as it pertains to the Westbrook building elevations.

<image009.png>

R. Brent Savidant, AICP
Community Development Director
City of Troy
O: 248.524.3366

<image010.png>

<image011.png>

<image012.png>

<image013.png>

<image014.png>

From: Benjamin Carlisle <bcarlisle@cwaplan.com>
Sent: Friday, February 2, 2024 3:22 PM
To: Brent Savidant <SavidantB@troy.mi.gov>
Cc: Shana Kot <skot@cwaplan.com>
Subject: Westbrook Building Height

CAUTION: This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brent,

We are finalizing our review for Westbrook and still question the proposed number of stories and height. As set forth in Section 5.06.E.3.c.:

- I. Any building, or portion of a building, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height.
- II. Any building, or portion of a building, on a parcel that is not abutting a one-family residentially zoned parcel shall not exceed 3-stories, 38 feet in height.

When looking at the proposed building, the rear elevation (one that faces the adjacent residential) both exceeds 30 feet and 2.5 stories. That section was intentionally written to include "portion of a building" to address situations such as this where through grading or other means, an applicant would be able to exceed 2.5 stories or 30 feet. It was written to reduce impact and visually massing, especially towards adjacent single-family residential properties.

I will also note that multiple family residential projects in neighborhood nodes have been very divisive. There will be a lot of eyes on this project. I think the applicant needs to relook at the height issue and submit elevations that comply with the above referenced height provision.

<image015.png>

Ben

<image016.png>

<image017.png>

Benjamin R. Carlisle
President, AICP, LEED-AP
Phone: 734-662-2200 |
117 N. 1st Street, Suite 70, Ann Arbor, MI 48104
<image018.jpg>
<image019.jpg>

EXHIBIT 6



500 West Big Beaver
Troy, MI 48084
troymi.gov

City Manager's Office
248.524.3330

April 9, 2024

Arban Stafa,
Tollbrook Brokerage, LLC
Deliver via email to arbanstafa@gmail.com

Dear Mr. Stafa,

I serve as the City of Troy Zoning Administrator. I have reviewed the Crooks Road Development (Westbrook) plan set application, dated February 29, 2024. I have found that the development does not comply with Section 5.06.3.c:

Any building, or portion of a building, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height.

Multiple portions of the building(s) as measured from the foundation to the peak of roof exceed 30 feet in height.

Sincerely,

A handwritten signature in blue ink, appearing to read "Mark Miller", with a long horizontal line extending to the right.

Mark Miller, AICP
City Manager/Zoning Administrator

THE FOLLOWING 16 SLIDES ARE EXHIBITS PROVIDED BY THE CITY OF TROY PLANNING DEPARTMENT. PLANNING DEPARTMENT STAFF WILL PRESENT THIS INFORMATION AT THE JUNE ZBA MEETING

ZONING BOARD OF APPEALS

**APPEAL OF ADMINISTRATIVE DECISION
RELATED TO CHAPTER 39, SECTION
5.06.3.c.**

June 18, 2024

APRIL 9, 2024

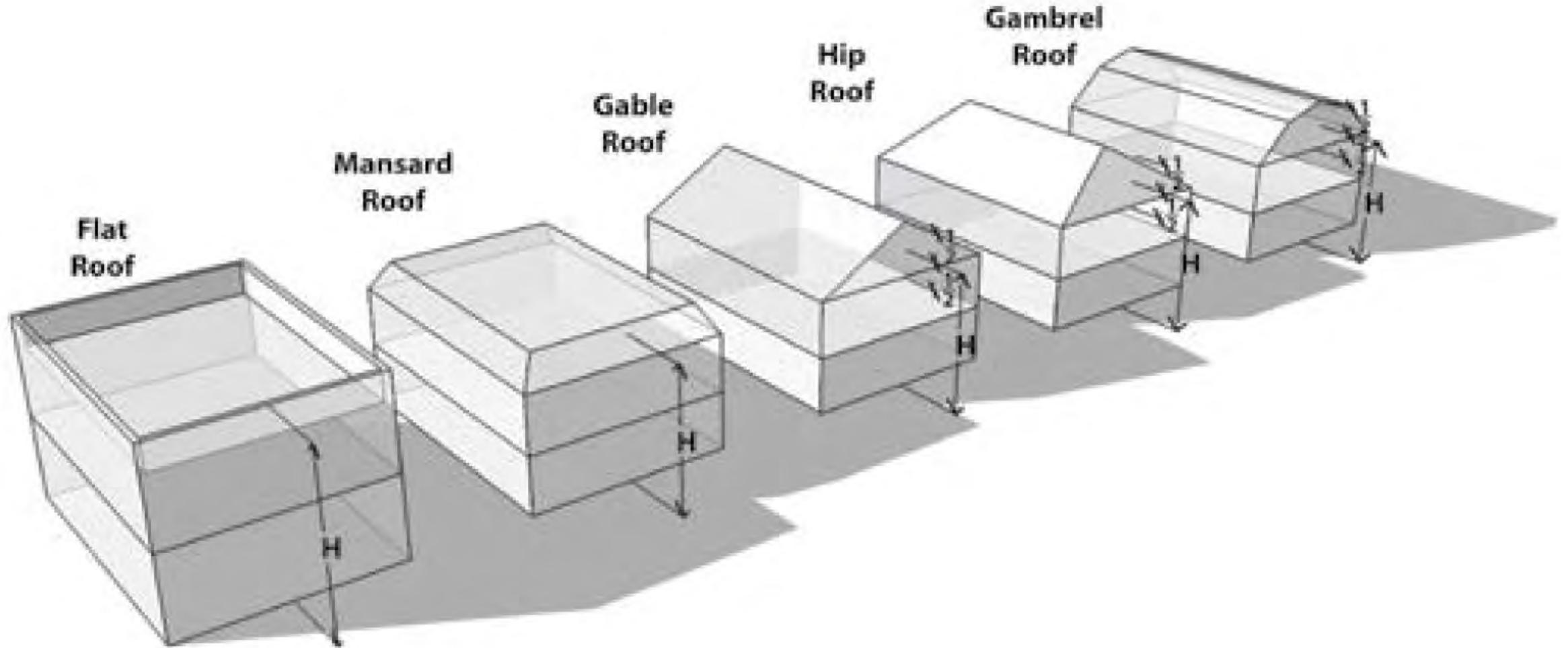
Zoning Administrator determined that the Westbrook site plan set application, dated February 29, 2024, does not comply with Section 5.06.3.c.

Applicant is appealing this determination.

HEIGHT DEFINITION (TEXT)

BUILDING HEIGHT: The term “building height” shall mean the vertical distance as measured from the established **grade** to the highest point of the roof for flat roofs, including walls or parapets that extend above the horizontal roof surface; to the deck line of mansard roofs; and to the average height between eaves and ridge for gable, hip, and gambrel roofs. When a non-residential **building** is located on sloping terrain, the height may be measured from the average ground level of the grade at the building wall. When a residential building is located on sloping terrain, the height shall be measured from the highest grade adjacent to the front of the **structure** to the highest point of the roof for flat roofs, including walls or parapets that extend above the horizontal roof surface; to the deck line of mansard roofs; and to the average height between eaves and ridge for gable, hip, and gambrel roofs. For residential buildings, the major or main roof over the living area shall be used to determine building height, with the following exception: when the total horizontal roof area of dormers and/or minor gables enclosing the living area exceeds twenty (20) percent of the total horizontal area of the roof to which such dormers or gables are attached, the predominant height of such dormers or gables shall be used as the basis for the determination of the building height.

HEIGHT DEFINITION (ILLUSTRATION)



GABLE ROOF HEIGHT

“When a residential building is located on sloping terrain, the height shall be measured from the highest grade adjacent to the front of the structure...to the average height between eaves and ridge for gable...roofs”

HEIGHT IN NN DISTRICT

On May 24, 2021 City Council amended Article 5 of Chapter 39 Zoning Ordinance. The adopted provisions regulated maximum height and minimum setbacks in the NN Neighborhood Node Zoning District.

HEIGHT IN NN DISTRICT

Prior to height amendment, issues of height had been expressed by adjacent neighbors for residential projects in Neighborhood Nodes districts.

The intent of the amendment was to reduce the impact of buildings on abutting single family neighborhoods.

HEIGHT IN NN DISTRICT



Section 5.06.E.3.c

c. Height.

- i. Any building, or portion of a building, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height.
- ii. Any building, or portion of a building, on a parcel that is not abutting a one-family residentially zoned parcel shall not exceed 3-stories, 38 feet in height.

HEIGHT IN NN DISTRICT



c. Height.

- i. Any building, or portion of a building, on a parcel abutting a one-family residentially zoned parcel shall not exceed 2.5-stories, 30 feet in height.
- ii. Any building, or portion of a building, on a parcel that is not abutting a one-family residentially zoned parcel shall not exceed 3-stories, 38 feet in height.

HEIGHT IN NN DISTRICT



c. Height.

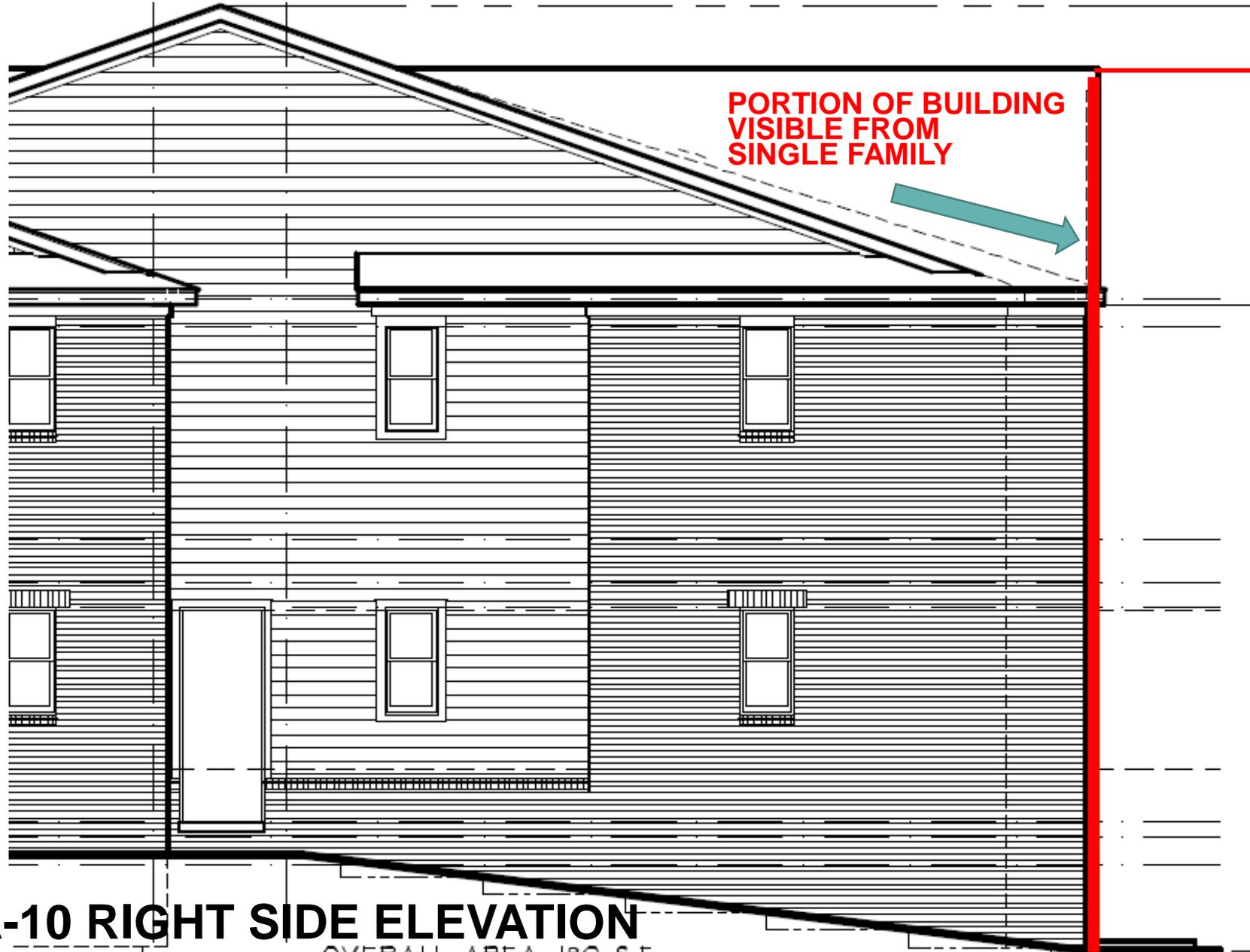
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- ii. Any building, or portion of a building, on a parcel that is not abutting a one-family residentially zoned parcel shall not exceed 3-stories, 38 feet in height.

HEIGHT IN NN DISTRICT

PORTION OF BUILDING CLOSEST TO AND VISIBLE FROM SINGLE FAMILY



SHEET A-10 REAR ELEVATION – BUILDING TYPE ‘A-1’



PORTION OF BUILDING
VISIBLE FROM
SINGLE FAMILY

CROWN
OF
GABLE

33.5'

+/- 29'-11 13/16"

GRADE

SHEET A-10 RIGHT SIDE ELEVATION

OVERALL AREA: 180 S.F.
GLAZING: 16 S.F.
9% GLAZING

RULES OF INTERPRETATION

A basic tenet of zoning is:

“The particular shall control the general”

RULES OF INTERPRETATION

Article 2
Definitions

BACK

FORWARD



5

Authority and
Administration

Dev
Re

ARTICLE 2

DEFINITIONS

SECTION 2.01 RULES OF INTERPRETATION

For the purposes of this Ordinance, certain terms or words used in this Ordinance shall be interpreted as follows:

A. The particular shall control the general.

RULES OF INTERPRETATION

The PARTICULAR (regulations for height in NN when abutting single family residential) shall control the GENERAL (height regulations applying to all buildings).

INTERPRETATION

The height of the portion of the building visible from single family residential (33.5') exceeds the maximum permitted height in NN (30').

The following historical minutes have been provided by the City and are not part of the Application.

On January 19, 2021 at 7:31 p.m., via remote meeting using the GoTo Meeting platform, Chairman Clark called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Glenn Clark
Aaron Green
Mahendra Kenkre
David Eisenbacher
James McCauley
Michael Bossenbroek
Orestis Kaltsounis

Also Present:

Paul Evans, Zoning and Compliance Specialist
Allan Motzny, Assistant City Attorney
Jackie Ferencz, Administrative Assistant, Planning Department
Bob Laux, Information Technology
Julie DuFrane, Assistant City Attorney

2. REVISED PROCEDURE- read by Vice Chair Bossenbroek

3. MODIFICATION OF ZONING BOARD OF APPEALS RULES OF PROCEDURE

Moved by McCauley
Seconded by Green

RESOLVED, to approve resolution modifying Rules of Procedure to allow electronic meetings.

Yes: All

MOTION PASSED

4. APPROVAL OF MINUTES – December 15, 2020

Moved by Green
Seconded by Eisenbacher
RESOLVED, to approve the December 15, 2020 meeting minutes.

Yes: All

MOTION PASSED

5. APPROVAL OF AGENDA – No changes

6. HEARING OF CASES:

A. VARIANCE REQUEST, 4928 PARK MANOR, NEETU SHARMA & AMBUJ MATHUR: A variance to allow a partially covered deck 10 feet from the rear property line where the development approval requires the deck to be no less than 25 feet from the rear property line.

Moved by Green
Second by McCauley

RESOLVED, to deny petitioner’s request.

Yes: Green
Kenkre
Kaltsounis
Bossenbroek
McCauley
Clark

No: Eisenbacher

MOTION PASSED

Chair Clark called recess at 9:04pm
Meeting resumed at 9:10pm

B. VARIANCE REQUEST, 4095-4115 CROOKS AND PROPERTY ADJACENT, SAFET “SAM” STAFA: Tollbrook North, LLC (“Developer”) appeals the November 10, 2020 decision of the City of Troy’s Planning Commission (“PC”) to deny the Preliminary Site Plan (“PSP”) for its Crooks Road Townhomes project to the City’s Zoning Board of Appeals (“ZBA”). The Developer requests that the ZBA reverse the PC’s decision and grant PSP approval.

Moved by Eisenbacher
Second by Bossenbroek

RESOLVED: That the ZBA finds that the decision by the Planning commission was arbitrary and capricious and the ZBA modifies the Planning Commission resolution to set it aside and the ZBA sends this Site Plan back to the Planning Commission to provide a more thorough and detailed resolution.

Member McCauley CALLS THE QUESTION

Yes: Kenkre
Eisenbacher
McCauley
Green
Bossenbroek
Clark

No: Kaltsounis

Vote on proposed resolution

Yes: Eisenbacher
Clark
Bossenbroek

No: Kaltsounis
Green
McCauley
Kenkre

MOTION Fails

Moved by Green
Second by McCauley

RESOLVED That the ZBA affirm the Planning Commission’s decision on this matter.

Member Bossenbroek CALLS THE QUESTION

Yes: Bossenbroek
Kenkre
McCauley
Kaltsounis

No: Clark
Eisenbacher
Green

Vote on proposed resolution

Yes: Green
Kenkre
McCauley
Kaltsounis

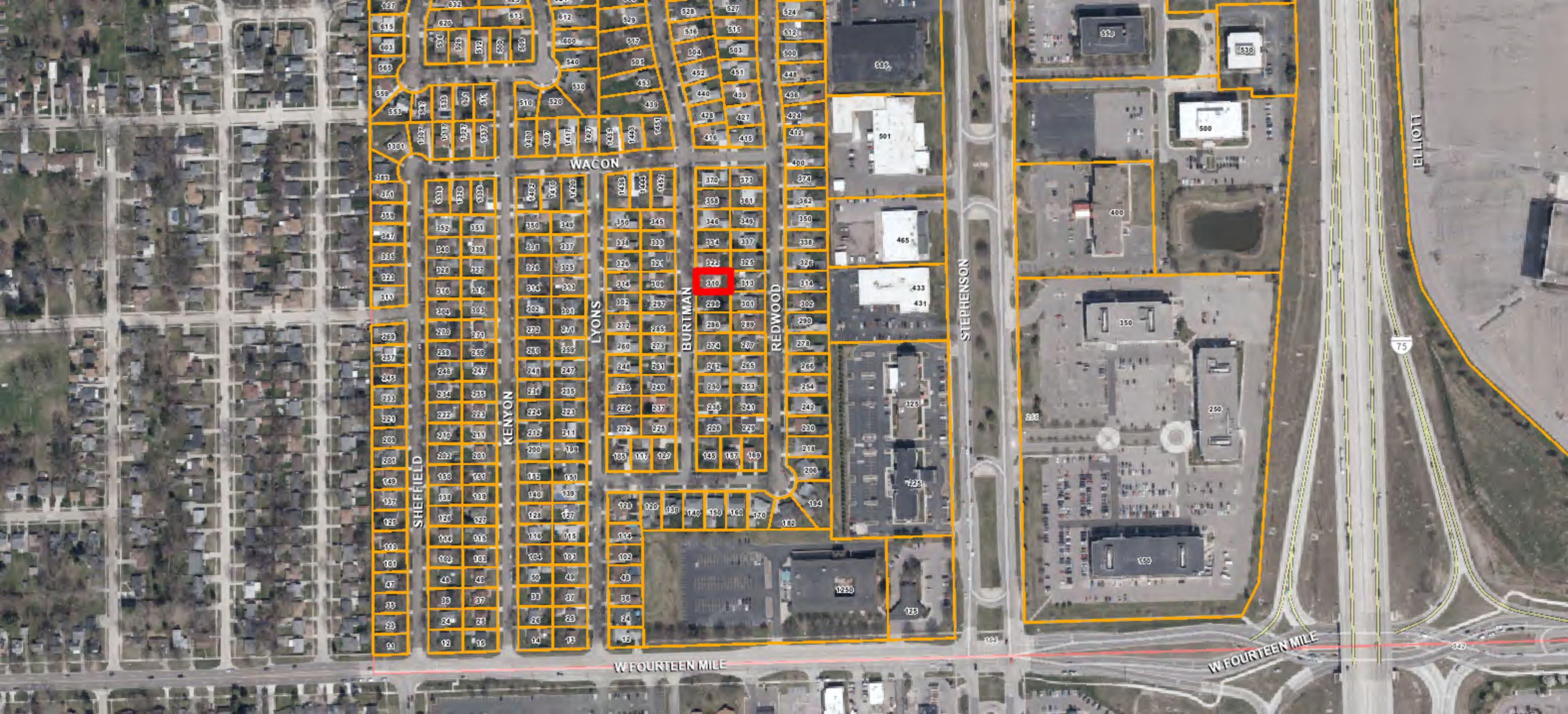
No: Bossenbroek
Eisenbacher
Clark

MOTION Passes

- 7. COMMUNICATIONS: None
- 8. MISCELLANEOUS BUSINESS: Mr. Evans advised the Board that staff is working on a future ZBA training.
- 9. PUBLIC COMMENT: None
- 10. ADJOURNMENT: The Zoning Board of Appeals meeting ADJOURNED at 11:42pm.

B. 310 BURTMAN, PAUL SCHILLER FOR ITALY AMERICAN CONSTRUCTION - A variance request to allow a proposed detached accessory structure (garage) be set back 3 feet from the side property line, where the Zoning Ordinance requires the proposed garage be set back 6 feet from the side property line.

ZONING ORDINANCE SECTION: 7.03 B 2 d



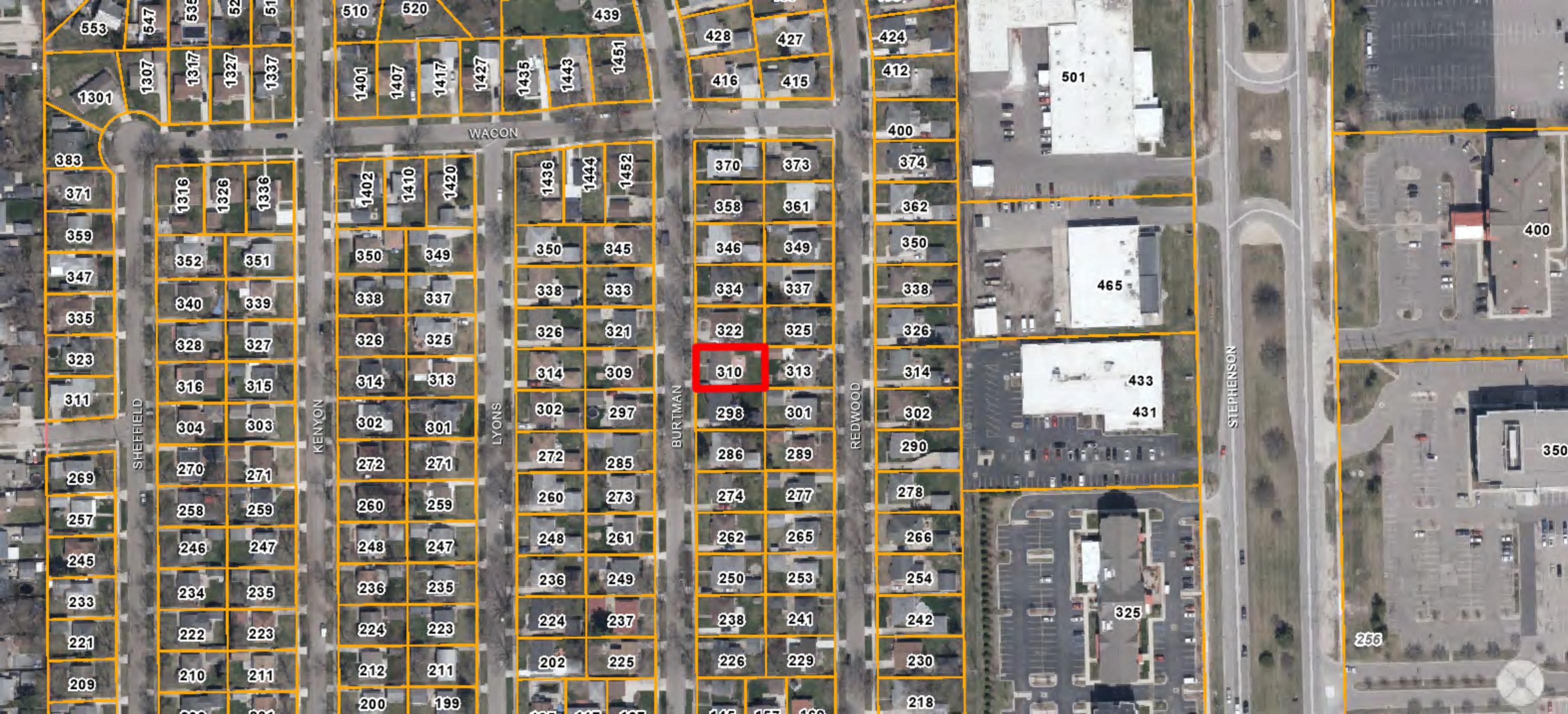
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595	598	597	596	595	452	451	521
559	563	562	561	560	440	439	425
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433	430	429	428	427	400	399	398
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428	427	426	425	424	338	337	336
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421	420	419	418	417	254	253	252
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408	407	406	405	404	98	97	96
407	406	405	404	403	86	85	84
406	405	404	403	402	74	73	72
405	404	403	402	401	62	61	60
404	403	402	401	400	50	49	48
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W FOURTEEN MILE

W FOURTEEN MILE

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ELLIOTT



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BURTMAN

REDWOOD

STEPHENSON

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322

An aerial photograph of a residential property with a brown roof and a large tree in the foreground. The number 322 is overlaid in large white font with a black outline.



325

An aerial photograph of a residential property with a grey roof and a driveway with a red car. The number 325 is overlaid in large white font with a black outline.



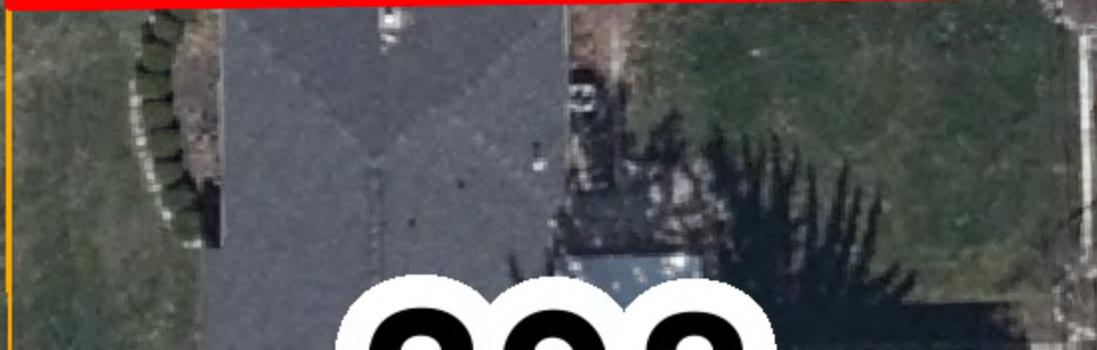
310

An aerial photograph of a residential property with a brown roof and a large tree in the foreground. The number 310 is overlaid in large white font with a black outline. This image is highlighted with a red border.



313

An aerial photograph of a residential property with a grey roof and a driveway with a red car. The number 313 is overlaid in large white font with a black outline.



309

An aerial photograph of a residential property with a grey roof and a large tree in the foreground. The number 309 is overlaid in large white font with a black outline.



301

An aerial photograph of a residential property with a grey roof and a driveway with a white car. The number 301 is overlaid in large white font with a black outline.



CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

Zoning Board of Appeals Application

planning@troymi.gov | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 310 BURTMAN
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-35-355-006
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: SECTION 4.05, SECTION 7.03
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO
5. APPLICANT:
NAME PAUL SCHILLER
COMPANY ITALY AMERICAN CONSTRUCTION
ADDRESS 8401 N TELEGRAPH RD
CITY DEARBORN HGTS STATE MI ZIP 48127
PHONE (313) 278-7500
E-MAIL PERMITS@IAC1954.COM
AFFILIATION TO THE PROPERTY OWNER: GENERAL CONTRACTOR HIRED TO BUILD GARAGE



Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME ELLIE DELLO

COMPANY _____

ADDRESS 310 BURTMAN

CITY TROY STATE MI ZIP 48083

TELEPHONE (248) 302-9024

E-MAIL _____

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Paul Schiller (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE *Paul Schiller* DATE 4/26/2024

PRINT NAME: Paul Schiller

PROPERTY OWNER SIGNATURE *Ellie Rose Dello* DATE 4.25.24

PRINT NAME: Ellie Rose Dello

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



Zoning Board of Appeals Application

PRACTICAL DIFFICULTY

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.



Zoning Board of Appeals Application

ZONING BOARD OF APPEALS APPLICATION CHECKLIST

Please provide the following in digital format. You may e-mail them to planning@troymi.gov or submit them on flash drive.

- ✓ Completed application
- ✓ Statement of practical difficulty see page 3
- ✓ Plot plan or survey showing property lines, existing and proposed buildings, their dimensions and locations (height, length, width, as applicable). SEALED SURVEY required for lot area or dimension requests.
- ✓ Setbacks from property lines
- ✓ Elevation drawings
- ✓ Photos as necessary to accurately describe the request, including existing and proposed property conditions
- ✓ Any other information that explains the request
- ✓ Incomplete applications cannot be accepted

ZONING BOARD OF APPEALS – OPENING STATEMENT

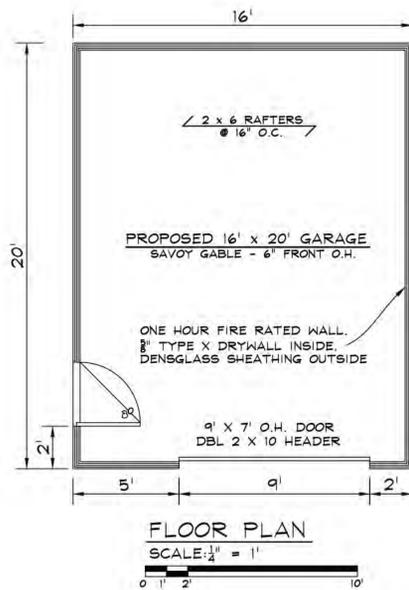
The Zoning Board of Appeals is a group of seven of your neighbors appointed by the Troy City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Applicants must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

PROCEDURE

The Board will hear the items in the order that they appear on the approved agenda. When an item is called, the Chairperson will verify that the applicant is present. Then the City Administration will summarize the facts of the case. If there is less than a full board (7 members) present at a meeting, an applicant may request a postponement so his or her request can be heard by a full board. If there is no request for a postponement, the applicant will then be given an opportunity to address the Board to explain the justification for the action requested.

After the applicant makes their presentation, and answers any questions that the Board may have, the Chairperson will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairperson, come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next-door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairperson. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairperson to speak at one time.

At the conclusion of public comments, the Chairperson will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.



FLOOR PLAN

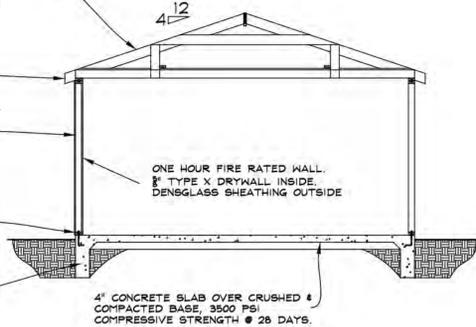
SCALE: 1/4" = 1'

- 1/2 PITCH
- ASPHALT SHINGLES
- 15# FELT UNDERLAYMENT
- 7/8" OSB SHEATHING
- 2 X 6 RAFTERS @ 16' O.C.
- 2 X 6 CROSS TIES @ 4'-0" O.C.
- 1 X 6 COLLARS @ 32' O.C.
- 1 X 6 HANGERS
- (2) 2 X 4 REVERSE TIES
- 2 X 8 RIDGE BOARD
- #750 VENT

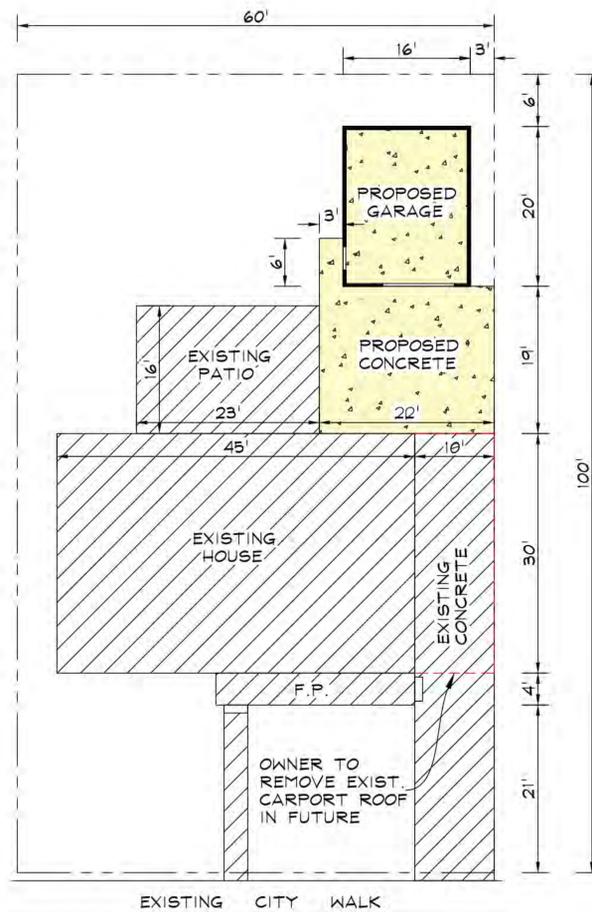
- 2 X 6 FASCIA BOARD
- 2 X 4 X 7 STUDS @ 16' O.C.
- 7/8" OSB SHEATHING
- METAL WIND BRACING
- HOUSE WRAP
- VINYL SIDING & ALUM TRIM

- 2 X 4 P.T. SILLPLATE W/ J-BOLTS @ 4' O.C.
- MIN. 1" FROM EACH CORNER

- NEW 6" X 24" POURED CONCRETE RATAWALL



CROSS SECTION
SCALE: NOT TO SCALE



SITE PLAN

SCALE: 3/32" = 1'

GENERAL NOTES

THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE NOT TO BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE AUTHOR

APPLICABLE BUILDING CODES ARE AS FOLLOWS
 -MICHIGAN RESIDENTIAL BUILDING CODE 2015
 -CITY OF TROY BUILDING CODE
 -CITY OF TROY ZONING CODE

PRIOR TO THE START OF CONSTRUCTION, THE LICENSED CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK TO COMMENCE

ALL FEDERAL, STATE, AND LOCAL CODES SHALL BE CONSIDERED A PART OF THE SPECIFICATIONS OF THE BUILDING AND SHOULD BE ADHERED TO EVEN IF THEY ARE IN CONFLICT WITH THIS DOCUMENT

ANY CHANGES REQUESTED TO PLANS PRIOR TO CONSTRUCTION MUST BE REPORTED IN THE MANNER DICTATED BY THE AUTHOR OF THIS DOCUMENT AND AGREED TO BY BOTH CUSTOMER AND AUTHOR

APPROVAL OF THESE PLANS BY THE REQUIRED MUNICIPAL REVIEWER SIGNIFIES A THOROUGH REVIEW AND ADHERENCE TO THE REQUIRED INSPECTOR SCHEDULE BY THE CONTRACTOR LIMITS THE INDEMNITY OF THE MUNICIPALITY

CONSTRUCTION NOTES

DRAWING PAGES WILL BE SCALED ON EITHER, (24" X 36") OR (11" X 17") PAPER AND PRESERVE PROPER FORMATTING & MEASUREMENTS.

DOOR SIZES ARE INDICATED IN DRAWINGS NOMINALLY AND IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ROUGH OPENINGS BASED ON THE DOOR MANUFACTURER'S SPECIFICATIONS

BRACE ALL EXTERIOR CORNERS OF STUD WALLS WITH METAL STRAP BRACING LET INTO STUDS ON 45 DEGREE DIAGONALS FROM PLATE TO PLATE

ALL RAFTER TAILS TO RECEIVE GALV. HURRICANE STRAPS AT WALL TOP PLATES TO PREVENT WIND UPLIFT

FDTN. & CONC. NOTES

ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF MASONRY TO OUTSIDE FACE OF MASONRY

FROST DEPTH IS ASSUMED TO BE 42" BELOW GRADE

COMPRESSIVE STRENGTH OF CONCRETE TO MEET OR EXCEED THE REQ'S OF MRC TABLE #602.2 UNDER THE CATEGORY OF SEVERE POTENTIAL FOR WEATHERING

FOOTINGS SHALL REST ON UNDISTURBED SOIL AND GENERAL CONTRACTOR SHALL VERIFY SOIL IS FREE OF LOOSE DEBRIS AND WATER PRIOR TO POURING OF CONCRETE

CONTRACTOR TO BE AWARE OF EXISTING FOUNDATIONS AND PREVENT AGAINST OVER EXCAVATION BELOW EXISTING FDTN. BEARING LINE

PER MRC #506.23 A 6 MIL THICK VAPOR RETARDER (OR BETTER) WITH MIN. 4" JOINT LAPPING SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND BASE WHERE APPLICABLE

GENERAL SITE NOTES

IT SHALL BE THE RESPONSIBILITY OF THE PERMIT HOLDER TO LOCATE ALL TREES AND VERIFY ALL EXISTING GRADE LEVELS

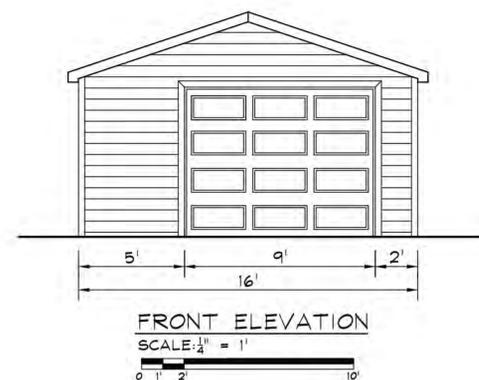
IT SHALL BE THE RESPONSIBILITY OF THE PERMIT HOLDER TO LOCATE ALL SITE UTILITIES PRIOR TO OR DURING CONSTRUCTION AND THE HOMEOWNER SHALL BE RESPONSIBLE FOR EXISTING AND FUTURE SPRINKLER HEADS

GENERAL CONTRACTOR OR PERMIT HOLDER WILL VERIFY ALL SITE MEASUREMENTS PRIOR TO SITE (1) SOIL EROSION AND (2) STORM WATER RUN OFF DURING CONSTRUCTION

WHEN POSSIBLE, IT SHALL BE COMMON PRACTICE TO LOCATE BUILDING SERVICE MODULES (SUCH AS METERS, CLEAN OUTS, VENT STACK, ETC.) OUT OF DIRECT LINE OF SITE FROM THE STREET

CONTRACT NOTES

- BREAK OUT SECTION OF EXISTING CONCRETE DRIVEWAY. INSTALL NEW 6" X 24" CONCRETE RATAWALLS. INSTALL NEW CONCRETE FOR DRIVEWAY AREA AND NEW GARAGE FLOOR AS SHOWN.
 - BUILD NEW 16' X 20' DETACHED WOOD FRAME GARAGE - SAVOY GABLE - 6" FRONT O.H. 1/2 PITCH
 - INSTALL NEW 9' X 7' EMBOSSED #410 OVERHEAD DOOR - COLOR: WHITE
 - INSTALL NEW 1/2 H.P. OVERHEAD GARAGE DOOR OPENER W/ (2) REMOTES.
 - INSTALL 36" X 80" 6 PANEL STEEL SERVICE DOOR W/ LOCKSET & DEADBOLT.
- ROOFING:
 ASPHALT SHINGLES - LANDMARK DIMENSIONAL - COLOR: BURNT SIENNA
 DRIP EDGE - WHITE
- SIDING:
 VINYL ENCORE DUTCHLAP - COLOR: SNOW
 VINYL SOFFIT - WHITE
 ALUM. TRIM - WHITE
- ELECTRICAL:
 OFF EXISTING SERVICE. (3) INTERIOR WALL OUTLETS, (1) INTERIOR LIGHT, (1) SINGLE SWITCH, (1) EXTERIOR COACH LIGHT (PROVIDED BY OWNER), (1) GARAGE DOOR OPENER OUTLET. HOMEOWNER TO FILL ELECTRICAL TRENCH.



FRONT ELEVATION

SCALE: 1/4" = 1'



SIDE ELEVATION

SCALE: 1/4" = 1'



DELLO RESIDENCE
 310 BURTMAN
 TROY, MI 48083
 (248) 302-9024

PROPOSED 16' X 20' GARAGE
 CONCRETE FLATWORK

SHEET INDEX
DESCRIPTION

A-1 GENERAL NOTES
 SITE SURVEY
 GARAGE FLOOR PLAN
 SECTION
 ELEVATIONS

SET ISSUE DATES

DATE: 10/30/23 ISSUE: APPLY FOR PERMIT

SHEET NOTES

REF: DRAWN BY: RM
 CHECKED BY:

SHEET No.

A-1
 PAGE 1 OF 1



ITALY AMERICAN
CONSTRUCTION CO., INC.

8401 N. TELEGRAPH RD.
DEARBORN HEIGHTS, MI. 48127
(313) 278-7500
FAX: (313) 278-7501

April 23, 2024

City of Troy
Planning Department
500 West Big Beaver
Troy, MI 48084

RE: Detached Garage
Dello Residence
310 Burtman
Troy, MI 48083

To the Zoning Board of Appeals,

Italy American Construction is seeking a variance on behalf of Ellie Dello to construct a 16' x 20' detached garage. The proposed garage will be nineteen (19) feet away from the home, six (6) feet off the rear lot line and three (3) feet off the side lot line. We are seeking a variance to construct the garage three (3) feet off the lot line. Section 7.03 of the city of Troy ordinance states that, "No detached accessory building shall be located closer than ten (10) feet to any main building, nor closer than six (6) feet to any side or rear lot line."

Per the district regulations for a lot zoned as R-1E, the lot shall be a minimum of 7,500 square feet with a total frontage of 60 feet. While 310 Burtman has a frontage of 60 feet, the total square footage of the lot is 6,000. Based on the zoning ordinance, there is an exceptional characteristic of smallness at this lot that has existed since this neighborhood was zoned and was not created by the any owner of this home.

Looking at this neighborhood, it appears that many of the lots fall into this category of exceptional smallness and have had garages built within the 6' side yard setback. Just looking at the houses nearest to 310 Burtman there are seven that have garages within the 6' side yard setback. These houses are 334, 298, 286, 321, 309, 297, and 285 Burtman. Since there is a precedent set with the other houses in the neighborhood, it would be fair to allow Ms. Dello to construct her garage within the 6' side yard setback. The garage will have proper fire separation per the building code and will not impair the adequate supply of light and air to the adjacent properties. With the new garage, the lot coverage will be 27%, which is under the allowed 30% max.

Thank you for your time.

Italy American Construction
8401 N. Telegraph Rd.
Dearborn Heights, MI 48127
(313) 278-7500 – permits@iac1954.com



PB2023-2435%PB%425.00

Building Permit No: PB2023-2435

Building Department
Inspection: (248) 689-5744
Phone: (248) 524-3344

500 W. Big Beaver Road
Troy, Michigan 48084
Hours: Mon-Fri 8am - 4:30pm

www.troymi.gov

310 BURTMAN 88-20-35-355-006 Subdivision: GeraldineHt/MarkBld/Buckingham Zoning: R-1E, NONE Construction Type:	Location Lot: 94 Use Group:	Owner DELLO, ELLIE ROSE 310 BURTMAN TROY MI 48083-1001
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Issued: 11/30/2023	Applicant ITALY AMERICAN CONSTRUCTION ITALY AMERICAN CONSTRUCTION 8401 N. TELEGRAPH STE 101 DEARBORN HTS (313) 278 7500 MI 48127
--------------------	--

FOR INSPECTIONS - CALL (248) 689-5744
*Inspections called in by 3:30 P.M. will be scheduled the next business day. **NOTE NEW INSPECTION CUT-OFF TIME***

Work Description Build new 16X20 detached garage and pour new partial driveway.

Special Stipulations:

Work will meet all codes and inspections.

Permit Item	Work Type	Quantity	Item Total
Value \$10,001 to 1 Million	Building Permit	0,200.00	325.00
Initial Plan Review Fee	Plan Rev Min.	1.00	100.00

Res., Garage/Acc. Structure

Total Due: \$425.00

PAID on: 11/21/2023

Check#:
Payment Validation

Date Expires 05/28/2024

This permit is issued subject to the Building Code, Zoning Ordinance and all other Ordinances of the City of Troy, and shall become void once work is not started or is abandoned for a period of one hundred eighty (180) days.

Separate permits must also be obtained for signs and any plumbing, heating, refrigeration, electric, or sewer work.

This permit conveys no right to occupy any street or public right-of-way, either temporarily or permanently.

Please take a few minutes and let us know about your experience working with us via our customer feedback survey at <https://troymi.gov/CDSurvey>

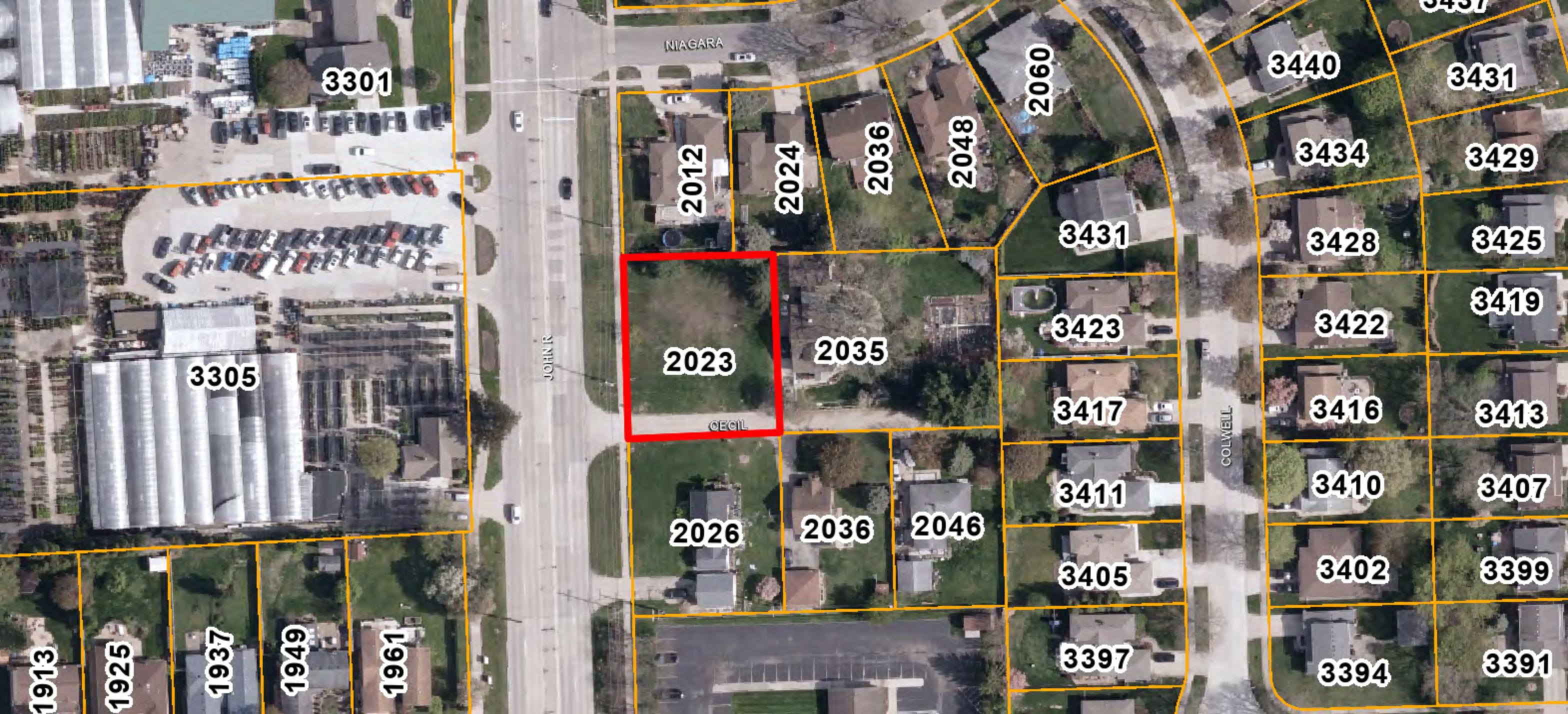
[] TREASURER COPY

[] DEPARTMENT COPY

[] CONTRACTOR COPY

- C. 2023 CECIL DRIVE, MOHAMED SULTAN- A variance request to allow a proposed new home be set back 18.5 feet from the rear (east) property line where the Zoning Ordinance requires new home to be set back 40 feet from the rear property line.

ZONING ORDINANCE SECTION: 4.06 C (R-1D Zoning)



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1949

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JOHN R.

CECIL

3431

3423

3417

3411

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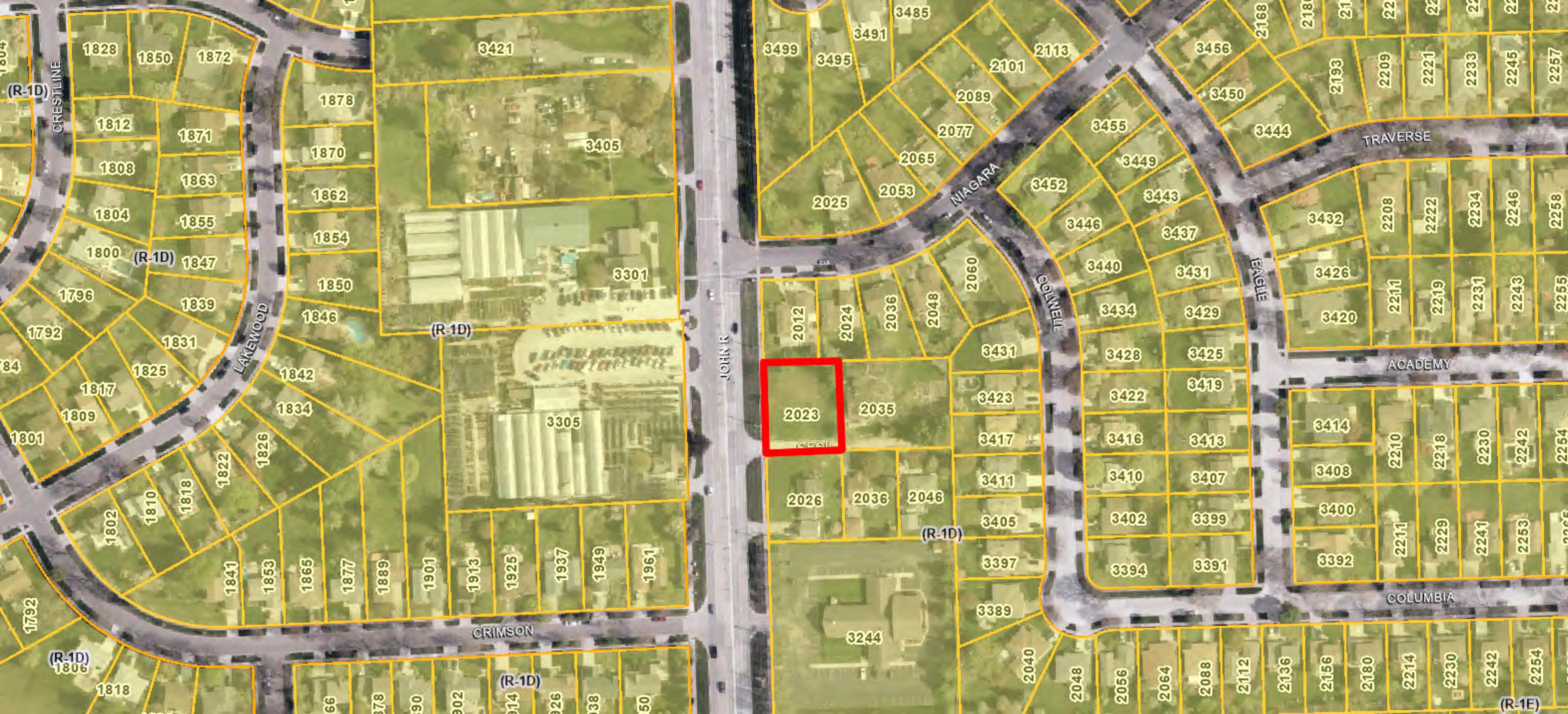
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COLWELL



2023

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2255

2254

(R-1E)





Zoning Board of Appeals Application

planning@troymi.gov | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 2023 Cecil Dr
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-24-301-001
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: R-1D
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
5. APPLICANT:
 - NAME Mohamed Sultan
 - COMPANY Sultan Homes, Inc
 - ADDRESS 3270 W Big Beaver Rd, Suite# 435
 - CITY Troy STATE MI ZIP 48084
 - PHONE 248-910-1935
 - E-MAIL msultan@sultanhomesinc.com
 - AFFILIATION TO THE PROPERTY OWNER: yes



Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME Mohamed Sultan

COMPANY Sultan Homes, Inc.

ADDRESS 3270 W Big Beaver Rd, Suite# 435

CITY Troy STATE MI ZIP 48084

TELEPHONE 248-910-1935

E-MAIL msultan@sultanhomesinc.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Mohamed Sultan (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE Mohamed Sultan DATE 4/15/24

PRINT NAME: MOHAMED SULTAN

PROPERTY OWNER SIGNATURE Mohamed Sultan DATE 4/15/24

PRINT NAME: MOHAMED SULTAN

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

From: Dana Self <Dana.Self@troymi.gov>
Date: March 21, 2022 at 1:50:39 PM EDT
To: "msultan sultanhomesinc.com" <msultan@sultanhomesinc.com>
Subject: 2023 Cecil

Mohamed, after reviewing the application for this address, it is denied for the following reasons:

1. Per the zoning ordinance Chapter 39 Article 4 Section 4.06 part D Paragraph 1 Whenever a lot or acreage abuts a major arterial, the yard setback abutting said major arterial shall be a least 50' from the existing right-of-way line, whichever is greater. This ordinance does not prohibit expansion behind the 50' setback.
2. Cecil is an easement. This means the north and south lot lines are side lot lines requiring the smallest to be 8' and both sides 20'.
3. The west property line is the front lot line where a 50' setback is required. The east side is the rear requiring 40' setback.
4. You may seek relief from the required setbacks through the Zoning Board of Appeals.

Sincerely,

Dana Self
CBO Troy MI
248-524-3348 office
248-918-1261 cell
Dana.self@troymi.gov
dself@safebuilt.com

SAFEbuilt.
www.safebuilt.com

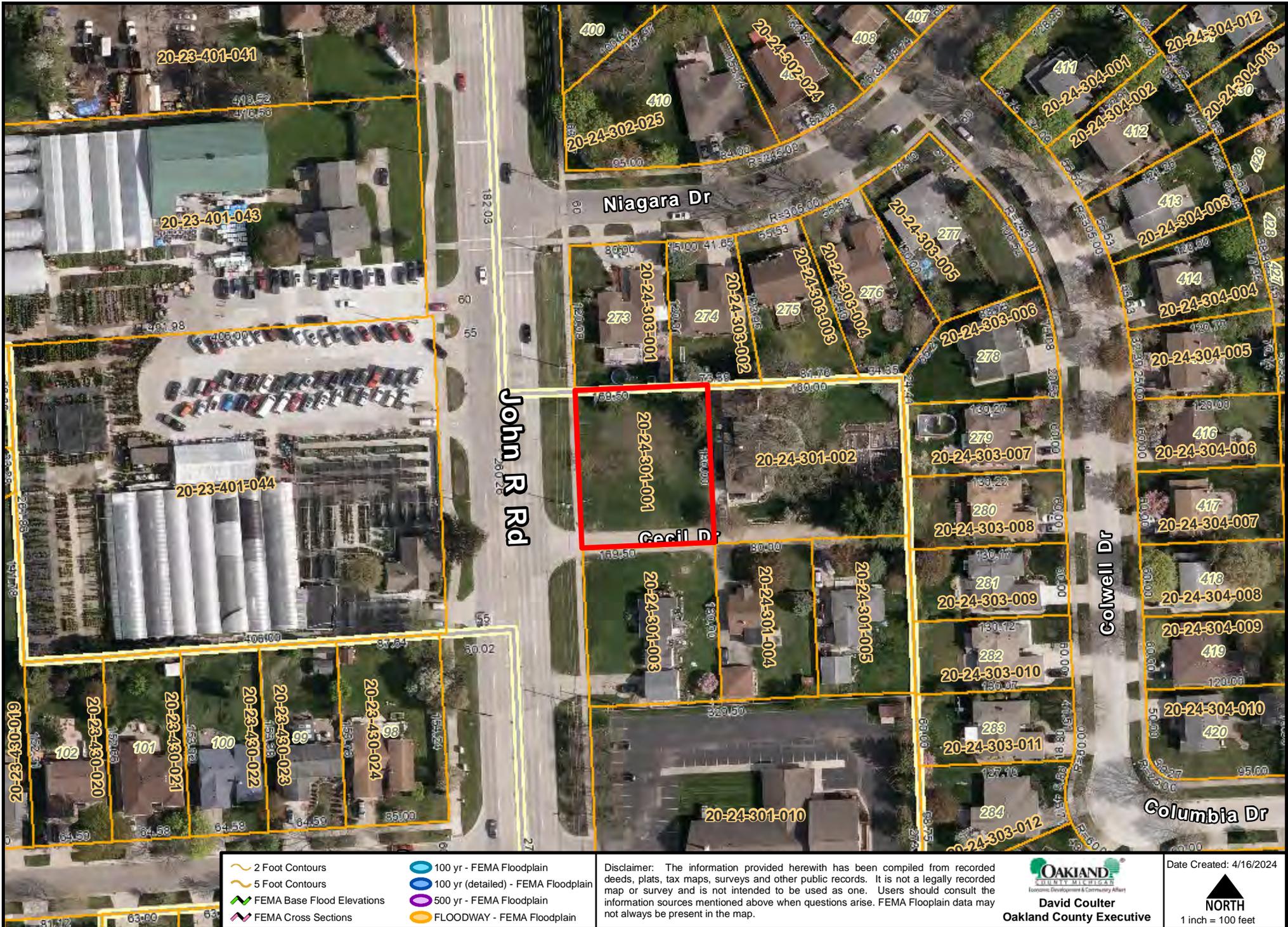
Statement Practical Difficulty

2023 Cecil Dr

- a) The dimensions of the lot limit the feasible placement of the new single-family colonial house structure making it difficult without a variance. As per the lot dimensions and current zoning compliance, the building structure will be narrow, entrance and driveway facing major arterial John R Road. So, this complicates the design of the building structure. Making the variance, to allow the entrance and driveway from Cecil drive, essential for practical use of the property.
- b) The request for a variance is based on a thoughtful consideration of building a nice colonial home related to the lot dimension entrance and driveway facing the Cecil drive which will still follow the setbacks as per the R-1D zone. So, this variance is not sought out of convenience or preference, but from a necessity born out of the land's localized characteristics.
- c) The difficulty we face in complying with the zoning regulations arises from the physical attributes of the land itself, rather than any personal circumstances, preferences or conditions associated with the property owner. The challenges are strictly related to the land's dimensions. We don't want to face the driveway to the north neighbor's backyard. This variance request is based on objective, measurable property features that are verifiable and consistent with the east side of the property.
- d) The compliance challenges are inherent to the property and have not been induced or exacerbated by modification or decisions made by the current or previous owners. The dimensional challenges such as narrowness, frontage facing major arterial John R Road, are the natural features of the property existed since before its current ownership.
- e) The proposed variance is designed to ensure that it will not adversely affect the essential character of the neighborhood, nor will it compromise public safety, health or welfare. In fact, putting the driveway facing John R Road next to the backyard of the north property creates safety issue. So, this variance will avoid that safety issue. The building of a new house enabled by the variance will be consistent with the entrance and driveway of the other three houses in that neighborhood.

The new house will be aesthetically pleasing and functional which is likely to enhance the property value in that area. The proposal adheres to all relevant health and safety codes and will not impair the public health, safety, comfort, moral or welfare of the community.

2023 Cecil Map



- 2 Foot Contours
- 5 Foot Contours
- FEMA Base Flood Elevations
- FEMA Cross Sections
- 100 yr - FEMA Floodplain
- 100 yr (detailed) - FEMA Floodplain
- 500 yr - FEMA Floodplain
- FLOODWAY - FEMA Floodplain

Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present in the map.

OAKLAND
 ECONOMIC DEVELOPMENT & COMMUNITY AFFAIRS
David Coulter
 Oakland County Executive

Date Created: 4/16/2024

 NORTH
 1 inch = 100 feet

PLOT PLAN



0 10 20 40
SCALE: 1" EQ. 20'

LEGEND:

- FOUND IRON
- SET IRON
- RECORD DISTANCE
- MEASURED DISTANCE
- EXISTING BUILDING
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING OVERHEAD WIRES
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING WATER SHUT OFF
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WELL
- EXISTING GAS SHUT OFF
- EXISTING SANITARY STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING UTILITY PEDESTAL
- EXISTING GRADE
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED SILT FENCE
- PROP. DRAINAGE ARROW
- PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS

LOT ZONING:

LOT ZONING: R-1D
SETBACKS:
FRONT: 25 FT.
SIDE: 8 FT/20 FT.
REAR: 40 FT.

S.E.S.C. NOTES AND MAINTENANCE NOTES:

1. INSTALL SOIL EROSION CONTROLS PRIOR TO CONSTRUCTION.
2. COMPLETE ALL EARTH DISRUPTION.
3. RIGHT-OF-WAY, ALL SWALE AREAS, ALL SLOPES GREATER THAN 1 ON 5 AND 10' AROUND ALL STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.
4. AFTER PERMANENT EARTH STABILIZATION IS COMPLETE, REMOVE EROSION CONTROL MEASURES.
5. SOIL EROSION CONTROL WILL BE MAINTAINED WEEKLY AND AFTER ANY MAJOR STORM EVENT BY MOHAMED SULTAN.
6. SUMP LEAD TO BE CONNECTED TO AN APPROVED DRAINAGE SYSTEM.
7. DRIVE APPROACH NOT TO CROSS PROPERTY LINE PROJECTED.

SOIL TYPES: ShbuoB
NAME OF NEAREST WATERCOURSE: SHANAHAN DRAIN
DISTANCE TO NEAREST WATERCOURSE IN FEET: ±785 FT. TO SHANAHAN DRAIN

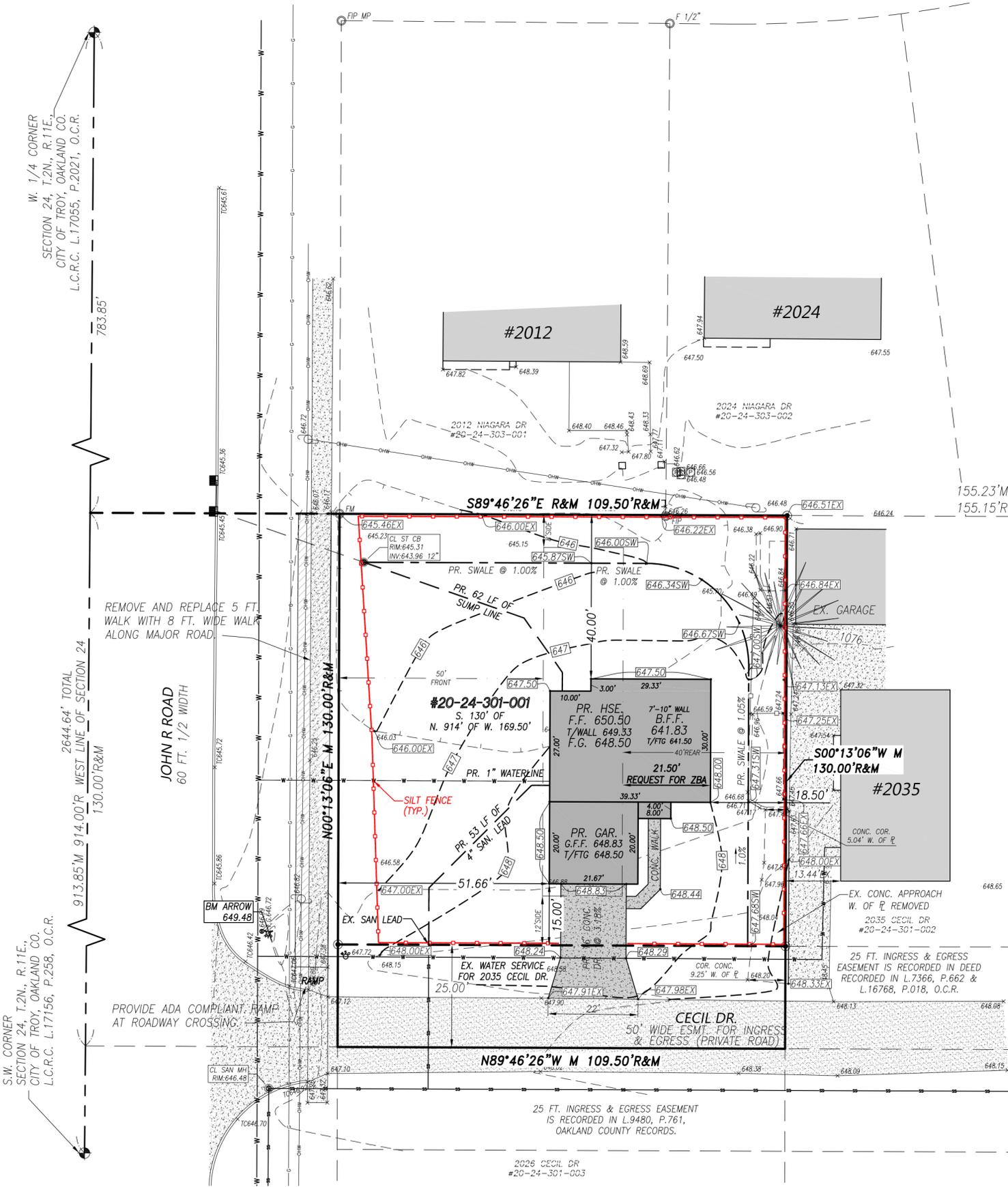
NAME(S) AND PHONE NUMBER(S) FOR THE PERSON(S) RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY SOIL EROSION CONTROL MEASURES: MOHAMED SULTAN OF SULTAN HOMES, INC.; CELL#:248-910-1935

APPROXIMATE START DATE: 4/1/24
APPROXIMATE COMPLETION DATE: 9/30/24
TOTAL ACRES DISTURBED = 0.242 ACRES
I UNDERSTAND MY RESPONSIBILITY OUTLINES UNDER THESE GUIDELINES.

LANDOWNER'S SIGNATURE: _____

DATE: _____

JOB ADDRESS: 2023 CECIL DR., TROY, MI 48083
PARCEL I.D.: 20-24-301-001



W. 1/4 CORNER
SECTION 24, T.2N., R.11E.,
CITY OF TROY, OAKLAND CO.
L.C.R.C. L.17055, P.2021, O.C.R.
783.85'

2644.64' TOTAL
WEST LINE OF SECTION 24
130.00'R&M
913.85M 914.00'R
60 FT. 1/2 WIDTH
JOHN R ROAD

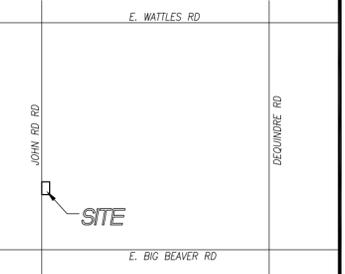
S.W. CORNER
SECTION 24, T.2N., R.11E.,
CITY OF TROY, OAKLAND CO.
L.C.R.C. L.17156, P.258, O.C.R.
REMOVE AND REPLACE 5 FT.
WALK WITH 8 FT. WIDE WALK
ALONG MAJOR ROAD.

TREE TABLE		
#	DESC.	ELEV.
1076	16" PINE	647.09

BENCHMARK:
BM:ARROW ON HYDRANT AT THE
S.W. CORNER OF SITE
ELEVATION:649.48 NAVD88 DATUM

APPROVED
AS NOTED:
CITY OF TROY LAND SURVEYOR
DATE: 02/01/2024

LOCATION MAP:



REICHERT SURVEYING INC.
P 248.651.0592
F 248.656.7099
Mail@ReichertSurveying.com
140 Flumerfelt Lane
Rochester, MI 48306

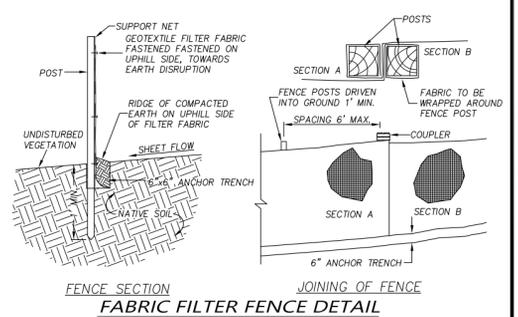
NO.	DATE	DESCRIPTION	BY	SEAL:
1	1/28/22	REV. HOUSE	BGR	
2	2/1/22	REV. PER CLIENT	BGR	
3	2/11/22	REV. BSMT. HEIGHT	GHR	
4	3/21/22	REV. HOUSE PER ZBA	BGR	
5	1/22/24	UPDATE START DATE	GHR	
6	1/31/24	REMOVE & REPLACE WALK	GHR	

SCALE: 1"=20'
DATE: 11/12/21
JOB # 21-098PP

DRAWN: B.G.R.
CHECK: G.H.R.
SHEET: 1 OF 1

PREPARED FOR:
SULTAN HOMES INC.
3210 VILLA NOVA CIR.
ROCHESTER HILLS, MI 48307
(248) 910-1935

LEGAL DESCRIPTION: LAND IN THE CITY OF TROY, OAKLAND CO., MICH., BEING PART OF SEC. 24, T.2N., R.11E., DESCRIBED AS BEING THE S. 130 FT OF THE N. 914 FT OF THE W. 169.50 FT OF N. 1/2 OF S.W. 1/4 EXCEPT W. 60 FT THEREOF TAKEN FOR JOHN R RD. AS RECORDED IN L.11369, P.742 O.C.R.



3 FULL WORKING DAYS BEFORE YOU DIG CALL

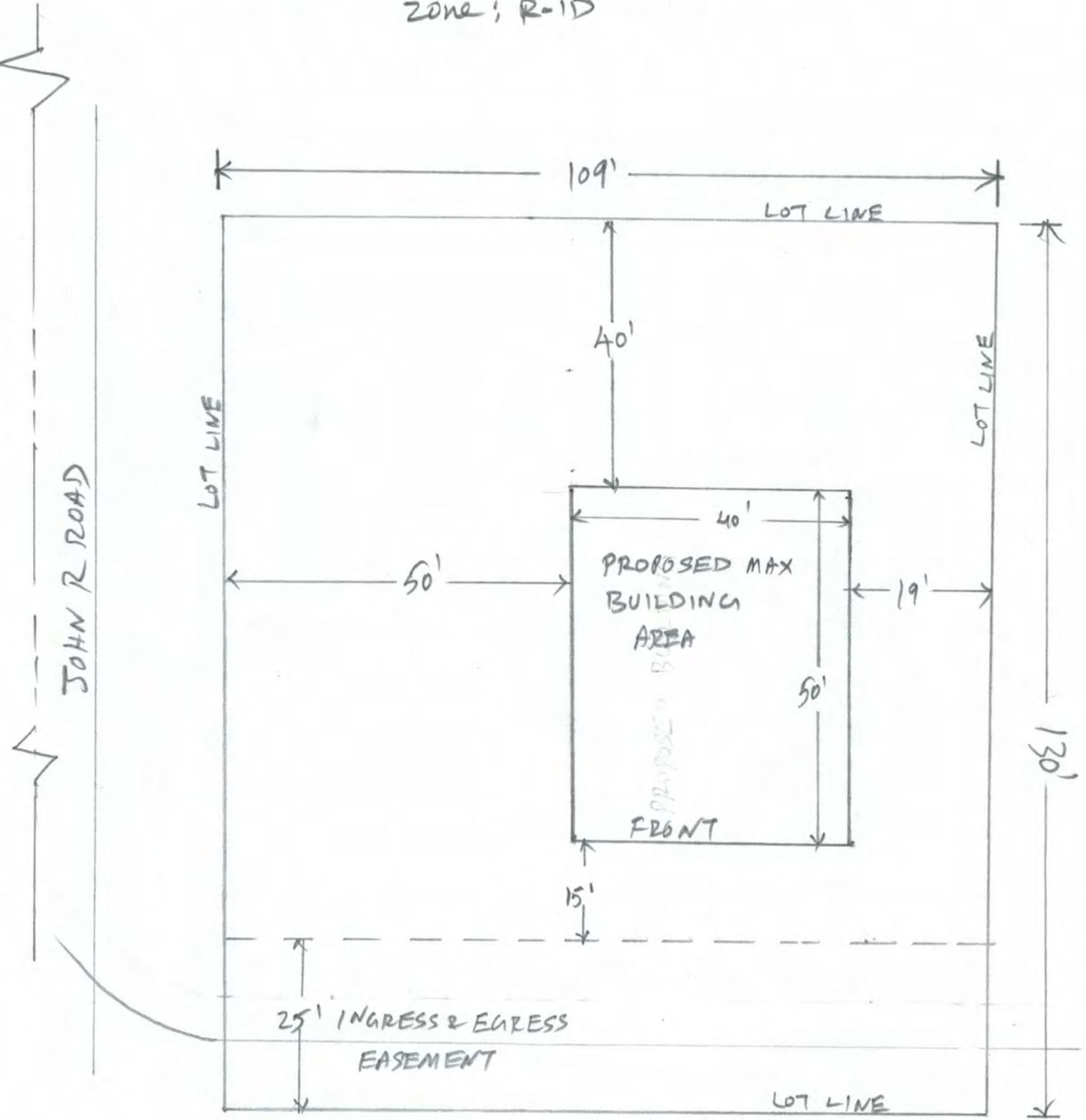
811

Know what's below
Call before you dig

MISS DIG System, Inc.
1-800-482-7171 www.missdig.net
(TOLL FREE)

↑ N

FIG-2: PROPOSED BUILDABLE AREA
ZONE: R-1D

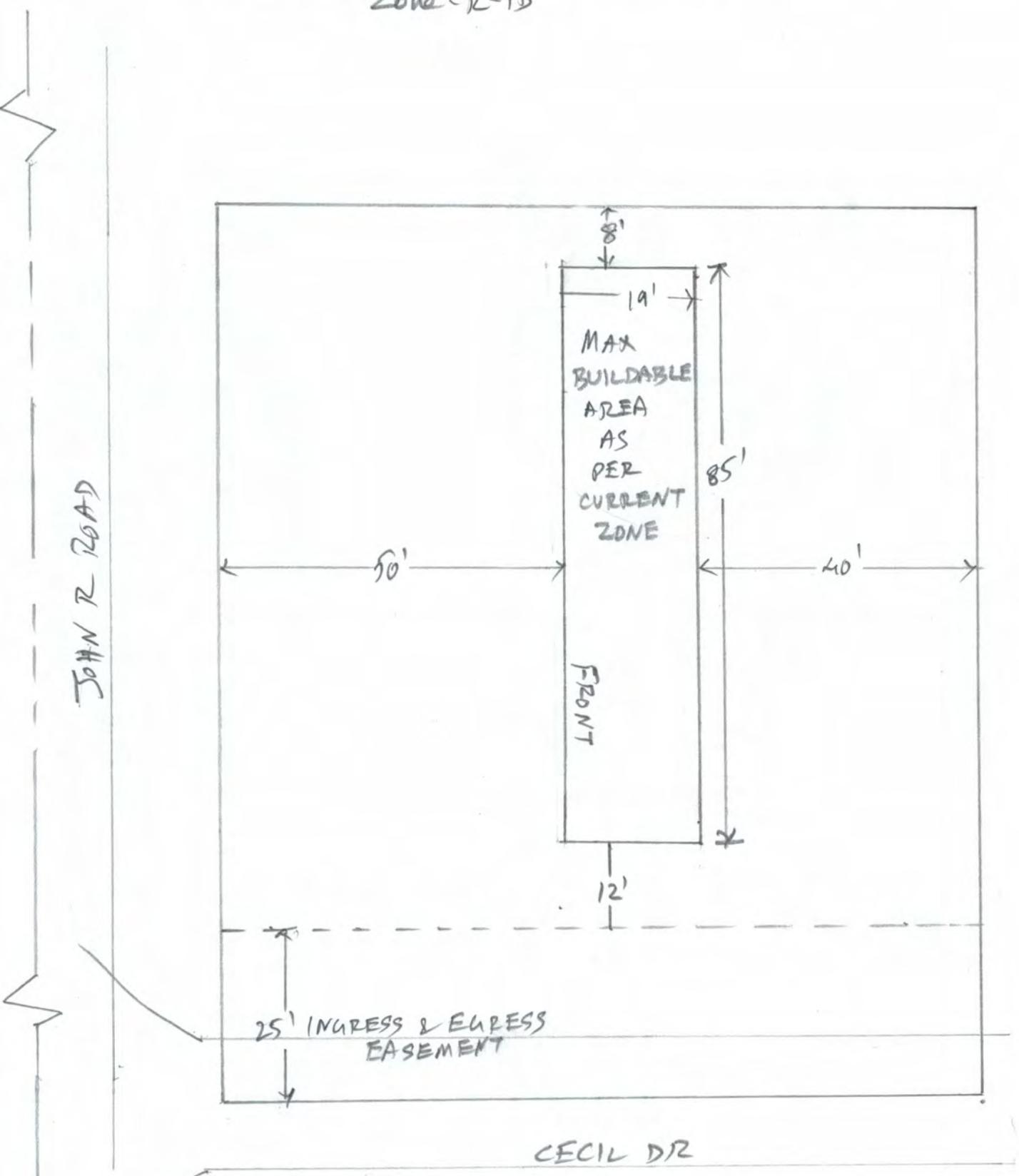


CECIL DR

2023 CECIL DR
#20-24-301-003



FIG-1: CURRENT BUILDABLE AREA
Zone-R-1D



2023 CECIL DR
20-24-301-003



**AMMORI
DESIGN
BUILDERS**

RESIDENTIAL &
COMMERCIAL
ARCHITECTURE
5234 Siloh Ct.
West Bloomfield
Mich. 48324

tel: (248) 821-3496
ammoridesign@yahoo.com

CLIENT / PROJECT NAME:
**SPEC HOUSE
2023 CECIL DRIVE
TROY MI 48063**

DATE & ISSUE:
OCT. 21, 2021
PERMITS

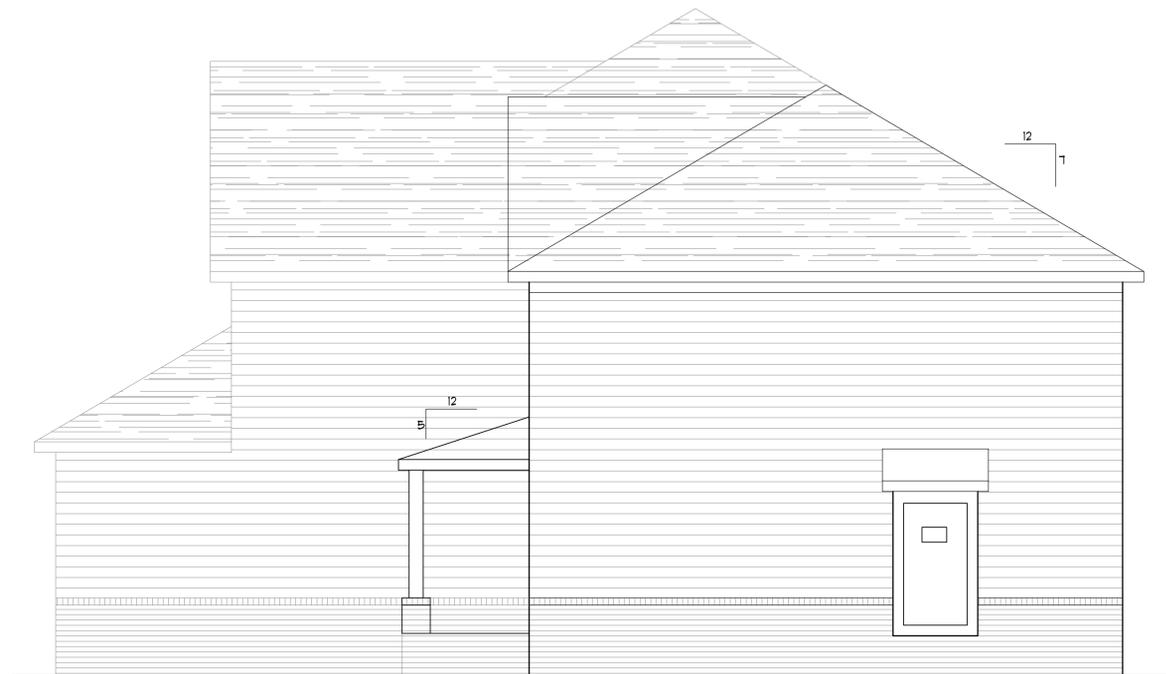
NOTE:
NOTE:
DO NOT SCALE
DRAWING. USE FIGURED
DIMENSIONS ONLY!

DESCRIPTION:
ELEVATIONS & NOTES

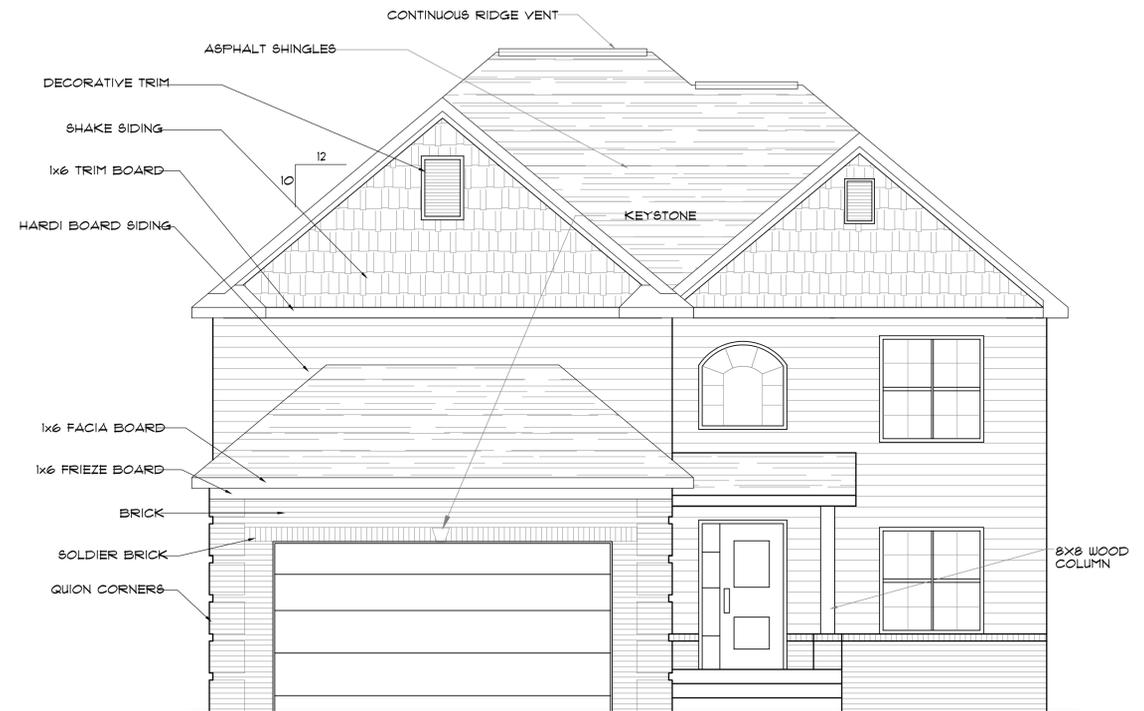
SEAL / STAMP:

PROJECT #: 2187
DRAWN BY: N.Y.A.
CHECK'D BY: N.Y.A.
APP'VD BY: N.Y.A.
DATE: 09.26.21

A-4



SIDE ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

- MASONRY NOTES:**
- MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)," PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, DETROIT, MICHIGAN EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
 - MASONRY SHALL BE TESTED FOR NO EFFLORESCENCE
 - TYPE "S" MORTAR
 - SW BRICK. COLOR SELECTION BY OWNER. BRICK TECHNICAL DATA SHALL BE SUBMITTED TO ARCHITECT FROM SUPPLIER. MORTAR JOINTS SHALL BE CONCAVE.
 - ARCHITECT APPROVAL IS REQUIRED FOR ALL LIMESTONE DETAILS. SHOP DRAWINGS TO BE SUBMITTED BY MANUFACTURER / SUPPLIER PRIOR TO BEGINNING JOB.
 - PROVIDE WEEP HOLES # 3/2" O.C. AND 8" ABOVE GRADE GENERAL CONTRACTOR SHALL VERIFY ALL



SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

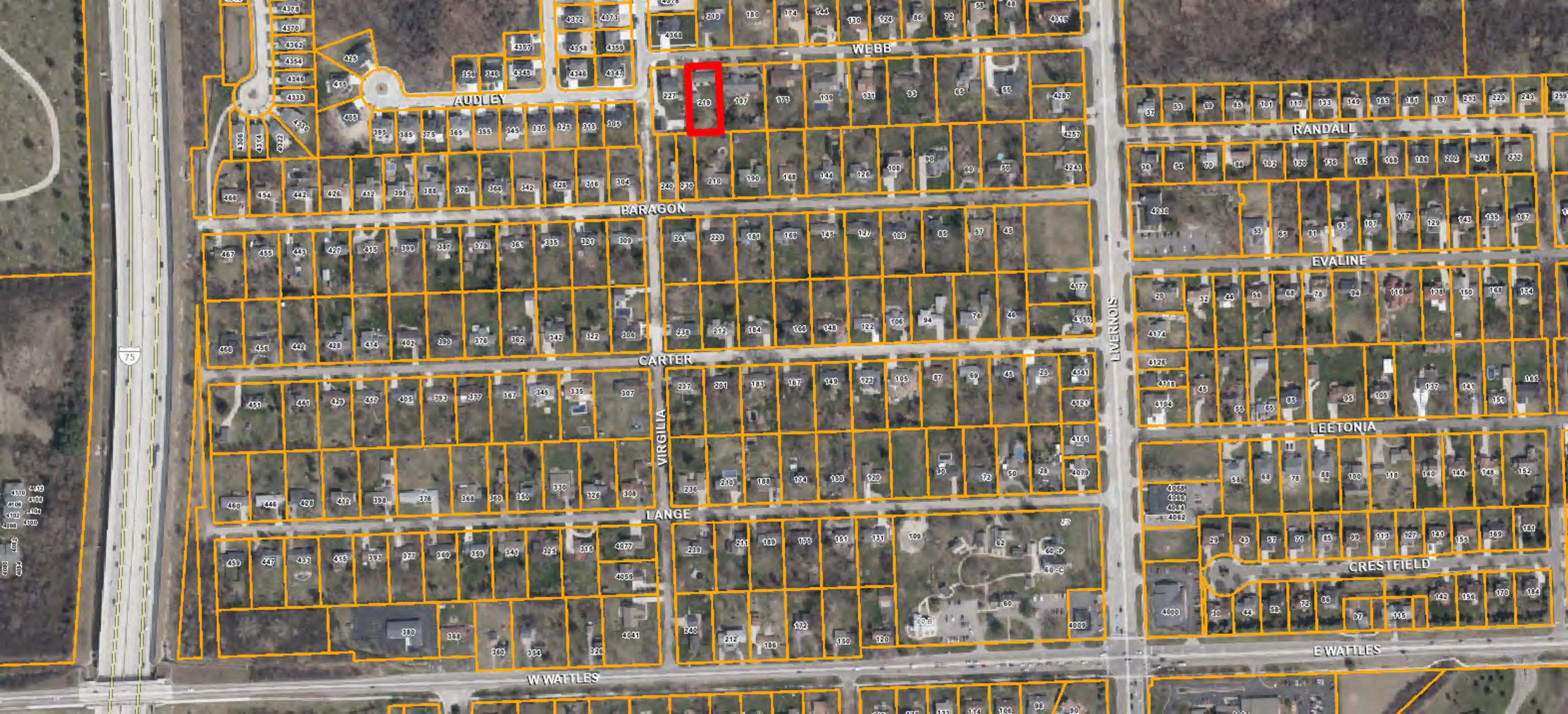


2026



D. 219 WEBB, RYAN and MICHELLE MURPHY - A variance request to allow a proposed home addition be set back 30.26 feet from the front property line, where the Zoning Ordinance requires the proposed home addition be set back 40 feet from the front property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning District



WEBB

AUDLEY

PARAGON

CARTER

LANGE

W WATTLES

RANDALL

EVALINE

LEETONIA

CRESTFIELD

E WATTLES

LIVERNOIS

210

75

0
1000
2000
3000
4000
4000



HART

BLAKELY

HARLOW

VIRGILIA

WEBB

AUDLEY

PARAGON

241

223

181

169

145

127

109

85

57

45

227

219

197

173

139

131

93

65

55

4287

4257

424

4385

4365

4345

4319

231

225

185

169

145

125

111

95

67

4378

210

180

174

144

130

124

86

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316

304

427

415

399

387

379

361

335

321

309

240

230

210

190

168

144

126

108

90

60

50

4257

424

418

357

337

8

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32

54

46

38

330

442

443



219

(R-1B)

HART

BLAKELY

HARLOW

VIRGILIA

(R-1B)

WEBB

(R-1B)

AUDLEY

(R-1C)

(R-1B)

PARAGON

(R-1B)

(R-1B)

347

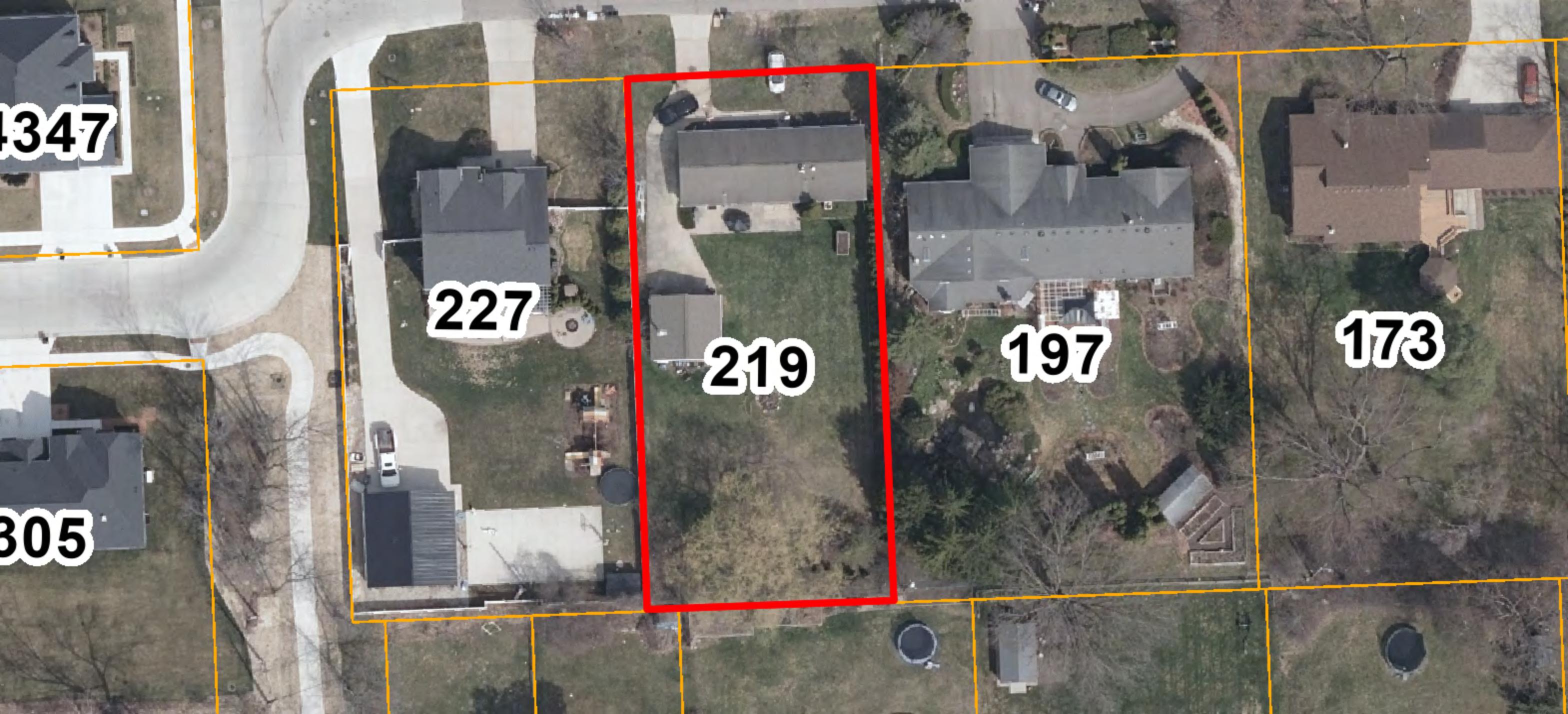
227

219

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173

305





Zoning Board of Appeals Application

planning@troymi.gov | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: _____

2. PROPERTY TAX IDENTIFICATION NUMBER(S): _____

3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: _____

4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: _____

5. APPLICANT:

NAME _____

COMPANY _____

ADDRESS _____

CITY _____ STATE _____ ZIP _____

PHONE _____

E-MAIL _____

AFFILIATION TO THE PROPERTY OWNER: _____



Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME _____

COMPANY _____

ADDRESS _____

CITY _____ STATE _____ ZIP _____

TELEPHONE _____

E-MAIL _____

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, _____ (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE Ryan Murphy _____ DATE _____

PRINT NAME: _____

PROPERTY OWNER SIGNATURE Ryan Murphy _____ DATE _____

PRINT NAME: _____

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



Zoning Board of Appeals Application

PRACTICAL DIFFICULTY

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.



Zoning Board of Appeals Application

ZONING BOARD OF APPEALS APPLICATION CHECKLIST

Please provide the following in digital format. You may e-mail them to planning@troymi.gov or submit them or flash drive.

- ✓ Completed application
- ✓ Statement of practical difficulty see page 3
- ✓ Plot plan or survey showing property lines, existing and proposed buildings, their dimensions and locations (height, length, width, as applicable). SEALED SURVEY required for lot area or dimension requests.
- ✓ Setbacks from property lines
- ✓ Elevation drawings
- ✓ Photos as necessary to accurately describe the request, including existing and proposed property conditions
- ✓ Any other information that explains the request
- ✓ Incomplete applications cannot be accepted

ZONING BOARD OF APPEALS – OPENING STATEMENT

The Zoning Board of Appeals is a group of seven of your neighbors appointed by the Troy City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Applicants must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

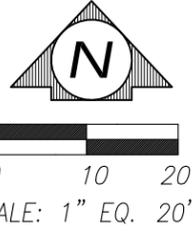
PROCEDURE

The Board will hear the items in the order that they appear on the approved agenda. When an item is called, the Chairperson will verify that the applicant is present. Then the City Administration will summarize the facts of the case. If there is less than a full board (7 members) present at a meeting, an applicant may request a postponement so his or her request can be heard by a full board. If there is no request for a postponement, the applicant will then be given an opportunity to address the Board to explain the justification for the action requested.

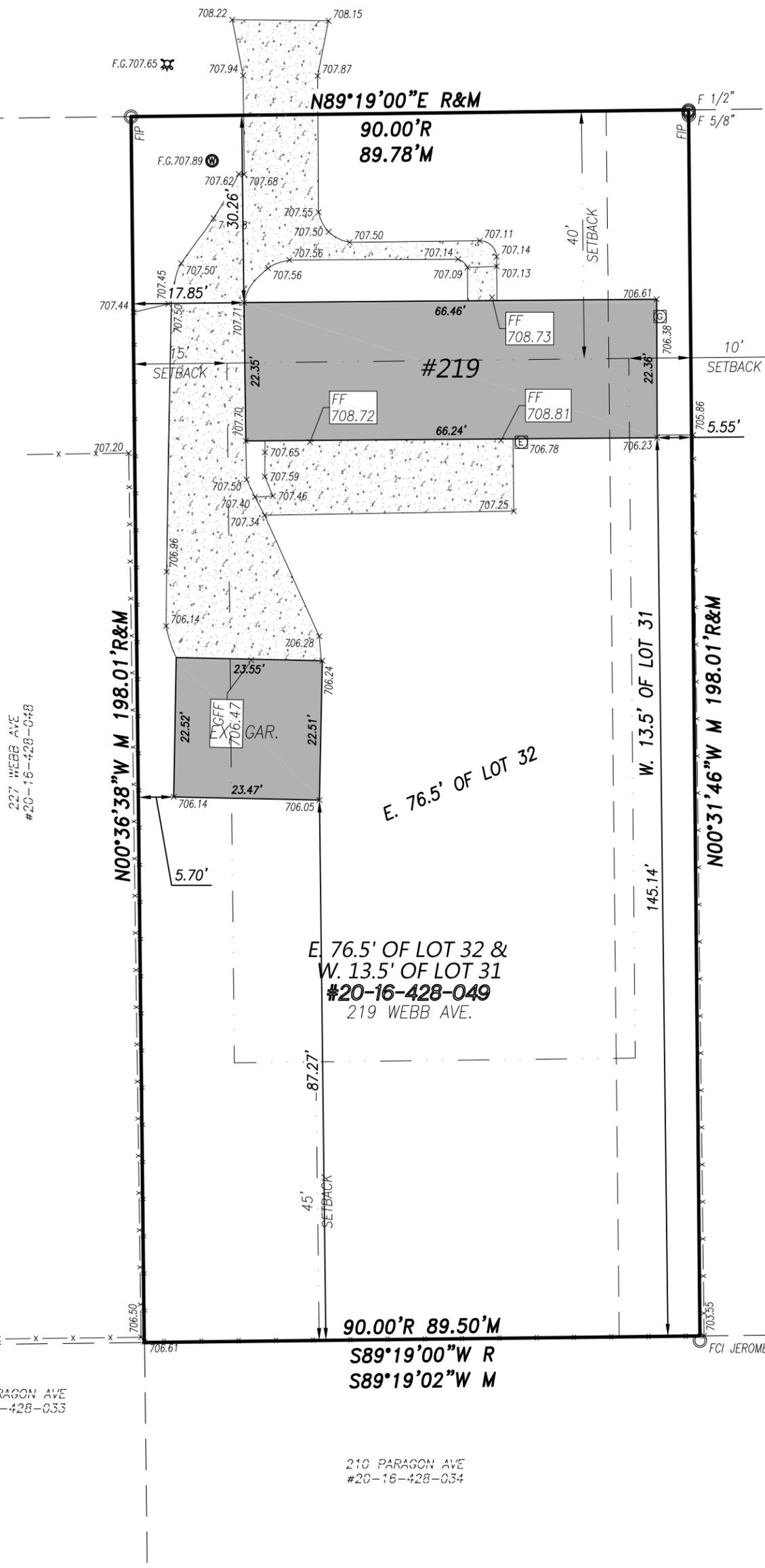
After the applicant makes their presentation, and answers any questions that the Board may have, the Chairperson will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairperson, come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next-door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairperson. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairperson to speak at one time.

At the conclusion of public comments, the Chairperson will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.

SITE SURVEY



WEBB AVE.
50' WIDE R.O.W.



LEGEND:

- FOUND IRON
- SET IRON
- R RECORD DISTANCE
- M MEASURED DISTANCE
- ▒ EXISTING BUILDING
- ▒ EXISTING CONCRETE
- W— EXISTING WATERMAIN
- x—x— EXISTING FENCE
- ⊕ EXISTING UTILITY POLE

ZONING INFO:

ZONING: R-1B
 AREA: 15,000 S.F.
 WIDTH: 100'
 MAX. HEIGHT: 30'

SETBACK:
 FRONT: 40'
 SIDE: 10'/TOTAL 25'
 REAR: 45'

MAX. % OF COVERAGE: 30%

227 WEBB AVE
#20-16-428-048

197 WEBB AVE
#20-16-428-052

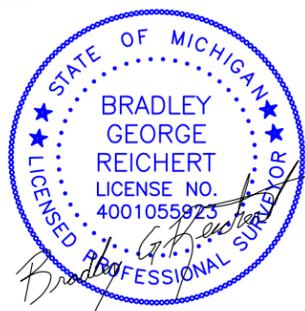
230 PARAGON AVE
#20-16-428-033

210 PARAGON AVE
#20-16-428-034

REICHERT SURVEYING INC.
 P 248.651.0592 F 248.656.7099
 Mail@ReichertSurveying.com
 140 Flumerfelt Lane - Rochester, MI 48306

LEGAL DESCRIPTION: W. 13.50 FT. OF LOT 31, ALSO E. 76.50 FT. OF LOT 32 OF "MCCORMICK & LAWERANCE LITTLE FARMS" A SUBDIVISION OF PART OF THE S'LY PART OF SEC'S. 15 & 16, T.2N. R.11E., CITY OF TROY, OAKLAND CO., MICHIGAN AS RECORDED IN L.20 OF PLATS, PAGE 30, O.C.R.

SEAL:



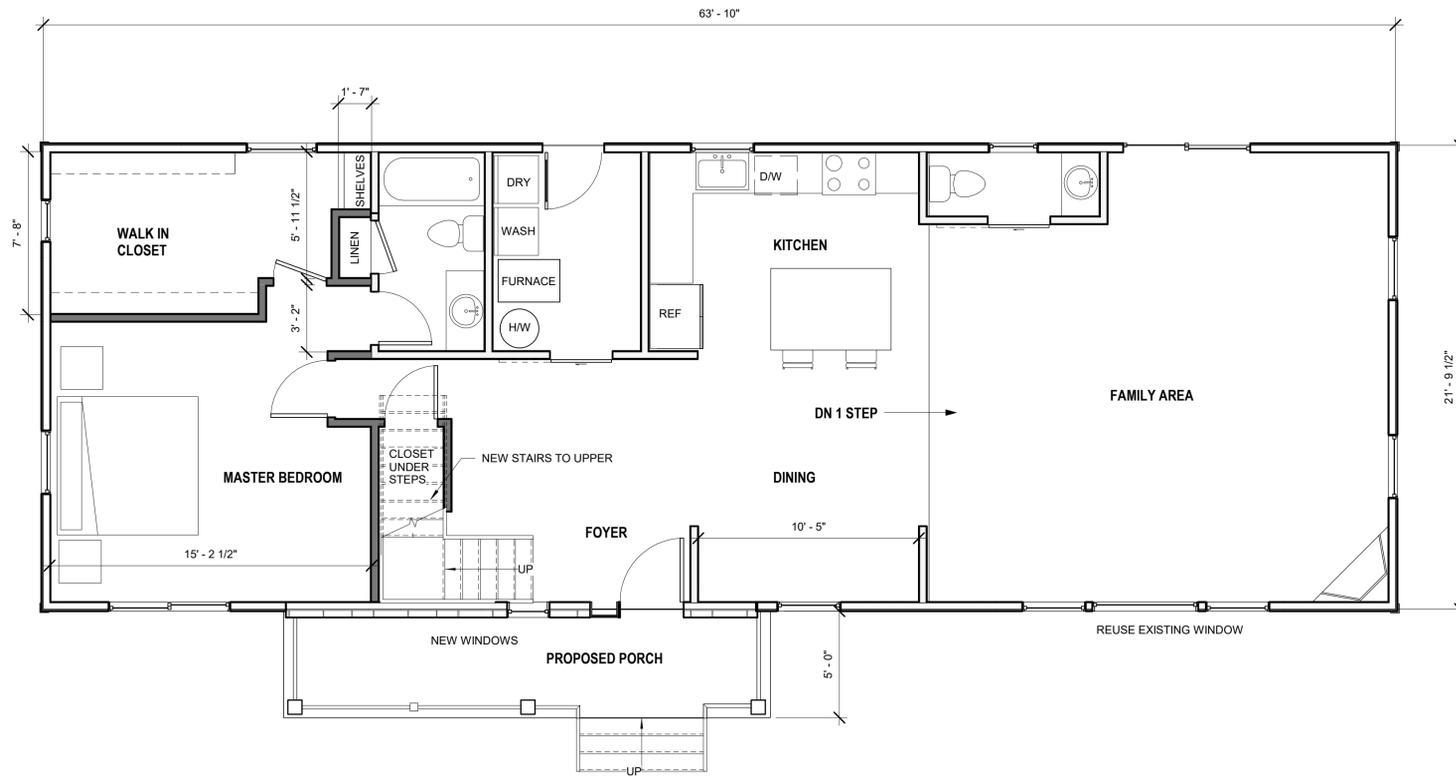
LEGEND:

- FOUND IRON
- SET IRON
- R RECORD DISTANCE
- M MEASURED DISTANCE
- ⊕ EXISTING WELL
- ▒ EXISTING BUILDING
- ▒ EXISTING CONCRETE
- ▒ EXISTING ASPHALT
- x—x— EXISTING FENCE
- — — — — EXISTING O.V.H. WIRE
- x 655.00 EXISTING GRADE

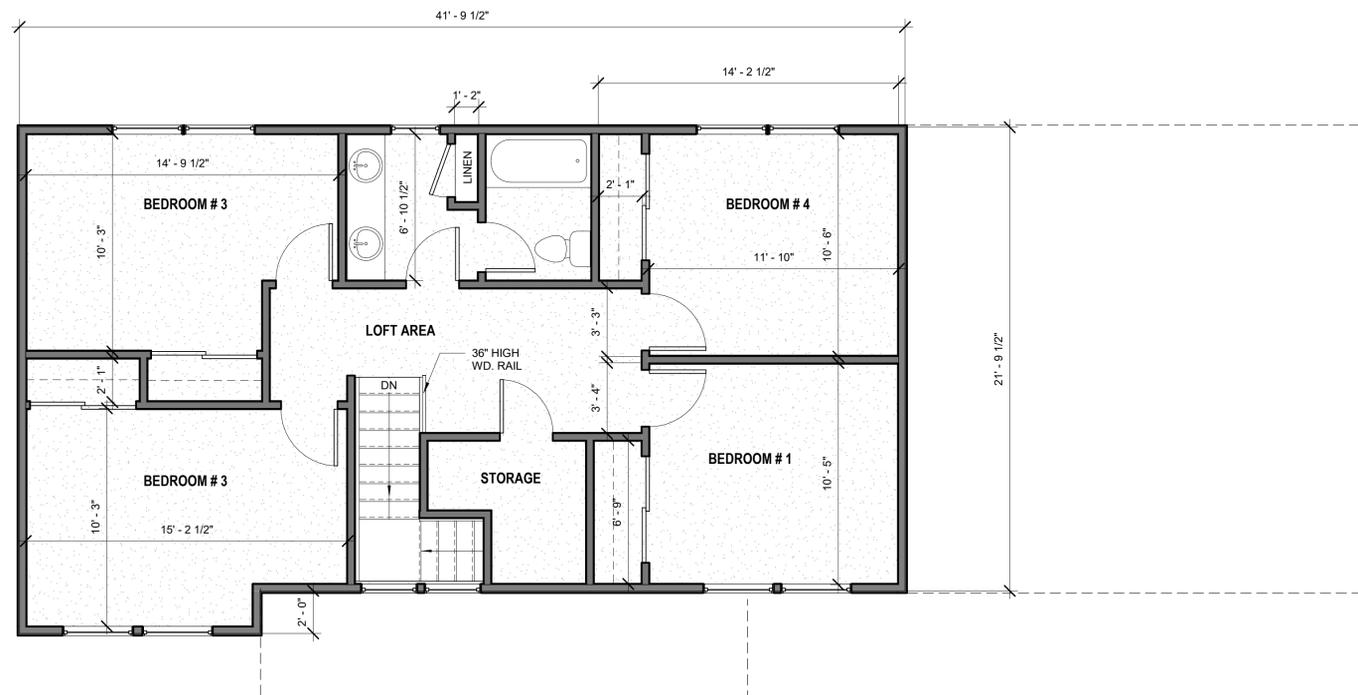
SCALE: 1"=20'	DRAWN: B.G.R.
DATE: 4/26/24	CHECK: G.H.R.
JOB # 24-024	SHEET: 1 OF 1

NO.	DATE	DESCRIPTION	BY

PREPARED FOR:
RYAN MURPHY
 219 WEBB AVE.
 TROY, MI 48098



1 Proposed Floor Plan
1/4" = 1'-0"



2 Proposed Upper Floor Plan
1/4" = 1'-0"

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF THEIR WORK

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED IN ANY OTHER WAY WITHOUT PERMISSION OF THE DESIGNER

CONTRACTOR

PROPOSED ADDITION AND REMODEL FOR
Ryan and Michelle Murphy
219 Webb
Troy, MI.

A I
B D

DENNIS BERRY AND ASSOCIATES

RESIDENTIAL DESIGNING / PLANNING
CERTIFIED BUILDING DESIGNER
MEMBER AMERICAN INSTITUTE
OF BUILDING DESIGNERS

PH. 1-313-407-8027
FAX. 1-720-4756-7644
EMAIL - dberry412@gmail.com
WATERFORD, MI. 48327



Proposed Floor Plan

Date 11-8-2023

Sheet

A1.2

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF THEIR WORK

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED IN ANY OTHER WAY WITHOUT PERMISSION OF THE DESIGNER

CONTRACTOR

PROPOSED ADDITION AND REMODEL FOR
 Ryan and Michelle Murphy
 219 Webb
 Troy, Mi.

A I
B D

DENNIS BERRY AND ASSOCIATES
 RESIDENTIAL DESIGNING / PLANNING
 CERTIFIED BUILDING DESIGNER
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 OF BUILDING DESIGNERS

PH. 1 - 313 - 407 - 8027
 FAX. 1 - 720 - 4756 - 7644
 EMAIL - dberry412@gmail.com
 WATERFORD, MI. 48327



Elevations
Date 11 - 8 - 2023
Sheet
A2.0



4 Left Side Elevation
 1/4" = 1'-0"



1 Front Elevation
 1/4" = 1'-0"



2 Right Elevation
 1/4" = 1'-0"



3 Rear Elevation
 1/4" = 1'-0"

Statement of Practical Difficulty
5/8/2024
219 Webb Dr. Troy, MI 48098

a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.

We are requesting to add a second story addition to our existing home with no change to the setback of the street or either side of the house. Additionally, there will not be a foundation change needed. We purchased our home in 2019 and it was already on the lot.

b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.

The characteristics which make compliance with dimensional requirements difficult are related to the premises for which the variance is sought.

c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.

N/A

d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.

The characteristics which make compliance with dimensional requirements difficult were not created by the current or a previous owner. Our house was built in 1956, which was the same year that Troy became a city. In 1956, the house was built to standard. The standards changed soon after our home was built and the new standards state that lots must be 100 feet wide, and our lot is only 90 feet wide.

e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

We don't foresee that there should be any issues with the adjacent properties, with one house already being a double story home next to us. Our house is north facing with the back side south facing. As such, there would be no sunlight obstruction to either house next to us. The character of the neighborhood would not be altered since most of the existing houses are double story homes. Finally, with this addition, we will bring the house to a more conforming exterior aesthetically.