



500 West Big Beaver  
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planning@troymi.gov

## **PLANNING COMMISSION MEETING AGENDA REGULAR MEETING**

Marianna Perakis, Chair, Lakshmi Malalahalli, Vice Chair  
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,  
Dave Lambert and John J. Tagle

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**July 23, 2024**

**7:00 P.M.**

**Council Chambers**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – July 9, 2024
4. PUBLIC COMMENT – For Items Not on the Agenda

### **SPECIAL USE REQUEST**

5. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-003) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

### **PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District
7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

### **OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda
9. PLANNING COMMISSION COMMENT
10. ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on July 9, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis

Absent:

- John J. Tagle

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- R. Brent Savidant, Community Development Director
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-07-039**

Moved by: Faison

Support by: Fox

**RESOLVED**, To approve the agenda as prepared.

Yes: All present (8)

Absent: Tagle

**MOTION CARRIED**

3. APPROVAL OF MINUTES – June 25, 2024

**Resolution # PC-2024-07-040**

Moved by: Malalahalli

Support by: Lambert

**RESOLVED**, To approve the minutes of June 25, 2024 Regular meeting as submitted.

Yes: Buechner, Faison, Hutson, Krent, Lambert, Malalahalli, Perakis  
 Abstain: Fox  
 Absent: Tagle

**MOTION CARRIED**

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

**STREET VACATION REQUEST**

5. PUBLIC HEARING - STREET VACATION REQUEST (SV JPLN2024-0002) – Request to vacate a portion of a right of way, approximately 30-feet wide by 263.2-feet long, West of Rochester, between Lovell and Hannah, Abutting 801 Hannah (PIN 88-20-03-276-001), Platted as part of Clark Estates Subdivision, in Section 3

Mr. Savidant presented a brief slide presentation on what is a Street Vacation application and its approval process.

Mr. Savidant gave a brief background of the vacation request for consideration this evening. He referenced thirteen reasons listed by the applicant to vacate the street. Mr. Savidant stated public comment received shared concern the applicant might split the property to build a home. Mr. Savidant said the Engineering Department and Department of Public Works do not support the request. He said the departmental review comments state City utilities should remain in the rights of way whenever possible and that there appears to be no apparent benefit to the City.

Present were attorney Darius Dynkowski of Butzel Long law firm and applicant Olimpiu (Ollie) Apahidean.

Mr. Apahidean said his extensive research of public records on street and alley vacation requests previously considered by the Planning Commission and the City Council indicate the majority of the requests were granted and very few were denied. He detailed the unique situation of the non-conforming lot which is the only non-conforming lot in the subdivision. Mr. Apahidean said a variance from the Zoning Board of Appeals would be required to obtain a building permit for any future improvements to the property.

Mr. Apahidean said he wants to restore the City right of way back to an easement as the property was originally platted. Mr. Apahidean said he does not intend to split the parcel to build another home or to build an addition to the existing home. He said the property would remain unobstructed, there would be access for emergency service vehicles, pedestrians and school children could continue to traverse the property and wildlife would not be inhibited.

Some comments during discussion related to the following:

- Uniqueness of property as situated in subdivision.
- Driveway of existing home situated in the right of way; potential liability concerns.
- Intent of property owner if street vacation is granted.
- Disclosure of encumbrances of property at time of purchase in January 2024.
- Existing City watermain in right of way.
- Public trail system; no current plan for a trail connection to this corridor.
- The City’s best interest is that property remains a right of way.

PUBLIC HEARING OPENED

- Sheila Gull, 6579 Norton; addressed concern property will be split to build a home, change in neighborhood character, home is a rental property.
- John Terenzi, 841 Hannah; addressed concern property will be split to build a home, change integrity of subdivision, loss of pedestrian/recreational access.
- Alyson Sloan, 821 Hannah; addressed concern property will be split to build a home, either by applicant or future property owner.
- Stephen Douglas Wright, 726 E. Lovell; said his parents (owners of 726 E. Lovell) have not had time to consider how application might affect their property.
- Derek Queen, 783 Hannah; addressed loss of pedestrian/recreational access if privately owned.
- Donna Parlo, 783 Hannah; addressed school district boundaries.

PUBLIC HEARING CLOSED

Discussion continued:

- Clarification on property purchase/ownership.
- City notification of the Public Hearing.

Mr. Apahidean addressed what he perceived as speculative and inappropriate public comments as relates to property ownership and his intent to bring the property into conformance.

**Resolution # PC-2024-07-041**

Moved by: Krent  
 Seconded by: Buechner

**RESOLVED**, That the Planning Commission hereby recommends to the City Council that the Street Vacation request, to vacate an unconstructed portion of right of way, approximately 30-feet wide by 263.2-feet long, abutting 801 Hannah, Platted as an Easement as part of Clark Estates Subdivision, in Section 3, be **denied**, for the reason that the City Water and Sewer Department says if possible not to change a right of way into an easement where there are utilities involved, and for specific reasons as follows:

1. Vacating the right of way offers no benefit to the City.
2. Utilities within rights of way are preferred over easements.
3. Right of way was acquired specifically for construction of a watermain.
4. Utilities should remain within rights of way when possible.
5. It is in the City’s best interest to retain intact the right of way between Lovell and Quill Creek.

Discussion on the motion on the floor.

Mr. Lambert said he supports the resolution based on the City staff comments and objection to the request. He noted this is the first street vacation request to which the City staff objected since he has served on the Planning Commission.

Mr. Hutson said he supports the resolution because the applicant’s statement that he would never interfere with anyone walking, entering or using the land is not legally enforceable.

Vote on the motion on the floor.

Yes: Buechner, Faison, Hutson, Krent, Lambert, Malalahalli, Perakis  
 No: Fox  
 Absent: Tagle

**MOTION CARRIED**

**PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0020) – Proposed The Rookery of Troy Mixed Use Development, West of Dequindre, South of Long Lake (Parcels 88-20-13-228-003 and 88-20-13-228-015), Section 13, Currently Zoned NN (Neighborhood Node “J”) District

Mr. Carlisle reviewed the Preliminary Site Plan application for The Rookery of Troy mixed use development. He addressed individually the general retail and residential components of the development as relates to the number of units, building materials, access and circulation, parking, height of residential homes, five-foot sidewalk along entire complex, buffer to residential, landscaping, location of retail dumpster, lighting and EVA (Emergency Vehicle Access) on site.

Mr. Carlisle noted a parcel shown on the site plan is not part of the application under consideration this evening. The parcel is for a commercial building of which the Planning Commission would consider the application at a future date.

In summary, Mr. Carlisle asked the Planning Commission to consider if the Site Plan Review Design Standards have been met and to discuss with the applicant:

- Site elements that might encourage outdoor recreation.
- Length of driveways.
- Relocation of retail dumpster.

- Reduce light pole heights and move light pole from the southern property line.
- Remove retail EIFS building material; consider alternative building material.
- Provide additional landscaping internally and along property line.

Mr. Carlisle recommended any approval of the application to be subject to providing building height calculations for the residential homes and to provide the wall details to buffer residential.

Present were Project Architect Mark Abanatha, Project Engineer John Thompson of PEA Group and the applicant Joseph Maniaci.

There was discussion on:

- Adding patios to residential units; patio layout.
- Future commercial on site; applicant in negotiations with bank.
- Transition to existing single family; buffer, wall details.
- Outdoor recreational amenities as relates to scale of development.
- Side entry garages.
- Driveway lengths; consideration to expand.
- Location of retail trash receptacle.
- Photometric plan; mitigation of light pollution, applicant agrees to reduce pole heights and move pole on the southern property line.
- Applicant amenable to provide additional landscaping.
- Architectural residential and commercial design features; EIFS building material.
- Connectivity with adjacent residential homes; general comment from HOA to provide EVA.
- Placement of pedestrian crosswalks.

Moved by: Malalahalli

Support by: Buechner

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 and Article 5 of the Zoning Ordinance, as requested for the proposed The Rookery of Troy Mixed Use Development, comprised of 23 residential units and approximately 7,000 square feet of retail, West of Dequindre and South of Long Lake (Parcels 88-20-13-228-003 and 88-20-13-228-015), Section 13, approximately 5.94 acres in size, Currently Zoned NN (Neighborhood Node “J”) District, be postponed, for the following conditions and reasons:

1. Provide building height calculations on property elevations.
2. Provide wall details on the southern end of the property.
3. Landscaping details.
4. Recreational space usage with additional amenities to be provided for residents.
5. Crosswalk markings to be considered and revised if possible.
6. Amended photometric plan.
7. EIFS building material, to consider any other better building quality material.
8. Rendering with patio layout design.

Yes: All present (8)  
Absent: Tagle

**MOTION CARRIED**

**OTHER ITEMS**

7. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments relating to connectivity between developments.

9. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 9:48 p.m.

Respectfully submitted,

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Marianna J. Perakis, Chair

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Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2024/2024 07 09 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2024/2024%2007%2009%20Draft.docx)

5. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-003) -  
Proposed Starbucks with drive through, North side of Big Beaver, West of John R  
(1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business)  
Zoning District



DATE: July 12, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-003) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

The petitioner Jim Butler of PEA Group submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a Starbucks restaurant with drive through within an existing retail building. Restaurant drive throughs are permitted in the CB district, subject to special use approval.

The Planning Commission considered this item on May 14, 2024 and postponed the item for the following reasons:

Applicant to provide:

- a photometric plan
- larger context circulation plan
- dumpster plans
- pedestrian safety improvements
- tree ordinance compliance plan

A Circulation Plan for the property north of this proposed site was discussed at the June 25, 2024 Planning Commission Regular meeting.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Minutes from May 14, 2024 Planning Commission Regular meeting.
3. Minutes from the June 25, 2024 Planning Commission Regular meeting.
4. Report prepared by Carlisle/Wortman Associates, Inc.

**PROPOSED RESOLUTION**

SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-003) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

**Resolution # PC-2024-07-**

Moved by:

Seconded by:

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) District, be (granted, subject to the following conditions):

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

Yes:

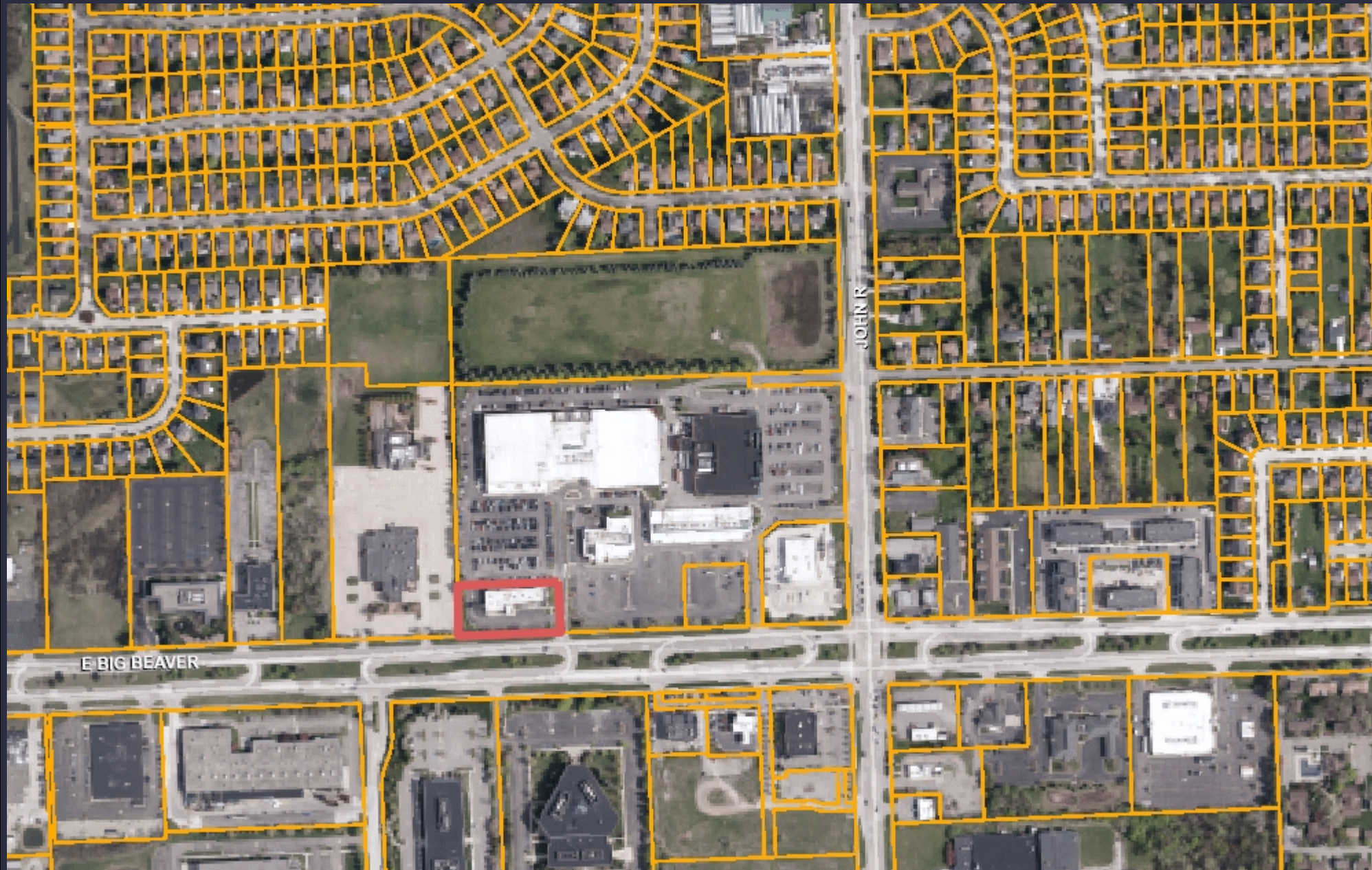
No:

Absent:

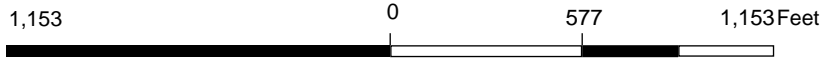
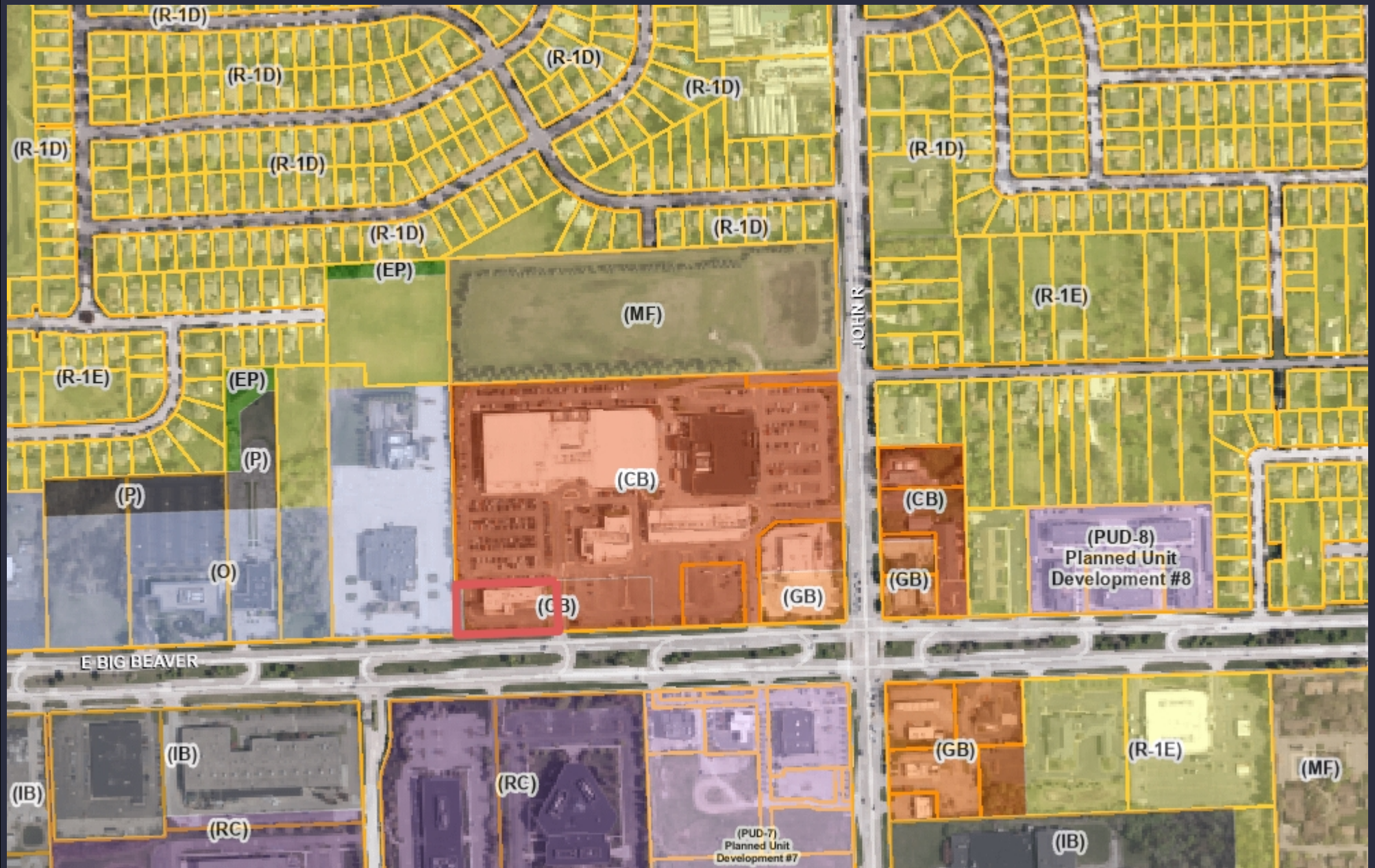
**MOTION CARRIED / FAILED**



# GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:02pm on May 14, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Marianna Perakis
- John J. Tagle

Absent:

- Lakshmi Malalahalli

Also Present:

- R. Brent Savidant, Community Development Director
- Ben Carlisle, Carlisle Wortman Associates
- Allan Motzny, Assistant City Attorney
- Jackie Ferencz, Planning Department staff

2. APPROVAL OF AGENDA

**Resolution # PC-2024-05-22**

- Moved by: Fox
- Support by: Tagle

**RESOLVED**, To approve agenda as prepared.

- Yes: All present (8)
- Absent: Lakshmi Malalahalli

**MOTION CARRIED**

3. APPROVAL OF MINUTES – April 23, 2024

**Resolution # PC-2024-05-23**

- Moved by: Lambert
- Support by: Buechner

**RESOLVED**, To approve the minutes of April 23, 2024 Regular meeting as submitted.

- Yes: All present (8)
- Absent: Lakshmi Malalahalli

**MOTION CARRIED**

6. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2021-024) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District.

Mr. Carlisle presented proposed Starbuck with drive through project.

There was discussion by Board members related to:

- Crosswalks
- Tree placement
- Speed tables
- Traffic Circulation

Applicants Jim Butler, PEA Group; Dennis Bostick, Troy Sports Center LLC; Brian Neeper, Brian Neeper Architecture presented their application.

Chair Perakis opened public comment

Chair Perakis closed public comment

Planning Commission Discussion

**Resolution # PC-2024-05-25**

Moved by: Fox

Seconded by: Buechner

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) District, be **postponed** for the following reasons:

Applicant to provide:

- a photometric plan
- larger context circulation plan
- dumpster plans
- pedestrian safety improvements
- tree ordinance compliance plan

Yes: All (8)

Absent: Lakshmi Malalahalli

MOTION CARRIED

The Regular meeting of the Planning Commission adjourned at 9:22 p.m.

Respectfully submitted,



\_\_\_\_\_  
Marianna J. Perakis, Chair



\_\_\_\_\_  
Jackie Ferencz, Planning Department Staff

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Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on June 25, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

Toby Buechner  
Carlton M. Faison  
Michael W. Hutson  
Tom Krent  
David Lambert  
Lakshmi Malalahalli  
Marianna Perakis  
John J. Tagle

Absent:

Tyler Fox

Also Present:

Ben Carlisle, Carlisle Wortman & Associates  
R. Brent Savidant, Community Development Director  
Salim Huerta Jr., Commercial Project Collaborator  
Julie Quinlan Dufrane, Assistant City Attorney  
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-06-036**

Moved by: Faison  
Support by: Buechner

**RESOLVED**, To approve the agenda as prepared.

Yes: All present (8)  
Absent: Fox

**MOTION CARRIED**

3. APPROVAL OF MINUTES – June 11, 2024

**Resolution # PC-2024-06-037**

Moved by: Buechner  
Support by: Lambert

**RESOLVED**, To approve the minutes of June 11, 2024 Regular meeting as submitted.



Discussion on the motion on the floor.

Mr. Lambert said he is pleased that a cricket field, a much-desired recreational amenity for the City and its nearby communities, is moving forward.

Vote on the motion on the floor.

Yes: All present (8)  
 Absent: Fox

**MOTION CARRIED**

6. CIRCULATION PLAN DISCUSSION – Proposed John R Commons Townhome Development (JPLN2023-0028) and Starbucks with Drive-through (JPLN2021-024), West of John R, North of Big Beaver, Section 23

Mr. Savidant briefly introduced the proposed townhome development and Starbucks application that the Planning Commission considered at their May 14, 2024 meeting. He stated the circulation plan is for discussion only and the Planning Commission would take no action this evening.

Present were James Butler of PEA Group and City Traffic Consultant Stephen Dearing of OHM Advisors.

Mr. Butler reviewed the reconfiguration of the traffic circulation plan to maneuver traffic to the southwest corner where the Starbucks drive-through is proposed.

Mr. Dearing said the circulation plan is a significant improvement, one that makes the best of an existing circulation configuration that has evolved over time. He recommended approval of the proposed circulation plan.

There was discussion on:

- Bumped out island; extend one parking space.
- Closing off nearest, southern-most drive aisle (north/south) to drive-through.
- Location of trash dumpster.
- Overall landscaping, center aisles, parking lot trees.
- Provide pedestrian pathway on west side.
- Construction/traffic pattern challenges with existing power line.
- Turning curve at beginning of Starbucks drive-through.
- Overall circulation to accommodate existing retail and ice arena.
- Resurfacing existing parking lot to the north.
- Signage to direct traffic to Starbucks drive-through and Big Beaver exit.

*Discussion points for consideration by applicant.*

- Push “bumped out island” further (one parking space).
- Signage to direct traffic to drive-through and Big Beaver exit.
- Delineation (via landscaping) of Starbucks from ice arena/retail area.
- Provide striped pedestrian crossing within drive-through aisle.
- Consideration of closing off nearest, southern-most drive aisle (north/south) to drive-through.
- Consideration to eliminate three-way traffic pattern(s) for public safety.
- Provide pedestrian pathway on west side.

Chair Perakis cited Zoning Ordinance Article 14.01, C.4 and C.5, Non-Conforming Lots, Uses and Structures.

**OTHER ITEMS**

7. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments.

9. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 8:34 p.m.

Respectfully submitted,

\_\_\_\_\_  
Marianna J. Perakis, Chair

\_\_\_\_\_  
Kathy L. Czarnecki, Recording Secretary



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

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**To:** Troy Planning Commission

**From:** Ben Carlisle, AICP

**Date:** July 16, 2024

**RE:** NW Corner of Big Beaver and John R. (Starbucks)

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At the May 14, 2024 meeting, the Planning Commission reviewed a proposed Starbucks and a new multiple family development (John R. Commons). Both developments are under the same ownership and located at the NW corner of Big Beaver and John R.

At the May 14, 2024 meeting, Starbucks was continued for the following reasons:

1. Troy Sports Center Circulation Improvements

At the June 25<sup>th</sup> Planning Commission meeting, the applicant presented a revised circulation improvement plan for the Troy Sports Center parking lot. These improvements include:

- Added a cut-through through the west side of the main drive-aisle of the Troy Sports Center parking lot;
- Added a curb bump-out to direct traffic to the new cut-through; and
- Reconfigured access to the Starbucks drive-through.

A detailed review of the site circulation plan was provided by OHM. There was consensus at the June 25<sup>th</sup> meeting, that this improves overall onsite circulation.

2. Dumpster location. The Planning Commission expressed concerns regarding the proposed dumpster location due to visibility and loss of parking. The applicant has rotated the dumpster 90-degrees to the west, so it is better screened and the opening does not face the drive-aisle and parking lot.
3. Landscaping. The applicant has added the required parking lot trees. We note that due to limited site area and the existing pavement, the applicant has added these trees to the perimeter of the site.

NW Corner of Big Beaver and John R. (Starbucks)  
July 16, 2024

4. Photometrics. The applicant will provide a photometric plan at the meeting. If the application is unable, the Planning Commission can make this a condition of approval.
5. Pedestrian Improvements. Based on direction from the Planning Commission, the applicant has extended crosswalks to provide better site circulation.

I look forward to meeting with you all at your July 23, 2024 meeting.

Sincerely,

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
Benjamin R. Carlisle, AICP, LEED AP  
President

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
Shana Kot  
Community Planner

# CITY OF TROY SPECIAL USE REQUEST APPLICATION

**CITY OF TROY PLANNING DEPARTMENT**  
500 W. BIG BEAVER  
TROY, MICHIGAN 48084  
PHONE: 248-524-3364  
FAX: 248-524-3382  
E-MAIL: [planning@troymi.gov](mailto:planning@troymi.gov)



SPECIAL USE APPROVAL FEE  
**\$1,800.00**  
ESCROW FEE  
**\$1,500.00**

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

APPLICATIONS FOR SPECIAL USE APPROVALS REQUIRING THE SUBMITTAL OF A SITE PLAN SHALL CONFORM TO THE REQUIREMENTS OF THE TROY ZONING ORDINANCE.

A PLANNING COMMISSION PUBLIC HEARING SHALL BE SCHEDULED FOLLOWING A DETERMINATION BY THE PLANNING DEPARTMENT THAT THE SPECIAL USE REQUEST APPLICATION IS COMPLETE AND MEETS THE REQUIREMENTS OF THE TROY ZONING ORDINANCE.

- 1. NAME OF THE PROPOSED DEVELOPMENT: Starbucks
- 2. ADDRESS OF THE SUBJECT PROPERTY: 1735 East Big Beaver - Suite A
- 3. ZONING CLASSIFICATION OF SUBJECT PROPERTY: CB
- 4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 20-23-476-011
- 5. DESCRIPTION OF PROPOSED USE: New Tenant Insert with Drive Thru

6. SECTION OF THE ZONING ORDINANCE UNDER WHICH SPECIAL USE APPROVAL IS SOUGHT: 4.21B

7. APPLICANT:	PROPERTY OWNER:
NAME <u>James P. Butler, PE</u>	NAME <u>Dennis Bostick</u>
COMPANY <u>PEA Group</u>	COMPANY <u>Troy Sports Center, LLC</u>
ADDRESS <u>1849 Pond Run</u>	ADDRESS <u>803 West Big Beaver, S-100</u>
CITY <u>Auburn Hills</u> STATE <u>MI</u> ZIP <u>48326</u>	CITY <u>Troy</u> STATE <u>MI</u> ZIP <u>48084</u>
TELEPHONE <u>248-689-9090 x 1133</u>	TELEPHONE <u>248-506-1287</u>
E-MAIL <u>jbutler@peagroup.com</u>	E-MAIL <u>dennisbostick@att.net</u>

8. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:

9. SIGNATURE OF APPLICANT [Signature] DATE 2/27/24

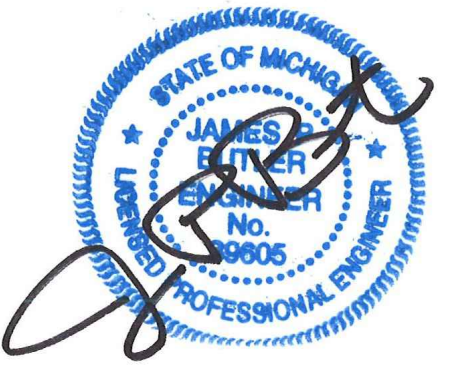
10. SIGNATURE OF PROPERTY OWNER Dennis Bostick DATE 2/27/2024 | 5:36 AM P

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES THE PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC OF THE REQUEST FOR SPECIAL USE APPROVAL.

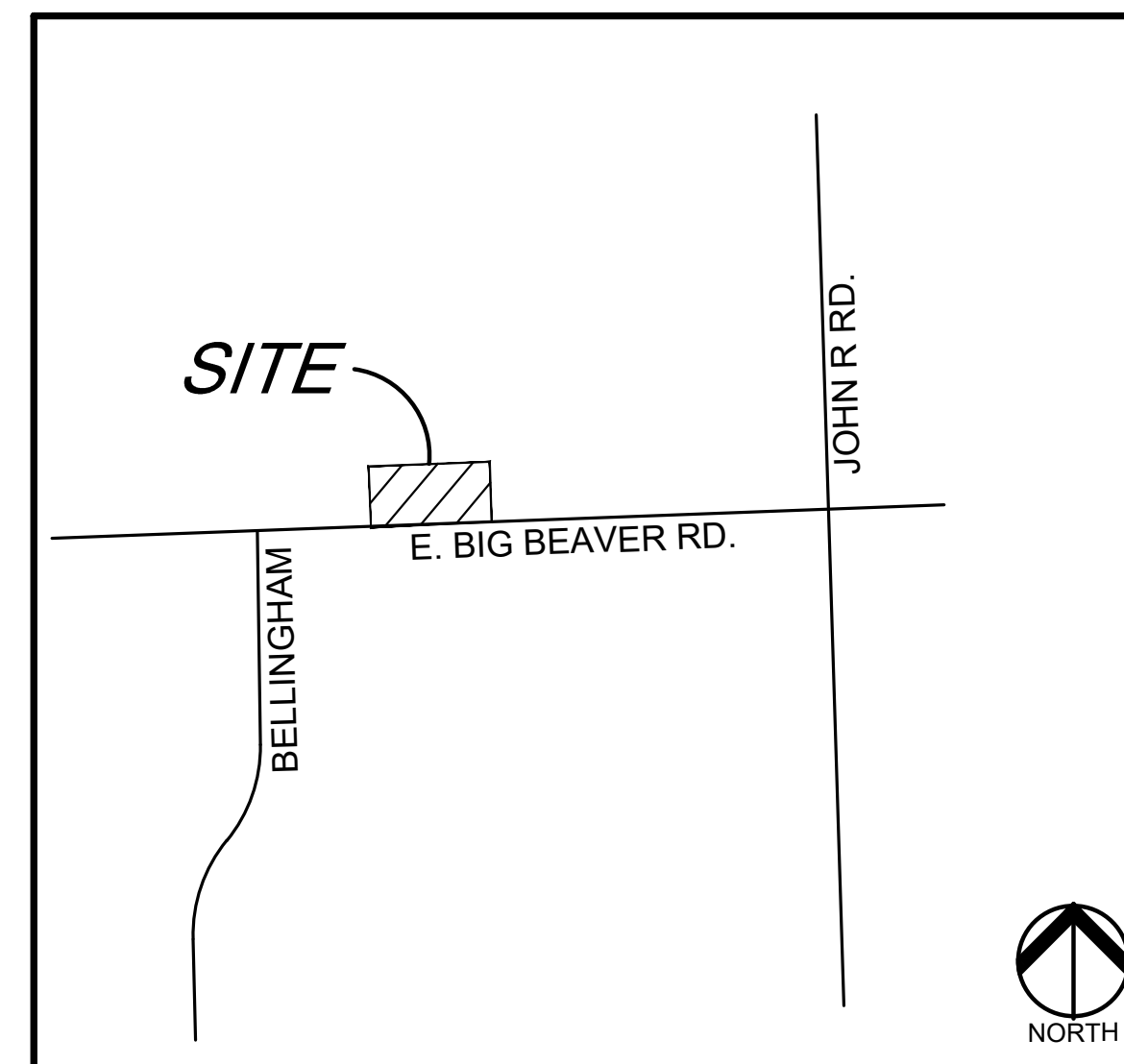
PRELIMINARY SITE PLANS

# STARBUCKS

1735 EAST BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP  
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-3.0	PRELIMINARY SITE PLAN
C-3.1	CIRCULATION PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-9.0	NOTES AND DETAILS
C-9.1	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
	ARCHITECTURAL
A-2	PROPOSED FIRST FLOOR PLAN
A-3	PROPOSED ELEVATIONS
A-4	RENDERED ELEVATIONS
	PHOTOMETRIC PLAN

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
TROY SPORT CENTER, LLC 803 W BIG BEAVER ROAD, SUITE 100 TROY, MICHIGAN 48064 CONTACT: DENNIS BOSTICK PHONE: 248.506.1287 EMAIL: DENNISBOSTICK@ATT.NET	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM

ARCHITECT

BRIAN NEEPER ARCHITECTURE  
630 NORTH OLD WOODWARD, SUITE 203  
BIRMINGHAM, MICHIGAN 48009  
CONTACT: BRIAN NEEPER  
PHONE: 248.259.1784  
EMAIL: BRIAN@BRIANNEEPER.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	12/12/2023
CITY REVISIONS	5/31/2024
CITY REVISIONS	7/17/2024

NOT FOR CONSTRUCTION

**REFERENCE DRAWINGS:**  
PEA JOB NO. 2018-034

MORTGAGE SURVEY, NOWAK & FRAUS JOB NO. 8801-05, SHEET 1, DATED 08/15/2017

CITY OF TROY UTILITY MAP (FROM PEA JOB NO. 2018-034)

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0553, DATED 01/16/2009.

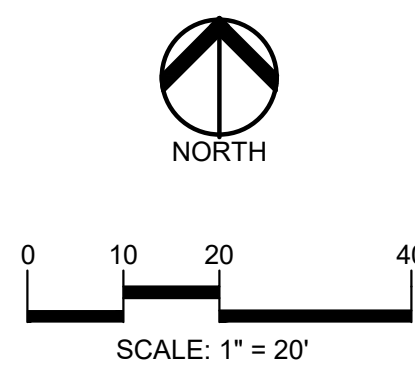
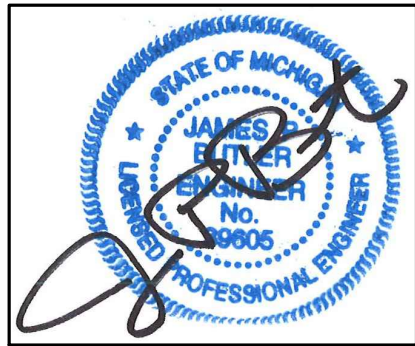
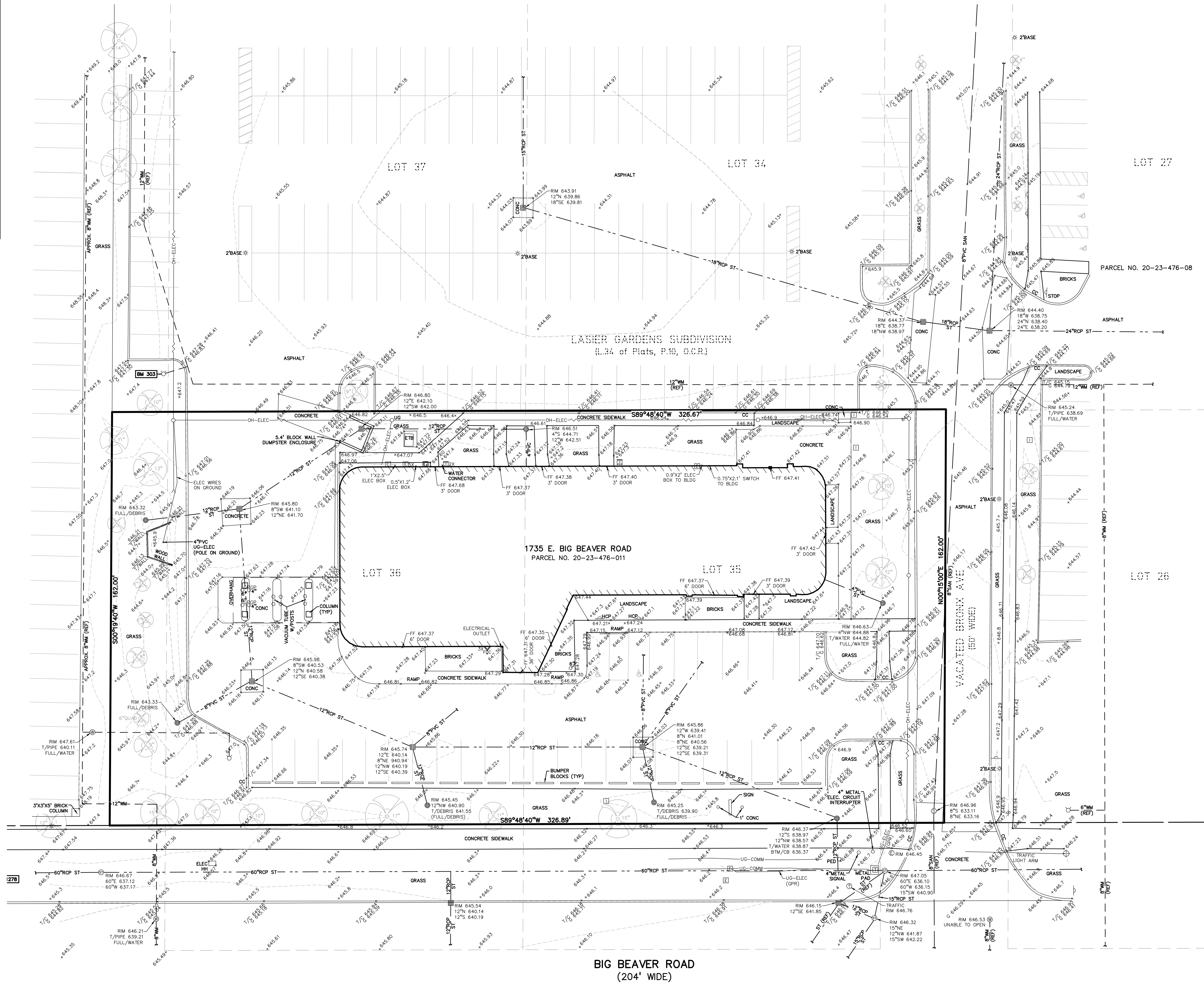
**BENCHMARKS:**  
(PER CITY OF TROY DATUM)

BM #303  
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF THE PARKING LOT ACROSS FROM THE DUMPSTER BEHIND 1735 E. BIG BEAVER ROAD, NEAR THE CHASE BANK DRIVE-THRU.  
ELEV. - 649.41

TROY BM #1277  
ARROW ON TYPHYDRANT (#23-122) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE WEST ENTRANCE TO TROY SPORTS CENTER  
ELEV. 648.728

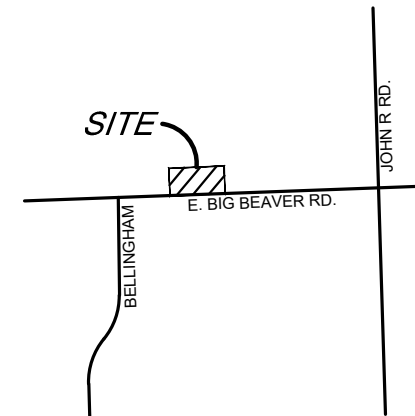
TROY BM #1278  
ARROW ON TYPHYDRANT (#23-123) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE ENTRANCE OF BUILDING 1685  
ELEV. 648.184

**LEGAL DESCRIPTION:**  
PARCEL ID 02-23-476-011  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 35 & 36 EXC S 49 FT TAKEN FOR BIG BEAVER RD, ALSO VAC BELLINGHAM ST ADJ TO SAME, ALSO W 1/2 OF VAC BRONX AVE ADJ TO SAME



**CAUTION!!**  
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LOCATION MAP



CLIENT  
**TROY SPORTS CENTER, LLC**  
803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISIONS	
CITY REVISIONS	5/31/2024
CITY REVISIONS	7/17/2024

ORIGINAL ISSUE DATE:  
FEBRUARY 05, 2024

DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	23-0922
P.M.	JPB
DN	KS
DES.	JPB

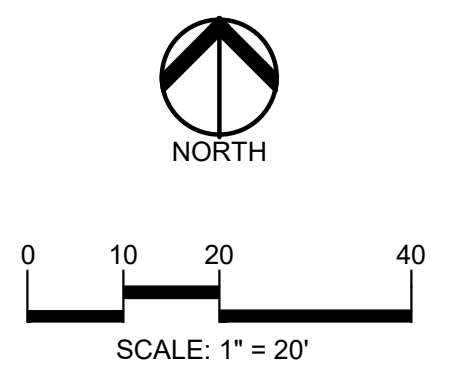
DRAWING NUMBER:

**REFERENCE DRAWINGS:**  
PEA JOB NO. 2018-034  
MORTGAGE SURVEY, NOWAK & FRAUS JOB NO. 8801-05, SHEET 1, DATED 08/15/2017  
CITY OF TROY UTILITY MAP (FROM PEA JOB NO. 2018-034)

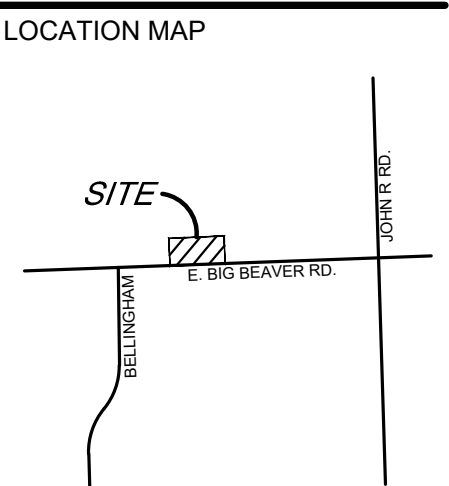
**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0553G, DATED 01/16/2009.

**BENCHMARKS:**  
(PER CITY OF TROY DATUM)  
BM #303  
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF THE PARKING LOT ACROSS FROM THE DUMPSTER BEHIND 1735 E. BIG BEAVER ROAD, NEAR THE CHASE BANK DRIVE-THRU.  
ELEV. - 649.41  
TROY BM #1277  
ARROW ON HYDRANT (#23-122) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE WEST ENTRANCE TO TROY SPORTS CENTER  
ELEV. 648.728  
TROY BM #1278  
ARROW ON HYDRANT (#23-123) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE ENTRANCE OF BUILDING 1685  
ELEV. 648.184

**LEGAL DESCRIPTION:**  
PARCEL ID 02-23-476-011  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
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CLIENT  
**TROY SPORTS CENTER, LLC**  
803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

**REVISIONS**

CITY REVISIONS	DATE
5/31/2024	
7/17/2024	

ORIGINAL ISSUE DATE:  
FEBRUARY 05, 2024  
DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	23-0922
P.M.	JPB
DN.	KS
DES.	JPB
DRAWING NUMBER:	

**LEGEND:**

CONCRETE PAVEMENT	CONCRETE CURB AND GUTTER
ASPHALT PAVEMENT	REVERSE GUTTER PAN
GRAVEL	SETBACK LINE
WETLAND	SIGN LIGHTPOLE
	FENCE
	GUARD RAIL

**GENERAL NOTES:**  
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.  
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.  
2. 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.  
3. REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.  
4. REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS

**SIDEWALK RAMP LEGEND:**

SIDEWALK RAMP 'TYPE R'	Ⓡ
SIDEWALK RAMP 'TYPE P'	Ⓟ
CURB DROP ONLY	Ⓧ

REFER TO LATEST MDT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

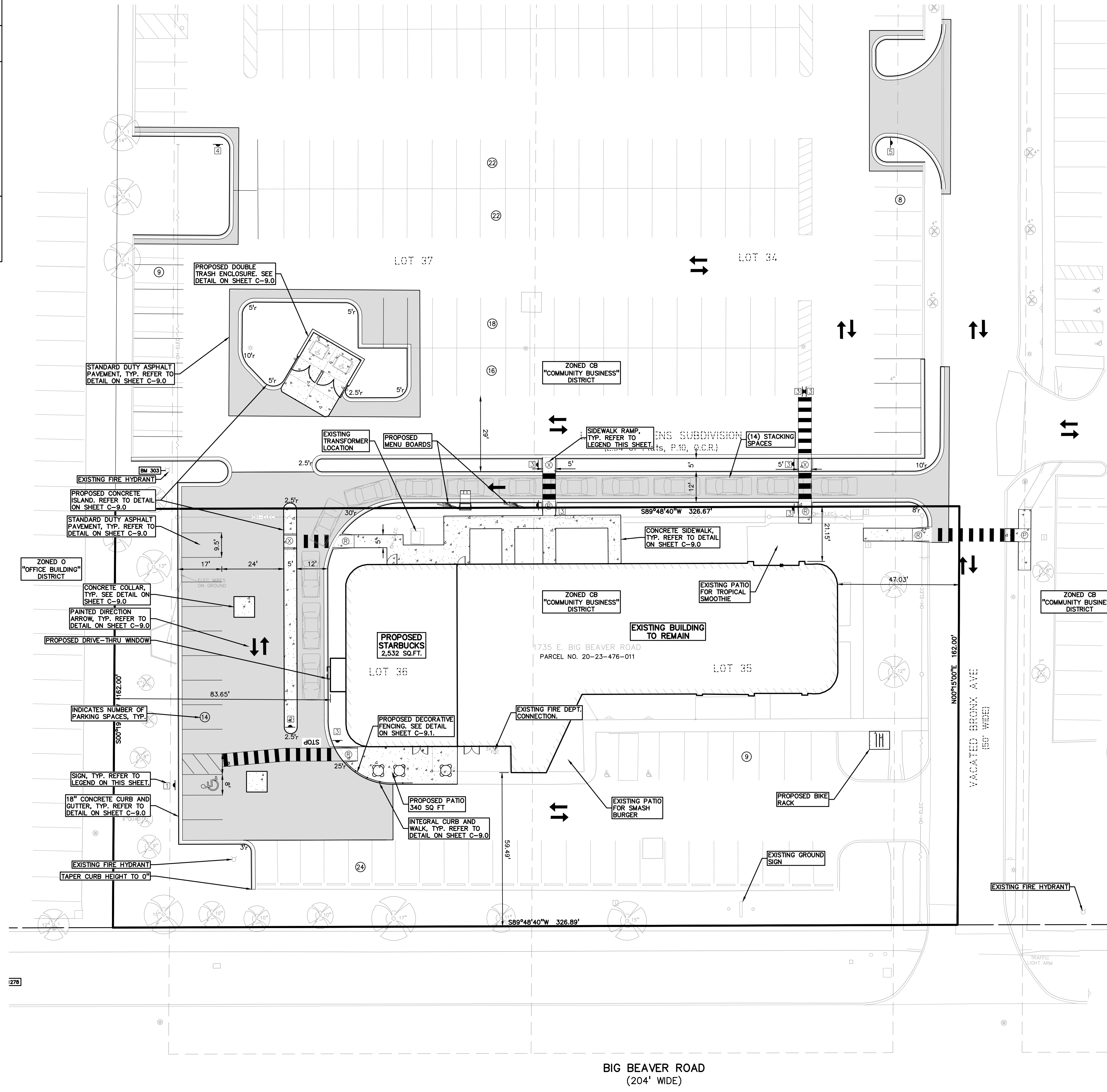
**SIGN LEGEND:**

'NO PARKING FIRE LANE' SIGN	①
'DO NOT ENTER' SIGN	②
'CROSSWALK' SIGN	③
'EXIT TO BIG BEAVER SIGN' LEFT	④
'EXIT TO BIG BEAVER' RIGHT	⑤

REFER TO DETAIL SHEET FOR SIGN DETAILS

**SITE DATA TABLE:**

SITE AREA: 1.22 ACRES (52,937 SQ.FT.) NET AND GROSS  
ZONING: CB (COMMUNITY BUSINESS)  
PROPOSED USE: RESTAURANT (2,532 SQ FT)  
EXISTING USES: RETAIL B = 1,492 SQ FT  
SMASH BURGER = 2,600 SQ FT  
TRUE SLEEP = 3,033 SQ FT  
TROPICAL SMOOTHIE = 1,800 SQ FT  
TOTAL BUILDING (PROPOSED + EXISTING) = 11,457 SQ FT  
PROPOSED BUILDING HEIGHT: 20.5' (30' MAXIMUM PER ZONING ORDINANCE)  
**PARKING CALCULATIONS:**  
REQUIRED RESTAURANT PARKING: 1 SPACE PER 70 SQ FT NET FLOOR AREA  
REQUIRED RETAIL PARKING: 1 SPACE PER 250 SQ FT GROSS FLOOR AREA  
STARBUCKS NET FLOOR AREA = 1,266 SQ FT  
SMASH BURGER NET FLOOR AREA = 1,300 SQ FT  
TROPICAL SMOOTHIE NET FLOOR AREA = 900 SQ FT  
= (1,266 + 1,300 + 900) / 70 = 50 SPACES  
= (1,492 + 3,033 = 4,525) / 250 = 18 SPACES  
PARKING REQUIRED = 68 SPACES  
PARKING PROVIDED = 47 SPACES (INCLUDING 3 ADA SPACES)  
NOTE: PARKING FOR THE RETAIL DEVELOPMENT IS SHARED WITH THE ADJACENT TROY SPORTS CENTER  
STACKING SPACES REQUIRED: 9 SPACES  
STACKING SPACES PROVIDED: 14 SPACES  
**REQUIRED SETBACKS:**  
FRONT (NORTH) = 10' MINIMUM  
SIDE (EAST) = N/A  
SIDE (WEST) = 20'  
REAR (NORTH) = 30'  
**SITE SOILS INFORMATION:**  
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:  
SHEBON-URBAN LAND COMPLEX, 0 TO 4 PERCENT SLOPES



S:\PROJECTS\2023\03-0922\_SBLX - TROY SPORTS CENTER\DWG\SITE\_PLAN\C-3.0\02-23-476-011\_PLOT DATE: 7/16/2024 - 8/1/Robert Money

NOT FOR CONSTRUCTION **C-3.0**



**REFERENCE DRAWINGS:**  
 PEA JOB NO. 2018-034  
 MORTGAGE SURVEY, NOWAK & FRAUS JOB NO. 8801-05, SHEET 1,  
 DATED 08/15/2017  
 CITY OF TROY UTILITY MAP (FROM PEA JOB NO. 2018-034)

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 TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD  
 INSURANCE RATE MAP NUMBER 26125C0553G, DATED 01/16/2009.

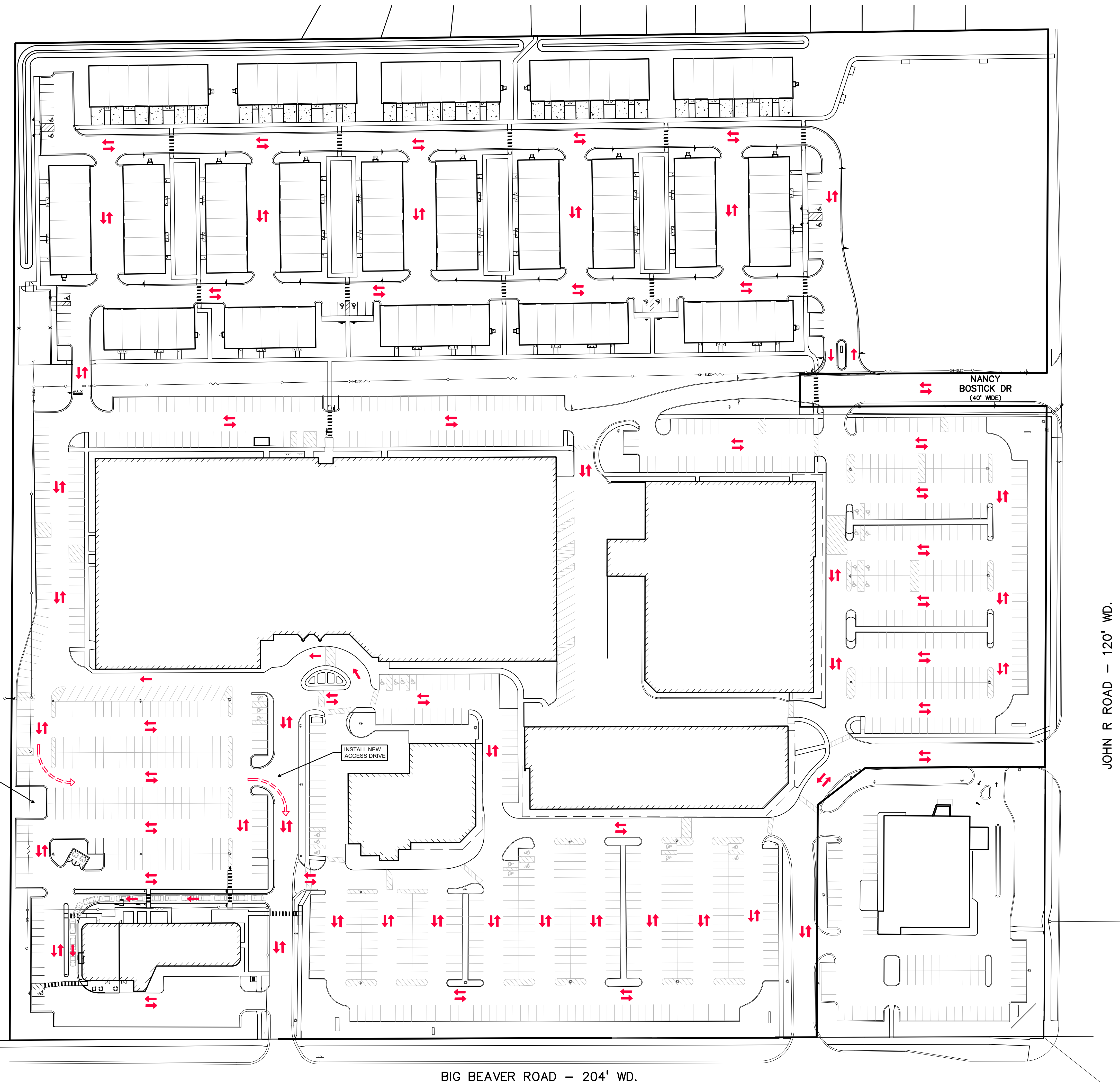
**BENCHMARKS:**  
 (PER CITY OF TROY DATUM)

BM #303  
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 LOT ACROSS FROM THE DUMPSTER BEHIND 1735 E. BIG BEAVER ROAD,  
 NEAR THE CHASE BANK DRIVE-THRU.  
 ELEV. - 649.41

TROY BM #1277  
 ARROW ON TYPHYDRANT (#23-122) ON THE NORTH SIDE OF BIG BEAVER  
 EAST OF THE WEST ENTRANCE TO TROY SPORTS CENTER  
 ELEV. 648.728

TROY BM #1278  
 ARROW ON TYPHYDRANT (#23-123) ON THE NORTH SIDE OF BIG BEAVER  
 EAST OF THE ENTRANCE OF BUILDING 1685  
 ELEV. 648.184

**LEGAL DESCRIPTION:**  
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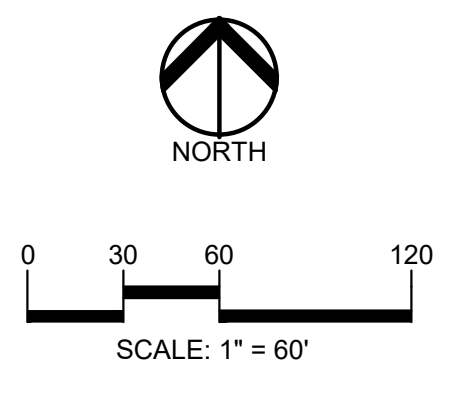
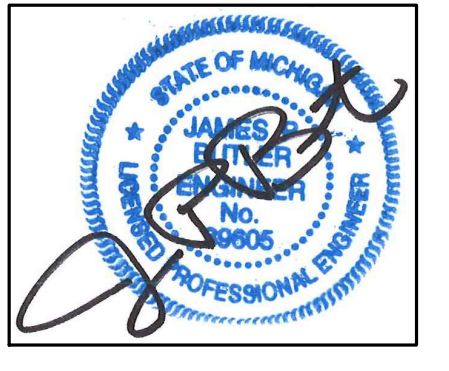


RECONFIGURE EXISTING  
 PARKING AREA TO  
 DIRECT TRAFFIC  
 TOWARDS NEW DRIVE  
 ACCESS

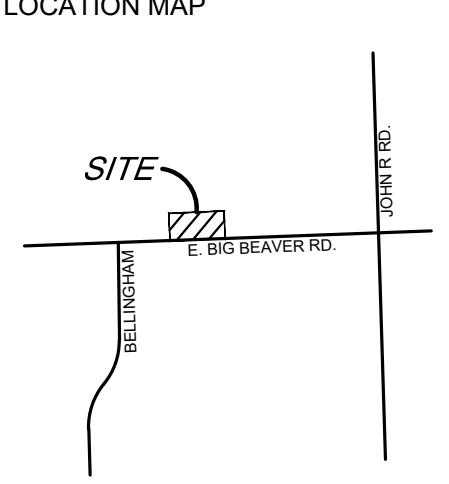
INSTALL NEW  
 ACCESS DRIVE

JOHN R ROAD - 120' WD.

BIG BEAVER ROAD - 204' WD.



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CLIENT  
**TROY SPORTS CENTER, LLC**  
 803 W. BIG BEAVER ROAD, SUITE 100  
 TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
 1735 E. BIG BEAVER ROAD  
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISIONS	
CITY REVISIONS	5/31/2024
CITY REVISIONS	7/17/2024

ORIGINAL ISSUE DATE:  
 FEBRUARY 05, 2024

DRAWING TITLE  
**CIRCULATION PLAN**

PEA JOB NO.	23-0922
P.M.	JPB
DN.	KS
DES.	JPB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

**C-3.1**

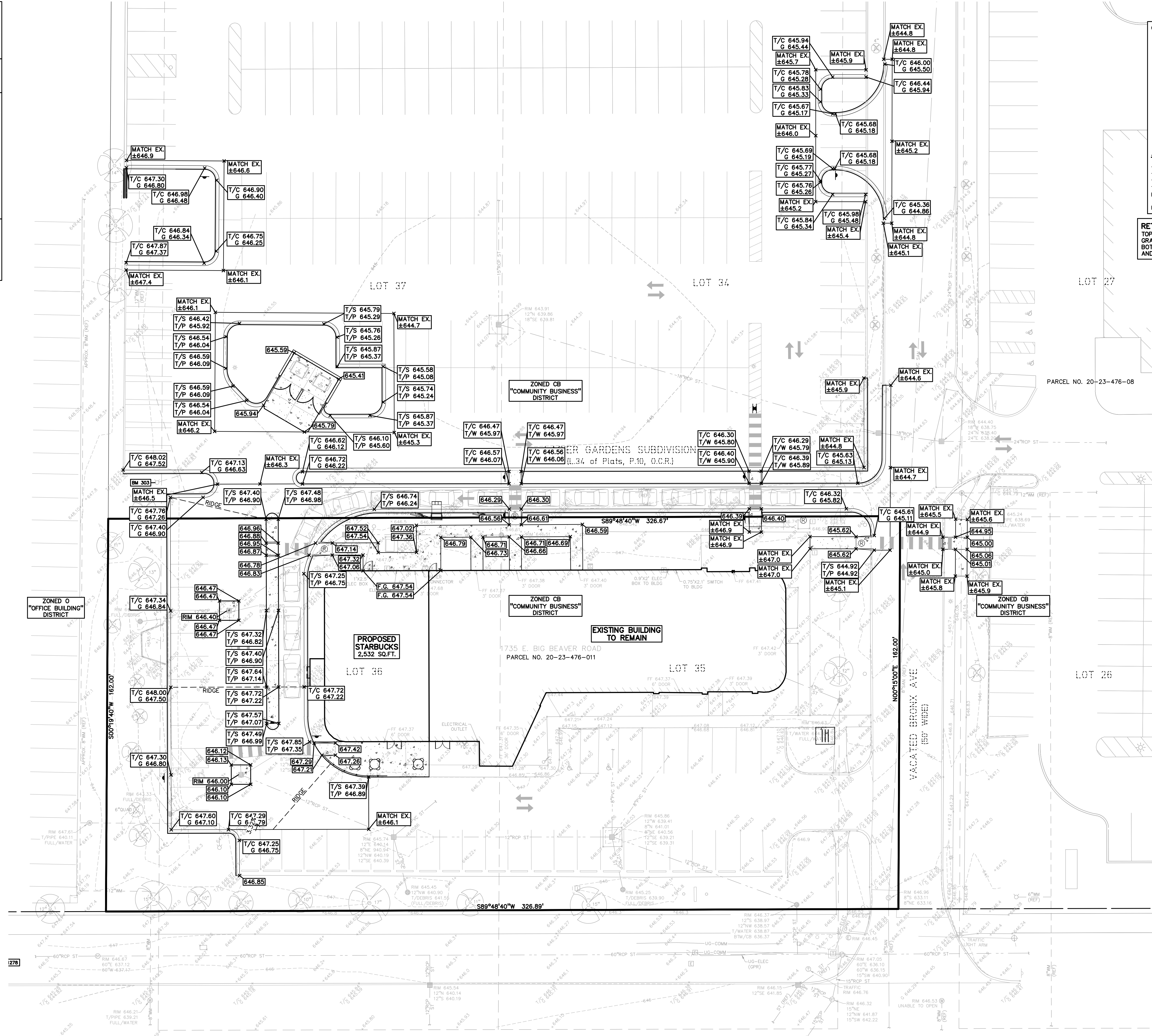
S:\PROJECTS\2023\03-0922\_SBLX - TROY SPORTS CENTER\DWG\SITE\_PLAN\C-3.1\DRG-23-0922.dwg PLOT DATE: 7/16/2024 BY: Robert Mooney

**REFERENCE DRAWINGS:**  
PEA JOB NO. 2018-054  
MORTGAGE SURVEY, NOWAK & FRAUS JOB NO. 8801-05, SHEET 1, DATED 08/15/2017  
CITY OF TROY UTILITY MAP (FROM PEA JOB NO. 2018-034)

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**BENCHMARKS:**  
(PER CITY OF TROY DATUM)  
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ELEV. 649.41  
TROY BM #1277  
ARROW ON A HYDRANT (#23-122) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE WEST ENTRANCE TO TROY SPORTS CENTER  
ELEV. 648.728  
TROY BM #1278  
ARROW ON A HYDRANT (#23-123) ON THE NORTH SIDE OF BIG BEAVER EAST OF THE ENTRANCE OF BUILDING 1685  
ELEV. 648.184

**LEGAL DESCRIPTION:**  
PARCEL ID 02-23-476-011  
Land in the City of Troy, Oakland County, Michigan, described as follows:  
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**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALEDITCH

**ABBREVIATIONS**

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- T/W = TOP OF WALL
- BW = BOTTOM OF WALL
- G = GUTTER GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- RM = RIM ELEVATION

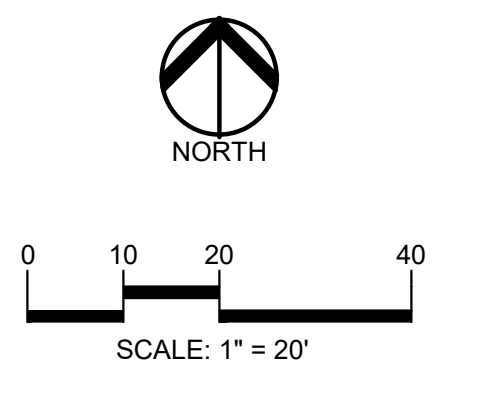
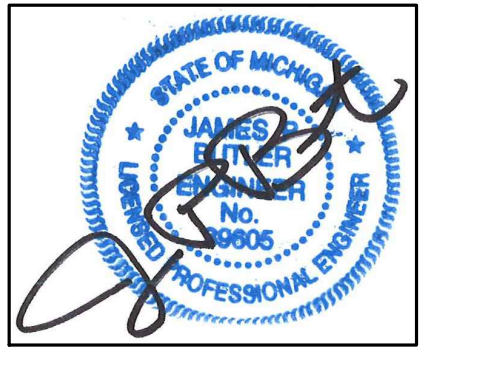
REFER TO GRADING NOTES ON SHEET C-9.0

**RETAINING WALL NOTE:**  
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

**SIDEWALK RAMP LEGEND:**  
SIDEWALK RAMP "TYPE R" (Symbol)

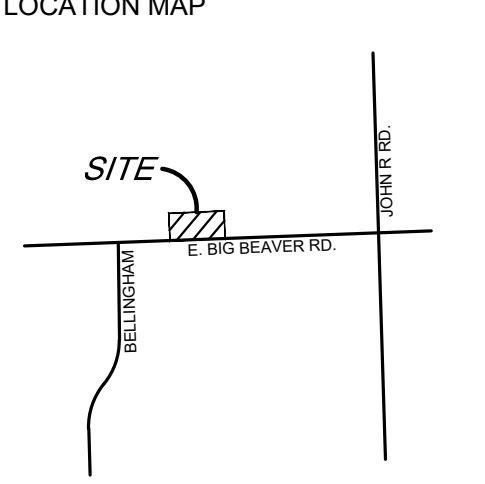
REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



**811** Know what's below. Call before you dig.

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**CLIENT**  
**TROY SPORTS CENTER, LLC**  
803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

**PROJECT TITLE**  
**STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

**REVISIONS**

CITY REVISIONS	5/31/2024
CITY REVISIONS	7/17/2024

ORIGINAL ISSUE DATE:  
FEBRUARY 05, 2024  
DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	23-0922
P.M.	JPB
DN.	KS
DES.	JPB
DRAWING NUMBER:	

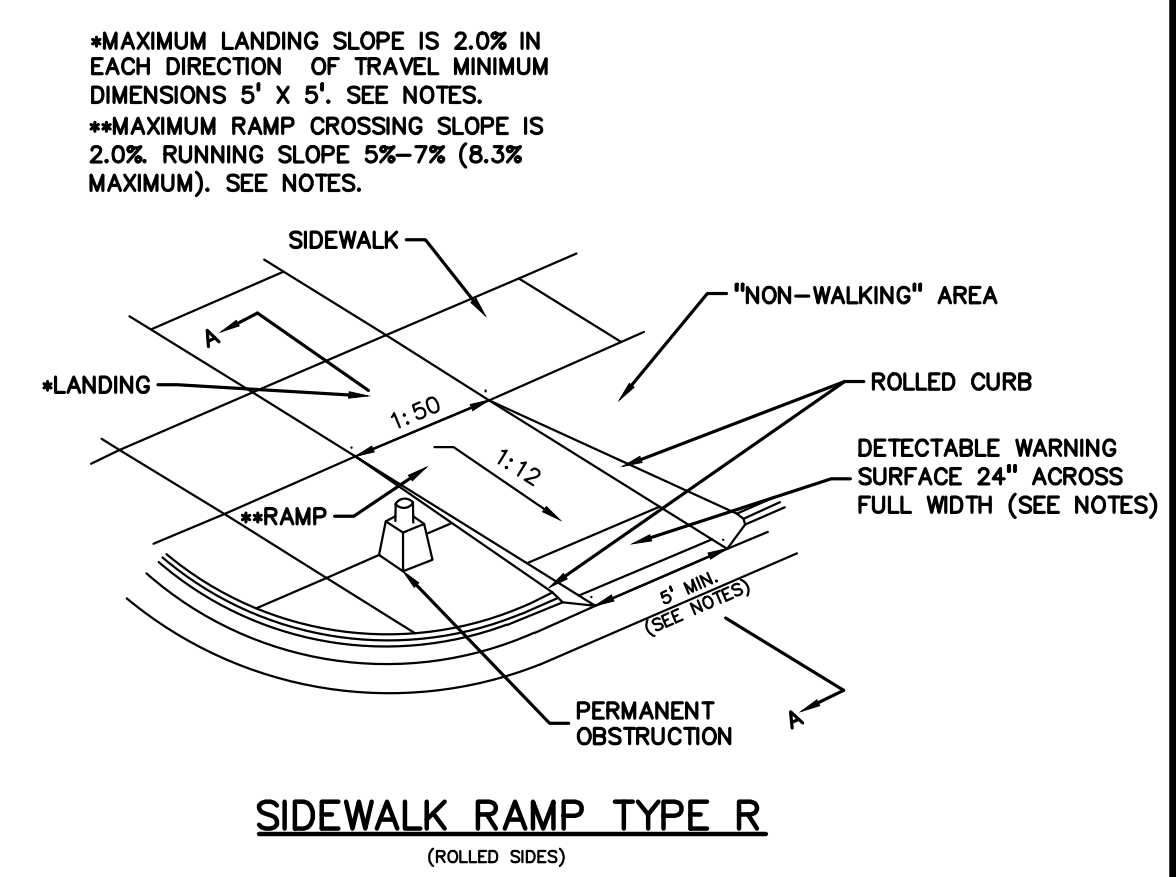
NOT FOR CONSTRUCTION **C-4.0**

S:\PROJECTS\2023\03-0922\_SBLX - TROY SPORTS CENTER\DWG\SITE\_PLAN\C-4.0\GRADE-25-0922.dwg PLOT DATE: 7/6/2024 BY: Robert Mooney

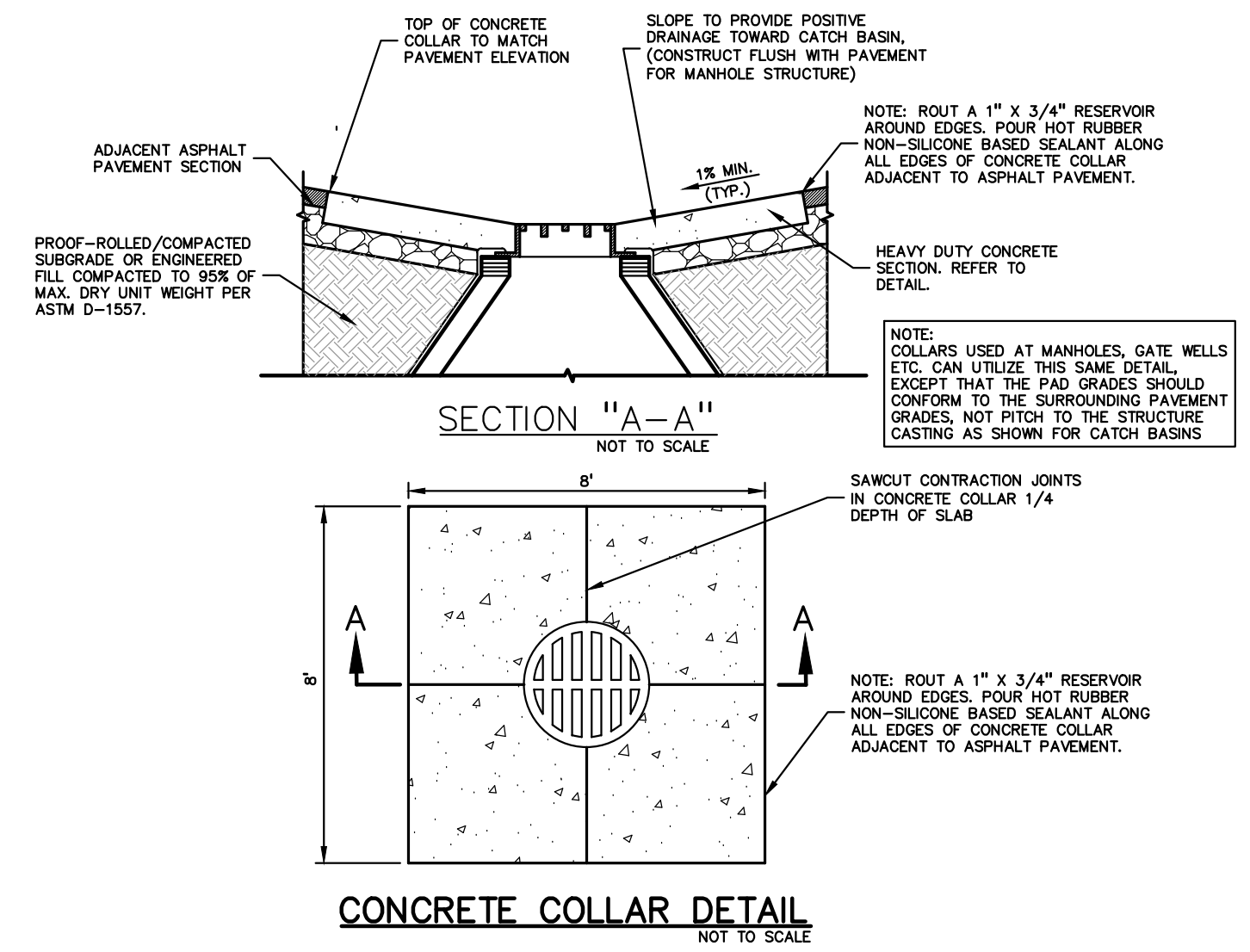
- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, MDOT AND MUNICIPALITY STANDARDS AND REGULATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
  - ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
  - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
  - CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
  - ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
  - THE USE OF CRUSHED CONCRETE IS PROHIBITED ON THE PROJECT WITHIN 100 FEET OF ANY WATER COURSE (STREAM, RIVER, COUNTY DRAIN, ETC.) AND LAKE, REGARDLESS OF THE APPLICATION OR LOCATION OF THE WATER COURSE OR LAKE RELATIVE TO THE PROJECT LIMITS.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

- PAVING NOTES:**
- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
  - REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
  - CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
  - ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
  - CONCRETE PAVEMENT JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
    - WHERE PROPOSED CONCRETE ABUTS A STRUCTURE, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. THE JOINT FILLER BOARD MUST BE AT LEAST THE FULL DEPTH OF THE CONCRETE AND HELD DOWN A 1/2" TO ALLOW FOR SEALING.
    - WHERE PROPOSED CONCRETE ABUTS EXISTING CONCRETE OR IN BETWEEN POURS OF PROPOSED CONCRETE (CONSTRUCTION JOINT), PROVIDE 5/8" DOWELS EVERY 30' CENTER TO CENTER HALF WAY ALONG THE THICKNESS OF THE PROPOSED PAVEMENT. ALTERNATE DOWELS SIZES AND SPACING MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
  - WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED SIDEWALK OR CURBING, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. CONTROL, LONGITUDINAL AND/OR TRANSVERSE JOINTS SHALL BE PLACED TO PROVIDE PANELS WITHIN THE PAVEMENT AS SQUARE AS POSSIBLE WITH THE FOLLOWING MAXIMUM SPACING PARAMETERS:
    - 6-INCH THICK CONCRETE PAVEMENT: 12' X 12'
    - 8-INCH THICK CONCRETE PAVEMENT: 15' X 15'
  - IRREGULAR-SHAPED PANELS MAY REQUIRE THE USE OF REINFORCING MESH OR FIBER MESH AS DETERMINED BY THE ENGINEER. THE USE OF MESH MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
  - IF A JOINT PLAN IS NOT PROVIDED IN THE PLANS, THE CONTRACTOR SHALL SUBMIT ONE TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
  - CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
    - JOINTS WHEN ADJACENT TO ASPHALT PAVEMENT:
      - PLACE CONTRACTION JOINTS AT 10' INTERVALS
      - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
      - PLACE 1" EXPANSION JOINT:
        - AT SPRING POINTS OF INTERSECTIONS OR ONE OF THE END OF RADIUS LOCATIONS IN A CURVE
        - AT 400' MAXIMUM INTERVALS ON STRAIGHT RUNS
        - AT THE END OF RADIUS AT OPPOSITE ENDS IN A CURBED LANDSCAPE ISLAND
    - JOINTS WHEN TIED TO CONCRETE PAVEMENT:
      - PLACE CONTRACTION JOINTS OPPOSITE ALL TRANSVERSE CONTRACTION JOINTS IN PAVEMENT
      - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
      - PLACE 1" EXPANSION JOINT OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT
      - CURB AND GUTTER AND CONCRETE SHALL BE TIED TOGETHER SIMILAR TO A LONGITUDINAL LANE TIE JOINT (MDOT B1 JOINT)
    - IN BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT):
      - CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
      - IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY, THEN TIE TWO PIECES OF REBAR PER THE LATEST MDOT SPECIFICATIONS
  - CONCRETE SIDEWALK JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
    - PLACE TRANSVERSE CONTRACTION JOINTS EQUAL TO THE WIDTH OF THE WALK WHEN WIDTH IS LESS THAN 8'
    - PLACE TRANSVERSE AND LONGITUDINAL CONTRACTION JOINTS EQUAL TO 1/2 THE WIDTH OF THE WALK WHEN WIDTH IS EQUAL TO OR GREATER THAN 8'
    - PLACE 1" EXPANSION JOINT WHERE ABUTTING SIDEWALK RAMP AND/OR RADIUS IN INTERSECTION
    - PLACE TRANSVERSE 1/2" EXPANSION JOINT AT MAXIMUM OF 100' SPACING
    - PLACE 1/2" EXPANSION JOINT WHEN ABUTTING A FIXED STRUCTURE, OTHER PAVEMENT (CONCRETE PAVEMENT AND DRIVE APPROACHES), UTILITY STRUCTURES, LIGHT POLE BASES AND COLUMNS

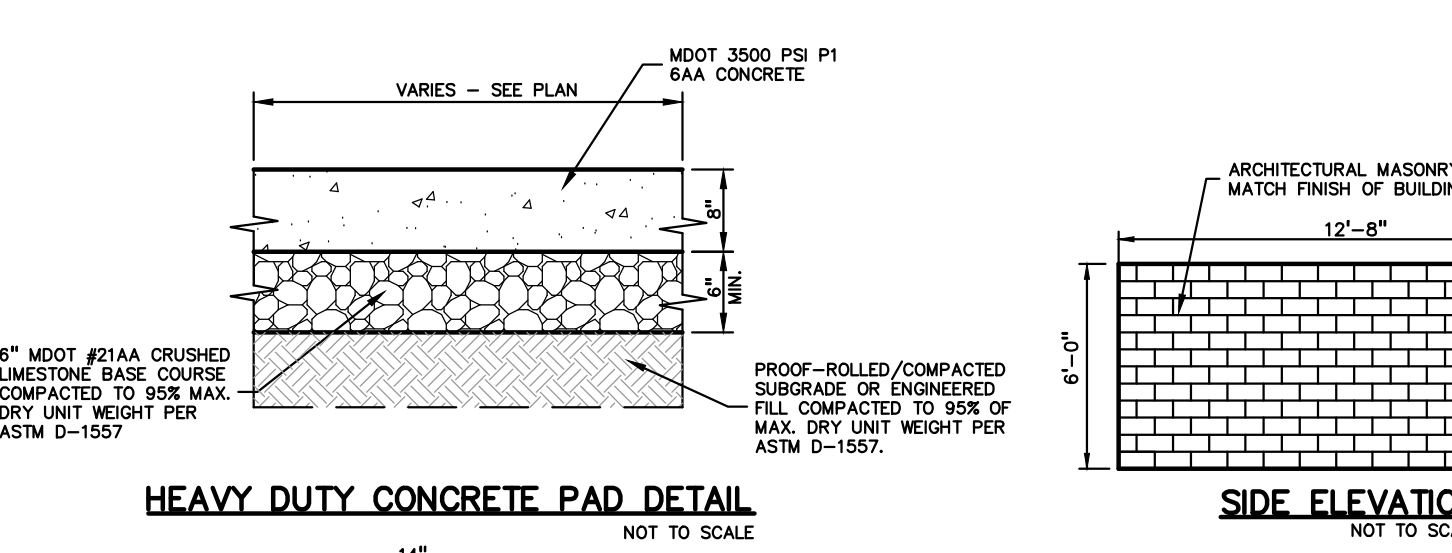
- GENERAL GRADING AND EARTHWORK NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
  - ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
  - THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE AUTHORIZED PUBLIC AGENCY OF JURISDICTION. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE XXXX PRIOR TO CONSTRUCTION.
  - ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
  - REFER TO SOIL EROSION CONTROL PLAN FOR ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
  - THE DETENTION BASIN SIDE SLOPES AND ALL SLOPE EXCEEDING 1:6 MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PEGGED IN PLACE OVER SEED.
  - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE THIRD PARTY TESTING COMPANY, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
  - ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
  - THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEODIRCS OR REMOVED AND REPLACED WITH ENGINEERED FILL AS DICTATED BY FIELD CONDITIONS.
  - SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL AREAS OR BELOW PROPOSED SUBGRADE IN CUT AREAS WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
  - SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
  - ANY SUBGRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.



**SIDEWALK RAMP TYPE R**  
(ROLLED SIDES)  
NOT TO SCALE

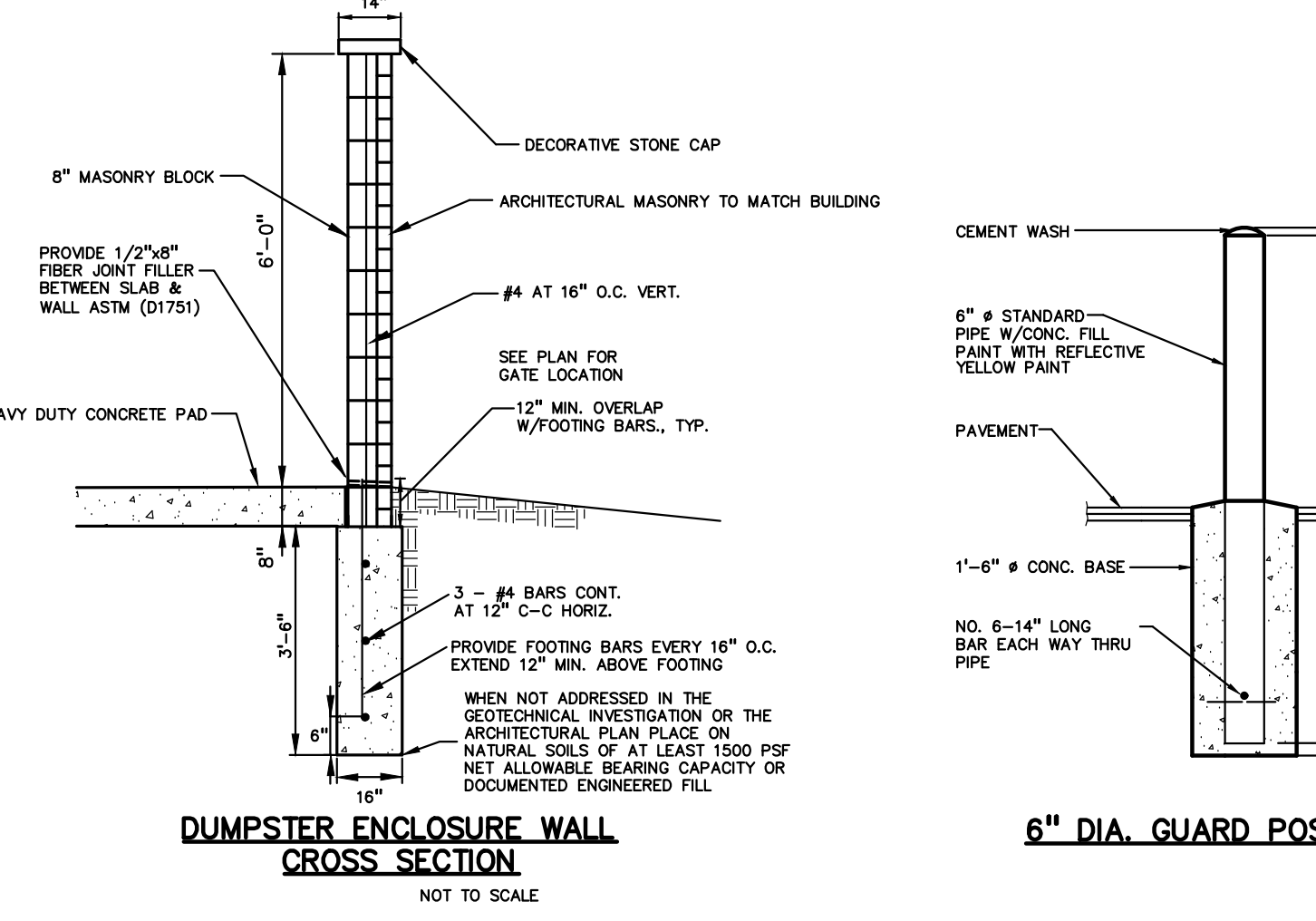


**CONCRETE COLLAR DETAIL**  
NOT TO SCALE



**HEAVY DUTY CONCRETE PAD DETAIL**  
NOT TO SCALE

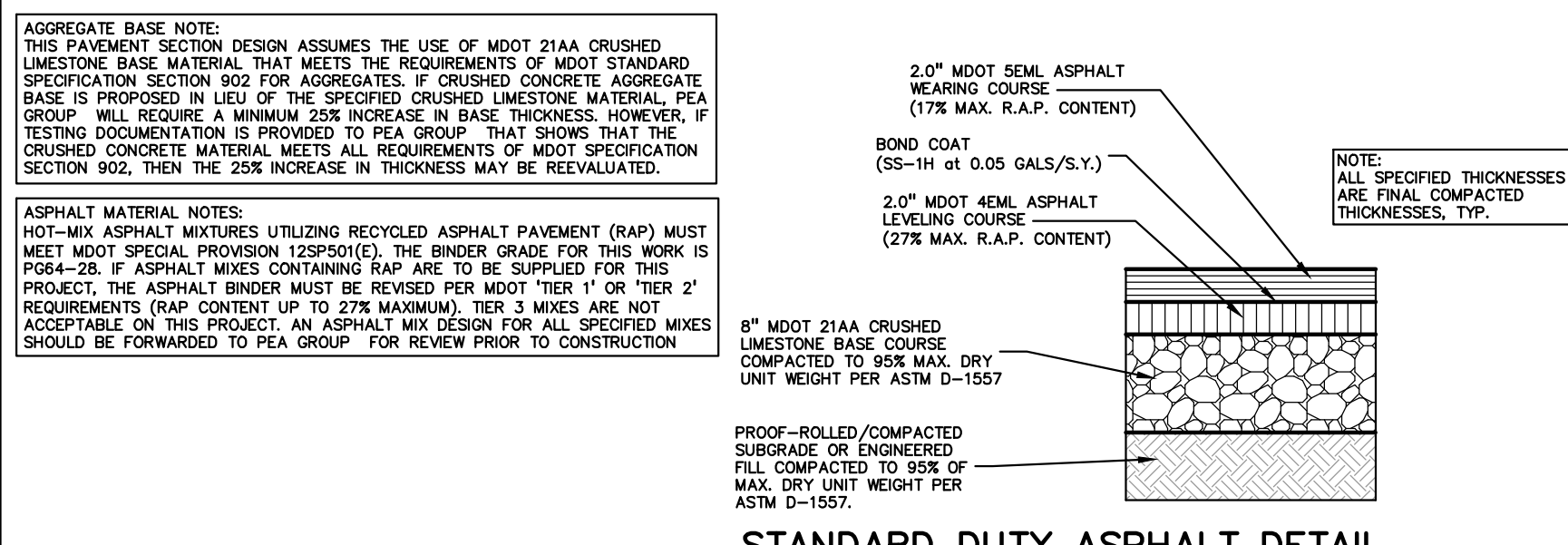
**SIDE ELEVATION**  
NOT TO SCALE



**DUMPSTER ENCLOSURE WALL CROSS SECTION**  
NOT TO SCALE

**6\"/>**

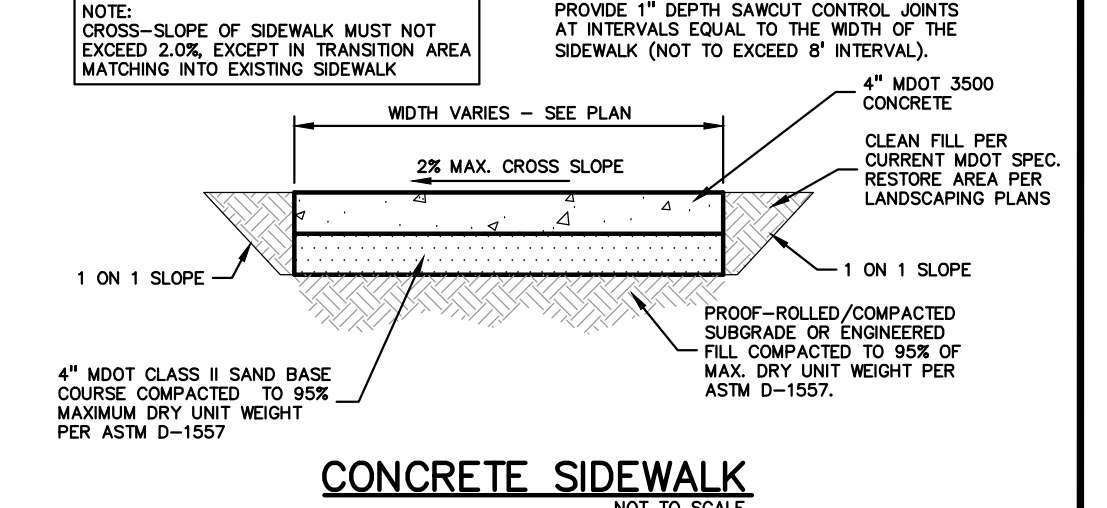
**DOUBLE TRASH ENCLOSURE DETAILS**  
NOT TO SCALE



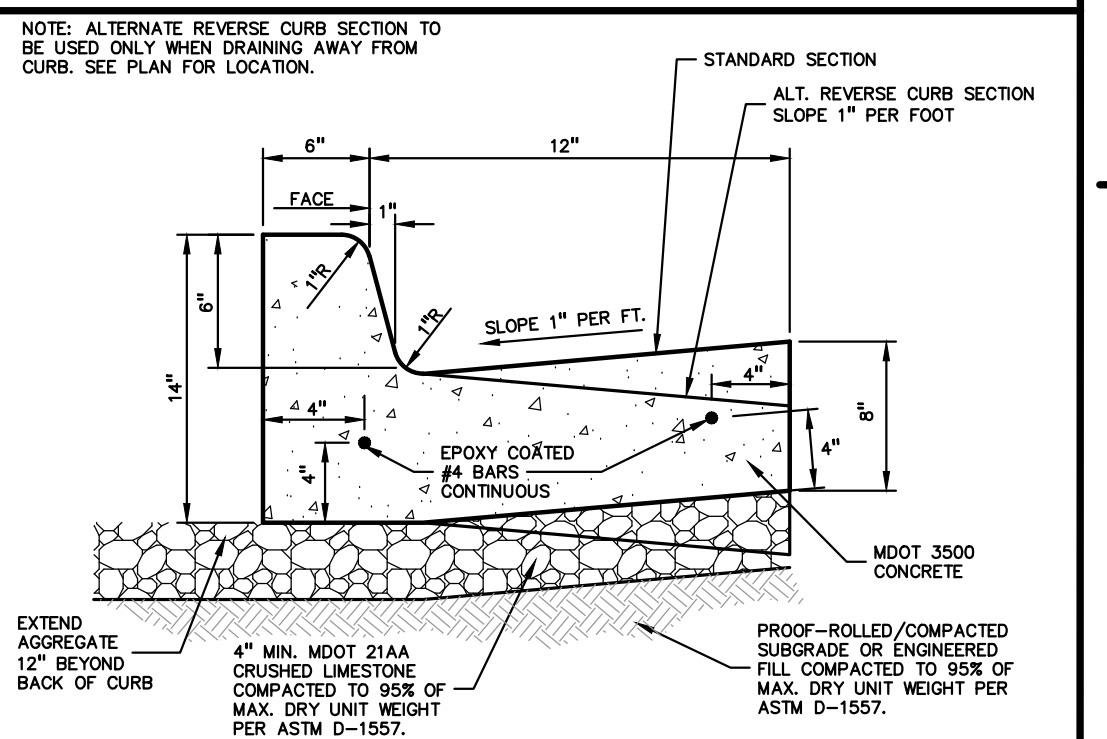
**STANDARD DUTY ASPHALT DETAIL**  
(NOT FOR USE IN THE RIGHT-OF-WAY)  
NOT TO SCALE

ASPHALT MIX DESIGN CHART

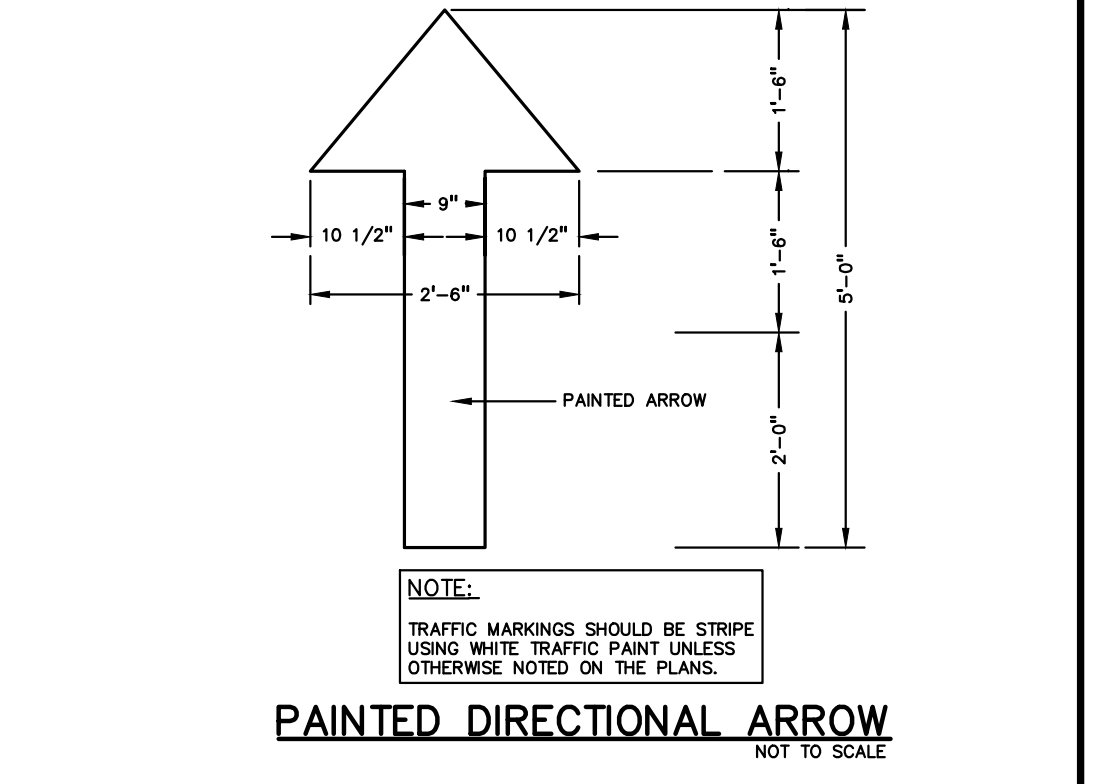
COMMERCIAL ADT C-300	COMMERCIAL ADT 1000	COMMERCIAL ADT 1000-3400	COMMERCIAL ADT 13401	APPLICATION RATE (LB/YD <sup>2</sup> )	COURSE APPLICATION
2EL	2EM	2EMH	2EH	435-550	BASE
3EL	3EM	3EMH	3EH	330-410	BASE AND/OR LEVELING
4EL	4EM	4EMH	4EH	220-275	LEVELING AND/OR TOP
5EL	5EM	5EMH	5EH	165-220	TOP
PG 58-28	PG 64-28	PG 64-28	PG 70-28P		



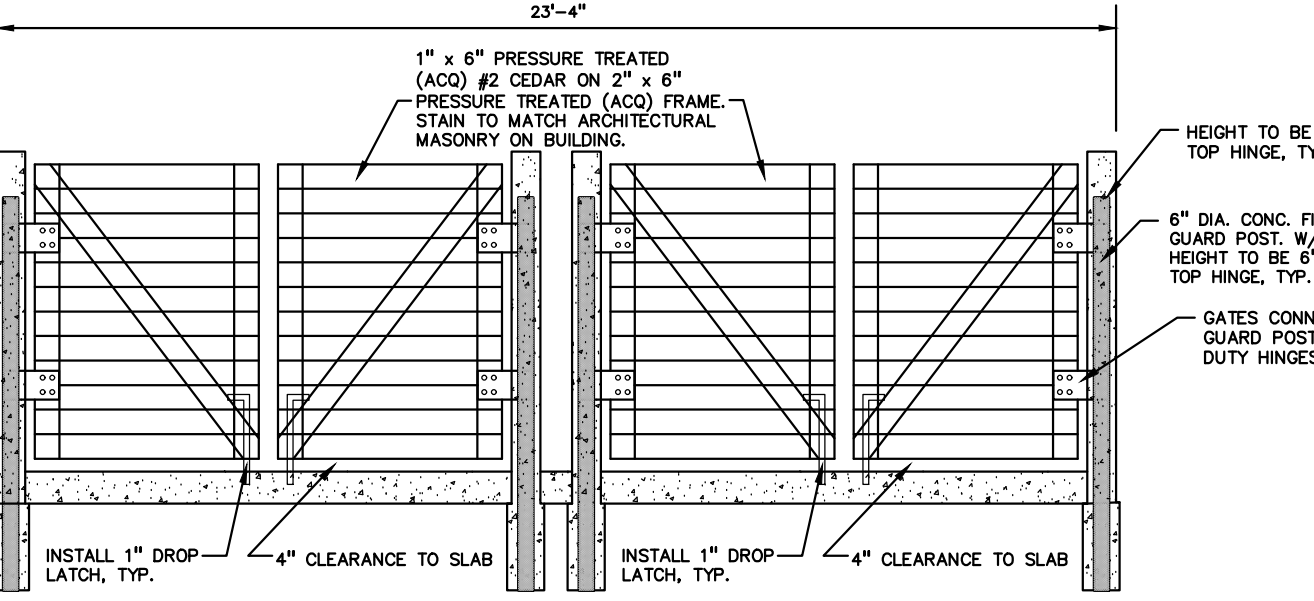
**CONCRETE SIDEWALK**  
NOT TO SCALE



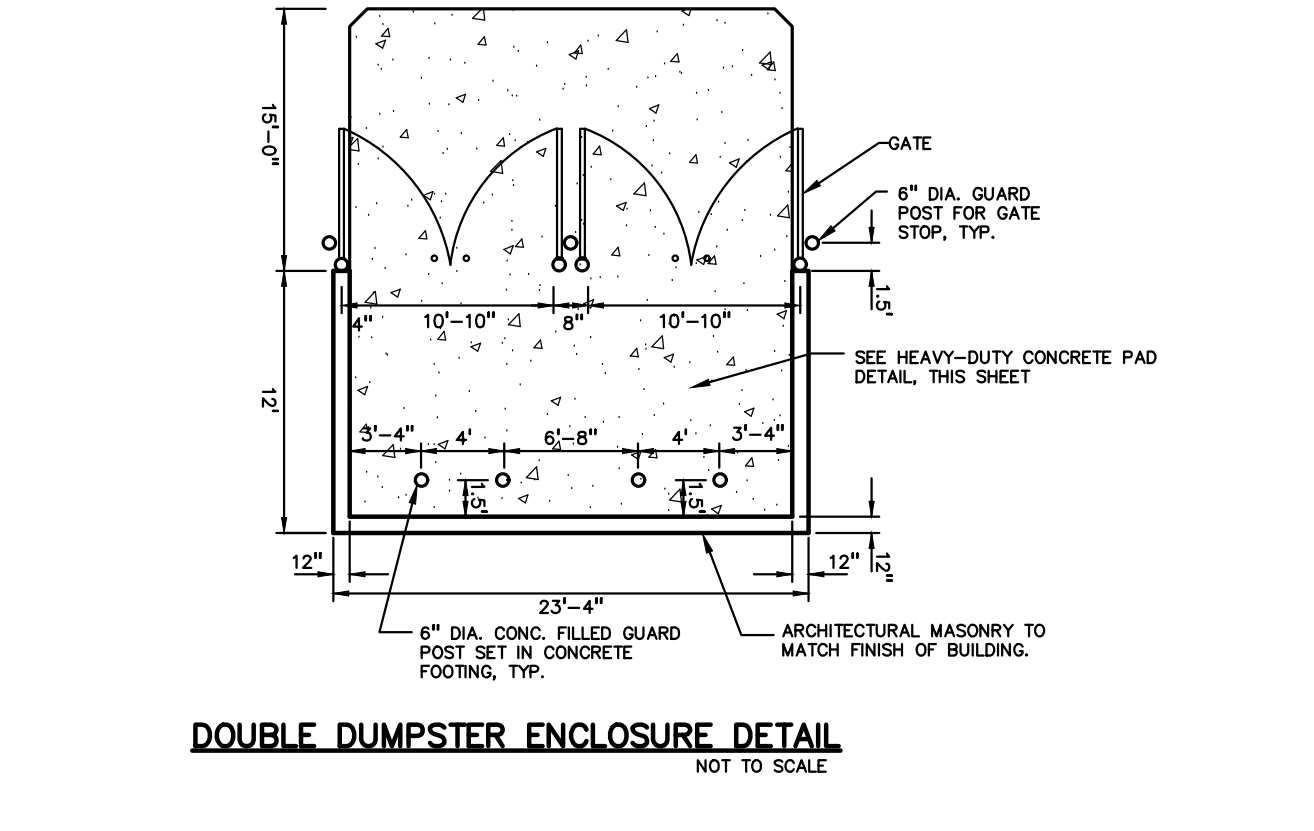
**18"X6" STANDARD CONCRETE CURB AND GUTTER**  
NOT TO SCALE



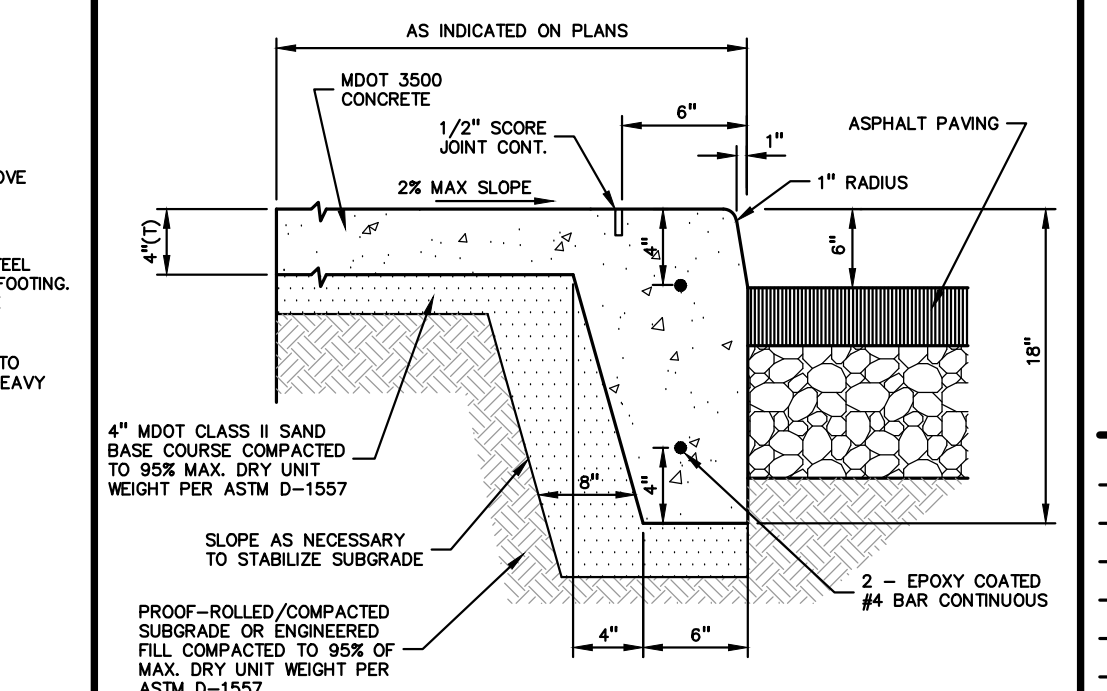
**PAINTED DIRECTIONAL ARROW**  
NOT TO SCALE



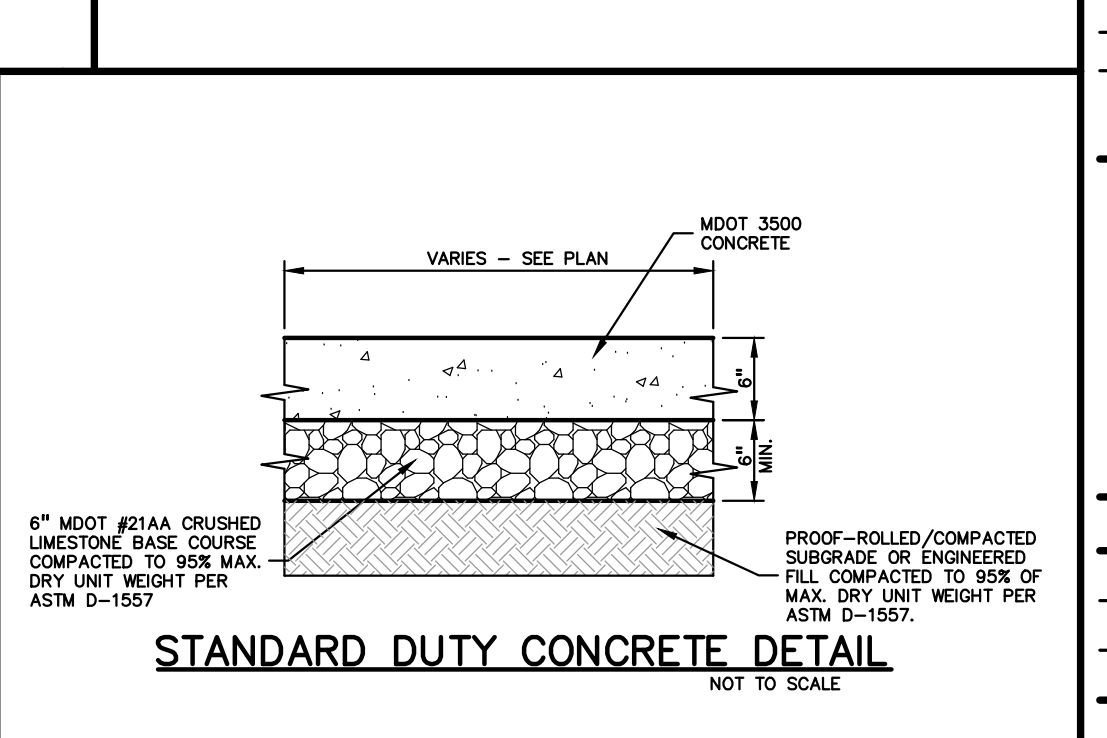
**FRONT ELEVATION**  
NOT TO SCALE



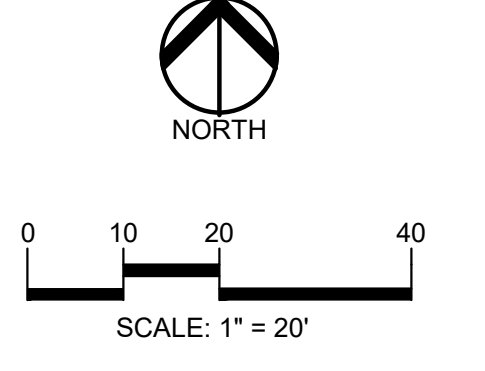
**DOUBLE DUMPSTER ENCLOSURE DETAIL**  
NOT TO SCALE



**INTEGRAL CURB AND SIDEWALK**  
NOT TO SCALE

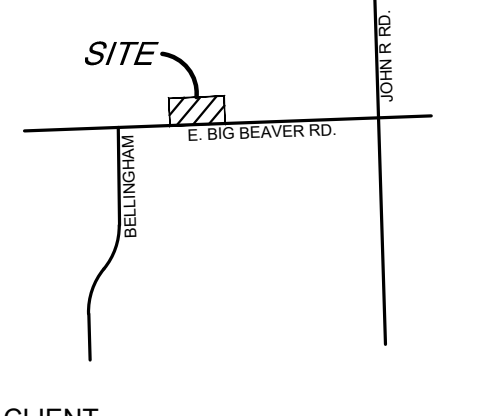


**STANDARD DUTY CONCRETE DETAIL**  
NOT TO SCALE



**CAUTION!!**  
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

LOCATION MAP



CLIENT  
**TROY SPORTS CENTER, LLC**  
803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISIONS  
CITY REVISIONS 5/31/2024  
CITY REVISIONS 7/17/2024

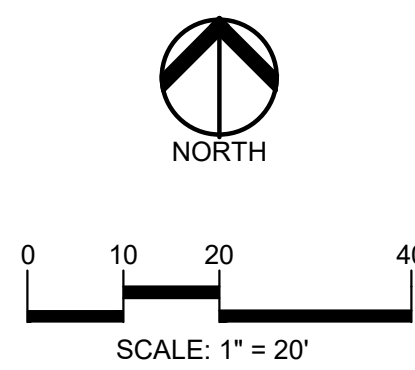
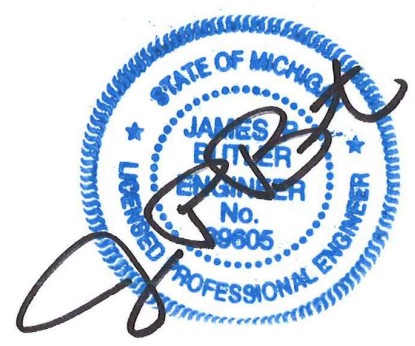
ORIGINAL ISSUE DATE:  
FEBRUARY 05, 2024

DRAWING TITLE  
**NOTES AND DETAILS**

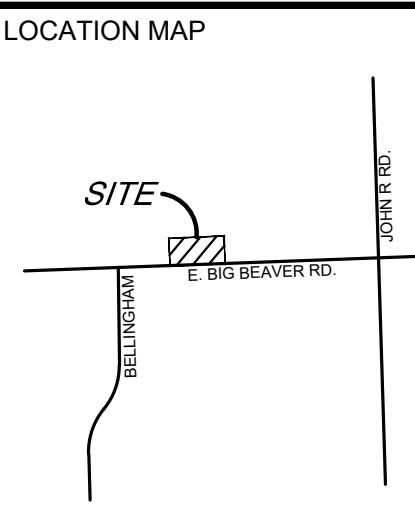
PEA JOB NO: 23-0922  
P.M. JPB  
D.N. KS  
DES. JPB

DRAWING NUMBER:  
**C-9.0**

**NOT FOR CONSTRUCTION**



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**TROY SPORTS CENTER, LLC**  
803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

REVISIONS	
CITY REVISIONS	5/31/2024
CITY REVISIONS	7/17/2024

ORIGINAL ISSUE DATE:  
FEBRUARY 05, 2024

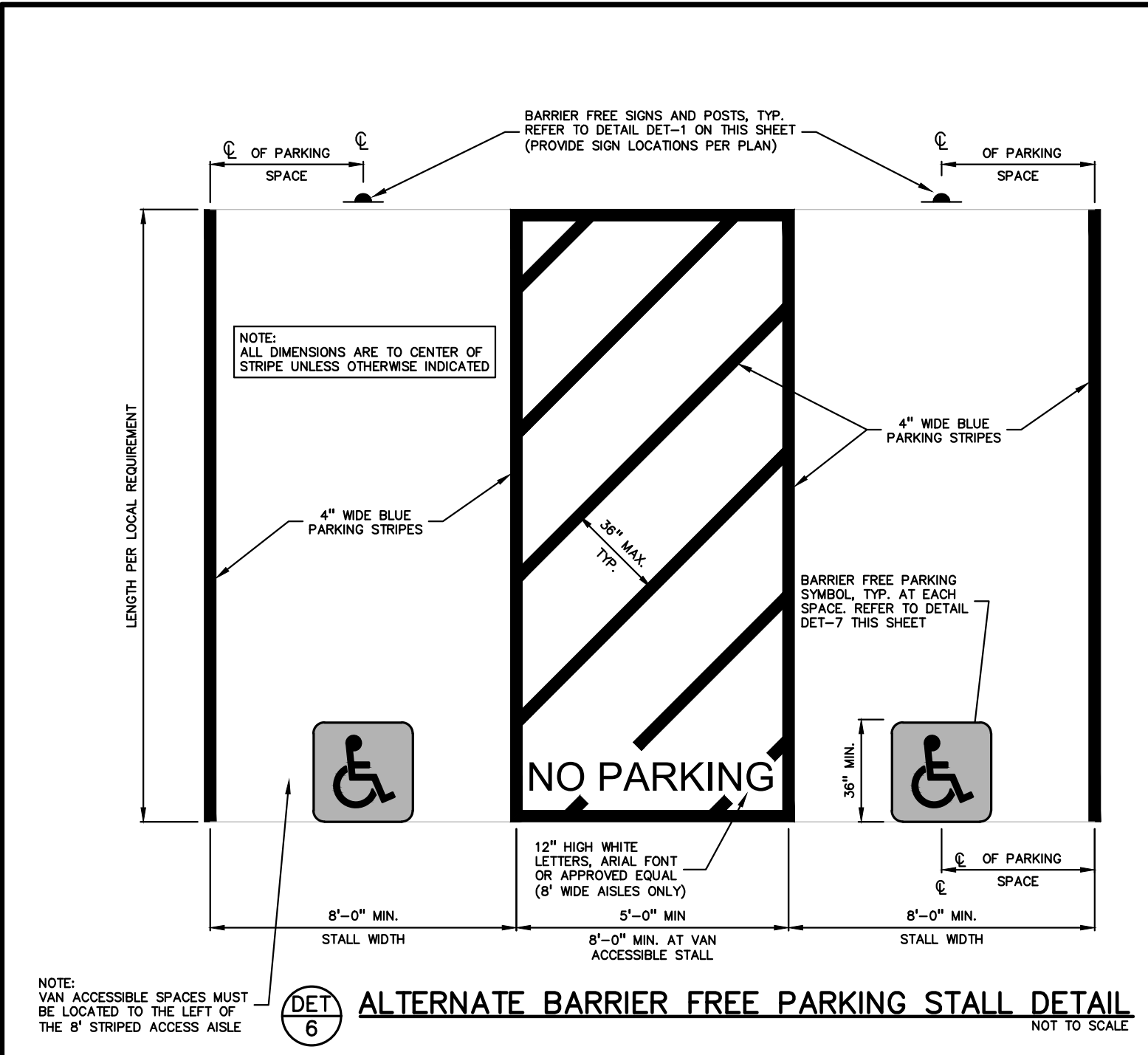
DRAWING TITLE  
**NOTES AND DETAILS**

PEA JOB NO.	23-0922
P.M.	JPB
DN	KS
DES.	JPB

DRAWING NUMBER:

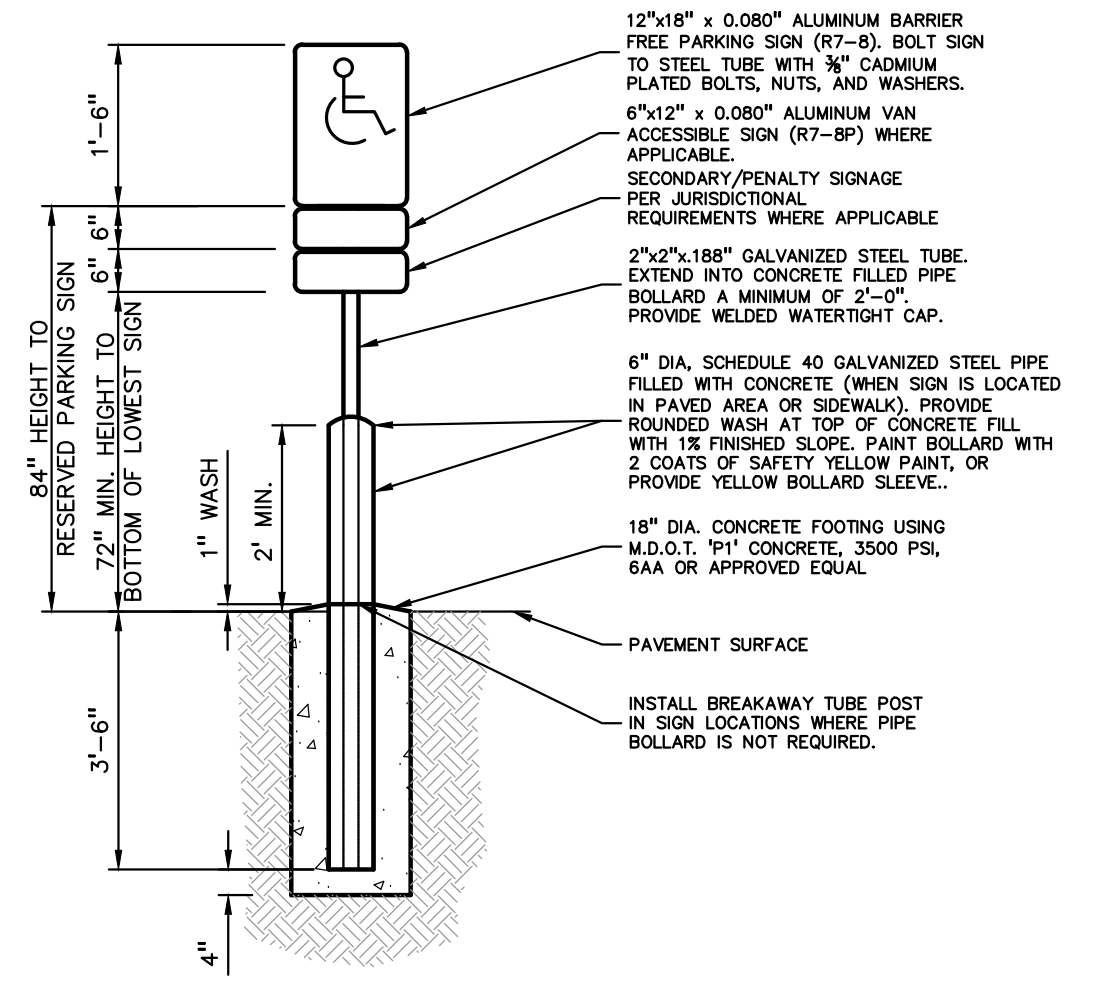
NOT FOR CONSTRUCTION

**C-9.1**



**ALTERNATE BARRIER FREE PARKING STALL DETAIL**  
NOT TO SCALE

- BARRIER FREE SIGN NOTES:**
- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
  - ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
  - WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
  - SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
  - ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG.
  - IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
  - ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



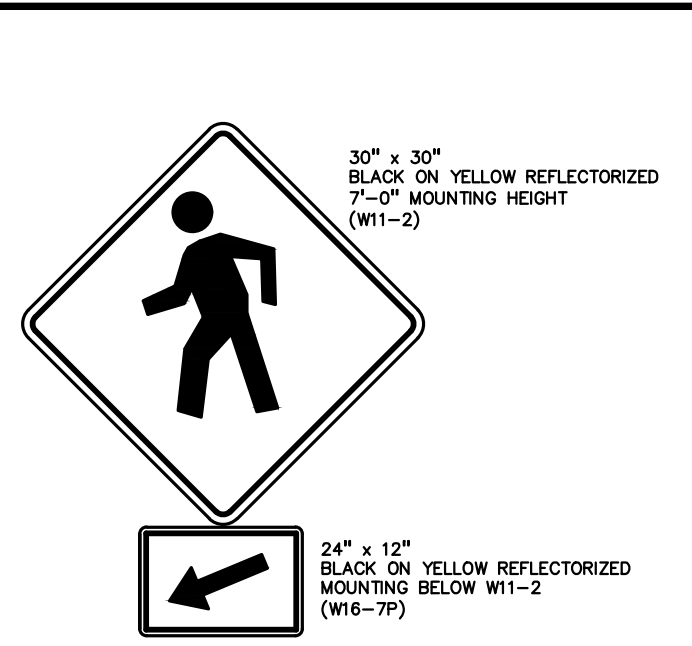
**BARRIER FREE SIGN AND POST DETAIL**  
NOT TO SCALE



**'EXIT TO BIG BEAVER ROAD' LEFT SIGN DETAIL**  
NOT TO SCALE



**'EXIT TO BIG BEAVER ROAD' RIGHT SIGN DETAIL**  
NOT TO SCALE



**CROSSWALK SIGN DETAIL**  
NOT TO SCALE



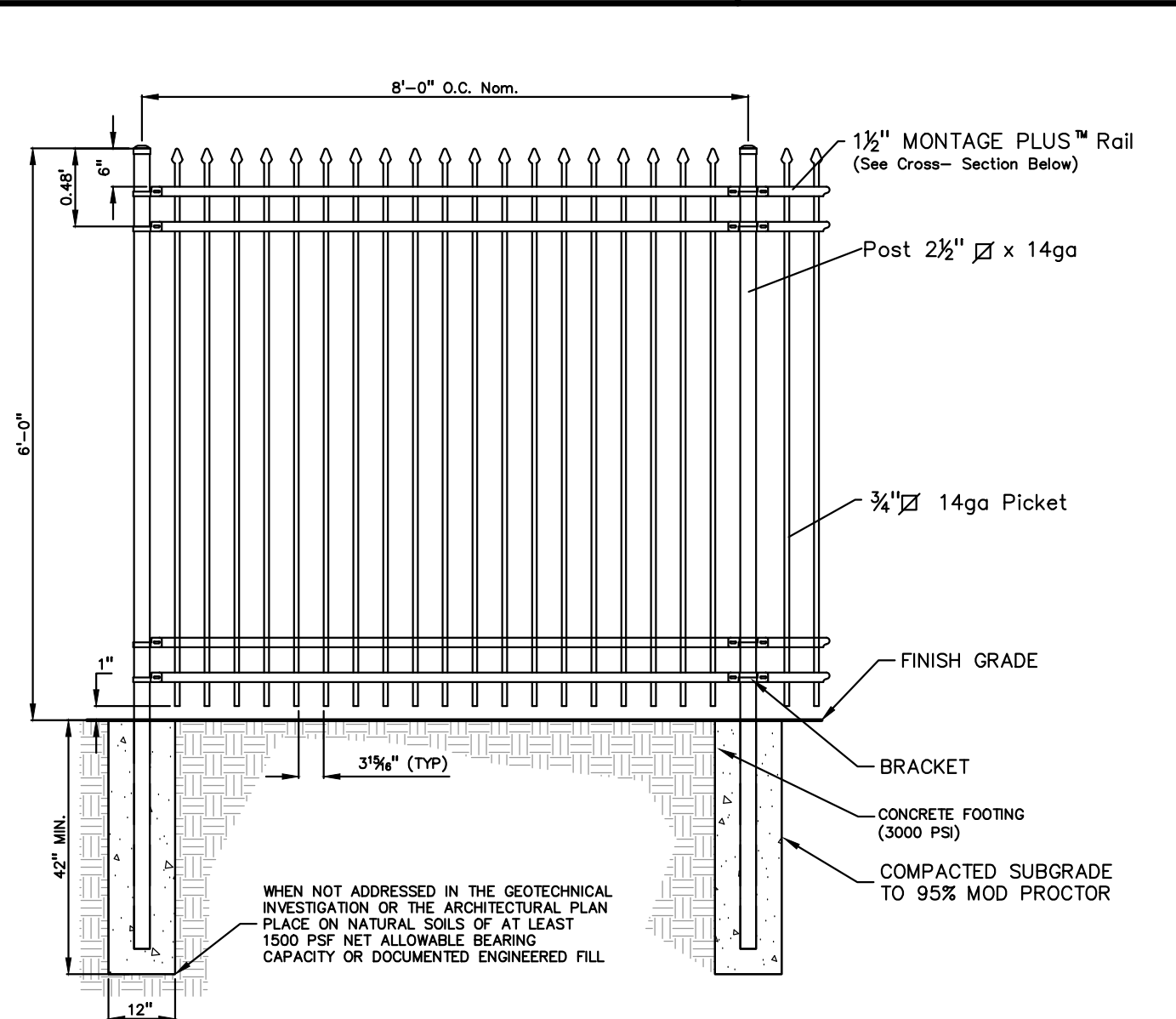
**RESERVED PARKING ONLY SIGN DETAIL**  
NOT TO SCALE



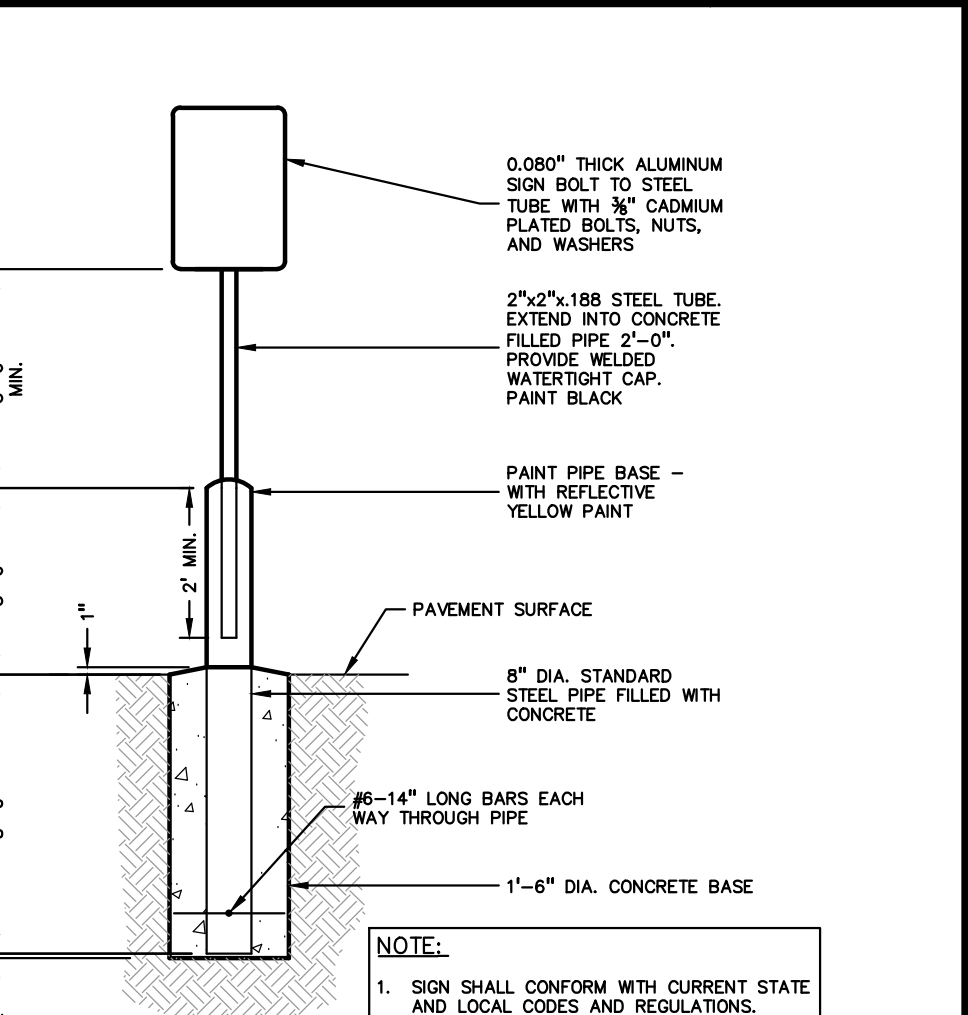
**FIRE LANE SIGN DETAIL**  
NOT TO SCALE

FIRE LANE SIGNS: APPROVED "NO PARKING FIRE LANE" SIGN MUST BE INSTALLED AND MAINTAINED IN COMPLIANCE WITH THE CRITERIA SET FORTH IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SOME OF THE CRITERIA IS AS FOLLOWS: (TROY CITY CODE CHAPTER 106)  
 - SIGN SHALL BE RED LETTERING ON WHITE BACKGROUND AND SHALL READ, "FIRE LANE, NO PARKING, NO STOPPING, NO STANDING, TOW AWAY ZONE"  
 - SIGNS SHALL BE SPACED NO FURTHER THAN 100 FEET APART.  
 - SIGNS SHALL BE INSTALLED AT A RIGHT ANGLE 90° TO CURB  
 - SIGN SHALL BE SEVEN (7) FEET FROM THE BOTTOM OF SIGN TO GRADE  
 - SIGNS SHALL BE DOUBLE FACED WHERE THE POSSIBILITY EXIST FOR LEFT WHEEL CURB PARKING.  
 - SIGNS SHALL BE 12 INCHES IN WIDTH AND 18 INCHES IN HEIGHT.

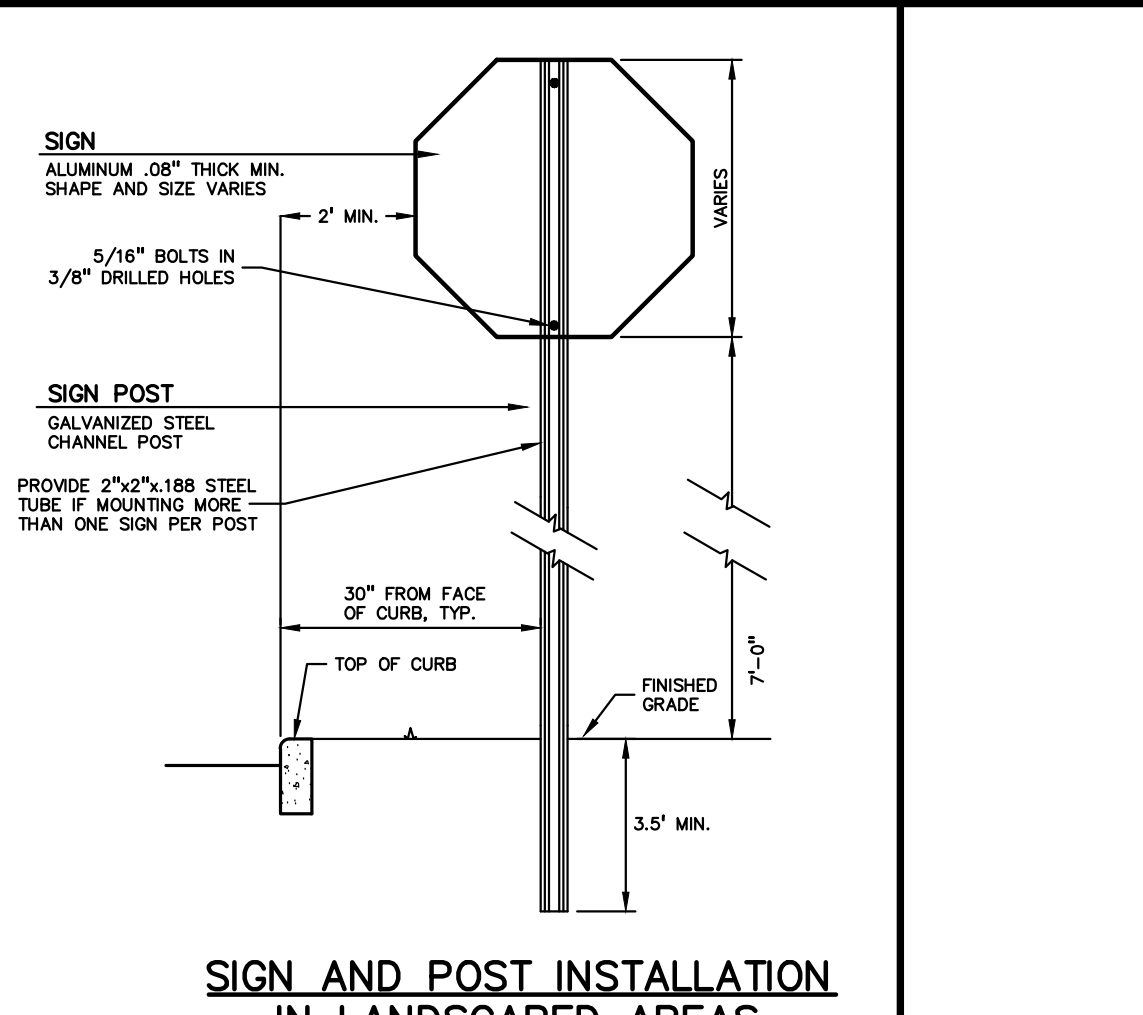
**CITY OF TROY FIRE LANE SIGN DETAIL**  
NOT TO SCALE



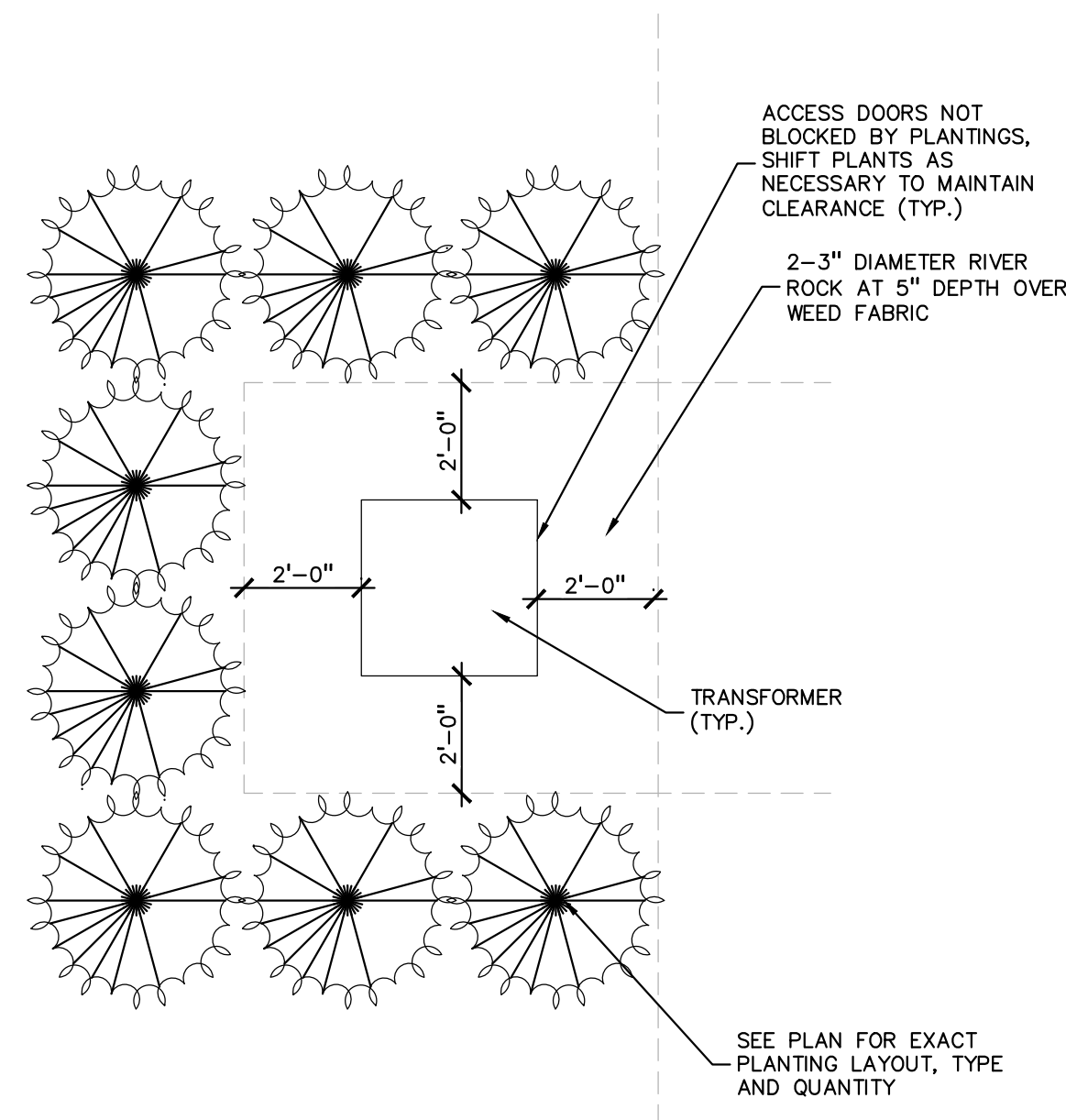
**ORNAMENTAL FENCE DETAIL**  
NOT TO SCALE



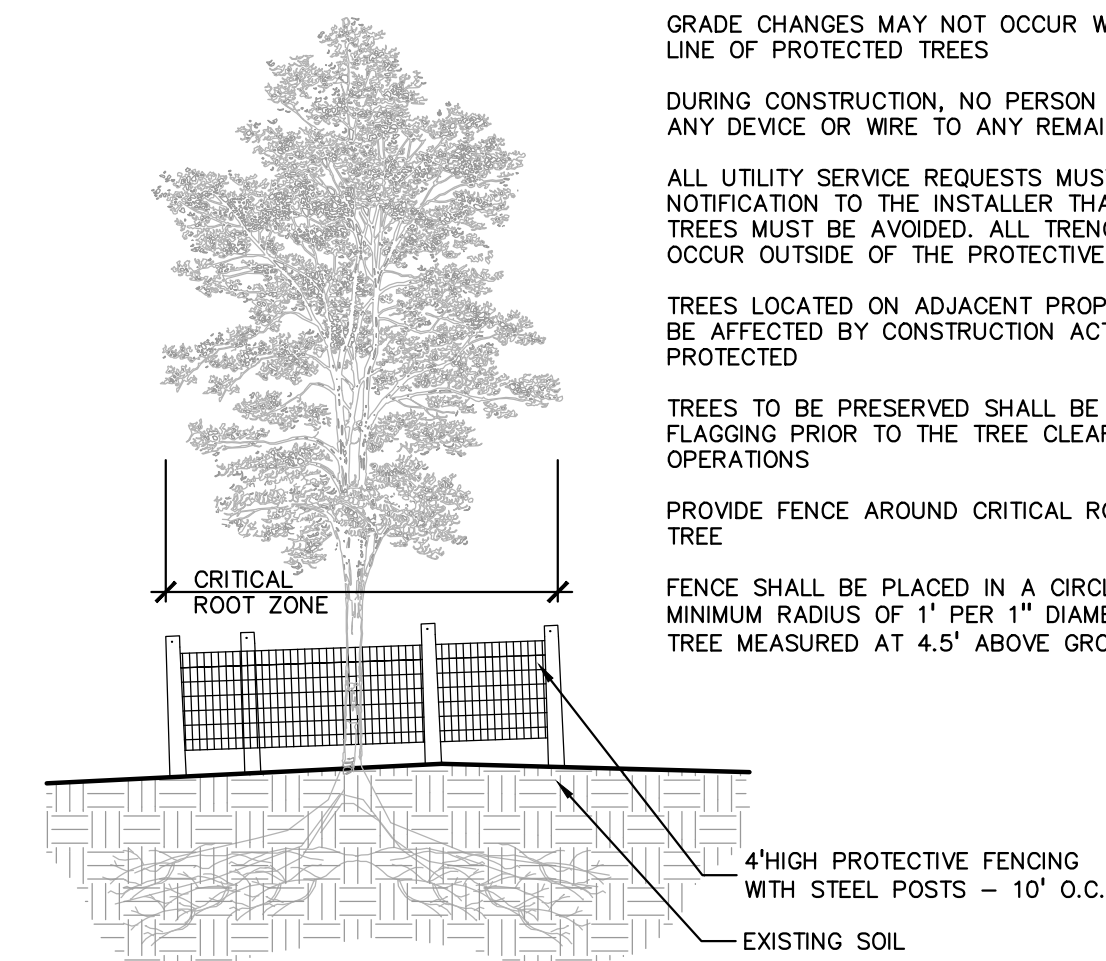
**SIGN AND POST INSTALLATION IN PAVED AREAS**  
NOT TO SCALE



**SIGN AND POST INSTALLATION IN LANDSCAPED AREAS**  
NOT TO SCALE



**6 TRANSFORMER SCREENING DETAIL—FOR ACCESS REF. ONLY**  
SCALE: 1" = 3'-0"



**3 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

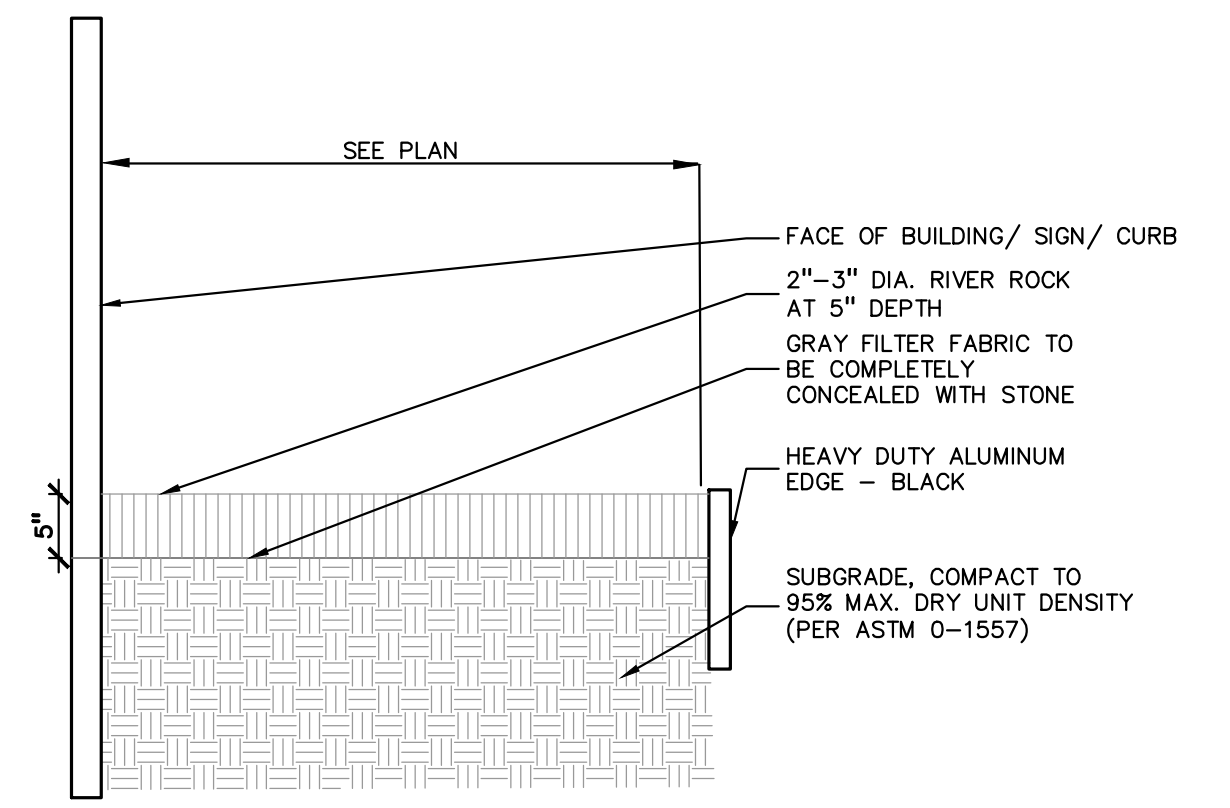
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

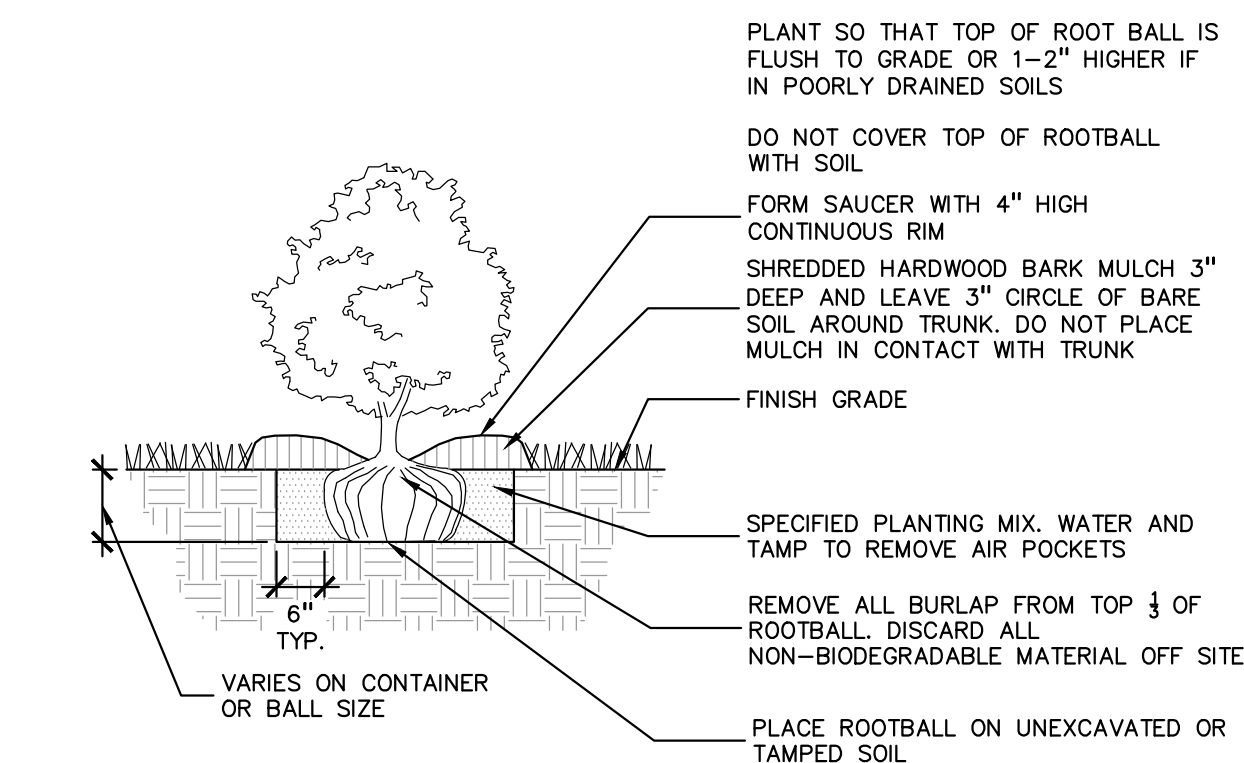
TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1" PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND



**5 RIVER ROCK EDGE DETAIL**  
SCALE: 1 1/2" = 1'-0"



**2 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"

PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS

DO NOT COVER TOP OF ROOTBALL WITH SOIL

FORM SAUCER WITH 4" HIGH CONTINUOUS RIM

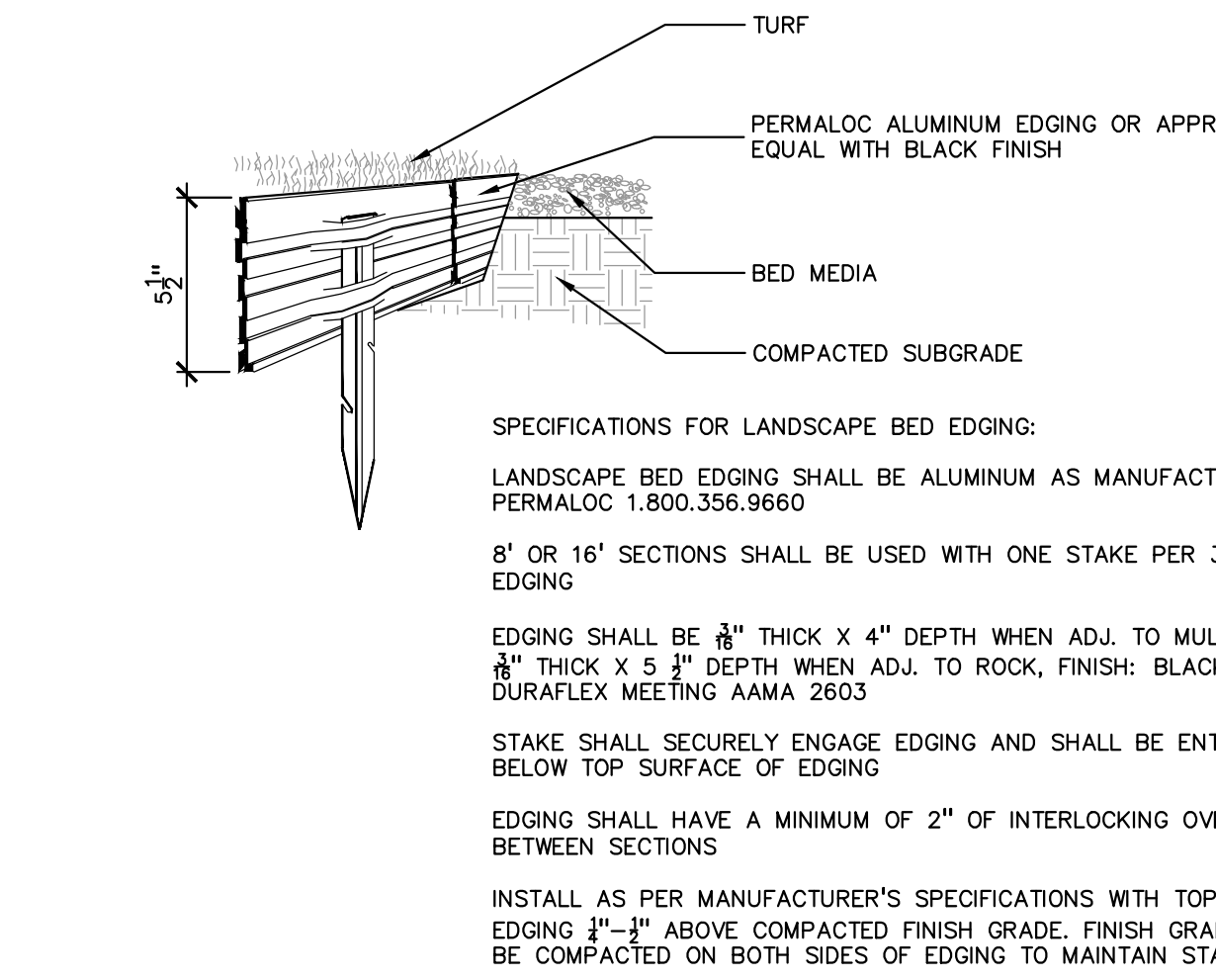
SHREDDED HARDWOOD BARK MULCH 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TRUNK

FINISH GRADE

SPECIFIED PLANTING MIX, WATER AND TAMP TO REMOVE AIR POCKETS

REMOVE ALL BURLAP FROM TOP 1/3 OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE

PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL



**4 ALUMINUM EDGE DETAIL**  
SCALE: 1/2" = 1'-0"

SPECIFICATIONS FOR LANDSCAPE BED EDGING:

LANDSCAPE BED EDGING SHALL BE ALUMINUM AS MANUFACTURED BY PERMALOC 1.800.356.9660

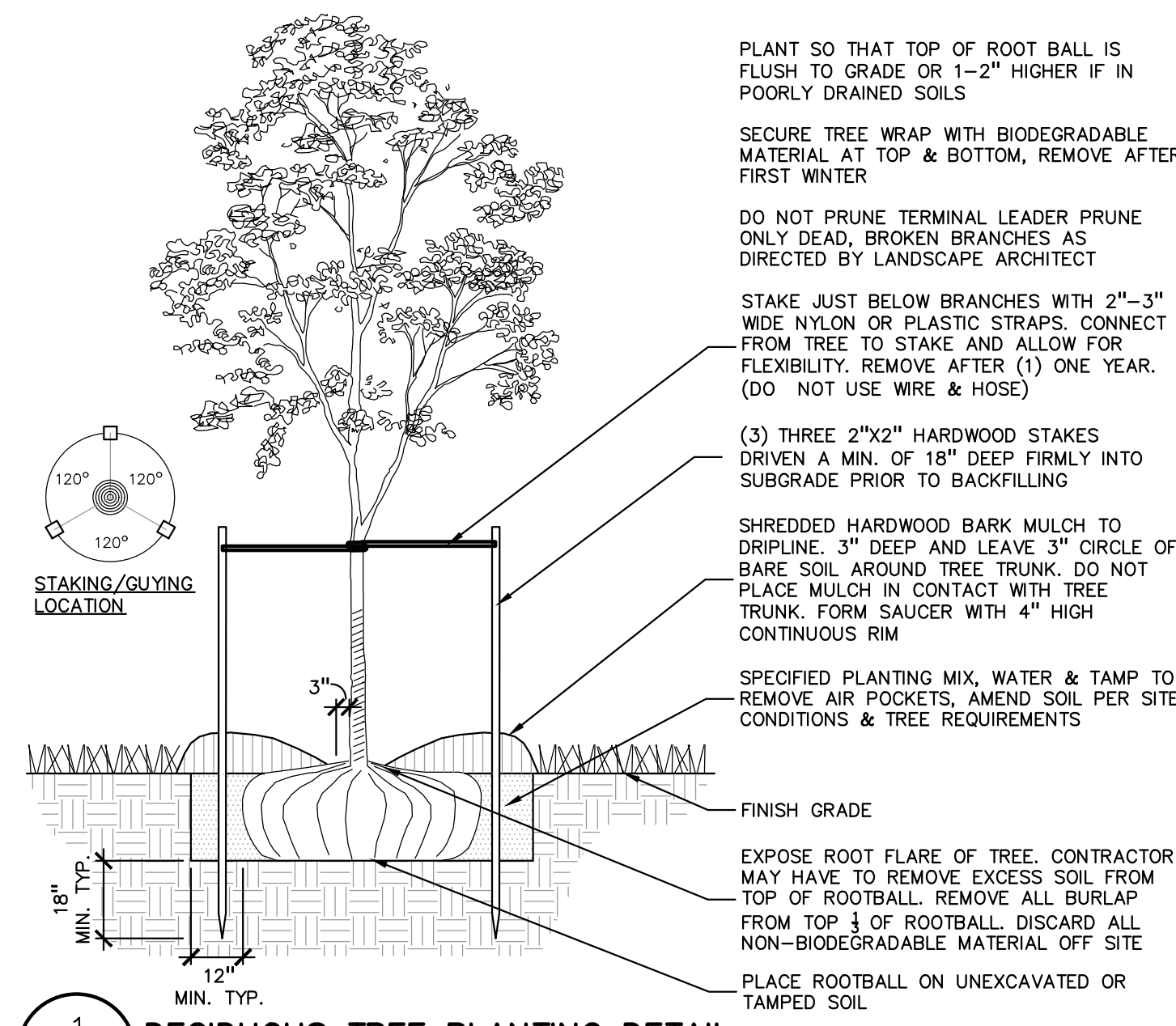
8' OR 16' SECTIONS SHALL BE USED WITH ONE STAKE PER 38" OF EDGING

EDGING SHALL BE 3/8" THICK X 4" DEPTH WHEN ADJ. TO MULCH AND 1/2" THICK X 5" DEPTH WHEN ADJ. TO ROCK, FINISH: BLACK DURAFLEX MEETING AAMA 2603

STAKE SHALL SECURELY ENGAGE EDGING AND SHALL BE ENTIRELY BELOW TOP SURFACE OF EDGING

EDGING SHALL HAVE A MINIMUM OF 2" OF INTERLOCKING OVERLAP BETWEEN SECTIONS

INSTALL AS PER MANUFACTURER'S SPECIFICATIONS WITH TOP OF EDGING 3/4"-1" ABOVE COMPACTED FINISH GRADE. FINISH GRADE TO BE COMPACTED ON BOTH SIDES OF EDGING TO MAINTAIN STABILITY



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS

SECURE TREE WRAP WITH BIODEGRADABLE MATERIAL AT TOP & BOTTOM, REMOVE AFTER FIRST WINTER

DO NOT PRUNE TERMINAL LEADER PRUNE ONLY DEAD, BROKEN BRANCHES AS DIRECTED BY LANDSCAPE ARCHITECT

STAKE JUST BELOW BRANCHES WITH 2"-3" WIDE NYLON OR PLASTIC STRAPS. CONNECT FROM TREE TO STAKE AND ALLOW FOR FLEXIBILITY. REMOVE AFTER (1) ONE YEAR. (DO NOT USE WIRE & HOSE)

(3) THREE 2"x2" HARDWOOD STAKES DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING

SHREDDED HARDWOOD BARK MULCH TO DRIFLINE, 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TREE TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FORM SAUCER WITH 4" HIGH CONTINUOUS RIM

SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS, AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS

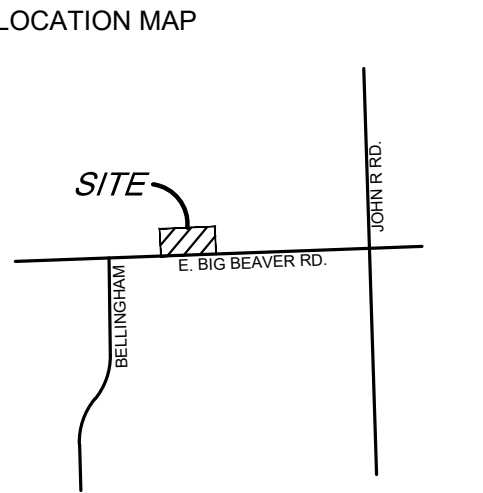
FINISH GRADE

EXPOSE ROOT FLARE OF TREE. CONTRACTOR MAY HAVE TO REMOVE EXCESS SOIL FROM TOP OF ROOTBALL. REMOVE ALL BURLAP FROM TOP 1/3 OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE

PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**TROY SPORTS CENTER, LLC**  
803 W. BIG BEAVER ROAD, SUITE 100  
TROY, MICHIGAN 48064

PROJECT TITLE  
**STARBUCKS**  
1735 E. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

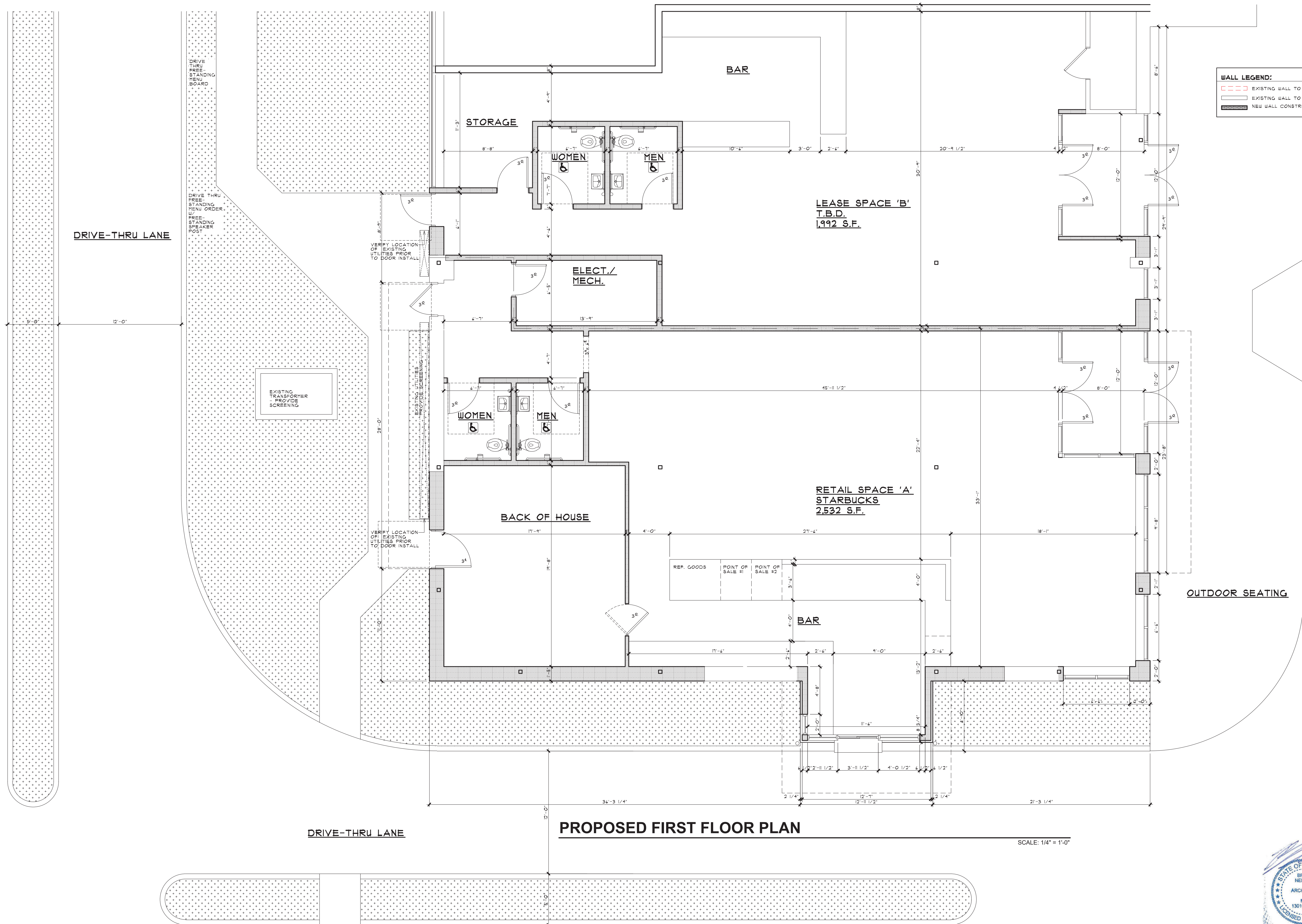
REVISIONS	
CITY REVISIONS	5/31/2024
CITY REVISIONS	7/17/2024

ORIGINAL ISSUE DATE:  
FEBRUARY 05, 2024

**LANDSCAPE DETAILS**

PEA JOB NO.	23-0922
P.M.	JPB
DN.	CAL
DES.	JLE
DRAWING NUMBER:	

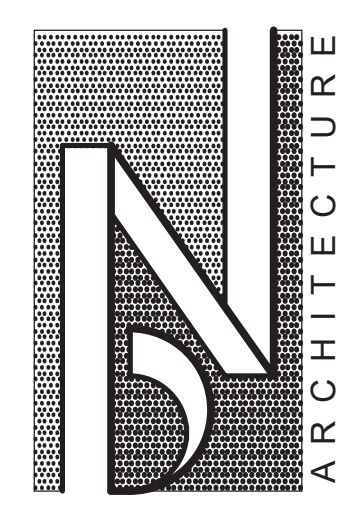




**WALL LEGEND:**  
 - - - - - EXISTING WALL TO BE REMOVED  
 ———— EXISTING WALL TO REMAIN  
 ■■■■■■ NEW WALL CONSTRUCTION

**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



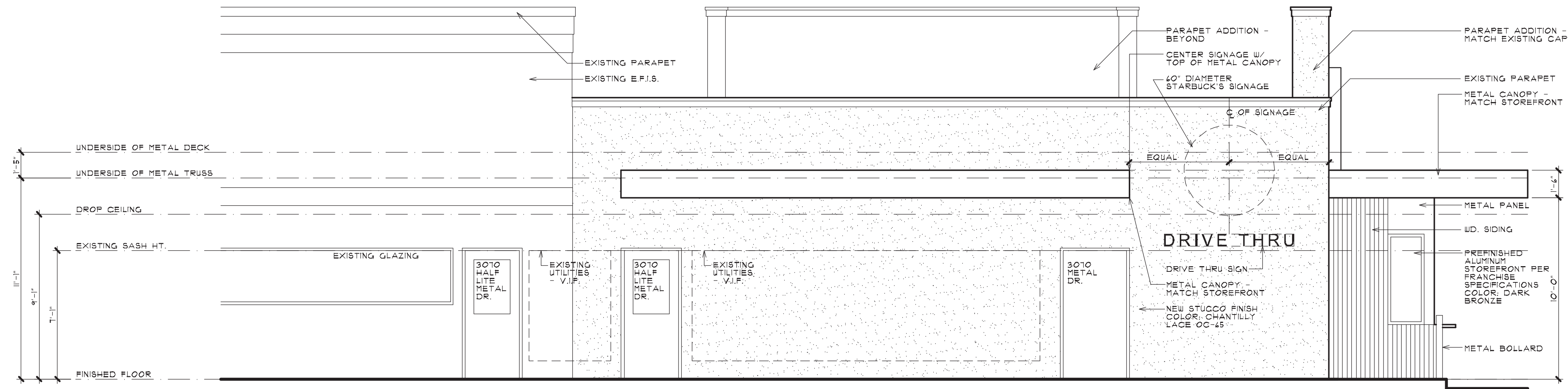
**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN - PLANNING - INTERIORS  
 BIRMINGHAM, MICHIGAN  
 BRIANNEEPER.COM  
 248.259.1784

**PROPOSED FIRST FLOOR PLAN**

**TROY SPORTS CENTER LLC**  
 COMMERCIAL RENOVATION  
 1735 E. BIG BEAVER SUITE A  
 TROY, MICHIGAN

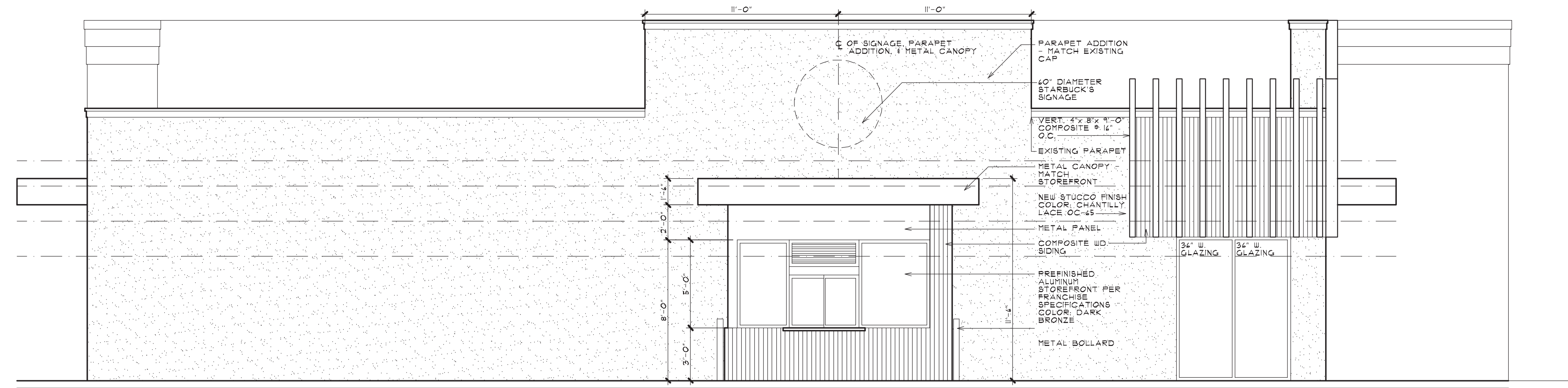
PRELIMINARY	02-03-24
SPA	02-21-24
PERMITS	
FINAL	
REVISIONS	
COPYRIGHT © 2023 BRIAN NEEPER ARCHITECTURE P.C. JOB NUMBER: 23062 DRAWN BY: BN / EAF CHECKED BY: SHEET NUMBER: <b>A-2</b>	





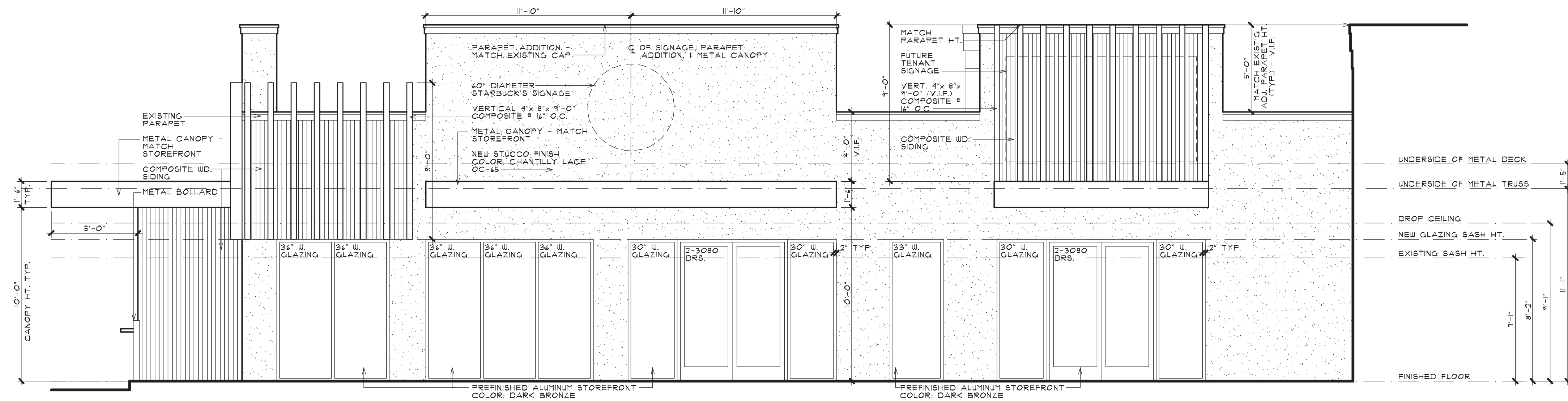
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN - PLANNING - INTERIORS  
 1735 E. BIG BEAVER SUITE A  
 BIRMINGHAM, MICHIGAN  
 BRIANNEEPER.COM  
 248.259.1784

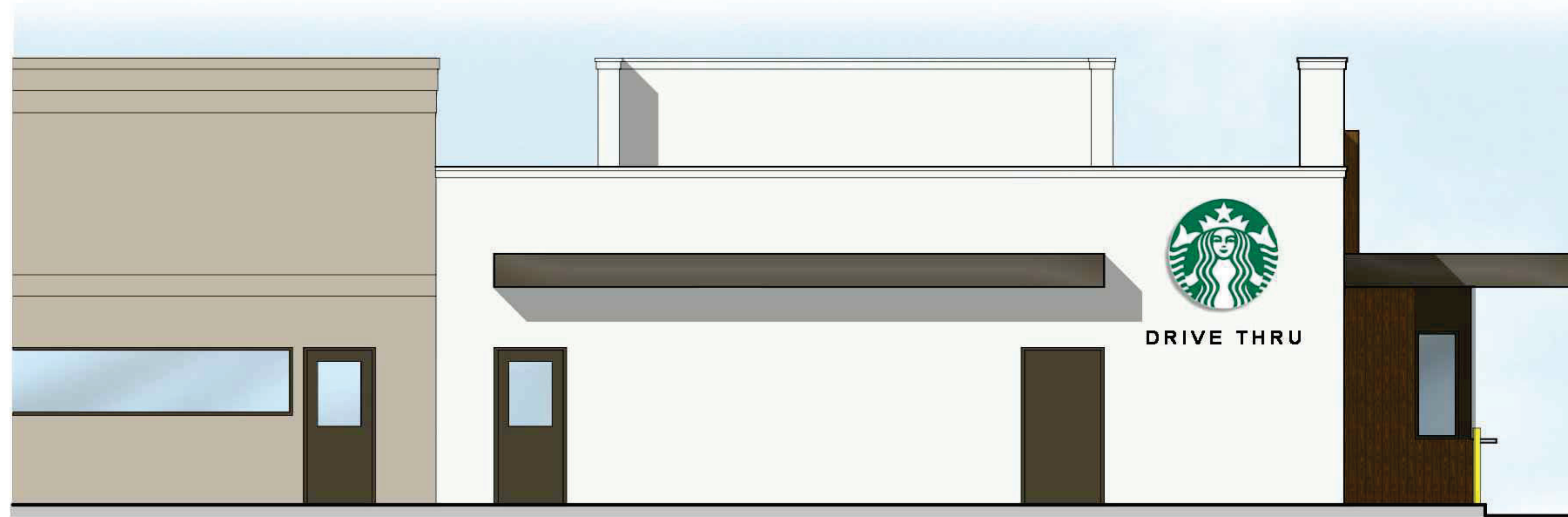
SHEET TITLE  
**PROPOSED ELEVATIONS**

CLIENT / PROJECT  
**TROY SPORTS CENTER LLC**  
**COMMERCIAL RENOVATION**  
 1735 E. BIG BEAVER SUITE A  
 TROY, MICHIGAN

PRELIMINARY	02-03-24
SPA	02-21-24
PERMITS	
FINAL	
REVISIONS	
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**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**BRIAN NEEPER ARCHITECTURE P.C.**  
 DESIGN · PLANNING · INTERIORS  
 1735 E. BIG BEAVER SUITE A  
 TROY, MICHIGAN 48063  
 BRIANNEEPER.COM  
 248.259.1784

SHEET TITLE  
**RENDERED ELEVATIONS**

CLIENT / PROJECT  
**TROY SPORTS CENTER LLC**  
 COMMERCIAL RENOVATION  
 1735 E. BIG BEAVER SUITE A  
 TROY, MICHIGAN

PRELIMINARY	02-03-24
SPA	02-21-24
PERMITS	
FINAL	
REVISIONS	

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 ARCHITECTURE P.C.  
 JOB NUMBER 23062  
 DRAWN BY BN / EAF  
 CHECKED BY  
 SHEET NUMBER  
**A-4**



6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District

DATE: July 12, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

The petitioner Troy Sports Center, LLC. submitted the above referenced Preliminary Site Plan application for a 118-unit townhome development. The property is currently zoned MF (Multi-Family) Zoning District. Two-story attached residential units are permitted by right in the MF district. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The Planning Commission considered this item on May 14, 2024 and postponed the item so the applicant could provide a circulation plan and re-evaluate architectural design. On June 25, 2024 the Planning Commission discussed a Circulation Plan for this project, including the proposed Starbucks drive-through to the south.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Minutes from May 14, 2024 Planning Commission Regular meeting (excerpt).
3. Minutes from June 25, 2024 Planning Commission Regular meeting (excerpt).
4. Report prepared by Carlisle/Wortman Associates, Inc.
5. Preliminary site plan

G:\SITE PLANS\SP\_JPLN2023-0028\_JOHN R COMMONS TOWNHOME DEVELOPMENT\PC Memo 2024 07 23.docx

**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Gardens Townhome Development, East side of John R, north of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

**Resolution # PC-2024-07-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed John R Gardens Townhome Development, located on the East side of John R, North of Big Beaver, Section 23, Zoned MF (Multi-Family Residential) District, be granted, subject to applicant the following:

\_\_\_\_\_ ) or

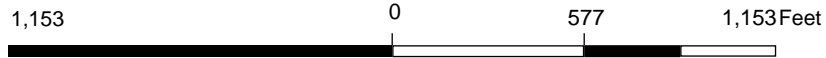
(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

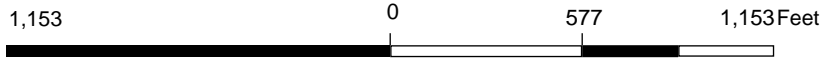
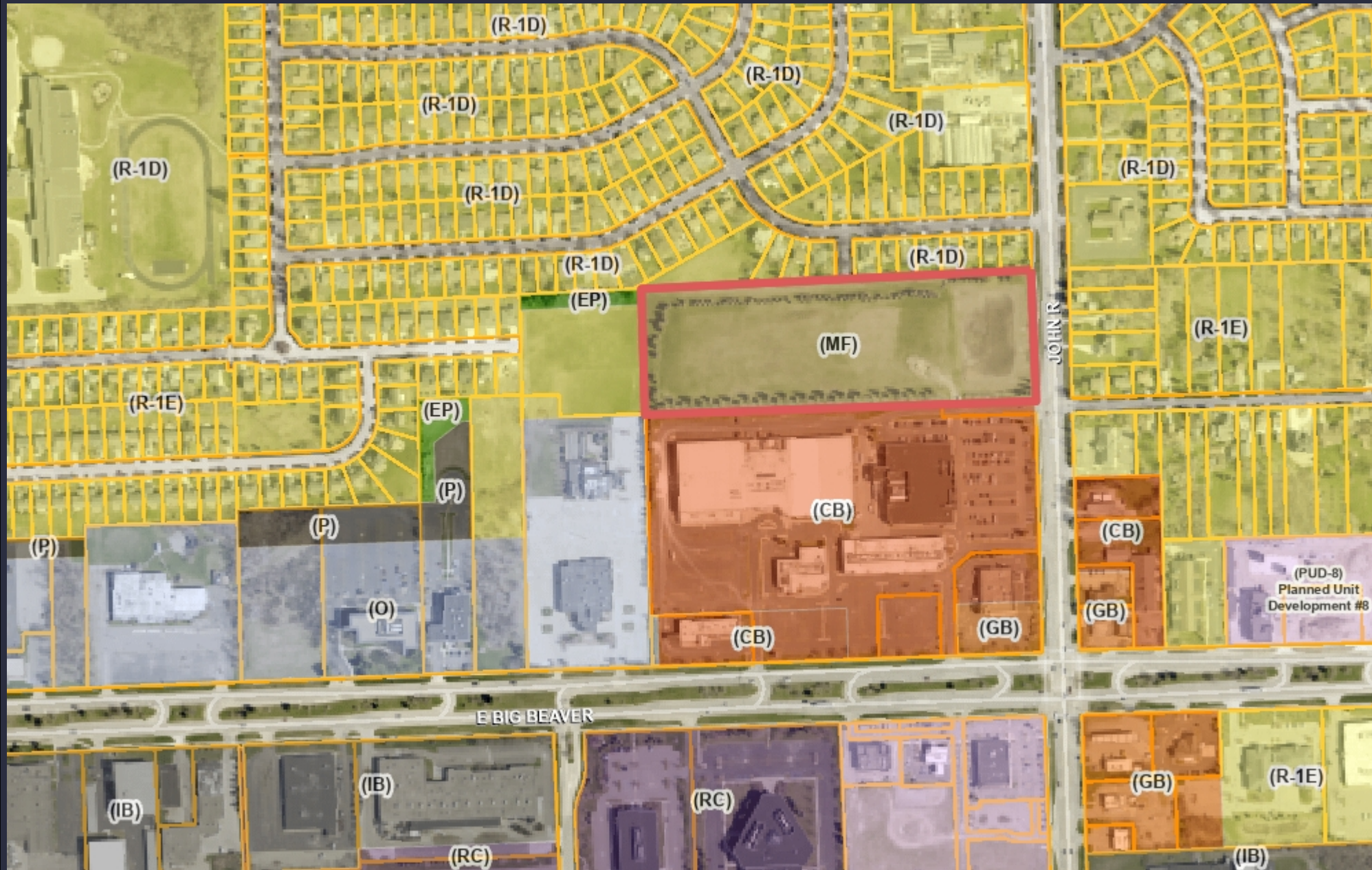
Yes:

No:

**MOTION CARRIED/FAILED**



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:02pm on May 14, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Marianna Perakis
- John J. Tagle

Absent:

- Lakshmi Malalahalli

Also Present:

- R. Brent Savidant, Community Development Director
- Ben Carlisle, Carlisle Wortman Associates
- Allan Motzny, Assistant City Attorney
- Jackie Ferencz, Planning Department staff

2. APPROVAL OF AGENDA

**Resolution # PC-2024-05-22**

- Moved by: Fox
- Support by: Tagle

**RESOLVED**, To approve agenda as prepared.

- Yes: All present (8)
- Absent: Lakshmi Malalahalli

**MOTION CARRIED**

3. APPROVAL OF MINUTES – April 23, 2024

**Resolution # PC-2024-05-23**

- Moved by: Lambert
- Support by: Buechner

**RESOLVED**, To approve the minutes of April 23, 2024 Regular meeting as submitted.

- Yes: All present (8)
- Absent: Lakshmi Malalahalli

**MOTION CARRIED**

**PRELIMINARY SITE PLAN APPROVAL**

- 7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District.

Mr. Carlisle presented on Proposed John R Commons Townhome Development project

Applicants Greg Bono, PEA Group; Dennis Bostick, Troy Sports Center LLC; Greg Neeper, Brian Neeper Architecture, spoke on application.

Chair Perakis opened Public Comment

Chair Perakis closed Public Comment

Planning Commission Discussion

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed John R Gardens Townhome Development, located on the East side of John R, North of Big Beaver, Section 23, Zoned MF (Multi-Family Residential) District, be postponed for the following reasons:

Applicant to revisit:

- a circulation plan
- re-evaluate architectural design

**Resolution # PC-2024-05-26**

Moved by: Fox  
Seconded by: Tagle

Yes: All (8)  
Absent: Lakshmi Malalahalli

MOTION CARRIED

**OTHER ITEMS**

- 8. PUBLIC COMMENT – For Items on the Agenda
- 9. PLANNING COMMISSION COMMENT
- 10. ADJOURN



The Regular meeting of the Planning Commission adjourned at 9:22 p.m.

Respectfully submitted,



\_\_\_\_\_  
Marianna J. Perakis, Chair



\_\_\_\_\_  
Jackie Ferencz, Planning Department Staff

G:\PLANNING COMMISSION MINUTES\2024 PC MINUTES\DRAFT\2024 05 14 FINAL.docx

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on June 25, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

Toby Buechner  
Carlton M. Faison  
Michael W. Hutson  
Tom Krent  
David Lambert  
Lakshmi Malalahalli  
Marianna Perakis  
John J. Tagle

Absent:

Tyler Fox

Also Present:

Ben Carlisle, Carlisle Wortman & Associates  
R. Brent Savidant, Community Development Director  
Salim Huerta Jr., Commercial Project Collaborator  
Julie Quinlan Dufrane, Assistant City Attorney  
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-06-036**

Moved by: Faison  
Support by: Buechner

**RESOLVED**, To approve the agenda as prepared.

Yes: All present (8)  
Absent: Fox

**MOTION CARRIED**

3. APPROVAL OF MINUTES – June 11, 2024

**Resolution # PC-2024-06-037**

Moved by: Buechner  
Support by: Lambert

**RESOLVED**, To approve the minutes of June 11, 2024 Regular meeting as submitted.

Discussion on the motion on the floor.

Mr. Lambert said he is pleased that a cricket field, a much-desired recreational amenity for the City and its nearby communities, is moving forward.

Vote on the motion on the floor.

Yes: All present (8)  
 Absent: Fox

**MOTION CARRIED**

6. CIRCULATION PLAN DISCUSSION – Proposed John R Commons Townhome Development (JPLN2023-0028) and Starbucks with Drive-through (JPLN2021-024), West of John R, North of Big Beaver, Section 23

Mr. Savidant briefly introduced the proposed townhome development and Starbucks application that the Planning Commission considered at their May 14, 2024 meeting. He stated the circulation plan is for discussion only and the Planning Commission would take no action this evening.

Present were James Butler of PEA Group and City Traffic Consultant Stephen Dearing of OHM Advisors.

Mr. Butler reviewed the reconfiguration of the traffic circulation plan to maneuver traffic to the southwest corner where the Starbucks drive-through is proposed.

Mr. Dearing said the circulation plan is a significant improvement, one that makes the best of an existing circulation configuration that has evolved over time. He recommended approval of the proposed circulation plan.

There was discussion on:

- Bumped out island; extend one parking space.
- Closing off nearest, southern-most drive aisle (north/south) to drive-through.
- Location of trash dumpster.
- Overall landscaping, center aisles, parking lot trees.
- Provide pedestrian pathway on west side.
- Construction/traffic pattern challenges with existing power line.
- Turning curve at beginning of Starbucks drive-through.
- Overall circulation to accommodate existing retail and ice arena.
- Resurfacing existing parking lot to the north.
- Signage to direct traffic to Starbucks drive-through and Big Beaver exit.

*Discussion points for consideration by applicant.*

- Push “bumped out island” further (one parking space).
- Signage to direct traffic to drive-through and Big Beaver exit.
- Delineation (via landscaping) of Starbucks from ice arena/retail area.
- Provide striped pedestrian crossing within drive-through aisle.
- Consideration of closing off nearest, southern-most drive aisle (north/south) to drive-through.
- Consideration to eliminate three-way traffic pattern(s) for public safety.
- Provide pedestrian pathway on west side.

Chair Perakis cited Zoning Ordinance Article 14.01, C.4 and C.5, Non-Conforming Lots, Uses and Structures.

**OTHER ITEMS**

7. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments.

9. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 8:34 p.m.

Respectfully submitted,

\_\_\_\_\_  
Marianna J. Perakis, Chair

\_\_\_\_\_  
Kathy L. Czarnecki, Recording Secretary



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

---

**To:** Troy Planning Commission

**From:** Ben Carlisle, AICP

**Date:** July 15, 2024

**RE:** NW Corner of Big Beaver and John R. (Troy Commons)

---

At the May 14, 2024 meeting, the Planning Commission reviewed a proposed Starbucks and a new multiple family development (John R. Commons). Both developments are under the same ownership and located at the NW corner of Big Beaver and John R.

John R. Townhomes was continued for the following reasons:

1. Troy Sports Center Circulation Improvements

The applicant has proposed to make onsite circulation improvements to the Troy Sports Center parking lot. These improvements include:

- Reconfigured access to the Starbucks drive-through; and
- Added a cut-through through the west side of the main drive-aisle of the Troy Sports Center parking lot.

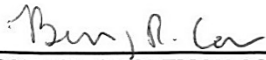
A detailed review of the site circulation plan is provided by OHM. The Planning Commission discussed the site circulation at their June 25<sup>th</sup> meeting.

2. Reevaluate Architectural Design. The applicant has a revised architectural design. For Building A, the applicant has added some additional windows and roof elements. For Building B, the applicant has changed the color scheme, and added larger windows.

I look forward to meeting with you all at your July 23, 2024 meeting.

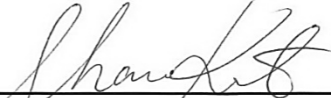
NW Corner of Big Beaver and John R. (Starbucks)  
July 15, 2024

Sincerely,



---

**CARLISLE/WORTMAN ASSOC., INC.**  
Benjamin R. Carlisle, AICP, LEED AP  
President



---

**CARLISLE/WORTMAN ASSOC., INC.**  
Shana Kot  
Community Planner

RECEIVED

AUG 18 2023

PLANNING

# CITY OF TROY PRELIMINARY SITE PLAN APPLICATION

CITY OF TROY PLANNING DEPARTMENT  
500 W. BIG BEAVER  
TROY, MICHIGAN 48084  
248- 524-3364  
FAX: 248-524-3382  
E-MAIL: [planning@troymi.gov](mailto:planning@troymi.gov)



PRELIMINARY SITE PLAN REVIEW FEE  
**\$1,000.00**  
ESCROW FEE  
**\$1,500.00**  
ADMINISTRATIVE SITE PLAN REVIEW FEE  
**\$300.00**  
SITE PLAN RENEWAL (BEFORE EXPIRATION)  
**\$500.00**  
FINAL SITE PLAN REVIEW  
**\$100.00**

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE PRELIMINARY SITE PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

- 1. NAME OF THE PROPOSED DEVELOPMENT: John R Commons Townhome Development
- 2. ADDRESS OF THE SUBJECT PROPERTY: none - vacant land
- 3. ZONING CLASSIFICATION OF THE SUBJECT PROPERTY: MF Multi-Family Residential
- 4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-23-476-017
- 5. DESCRIPTION OF PROPOSED USE: Multi-Family Residential Townhomes

6. APPLICANT:	PROPERTY OWNER:
NAME <u>Dennis Bostick</u>	NAME <u>Dennis Bostick</u>
COMPANY <u>Troy Sports Center, LLC</u>	COMPANY <u>Troy Sports Center, LLC</u>
ADDRESS <u>1819 East Big Beaver Rd.</u>	ADDRESS <u>1819 East Big Beaver Rd.</u>
CITY <u>Troy</u> STATE <u>MI</u> ZIP <u>48083</u>	CITY <u>Troy</u> STATE <u>MI</u> ZIP <u>48083</u>
TELEPHONE <u>(248) 709 - 4001</u>	TELEPHONE <u>(248) 709 - 4001</u>
E-MAIL <u>dennisbostick@att.net</u>	E-MAIL <u>dennisbostick@att.net</u>

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:  
same

8. SIGNATURE OF APPLICANT *Dennis Bostick* DATE 8-18-23

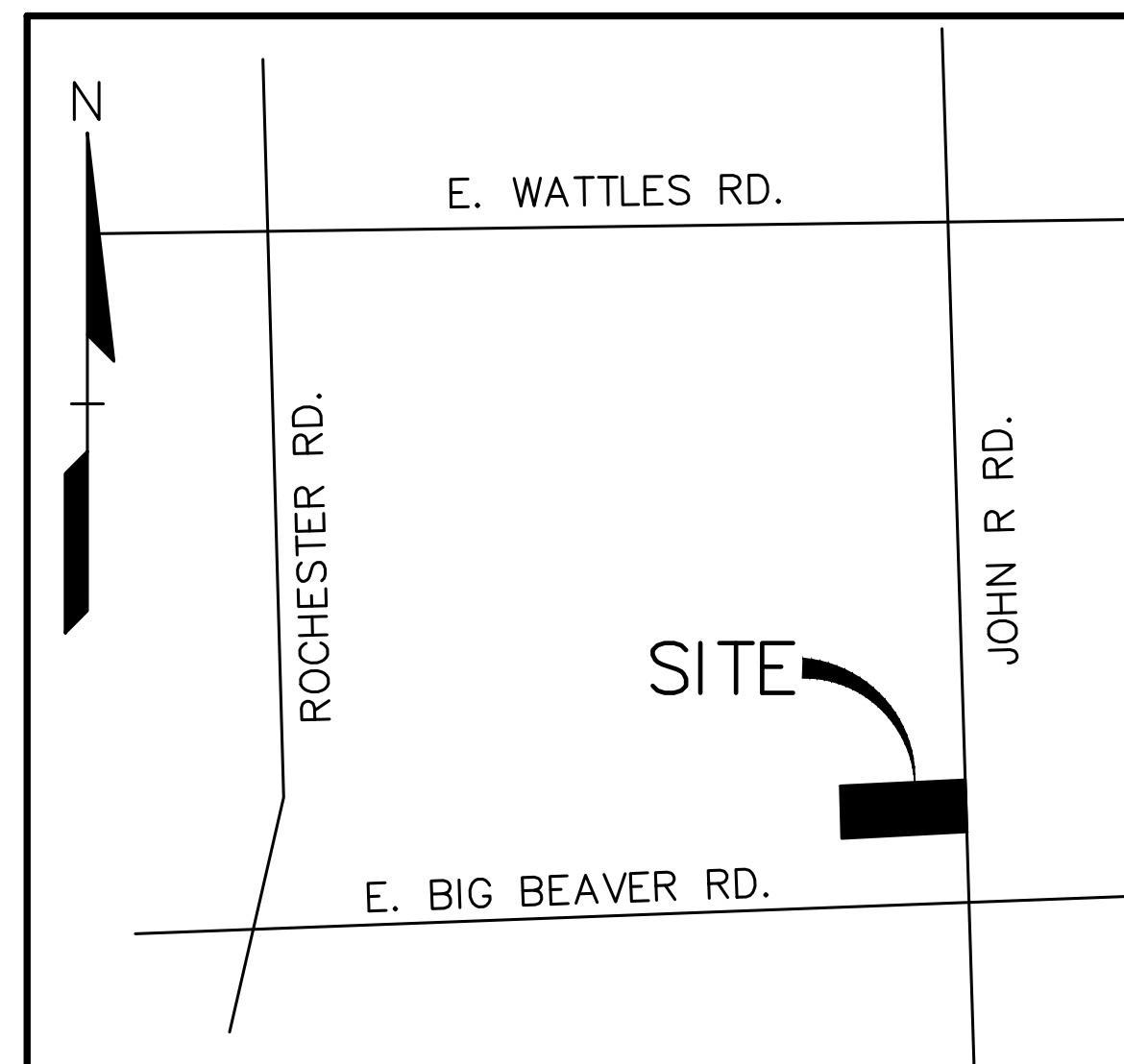
9. SIGNATURE OF PROPERTY OWNER *Dennis Bostick* DATE 8-18-23

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PRELIMINARY SITE PLAN.

PRELIMINARY SITE PLANS

# JOHN R COMMONS TOWNHOME DEVELOPMENT

PART OF THE SOUTHEAST 1/4  
OF SECTION 23, T.2N, R.11E  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP  
NO SCALE



DESIGN TEAM

<b>OWNER/APPLICANT/DEVELOPER</b>	<b>CIVIL ENGINEER</b>
TROY SPORTS CENTER, LLC & JSD REAL ESTATE, LLC 1819 EAST BIG BEAVER ROAD TROY, MI 48063 CONTACT: DENNIS BOSTICK PHONE: 248.709.4001 EMAIL: DENNISBOSTICK@ATT.NET	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: GREG BONO, PE PHONE: 844.813.2949 EMAIL: GBONO@PEAGROUP.COM
<b>ARCHITECT</b>	<b>LANDSCAPE ARCHITECT</b>
BRIAN NEEPER ARCHITECTURE P.C. 630 N. OLD WOODWARD SUITE 203 BIRMINGHAM, MI 48009 CONTACT: BRIAN NEEPER PHONE: 248.259.1784	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JEFF SMITH, PLA, LEED AP PHONE: 844.813.2949 EMAIL: JSMITH@PEAGROUP.COM

INDEX OF DRAWINGS	
NUMBER	TITLE
C-0.0	COVER SHEET
C-1.1	TOPOGRAPHIC SURVEY
C-1.2	TOPOGRAPHIC SURVEY
C-2.0	OVERALL SITE PLAN
C-2.1	PRELIMINARY SITE PLAN
C-2.2	PRELIMINARY SITE PLAN
C-3.1	PRELIMINARY GRADING PLAN
C-3.2	PRELIMINARY GRADING PLAN
C-4.1	PRELIMINARY UTILITY PLAN
C-4.2	PRELIMINARY UTILITY PLAN
C-5.0	NOTES AND DETAILS
L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	PRELIMINARY LANDSCAPE PLAN - WEST
L-1.2	PRELIMINARY LANDSCAPE PLAN - EAST
L-1.3	LANDSCAPE DETAILS
L-1.4	SITE AMENITY DETAILS
T-1.0	TREE SURVEY PLAN - WEST
T-1.1	TREE SURVEY PLAN - EAST
T-1.2	EXISTING TREE LIST
SL-1.0	LIGHTING PLAN
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A-2A	BUILDING FIRST & SECOND FLOOR PLANS - 5 UNIT
A-3A	BUILDING ROOF PLAN - 5 UNIT
A-4A	BUILDING FOUNDATION PLAN - 6 UNIT
A-5A	BUILDING FIRST & SECOND FLOOR PLAN - 6 UNIT
A-6A	BUILDING ROOF PLAN - 6 UNIT
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A-8A	BUILDING ELEVATIONS - 6 UNIT
A-9A	DWELLING UNIT PLANS
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A-12A	INTERIOR WALL SECTIONS
A-13A	RENDERED FRONT ELEVATION
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A-2B	BUILDING FIRST & SECOND FLOOR PLANS - 6 UNIT
A-3B	BUILDING ROOF PLAN - 6 UNIT
A-4B	BUILDING ELEVATIONS - 6 UNIT
A-5B	DWELLING UNIT PLANS
A-6B	UNIT ELEVATIONS
A-7B	BUILDING SECTION & EXTERIOR WALL SECTIONS
A-8B	INTERIOR WALL SECTIONS
A-9B	RENDERED FRONT ELEVATIONS

REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	8/18/2023
SPA COMMENTS	11/8/2023
SPA COMMENTS	3/1/2024
SPA/PC COMMENTS	5/3/2024
SPA/PC COMMENTS	7/12/2024



NOT FOR CONSTRUCTION

PEA GROUP JOHN R COMMONS TOWNHOME DEVELOPMENT | PEA JOB NO. 2018-0034 | PRELIMINARY SITE PLANS





0 20 40 80  
SCALE: 1" = 40'



**CAUTION!**  
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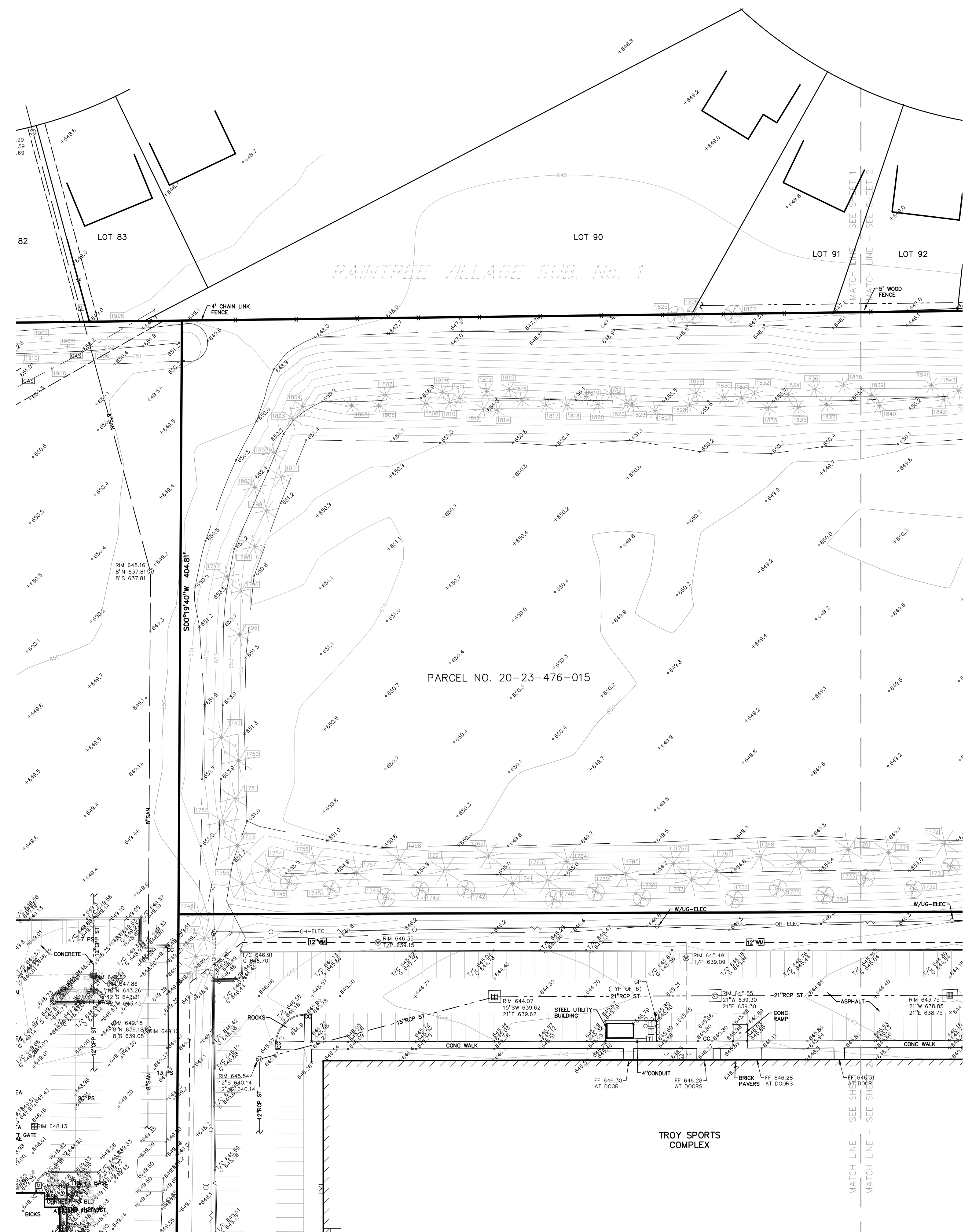
CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023  
DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	



**LEGAL DESCRIPTION (20-23-476-015)**  
(Per City of Troy Assessing)  
T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR, TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR, TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

**BENCHMARKS**  
(GPS DERIVED - NAVD88)  
**BM #300**  
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
ELEV. - 648.05  
**BM #301**  
NAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.  
ELEV. - 648.13  
**BM #302**  
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.  
ELEV. - 647.09

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0553C, DATED JANUARY 16, 2009.

NOT FOR CONSTRUCTION **C-1.1**

S:\PROJECTS\2018\2018-04 JOHN R COMMONS-PEB\COMPLETE PLANS(C-1.0) TOPO-BROADWAY PLOT DATE: 7/2/2024 BY:Vivian\_Szymanski



0 20 40 80  
SCALE: 1" = 40'



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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

**LEGAL DESCRIPTION (20-23-476-015)**  
(Per City of Troy Assessing)  
T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT FOR LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR, TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR, TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

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ELEV. - 647.09

**FLOODPLAIN NOTE:**  
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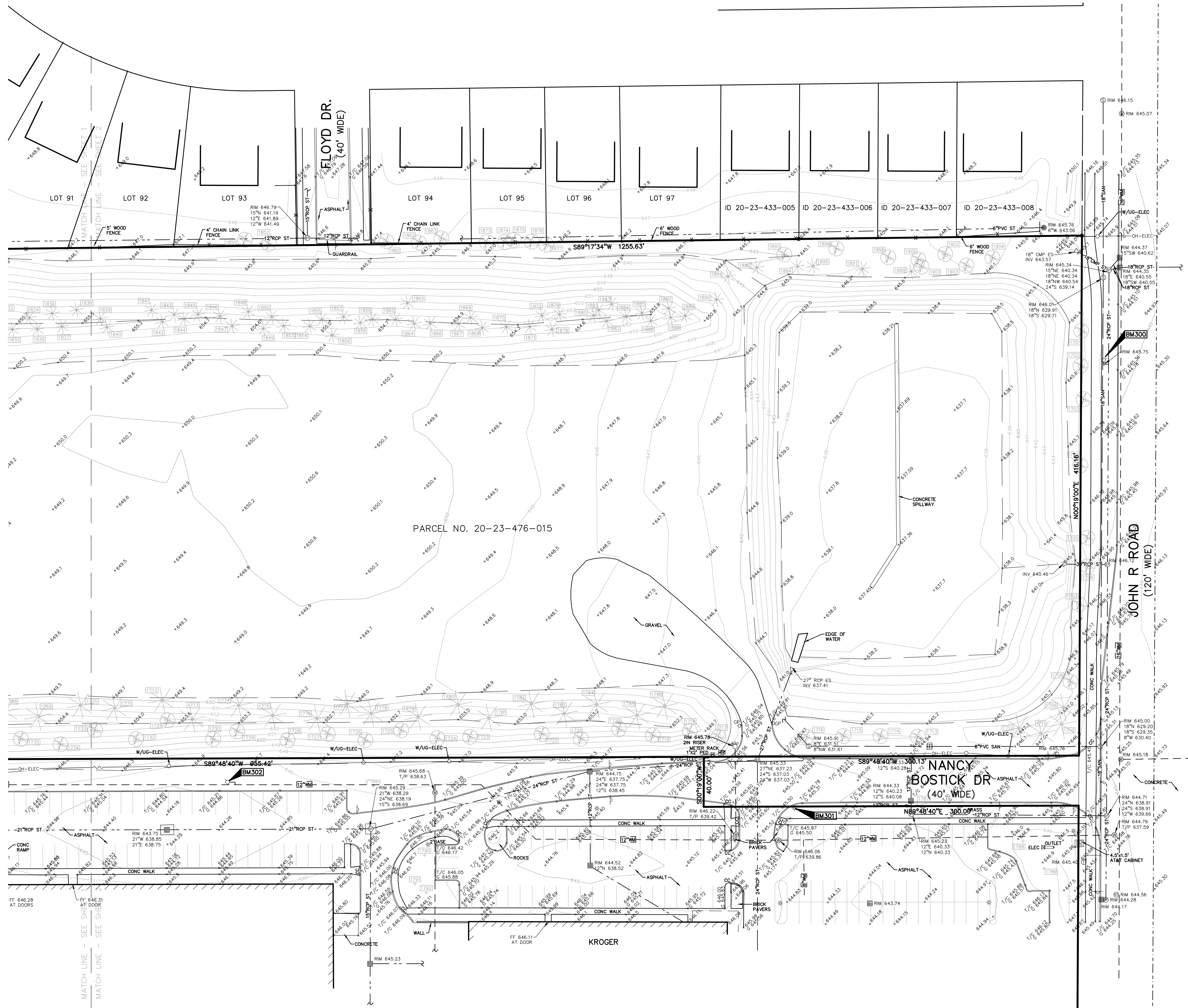
REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

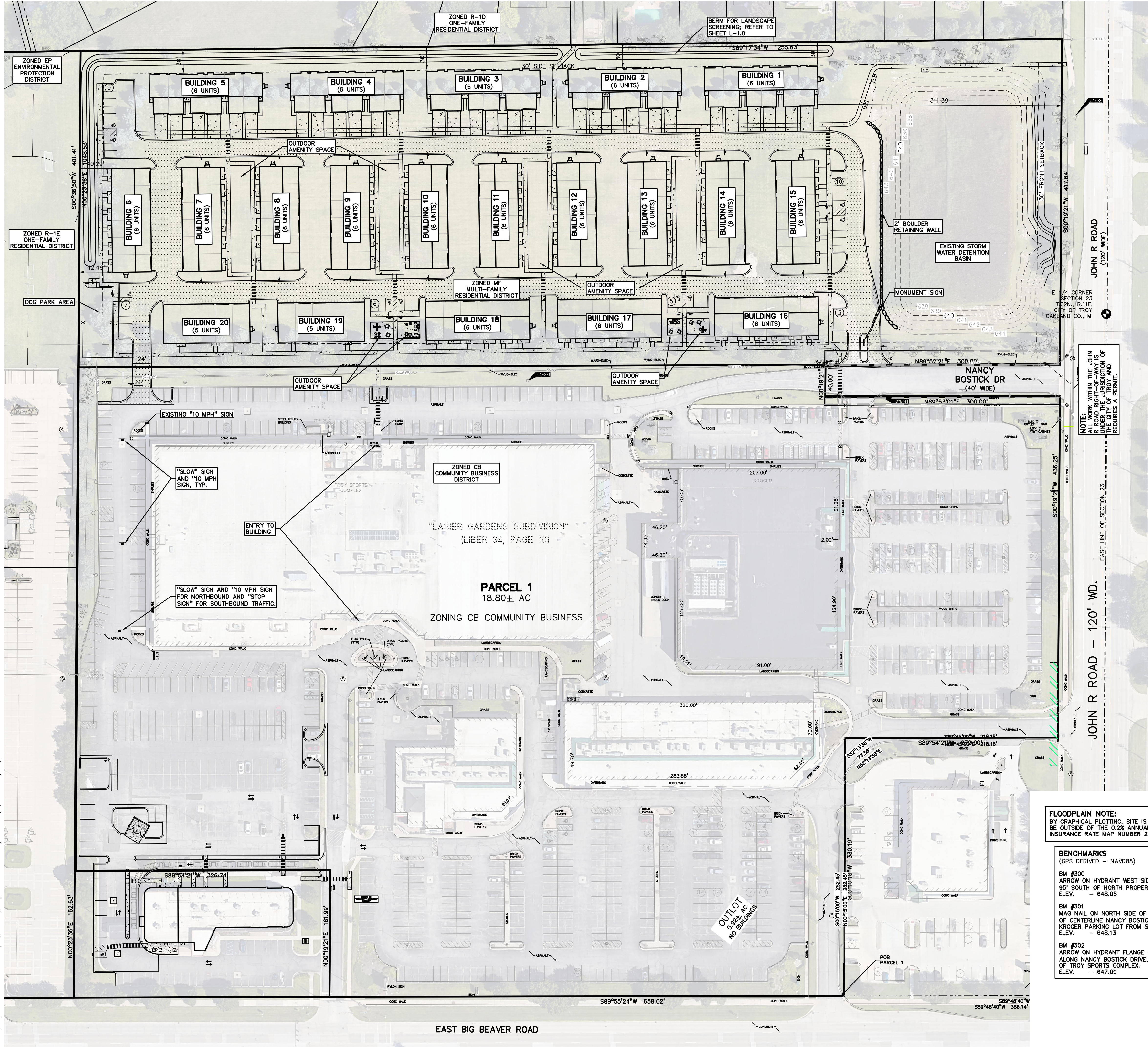
DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-1.2**



S:\PROJECTS\2018\2018-04 JOHN R COMMONS-TP (COMPLETE PLANS)-C-1.0 TOPO-BROADWAY PLOT DATE: 7/2/2024 BY:Vivian\_Szymanski



**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN
[Symbol]	LIGHT POLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

**SITE DATA TABLE:**

SITE AREA: 11.86 AC (516,625 SF) NET AND GROSS  
 ZONING: MF, (MULTI-FAMILY RESIDENTIAL)  
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL (118-UNIT DEVELOPMENT)

**BUILDING INFORMATION:**  
 BUILDING HEIGHT = 25 FEET (2 STORIES)  
 BUILDING TYPE A (FRONT GARAGE) = 7,233 SF  
 BUILDING TYPE B (6-UNIT REAR GARAGE) = 6,633 SF  
 BUILDING TYPE C (5-UNIT REAR GARAGE) = 5,533 SF

MAXIMUM BUILDING LOT COVERAGE = 35%  
 PROPOSED BUILDING LOT COVERAGE:  
 = 7,233 x 5 + 6,633 x 13 + 5,533 x 2  
 = 133,465 SF = 25.83%

**SETBACK REQUIREMENTS:**

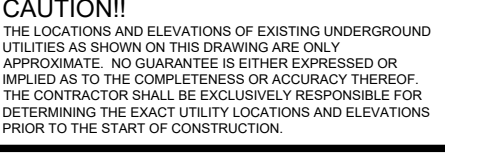
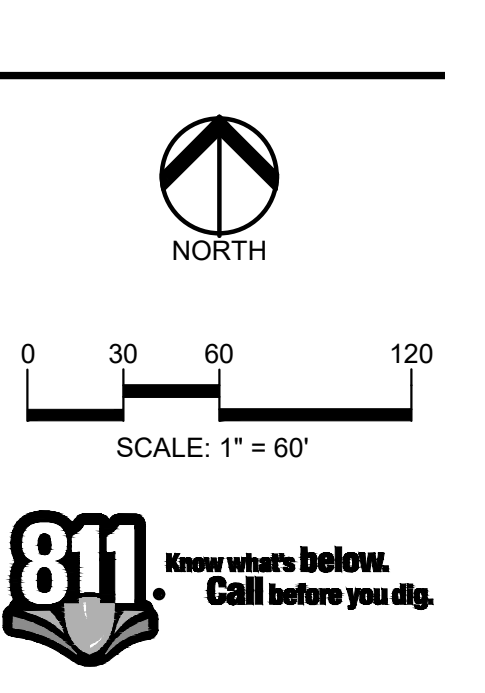
REQUIRED	PROPOSED
FRONT SETBACK (EAST): 30 FEET	311.39 FEET
SIDE SETBACK (NORTH): 30 FEET	30 FEET
REAR SETBACK (WEST): 30 FEET	40.29 FEET

**PARKING CALCULATIONS:**  
 MULTI-FAMILY RESIDENTIAL = 2 SPACES PER DWELLING UNIT  
 PARKING REQUIRED:  
 = 118 UNITS \* 2 SPACES/UNIT = 236 SPACES

**PARKING PROVIDED:**

BUILDINGS 1-5:	12 GARAGE SPACES x 5 = 60 SPACES
12 DRIVEWAY SPACES x 5	= 60 SPACES
BUILDINGS 6-20:	12 GARAGE SPACES x 13 = 156 SPACES
10 GARAGE SPACES x 2	= 20 SPACES
GUEST PARKING:	SURFACE SPACES = 40 SPACES
TOTAL PARKING PROVIDED:	336 SPACES

**RECREATION SPACE:**  
 MULTI-FAMILY RESIDENTIAL = 450 SF PER DWELLING UNIT  
 REQUIRED:  
 = 118 UNITS \* 450 SF/UNIT = 53,100 SF  
 PROVIDED:  
 = 59,045 SF (WALKS, PICNIC AREAS, AND MISC. OPEN SPACE)



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CLIENT  
**TROY SPORTS CENTER, LLC**  
 1819 EAST BIG BEAVER ROAD  
 TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
 PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E, TROY, OAKLAND COUNTY, MI

**REVISIONS**

SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPAPC COMMENTS	5/3/24
SPAPC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
 AUGUST 18, 2023

DRAWING TITLE  
**OVERALL SITE PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

- GENERAL NOTES:**  
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - REFER TO SHEET C-5.0 FOR ON-SITE PAVING DETAILS.
  - REFER TO SHEET C-5.0 FOR ON-SITE SIDEWALK RAMP DETAILS.
  - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TROY CURRENT STANDARDS AND REGULATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
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 (GPS DERIVED - NAVD88)

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 ELEV. - 648.05

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 ELEV. - 647.09

**LEGAL DESCRIPTION (20-23-476-015)**  
 (Per City of Troy Assessing)

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**NOTES:**  
 TRASH WILL BE COLLECTED USING WEEKLY PICKUP SERVICE.

**NOTES:**  
 BICYCLE PARKING WILL BE PROVIDED WITHIN GARAGES.

**NOT FOR CONSTRUCTION C-2.0**

S:\PROJECTS\2024\JOHN R COMMONS-TOWNHOME PLANS\C-2.0 OVERALL SITE-BOOKING PLOT DATE: 7/16/2024 BY: Kelly Szegedy

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

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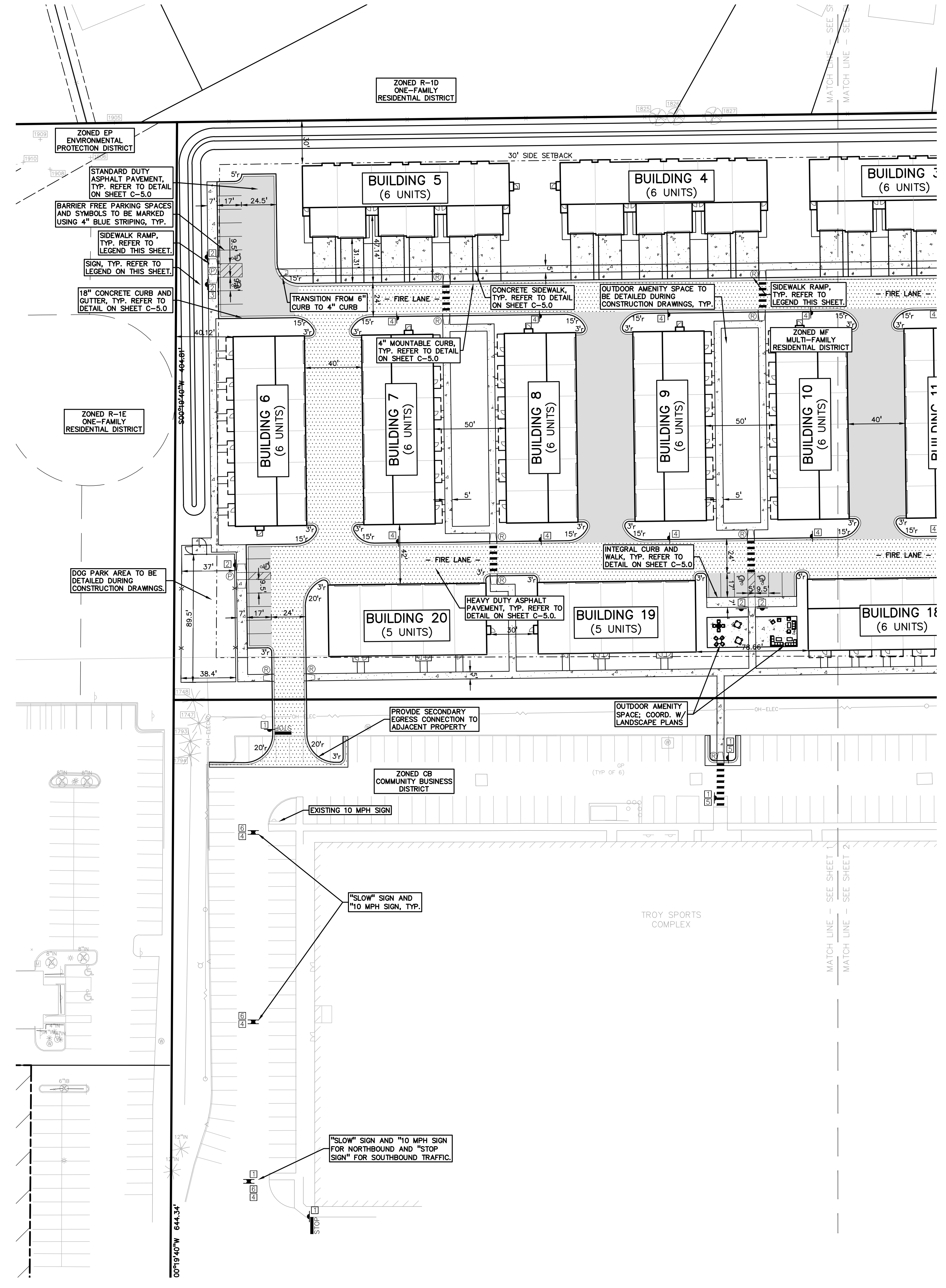
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ELEV. - 647.09

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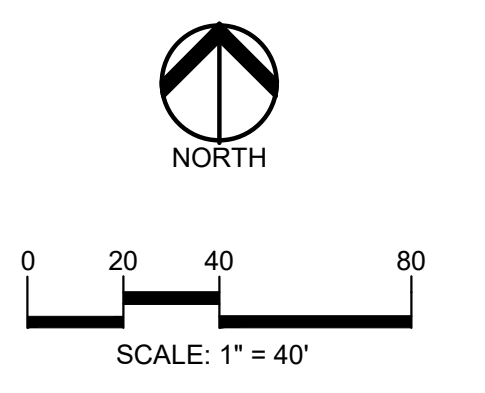


- SIDEWALK RAMP LEGEND:**
- SIDEWALK RAMP 'TYPE R'
  - SIDEWALK RAMP 'TYPE P'
- REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS
- SIGN LEGEND:**
- 'STOP' SIGN
  - 'BARRIER FREE PARKING' SIGN
  - 'VAN ACCESSIBLE' SIGN
  - 'NO PARKING FIRE LANE' SIGN
  - 'CROSSWALK' SIGN
  - 'SLOW' SIGN
  - '10 MPH' SIGN
- REFER TO SHEET C-5.0 FOR SIGN DETAILS

- LEGEND:**
- CONCRETE PAVEMENT
  - ASPHALT PAVEMENT
  - GRAVEL
  - WETLAND
  - CONCRETE CURB AND GUTTER
  - REVERSE GUTTER PAN
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  - SIGN
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  - FENCE
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**811** Know what's below. Call before you dig.

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1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
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PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

**REVISIONS**

SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-2.1**

S:\PROJECTS\2018\018-034 JOHN R COMMONS - PRELIMINARY SITE PLANS\C-2.1 SITE-180034.dwg PLOT DATE: 7/2/2024 8:11:44 AM S:\KING\S2024040

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

BM #300  
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
ELEV. - 648.05

BM #301  
NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.  
ELEV. - 648.13

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ELEV. - 647.09

**LEGAL DESCRIPTION (20-23-476-015)**  
(Per City of Troy Assessing)

T2N, R11E, SEC 23 LASIER GARDENS SUB LOTS 1, 2 & 3 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 4 EXC E 7 FT TAKEN FOR JOHN R RD, ALSO N 96 FT OF LOT 7, ALSO LOTS 8 TO 34 INCL EXC S 49 FT OF LOTS 15, 16, 25 & 26 TAKEN FOR BIG BEAVER RD, ALSO EXC PART OF LOTS 2, 9, 12 & VAC MANHATTAN AVE, DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-40 W 60 FT & N 00-15-00 E 766.33 FT FROM SE SEC COR, TH N 00-15-00 E 40 FT, TH S 89-48-00 W 300 FT, TH S 00-15-00 W 40 FT, TH N 89-48-40 E 300 FT TO BEG, ALSO LOTS 37 TO 40 INCL, ALSO ALL OF VAC MANHATTAN, ALGER, BRONX, BELLINGHAM & WALFORD AVES ADJ TO SAME EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 6, ALSO EXC E 27 FT OF VAC MANHATTAN AVE ADJ TO LOT 7 EXC N 96 FT, ALSO EXC W 1/2 OF VAC BRONX AVE ADJ TO LOT 35, ALSO EXC E 7 FT OF VAC WALFORD AVE, ALSO PART OF LOT 4, PART OF LOT 7 & PART OF VAC MANHATTAN AVE DESC AS BEG AT PT DIST N 00-15-00 E 102 FT & S 89-48-00 W 329.14 FT FROM SE SEC COR, TH S 89-48-40 W 2.86 FT, TH N 00-15-00 E 330 FT, TH N 89-48-40 E 272 FT, TH S 00-15-00 W 4.30 FT, TH N 89-45-00 W 211.18 FT, TH S 52-13-38 W 73.56 FT, TH S 00-15-00 W 282.45 FT TO BEG

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 2612505536, DATED JANUARY 16, 2009.

**SIDEWALK RAMP LEGEND:**

SIDEWALK RAMP 'TYPE R' (Symbol)

SIDEWALK RAMP 'TYPE P' (Symbol)

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**SIGN LEGEND:**

'STOP' SIGN (Symbol)

'BARRIER FREE PARKING' SIGN (Symbol)

'VAN ACCESSIBLE' SIGN (Symbol)

'NO PARKING FIRE LANE' SIGN (Symbol)

'CROSSWALK' SIGN (Symbol)

'SLOW' SIGN (Symbol)

'10 MPH' SIGN (Symbol)

REFER TO SHEET C-5.0 FOR SIGN DETAILS

**LEGEND:**

(Symbol) CONCRETE PAVEMENT

(Symbol) ASPHALT PAVEMENT

(Symbol) GRAVEL

(Symbol) WETLAND

(Symbol) CONCRETE CURB AND GUTTER

(Symbol) REVERSE GUTTER PAN

(Symbol) SETBACK LINE

(Symbol) SIGN

(Symbol) LIGHTPOLE

(Symbol) FENCE

(Symbol) GUARD RAIL

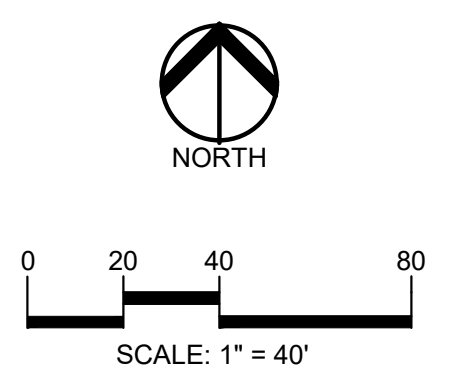
**NOTES:**

BICYCLE PARKING WILL BE PROVIDED WITHIN GARAGES.

TRASH WILL BE COLLECTED USING WEEKLY PICKUP SERVICE.



t: 844.813.2949  
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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E, TROY, OAKLAND COUNTY, MI

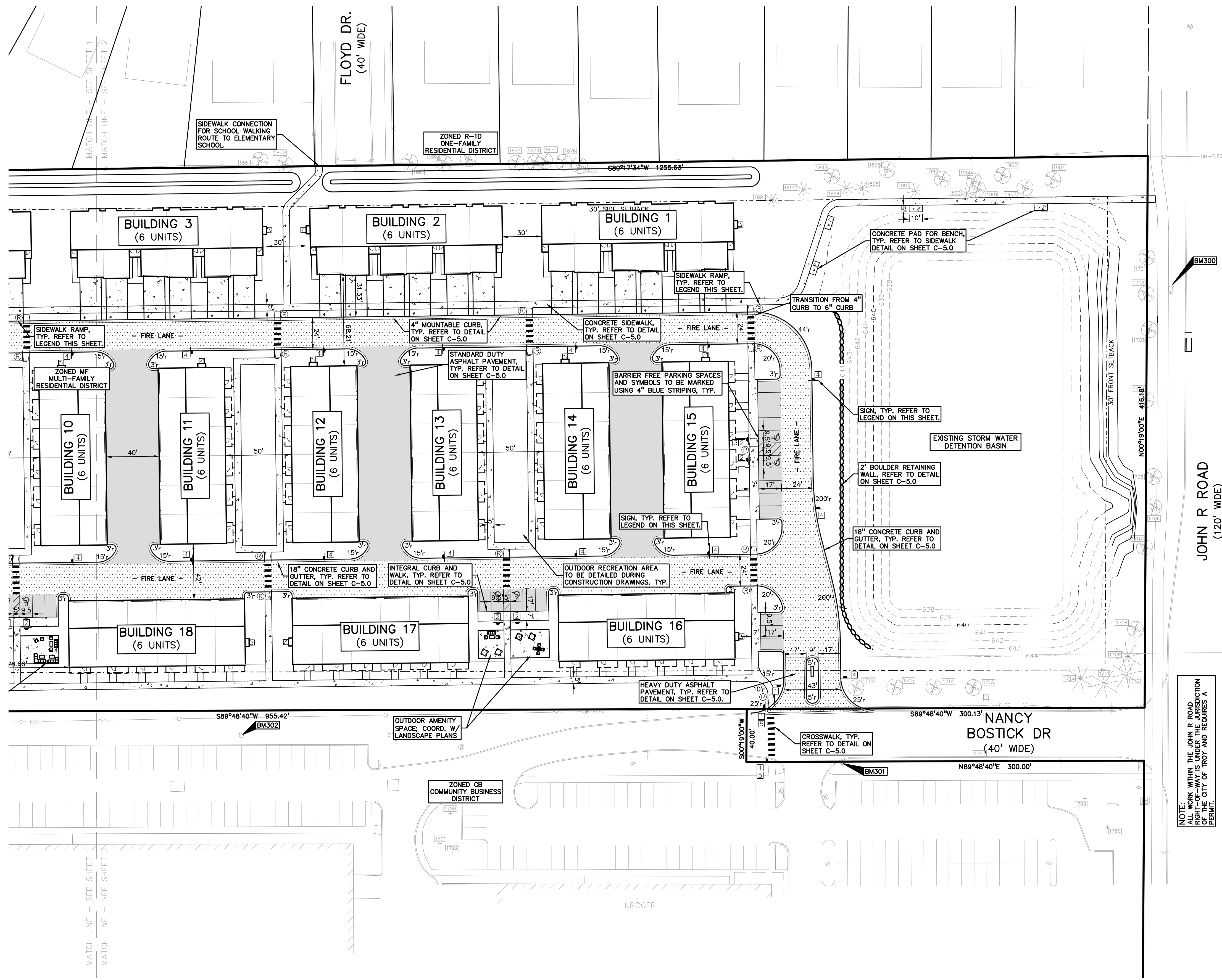
REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-2.2**



S:\PROJECTS\2018\2018-04 JOHN R COMMONS - PRELIMINARY PLANS (C-2.1) 31E-180034.dwg PLOT DATE: 7/2/2024 8:11 AM S:\PEA

NOTE: ALL WORK WITHIN THE JOHN R ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF TROY AND REQUIRES A PERMIT.

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

BM #300  
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
ELEV. = 648.05

BM #301  
MAG NAIL ON NORTH SIDE OF CONCRETE LIGHT POLE BASE 21' SOUTH OF CENTERLINE NANCY BOSTICK DRIVE, AND 29' EAST OF ENTRANCE TO KROGER PARKING LOT FROM SAID DRIVE.  
ELEV. = 648.13

BM #302  
ARROW ON HYDRANT FLANGE 6' NORTH OF B/CURB FOR PARKING ALONG NANCY BOSTICK DRIVE, AND ±80' WEST OF EAST BUILDING LINE OF TROY SPORTS COMPLEX.  
ELEV. = 647.09

**FLOODPLAIN NOTE:**  
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**SIDEWALK RAMP LEGEND:**

SIDEWALK RAMP 'TYPE R' (Symbol: R in a circle)

SIDEWALK RAMP 'TYPE P' (Symbol: P in a circle)

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**SYMBOLS: GRADING**

PROPOSED SPOT GRADE ELEVATION. ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED. (Symbol: 694.50)

PROPOSED CONTOUR LINE (Symbol: 695)

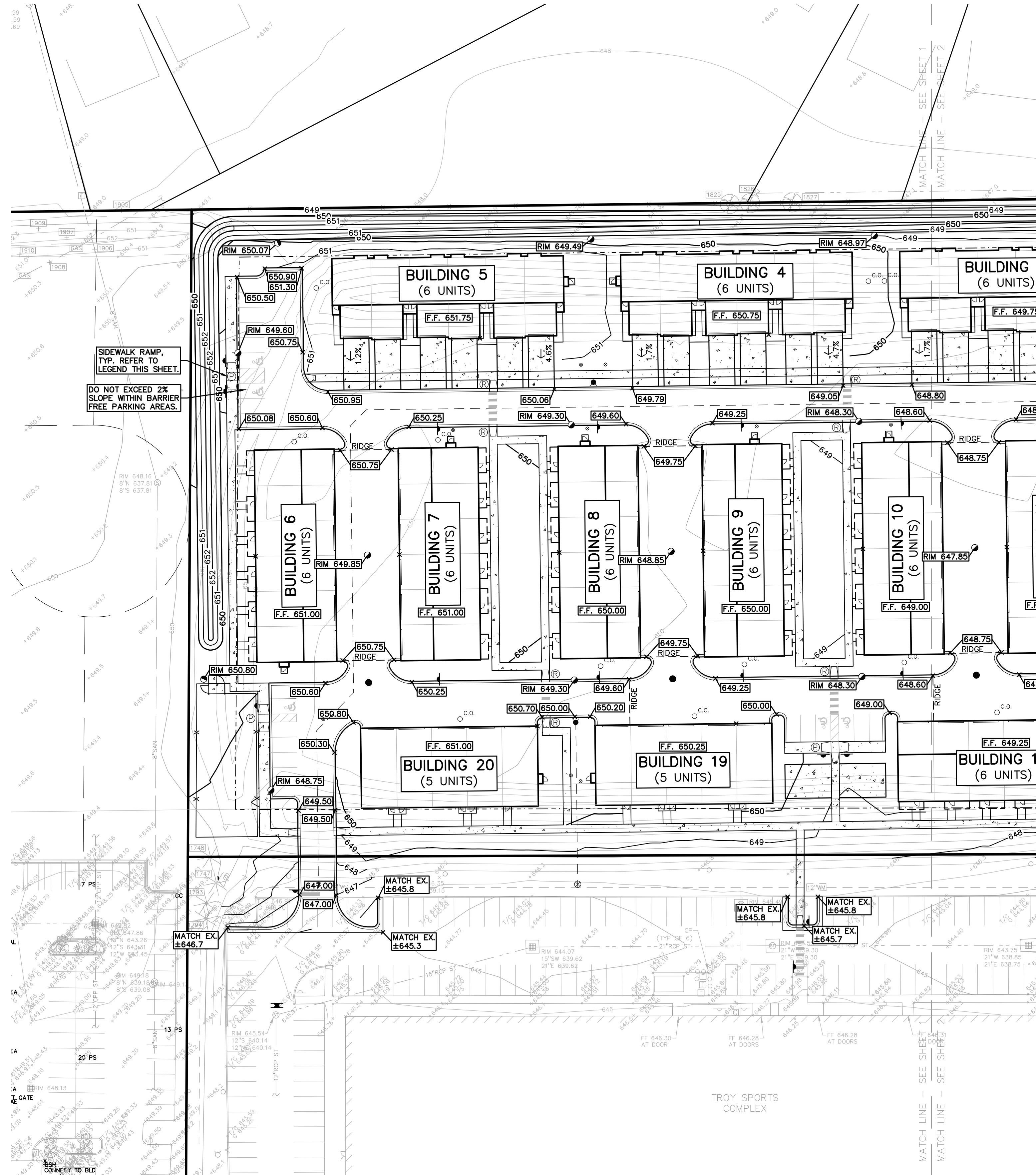
**EARTHWORK BALANCING NOTE:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

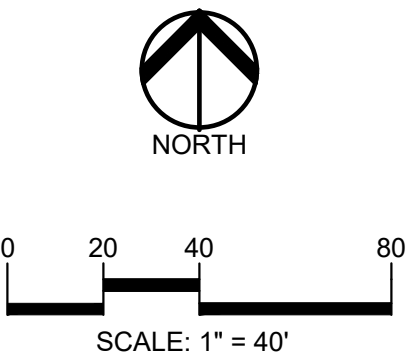
**GENERAL GRADING AND EARTHWORK NOTES:**

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
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- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF TROY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
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- THE DETENTION BASIN SIDE SLOPES AND ALL SLOPE EXCEEDING 1:6 MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PEGGED IN PLACE OVER SEED.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.



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CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-3.1**

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

BM #300  
ARROW ON HYDRANT WEST SIDE JOHN R ROAD 11' OF B/CURB, AND 95' SOUTH OF NORTH PROPERTY LINE OF SITE.  
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ELEV. = 647.09

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SIDEWALK RAMP 'TYPE R'

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PROPOSED CONTOUR LINE

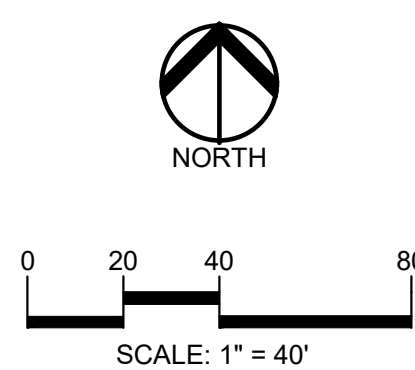
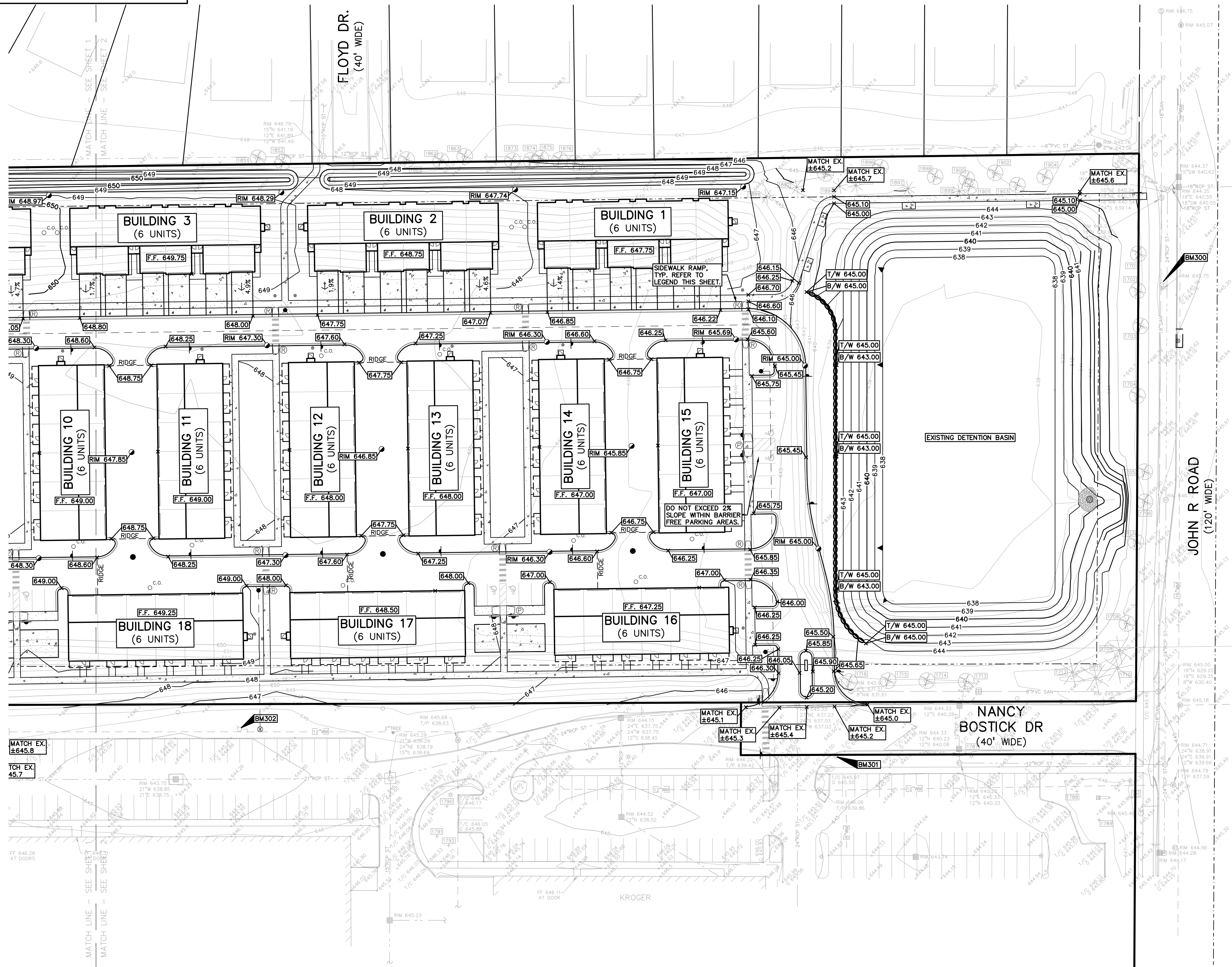
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TROY, MI 48063

PROJECT TITLE  
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PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E, E. 1/2, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
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SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-3.2**

S:\PROJECTS\2018\018-0034 JOHN R COMMONS - PRELIMINARY PLANS\C-3.0 PRELIMINARY PLANS\17122024 - BY: [unreadable]

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

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**UTILITY LEGEND:**

—OH-ELEC—W—O—	EX. OH. ELEC. POLE & GUY WIRE
—UG-CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG-COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
—UG-ELEC—	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
—	EX. GAS LINE
⊗	EX. GAS VALVE & GAS LINE MARKER
⊠	EX. TRANSFORMER & IRRIGATION VALVE
—	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊗	EX. WATER VALVE BOX & SHUTOFF
⊙	EX. SANITARY SEWER
⊙	EX. SANITARY CLEANOUT & MANHOLE
⊙	EX. COMBINED SEWER MANHOLE
⊙	EX. STORM SEWER
⊙	EX. CLEANOUT & MANHOLE
⊙	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊙	EX. YARD DRAIN & ROOF DRAIN
⊙	EX. UNIDENTIFIED STRUCTURE
—	PROPOSED WATER MAIN
⊗	PROPOSED HYDRANT AND GATE VALVE
⊕	PROPOSED TAPPING SLEEVE, VALVE & WELL
⊕	PROPOSED POST INDICATOR VALVE
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⊙	PROPOSED SANITARY CLEANOUT & MANHOLE
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0 20 40 80  
SCALE: 1" = 40'



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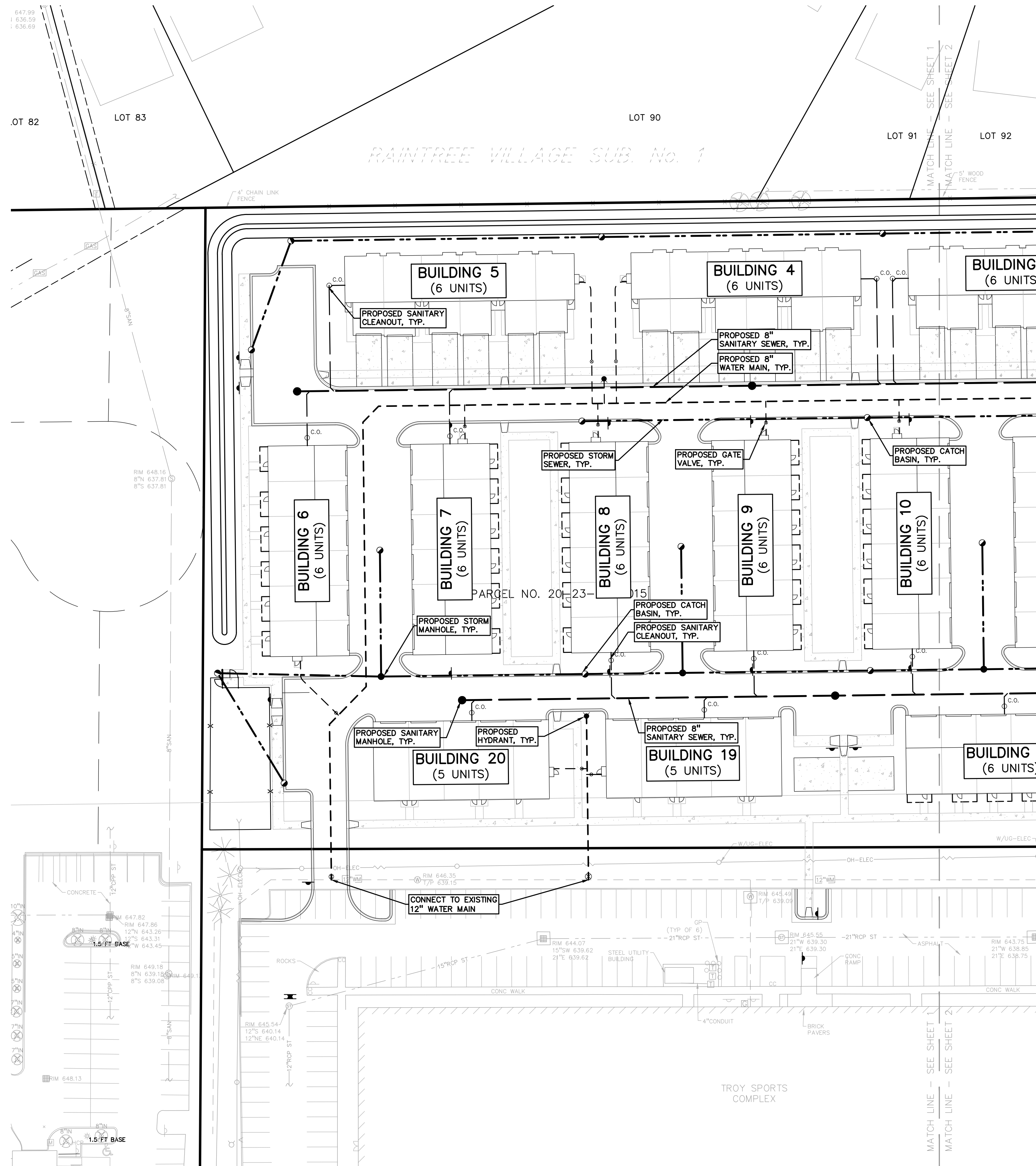
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ORIGINAL ISSUE DATE:  
AUGUST 18, 2023  
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**PRELIMINARY UTILITY PLAN**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB
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**BENCHMARKS**  
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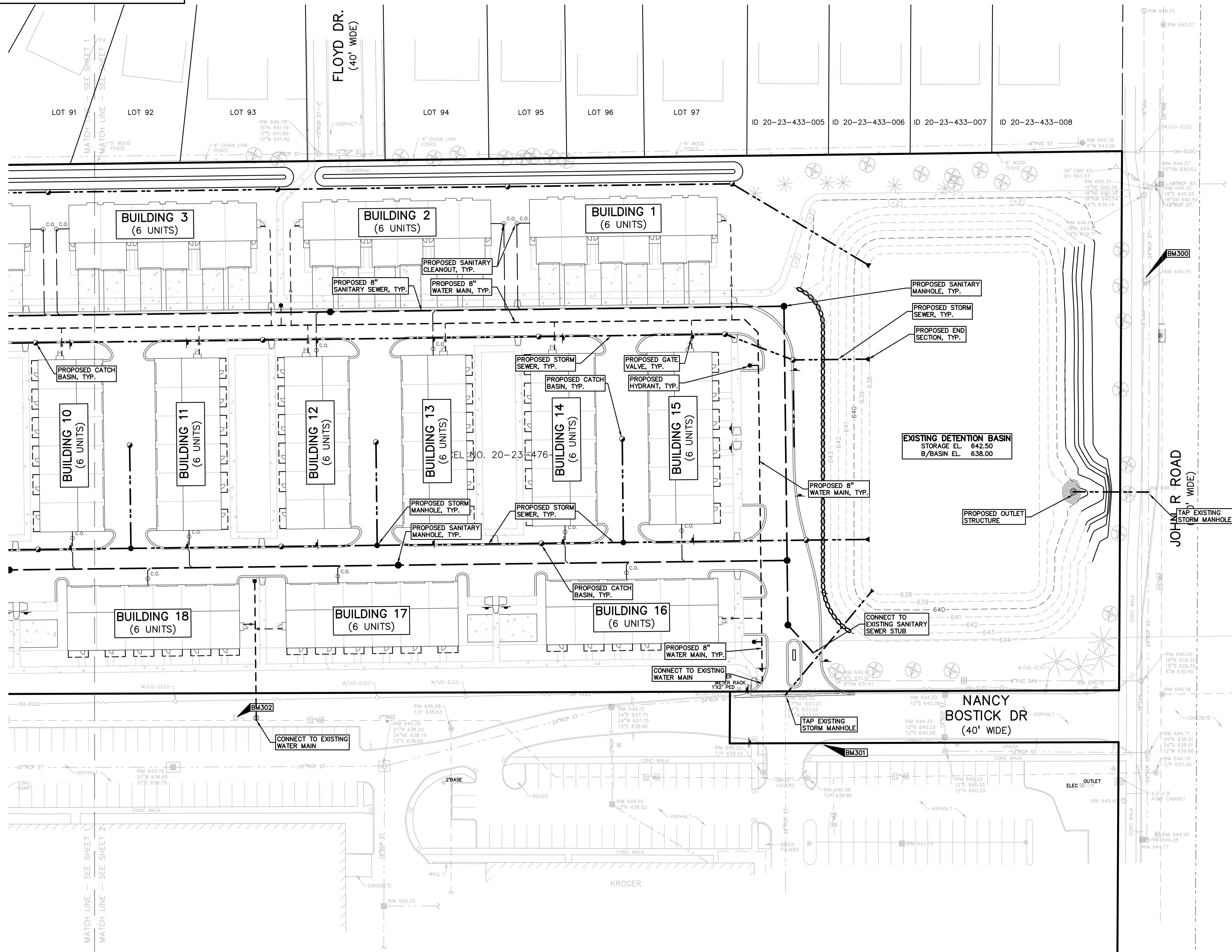
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PROPOSED SANITARY CLEANOUT	PROPOSED SANITARY CLEANOUT & MANHOLE
PROPOSED STORM SEWER	PROPOSED STORM SEWER
PROPOSED STORM SEWER CLEANOUT	PROPOSED STORM SEWER CLEANOUT & MANHOLE
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SCALE: 1" = 40'



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**Rainfall Intensity**

Time of Concentration (Tc)	20.00 min
Since 15<Tc<60, use intensity equation	
$I = 30.2 / ((T + 9.17)^{0.81})$	1.97 in/hr
$I_{10} = 50.12 / ((T + 9.17)^{0.81})$	3.26 in/hr
$I_{100} = 83.3 / ((T + 9.17)^{0.81})$	5.42 in/hr

**CPVC: Channel Protection Volume Control Volume**

$V_{cpvc} = (4719)CA$  43,095 cf

**CPRC: Channel Protection Rate Control Volume: Extended Detention**

$VED = (6897)CA$  62,985 cf

**CPRC Allowable Outlet Rate**

$Q_{out} = V_{ed} / (48 \times 60 \times 60)$  0.36 cfs

**Water Quality Control**

Forebay Volume = (545)CA 4,977 cf  
Forebay Release Rate:  $Q_{VF} = VF / (48 \times 60 \times 60)$  0.03 cfs

**100-Year Allowable Outlet Rate**

Since  $2 < A < 100$ ,  $Q_{100} = 1.1055 - 0.206 \ln(A)$  0.60 cfs/ac

**100-Year Peak Allowable Discharge**

Area, A = 11.86 ac  
 $Q_{100p} = Q_{100}(A)$  7.07 cfs

**100-Year Runoff Volume**

$V_{100R} = (18,985)CA$  173,376 cf

**100-Year Peak Inflow**

$Q_{100in} = C(I_{100})A$  49.50 cfs

**Storage Curve Factor (Vs/Vr)**

$R = 0.206 - 0.15 \times \ln(Q_{100p}/Q_{100in})$  0.498

**100-Year Storage Volume**

$V_s = R(V_{100R})$  86,341 cf

**Infiltration will be provided. CPVC can be deducted:**

$V_{100} = V_s - V_{cpvc}$  86,341 cf

**EXISTING VOLUME FROM TROY SPORTS DEVELOPMENT**

$V_{TroySports} = 111,472$  cf

**DETENTION VOLUME REQUIRED = 197,813 cf**

**Design Requirements**

CPRC Extended Detention: $V_{ed}$	62,985 cf
CPRC Allowable Outlet Rate: $Q_{out}$	0.36 cfs
100-Year Storage Volume, $V_{100p}$	197,813 cf
100-Year Allowable Outlet Rate: $Q_{100}$	7.07 cfs
100 Year Peak Inflow: $Q_{100in}$	49.50 cfs

**Detention Basin**

CPRC Storage Elevation:	639.62	62,985 cf	
100-yr Storage Elevation:	642.31	197,813 cf	
Elev. (ft)	Area (sf)	Vol. (cf)	Total Vol. (cf)
638.00	34,362	0	0
639.00	39,349	36,856	36,856
640.00	44,758	42,054	78,910
641.00	50,391	47,575	126,484
642.00	56,439	53,415	179,899
642.50	59,300	28,935	208,833
643.50	freeboard	0	208,833
Bottom Elevation of Pond:			638.00

CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

**REVISIONS**

SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

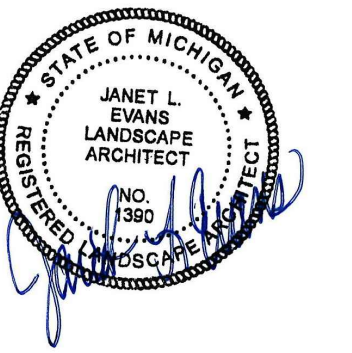
PEA JOB NO.	18-0034
P.M.	GMB
DN.	CNR
DES.	GMB

DRAWING NUMBER:

NOT FOR CONSTRUCTION **C-4.2**

S:\PROJECTS\2018\0818-04 JOHN R COMMONS-PR\COMPOSITE PLANS(C-4.0) UTIL-180034.dwg PLOT DATE: 7/12/2024 BY: Kelly Strickland





0 30 60 120  
SCALE: 1" = 60'



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1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SP/APC COMMENTS	5/3/24
SP/APC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**OVERALL LANDSCAPE PLAN**

PEA JOB NO. 18-0034

P.M. GMB

DN. BZ

DES. JLE

DRAWING NUMBER:

**L-1.0**

**GENERAL PLANTING NOTES:**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALLETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

**KEY:**

- = BUFFER TREES / EVERGREEN SCREENING BETWEEN USES
- = PARKING LOT TREES
- = GREENBELT / ROW TREES AND INTERNAL ROAD TREES
- = REPLACEMENT TREES
- = ADDITIONAL TREE ADDED PER PLANNING COMMISSION COMMENTS
- = IRRIGATED SEED LAWN
- = NON-IRRIGATED SEED LAWN
- = SHRUBS / PERENNIALS TO BE DETAILED DURING CONSTRUCTION DWGS.
- = LOW PROFILE PRAIRIE SEED MIX SEE SHEET L-1.3 FOR DETAILS STAKED EROSION MAT ON SLOPES TYP.
- = STORMWATER SEED MIX SEE SHEET L-1.3 FOR DETAILS STAKED EROSION MAT ON SLOPES TYP.
- = EXISTING TREE TO REMAIN
- = TREE PROTECTION FENCING

SEE SHEETS L-1.1, L-1.2 FOR TREE TYPE / QTY.  
L-1.3 FOR LANDSCAPE DETAILS, SHEET L-1.4 FOR PRELIMINARY AMENITY DETAILS  
SEE SHEETS T-1.0 - T-1.2 FOR EXISTING TREE INFORMATION  
NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.

**LANDSCAPE CALCULATIONS:**  
PER CITY OF TROY ZONING ORDINANCE: MF - MULTIFAMILY RESIDENTIAL

5.03 C-1a. = GENERAL SITE LANDSCAPE  
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL  
516,625 SF \* 20% = 103,325 SQ FT REQUIRED

PROVIDED: 173,048 SQ FT LANDSCAPE

**13.02 B. SCREENING BETWEEN USES**

R-10 TO NORTH SIDE OF SITE  
REQUIRED: 1 NARROW EVG. TREE / 3 FT OR 1 LARGE EVG. TREE / 10 LF  
NORTH SIDE: 1,255.63 LF / 10 = 125.6 LARGE EVG.  
WEST SIDE: 401.41 LF / 10 = 40.1 LARGE EVG.  
SOUTH SIDE: 959 LF / 10 = 95.9

PROVIDED: NORTH SIDE: 120 LARGE EVG. AND 6 EXISTING EVG. TREES  
WEST SIDE: 38 LARGE EVG. AND 12 NARROW EVERGREEN TREES  
SOUTH SIDE: 102 LARGE EVG.

**13.02 C. PARKING LOT LANDSCAPE**

REQUIRED: 13.02 C2 = 1 TREE PER 8 SPACES  
337 PARKING SPACES / 8 = 42.25 TREES REQUIRED  
REQUIRED: 5.03, B-1 = SCREENING HEDGE IF VISIBLE TO PUBLIC ROAD

PROVIDED: 43 TREES  
PROVIDED: LANDSCAPE HEDGE SCREEN WHERE VISIBLE ON JOHN R. RD

**13.02 D2 = GREENBELT / ROW**

REQUIRED: 1 TREE / 30 LF OF FRONTAGE TO PUBLIC RD.

JOHN R. ROAD = 417.64 LF FRONTAGE / 30 = 13.9 TREES  
PROVIDED: 3 PROPOSED TREES AND 11 EXISTING TREES TO REMAIN ALONG JOHN R. ROAD

PER CITY OF TROY ZONING ORDINANCE: **SOUTH EAST END OF SITE**

**INTERNAL PUBLIC ROADS STREET TREES**

REQUIRED: 1 TREE / 30 LF

NANCY BOSTICK DRIVE: 300 LF / 30 LF = 10 TREES  
PROVIDED: 3 PROPOSED TREE AND 7 EXISTING TREES

**TREE REPLACEMENT:**

**WOODLAND TREES:**  
WOODLAND TREES REMOVED (115 TREES): REPLACE AT 50% OF REMOVED DBH  
1080" DBH X .5 = 540" REPLACEMENT

WOODLAND TREES SAVED (26 TREES): CREDIT OF 2X DBH  
234" DBH X 2 = 468" CREDIT  
540" - 468" = 72" REPLACEMENT REQUIRED  
PROVIDED: 2.5" X 29 TREES = 72.5" REPLACED

**LANDMARK TREES:**  
LANDMARK TREES REMOVED (1 TREES): REPLACE AT 100% OF REMOVED DBH  
18" DBH X 1 = 18" REPLACEMENT

LANDMARK TREES SAVED (0 TREES): CREDIT OF 2X DBH  
0" X 2 = 0" CREDIT  
18" - 0" = 18" REPLACEMENT REQUIRED  
PROVIDED: 2.5" X 8 TREES = 20" REPLACED

NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.

**ADDITIONAL TREES / LANDSCAPE PER PLANNING COMMISSION COMMENTS:**

TREES / LANDSCAPE ADDED:  
AT DOG PARK: 2 TREES  
AT SOUTH PROPERTY LINE: 26 ORNAMENTAL TREES  
AT 4 MAIN BUILDING COURTYARDS: 16 TREES  
AT AMENITY SPACE PATIO AREAS: 10 TREES SHRUBS TO BE DTL. AT CDS  
AT BOULDER WALL AT DETENTION AREA: 48 SHRUBS AND 27 PERENNIALS  
ADDITIONAL PRELIMINARY AMENITY DETAILS ADDED TO SHEET L-1.3

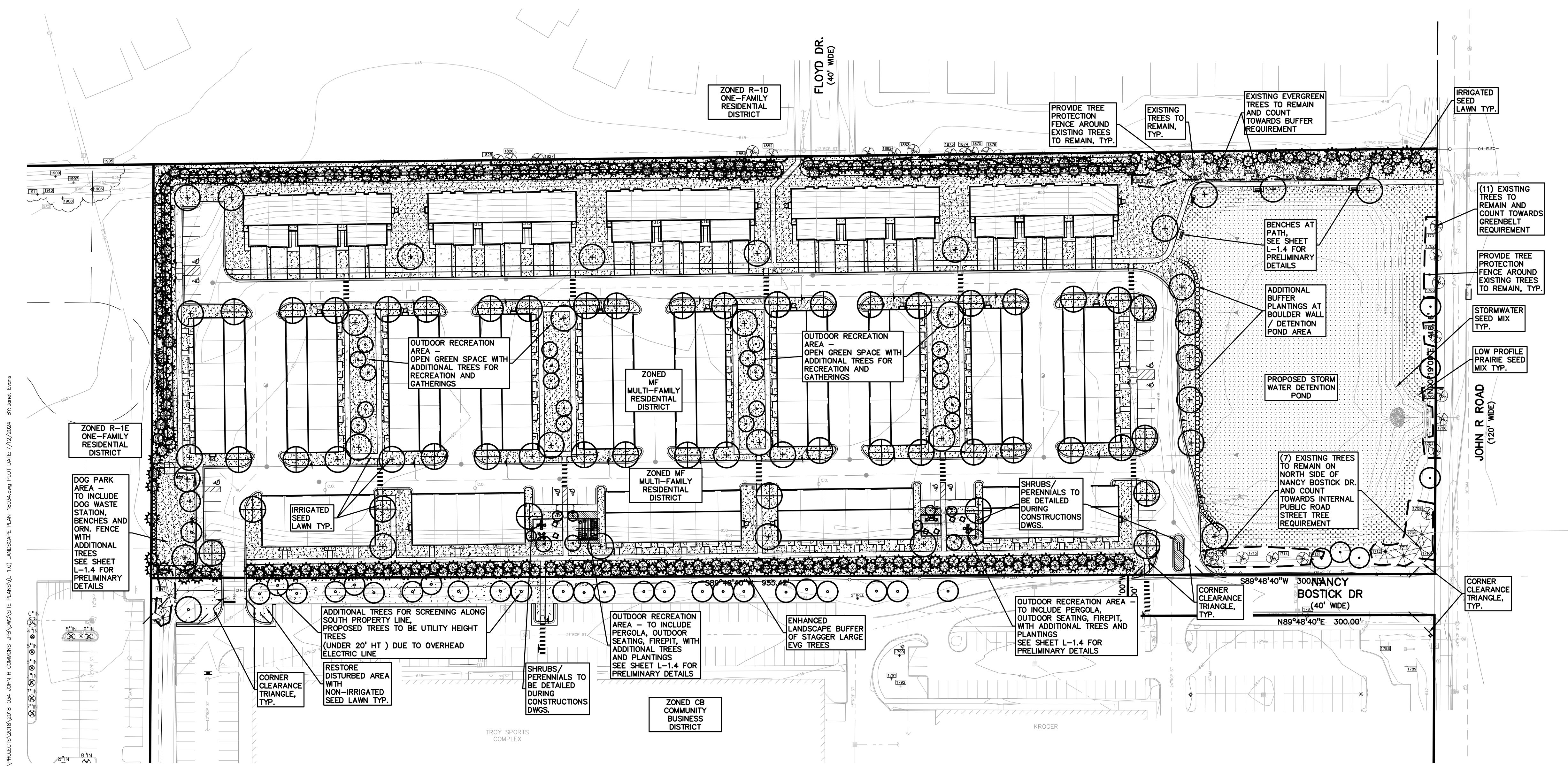
WOODLAND TREES	
WOODLAND TREES REMOVED:	115 (REPLACE AT 50% OF REMOVED DBH)
1080" DBH X 0.5 =	540" REPLACEMENT
WOODLAND TREES SAVED:	26 (CREDIT OF 2X DBH)
234 DBH X 2 =	468" CREDIT
540 - 468 =	72
72 " DBH REQUIRED FOR REPLACEMENT	

LANDMARK TREES	
LANDMARK TREES REMOVED:	1 (REPLACE AT 100% OF REMOVED DBH)
18" DBH X 1 =	18" REPLACEMENT
LANDMARK TREES SAVED:	0 (CREDIT OF 2X DBH)
0" DBH X 2 =	0" CREDIT
18 - 0 =	18
18 " DBH REQUIRED FOR REPLACEMENT	

EXEMPT TREES	
(NO REPLACEMENT REQUIRED FOR EXEMPT TREES)	
SAVED EXEMPT TREES:	6 Trees
EXEMPT TREES ON SITE:	6 Trees

TOTAL SAVED TREES 6" AND ABOVE ON SITE: 32 Trees

**NOT FOR CONSTRUCTION**



S:\PROJECTS\2018\08-03-04 JOHN R COMMONS - P&S\08-03-04 LANDSCAPE PLAN-10 LANDSCAPE PLAN-10016.dwg, PLOT DATE: 7/2/2024 BY: Janet Evans



0 20 40 80  
SCALE: 1" = 40'



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CLIENT  
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1819 EAST BIG BEAVER ROAD  
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PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., TROY, OAKLAND COUNTY, MI

REVISIONS	DATE
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN - WEST**

PEA JOB NO. 18-0034  
P.M. GMB  
DN. BZ  
DES. JLE  
DRAWING NUMBER:

**KEY:**

- = BUFFER TREES / EVERGREEN SCREENING BETWEEN USES
- = PARKING LOT TREES
- = GREENBELT / ROW TREES AND INTERNAL ROAD TREES
- = REPLACEMENT TREES
- = ADDITIONAL TREE ADDED PER PLANNING COMMISSION COMMENTS
- = IRRIGATED SEED LAWN
- = NON-IRRIGATED SEED LAWN
- = SHRUBS / PERENNIALS TO BE DETAILED DURING CONSTRUCTION DWGS.
- = EXISTING TREE TO REMAIN
- = TREE PROTECTION FENCING

SEE SHEETS L-1.1, L-1.2 FOR TREE TYPE / QTY;  
L-1.3 FOR LANDSCAPE DETAILS, SHEET L-1.4 FOR PRELIMINARY AMENITY DETAILS  
SEE SHEETS T-1.0 - T-1.2 FOR EXISTING TREE INFORMATION  
NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.

DECIDUOUS TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
2	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
2	AS2.5	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
8	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	2.5" Cal.	B&B
4	PA2.5	Encore London Planetree	<i>Platanus x acerifolia 'Encore'</i>	2.5" Cal.	B&B
4	QR2.5	Red Oak	<i>Quercus rubra</i>	2.5" Cal.	B&B
8	TC2.5	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2.5" Cal.	B&B
8	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
36		TOTAL DEC.			

EVERGREEN TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
19	PA8	Norway Spruce	<i>Picea abies</i>	8' HT.	B&B
32	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8' HT.	B&B
34	PO8	Serbian Spruce	<i>Picea omorika</i>	8' HT.	B&B
27	PM8	Douglas Fir	<i>Pseudotsuga menziesii</i>	8' HT.	B&B
5	PS8	Eastern White pine	<i>Pinus strobus</i>	8' HT.	B&B
10	TC8	Canadian Hemlock	<i>Tsuga canadensis</i>	8' HT.	B&B
127		TOTAL EVG.			

ADDITIONAL PLANTING PLANT LIST

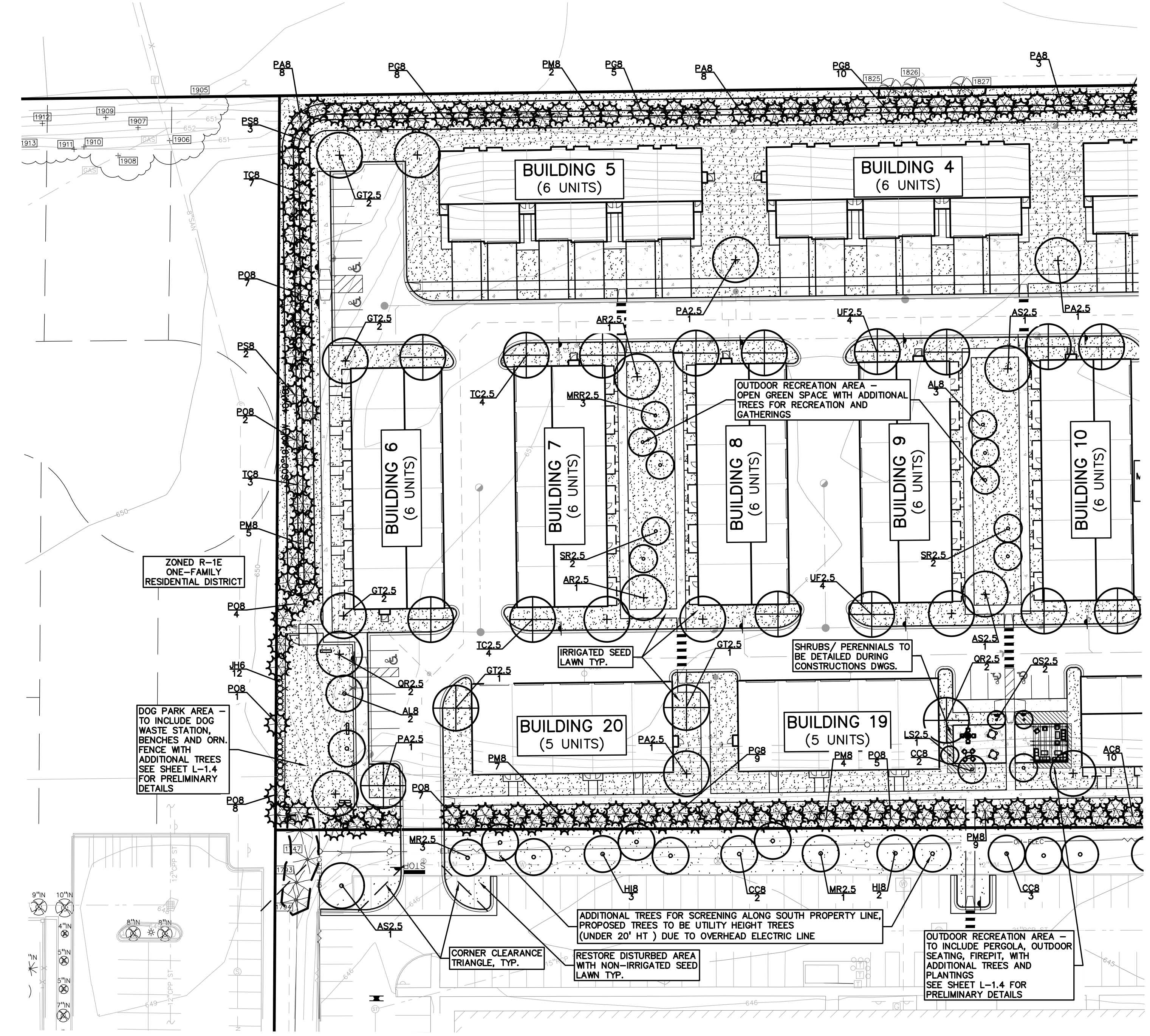
**DECIDUOUS TREE PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	AL8	Allegheny Serviceberry	<i>Amelanchier laevis</i>	8' HT.	B&B
1	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
1	AS2.5	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
7	CC8	Ace of Heart Eastern Redbud	<i>Cercis canadensis 'Ace of Heart'</i>	8' HT.	B&B
5	H18	Arnold Promise Witch Hazel	<i>Hamamelis x intermedia 'Arnold Promise'</i>	8' HT.	B&B
1	LS2.5	Slender Silhouette Sweetgum	<i>Liquidambar styraciflua 'Slender Silhouette'</i>	2.5" Cal.	B&B
7	MR2.5	Red Jewel Crabapple	<i>Malus 'Red Jewel'</i>	2.5" Cal.	B&B
2	QS2.5	Streetspire Oak	<i>Quercus alba 'JFS-KW1QX' (columnar)</i>	2.5" Cal.	B&B
4	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata</i>	2.5" Cal.	B&B
33		TOTAL DEC.			

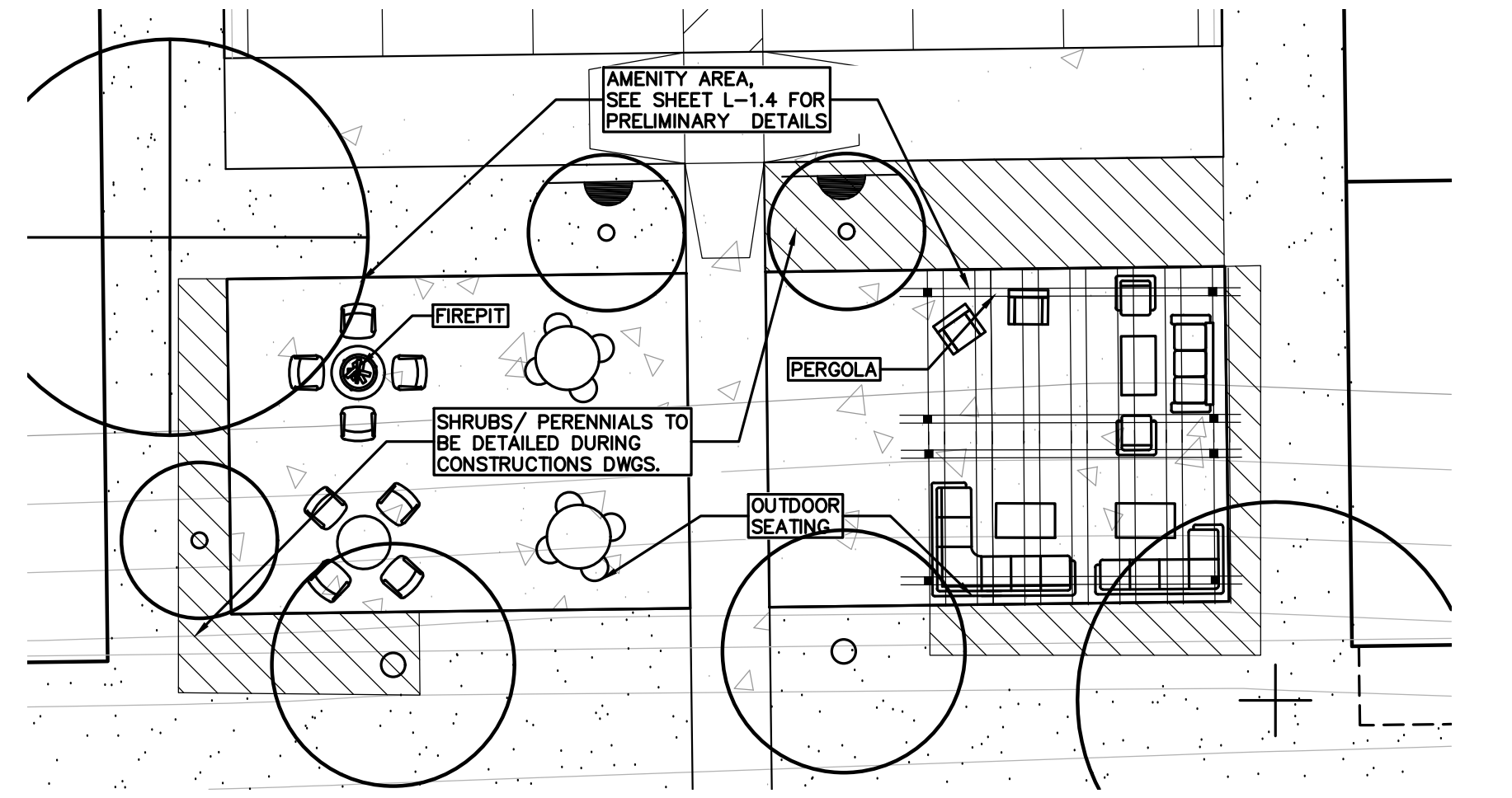
  

**SHRUB PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
12	JH6	Hetz Columnar Juniper	<i>Juniperus chinensis 'Hetzii Columnaris'</i>	6'	B&B
12		TOTAL SHRUBS			



**1 DOG PARK**  
SCALE: 1" = 10'-0"



**2 OUTDOOR RECREATION AREA**  
SCALE: 1" = 10'-0"

S:\PROJECTS\2018-04 JOHN R COMMONS - PRELIMINARY PLANS (L-1.0) LANDSCAPE PLAN - 1804.dwg, PLOT DATE: 7/12/2024 BY: Janet Evans

ADDITIONAL PLANTING PLANT LIST:

DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	AL8	Allegheny Serviceberry	<i>Amelanchier laevis</i>	8' Ht.	B&B
1	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
5	CC8	Ace of Heart Eastern Redbud	<i>Cercis canadensis 'Ace of Heart'</i>	8' Ht.	B&B
3	H18	Arnold Promise Witch Hazel	<i>Hamamelis x intermedia 'Arnold Promise'</i>	8' Ht.	B&B
7	MR2.5	Red Jewel Crabapple	<i>Malus 'Red Jewel'</i>	2.5" Cal.	B&B
2	QS2.5	Streetspire Oak	<i>Quercus alba 'JFS-KW1QX' (columnar)</i>	2.5" Cal.	B&B
4	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata</i>	2.5" Cal.	B&B
25	TOTAL SHRUBS				

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
24	CS30	Bergeson Compact Dogwood	<i>Cornus sericea 'Bergeson'</i>	30" Ht.	Cont.
24	DV30	Kodiak Orange Diervilla	<i>Diervilla X 'Kodiak Orange'</i>	30" Ht.	Cont.
48	TOTAL SHRUBS				

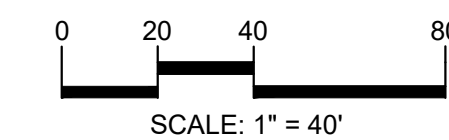
PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
17	PV	Heavy Metal Switch Grass	<i>Panicum virgatum 'Heavy Metal'</i>	1 Gal.	Cont.
17	TOTAL PERENNIALS				

KEY:

	= BUFFER TREES / EVERGREEN SCREENING BETWEEN USES		= LOW PROFILE PRAIRIE SEED MIX SEE SHEET L-1.3 FOR DETAILS STAKED EROSION MAT ON SLOPES TYP.
	= PARKING LOT TREES		= STORMWATER SEED MIX SEE SHEET L-1.3 FOR DETAILS STAKED EROSION MAT ON SLOPES TYP.
	= GREENBELT / ROW TREES AND INTERNAL ROAD TREES		= IRRIGATED SEED LAWN
	= REPLACEMENT TREES		= NON-IRRIGATED SEED LAWN
	= ADDITIONAL TREE ADDED PER PLANNING COMMISSION COMMENTS		= SHRUBS / PERENNIALS TO BE DETAILED DURING CONSTRUCTION DWGS.
	= EXISTING TREE TO REMAIN		
	= TREE PROTECTION FENCING		

SEE SHEETS L-1.1, L-1.2 FOR TREE TYPE / QTY.  
L-1.3 FOR LANDSCAPE DETAILS, SHEET L-1.4 FOR PRELIMINARY AMENITY DETAILS  
SEE SHEETS T-1.0 - T-1.2 FOR EXISTING TREE INFORMATION  
NOTE: TREES SHALL BE PLACED AT A MINIMUM OF 5' AWAY FROM UTILITY LEADS.



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DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	AR2.5	Bowhall Maple	<i>Acer rubrum 'Bowhall'</i>	2.5" Cal.	B&B
2	AS2.5	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
7	GB2.5	Magyar Ginkgo	<i>Ginkgo biloba 'Magyar'</i>	2.5" Cal.	B&B
5	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	2.5" Cal.	B&B
3	PA2.5	Encore London Planetree	<i>Platanus x acerifolia 'Encore'</i>	2.5" Cal.	B&B
8	QR2.5	Red Oak	<i>Quercus rubra</i>	2.5" Cal.	B&B
8	TC2.5	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2.5" Cal.	B&B
11	UF2.5	Frontier Elm	<i>Ulmus 'Frontier'</i>	2.5" Cal.	B&B
50	TOTAL DEC.				

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
44	AC8	Concolor Fir	<i>Abies concolor</i>	8' Ht.	B&B
28	PA8	Norway Spruce	<i>Picea abies</i>	8' Ht.	B&B
8	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8' Ht.	B&B
15	PO8	Serbian Spruce	<i>Picea omarika</i>	8' Ht.	B&B
23	PM8	Douglas Fir	<i>Pseudotsuga menziesii</i>	8' Ht.	B&B
13	PS8	Eastern White pine	<i>Pinus strobus</i>	8' Ht.	B&B
131	TOTAL EVG.				

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
24	TO6	Techny Arborvitae	<i>Thuja occidentalis 'Techny'</i>	6'	B&B
24	TOTAL SHRUBS				

CLIENT  
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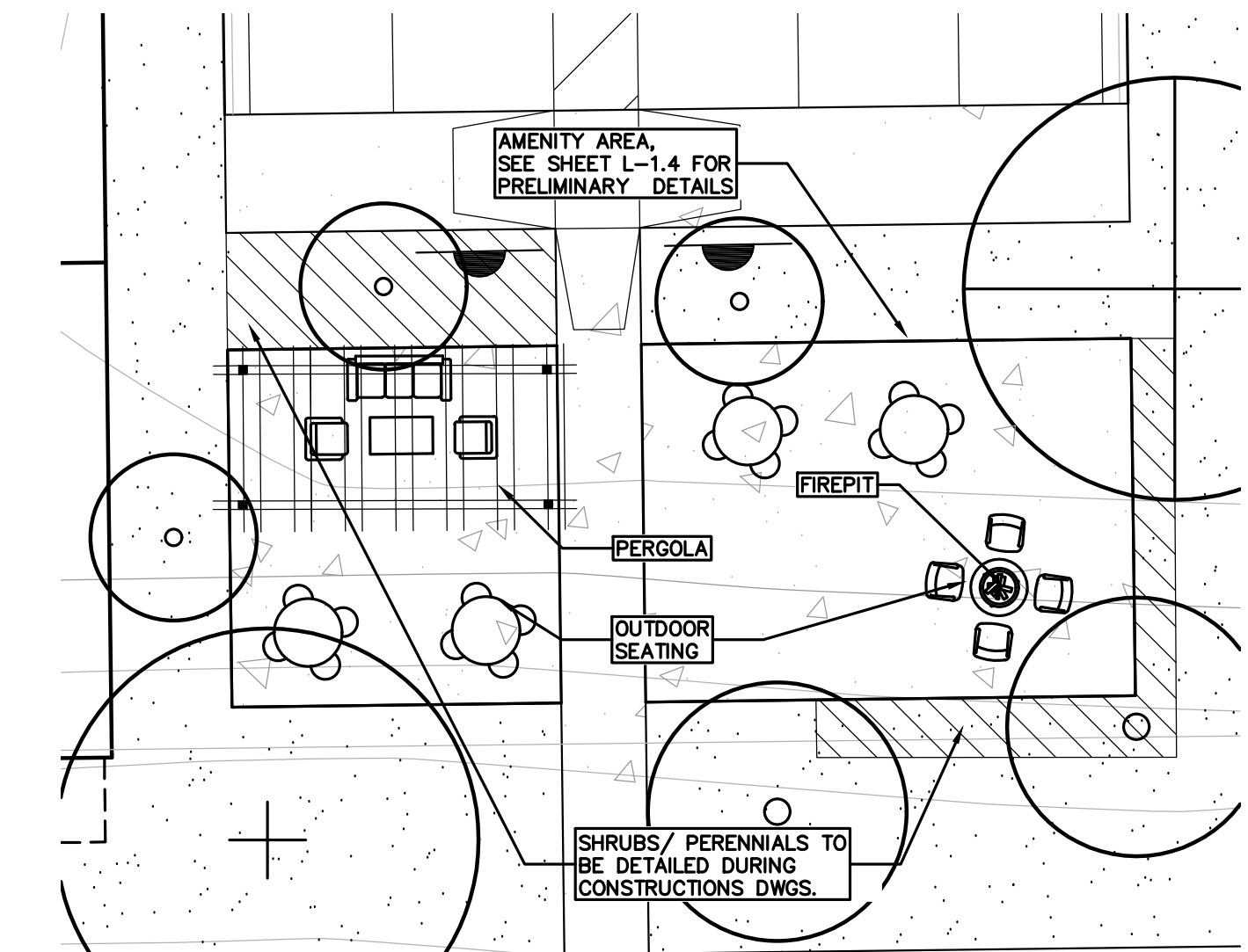
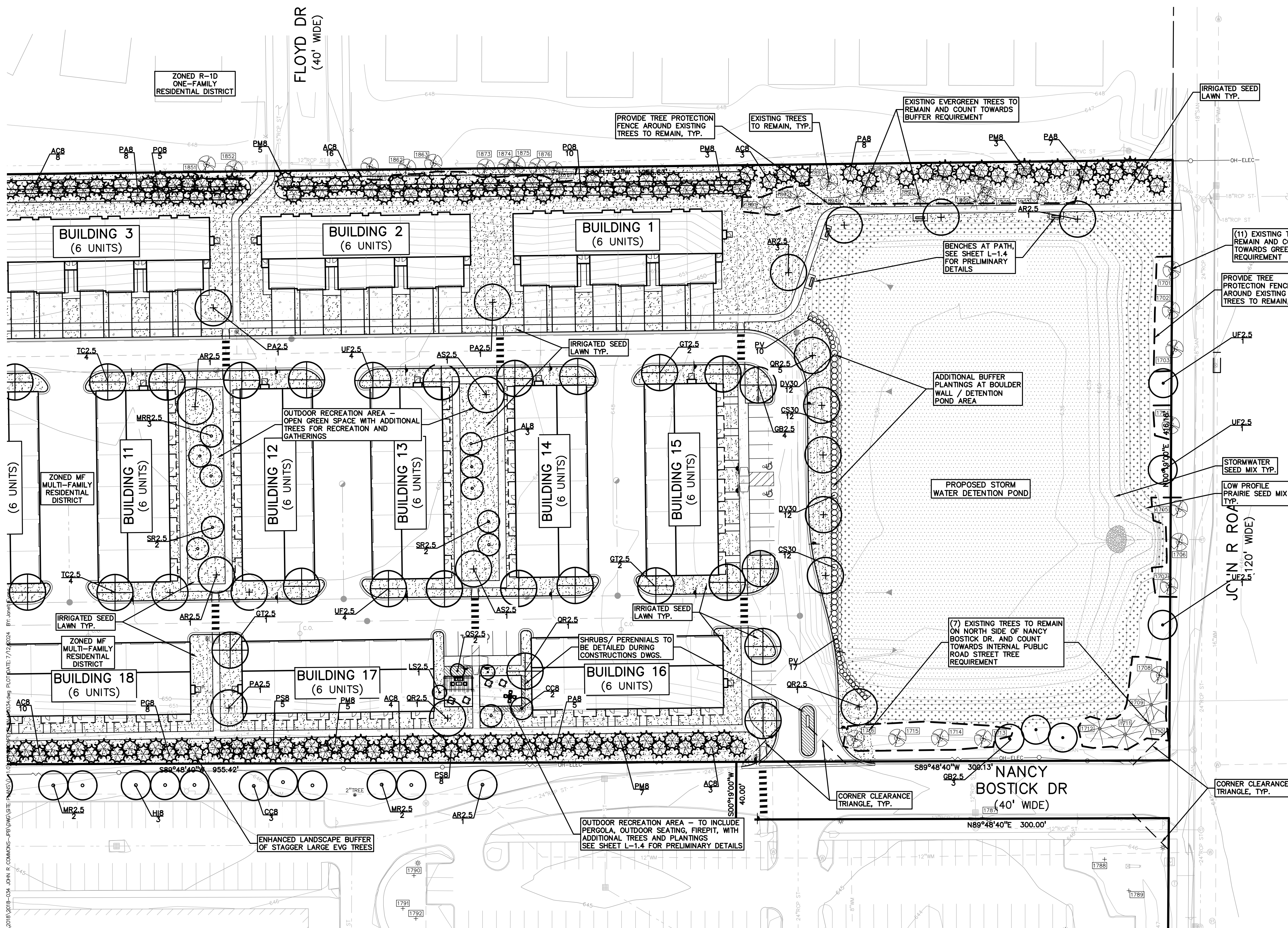
PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

REVISIONS	DATE
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

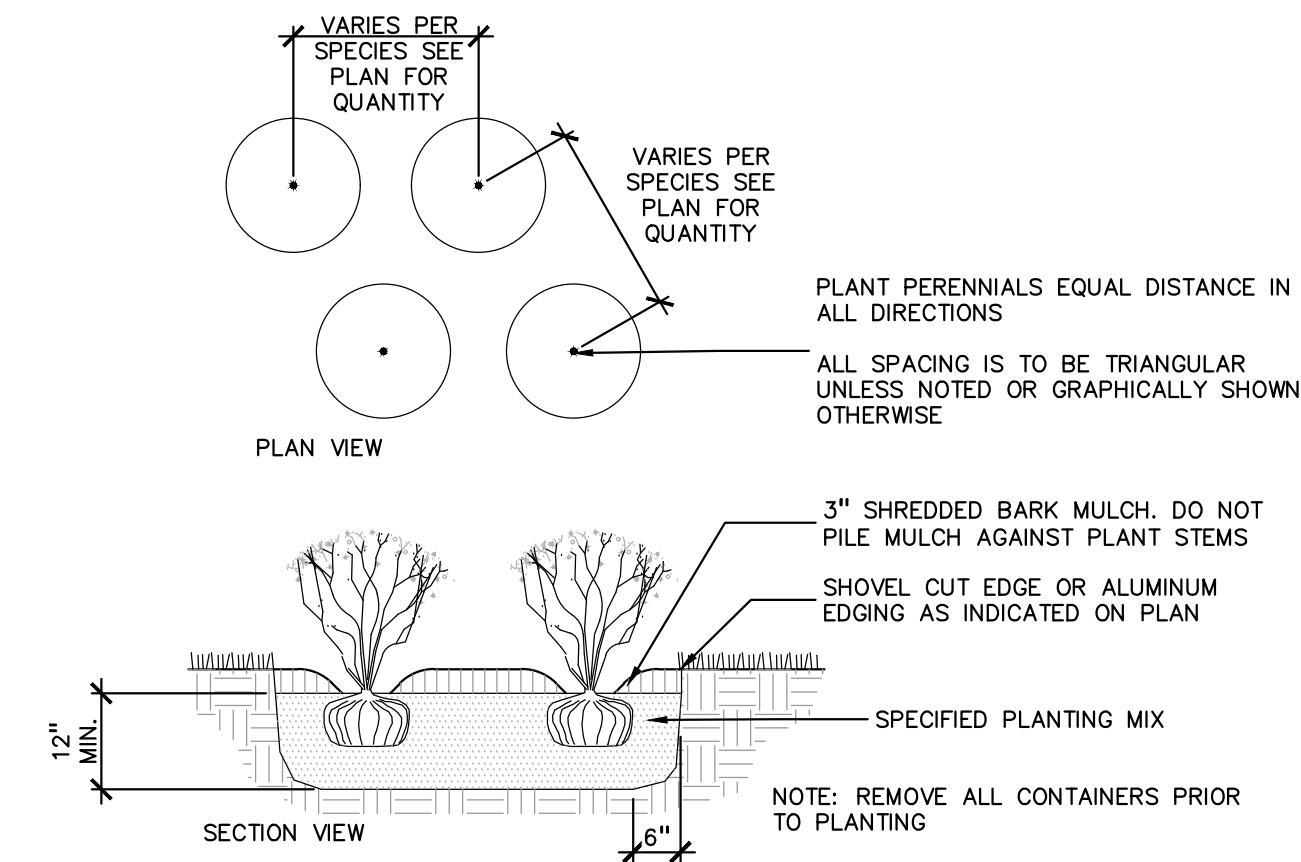
ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN - EAST**

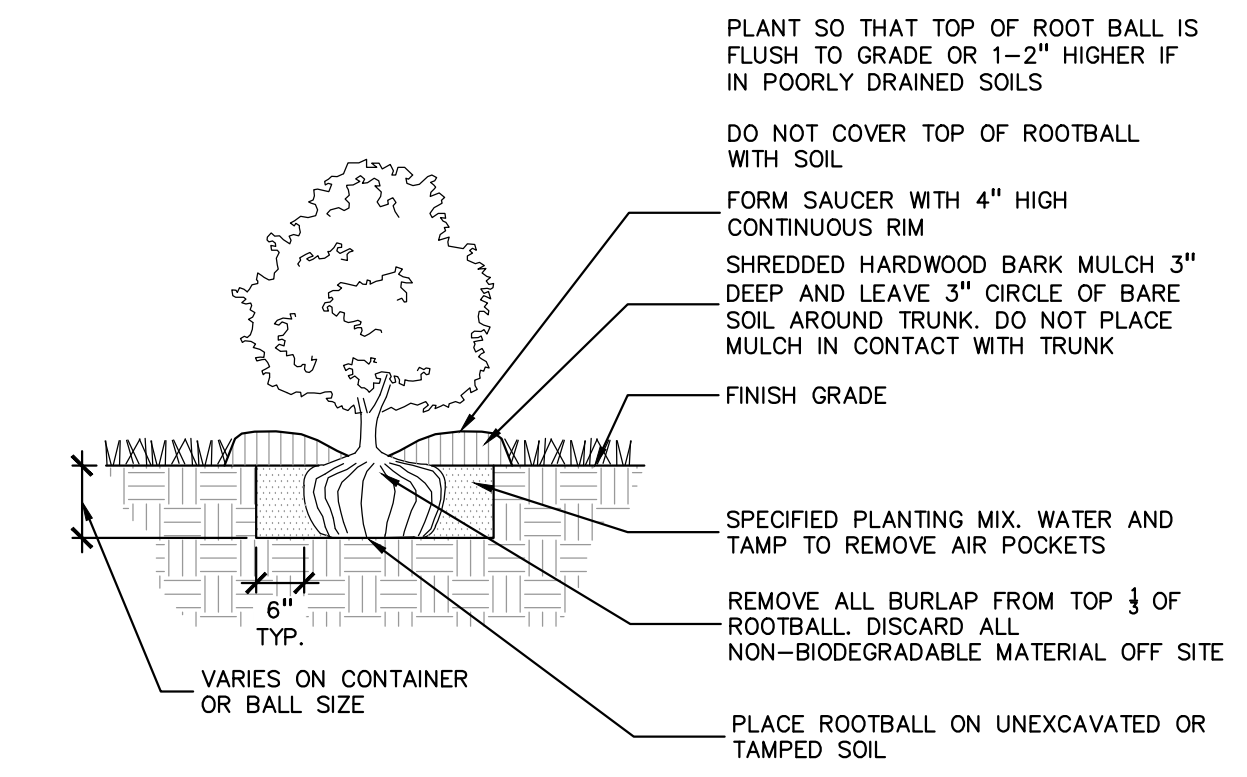
PEA JOB NO.	18-0034
P.M.	GMB
DN.	BZZ
DES.	JLE
DRAWING NUMBER:	



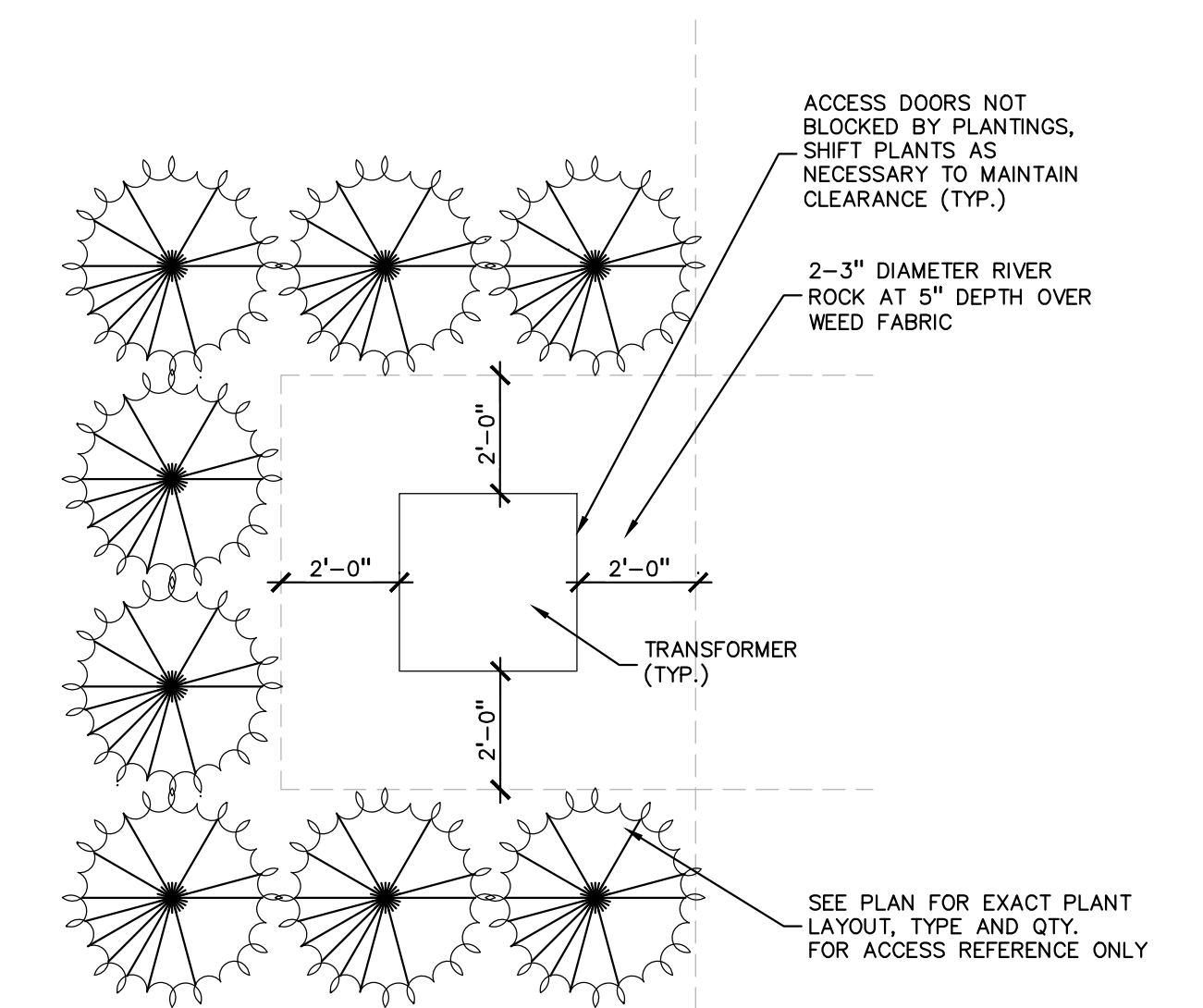
1 OUTDOOR RECREATION AREA  
SCALE: 1" = 10'-0"



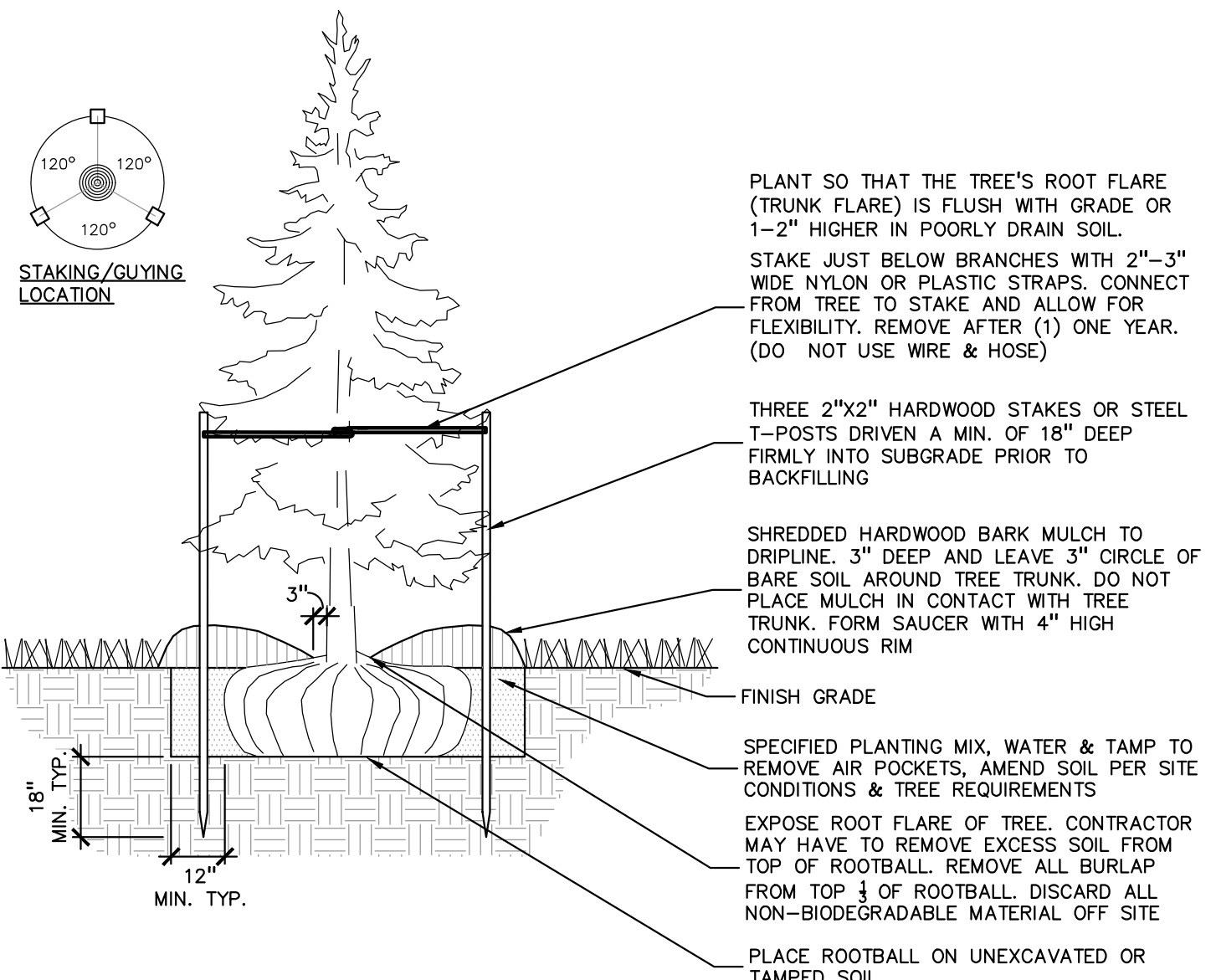
**6 PERENNIAL PLANTING DETAIL**  
SCALE: 1" = 2'-0"



**3 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"



**5 TRANSFORMER SCREENING DETAIL**  
SCALE: 1" = 3'-0"



**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. INSTALL AND PREP PER MANUFACTURERS SPECIFICATIONS. NO INVASIVE SPECIES PERMITTED, USE ONLY SPECIES NATIVE TO COUNTY.

**Low-profile Prairie Seed Mix**  
Stantec Native Plant Nursery 574-586-2412  
stantec.com/native-plant-nursery

Botanical Name	Common Name
<i>Bouteloua curtipendula</i>	Side Oats Grama
<i>Carex spp.</i>	Prairie Carex Mix
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Koeleria pyramidata</i>	June Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Schizachyrium scoparium</i>	Little Bluestem

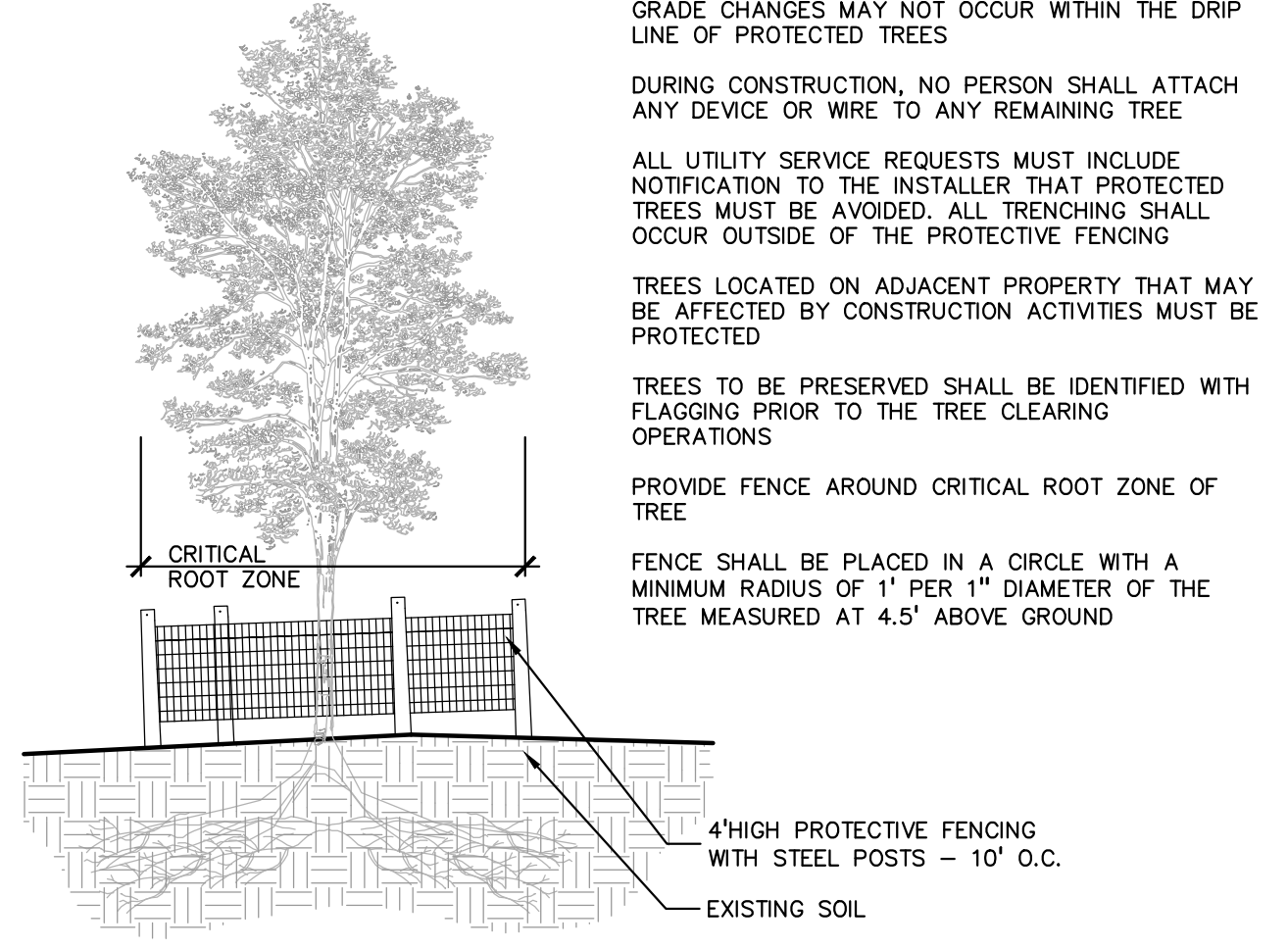
**Temporary Cover:**

<i>Avena sativa</i>	Common Oat
<i>Lolium multiflorum</i>	Annual Rye

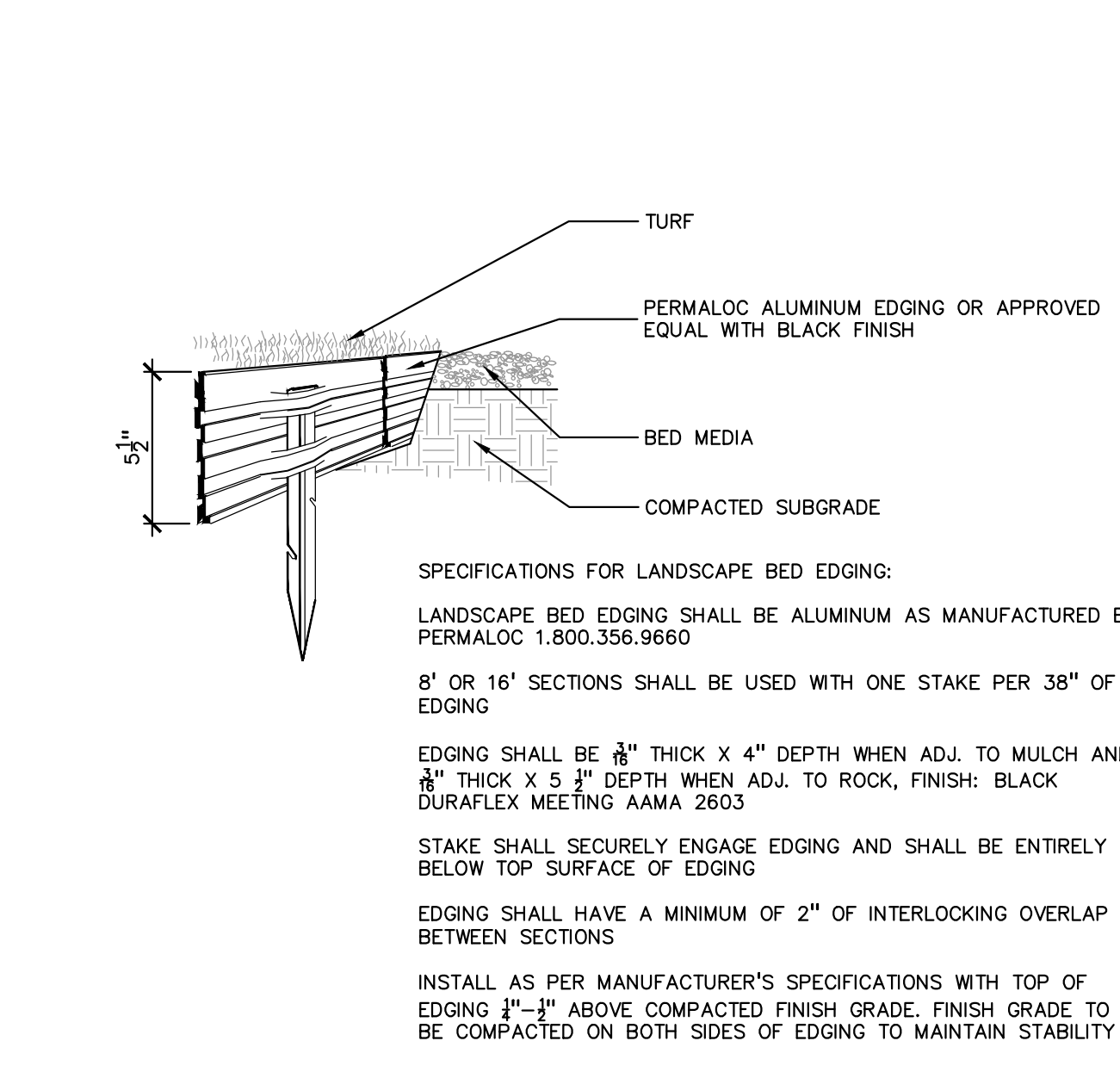
**Forbs:**

<i>Amorpha canescens</i>	Lead Plant
<i>Anemone cylindrica</i>	Thimbleweed
<i>Asclepias syriaca</i>	Common Milkweed
<i>Asclepias tuberosa</i>	Butterfly Milkweed
<i>Baptisia alba</i>	White Wild Indigo
<i>Chamaecrista fasciculata</i>	Partridge Pea
<i>Coreopsis lanceolata</i>	Sand Coreopsis
<i>Coreopsis palmata</i>	Prairie Coreopsis
<i>Dalea candida</i>	White Prairie Clover
<i>Dalea purpurea</i>	Purple Prairie Clover
<i>Desmanthus illinoensis</i>	Illinois Sensitive Plant
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower
<i>Eryngium yuccifolium</i>	Rattlesnake Master
<i>Lespedeza capitata</i>	Rough-Head Bush Clover
<i>Liatris aspera</i>	Rough Blazing Star
<i>Lupinus perennis</i>	Wild Lupine
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Oligoneuron rigidum</i>	Stiff Goldenrod
<i>Parthenium integrifolium</i>	Wild Quinine
<i>Penstemon digitalis</i>	Foxglove Beard Tongue
<i>Penstemon hirsutus</i>	Hairy Beard Tongue
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Ratibida pinnata</i>	Yellow Coneflower
<i>Rudbeckia hirta</i>	Black-Eyed Susan
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan
<i>Silphium terebinthinaceum</i>	Prairie Dock
<i>Solidago speciosa</i>	Showy Goldenrod
<i>Symphoricarpon encicoides</i>	Heath Aster
<i>Symphoricarpon laeve</i>	Smooth Blue Aster
<i>Symphoricarpon novae-angliae</i>	New England Aster
<i>Tradescantia ohnensis</i>	Common Spiderwort
<i>Verbena stricta</i>	Hoary Vervain
<i>Vernonia spp.</i>	Ironweed (Various Mix)
<i>Veronicastrum virginicum</i>	Culvers Root

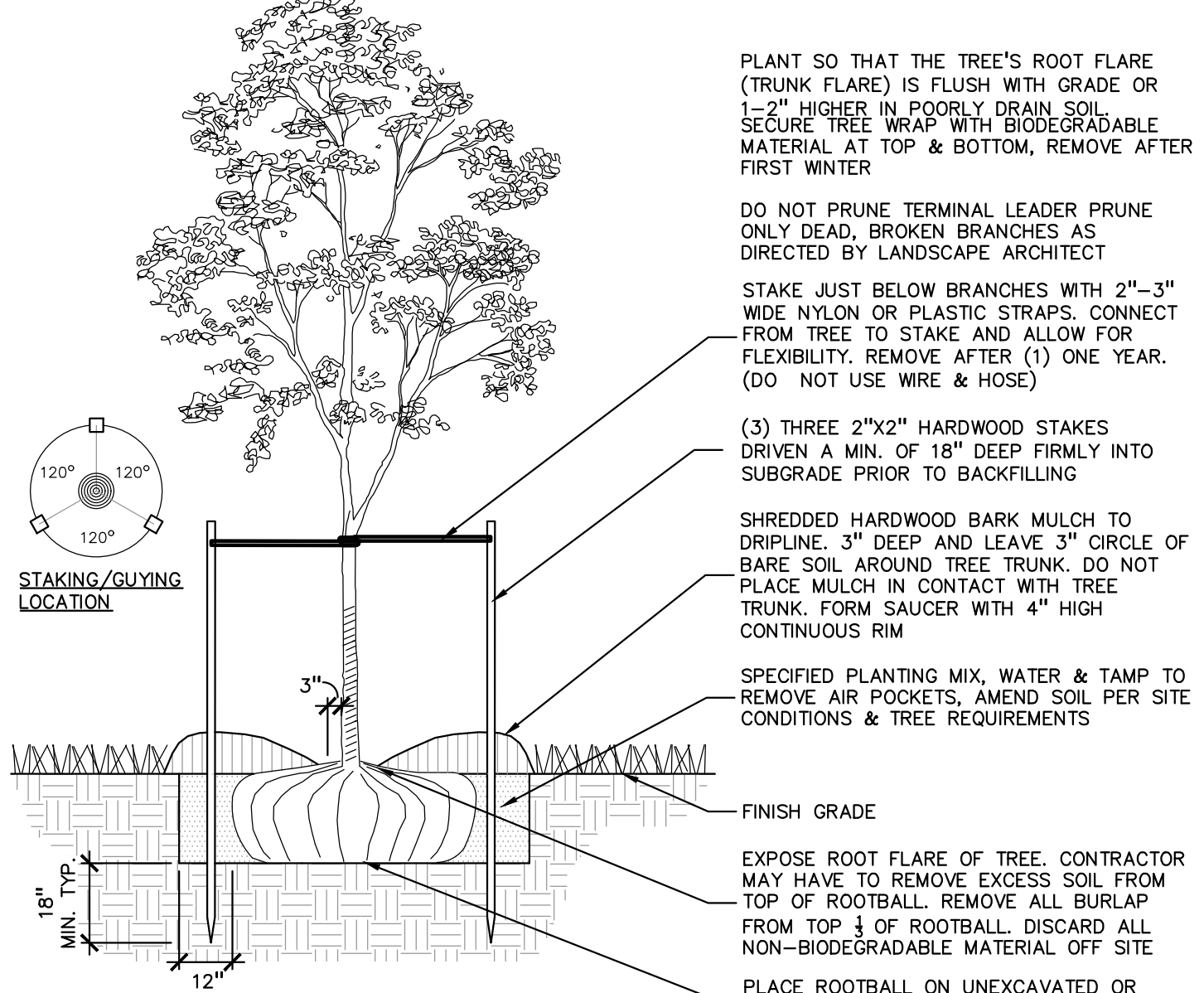
Common Name	Botanical Name
River Bulrush	<i>Scirpus atrovirens</i>
Crested Owl Sedge	<i>Carex cristata</i>
Bottlebrush Sedge	<i>Carex lurida</i>
Brown Fox Sedge	<i>Carex vulpinoidea</i>
Virginia Wild Rye	<i>Elymus virginicus</i>
Fowl Manana Grass	<i>Glyceria striata</i>
Common Rush	<i>Juncus effusus</i>
Rice Cut Grass	<i>Leersia oryzoides</i>
Softstem Bulrush	<i>Panicum virgatum</i>
Dark Green Rush	<i>Schoenoplectus tabernaemontani</i>
Wool Grass	<i>Scirpus cyperinus</i>
Common Oat	<i>Avena sativa</i>
Annual Rye	<i>Lolium multiflorum</i>
Water Plantain (Various Mix)	<i>Alisma spp.</i>
Swamp Milkweed	<i>Asclepias incarnata</i>
Bidens (Various Mix)	<i>Bidens spp.</i>
Sneezeweed	<i>Helenium autumnale</i>
Blue Flag	<i>Iris virginica</i>
Common Water Horehound	<i>Lycopus americanus</i>
Monkey Flower	<i>Mimulus ringens</i>
Riddell's Goldenrod	<i>Oligoneuron riddellii</i>
Ditch Stonecrop	<i>Pentstemon sedoides</i>
Pinkweed (Various Mix)	<i>Polygonum spp.</i>
Sweet Black-Eyed Susan	<i>Rudbeckia subtomentosa</i>
Brown-Eyed Susan	<i>Rudbeckia triloba</i>
Common Arrowhead	<i>Sagittaria latifolia</i>
Wild Senna	<i>Senna hebecarpa</i>
New England Aster	<i>Symphoricarpon novae-angliae</i>
Purple Meadow Rue	<i>Thalictrum dasycarpum</i>



**7 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"



**4 ALUMINUM EDGE DETAIL**  
SCALE: 1/2" = 1'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO QUALITY CONTROL EXPERTISE OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**TROY SPORTS CENTER, LLC**  
1619 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**LANDSCAPE DETAILS**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	BGG
DES.	JLE


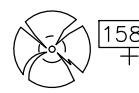

DRAWING NUMBER:

NOT FOR CONSTRUCTION

**L-1.3**



**KEY:**


-  = EXISTING TREE TO BE REMOVED
-  = EXISTING TREE TO REMAIN
-  = TREE PROTECTION FENCING

SEE SHEET T-1.2 FOR EXISTING TREE LIST  
SEE SHEET L-1.0 FOR REPLACEMENT CALCULATIONS

**PEA GROUP**  
t. 844.813.2949  
www.peagroup.com



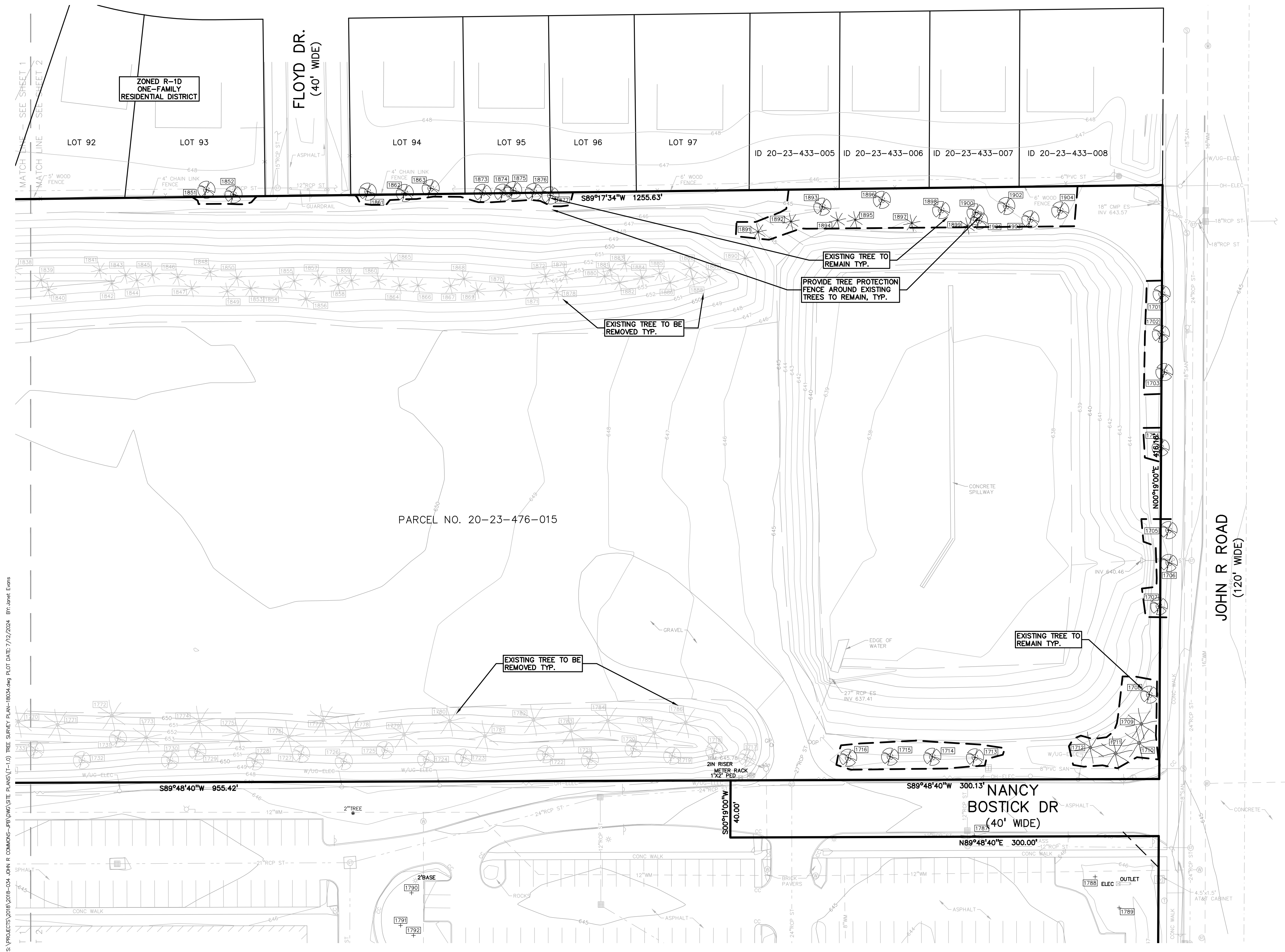
NORTH



0 20 40 80  
SCALE: 1" = 40'

**811** Know what's below. Call before you dig.

**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, TROY, OAKLAND COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**TREE SURVEY PLAN - EAST**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	BZ
DES.	JLE
DRAWING NUMBER:	

S:\PROJECTS\2018\018-0034-01 JOHN R COMMONS-TP COMPOSITE PLANS(T-1.0) TREE SURVEY PLAN-1804.dwg PLOT DATE: 7/12/2024 8:11 Janet Evans





**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY AS SHOWN BY THE UTILITY RECORDS AND ARE NOT TO BE CONSIDERED AS A GUARANTEE OF ACCURACY. THE USER SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 1/2, GAYLARD COUNTY, MI

REVISIONS	
SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPAP/C COMMENTS	5/3/24
SPAP/C COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE

**EXISTING TREE LIST**

PEA JOB NO.	18-0034
P.M.	GMB
DN.	BZ
DES.	JLE
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

T-1.2

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENT	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
1701	BP	15	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	Y	
1702	BP	13	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	Y	
1703	BP	15	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	N	
1704	BP	15	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	Y	
1705	BP	14	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	N	
1706	BP	14	Bradford Pear	Pyrus calleryana	Poor		INVASIVE	S	N	
1707	BP	11	Bradford Pear	Pyrus calleryana	Fair		INVASIVE	S	Y	
1708	WS	8	White Spruce	Picea glauca	Poor		WOODLAND	S	Y	
1709	BS	10	Blue Spruce	Picea pungens	Fair		WOODLAND	S	Y	
1710	BS	9	Blue Spruce	Picea pungens	Good		WOODLAND	S	Y	
1711	BS	12	Blue Spruce	Picea pungens	Good		WOODLAND	S	Y	
1712	WS	12	White Spruce	Picea glauca	Fair		WOODLAND	S	Y	
1713	G	6	Ginkgo	Ginkgo biloba	Good		WOODLAND	S	Y	
1714	G	6	Ginkgo	Ginkgo biloba	Good		WOODLAND	S	Y	
1715	G	6	Ginkgo	Ginkgo biloba	Good		WOODLAND	S	Y	
1716	G	6	Ginkgo	Ginkgo biloba	Poor		WOODLAND	S	Y	
1717	SU	8	Sugar Maple	Acer saccharum	Poor		WOODLAND	R	Y	
1718	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1719	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1720	SU	6	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1721	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1722	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1723	SU	6	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1724	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1725	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1726	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1727	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1728	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1729	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1730	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1731	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1732	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1733	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1734	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1735	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1736	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1737	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1738	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1739	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1740	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1741	SU	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1742	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1743	SU	10	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1744	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1745	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1746	SU	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1747	BS	11	Blue Spruce	Picea pungens	Good		WOODLAND	S	Y	
1748	WS	11	White Spruce	Picea glauca	Good		WOODLAND	S	Y	
1749	WS	16	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1750	WS	9	White Spruce	Picea glauca	Very Poor		WOODLAND	R	Y	
1751	BS	16	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1752	BS	18	Blue Spruce	Picea pungens	Fair		LANDMARK	R	Y	REPLACE
1753	BS	16	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	
1754	BS	16	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1755	WS	10	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1756	BS	11	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1757	BS	12	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1758	WS	14	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	
1759	WS	13	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1760	WS	14	White Spruce	Picea glauca	Good		WOODLAND	R	Y	REPLACE
1761	BS	13	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1762	BS	16	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1763	BS	16	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1764	BS	16	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1765	BS	16	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1766	WS	10	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	
1767	BS	11	Blue Spruce	Picea pungens	Very Poor		WOODLAND	R	Y	
1768	BS	16	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1769	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1770	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1771	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1772	BS	13	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1773	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1774	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1775	BS	14	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1776	BS	12	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1777	BS	12	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1778	BS	11	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1779	NS	9	Norway Spruce	Picea Abies	Poor		WOODLAND	R	Y	
1780	NS	10	Norway Spruce	Picea Abies	Poor		WOODLAND	R	Y	
1781	NS	11	Norway Spruce	Picea Abies	Poor		WOODLAND	R	Y	
1782	NS	13	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y	REPLACE
1783	NS	8	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y	REPLACE
1784	NS	10	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y	REPLACE
1785	NS	8	Norway Spruce	Picea Abies	Poor		WOODLAND	R	Y	
1786	NS	10	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y	REPLACE
1787	G	8	Ginkgo	Ginkgo biloba	Good		WOODLAND	S	N	
1788	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	S	Y	
1789	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	S	Y	
1790	NS	11	Norway Spruce	Picea Abies	Fair		WOODLAND	S	Y	
1791	BS	7	Blue Spruce	Picea pungens	Poor		WOODLAND	S	Y	
1792	BS	8	Blue Spruce	Picea pungens	Poor		WOODLAND	S	Y	
1793	NS	14	Norway Spruce	Picea Abies	Good		WOODLAND	S	Y	
1794	NS	12	Norway Spruce	Picea Abies	Good		WOODLAND	S	Y	
1795	BS	16	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1796	BS	13	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1797	WS	12	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1798	BS	10	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	
1799	WS	10	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1800	BS	13	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1801	BS	12	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	
1802	BS	10	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	
1803	BS	9	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1804	BS	9	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1805	WS	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1806	WS	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1807	WS	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1808	BS	7	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1809	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1810	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1811	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1812	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1813	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1814	BS	6	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	
1815	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1816	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1817	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1818	BS	7	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	
1819	BS	9	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1820	BS	6	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENT	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
1821	BS	9	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1822	WS	6	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1823	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1824	BS	7	Blue Spruce	Picea pungens	Poor		WOODLAND	R	Y	
1825	SM	6	Silver Maple	Acer saccharinum	Good		INVASIVE	S	Y	
1826	SC	16	Scotch Pine	Pinus sylvestris	Fair		WOODLAND	S	Y	
1827	WP	16	(Eastern) White Pine	Pinus strobus	Fair		WOODLAND	S	Y	
1828	BS	7	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1829	BS	8	Blue Spruce	Picea pungens	Fair		WOODLAND	R	Y	REPLACE
1830	WS	7	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1831	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	
1832	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	
1833	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	
1834	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	
1835	WS	6	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1836	BS	6	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1837	WS	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	
1838	WS	7	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1839	WS	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1840	WS	6	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1841	BS	8	Blue Spruce	Picea pungens	Good		WOODLAND	R	Y	REPLACE
1842	WS	7	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1843	BS	9	Blue Spruce	Picea pungens						

**Cylinder 3000K LED 12.25" Wall Light** 11310BKTLED  
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**SPECIFICATIONS**

**Certifications/Qualifications**  
Title 24 Compliant Yes  
www.kichler.com/warranty

**Dimensions**  
Base Backplate 5.00" X 5.00"  
Extension 6.50"  
Weight 2.63 LBS  
Height from center of Wall opening (Spec Sheet) 6.21"  
Height 12.25"  
Width 5.00"

**Light Source**  
Delivered Lumens 925  
Dimmable Yes  
Expected Life Span (Hours) 45000  
Lamp Included Integrated  
Light Source LED  
Max or Nominal Watt 20.00  
Max Wattage/Range 20W

**Mounting/Installation**  
Interior/Exterior Exterior  
Location Rating Wet  
Mounting Style Wall Mount  
Mounting Weight 3.50 LBS


**Photometrics**  
Color Rendering Index 90  
Kelvin Temperature 3000K

**FIXTURE ATTRIBUTES**

**Housing**  
Primary Material EPMM  
Shade Dimensions 4.60" D X 12.25"

**Product/Ordering Information**  
SKU 11310BKTLED  
Finish Textured Black  
Style Other  
UPC 763927545297

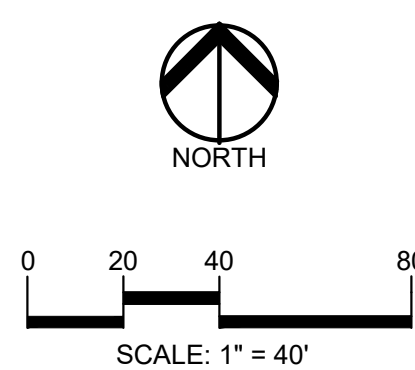
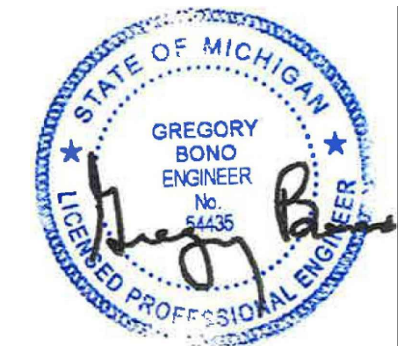
**Finish Options**  
● Textured Black



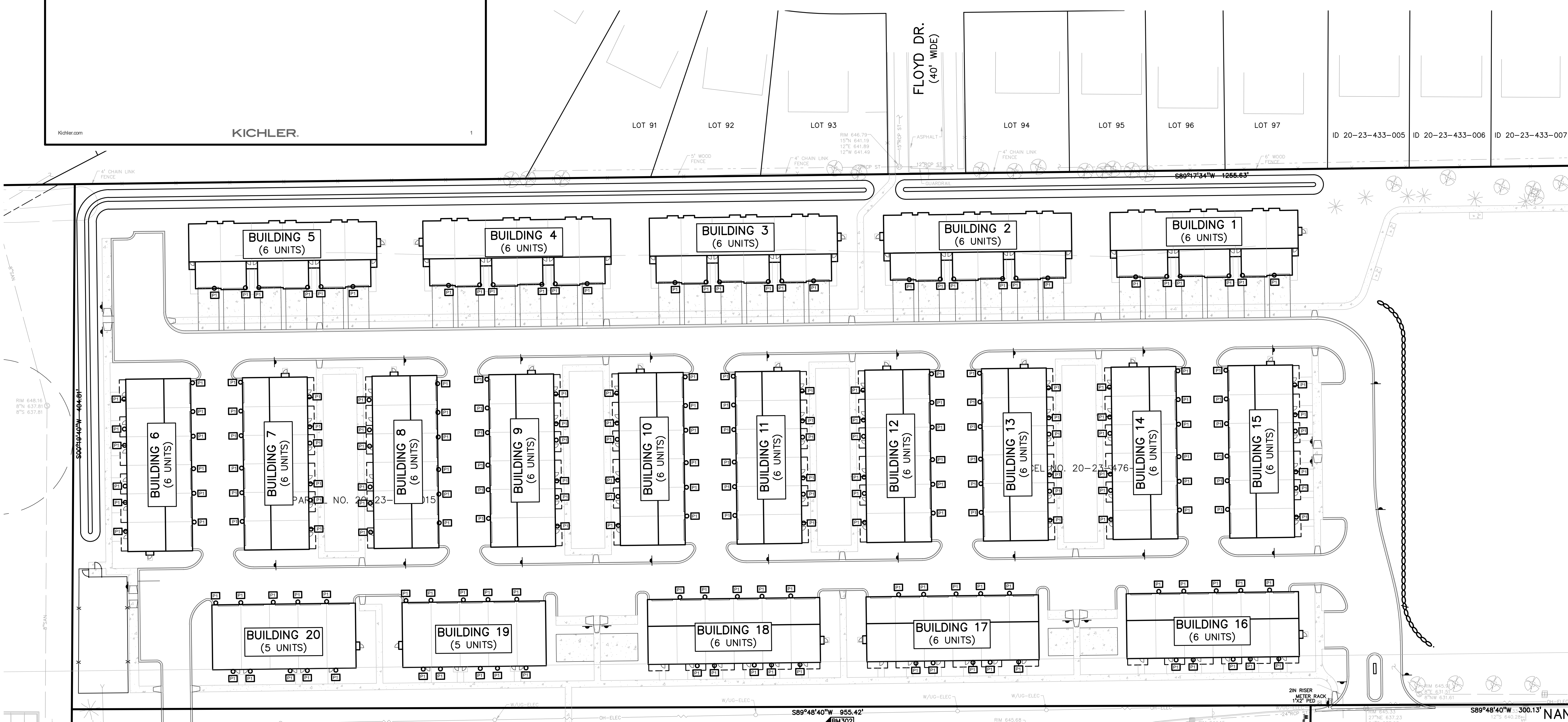
Kichler.com

- GENERAL SITE LIGHTING NOTES:**
1. ALL AREA LIGHT FIXTURES ARE TO BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES AND ROADWAYS.
  2. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIALS AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
  3. COORDINATE LIGHT FIXTURE PLACEMENT AND INSTALLATION WITH ARCHITECT.

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**TROY SPORTS CENTER, LLC**  
1819 EAST BIG BEAVER ROAD  
TROY, MI 48063

PROJECT TITLE  
**JOHN R COMMONS TOWNHOME DEVELOPMENT**  
PART OF THE SE 1/4 OF SECTION 23, T. 2N., R. 11E., E. 7E., TROY, OAKLAND COUNTY, MI

**REVISIONS**

SPA COMMENTS	11/8/23
SPA COMMENTS	3/1/24
SPA/PC COMMENTS	5/3/24
SPA/PC COMMENTS	7/12/24

ORIGINAL ISSUE DATE:  
AUGUST 18, 2023

DRAWING TITLE  
**LIGHTING PLAN**

PEA JOB NO. 18-0034  
P.M. GMB  
DN. CNR  
DES. GMB  
DRAWING NUMBER:

NOT FOR CONSTRUCTION **SL-1.0**

S:\PROJECTS\2018\2018-04 JOHN R COMMONS-PEA\DWG\SITE PLANS\SL-1.0 PHOTO-180024.dwg PLOT DATE: 7/16/2024 BY: Kelly Stogawa

# JOHN R. TOWNHOME DEVELOPMENT

BUILDING TYPE 'A'

TROY, MICHIGAN

### CODE SUMMARY

CODE:  
 2015 MICHIGAN RESIDENTIAL CODE: TOWNHOUSE OPTION

TENANT SEPARATION: 1 HOUR REQUIRED  
 2 HOUR PROVIDED

FIRE SUPPRESSION: N/A

TYPE 'A' DWELLING UNITS: N/A

TYPE 'B' DWELLING UNITS: N/A (MULTI-STORY DWELLING UNITS)

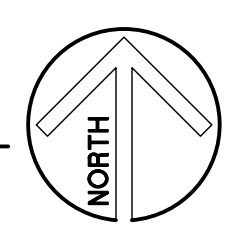
### SHEET INDEX

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ARCHITECTURAL DRAWINGS	
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A-2A	O.A. BUILDING FIRST & SECOND FLOOR PLANS - 5 UNIT
A-3A	O.A. BUILDING ROOF PLAN - 5 UNIT
A-4A	O.A. BUILDING FOUNDATION PLAN - 4 UNIT
A-5A	O.A. BUILDING FIRST & SECOND FLOOR PLANS - 4 UNIT
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A-9A	DWELLING UNIT PLANS
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A-11A	BUILDING SECTION & EXTERIOR WALL SECTIONS
A-12A	INTERIOR WALL SECTIONS
A-13A	RENDERED FRONT ELEVATION



LOCATION MAP

NOT TO SCALE



ARCHITECT: \_\_\_\_\_

**BRIAN NEEPER ARCHITECTURE P.C.**  
 630 N. OLD WOODWARD, SUITE 203  
 BIRMINGHAM, MICHIGAN 48009  
 248. 259. 1784      Brian•BrianNeeper.com

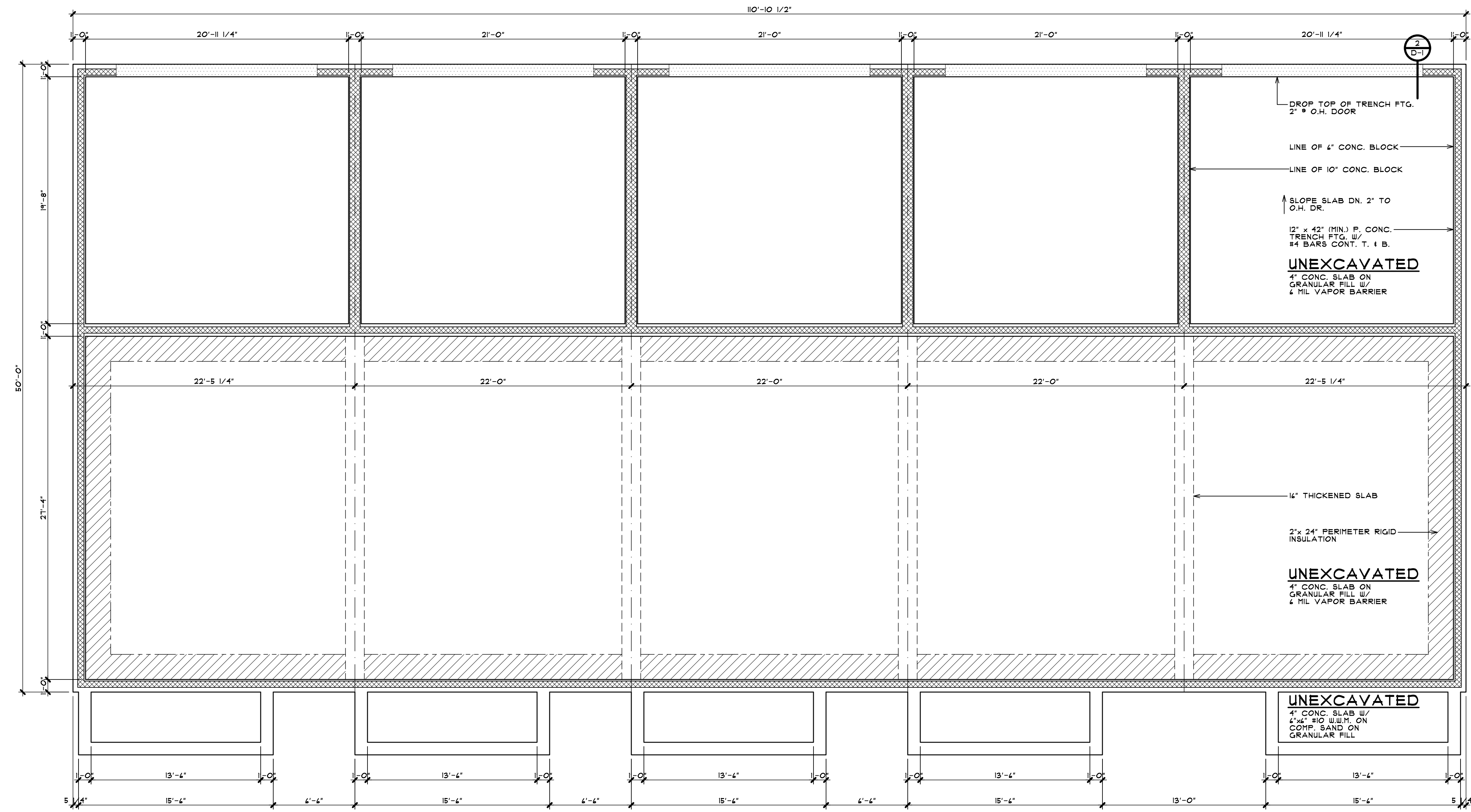
SHEET TITLE  
**TITLE SHEET**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
 TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	07-10-24
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<b>T-1A</b>	

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	07-10-24

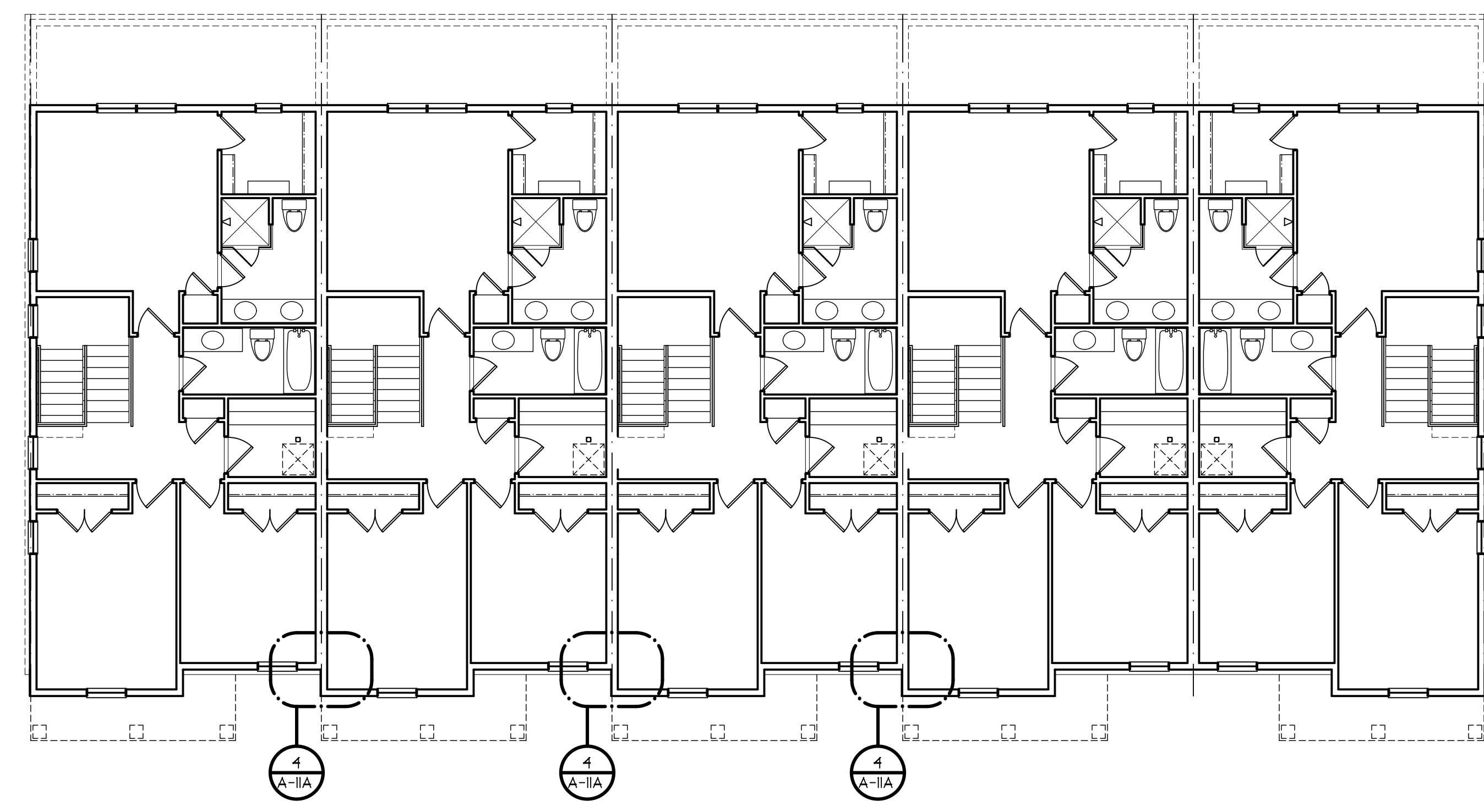
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**FOUNDATION PLAN - BUILDING TYPE 'A'**

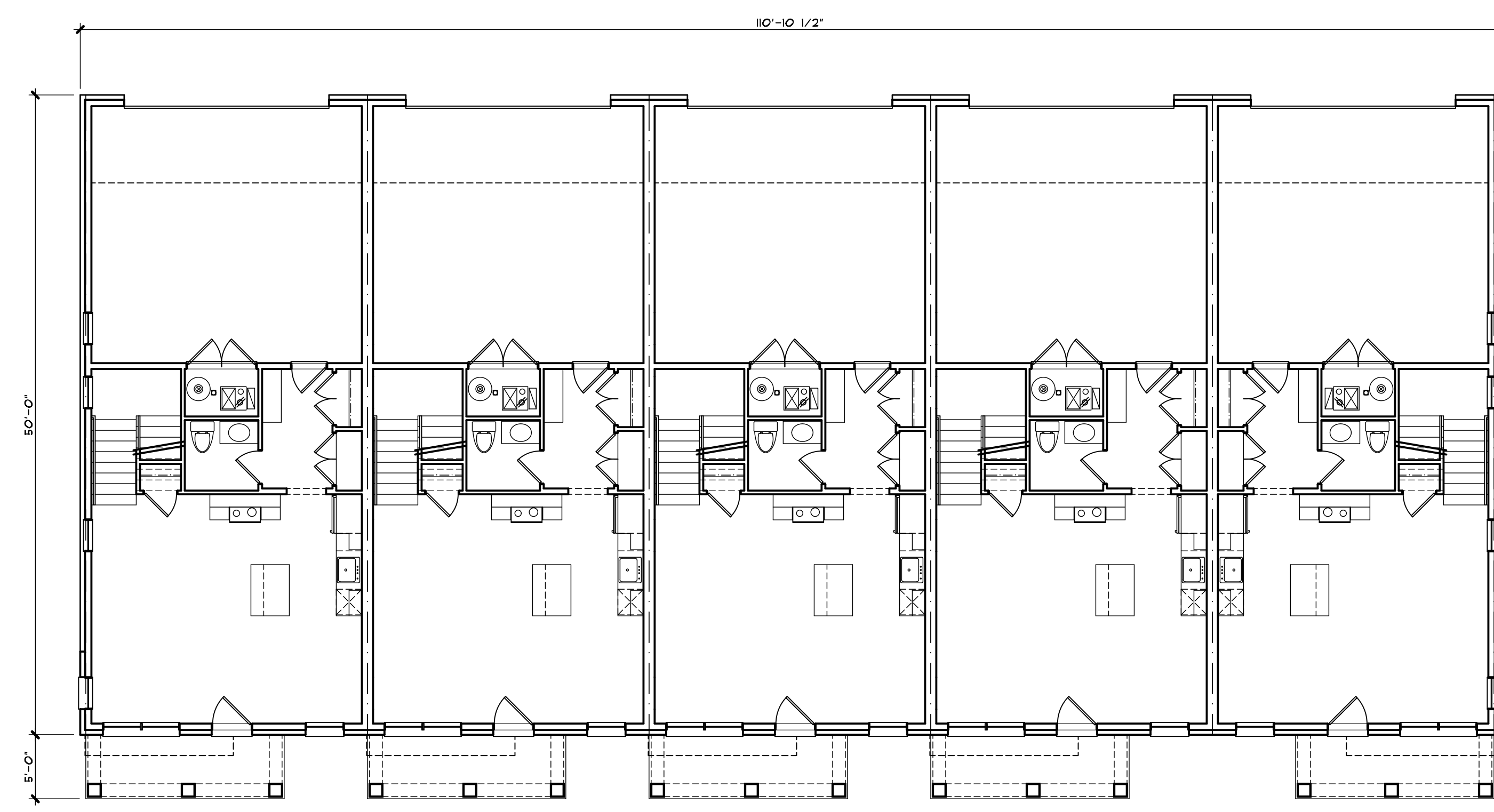
5 - UNIT  
 SCALE: 3/16" = 1'-0"

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	07-10-24
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**SECOND FLOOR PLAN - BUILDING TYPE 'A'**

5 - UNIT  
 SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - BUILDING TYPE 'A'**

5 - UNIT  
 SCALE: 1/8" = 1'-0"

**VENTING EXCEPTION**

EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE, PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:

1. IN CLIMATE ZONES 1, 2, AND 3 A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER DWGS FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 4" AT SIDING.

**ROOF VENTING CALCULATIONS:**

**PROPOSED VENT AREA PER UNIT**  
 VENT AREA RATIO 1/150  
 ATTIC AREA = 966 SQ.FT. (11/300)  
 VENT AREA = 322 SQ.FT. x 144 = 464 SQ.IN.  
 55% SOFFIT = 255 SQ.IN. EACH  
 45% RIDGE = 209 SQ.IN. EACH

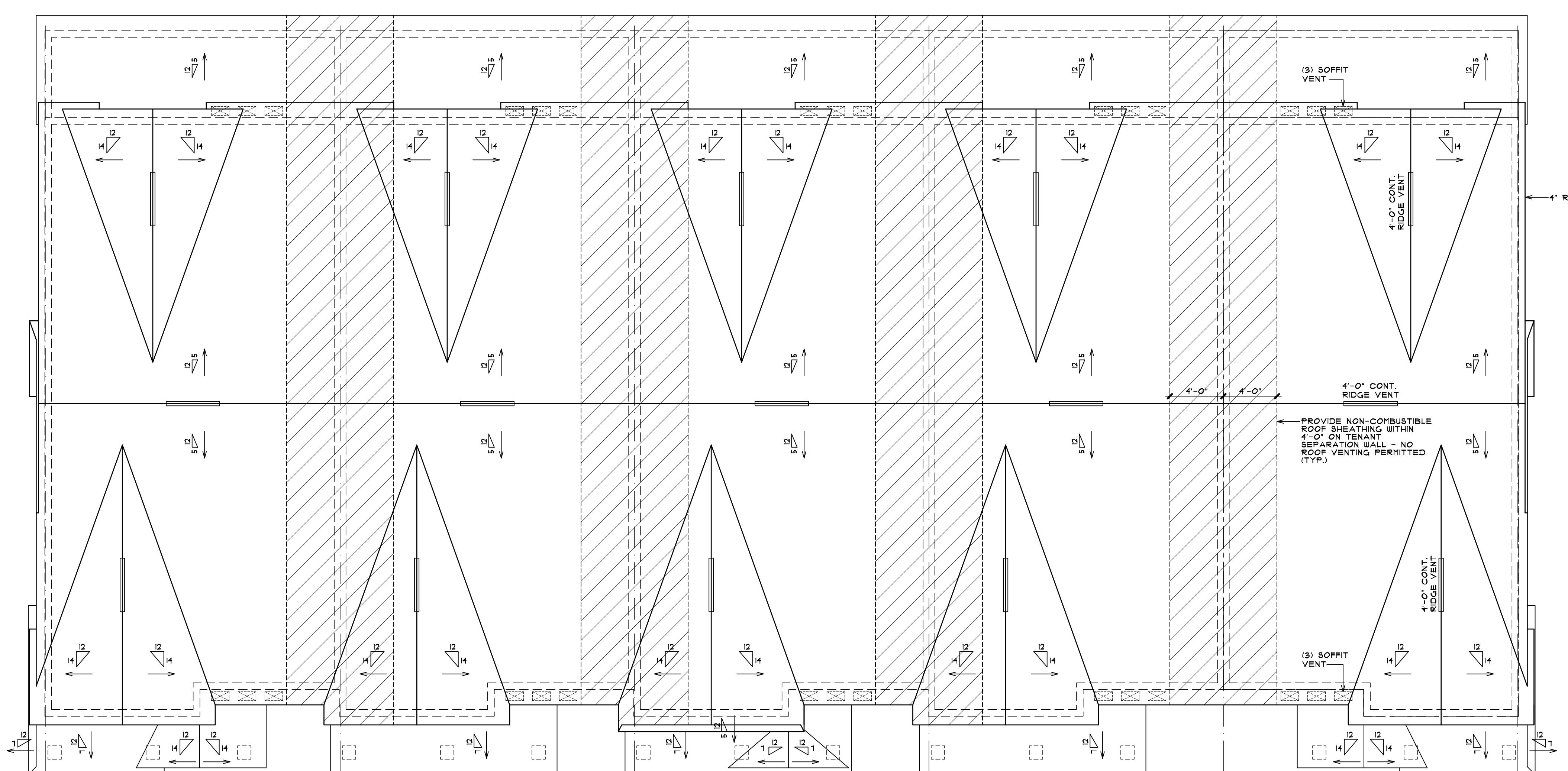
**VENT AREA PROVIDED @ RIDGE**  
 CONT. RIDGE TYPE @ 18 SQ.IN. PER FT. = 12 LIN.FT.  
 TOTAL VENTING AT RIDGE = 216 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 16"x 8" SOFFIT VENT @ 50 SQ.IN. PER UNIT = 4 UNITS  
 TOTAL VENTING AT SOFFIT = 300 SQ.IN.

**PROPOSED VENT AREA PER UNIT @ LOWER GARAGE**  
 VENT AREA RATIO 1/150  
 ATTIC AREA = 143 SQ.FT. (11/150)  
 VENT AREA = 0.95 SQ.FT. x 144 = 137 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 68.5 SQ.IN. EACH

**VENT AREA PROVIDED @ RIDGE**  
 OMNI-WALL VENT @ 9 SQ.IN. PER FT. = 8 LIN.FT.  
 TOTAL VENTING AT RIDGE = 72 SQ.IN.

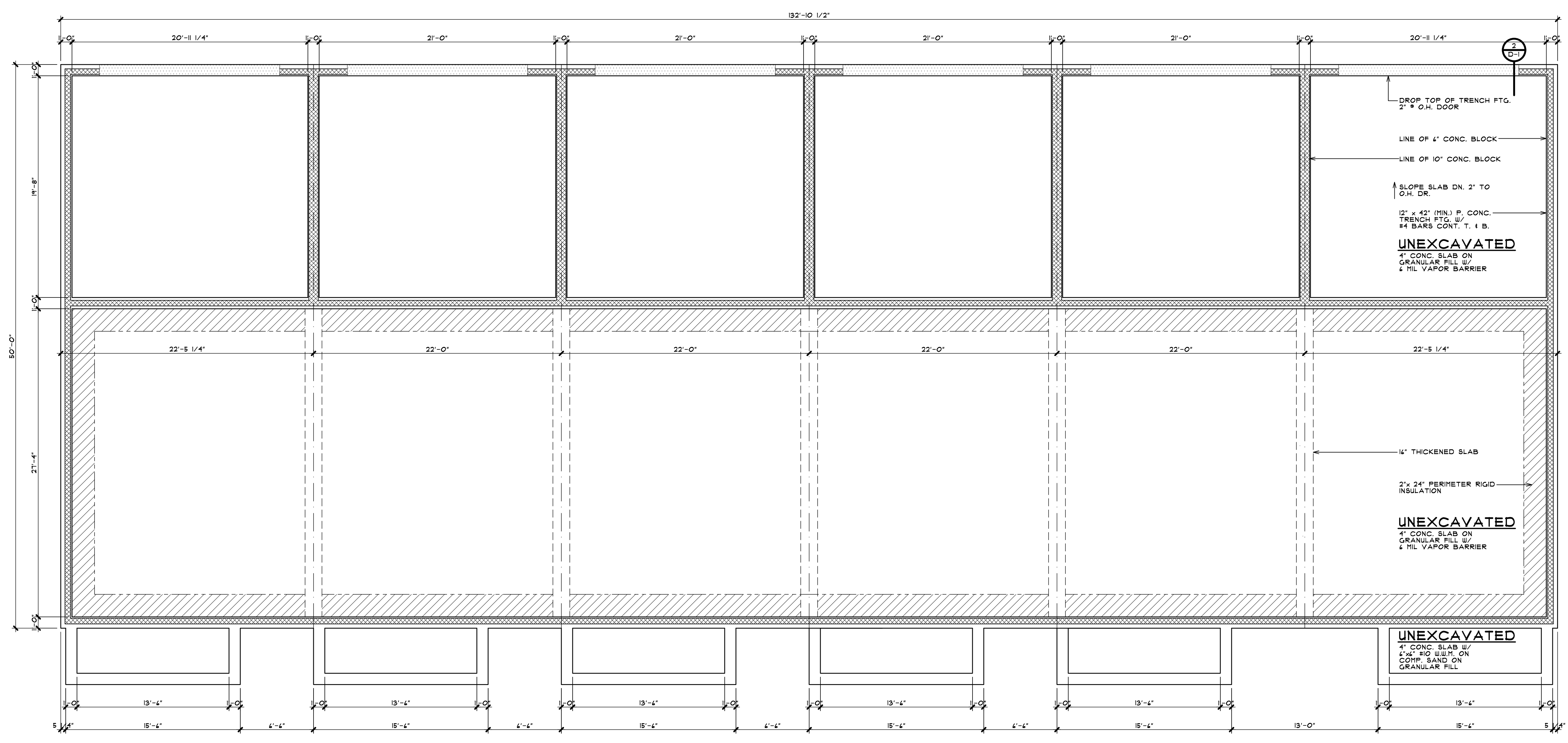
**VENT AREA PROVIDED @ SOFFIT**  
 CONTINUOUS SOFFIT TYPE @ 9 SQ.IN. PER FT. = 8 LIN.FT.  
 TOTAL VENTING AT SOFFIT = 72 SQ.IN.



**ROOF PLAN - BUILDING TYPE 'A'**

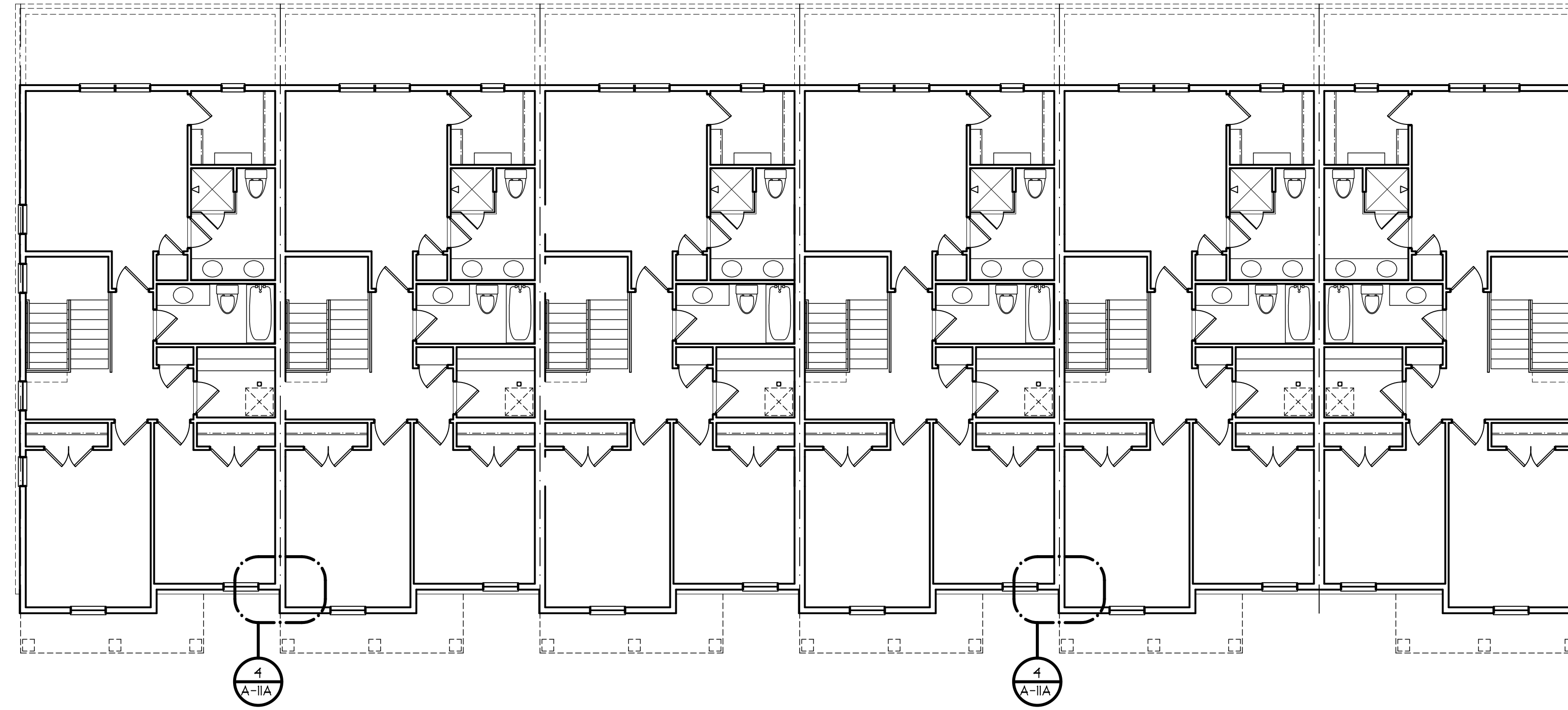
5 - UNIT  
 SCALE: 3/16" = 1'-0"

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
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SHEET NUMBER	<b>A-4A</b>



**FOUNDATION PLAN - BUILDING TYPE 'A'**

6 - UNIT  
 SCALE: 3/16" = 1'-0"



**SECOND FLOOR PLAN - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



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630 BRIMLEY WICHIGAN  
BRIANNEEP.COM  
248.259.1784

SHEET TITLE  
**1st & 2nd FLOOR PLANS**  
**BLDG. TYPE 'A' - 6 UNIT**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
TROY, MICHIGAN

PRELIMINARY	03-27-24
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PERMITS	
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**A-5A**



**VENTING EXCEPTION**  
 EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE, PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:  
 1. IN CLIMATE ZONES 1, 2, AND 3 A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.  
 2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

**OVERHANGS & DRAINAGE**  
 PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER DWGS FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.  
 UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING.

**ROOF VENTING CALCULATIONS:**

**PROPOSED VENT AREA PER UNIT**  
 VENT AREA RATIO 1/150  
 ATTIC AREA = 966 SQ.FT. (1/300)  
 VENT AREA = 3.22 SQ.FT. x 144 = 464 SQ.IN.  
 55% SOFFIT = 255 SQ.IN. EACH  
 45% RIDGE = 209 SQ.IN. EACH

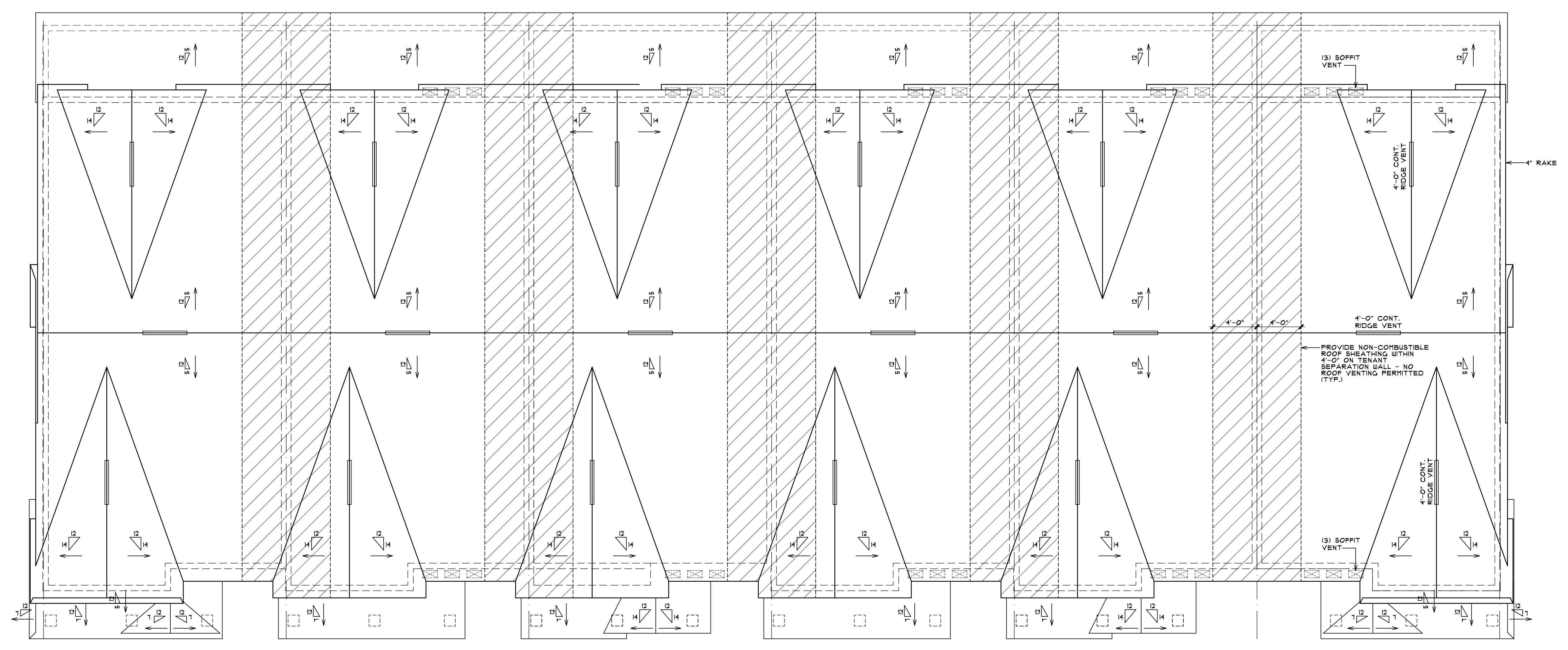
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 CONT. RIDGE TYPE @ 18 SQ.IN. PER FT. = 12 LIN.FT.  
 TOTAL VENTING AT RIDGE = 216 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 16"x 8" SOFFIT VENT @ 50 SQ.IN. PER UNIT = 4 UNITS  
 TOTAL VENTING AT SOFFIT = 300 SQ.IN.

**PROPOSED VENT AREA PER UNIT @ LOWER GARAGE**  
 VENT AREA RATIO 1/150  
 ATTIC AREA = 143 SQ.FT. (1/150)  
 VENT AREA = 0.95 SQ.FT. x 144 = 137 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 68.5 SQ.IN. EACH

**VENT AREA PROVIDED @ RIDGE**  
 OMNI-WALL VENT @ 9 SQ.IN. PER FT. = 8 LIN.FT.  
 TOTAL VENTING AT RIDGE = 72 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 CONTINUOUS SOFFIT TYPE @ 9 SQ.IN. PER FT. = 8 LIN.FT.  
 TOTAL VENTING AT SOFFIT = 72 SQ.IN.



**ROOF - BUILDING TYPE 'A'**

6 - UNIT  
 SCALE: 3/16" = 1'-0"



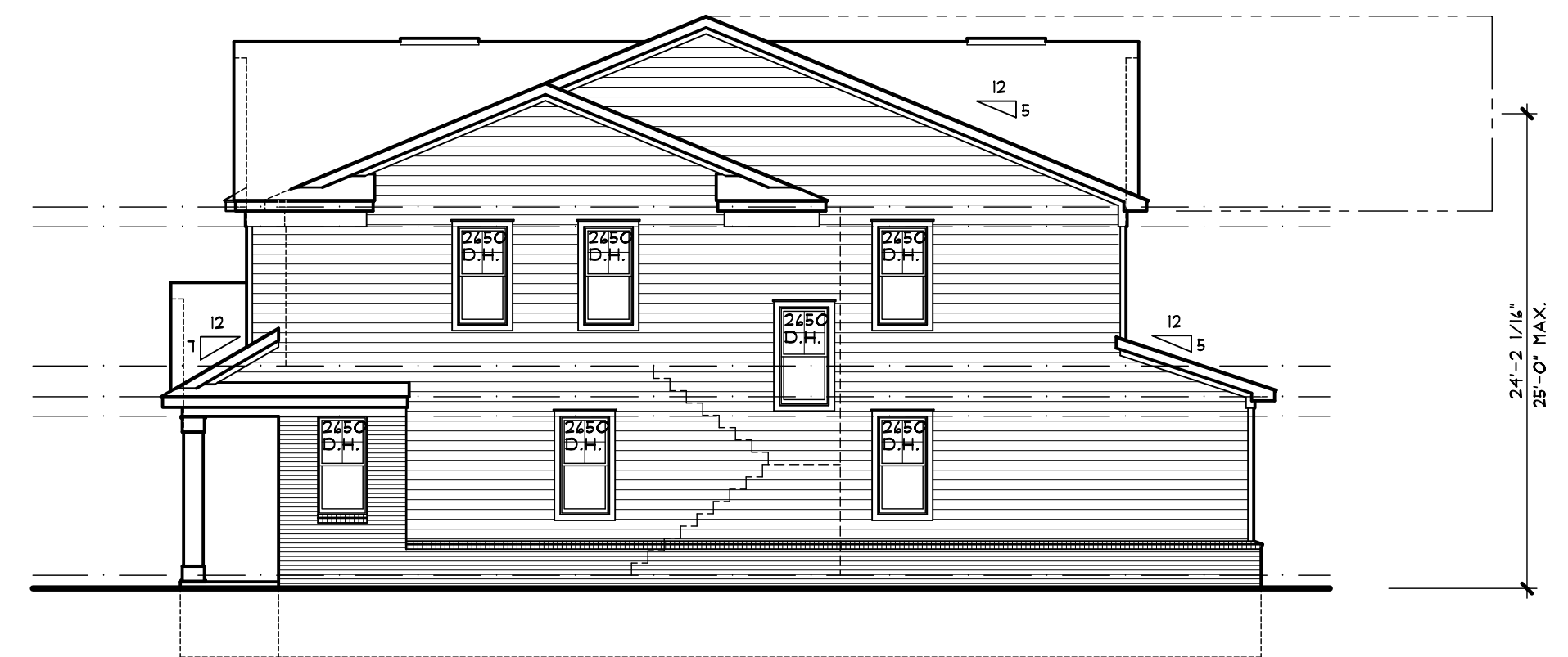
**REAR ELEVATION - BUILDING TYPE 'A'**

5 - UNIT  
SCALE: 1/8" = 1'-0"



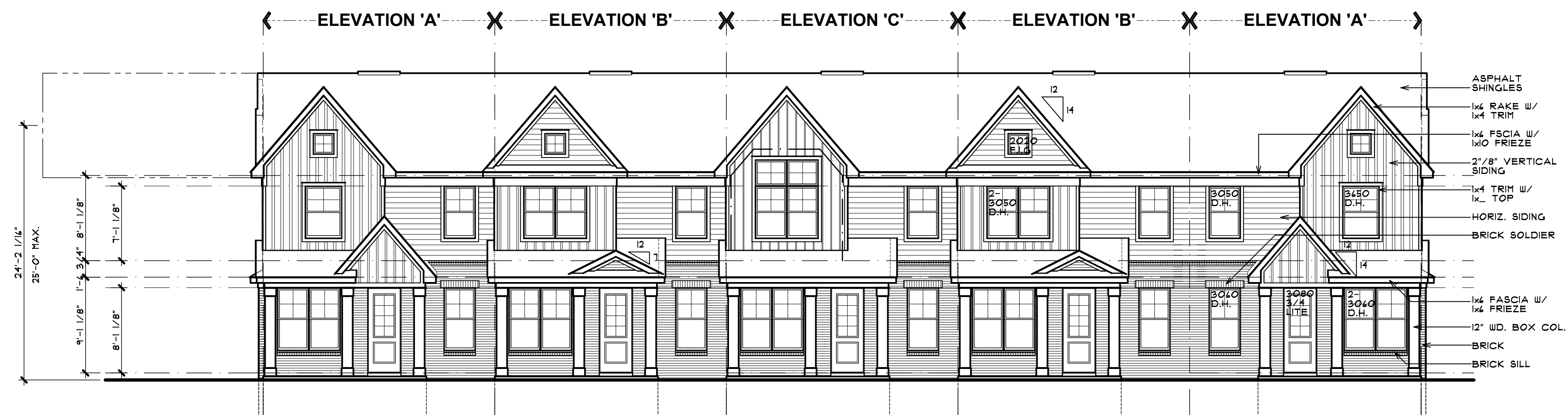
**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'A'**

5 - UNIT  
SCALE: 1/8" = 1'-0"

PRELIMINARY	03-27-24
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SHEET NUMBER	<b>A-7A</b>



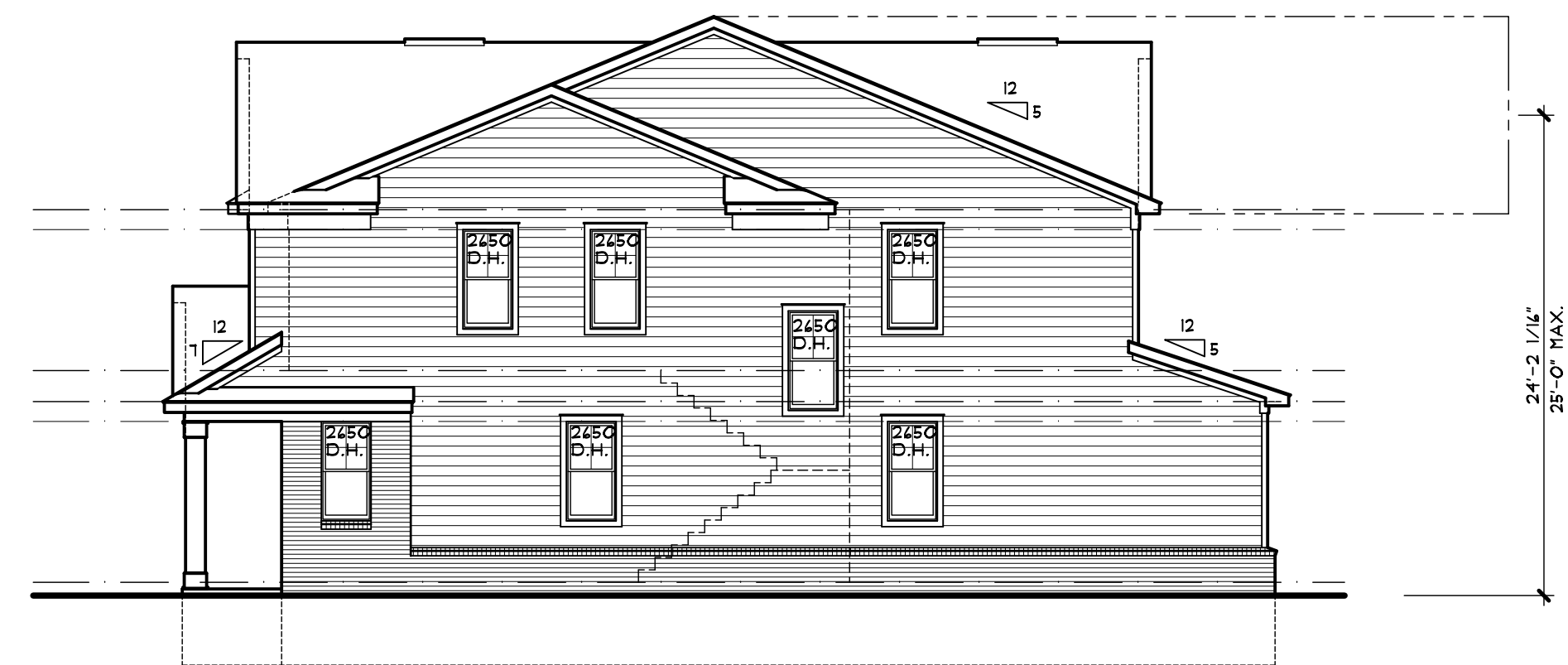
**REAR ELEVATION - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



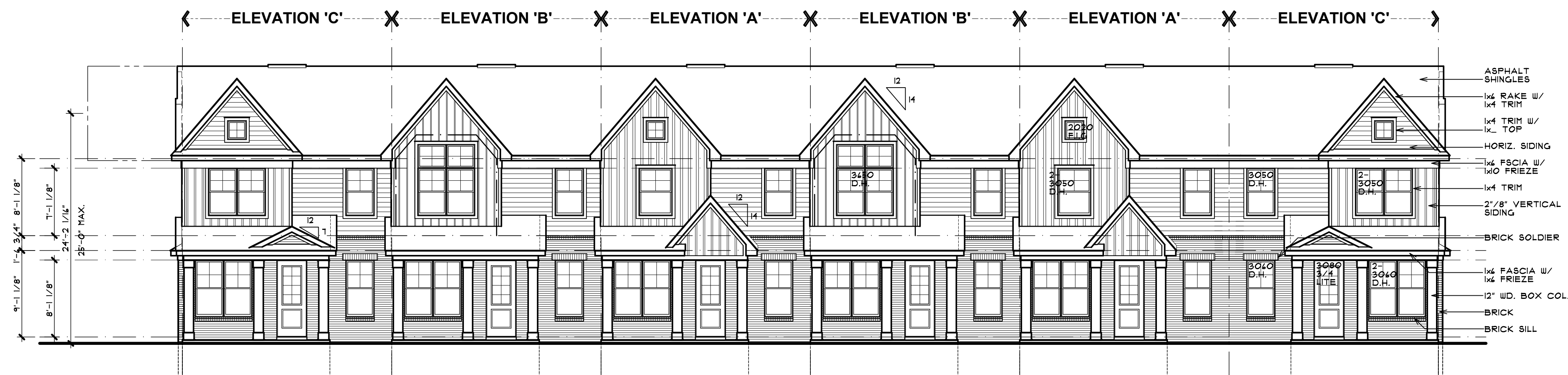
**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 1/8" = 1'-0"

- ASPHALT SHINGLES
- 1/4" RAKE W/ 1/4" TRIM
- 1/4" FASCIA W/ 1/4" FRIEZE
- 2 7/8" VERTICAL SIDING
- 1/4" TRIM W/ 1/4" TOP
- HORIZ. SIDING
- 1/4" FASCIA W/ 1/4" FRIEZE
- BRICK
- BRICK SILL

- ASPHALT SHINGLES
- 1/4" RAKE W/ 1/4" TRIM
- 1/4" FASCIA W/ 1/4" FRIEZE
- 1/4" TRIM W/ 1/4" TOP
- HORIZ. SIDING
- 2 7/8" VERTICAL SIDING
- BRICK SOLDIER
- 1/4" FASCIA W/ 1/4" FRIEZE
- 12" W. BOX COL.
- BRICK
- BRICK SILL



**BRIAN NEEP ARCHITECTURE P.C.**  
DESIGN - PLANNING - INTERIORS  
630 BRIMLEY WICHIGAN  
BRIANNEEP.COM  
248.259.1784

SHEET TITLE  
**O.A. BUILDING ELEVATIONS**  
**BUILDING TYPE 'A' 6-UNIT**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	07-10-24
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JOB NUMBER	23060
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SHEET NUMBER	<b>A-8A</b>

**STRUCTURAL NOTES:**

(2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUD UNLESS NOTED OTHERWISE.  
 (2) 2x10 LARGER HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.  
 ALL PRE-ENGINEERED HEADERS FRAMED PERPENDICULAR TO WALL LINE SHALL BEAR ON REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL.  
 ALL PRE-ENGINEERED HEADERS FRAMED PARALLEL TO WALL LINE SHALL BEAR ON A MINIMUM (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.  
 ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT-UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS. ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.  
 ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLYS, WHICH EVER IS GREATER.  
 TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL No. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.  
 CARPENTER CONTRACTOR TO INSTALL NAIL SIZES I NUMBER REQ'D. AS SPECIFIED FOR EACH TYPE OF HANGER.  
 LVL DESIGN VALUES FOR MODULUS OF ELASTICITY ( E ) SHALL BE 2,000,000 PSI ( 2.0 E )

**WALL DIMENSION NOTE:**

ALL WALL DIMENSIONS ARE TO THE ROUGH. INTERIOR PARTITIONS ARE 3/4" (2x4) UNLESS NOTED OR DIMENSIONED OTHERWISE. EXTERIOR FRAME WALLS INCLUDE 1/2" NOMINAL DIMENSION FOR EXTERIOR SHEATHING. EXTERIOR FRAME WALLS ARE 4" (2x4) UNLESS NOTED OR DIMENSIONED OTHERWISE. BRICK LEDGE, BRICK OR STONE EXTERIOR WITH AIR SPACE IS 4 1/2" UNLESS NOTED OR DIMENSIONED OTHERWISE.

**TRUSS NOTES:**

FLOOR TRUSS MANUFACTURER TO DESIGN FOR ADDITIONAL DEAD LOAD OF NON-BEARING DOUBLE STUD WALL(S) AND STAGGER STUD WALL(S) CONSTRUCTION.  
 PROVIDE VERTICAL BLOCKING \* TRUSS WEB AREA IF THERE IS SOLID BLOCKING ON THE FLOOR ABOVE.  
 ALL STRUCTURAL MEMBERS WHICH ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND WHICH SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ROOF, OR SUPPORT A LOADBEARING WALL OR A NONLOADBEARING WALL MORE THAN TWO STORES IN HEIGHT, SHALL BE INDIVIDUALLY PROTECTED ON ALL SIDES FOR THE FULL LENGTH OR HEIGHT WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.

**ELECTRICAL NOTES:**

ALL RECESSED LIGHT ARE TO BE IC (INSULATION CONTACT) RATED.  
 ALL RECESSED FIXTURES ARE TO BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES  
 PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN GARAGES AND UNFINISHED BASEMENTS AREAS EXCEPT THOSE FOR FIRE OR BURGLAR ALARM SYSTEMS.  
 A MINIMUM OF 75% OF ALL PERMANENTLY INSTALLED LIGHTING FIXTURES MUST USE CFL BULBS OR OTHER HIGH EFFICIENCY LAMPS  
 ALL INTERIOR TREADS AND LANDINGS MUST BE ILLUMINATED WITH NOT LESS THAN 1 FOOT CANDLE.  
 EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP OF THE LANDING.

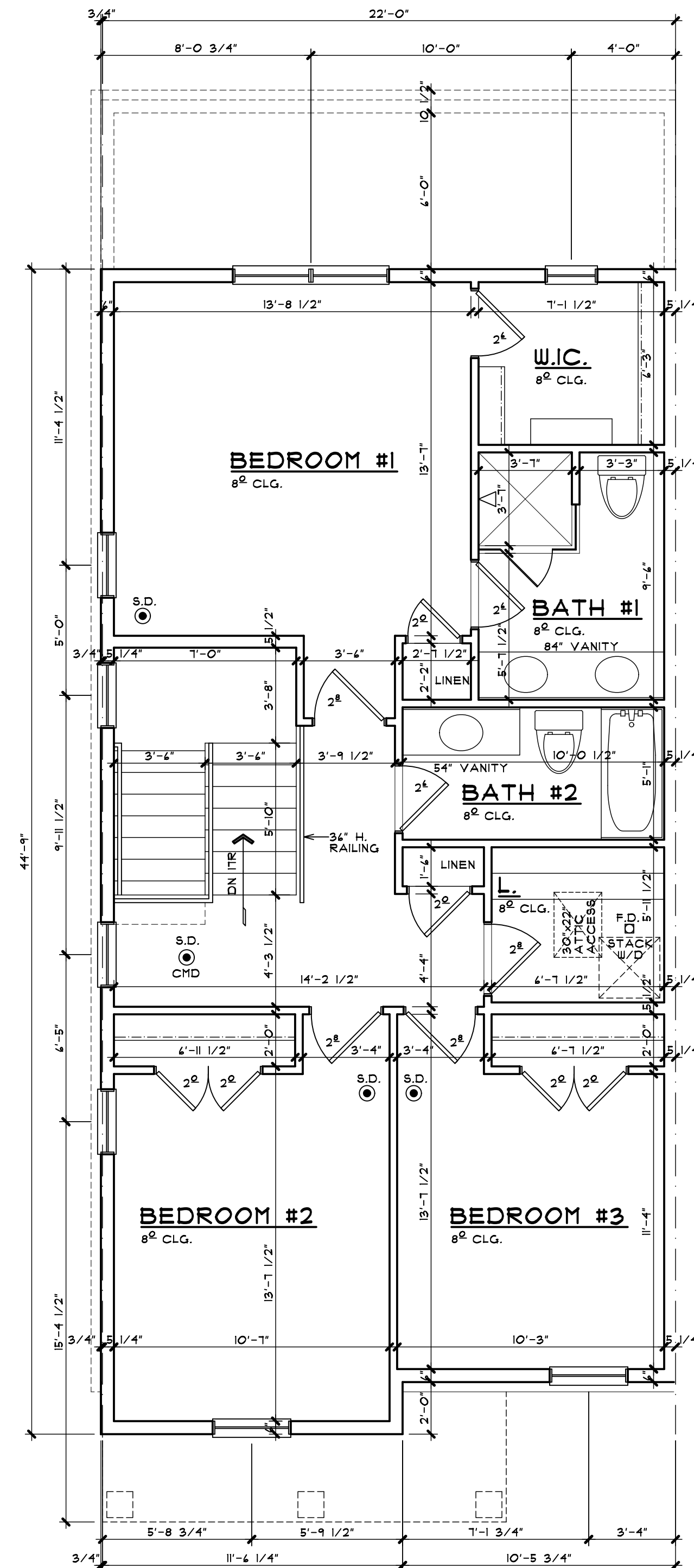
**MICHIGAN UNIFORM ENERGY CODE**

BUILDERS OPTIONS FOR COMPLIANCE: **CLIMATE ZONE 5A**

A) PROVIDE INSULATION AND PERFORMANCE VALUES AS PRESCRIBED IN SECTION 302 (PRESCRIPTIVE) 2009 M.U.E.C.

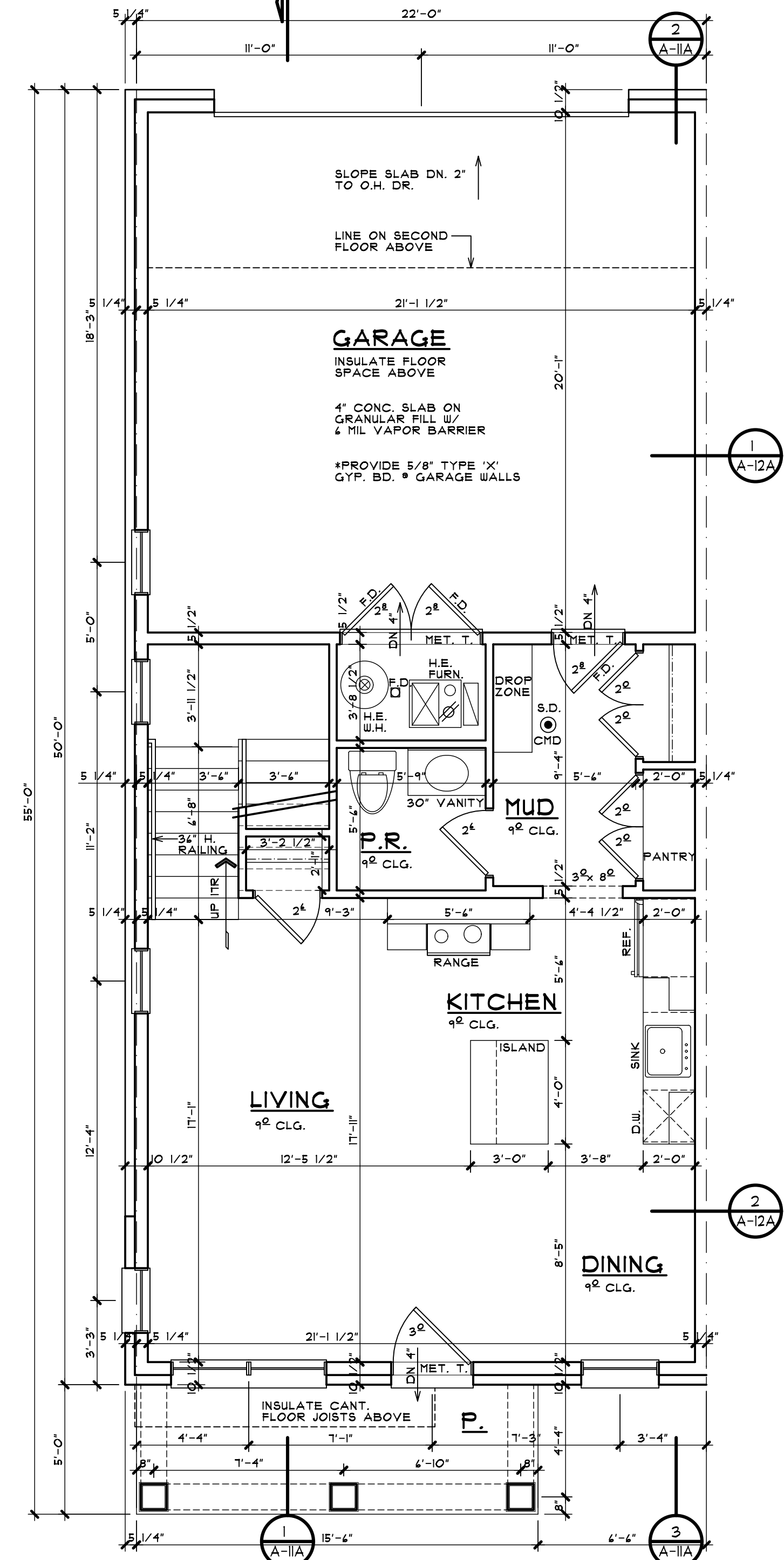
EXTERIOR ENCLOSURE	VALUE
WALL ASSEMBLIES	R-20
ROOF / CEILING	R-38
SLAB ON GRADE	R-10
CRAWL SPACE WALL (CONTINUOUS)	R-10
CRAWL SPACE WALL (CAVITY)	R-13
BASEMENT WALL (CONTINUOUS)	R-10
BASEMENT WALL (CAVITY)	R-13
FENESTRATION / OPENINGS (AREA WEIGHTED AVERAGE OF THE TOTAL AREA OF FENESTRATION UNITS)	U-0.35 R-2.85

\* SEE TABLE 402.11 FOR FOOTNOTES  
 B) PROVIDE A SIMULATED ENERGY PERFORMANCE ANALYSIS (BY OTHERS) AS PRESCRIBED IN SECTION 405 (PERFORMANCE). PROVIDE INSULATION AND FENESTRATION VALUES AS REQUIRED.



**SECOND FLOOR PLAN**

BUILDING TYPE 'A' SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**

BUILDING TYPE 'A' SCALE: 1/4" = 1'-0"

**SQUARE FOOTAGE**

1ST FLOOR	581 SQ FT
2ND FLOOR	964 SQ FT
TOTAL	1,545 SQ FT



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 248.259.1784

SHEET TITLE  
**DWELLING UNIT PLANS**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
 BUILDING TYPE 'A'  
 TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	07-10-24
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**A-9A**

**WINDOW SILLS**

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

- WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2094 OR F 2090.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER DWG# FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING.

**STEEL LINTEL SCHEDULE**

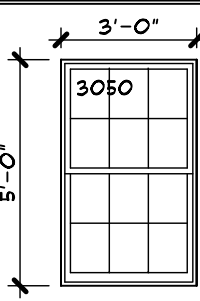
LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
6'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS. NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF PAINT - INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

**TYP. WINDOW DESIGNATION**

GENERAL REFERENCE FOR WINDOW OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.

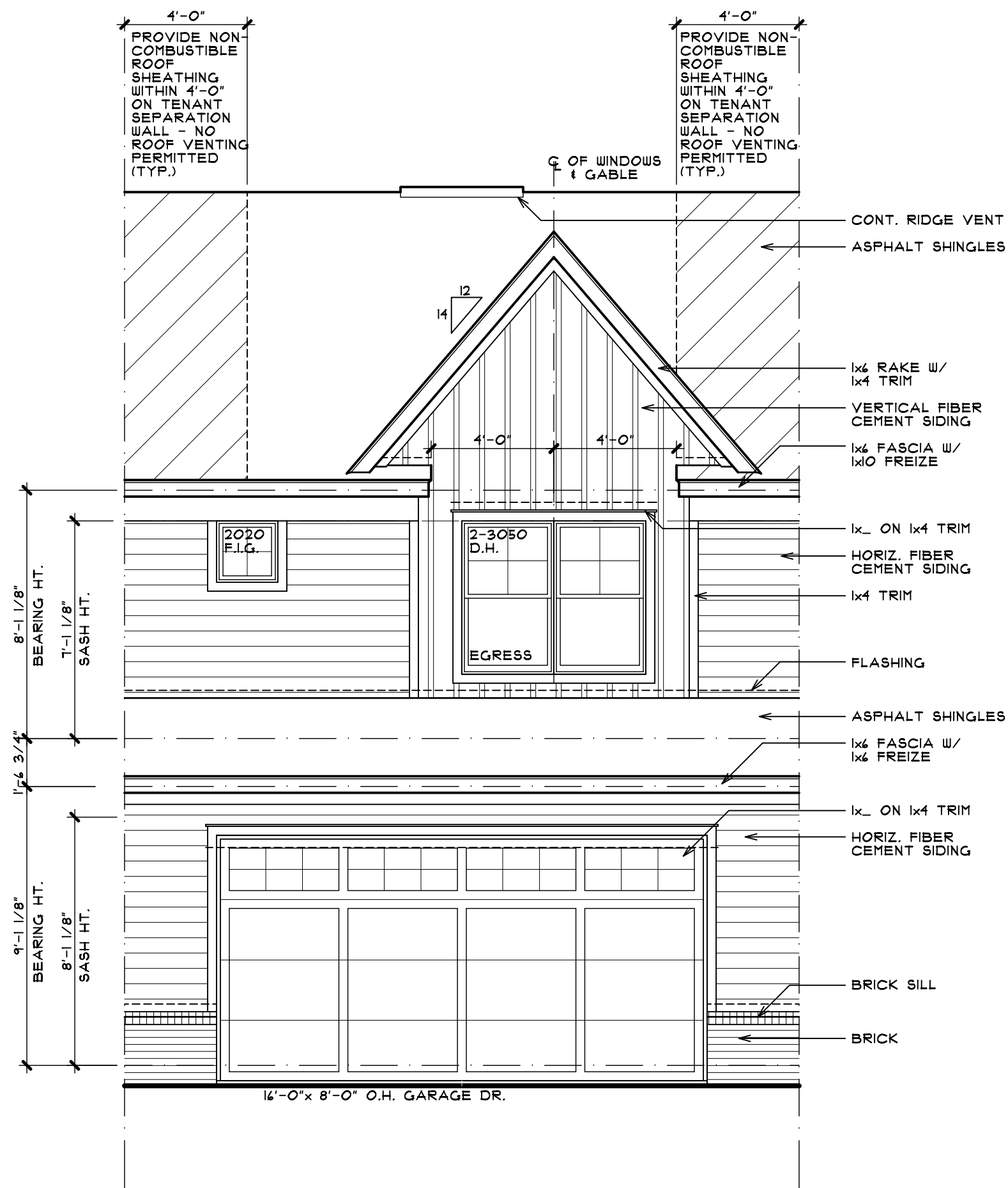


**EGRESS WINDOW**

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

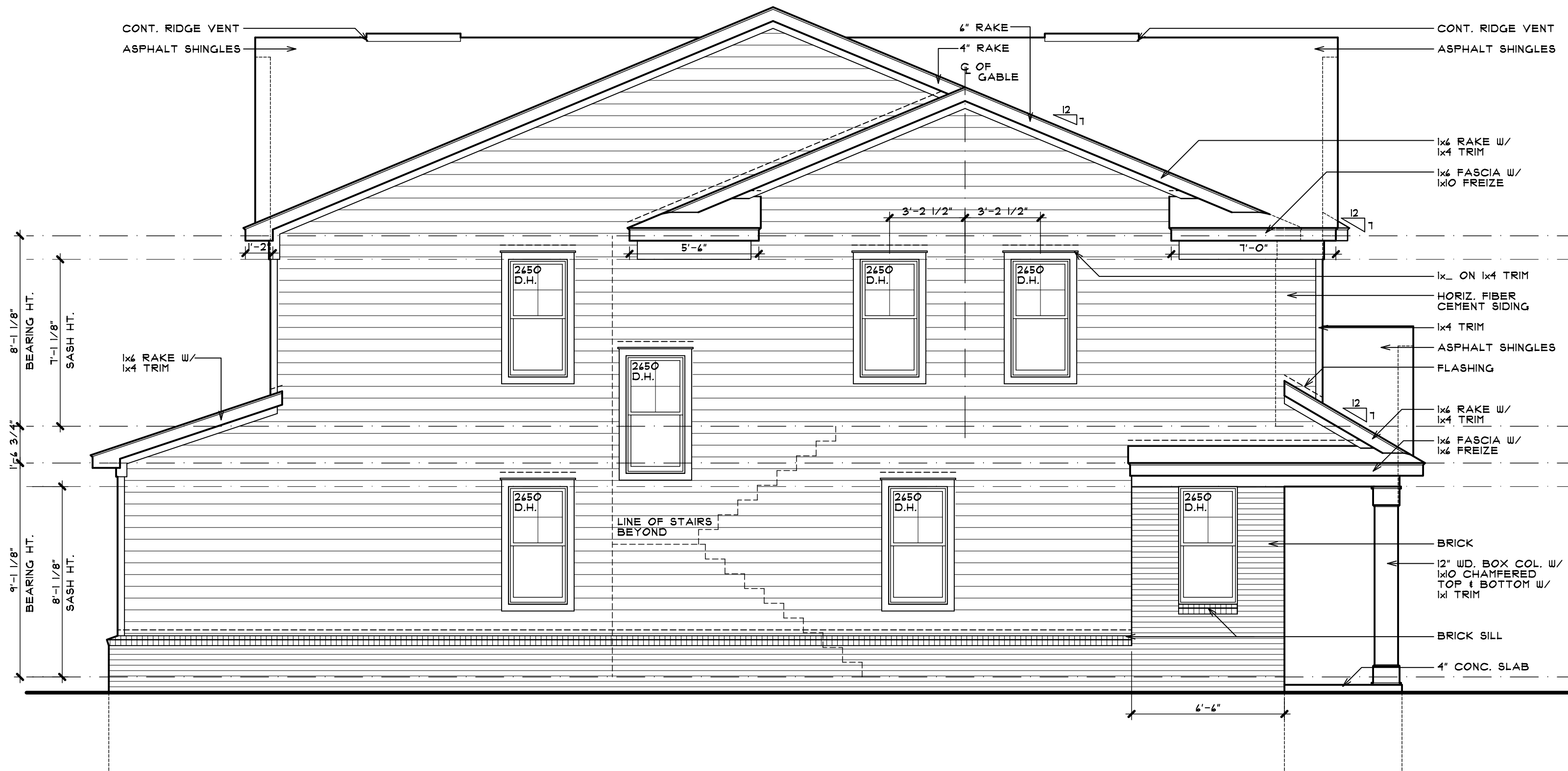
**GENERAL NOTES**

- BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.
- TRUSS DESIGNER/FABRICATOR SEE SHEET N-2 FOR ADDITIONAL NOTES & INFORMATION.
- DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
- SEE CIVIL ENGINEER'S DWG# FOR ALL FINAL A/C UNIT, ELECTRICAL METER & GAS METER LOCATIONS.



**REAR ELEVATION**

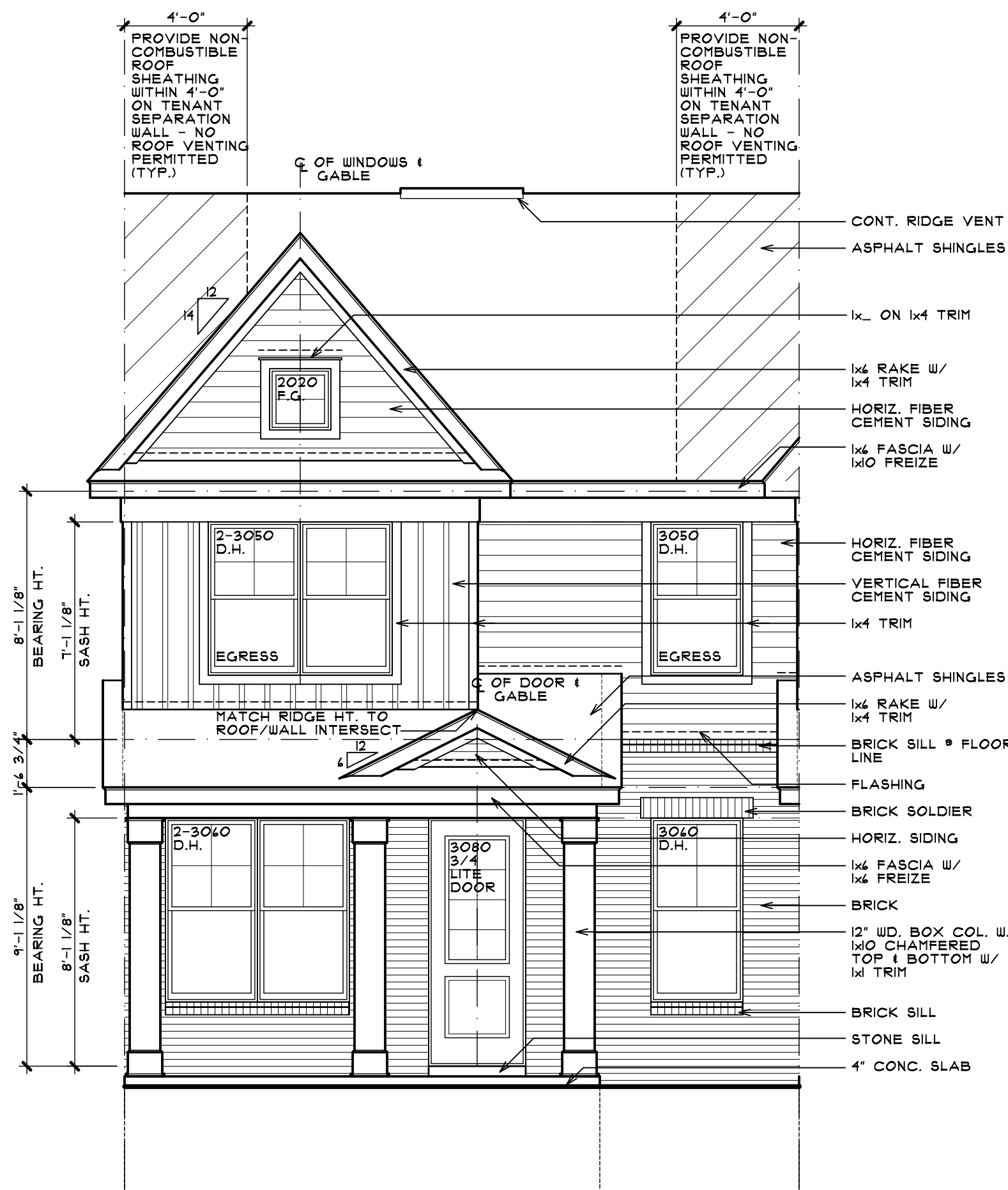
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

RIGHT SIDE OPPOSITE HAND

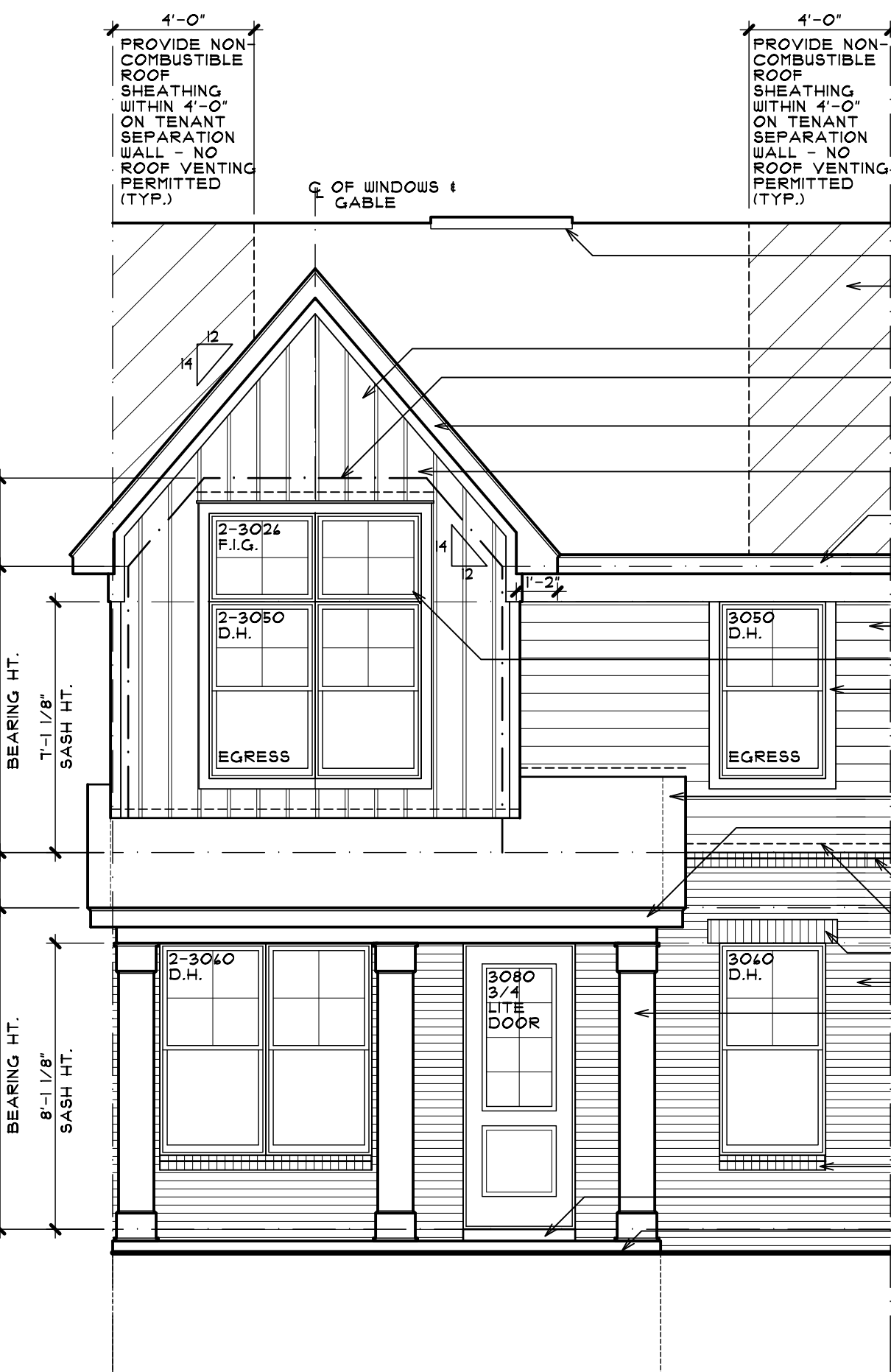
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'C'

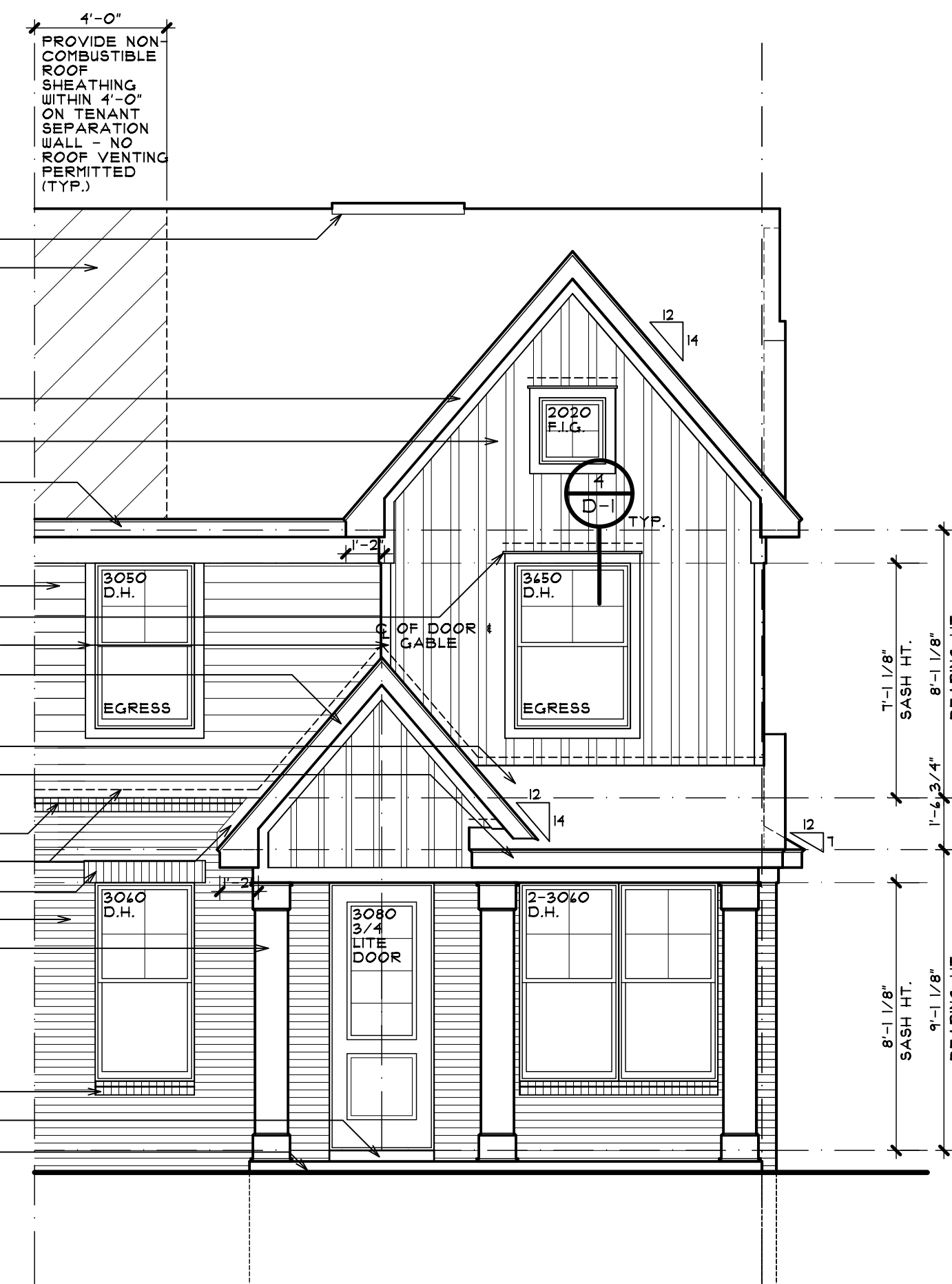
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'B'

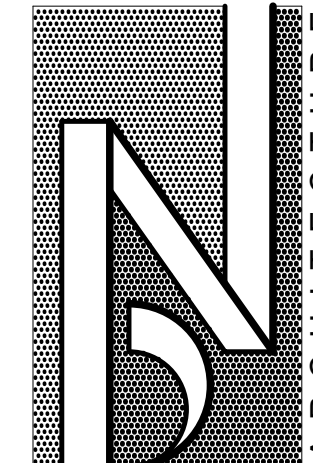
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'A'

SCALE: 1/4" = 1'-0"

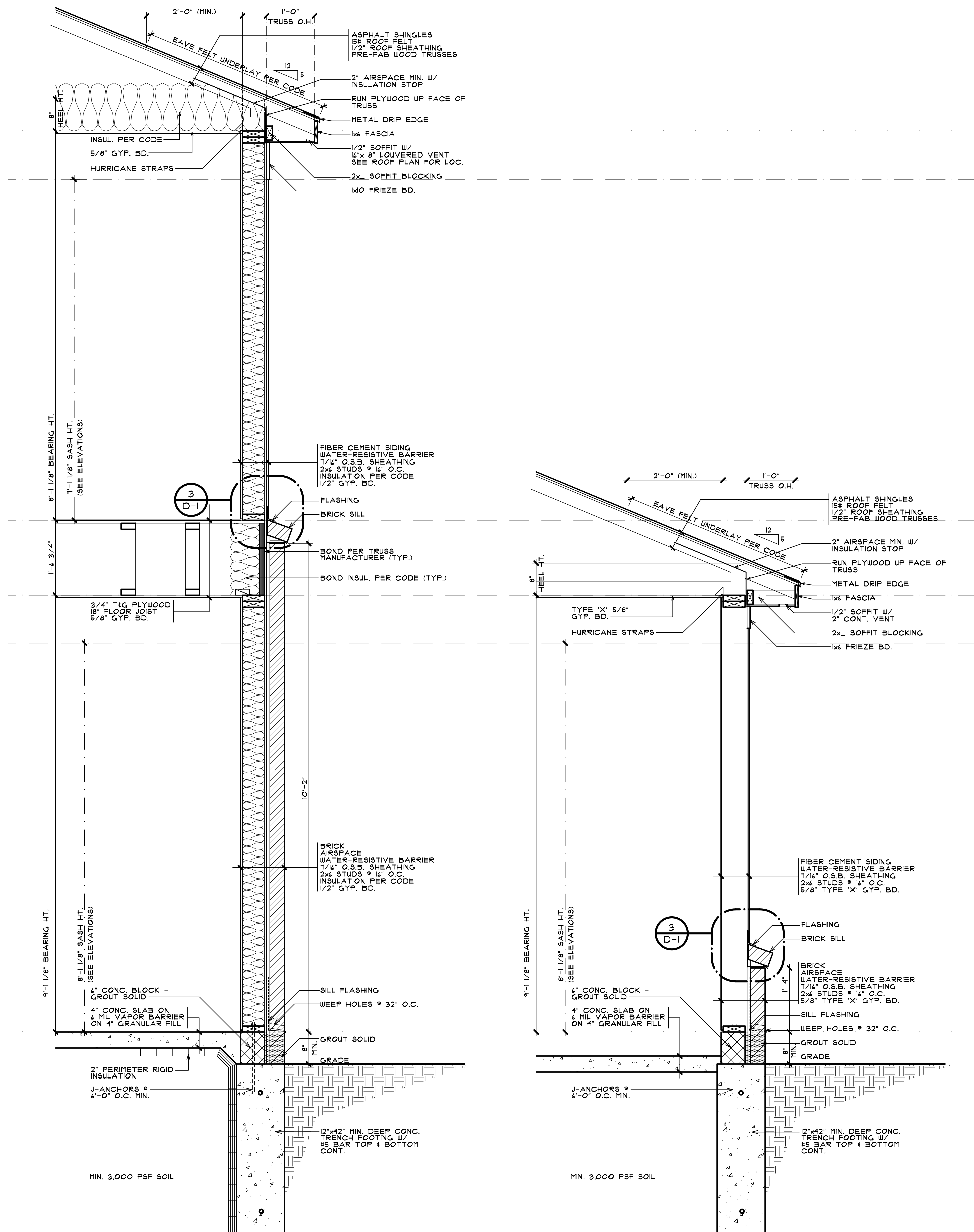


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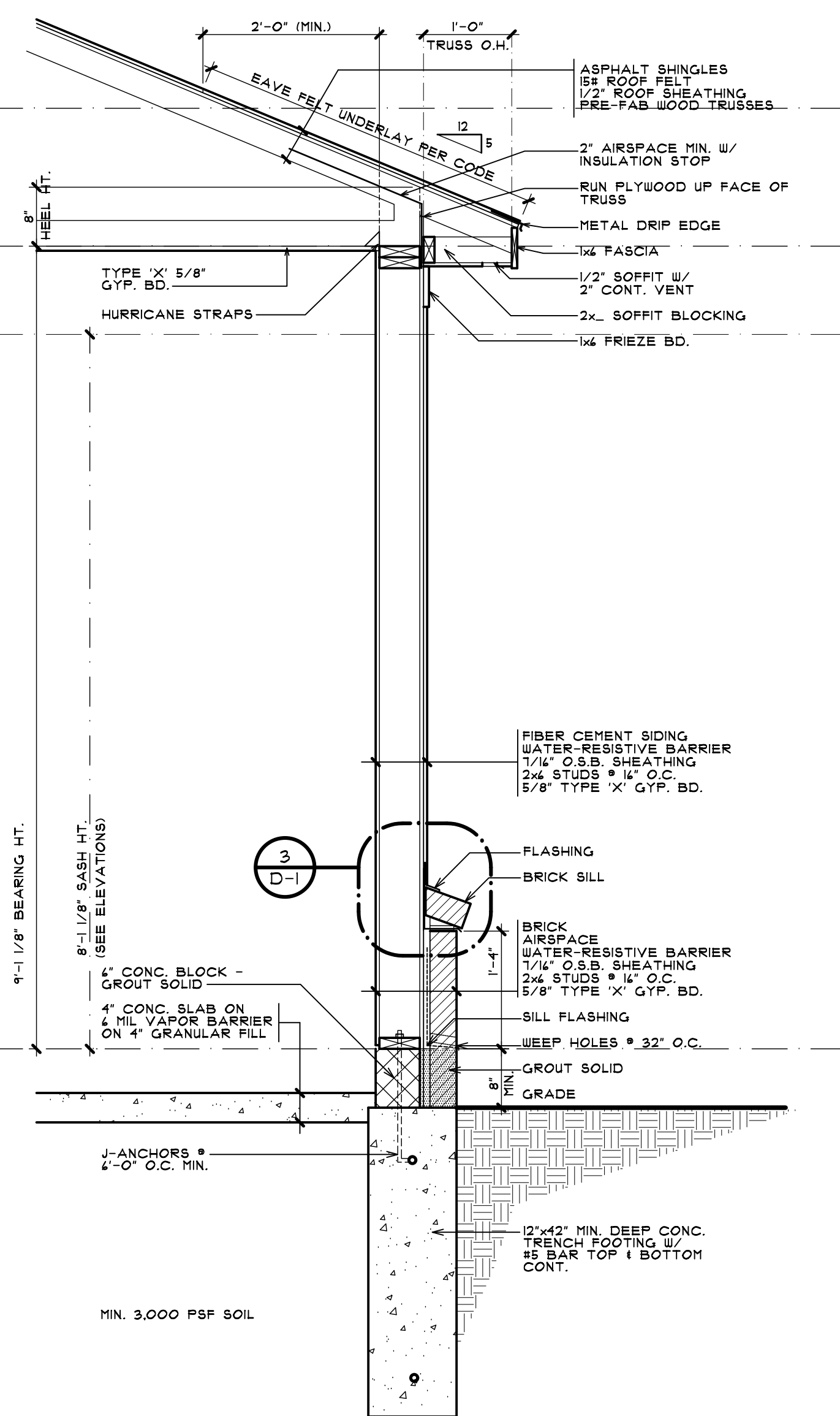
SHEET TITLE  
**UNIT ELEVATIONS**  
**BUILDING TYPE 'A'**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
TROY, MICHIGAN

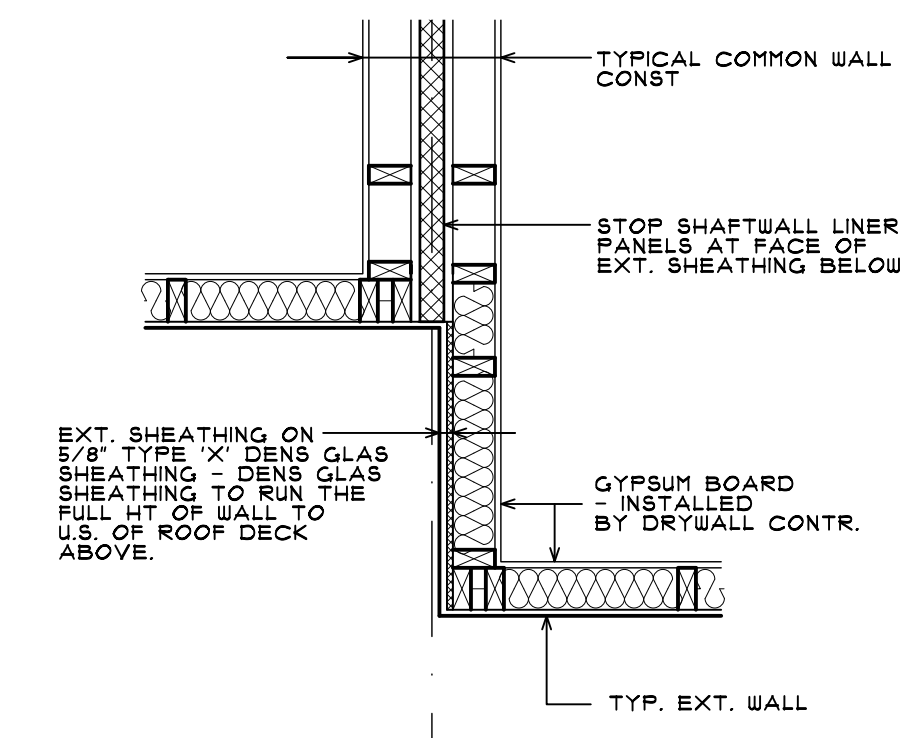
PRELIMINARY	03-27-24
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REVISIONS	07-10-24
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SHEET NUMBER	<b>A-10A</b>



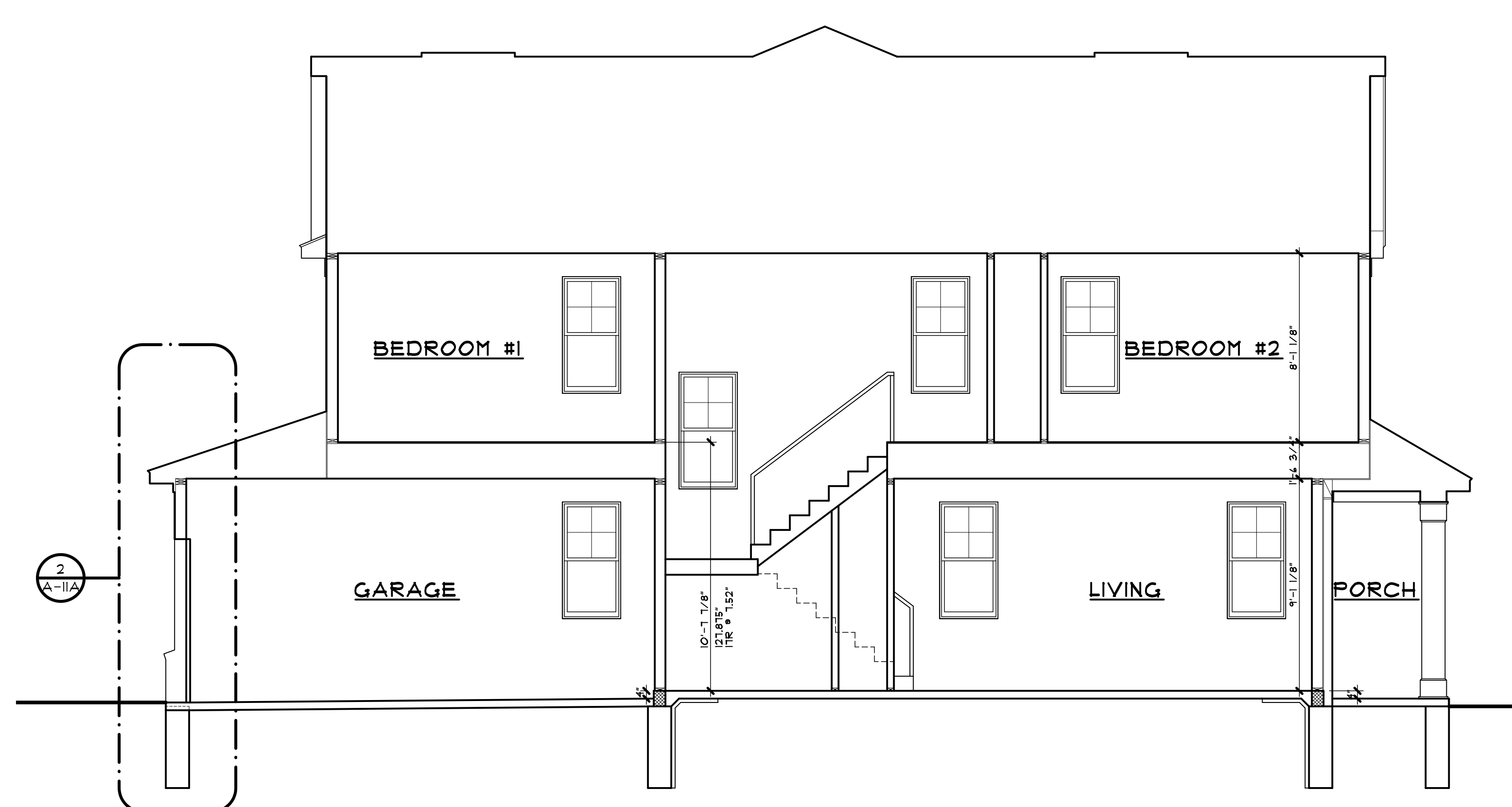
**3 WALL SECTION**  
A-11A SCALE: 3/4" = 1'-0"



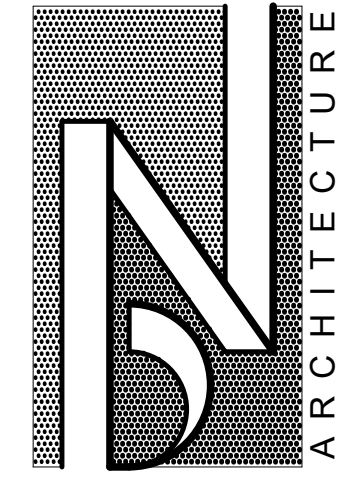
**2 WALL SECTION**  
A-11A SCALE: 3/4" = 1'-0"



**4 WALL SECTION**  
A-11A SCALE: 3/4" = 1'-0"



**1 BUILDING SECTION**  
A-11A SCALE: 1/4" = 1'-0"

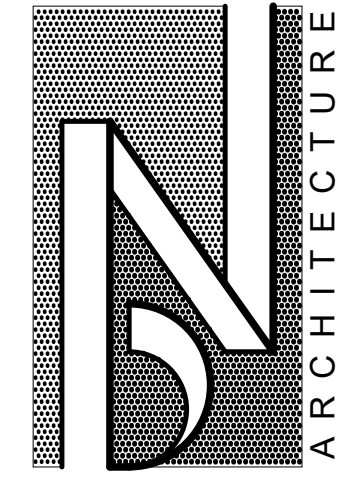


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**BUILDING & WALLS SECTIONS**  
BUILDING TYPE 'A'  
PRELIMINARY

**CLIENT / PROJECT**  
JOHN R TOWNHOME DEV.  
BUILDING TYPE 'A'  
TROY, MICHIGAN

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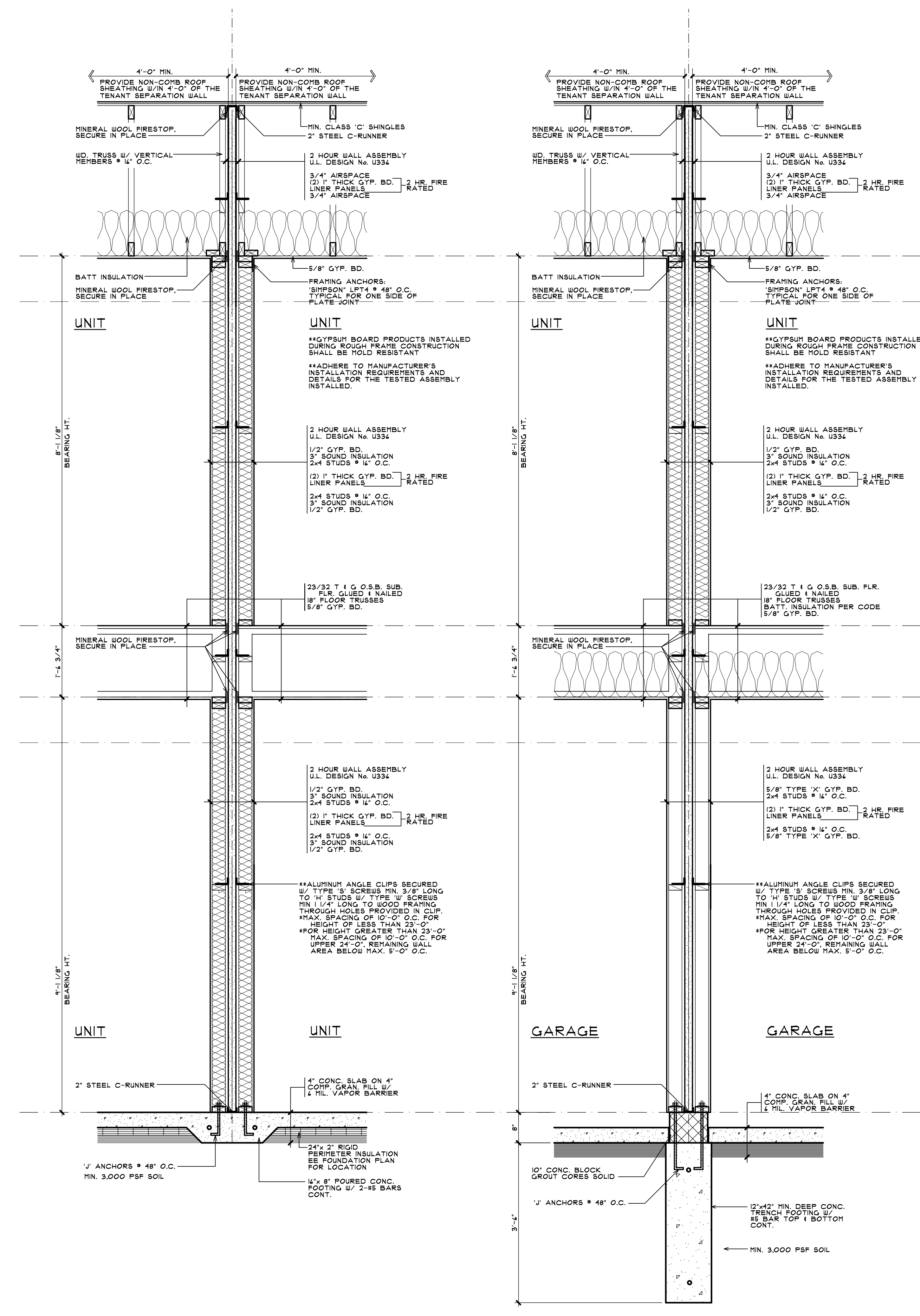


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 BRIANNEEP.COM  
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SHEET TITLE  
**WALLS SECTIONS**  
**BUILDING TYPE 'A'**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'A'**  
 TROY, MICHIGAN

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**2 WALL SECTION**  
 A-12A SCALE: 3/4" = 1'-0"

**1 WALL SECTION**  
 A-12A SCALE: 3/4" = 1'-0"

**A-12A**



**FRONT ELEVATION - BUILDING TYPE 'A'**

5 - UNIT  
SCALE: 3/16" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'A'**

6 - UNIT  
SCALE: 3/16" = 1'-0"



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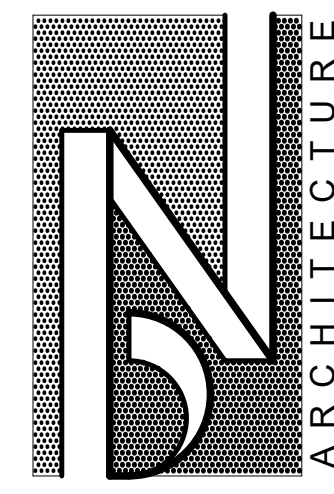
SHEET TITLE  
**RENDERED FRONT BUILDING  
ELEVATIONS  
BUILDING TYPE 'A'  
PRELIMINARY**

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.  
BUILDING TYPE 'A'  
TROY, MICHIGAN**

PRELIMINARY	03-27-24
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PERMITS	
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**A-13A**





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 BRIANNEEPER.COM  
 248. 259. 1784

# JOHN R. TOWNHOME DEVELOPMENT

BUILDING TYPE 'B'

TROY, MICHIGAN

### CODE SUMMARY

CODE:  
 2015 MICHIGAN RESIDENTIAL CODE: TOWNHOUSE OPTION

TENANT SEPARATION: 1 HOUR REQUIRED  
 2 HOUR PROVIDED

FIRE SUPPRESSION: N/A

TYPE 'A' DWELLING UNITS: N/A

TYPE 'B' DWELLING UNITS: N/A (MULTI-STORY DWELLING UNITS)

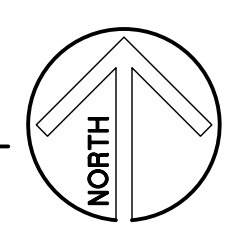
### SHEET INDEX

T-I	TITLE SHEET
ARCHITECTURAL DRAWINGS	
A-1B	O.A. BUILDING FOUNDATION PLAN - 4 UNIT
A-2B	O.A. BUILDING FIRST & SECOND FLOOR PLANS - 4 UNIT
A-3B	O.A. BUILDING ROOF PLAN - 4 UNIT
A-4B	O.A. BUILDING ELEVATIONS - 4 UNIT
A-5B	DWELLING UNIT PLANS
A-6B	UNIT ELEVATIONS
A-7B	BUILDING SECTION & EXTERIOR WALL SECTIONS
A-8B	INTERIOR WALL SECTIONS
A-9B	RENDERED FRONT ELEVATIONS



LOCATION MAP

NOT TO SCALE



ARCHITECT: \_\_\_\_\_

**BRIAN NEEPER ARCHITECTURE P.C.**  
 630 N. OLD WOODWARD, SUITE 203  
 BIRMINGHAM, MICHIGAN 48009  
 248. 259. 1784 Brian•BrianNeeper.com

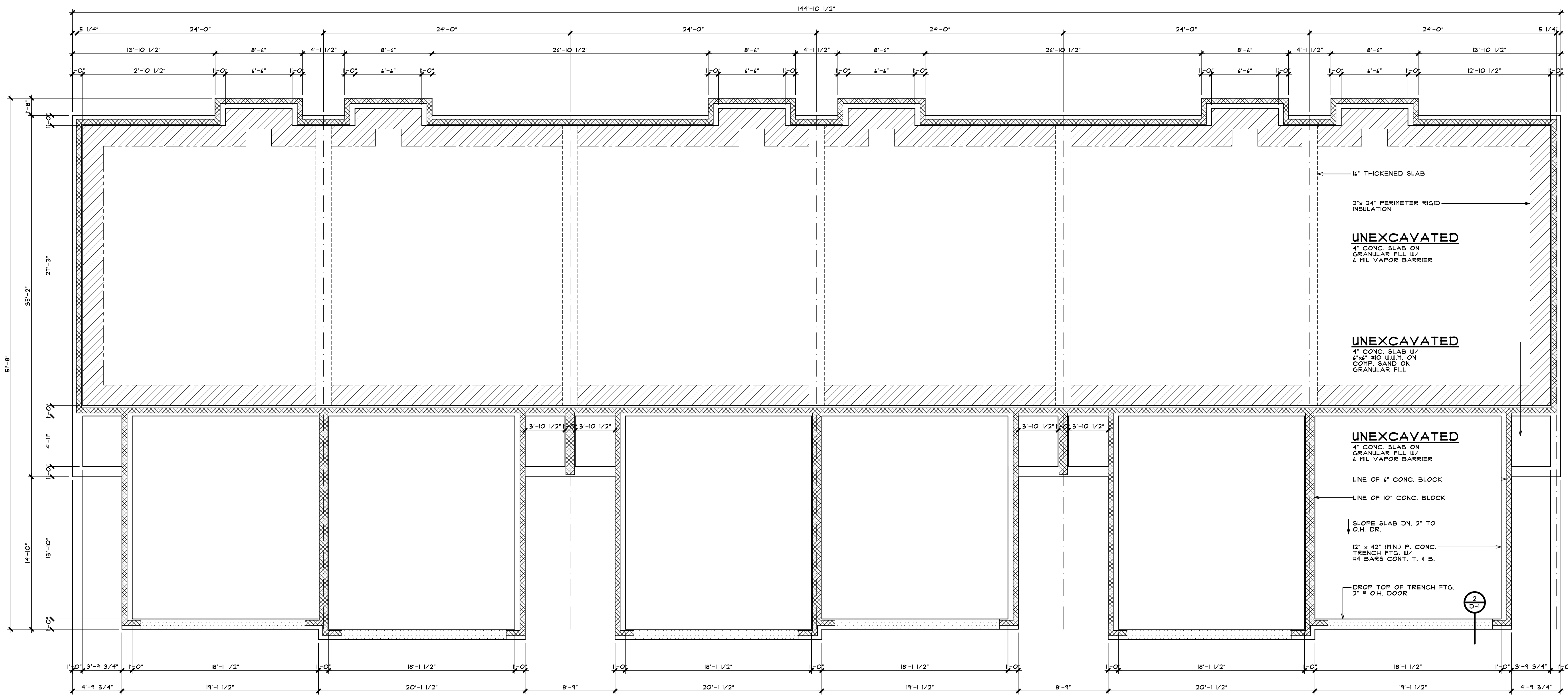
SHEET TITLE  
**TITLE SHEET**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R. TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
 TROY, MICHIGAN

PRELIMINARY	03-27-24
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<b>T-1</b>	

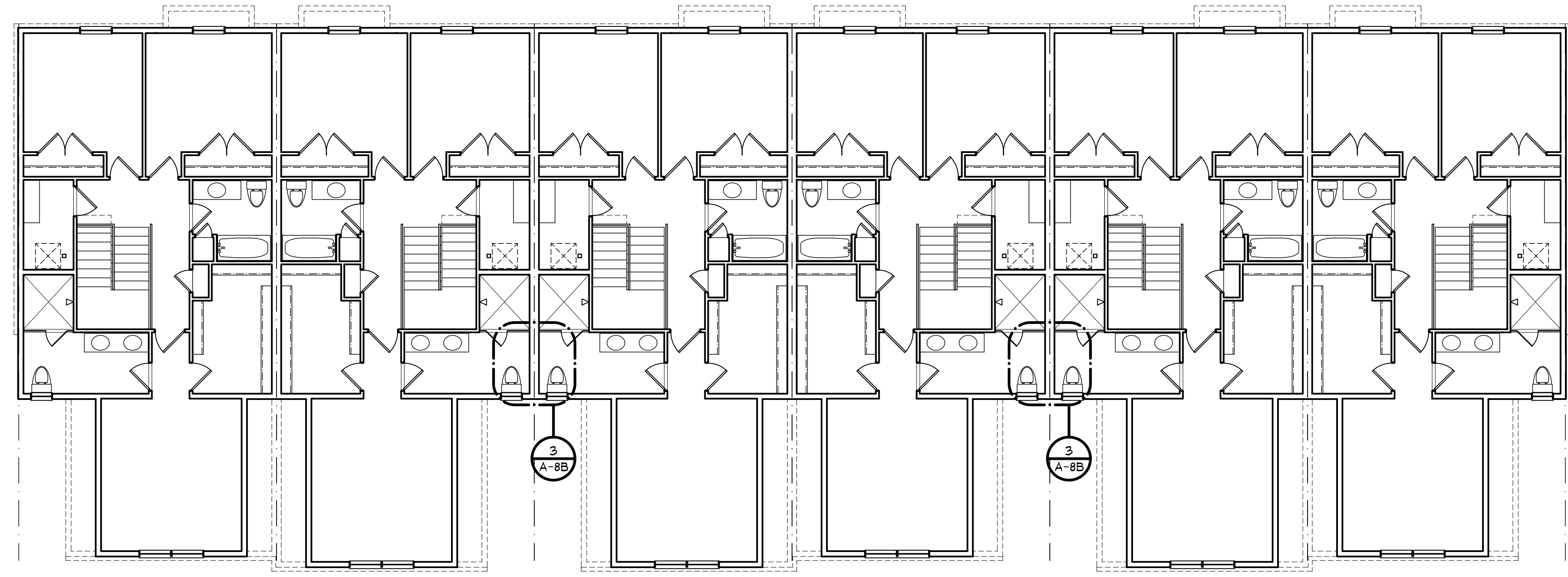
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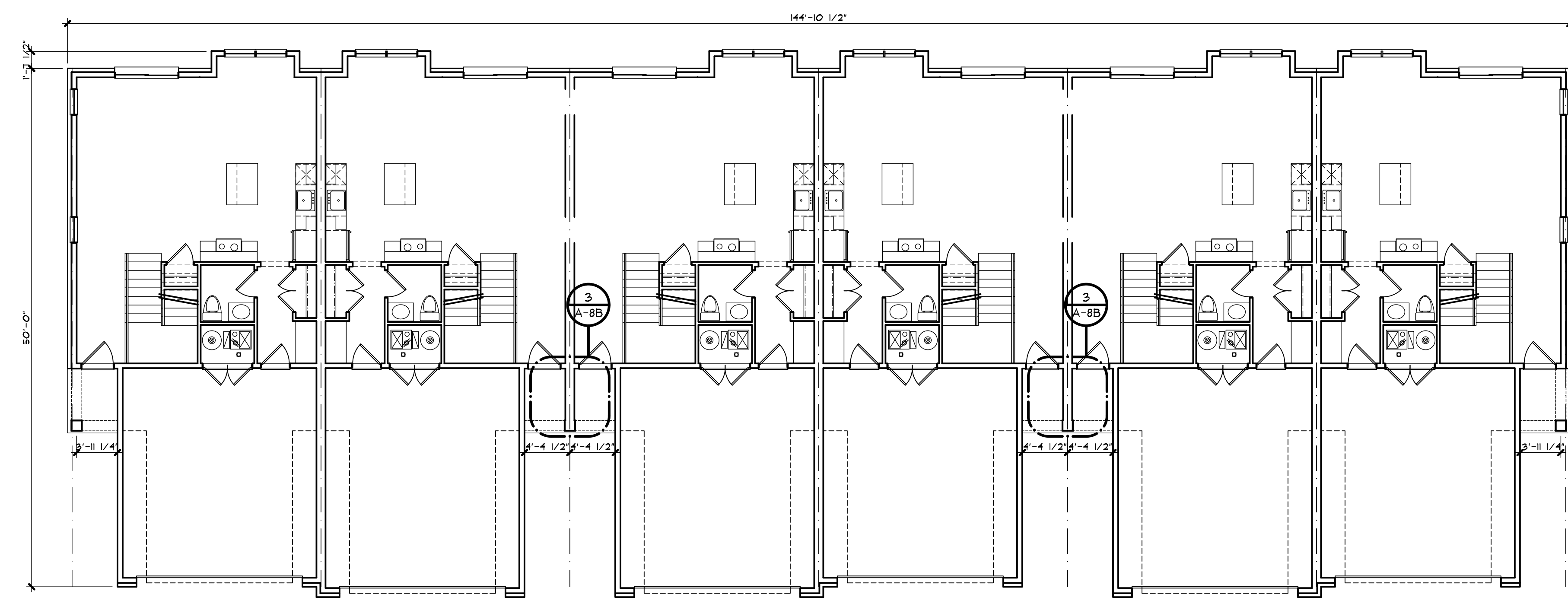
**FOUNDATION PLAN - BUILDING TYPE 'B'**

6 - UNIT  
 SCALE: 3/16" = 1'-0"



**SECOND FLOOR PLAN - BUILDING TYPE 'B'**

6 - UNIT  
 SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - BUILDING TYPE 'B'**

6 - UNIT  
 SCALE: 1/8" = 1'-0"

**ROOF VENTING CALCULATIONS:**

**PROPOSED VENT AREA PER UNIT**  
 VENT AREA RATIO 1/150  
 ATTIC AREA = 1,029 SQ.FT. (1/150)  
 VENT AREA = 4.9 SQ.FT. x 144 = 994 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 497 SQ.IN. EACH

**VENT AREA PROVIDED @ RIDGE**  
 CONT. RIDGE TYPE @ 18 SQ.IN. PER FT. = 34 LIN.FT.  
 TOTAL VENTING AT RIDGE = 448 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 16" x 8" SOFFIT VENT @ 50 SQ.IN. PER UNIT = 10 UNITS  
 TOTAL VENTING AT SOFFIT = 500 SQ.IN.

**PROPOSED VENT AREA PER UNIT @ LOWER ROOF (DINING)**  
 VENT AREA RATIO 1/150  
 ATTIC AREA = 17 SQ.FT. (1/150)  
 VENT AREA = 0.11 SQ.FT. x 144 = 16 SQ.IN.  
 50% SOFFIT AND 50% RIDGE = 8 SQ.IN. EACH

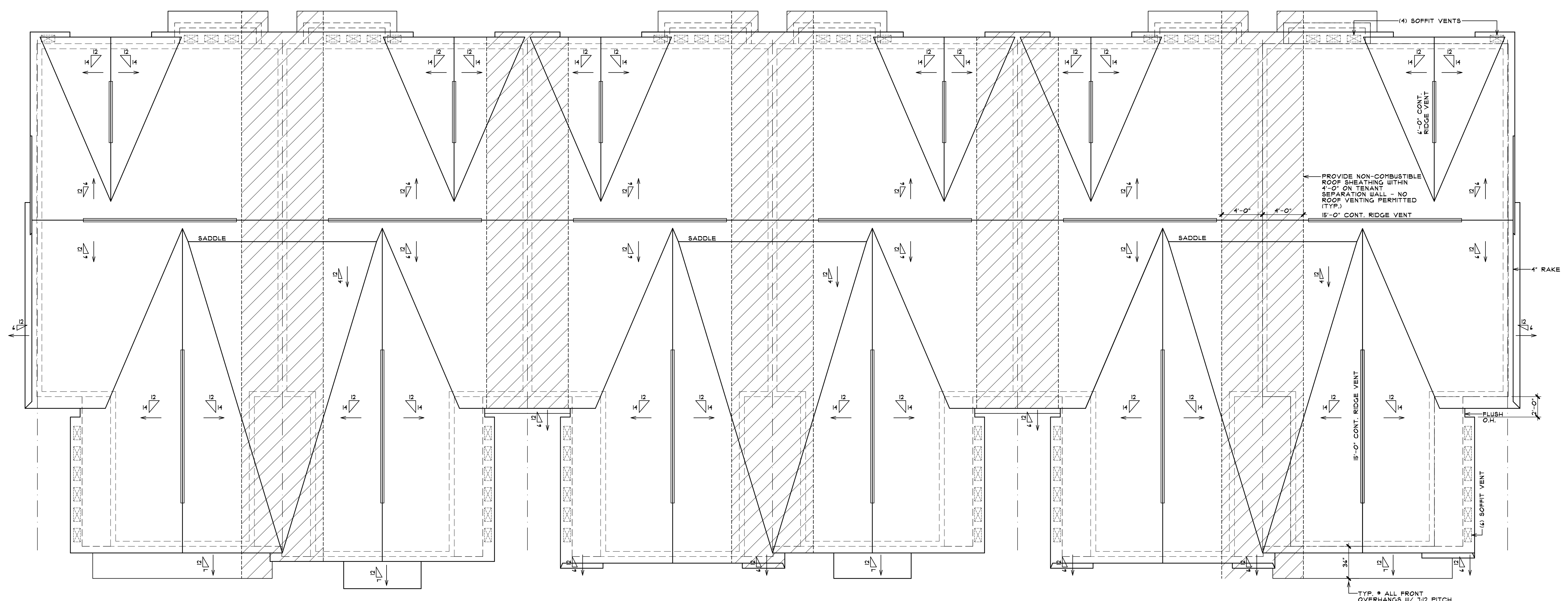
**VENT AREA PROVIDED @ RIDGE**  
 OMNI-WALL VENT @ 9 SQ.IN. PER FT. = 2 LIN.FT.  
 TOTAL VENTING AT RIDGE = 18 SQ.IN.

**VENT AREA PROVIDED @ SOFFIT**  
 CONTINUOUS SOFFIT TYPE @ 9 SQ.IN. PER FT. = 2 LIN.FT.  
 TOTAL VENTING AT SOFFIT = 18 SQ.IN.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER DWG FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 4" AT SIDING.



**ROOF PLAN - BUILDING TYPE 'B'**

6 - UNIT  
 SCALE: 3/16" = 1'-0"



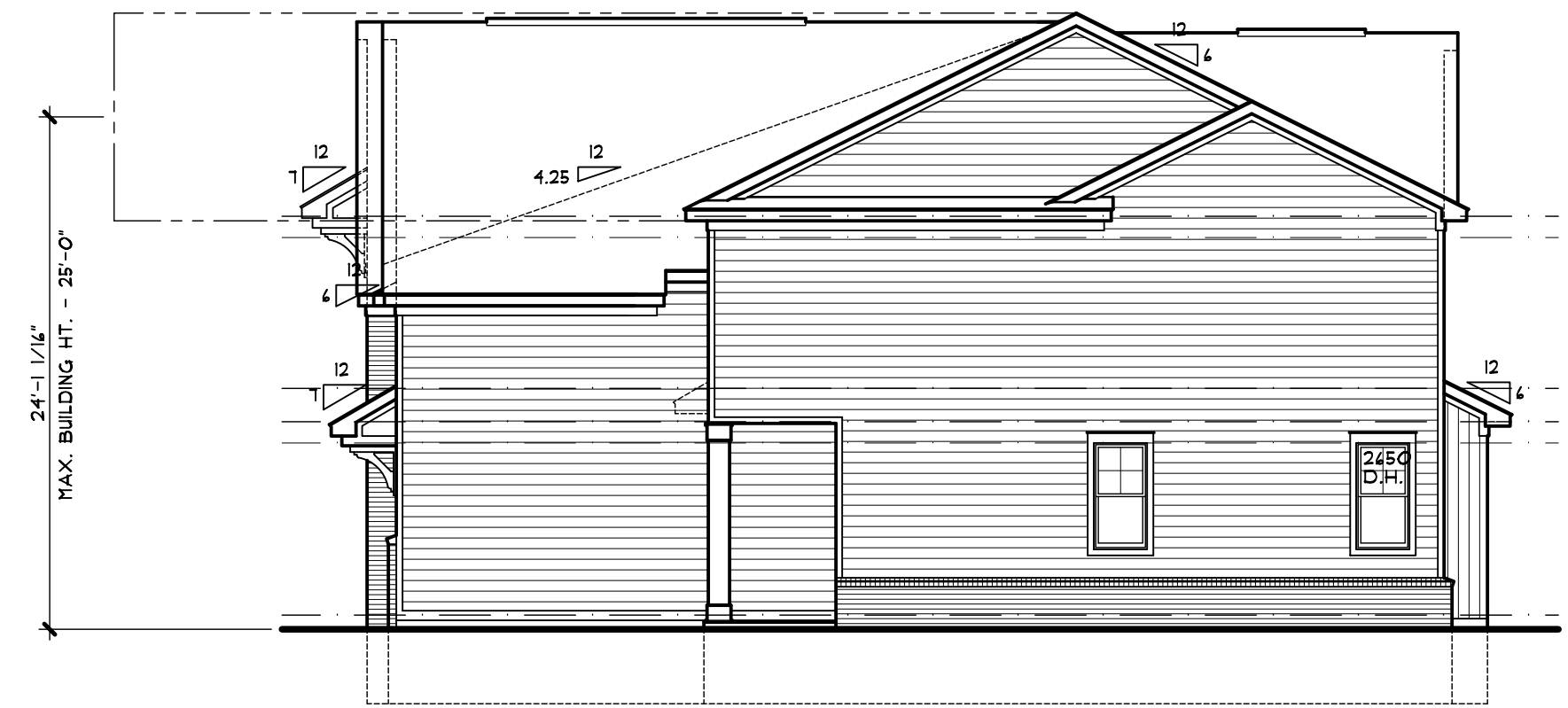
**REAR ELEVATION - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 1/8" = 1'-0"



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630 BRIMLEY WICHIGAN  
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SHEET TITLE  
**O.A. BUILDING ELEVATIONS**  
**BUILDING TYPE 'B' 6-UNIT**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
TROY, MICHIGAN

PRELIMINARY	03-27-24
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**STRUCTURAL NOTES:**

(2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUD UNLESS NOTED OTHERWISE.  
 (2) 2x6 4 LARGER HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.  
 ALL PRE-ENGINEERED HEADERS FRAMED PERPENDICULAR TO WALL LINE SHALL BEAR ON REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL.  
 ALL PRE-ENGINEERED HEADERS FRAMED PARALLEL TO WALL LINE SHALL BEAR ON A MINIMUM (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.  
 ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT-UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS. ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.  
 ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLYS, WHICH EVER IS GREATER.  
 TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL No. CLEARLY STAMPED I LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED.  
 CARPENTER CONTRACTOR TO INSTALL NAIL SIZES & NUMBER REQ'D. AS SPECIFIED FOR EACH TYPE OF HANGER.  
 LVL DESIGN VALUES FOR MODULUS OF ELASTICITY ( E ) SHALL BE 2,000,000 PSI ( 2.0 E )

**WALL DIMENSION NOTE:**

ALL WALL DIMENSIONS ARE TO THE ROUGH. INTERIOR PARTITIONS ARE 1/2" (2x4) UNLESS NOTED OR DIMENSIONED OTHERWISE. EXTERIOR FRAME WALLS INCLUDE 1/2" NOMINAL DIMENSION FOR EXTERIOR SHEATHING. EXTERIOR FRAME WALLS ARE 4" (2x4) UNLESS NOTED OR DIMENSIONED OTHERWISE. BRICK OR STONE EXTERIOR WITH AIR SPACE IS 4 1/2" UNLESS NOTED OR DIMENSIONED OTHERWISE.

**TRUSS NOTES:**

FLOOR TRUSS MANUFACTURER TO DESIGN FOR ADDITIONAL DEAD LOAD OF NON-BEARING DOUBLE STUD WALL(S) AND STAGGER STUD WALL(S) CONSTRUCTION.  
 PROVIDE VERTICAL BLOCKING \* TRUSS WEB AREA IF THERE IS SOLID BLOCKING ON THE FLOOR ABOVE.  
 ALL STRUCTURAL MEMBERS WHICH ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND WHICH SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ROOF, OR SUPPORT A LOADBEARING WALL OR A NONLOADBEARING WALL MORE THAN TWO STORES IN HEIGHT, SHALL BE INDIVIDUALLY PROTECTED ON ALL SIDES FOR THE FULL LENGTH OR HEIGHT WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.

**ELECTRICAL NOTES:**

ALL RECESSED LIGHT ARE TO BE IC (INSULATION CONTACT) RATED.  
 ALL RECESSED FIXTURES ARE TO BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.  
 PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR ALL 25-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN GARAGES AND UNFINISHED BASEMENTS AREAS EXCEPT THOSE FOR FIRE OR BURGLAR ALARM SYSTEMS.  
 A MINIMUM OF 75% OF ALL PERMANENTLY INSTALLED LIGHTING FIXTURES MUST USE CFL BULBS OR OTHER HIGH EFFICIENCY LAMPS.  
 ALL INTERIOR TREADS AND LANDINGS MUST BE ILLUMINATED WITH NOT LESS THAN 1 FOOT CANDLE.  
 EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP OF THE LANDING.

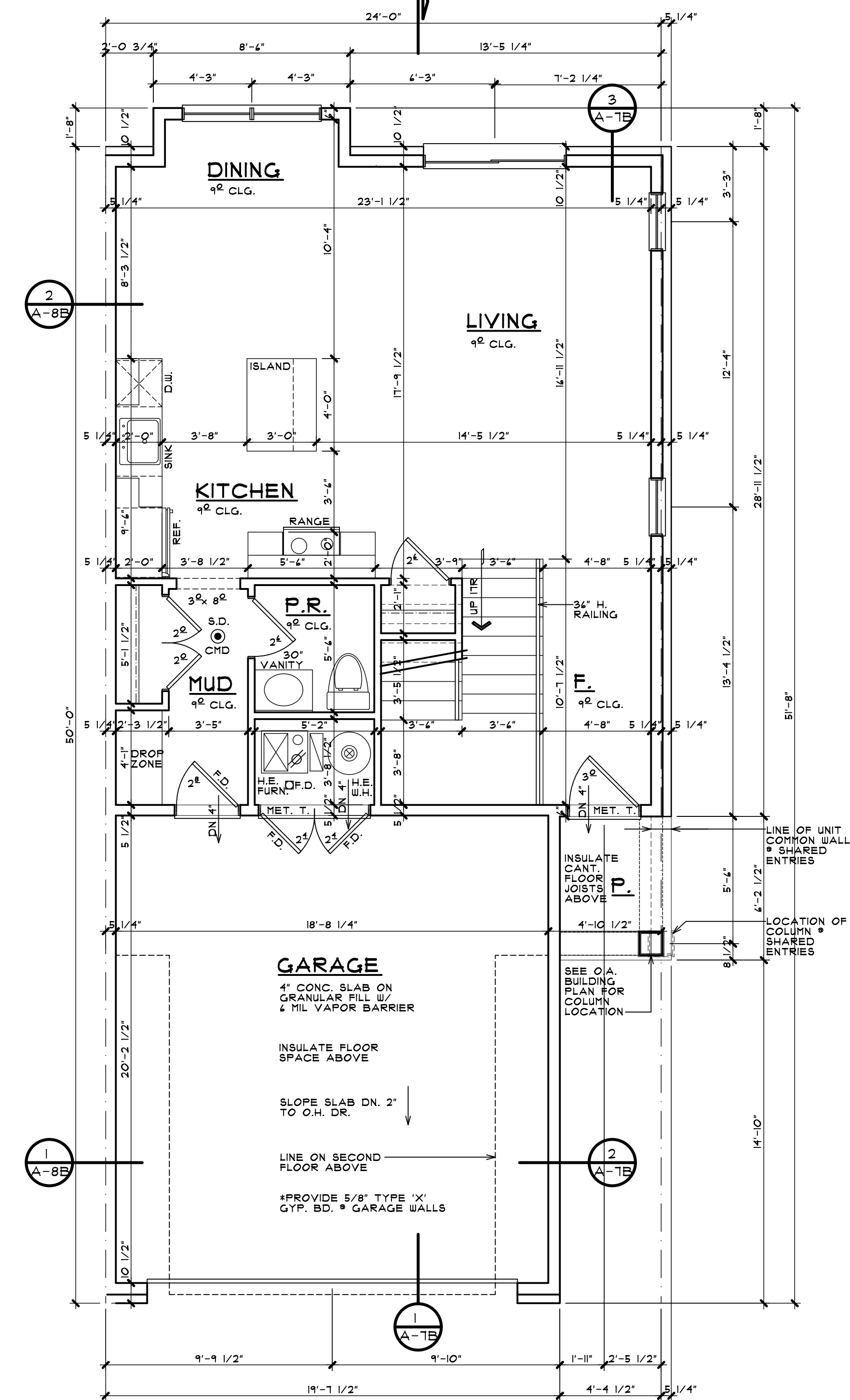
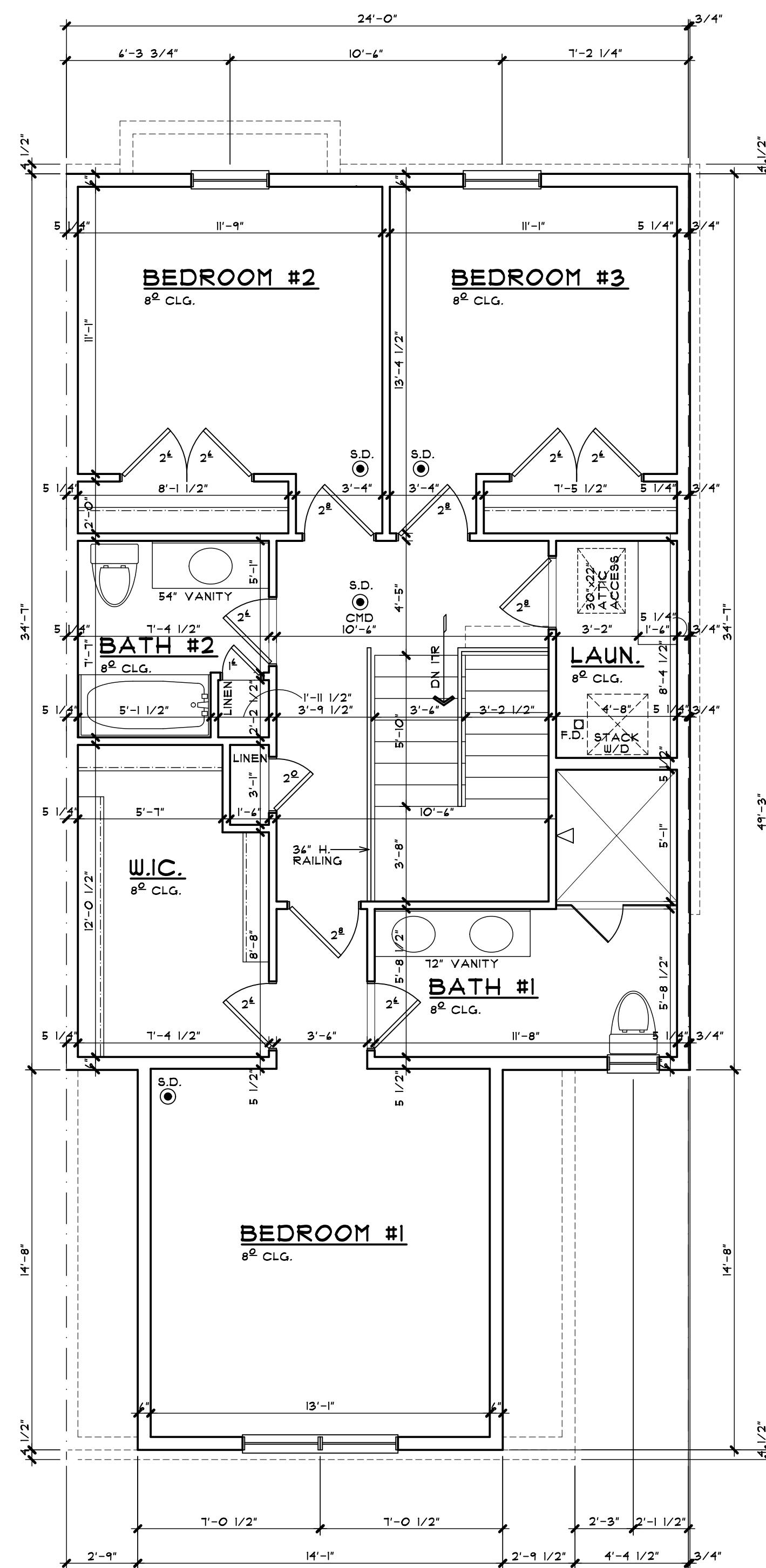
**MICHIGAN UNIFORM ENERGY CODE**

BUILDERS OPTIONS FOR COMPLIANCE: **CLIMATE ZONE 5A**

A) PROVIDE INSULATION AND PERFORMANCE VALUES AS PRESCRIBED IN SECTION 302 (PRESCRIPTIVE) 2001 M.U.E.C.

EXTERIOR ENCLOSURE	VALUE
WALL ASSEMBLIES	R-20
ROOF / CEILING	R-38
SLAB ON GRADE	R-10
CRAWL SPACE WALL (CONTINUOUS)	R-10
CRAWL SPACE WALL (CAVITY)	R-13
BASEMENT WALL (CONTINUOUS)	R-10
BASEMENT WALL (CAVITY)	R-13
FENESTRATION OPENINGS (AREA WEIGHTED AVERAGE OF THE TOTAL AREA OF FENESTRATION UNITS)	U-0.35 R-2.85

\* SEE TABLE 402.11 FOR FOOTNOTES  
 B) PROVIDE A SIMULATED ENERGY PERFORMANCE ANALYSIS (BY OTHERS) AS PRESCRIBED IN SECTION 405 (PERFORMANCE). PROVIDE INSULATION AND FENESTRATION VALUES AS REQUIRED.



SQUARE FOOTAGE	
1ST FLOOR	650 SQ FT
2ND FLOOR	1,031 SQ FT
TOTAL	1,681 SQ FT



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 630 BRIMLEY AVE. SUITE 203  
 BIRMINGHAM, MICHIGAN  
 BRIANNEEPER.COM  
 248.259.1784

SHEET TITLE  
**DWELLING UNIT PLANS**  
 PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
 BUILDING TYPE 'B'  
 TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	07-10-24
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JOB NUMBER	23060
DRAWN BY	BN / EAF
CHECKED BY	
SHEET NUMBER	<b>A-5B</b>

**WINDOW SILLS**

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED FLOOR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

- WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2004 OR F 2090.

**OVERHANGS & DRAINAGE**

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEER DWG# FOR CONNECTION DETAILS/LOCATIONS. DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING.

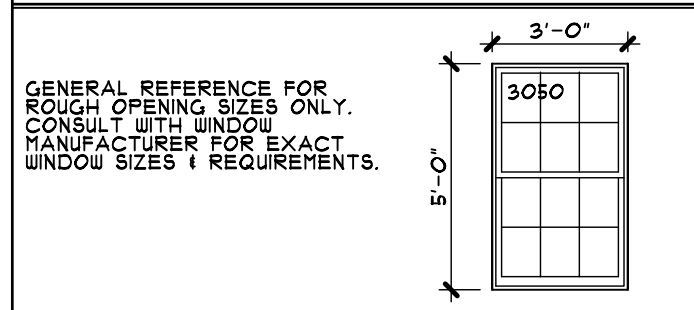
**STEEL LINTEL SCHEDULE**

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
6'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.  
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF 12" FROM SHEATHING. RAKE DIMENSIONS ARE 4" AT BRICK AND 2" AT SIDING.

**TYP. WINDOW DESIGNATION**

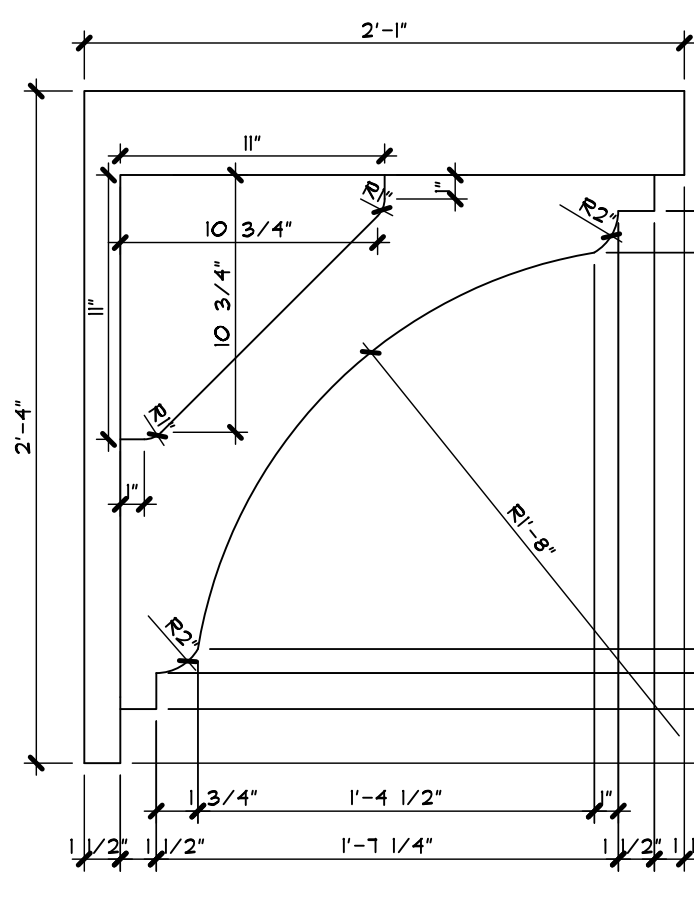


**EGRESS WINDOW**

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS, OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

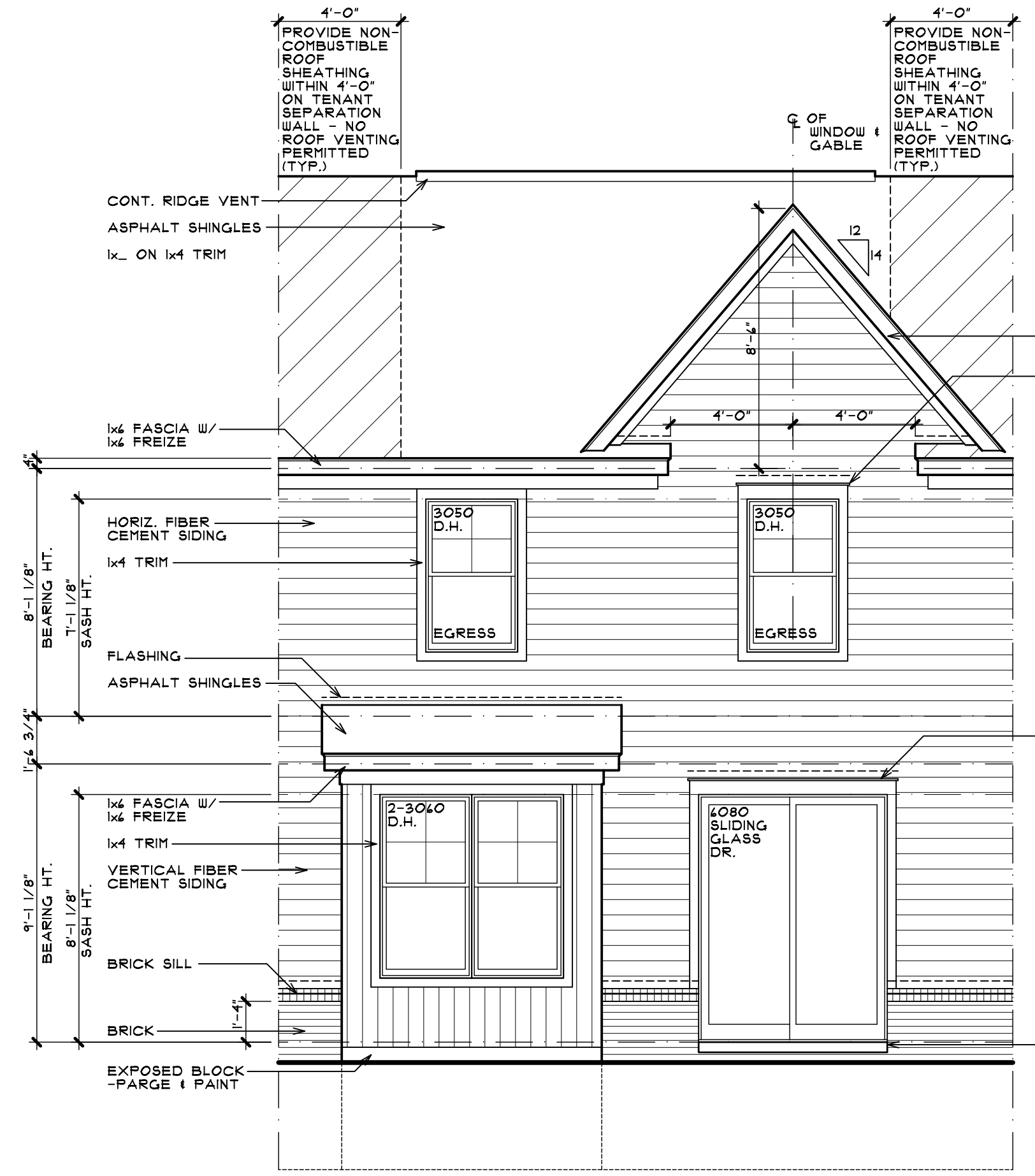
**GENERAL NOTES**

- BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER FOR ADDITIONAL NOTES & INFORMATION.
- TRUSS DESIGNER/FABRICATOR SEE SHEET N-2 FOR ADDITIONAL NOTES & INFORMATION.
- DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
- SEE CIVIL ENGINEER'S DWG# FOR ALL FINAL A/C UNIT, ELECTRICAL METER & GAS METER LOCATIONS.



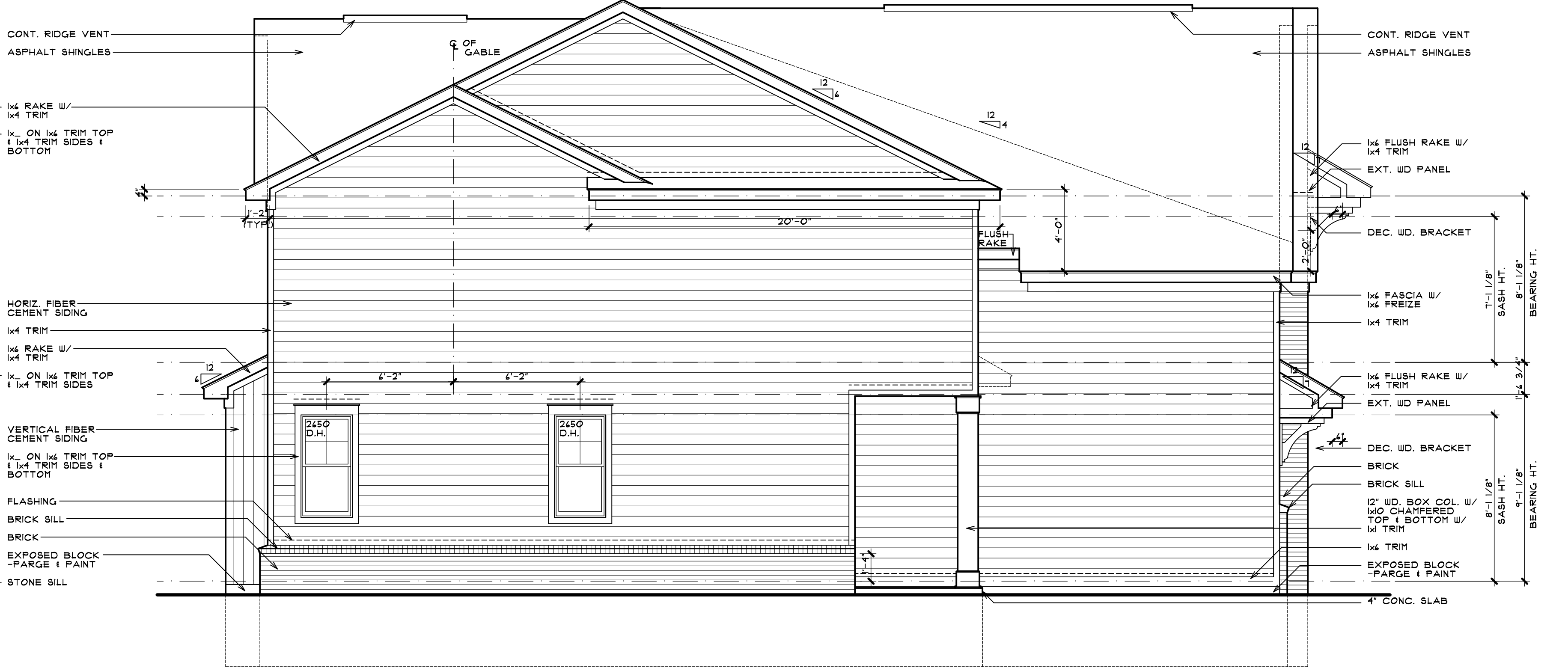
**BRACKET DETAIL**

SCALE: 1 1/2" = 1'-0"



**REAR ELEVATION**

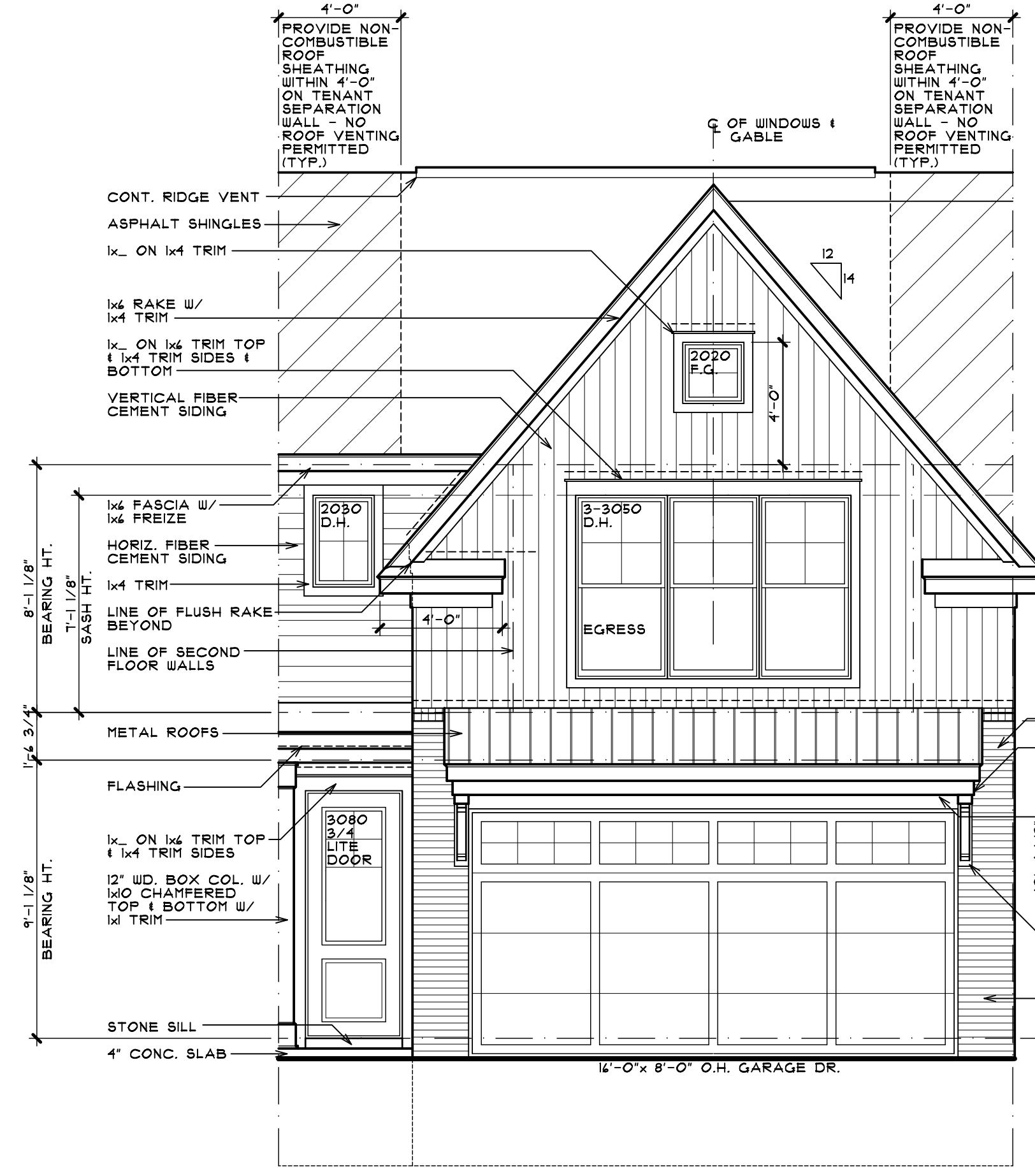
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

RIGHT SIDE OPPOSITE HAND

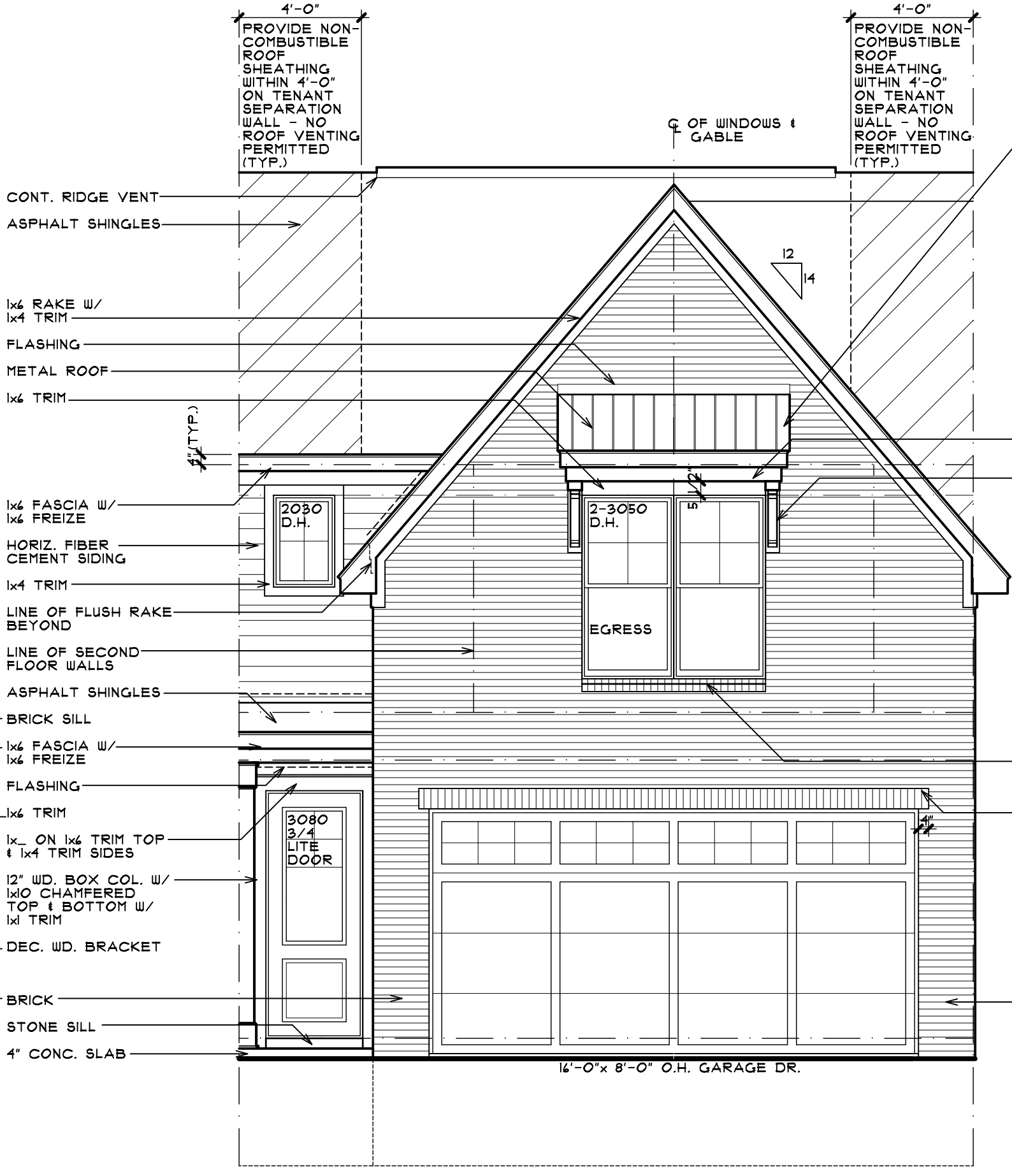
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'C'

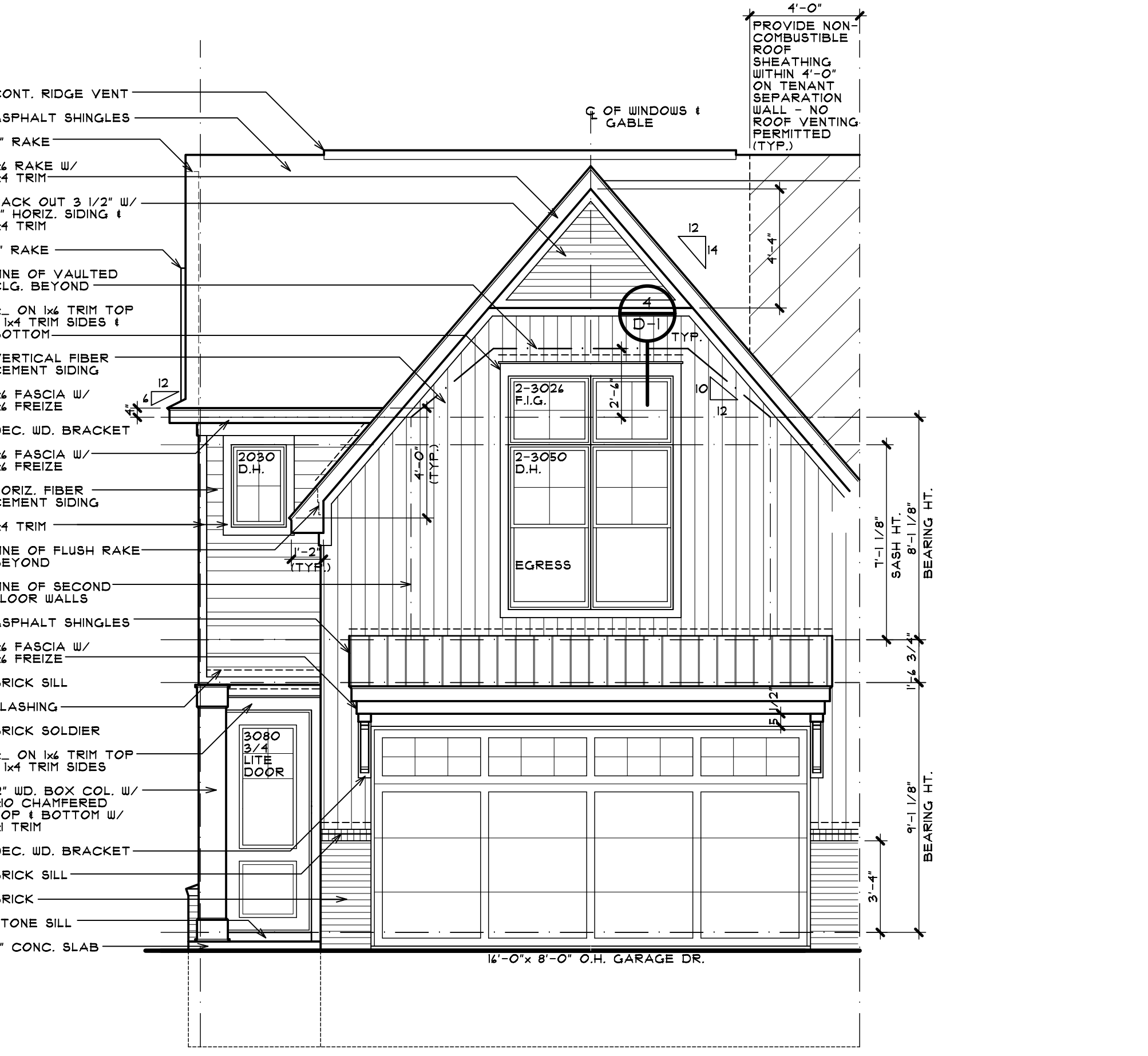
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'B'

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

ELEVATION 'A'

SCALE: 1/4" = 1'-0"



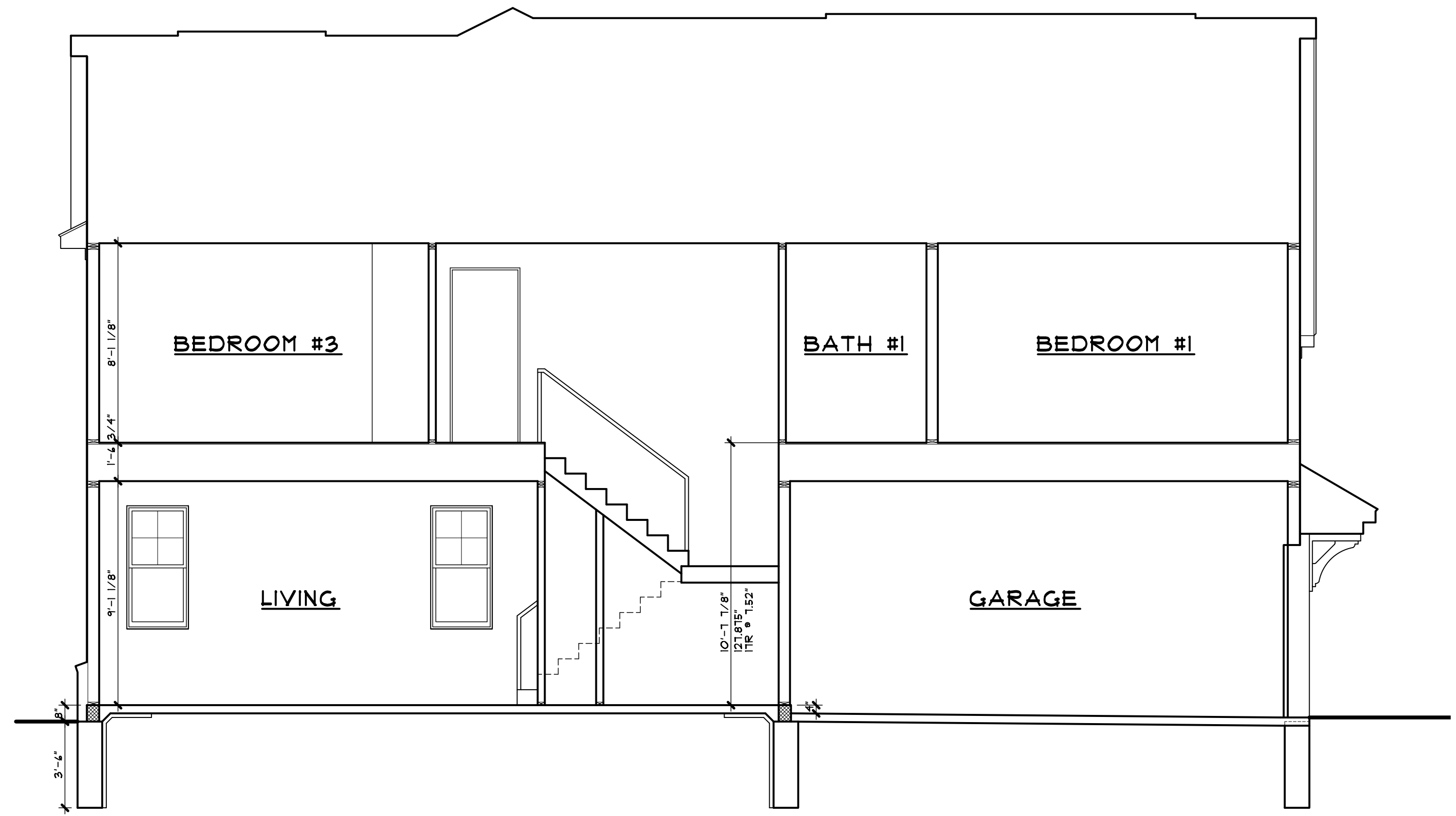
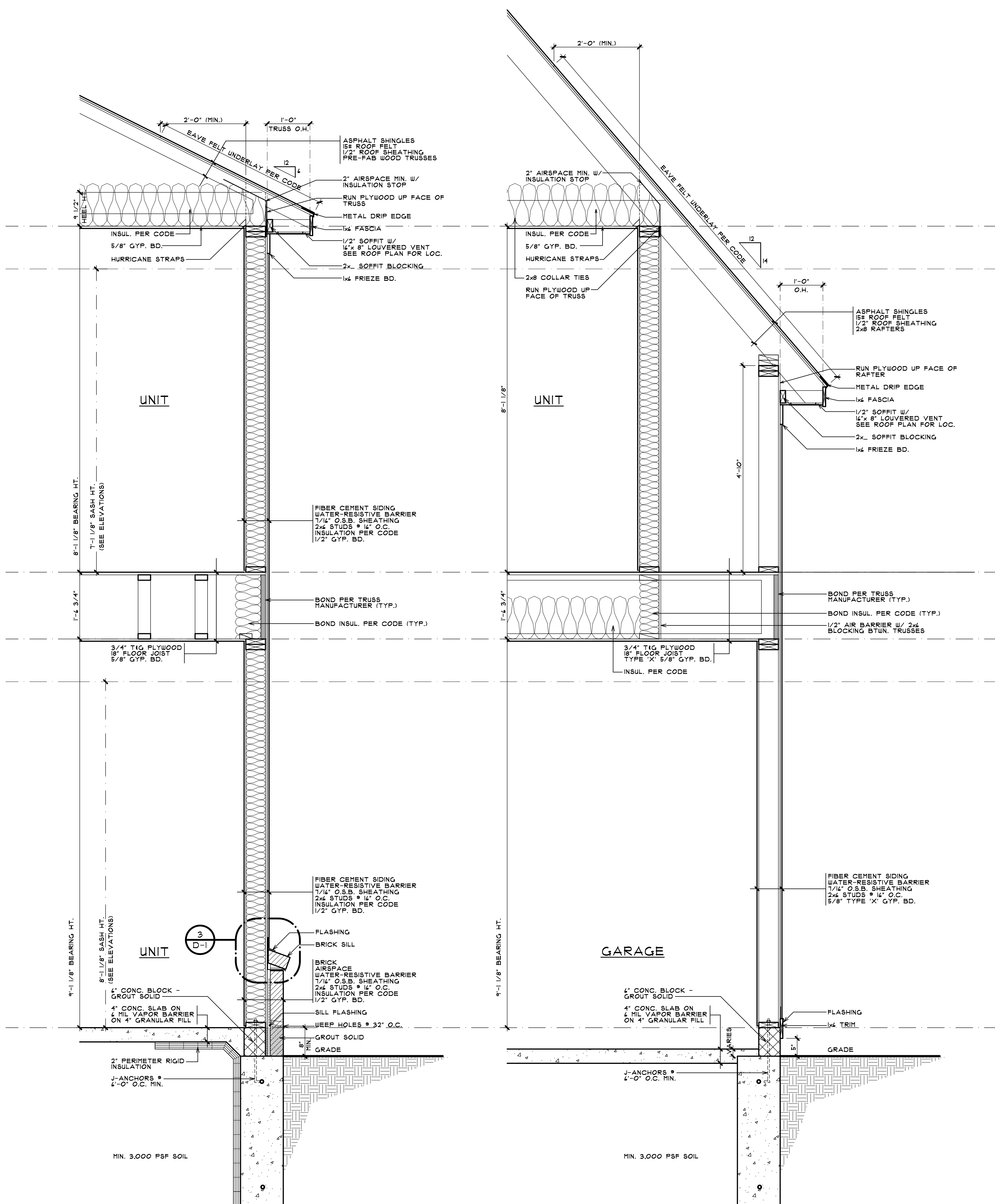
**BRIAN NEEP ARCHITECTURE P.C.**  
DESIGN - PLANNING - INTERIORS  
630 BRIMMING WICHITAN  
BIRMINGHAM, MICHIGAN  
BRIANNEEP.COM  
248.259.1784

SHEET TITLE  
**UNIT ELEVATIONS**  
**BUILDING TYPE 'B' 6-UNIT**  
PRELIMINARY

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.**  
**BUILDING TYPE 'B'**  
TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	07-10-24
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CHECKED BY	
SHEET NUMBER	

**A-6B**

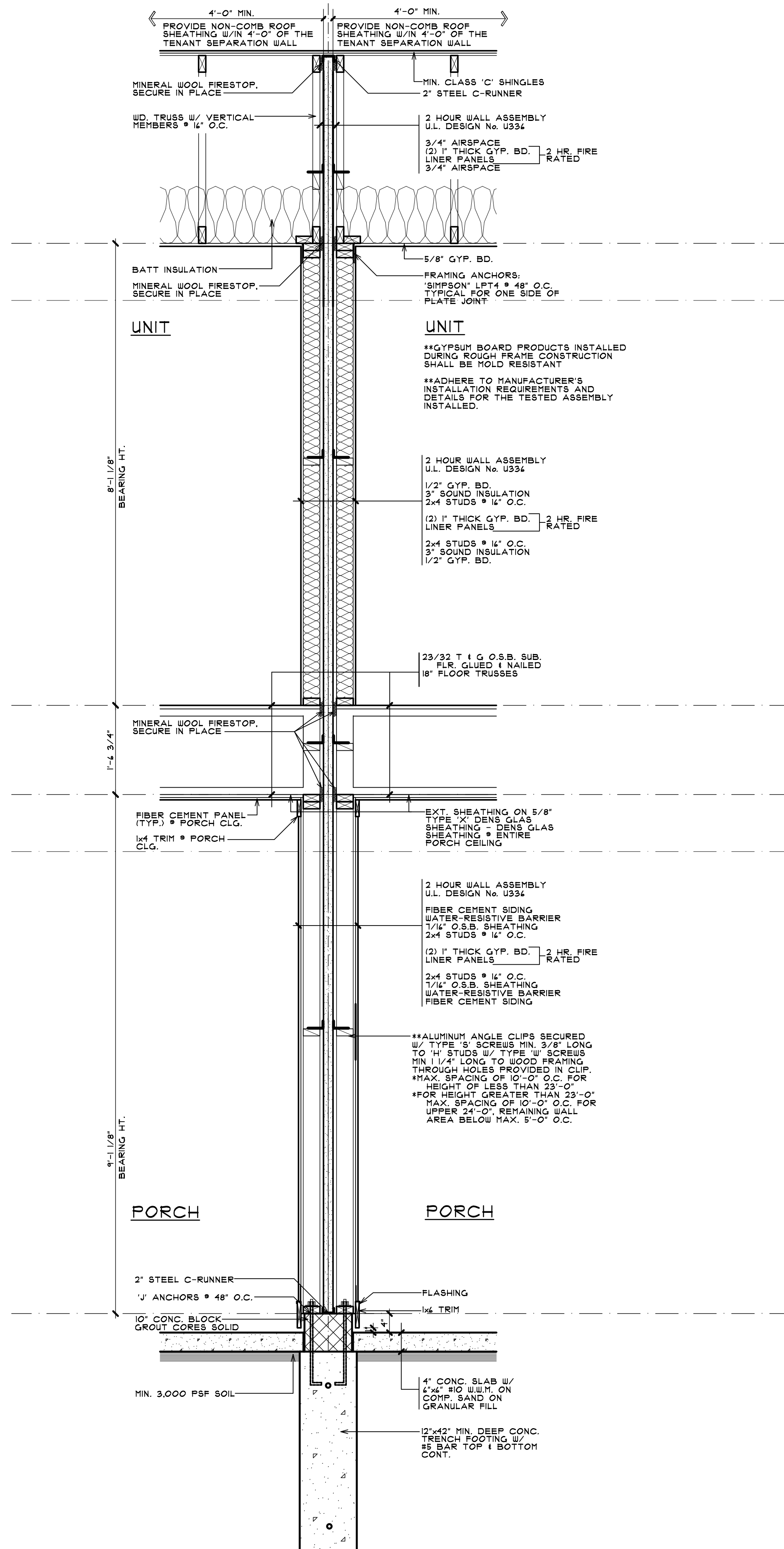


**3 WALL SECTION**  
 A-7B SCALE: 3/4" = 1'-0"

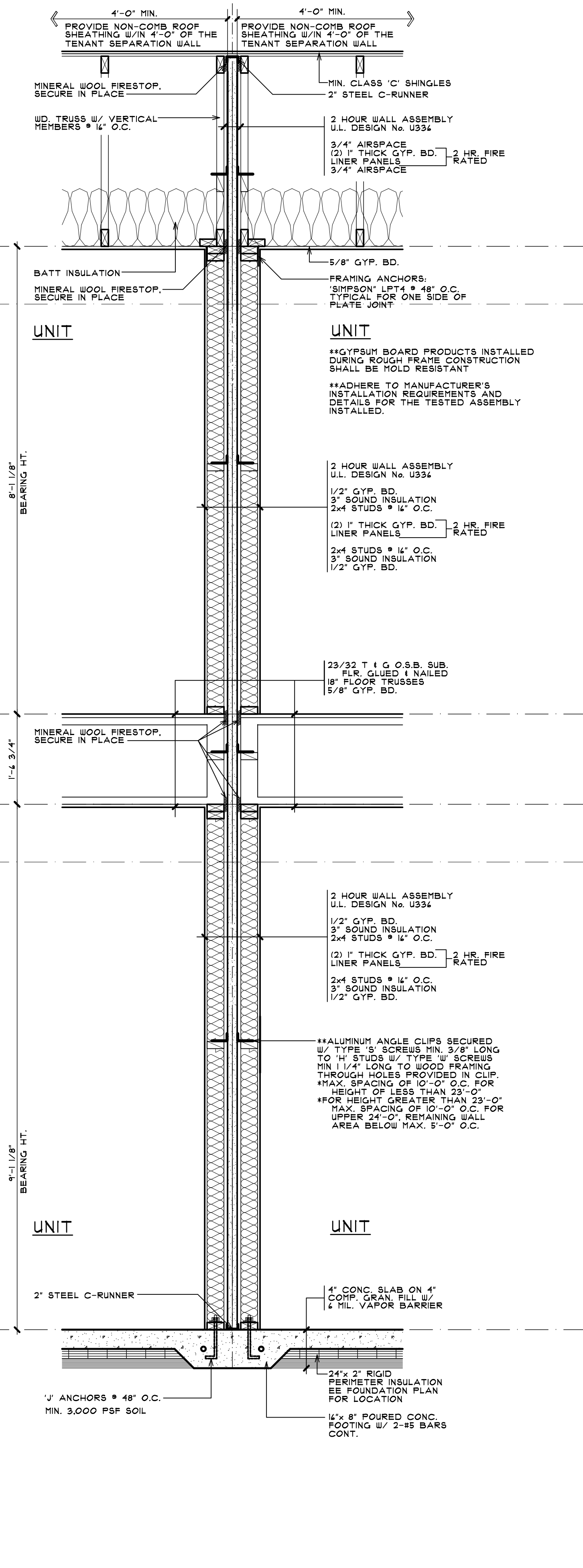
**2 WALL SECTION**  
 A-7B SCALE: 3/4" = 1'-0"

**1 BUILDING SECTION**  
 A-7B SCALE: 1/4" = 1'-0"

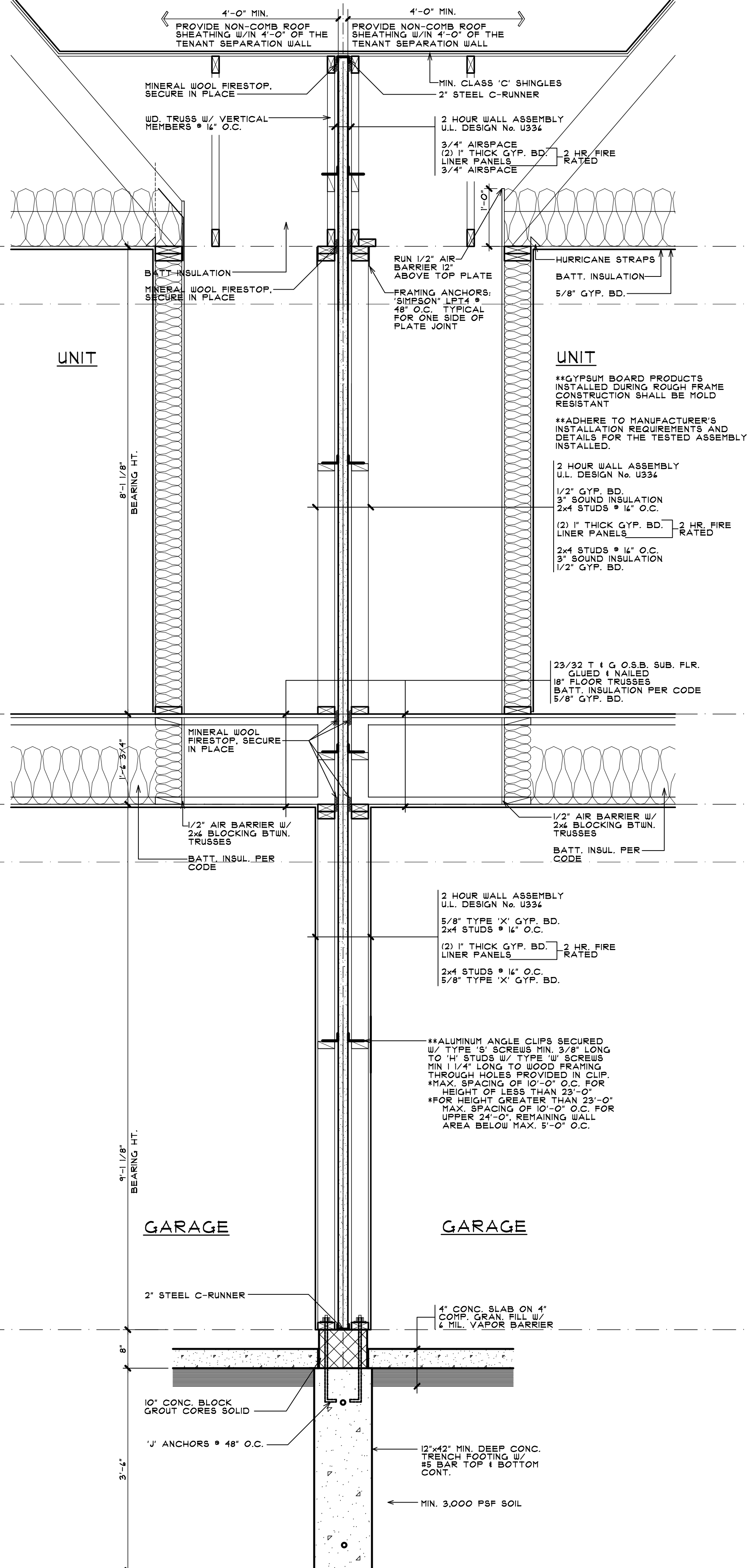




3 WALL SECTION  
A-8B SCALE: 3/4" = 1'-0"



2 WALL SECTION  
A-8B SCALE: 3/4" = 1'-0"



1 WALL SECTION  
A-8B SCALE: 3/4" = 1'-0"



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SHEET TITLE  
WALL SECTIONS  
BUILDING TYPE 'B' 6-UNIT  
PRELIMINARY

CLIENT / PROJECT  
JOHN R TOWNHOME DEV.  
BUILDING TYPE 'B'  
TROY, MICHIGAN

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
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SHEET NUMBER	A-8B



**FRONT ELEVATION - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 3/16" = 1'-0"



**FRONT ELEVATION - BUILDING TYPE 'B'**

6 - UNIT  
SCALE: 3/16" = 1'-0"



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BIRMINGHAM, MICHIGAN  
BRIANNEEPER.COM  
248.259.1784

SHEET TITLE  
**RENDERED FRONT  
ELEVATIONS  
BUILDING TYPE 'B' 6-UNIT  
PRELIMINARY**

CLIENT / PROJECT  
**JOHN R TOWNHOME DEV.  
BUILDING TYPE 'B'  
TROY, MICHIGAN**

PRELIMINARY	03-27-24
BIDS	
PERMITS	
FINAL	
REVISIONS	07-10-24
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SHEET NUMBER	

**A-9B**















**From:** [Marcia Bossenberger](#)  
**To:** [Planning](#)  
**Subject:** John R Commons  
**Date:** Tuesday, January 23, 2024 1:34:53 PM

[You don't often get email from mkboss131@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

CAUTION: This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I reviewed the new plans for John R Commons. In the original presentation there was a lot of discussion about the shared entrance and exit with the plaza and the Kroger parking lot and cutting through the back of the Troy Sport Center. I don't see any solutions presented. It's the exact same.

The daily calculated number of trips generated for the John R Commons is 832! What is the calculated number of cars that enter the shared entry to get to Kroger plaza? I have been to that Kroger a few times and it is a busy parking lot. I know it has a street name, Nancy Bostick Drive, technically it's an entrance not really a street. It's no different than turning into the entrance to Lowe's and Meijers off Rochester Road. How many of the 832 cars are going to cut through the back of the Troy Sports Center to get to Big Beaver? How many cars are going to take a short cut from Big Beaver when traffic is backed up at John R?

This complex will probably have a lot of children of all ages. It would be nice to see some sort of play structures for families to meet up with neighborhood residents. Clubhouse to hang out to play board games, exercise equipment or rent for parties would be a great addition.

Thank you for volunteering and taking the time to make our city a wonderful place to live.

Sincerely,

Marcia Bossenberger  
369 Ottawa Drive

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 11<sup>th</sup> Edition, provides trip generation rates for numerous land uses, based on thousands of studies throughout the United States and Canada. This data can then be used to estimate the number of vehicle trips generated by a development. In rural areas, the morning (AM) peak is a one-hour period that occurs between 7 am - 9 am, and the evening (PM) peak is a one-hour period usually between 4 pm - 6 pm.

The table below provides the calculated number of trips generated for the John R Commons Townhomes site, based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, for Multifamily Housing (Low-Density) (L) Land Use Code #225.

Land Use	Number of Site-Generated Trips						
	AM Peak Hour		PM Peak Hour		Daily		
	In	Out	In	Out	In	Out	
Multifamily Housing (Low-Density, 118 Dwelling Units)	14	65	50	26	71	416	832

During the morning (AM) peak hour, the John R Commons Townhomes site generates 69 trips, 14 inbound (entering the site), and 65 outbound (leaving the site). During the evening (PM) peak hour, the site generates 71 vehicle trips, 45 inbound (entering the site), and 26 outbound (leaving the site).

3. *Enhance the character, environment and safety for pedestrians and motorists.*
  - a. *Provide elements that define the street and the pedestrian realm.*
  - b. *Create a connection between the public right of way and ground floor activities.*
  - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
  - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
  - e. *Improve safety for pedestrians through site design measures.*

Sent from my iPad

**From:** [Fabrice Smieliauskas](#)  
**To:** [Planning](#)  
**Subject:** comments for May 14, 2024 Planning Commission meeting  
**Date:** Sunday, May 12, 2024 4:44:24 PM

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You don't often get email from fab.smieliauskas@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Planning Commission,

Some comments on two items on the agenda this week.

I support the proposed Motor City Church addition, which is near my home in the Merihill Acres sub North of Wattles here. Please ensure they extend the sidewalk on the South side of Wattles (which runs West to Coolidge from here) across the property to make the entire street more walkable - ultimately, one may hope, it could extend all the way to Crooks. Most importantly, the context is very important here. Approval will allow Motor City Church to vacate its vastly underpopulated property at Livernois near Walsh College and allow sale of a quarter-mile stretch of mostly open land to a developer - one of the largest tracts of sparsely used land in Troy. 500 or more housing units could easily be built here after rezoning to fill a crucial need for affordable homes walkable to the Big Beaver corridor and Civic Center, and within short walking distance of Wattles Elementary School, which has lost nearly 100 students in the past 5 years.

I also support the Preliminary Site Approval for John R. Commons Townhome Development to add 118 townhomes with walkability to retail, restaurants, Baker Middle School (which has also lost 100 students in the past 5 years), and International Academy East high school (part of a school network, International Academy, which was ranked the eighth best high school in the country (!!)) this year (<https://www.usnews.com/education/best-high-schools/michigan/districts/oakland-schools/international-academy-9741>). The applicants have addressed the comments provided by the Commission and they deserve approval, especially considering the value of more multi-family residential housing in this location.

Fabrice Smieliauskas  
4607 Lehigh Drive  
Troy, MI

7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) –. Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

DATE: July 12, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District.

The petitioner Atto Construction submitted the above referenced Preliminary Site Plan application for a 54-unit townhome development. The property is currently zoned NN (Neighborhood Node “F”) Zoning District. Multi-family residential is permitted by right in this district, subject to height and setback limitations as well as transparency requirements. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The Planning Commission considered this item on April 23, 2024 and May 28, 2024 (minutes attached).

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Minutes from April 23, 2024 Planning Commission Regular meeting.
3. Minutes from May 28, 2024 Planning Commission Regular meeting.
4. Report prepared by Carlisle/Wortman Associates, Inc.
5. Preliminary site plan

G:\SITE PLANS\SP\_JPLN2023-0031\_WATTLES SQUARE APARTMENTS\PC Memo 2024 07 23.docx

**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) –. Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District.

**Resolution # PC-2024-07-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, east of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be granted, subject to applicant the following:

\_\_\_\_\_ ) or

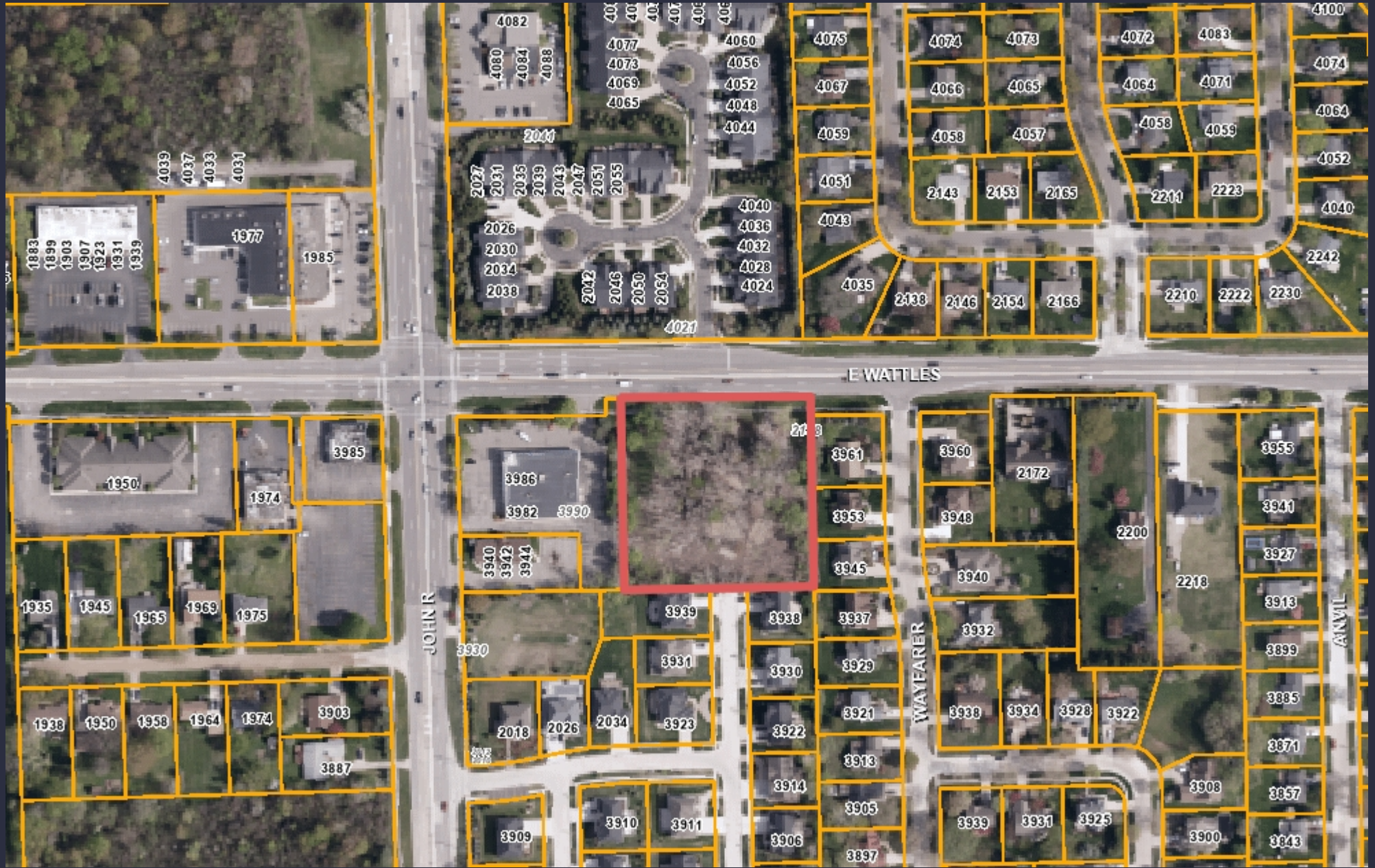
(denied, for the following reasons: \_\_\_\_\_ ) or

(postponed, for the following reasons: \_\_\_\_\_ )

Yes:

No:

**MOTION CARRIED/FAILED**



577 0 288 577 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on April 23, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Also Present:

- R. Brent Savidant, Community Development Director
- Salim Huerta Jr., Commercial Project Collaborator
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-04-019**

Moved by: Faison  
Support by: Fox

**RESOLVED**, To approve the as prepared.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES – April 9, 2024

**Resolution # PC-2024-04-020**

Moved by: Buechner  
Support by: Lambert

**RESOLVED**, To approve the minutes of April 9, 2024 Regular meeting as submitted.

Yes: All present (9)

**MOTION CARRIED**



4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

**PRELIMINARY SITE PLAN**

5. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Savidant provided background information on the Preliminary Site Plan application for Wattles Square Apartments. He addressed the intent of the Neighborhood Node “F” zoning district, how the application relates to the Master Plan and specific site design and building design attributes. Mr. Savidant said the application proposes a first true ‘garden style’ building concept where a portion of the ground floor is below grade. He said there was extensive dialogue between the administration and the applicant on building height, what constitutes a story and the Zoning Ordinance definition of a basement.

Mr. Savidant asked to go on record with an apology to the Planning Commission and to the applicant for some errors in the Planning Consultant report dated April 12, 2024. He stated the application itself is more compliant than what the report narrates. Mr. Savidant noted the application meets all parking requirements with an exception of adding a bicycle rack. He reported the parking lot island trees and tree replacement are compliant. Mr. Savidant noted the one row of landscaping proposed on the north side of the site would have to be removed for future right of way purposes.

Mr. Savidant reported the application does not meet the transparency requirements on the Wattles frontage and east and south facades. He noted though transparency requirements relate more to commercial use than residential use. He said the applicant is seeking Planning Commission approval to incorporate transparency alternatives, and the Planning Commission has the authority to grant flexibility of the transparency requirements. Mr. Savidant also reported there are safety concerns with the head-clearance of the first floor balconies and the lower level units below grade.

Mr. Savidant asked the Planning Commission to consider in its deliberations the following:

- Does the Planning Commission support the proposed transparency alternatives?
- Does the proposed garden level apartment style meet the Neighborhood Node design requirements?
- Does the Planning Commission support the proposed floor plans (including the community building), elevations and balcony clearance?

In summary, Mr. Savidant asked any approval to be subject to the applicant providing the required bicycle rack and to confirm transparency requirements (30%) on the south and east sides of the buildings. He said the Planning Commission may approve the transparency alternatives for the north elevation.

Some of the comments during discussion among the administration related to:

- Transparency requirements on all facades.
- Design and transparency requirements of front elevation in relation to right of way.
- Horizontal mixed use complies with the Neighborhood Node zoning district.
- Neighborhood Node zoning requirements with future adoption of the Master Plan.
- Safety concerns of balcony head-clearance and lower level units below grade.
- Confirmation that a flat roof is proposed for both buildings.
- Compliance of landscape requirements on north side with removal of landscaping along right of way.

Chair Perakis called a recess at 7:30 p.m. to allow the Information Technology department to resolve audio issues. Chair Perakis called the meeting back in session at 7:40 p.m.

Richard Atto, property owner of subject site and Rite Aid property to the west, introduced family members in the audience and project team members business partner Brian Najor, Landscape Architect Stacey Hadeed and Project Engineer Greg Bono. Mr. Atto gave a brief history of his family background and real estate/development career. He identified several design aspects he feels would be desirous of a potential resident that are incorporated in the development.

Mr. Atto said his short-term goal is to obtain a tenant for the vacant Rite Aid store and a long-term goal would be to potentially expand the development given any future changes in the Neighborhood Node zoning district.

Ms. Hadeed distributed handouts to the Planning Commission and gave a brief history of her career path. She addressed in detail the proposed development as relates to living units, building height and stories, landscaping, parking, traffic circulation, three dimensional views from several directional perspectives, roof design, elevations, outdoor amenities, transparency calculations, site design attributes, building materials and color scheme.

There was discussion, some comments related to:

- Parking, as relates to Rite Aid existing spaces, designated spaces for residents, walking distance to residential units.
- Proposed garden style units as relates to creativity, urban look, massing, unique design, low profile.
- Examples of similar apartment styles in the City with below grade lower level units.
- Community center amenities, as relates to arrangement of work-out area and social gathering space.
- Options to mitigate safety concerns of below grade lower level units and head-clearance of balconies.
- Transparency requirements; measures applicant could apply to meet requirements, consideration of alternative options.

- Approval of application would be conditioned on applicant combining the parcels, as noted on the site plan.
- Nonconforming status of vacant Rite Aid building as relates to Neighborhood Node zoning district if demolished and/or renovated.

Mr. Hutson stated he does not support the application because of the proposed below grade lower level units and floor plans.

Chair Perakis opened the floor for public comment.

- Susan Kuhn, 2172 E Wattles; addressed existing swampy land near Wayfarer Street connection to new homes on John R, parking, management of apartment complex.

Chair Perakis closed the floor for public comment.

Discussion continued among Board members on options applicant could take to mitigate safety concerns of the balconies, to mitigate safety concerns and install egress windows on below grade lower level units, to reconfigure floor space in the community center and to meet transparency requirements.

Mr. Najor said finding a good tenant to lease the Rite Aid property is a step in the right direction. He addressed the subjectivity of transparency requirements for residential use compared to commercial use. Mr. Najor said they will work with the City to mitigate any concerns discussed this evening and meet all code requirements for the egress windows and balconies to assure compliance.

**Resolution # PC-2024-04-021**

Moved by: Lambert

Seconded by: Faison

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District be postponed, for the following reasons:

1. To increase transparency on all sides of the units.
2. To address appropriate concerns on the first level balconies and lower level egress areas.
3. Add a bicycle rack.

Yes: All present (9)

**MOTION CARRIED**

Mr. Savidant informed the applicant of the specific transparency requirements for each elevation.

**OTHER ITEMS**

6. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

7. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments, some comments related to:

- Master Plan focus; parking, neighborhood node districts, North Troy zoning district.
- Potential future development of former K-Mart Headquarters site.
- Availability of Commissioners to attend May 28, 2024 Regular meeting.

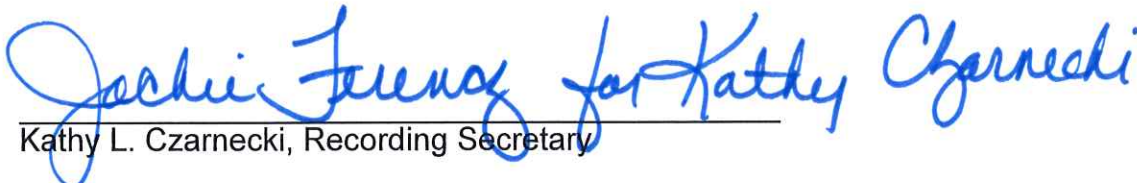
8. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 9:25 p.m.

Respectfully submitted,



\_\_\_\_\_  
Marianna J. Perakis, Chair



\_\_\_\_\_  
Kathy L. Czarneski, Recording Secretary

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:08 (7:06) p.m. on May 28, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis

Absent:

- John J. Tagle

Also Present:

- R. Brent Savidant, Community Development Director
- Salim Huerta Jr., Commercial Project Collaborator
- Allan Motzny, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-05-027**

Moved by: Faison

Support by: Fox

**RESOLVED**, To approve the agenda as prepared.

Yes: All present (8)

Absent: Tagle

**MOTION CARRIED**

3. APPROVAL OF MINUTES – May 14, 2024

**Resolution # PC-2024-05-028**

Moved by: Fox

Support by: Faison

**RESOLVED**, To approve the minutes of May 14, 2024 Regular meeting as amended.

Vote on the motion on the floor.

Yes: Buechner, Faison, Fox, Krent, Malalahalli, Perakis  
 No: Hutson, Lambert  
 Absent: Tagle

**MOTION CARRIED**

**PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Savidant presented a brief background on the Wattles Square Apartments application and addressed the revisions to the site plan since last considered by the Planning Commission at their April 23, 2024 meeting. He said the applicant has provided transparency calculations that meet the requirements, reconfigured the first level balconies and lower level egress windows to address concerns of safety and aesthetics, and added a bicycle rack on the southwest corner of the north building.

Mr. Savidant asked the Planning Commission to consider in its deliberations the following:

- Compliance with Site Plan Review Design Standards set forth in Section 8.06.
- Evaluation of the revised balcony and egress window design.
- How well the proposed project meets the overall site and building design standards of the Neighborhood Node district.

Some of the comments during discussion among the administration related to:

- Egress window, compliance with Building Code, facilitation of exit in emergencies.
- Dimensions of the lower level walkout area and egress window.
- Stormwater management on site; engineering review during final site plan approval.
- Elevations as relates to ground level and basement.

Present were Richard Atto and Landscape Architect Stacey Hadeed.

Mr. Atto addressed dimensions of the egress window and walkout area, compliance with building codes, and the use of a concrete step and fence gate to facilitate an exit should there be an emergency. He said he is quite comfortable with the safety features provided in case of emergencies. Mr. Atto explained there is drain tile around the whole building and stone and/or pea gravel to facilitate the management of stormwater to the underground parking lot.

There was discussion, some comments related to:

- Number of apartment units required to be compliant with American Disabilities Act (ADA).
- Building Code requirements for bedrooms located in basement/lower level of home.
- Dimensions of walkout area, egress window, step, and fencing.
- Landscape screening/buffering in relation to adjacent single family homes.

A count was taken to determine the number of persons in the audience who were in support or in opposition of the proposed site plan application. There were 61 in opposition; none in support.

Chair Perakis opened the floor for public comment.

The following residents spoke in opposition to the proposed site plan application. The majority of concerns expressed related to: not a fit for the neighborhood; safety, particularly school children; intent of the Zoning Ordinance; traffic congestion; noise and light pollution; loss of privacy; mail delivery; trash removal; walkability and lack of sidewalks; tree preservation; connection to adjacent residential homes; desire for single family homes; transiency of apartment residents; safety of emergency exits; lack of green space.

- Peter Wilkins, 3905 Wayfarer; submitted signed petition.
- Susan Kuhn, 2172 E. Wattles.
- Colleen Helmick, 4151 Washington Crescent.
- Fred Przybysz, 3842 Wayfarer.
- Paul Leitheiser, 3897 Wayfarer.
- Padmanabhan Karatha, 2042 Applewood.
- Thiago Podolsky, 3885 Sandpiper.
- Anuratha Battula, 3930 Macaw Drive.
- Sonny Quan, 3922 Macaw Drive.
- Karen Beard, 2034 Applewood.
- Mahesh Patil, 3931 Macaw Drive.
- Katharine Mitropoulos, 3912 Anvil.
- Raja Durairajan, 3911 Macaw Drive.
- Ravi Bhamidipati, 3886 Sandpiper; submitted signed petition.
- Jeff Zaleski, 3791 Wayfarer.
- Theresa Drauch, 4097 Colonial.
- Sushma Guduguntla, 3914 Macaw Drive.
- Jason Zhang, 3953 Wayfarer.
- James Sharland, 3921 Wayfarer.

Chair Perakis closed the floor for public comment.

Mr. Savidant stated the proposed development is permitted by right. He said neither State nor local law requires notification to the public of a proposed by-right development.

Mr. Fox again shared the data of the U.S. Census survey relating to property values and home sales in communities with a mix of single family and multi-family homes. He said it is a false perception that multi-family developments attract crime and unsafe conditions.

Discussion continued on:

- Stormwater management.
- Traffic concerns, consideration to provide a traffic study.
- Connectivity to adjacent single family homes.
- Compliance with Site Plan Review Design Standards; Section 8.06.
- Concerns with transiency of apartment residents.
- Public amenities.
- Intent of Neighborhood Node zoning district.
- By-right development.
- Compliance with photometric plan.

**Resolution # PC-2024-05-030**

Moved by: Fox

Seconded by: Faison

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be granted, subject to the following:

1. The applicant providing a six (6) foot high privacy fence along the south and east property lines.

Discussion on the motion on the floor.

Section 8.06, 1, b. of the Site Plan Review Design Standards, *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony*, was discussed.

Vote on the motion on the floor.

Yes: Faison, Fox, Lambert, Perakis

No: Buechner, Hutson, Krent, Malalahalli

Absent: Tagle

**MOTION FAILED**

**Resolution # PC-2024-05-031**

Moved by: Fox

Seconded by: Malalahalli

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be postponed, for a full board in attendance.



Yes: Buechner, Faison, Fox, Krent, Lambert, Malalahalli, Perakis  
 No: Hutson  
 Absent: Tagle

**MOTION CARRIED**

The Board members encouraged the applicant to provide a privacy fence on the south and east property lines, a general traffic study, a variety of architectural expression for the units that front Wattles, and a colored rendering.

Chair Perakis called for a recess at 9:45 p.m. The meeting reconvened at 9:58 p.m.

**SPECIAL USE APPROVAL**

- 7. PUBLIC HEARING - SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-0006) – Proposed Jax Kar Wash, South side of Long Lake, East of Livernois (102 East Long Lake Road), Section 15, Currently Zoned NN (Neighborhood Node “M”) Zoning District

Mr. Lambert disclosed that his daughter is employed at the day care center east of the subject site. The Board members agreed there is no conflict of interest.

Mr. Savidant reviewed the Special Use Approval and Preliminary Site Plan application for a Jax Kar Wash. He addressed the number of vacuum spaces and stacking spaces, the proliferation of car washes in the City and the use of a water reclamation/recycling system.

Mr. Savidant referenced the applicant’s responses on the proposed number of vacuum stations, the use of a water reclamation/recycling system, and the proliferation of car washes in the City. He read into the record the applicant’s responses as cited on pages 5, 7 and 9 of the Planning Consultant Report dated May 21, 2024.

Mr. Savidant stated that while the subject property is still in the Neighborhood Node (NN) zoning district, the future land use for this site was removed from the Neighborhood Nodes in the newly adopted version of the Master Plan, and underlying zoning of those Neighborhood Nodes are to be determined.

Mr. Savidant asked the Planning Commission to consider in its deliberations the proposed use, consumer demand, and to consider any testimony heard at the public hearing. In summary, Mr. Savidant asked the Planning Commission to consider if the application is compliant with the Special Use and Site Plan Review Design Standards and to ask the applicant’s consideration to use a water reclamation/recycling system.

Vote on the motion on the floor.

Yes: Buechner, Faison, Hutson, Krent, Lambert, Perakis  
No: Fox, Malalahalli  
Absent: Tagle

**MOTION CARRIED**

**OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda

Deborah Louzecky, 6327 Donaldson, spoke on Agenda Item #5, The Village of Hastings PUD. She addressed a desire that the proposed development created more of a village-like or downtown environment.

9. PLANNING COMMISSION COMMENT

There were general Planning Commission comments, some comments related to:

- Planning Commission access to public comment.
- Progress on hotel development at I-75 and Rochester Road.
- Compaction of trash in multi-family residential development.
- Proposed development at former K-Mart Headquarters property; informal presentation by applicant in June.

Mr. Savidant announced that the City Council adopted the Master Plan at their May 20, 2024 meeting. He shared information on a Michigan Association of Planners (MAP) meetup site visit at Palmer Park and a nearby LGBTQ community in Detroit.

10. ADJOURN

The Regular meeting of the Planning Commission adjourned at 11:26 p.m.

Respectfully submitted,



Marianna J. Perakis, Chair



Kathy L. Ozarnecki, Recording Secretary



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 1, 2023  
Revised: February 7, 2024  
April 12, 2024  
May 14, 2024  
July 15, 2024

## **Preliminary Site Plan For City of Troy, Michigan**

**Applicant:** Atto Construction  
**Project Name:** Wattles Square Apartment  
**Plan Date:** June 3, 2024  
**Location:** South side of Wattles, east of John R.  
**Zoning:** NN, Neighborhood Node, Site Type B  
**Action Requested:** Preliminary Site Plan Approval

### **PROJECT AND SITE DESCRIPTION**

An application has been submitted for a proposed multiple family stacked flat project along the south side of Wattles, east of John R. The site is approximately 2 acres in area and is currently vacant but encumbered with tree cover. The site is directly east of an existing RiteAid and abuts residential uses on its north, east, and south sides.

The applicant proposes a total of 57 units, divided into two (2) buildings. The first building is directly adjacent to Wattles and the second building is set behind the first. The buildings are stacked flats totaling three (3) stories, but we note that the applicant has lowered the grade of the site so the first story is below grade. The level below grade (noted as “garden level”) and the level above (noted as “first floor”) are one unit. The third level (noted as “second floor”) is a separate unit.

The proposed development is heavily intertwined with the RiteAid site to the east. The applicant is utilizing a portion of the existing RiteAid site for sidewalks, open space, five (5) parking spaces, and a shared dumpster/recycling enclosure. Furthermore, the applicant proposes to convert a 500 sq/ft section of the existing RiteAid building into a community building for tenants. The existing RiteAid site is owned by the same owner and they will combine the lots to make them one zoning lot.

The site is zoned NN, Neighborhood Node. The proposed multiple family residential use is permitted in the NN, Neighborhood Node, Site Type B.

Location of subject site:

South side of Wattles, east of John R.

**Location and Aerial Image of Subject Site**



Size of subject site:

The property is approximately 2 acres in area.

Proposed use of subject site:

The proposed use is for 56 apartment units.

Current use of subject site:

The property is currently vacant.

Current Zoning:

The property is currently zoned NN, Neighborhood Node, Site Type B.

Surrounding Property Details:

Direction	Zoning	Use
North	NN, Neighborhood Node	Attached Residential
South	R1-C, One Family Residential District	Single Family Residential
East	R1-C, One Family Residential District	Single Family Residential
West	NN, Neighborhood Node	RiteAid

**PREVIOUS PLANNING COMMISSION REVIEWS**

The items was first last by the Planning Commission on May 28, 2024. The item was postponed to have a full board in attendance. In addition, the Board members encouraged the applicant to provide a privacy fence on the south and east property line, a general traffic study, a variety of architectural expression for the units that front on Wattles, and a colored rendering.

**CHANGES SINCE PLANNING COMMISSION REVIEW**

Since the last meeting the applicant has provided the following:

- Fence detail: The applicant has provided a six-foot tall stockade wood fence. The fence is proposed along the eastern and southern property lines.
- Traffic memo: a traffic memo was completed by OHM. A summary of the memo:

*The table below provides the calculated number of trips generated for the Wattles Square site, based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, for Multifamily Housing (Low-Rise) (ITE Land Use Code #220).*

**Table 1. Trips Generated**

Dwelling Units	AM Peak			PM Peak		
	In	Out	Total	In	Out	Total
54	10	30	40	28	16	44

*During the morning (AM) peak hour, the Wattles Square site generates 40 vehicle trips: 10 inbound (entering the site), and 30 outbound (exiting the site). During the evening (PM) peak hour, the site generates 44 vehicle trips: 28 inbound (entering the site), and 16 outbound (exiting the site).*

*Overall, the amount of traffic generated from this proposed site will not provide significant impacts to Wattles Road, John R Road, or the surrounding roadway network.*

- Revised elevations and colored rendering: The applicant has revised the front elevations (fronting Wattles) to provide more architectural variety and increase transparency. In addition, the applicant has provided a set of colored renderings.



July Elevations

## SITE PLAN REVIEW STANDARDS

Section 8.06 outlines Site Plan Review Design Standards.

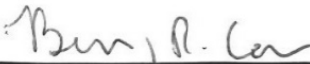
1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
  - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
  - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
  - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
  - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
  - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
  - c. *Develop buildings with creativity that includes balanced compositions and forms.*

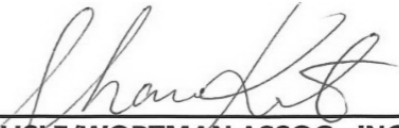
- d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
  - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
  - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
- a. *Provide elements that define the street and the pedestrian realm.*
  - b. *Create a connection between the public right of way and ground floor activities.*
  - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
  - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
  - e. *Improve safety for pedestrians through site design measures.*

## SUMMARY

The Planning Commission should consider compliance with the Site Plan Review standards set forth in Section 8.06.

Sincerely,

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, AICP, LEED AP**  
**President**

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Shana Kot**  
**Community Planner**

# memorandum

**Date:** April 11, 2024

**To:** Scott Finlay, PE

**From:** Stephen Dearing, PE, PTOE & Lauren Hull, EIT

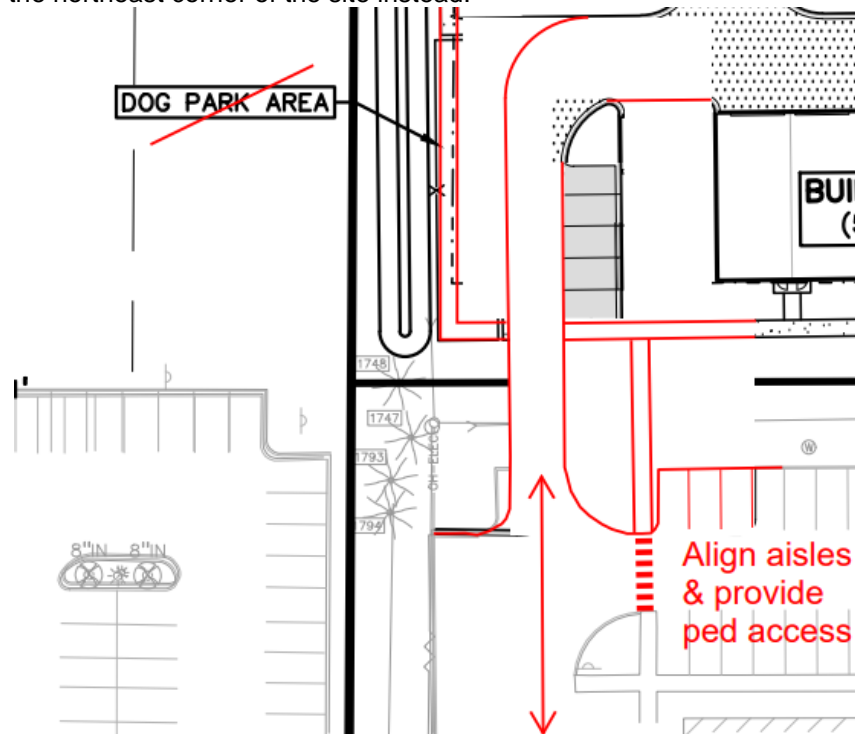
**Re:** Proposed John R Commons Townhome Development  
Site Plan Review

We have reviewed the site plan for the proposed John R Commons Townhome development in Troy, Michigan. The plans were prepared by PEA Group and are dated March 1, 2024.

OHM's comments are as follows:

1. Site Plan:

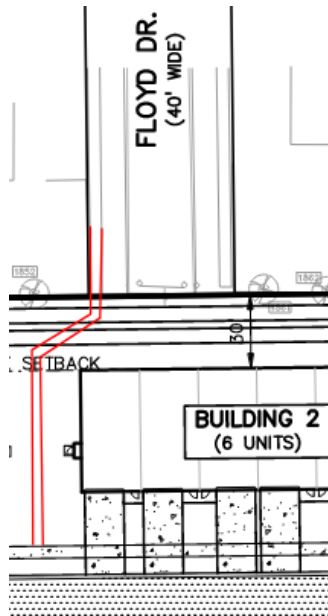
- a. Align the aisles and provide pedestrian access between sites. The dog park can be relocated to the northeast corner of the site instead.



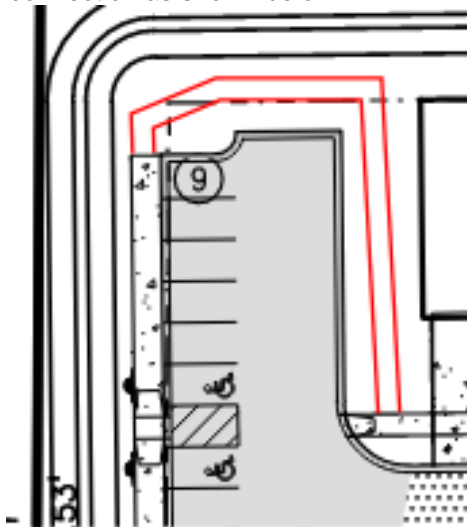




- b. Provide a sidewalk connection to Floyd as a school walking route to the neighborhood elementary school.



- c. Provide a sidewalk connection as shown below.



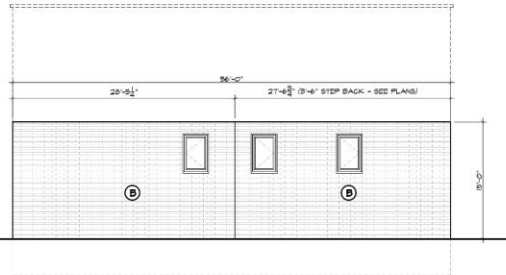
- d. Sidewalk should be dimensioned. Additionally, any sidewalk adjacent to parking spaces needs to be at least 7 feet wide since there is the possibility of vehicle overhang.
- e. The east driveway needs to be dimensioned.
- f. Provide sidewalk along Nancy Bostick Drive connecting to the existing sidewalk along John R Road. Included with this, add a crosswalk across the east driveway.
- g. The west driveway seems to eliminate several parking spaces for the adjacent site. Has this been agreed upon/coordinated with the adjacent site?

# July 23, 2024 Troy PC meeting Wattles Square Apartments

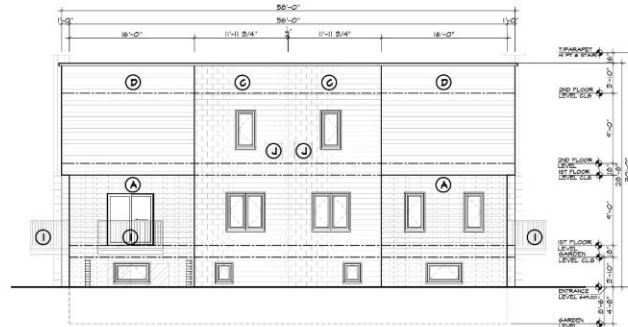
East Wattles & John R. Road, Troy MI



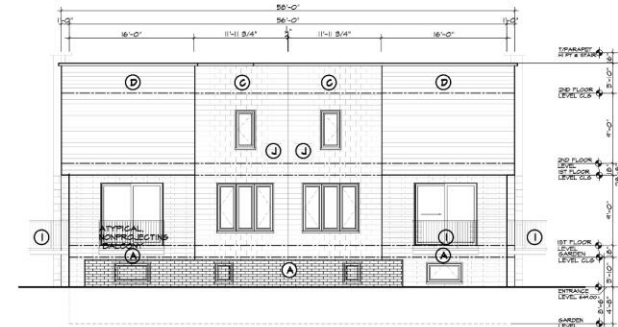




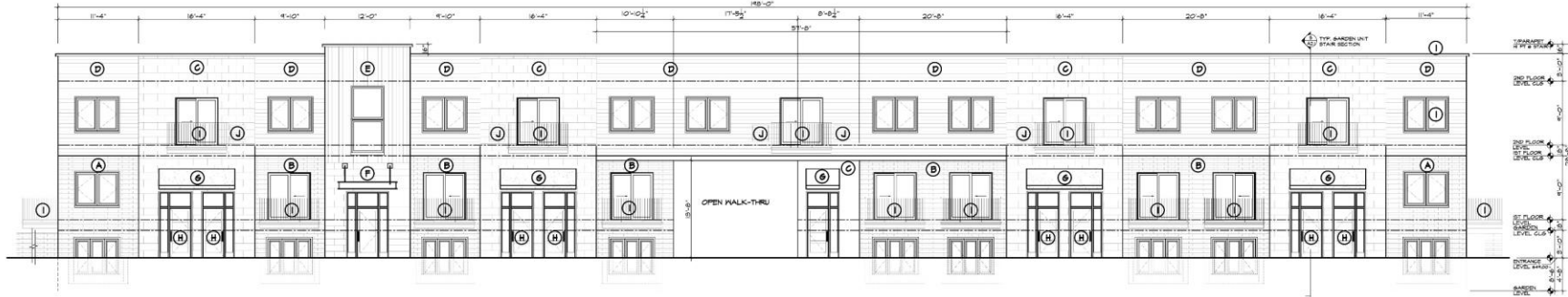
**5 BLDG. 1 WEST WALK-THRU ELEVATION**  
 (EAST ELEVATION SAME W/O STEPPED WALL)  
 Scale: 1/8" = 1'-0"



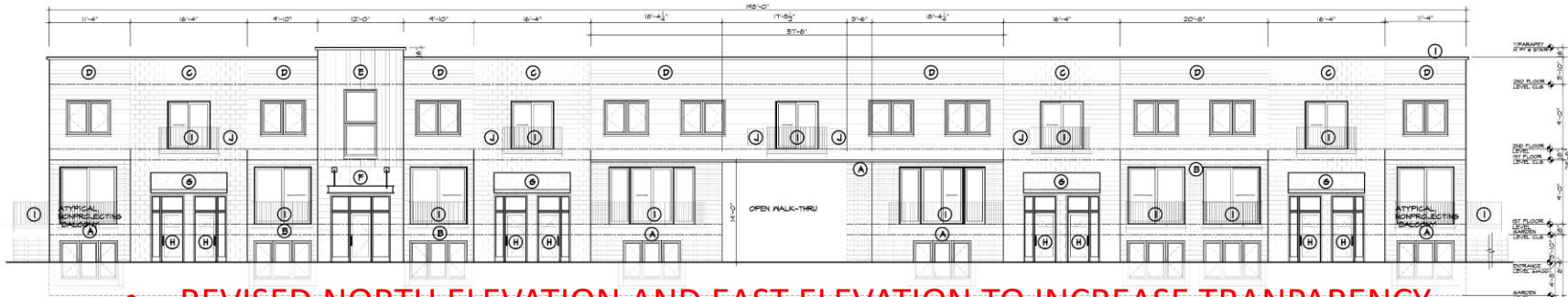
**4 BLDG. 1 WEST ELEVATION**  
 Scale: 1/8" = 1'-0"



**3 BLDG. 1 EAST ELEVATION**  
 Scale: 1/8" = 1'-0"



**2 BLDG. 1 SOUTH ELEVATION**  
 Scale: 1/8" = 1'-0"



**1 BLDG. 1 NORTH ELEVATION**  
 Scale: 1/8" = 1'-0"

**EXTERIOR MATERIALS**

- EXTERIOR BLIND MATERIAL LEGEND**  
 SEE LIST AND GET COLOR SAMPLES
- A. 12" X 4" H BRICK VENEER  
MEDIUM GRAY COLOR
  - B. 12" X 4" H BRICK VENEER  
VERY LIGHT GRAY COLOR
  - C. 16" X 8" H BURNISHED SMOOTH  
CONCRETE BLOCK LIGHT GREYH COLOR
  - D. 6" H HORIZONTAL METAL SIDING  
MEDIUM CHARCOAL WOOD GRAIN
  - E. 6" H VERTICAL METAL SIDING  
LIGHT PALMWOOD GRAIN
  - F. 2'-0" X 10' X 10' 5/4" H STONE VENEER  
LIGHT GRAY COLOR
  - G. COMMERCIAL GRADE CANVAS AWNING  
MARINE BLUE COLOR
  - H. RESIDENCE ENTRY DOORS  
LIGHT PALMWOOD GRAIN
  - I. BLACK COLOR  
WINDOWS & DOOR FRAMES  
METAL BALCONY & RAILINGS  
METAL CANOPY AT 2ND FLR STAIR ENTRY  
METAL PARAPET COPING
  - J. 2ND FLOOR HVAC GRILLE COLOR TO MATCH  
ADJACENT WALL MATERIAL COLOR

**• REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY**

CITY CODEBOOK	05/04/21
CITY CODEBOOK	06/04/21
SITE PLAN APPROVAL	05/20/20
TITLE SHEET APPROVAL	07/02/20
DATE	06/04/21

WATTLES SQUARE APARTMENTS  
 EAST WATTLES ROAD  
 TROY, MI

BUILDING 1  
 EXTERIOR ELEVATIONS

A2.0



- REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY



- REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY

The material palette of the architectural design is varied, including:

- 2 brick types
- burnished block
- Stone veneer
- 2 types of metal siding.

EXTERIOR MATERIAL COLOR SAMPLES:



EXTERIOR BLDG. MATERIAL LEGEND:

- A. 12" W. X 4" H. BRICK VENEER  
MEDIUM GRAY COLOR
- B. 12" W. X 4" BRICK VENEER  
VERY LIGHT GRAY COLOR
- C. 16" W. X 8" H. BURNISHED SMOOTH  
CONCRETE BLOCK. LIGHT CREAM COLOR
- D. 6" H. HORIZONTAL METAL SIDING  
MEDIUM CHARCOAL WOOD GRAIN
- E. 6" H. VERTICAL METAL SIDING  
LIGHT WALNUT WOOD GRAIN
- F. 2'-8" W. X 10 3/4" H. STONE VENEER  
LIGHT GRAY COLOR
- G. COMMERCIAL GRADE CANVAS AWNING  
MARINE BLUE COLOR
- H. RESIDENCE ENTRY DOORS  
LIGHT WALNUT WOOD GRAIN
- I. BLACK COLOR:  
WINDOW & DOOR FRAMES  
METAL BALCONY & RAILINGS  
METAL CANOPY AT 2ND FLR STAIR ENTRY  
METAL PARAPET COPING
- J. 2ND FLOOR HVAC GRILLE COLOR TO MATCH  
ADJACENT WALL MATERIAL COLOR

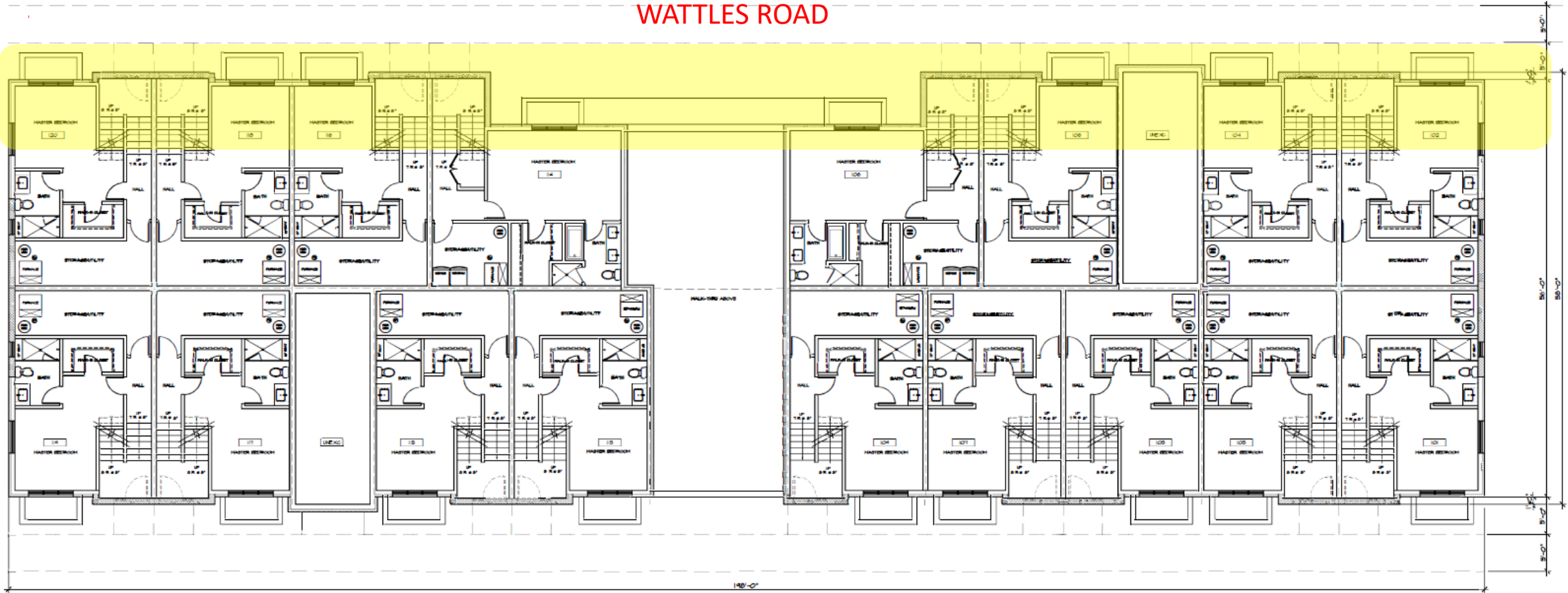



Wattles Square Apartments



The street front facade has a variety of architectural expression, with a façade that steps in and out and transitions materially both horizontally and vertically, causing unique shadow lines, color contrast, and texture changes.

### WATTLES ROAD



Garden Level Plan  
Scale: 1/8" = 1'-0"  North

# VIEW AT OUTDOOR PLAZA





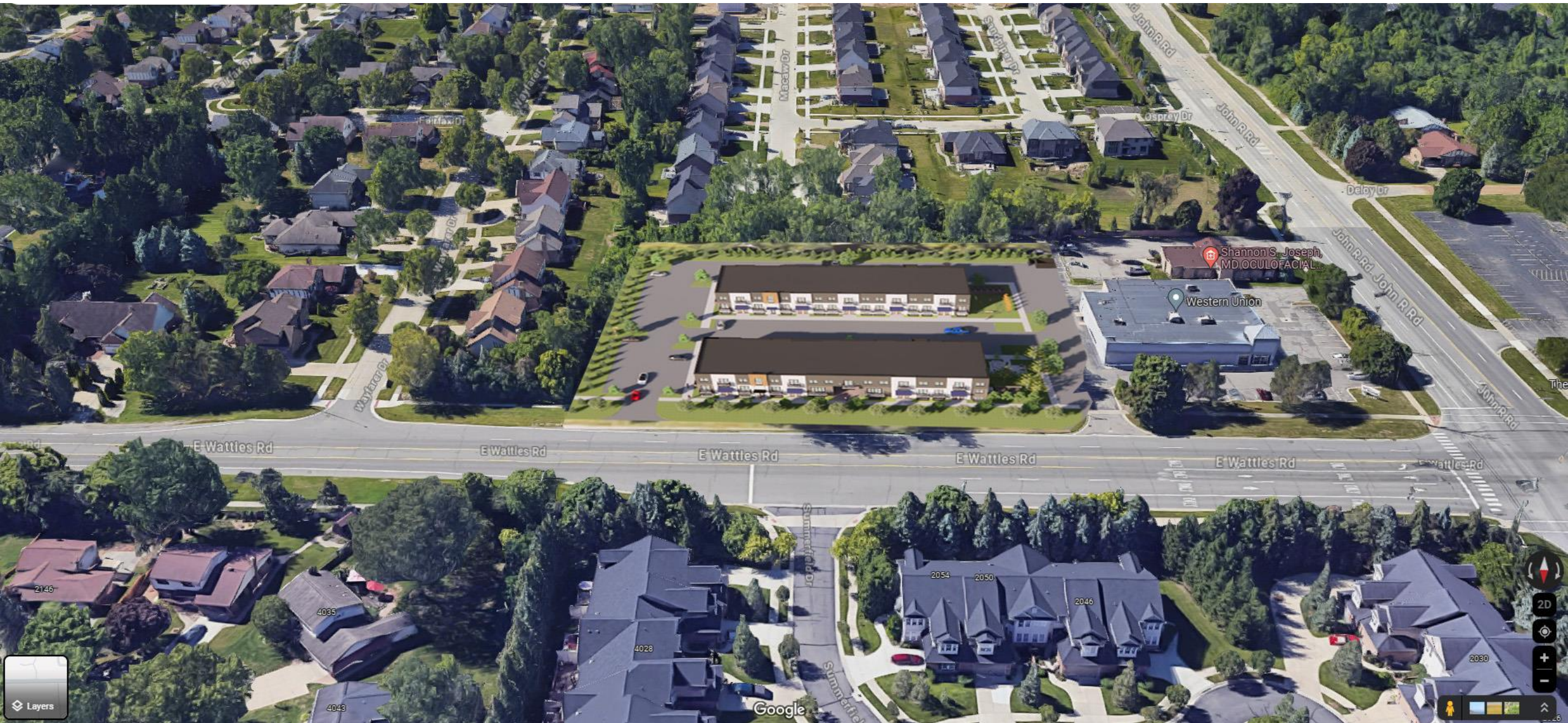
*“MASTER PLAN”*

*We sincerely believe that we meet the intended purpose of the neighborhood node category.*

*Multifamily apartment buildings inherently support social neighborhoods through increased density. This increased density creates a robust and livable community. For our site, being surrounded by single family homes, this results in a more diverse community. Additionally, our neighborhood node is a site, that will be combined with the neighboring commercial retail site (formerly Rite Aid). It is a mixed use project.*

*We are providing gathering places for residents and their guests with the community patio, and the dog park, and the “pass through” garden space which will include landscaping and benches, in the center of Building 1.*

*Basic living needs for residents will be provided through the apartment building and site, while also generous outdoor areas and on site parking will also be provided for residents. Residents will have access to multiple services provided on site necessary for daily living. Furthermore, the project location lends itself to easy and walkable access to nearby retail and has close proximity to services provided by the City of Troy.*



# TRAFFIC CIRCULATION:

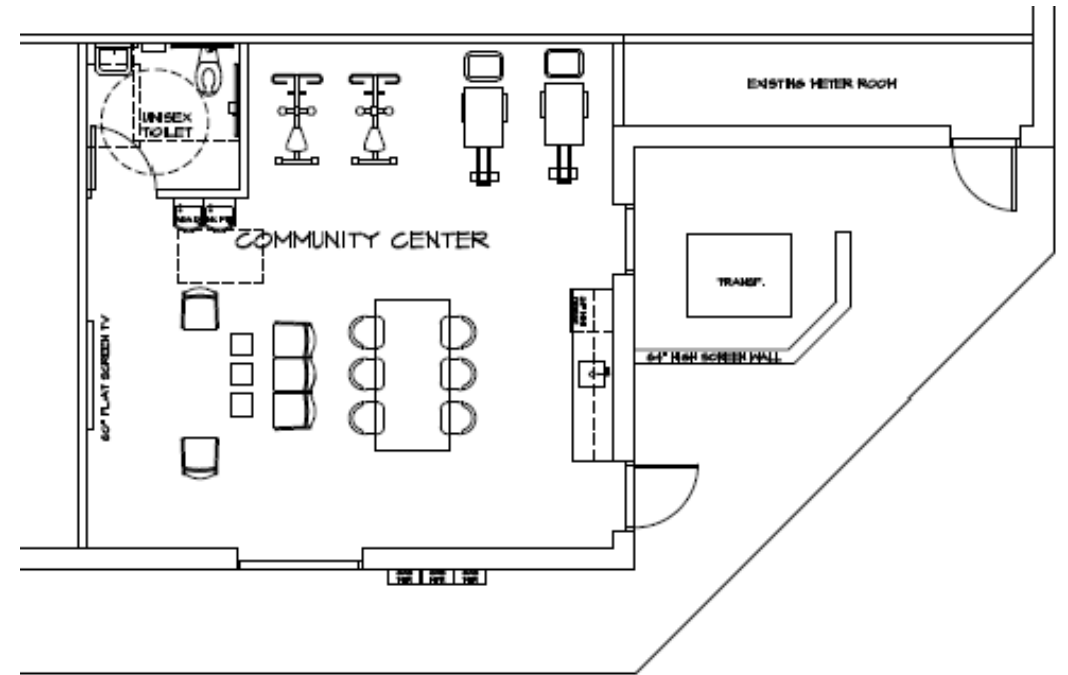


35 units x 2 cars  
= 70 cars total

PROPOSED:  
155 spaces.  
(52+52+51)  
Max 155 cars

89 houses x 2.5 cars  
= 222 cars total

*The Community Building space, which will include a minimum of 500-600 SF, will be a vibrant and welcoming gathering place for residents to meet and mingle. It can support health and wellness activities, fitness equipment, a lounge space for television viewing, and more. It will be flexible and adaptable to support the various needs of the resident community.*



Community Center Plan  
Scale: 1/4" = 1'-0"



THANK YOU! QUESTIONS?

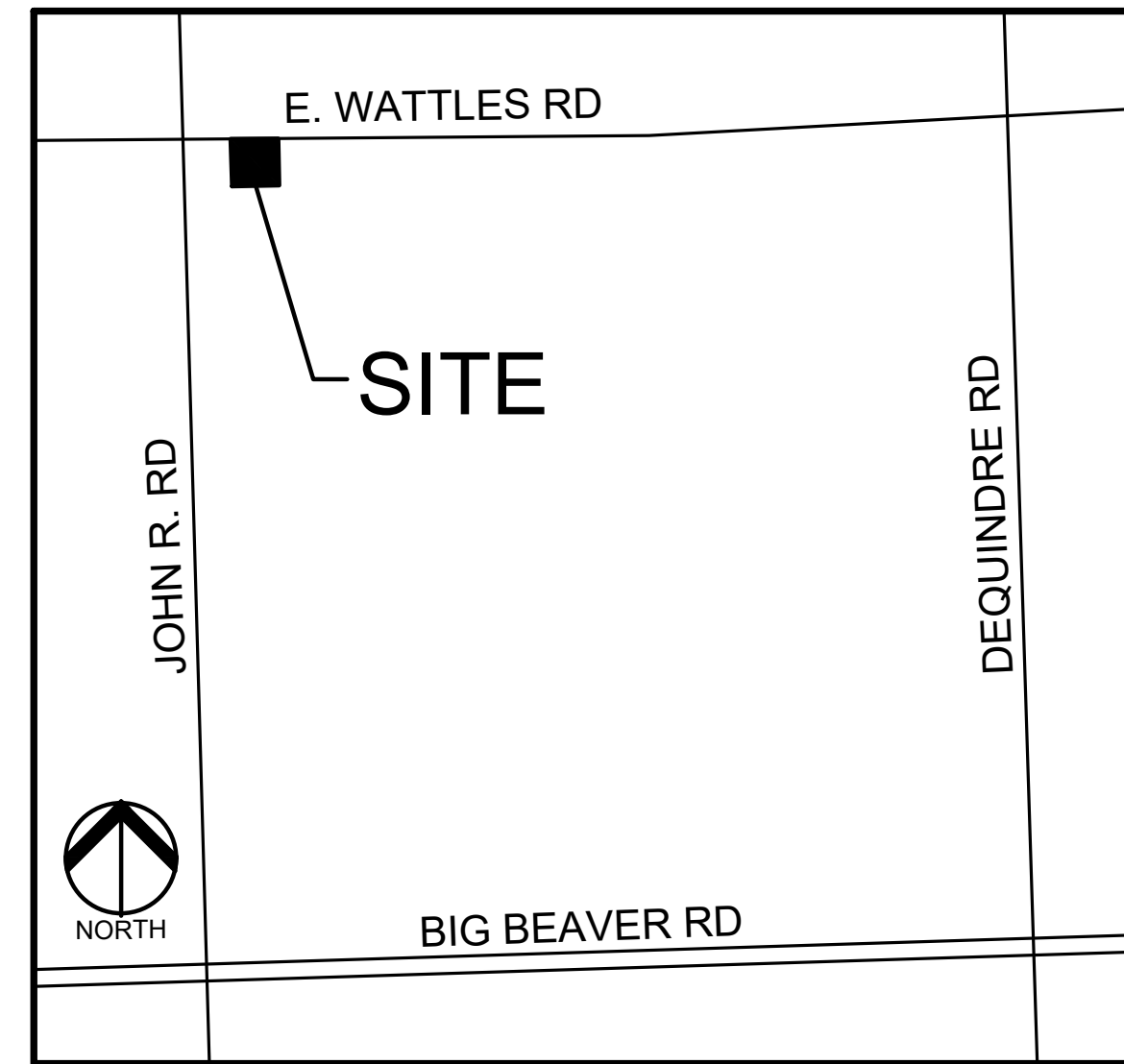


PRELIMINARY SITE PLANS

# WATTLES SQUARE APARTMENTS

E. WATTLES ROAD & JOHN R. ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP  
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	OVERALL SITE PLAN
C-2.1	PRELIMINARY SITE PLAN
C-3.0	PRELIMINARY GRADING PLAN
C-4.0	PRELIMINARY UTILITY PLAN
C-5.0	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS
T-1.0	TREE PLAN
T-1.1	TREE LIST
L201	PHOTOMETRIC PLAN
ARCHITECTURAL PLANS	
A0.0	BUILDING 1 NORTH EXTERIOR ELEVATION
A1.1	TWO LEVEL UNIT FLOOR PLANS - BUILDING 1
A1.2	TWO LEVEL UNIT FLOOR PLANS - BUILDING 2
A1.3	2ND FLOOR SINGLE LEVEL UNITS - BUILDINGS 1 & 2
A2.0	BUILDING 1 EXTERIOR ELEVATIONS
A2.1	BUILDING 2 EXTERIOR ELEVATIONS
CC1.0	COMMUNITY CENTER PLAN

DESIGN TEAM

<b>DEVELOPER</b>	<b>CIVIL ENGINEER</b>
ATTO CONSTRUCTION 2150 FRANKLIN ROAD BLOOMFIELD HILLS, MI 48302 CONTACT: RICHIE ATTO EMAIL: ATTONATION@MSN.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: GREG BONO, PE PHONE: 844.813.2949 EMAIL: GBONO@PEAGROUP.COM
<b>ARCHITECT</b>	<b>LANDSCAPE ARCHITECT</b>
HARRY SWIHART ARCHITYPE 21643 SHIAWASSEE DR. CASSAPOLIS, MI 49031 CONTACT: HARRY SWIHART PHONE: 312.758.7037 EMAIL: HSARCHITYPE@COMCAST.NET	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	9/22/2023
CITY COMMENTS	11/15/2023
SITE PLAN APPROVAL	12/5/2023
CITY COMMENTS	3/6/2024
CITY COMMENTS	6/3/2024



NOT FOR CONSTRUCTION

**FLOODPLAIN NOTE:**  
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C05536, EFFECTIVE DATE OF JANUARY 16, 2009.

**TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:**  
 TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY CORE LAND CONSULTING.  
 PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

**LEGEND:**

- FOUND MONUMENT (AS NOTED)
- SECTION CORNER
- ⊕ SET 1/2" REBAR & CAP
- ⊗ SQUARE CATCH BASIN
- ⊙ STORM MANHOLE
- ⊕ ROUND CATCH BASIN
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER MANHOLE
- ⊕ SEWER MANHOLE
- UTILITY POLE
- SINGLE POST SIGN
- ADJOINING BOUNDARY LINE
- EDGE OF ASPHALT
- BOUNDARY LINE
- BUILDING
- EDGE OF CONCRETE
- CONCRETE CURB
- EASEMENT
- EDGE OF METAL
- OVERHEAD UTILITY LINE
- GUARDRAIL
- PLATTED SUBDIVISION
- ROAD CENTERLINE
- SECTION LINE
- SEWER LINE
- EDGE OF SIDEWALK
- STORM DRAIN LINE
- WALL (AS NOTED)
- WATER MAIN

**PEA GROUP**  
 t: 844.813.2949  
 www.peagroup.com

STATE OF MICHIGAN  
 GREGORY MICHAEL BONO  
 LICENSE NO. 030104443  
 PROFESSIONAL ENGINEER

NORTH

0 10 20 40  
 SCALE: 1" = 20'

**BENCHMARKS (NAVD83)**

BM #1  
 ARROW ON HYDRANT LOCATED ON NORTH SIDE OF WATTLES ROAD ±638 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 649.24

BM #2  
 MAG NAIL IN SOUTH FACE OF TREE LOCATED ON NORTH EDGE OF WALK ON SOUTH SIDE OF WATTLES ±472 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 647.68

BM #3  
 ARROW ON HYDRANT LOCATED NORTHEAST CORNER OF PARCEL LOCATED ±332 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 647.68

**CAUTION!!**  
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**LOCATION MAP**

**811. Know what's below. Call before you dig.**

**CLIENT**  
**ATTO CONSTRUCTION, INC.**  
 2150 FRANKLIN ROAD  
 BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
 E. WATTLES RD. & JOHN R. RD.  
 TROY, MI 48063

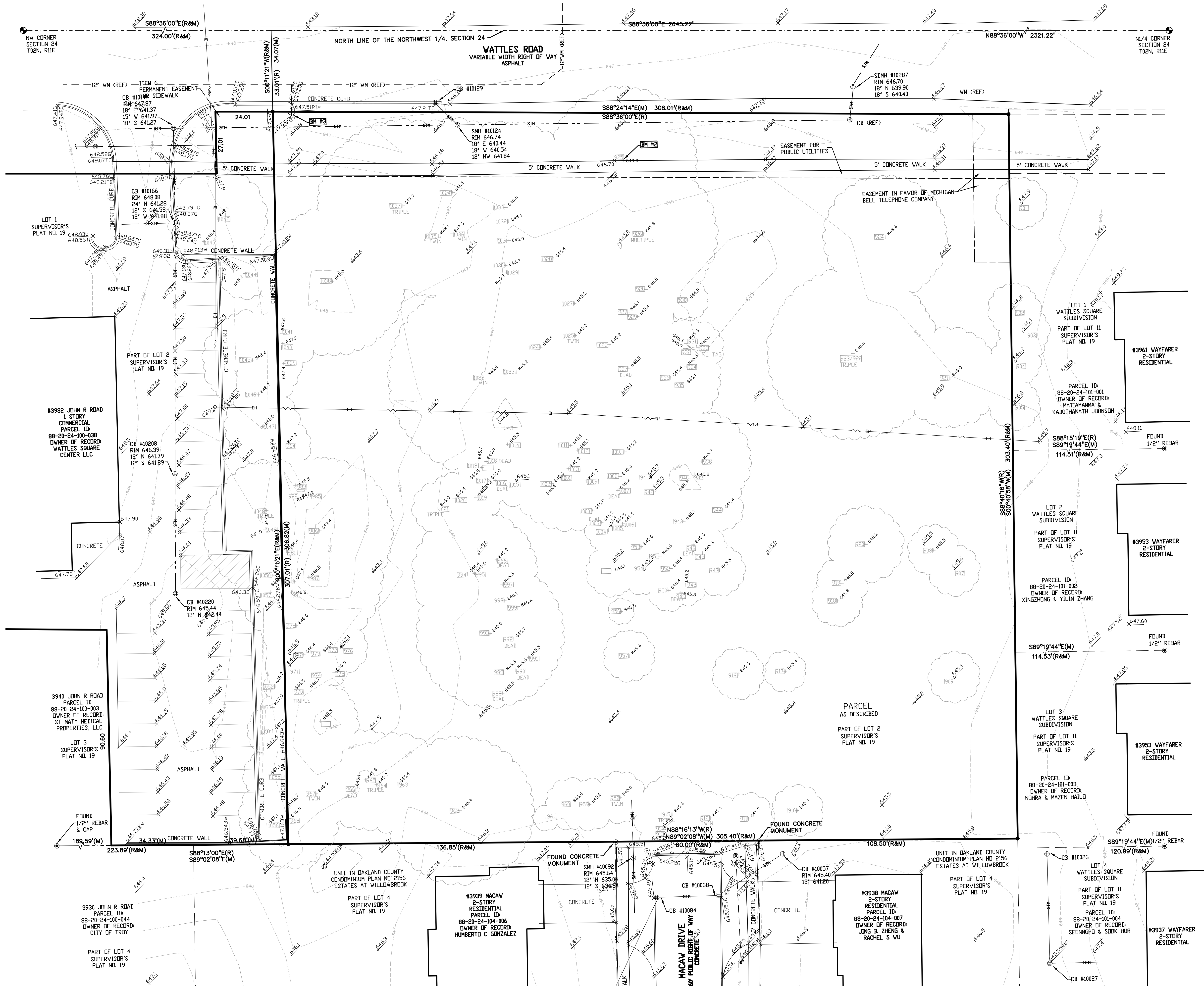
**REVISIONS**

CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
CITY COMMENTS	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

**ORIGINAL ISSUE DATE:**  
 SEPTEMBER 22, 2023

**DRAWING TITLE**  
**TOPOGRAPHIC SURVEY**

PEA JOB NO. 22-1309  
 P.M. GMB  
 DN. KRJ  
 DES. KRJ  
 DRAWING NUMBER:  
**C-1.0**



NOT FOR CONSTRUCTION

C-1.0

S:\PROJECTS\2022\022-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\C-1.0TOPG.SW PLT DATE: 6/2/2024 BY: Kelly Sztybel



**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

**SITE DATA TABLE:**

SITE AREA = 3.47 ACRES (151,214 SF) GROSS  
3.28 ACRES (142,767 SF) NET

ZONING: NEIGHBORHOOD NODES (NN) - NODE F

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

**BUILDING INFORMATION**  
BUILDING FORM C

MAXIMUM ALLOWABLE BUILDING HEIGHT = 2.5 STORIES (30 FEET)  
PROPOSED BUILDING HEIGHT = 2.5 STORIES

**BUILDING FOOTPRINT AREA:**  
BLDG 1 = 9,980 SF  
BLDG 2 = 11,300 SF  
TOTAL FOOTPRINT AREA = 21,280 SF

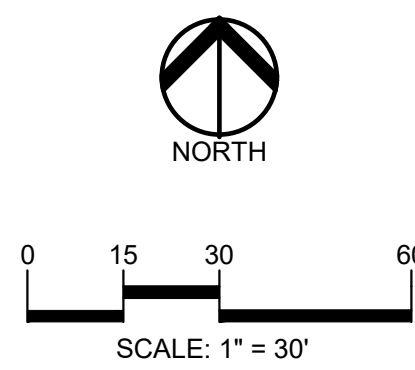
MAXIMUM BUILDING COVERAGE = 30%  
PROPOSED BUILDING COVERAGE = (21,280+11,585+500) / 142,767 = 23.4%

<b>SETBACK:</b>	<b>REQUIRED:</b>	<b>PROPOSED:</b>
FRONT (NORTH):	10'	10.00'
SIDE (EAST):	20'	90.05'
SIDE (WEST):	0'	89.62'
REAR (SOUTH):	30'	72.33'

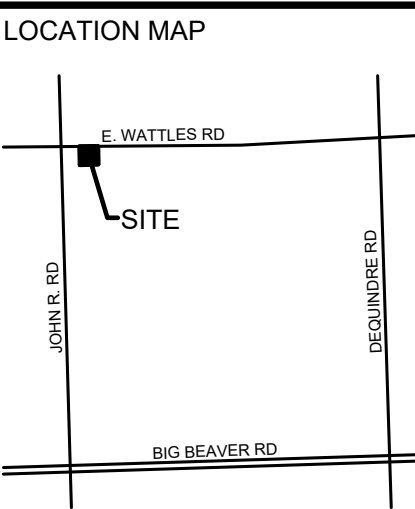
**PARKING CALCULATIONS:**  
MULTI-FAMILY = 2 SPACES PER UNIT  
REQUIRED PARKING = 54 UNITS x 2 = 108 SPACES  
PROPOSED PARKING = 109 SPACES INC. 5 ADA SPACES

RETAIL = 1 SPACE PER 250 SF  
REQUIRED PARKING = 11,585 SF / 250 = 46.3 ~ 46 SPACES  
PROPOSED PARKING = 46 SPACES INC. 2 ADA SPACES

TOTAL REQUIRED PARKING = 108 + 46 = 154 SPACES  
TOTAL PROPOSED PARKING = 109 + 46 = 155 SPACES INC. 7 ADA SPACES



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**CLIENT**  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

**REVISIONS**

CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

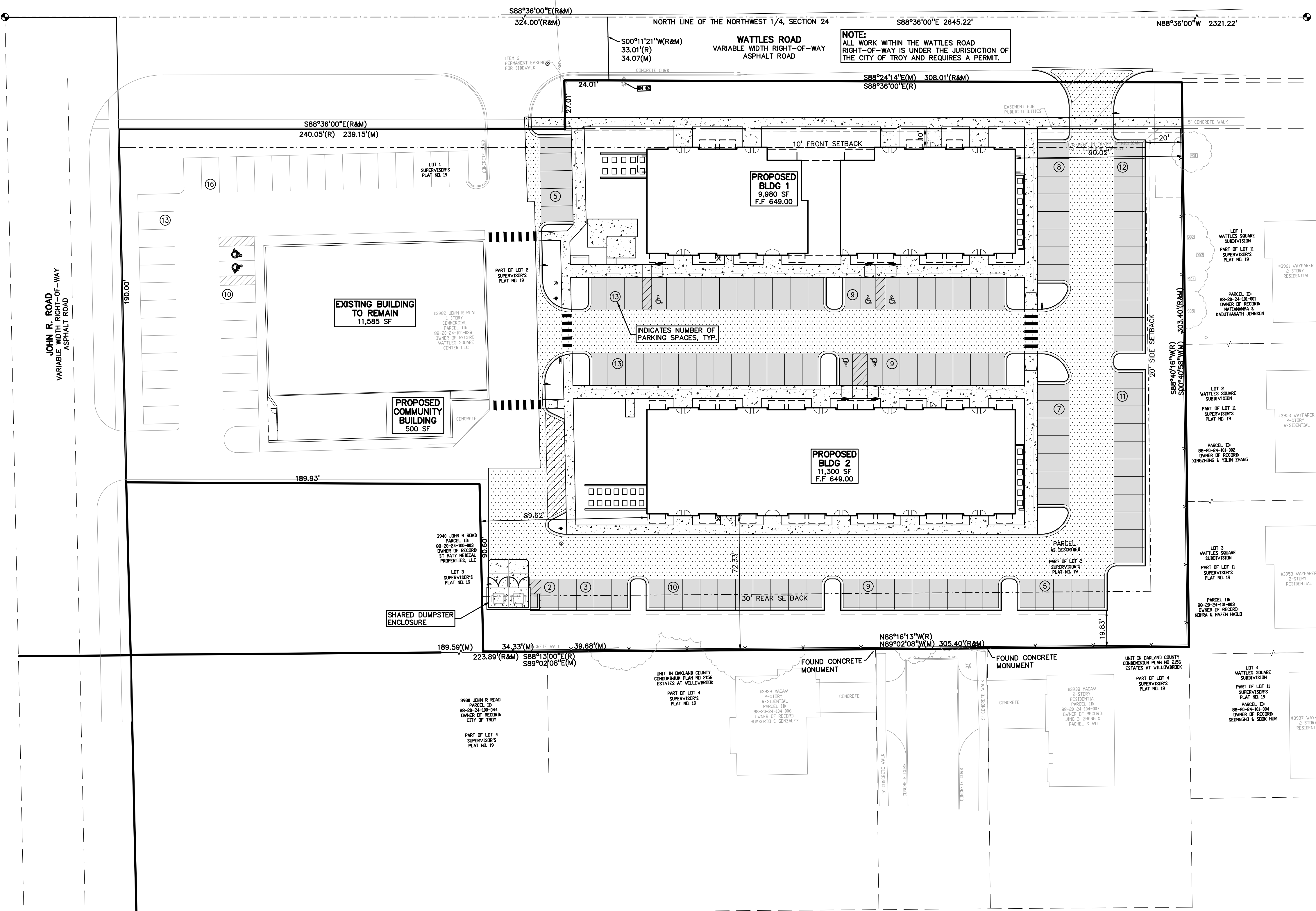
ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**OVERALL SITE PLAN**

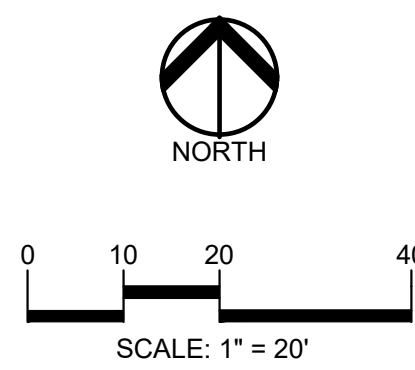
PEA JOB NO.	22-1309
P.M.	GMB
DN.	KRD
DES.	KRD

DRAWING NUMBER:

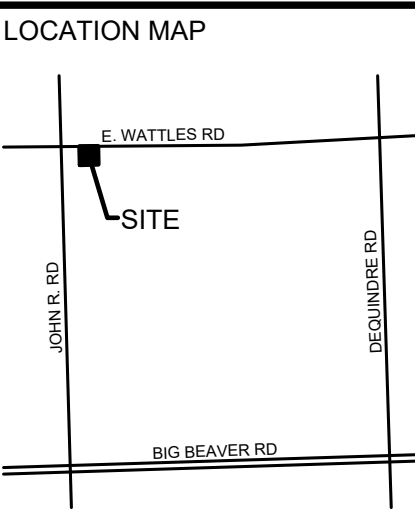
NOT FOR CONSTRUCTION **C-2.0**



S:\PROJECTS\2022\022-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\C-2.0 OVERALL SITE PLAN.dwg PLOT DATE: 6/7/2024 8:11 AM S:\KRD



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 BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
 E. WATTLES RD. & JOHN R. RD.  
 TROY, MI 48063

**REVISIONS**

CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
CITY COMMENTS	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

**ORIGINAL ISSUE DATE:**  
 SEPTEMBER 22, 2023

**DRAWING TITLE**  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	KRD
DES.	KRD
DRAWING NUMBER:	

**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE SIDEWALK PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
  - ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS.

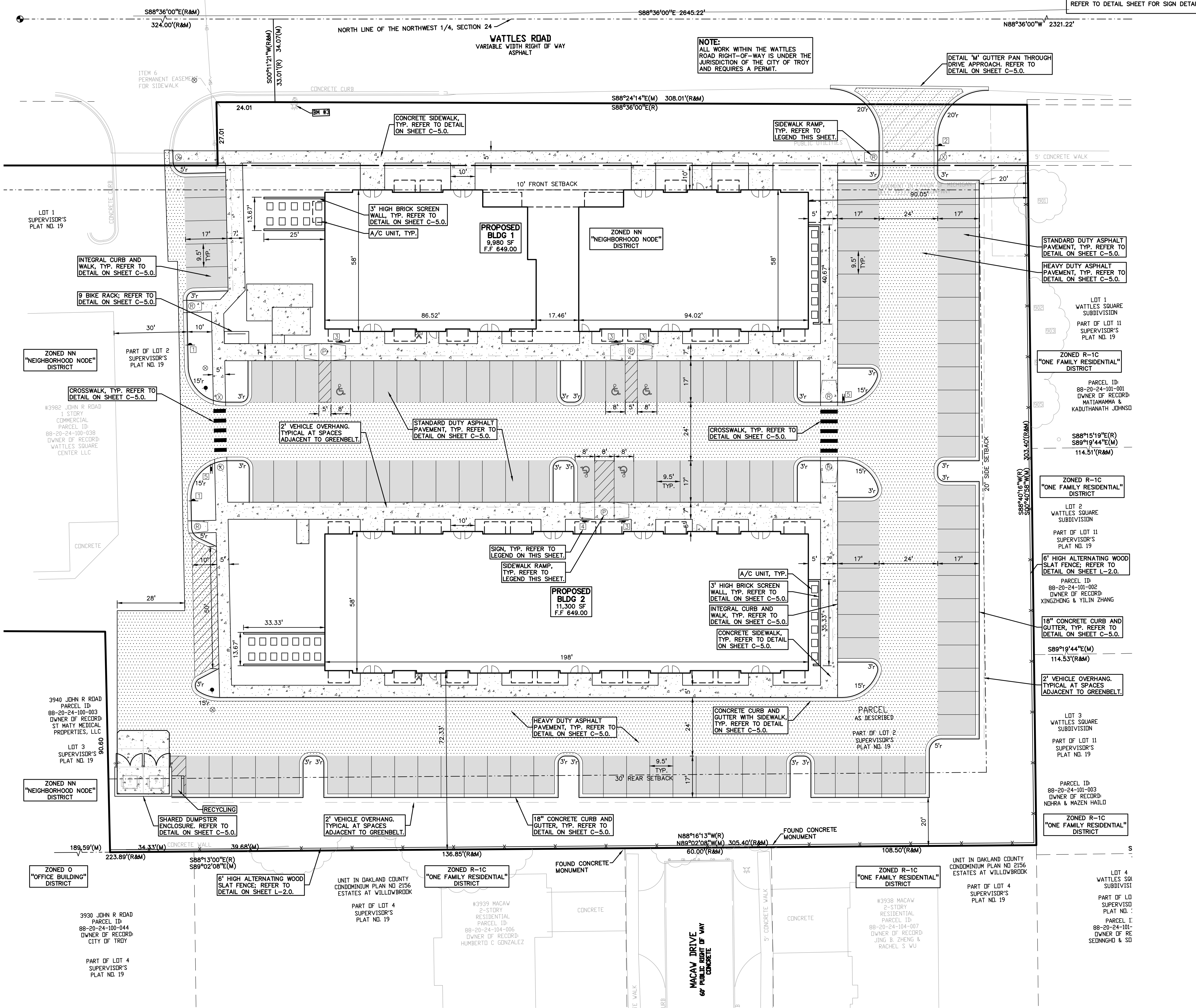
**SIDEWALK RAMP LEGEND:**

[Symbol]	SIDEWALK RAMP 'TYPE P'
[Symbol]	SIDEWALK RAMP 'TYPE R'
[Symbol]	CURB DROP ONLY

**SIGN LEGEND:**

[Symbol]	'NO PARKING FIRE LANE' SIGN
[Symbol]	'STOP' SIGN
[Symbol]	'BARRIER FREE PARKING' SIGN
[Symbol]	'VAN ACCESSIBLE' SIGN
[Symbol]	'CROSSWALK' SIGN

REFER TO DETAIL SHEET FOR SIGN DETAILS



**NOTE:**  
 ALL WORK WITHIN THE WATTLES ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF TROY AND REQUIRES A PERMIT.

DETAIL 'M' GUTTER PAN THROUGH DRIVE APPROACH. REFER TO DETAIL ON SHEET C-5.0.

**WATTLES ROAD**  
 VARIABLE WIDTH RIGHT OF WAY  
 ASPHALT

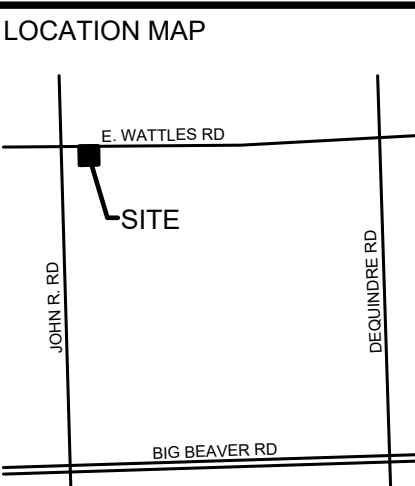
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0 10 20 40  
SCALE: 1" = 20'



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CLIENT  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

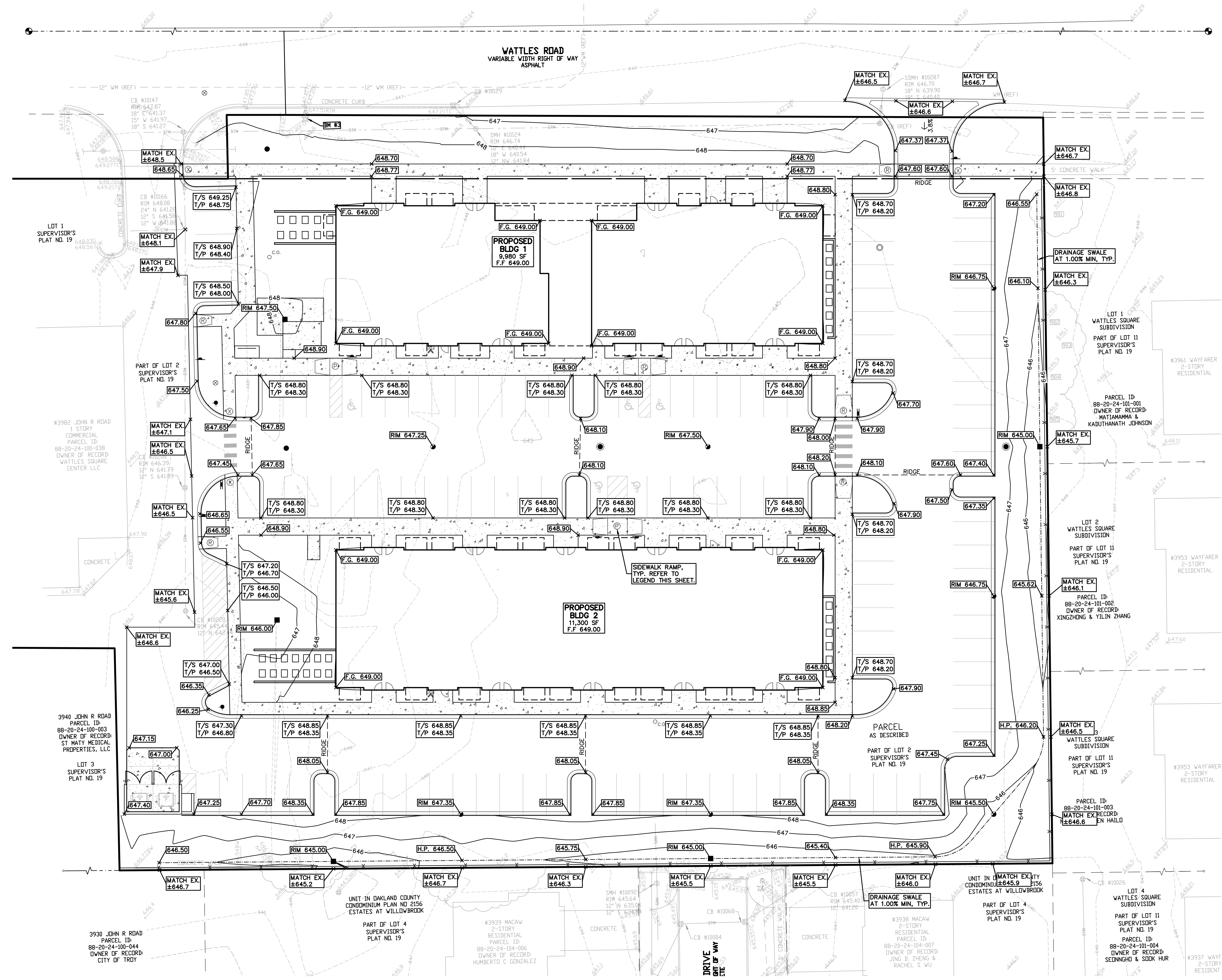
PEA JOB NO.	22-1309
P.M.	GMB
DN.	KRD
DES.	KRD
DRAWING NUMBER:	

**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

**ABBREVIATIONS**

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- T/W = TOP OF WALL
- B/W = BOTTOM OF WALL
- G = GUTTER GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- RIM = RIM ELEVATION



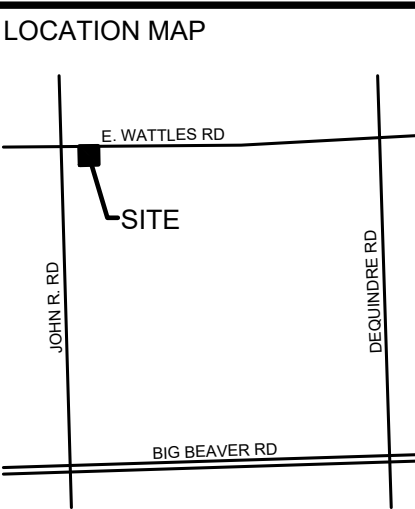
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0 10 20 40  
SCALE: 1" = 20'



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2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
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CITY COMMENTS	6/3/24

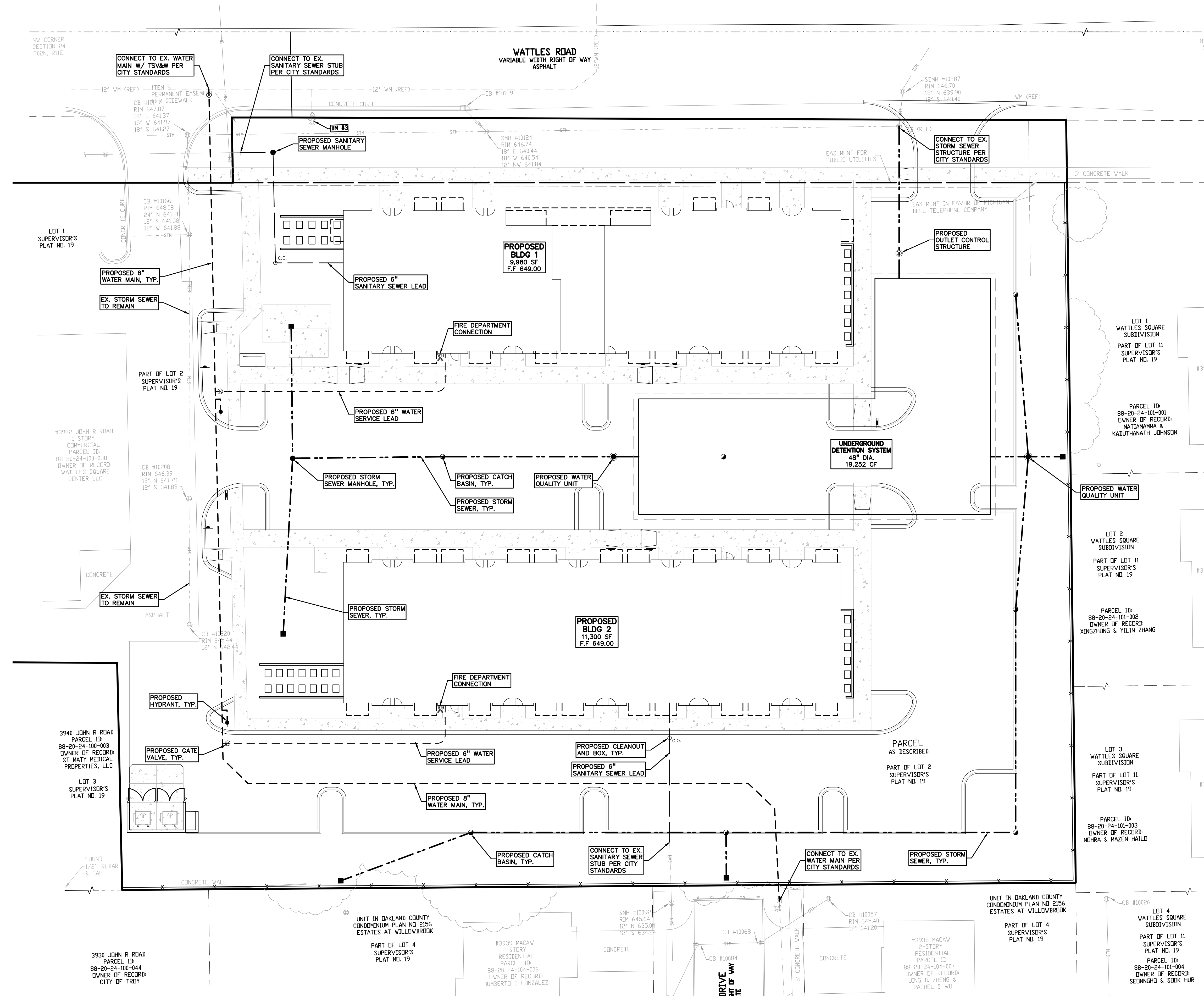
ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

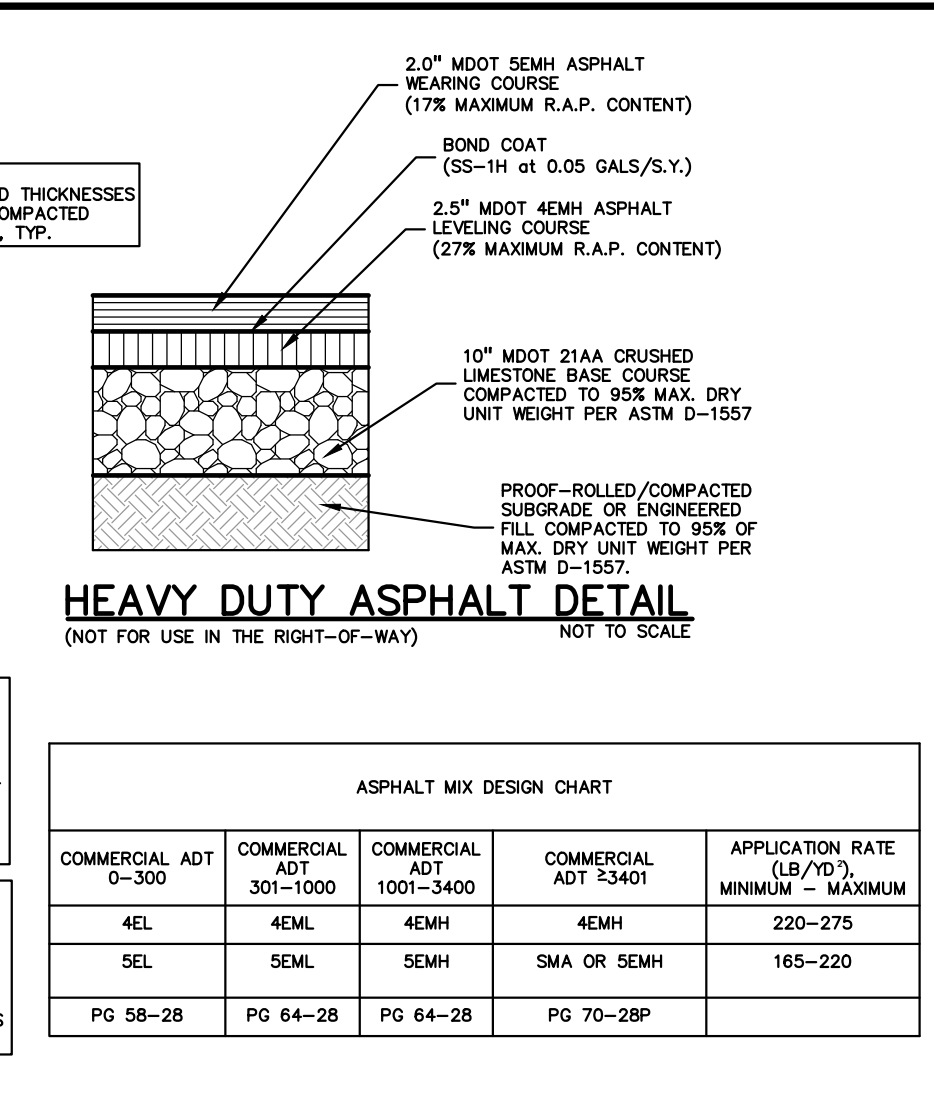
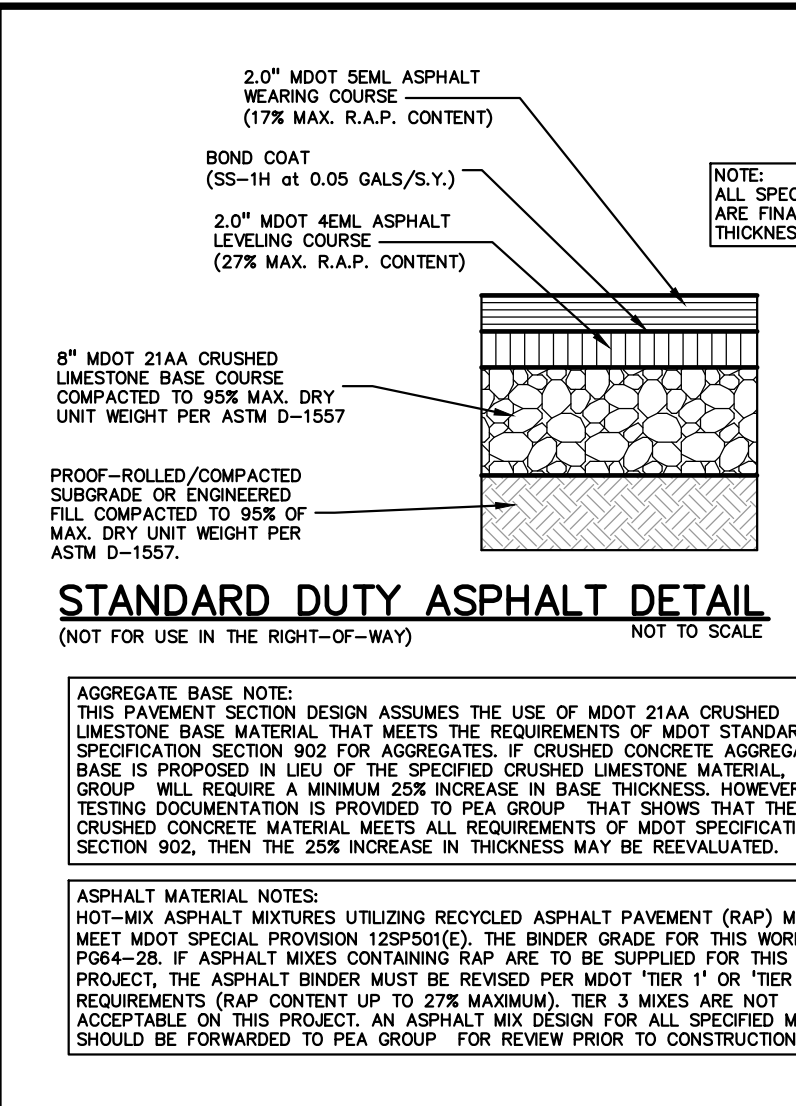
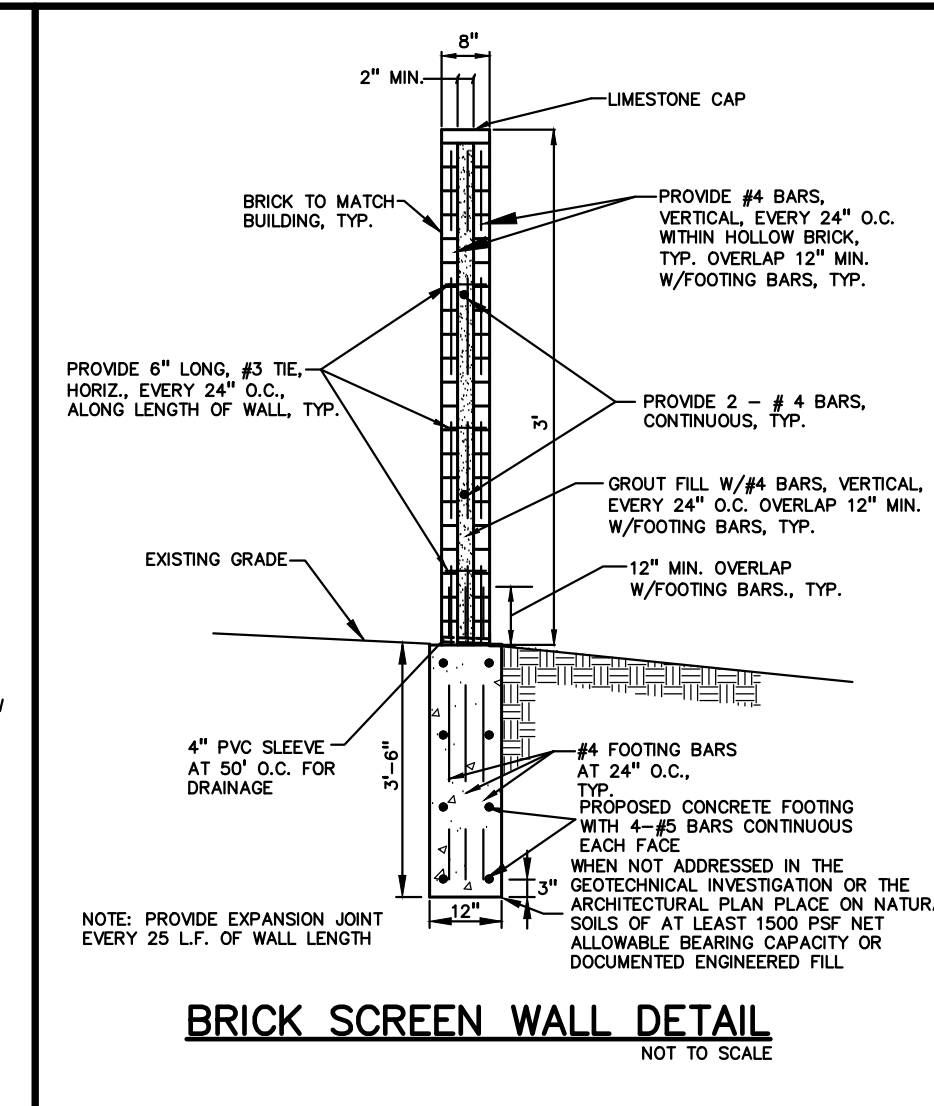
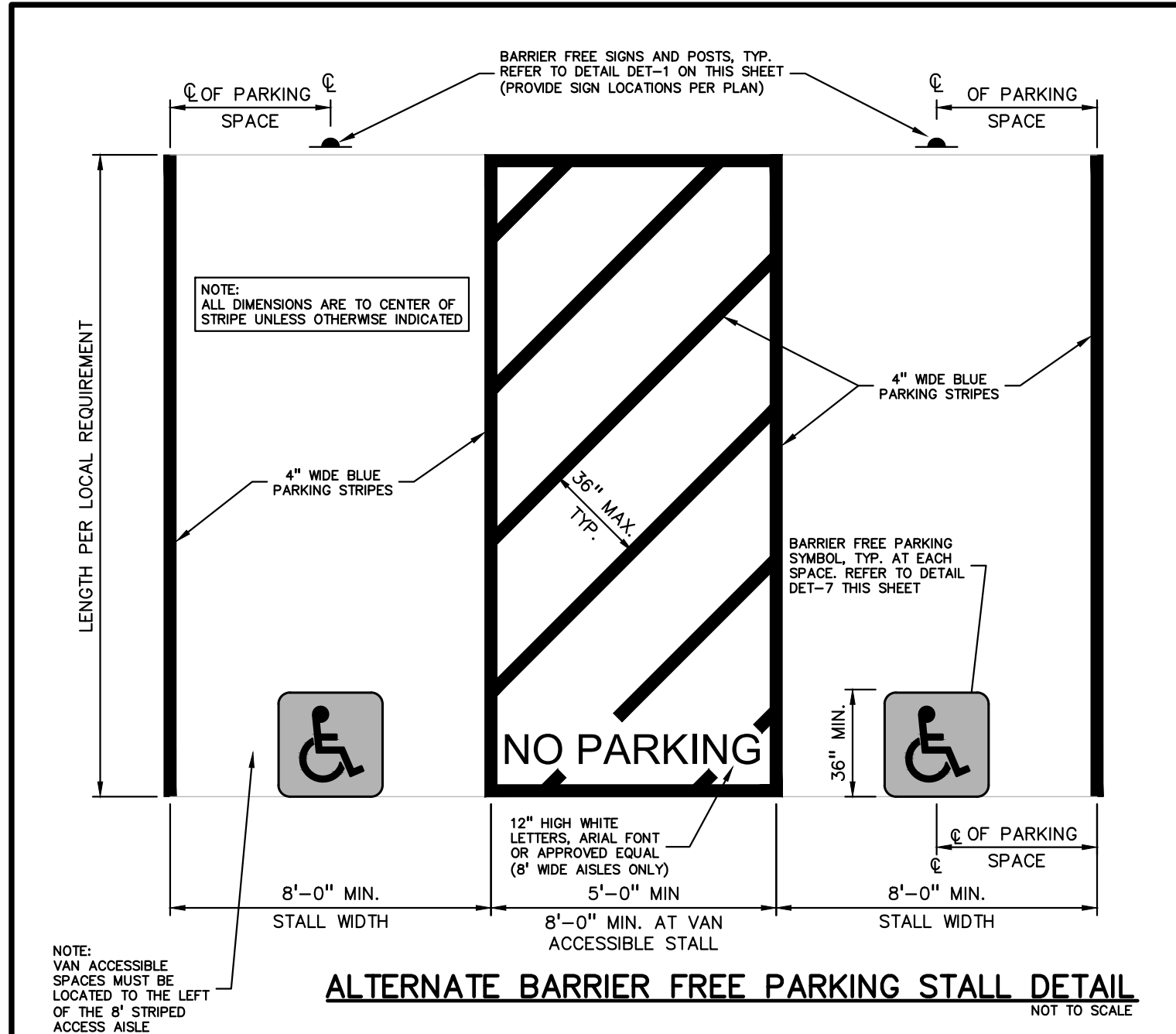
PEA JOB NO.	22-1309
P.M.	GMB
DN	KRD
DES.	KRD
DRAWING NUMBER:	

**UTILITY LEGEND:**

- OH-ELEC-W— EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV— EX. U.G. CABLE TV & PEDESTAL
- UG-COMM— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC— EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- ⊗ EX. GAS VALVE & GAS LINE MARKER
- ⊠ EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- ⊕ EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- ⊖ EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- ⊗ EX. SANITARY CLEANOUT & MANHOLE
- ⊗ EX. COMBINED SEWER MANHOLE
- ⊗ EX. STORM SEWER
- ⊗ EX. CLEANOUT & MANHOLE
- ⊗ EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- ⊗ EX. YARD DRAIN & ROOF DRAIN
- ⊗ EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- ⊕ ⊗ PROPOSED HYDRANT AND GATE VALVE
- ⊖ ⊗ PROPOSED TAPPING SLEEVE, VALVE & WELL
- ⊖ ⊗ PROPOSED POST INDICATOR VALVE
- ⊖ ⊗ PROPOSED SANITARY SEWER
- ⊖ ⊗ PROPOSED SANITARY CLEANOUT & MANHOLE
- ⊖ ⊗ PROPOSED STORM SEWER
- ⊖ ⊗ PROPOSED STORM SEWER CLEANOUT & MANHOLE
- ⊖ ⊗ PROPOSED CATCH BASIN, INLET & YARD DRAIN

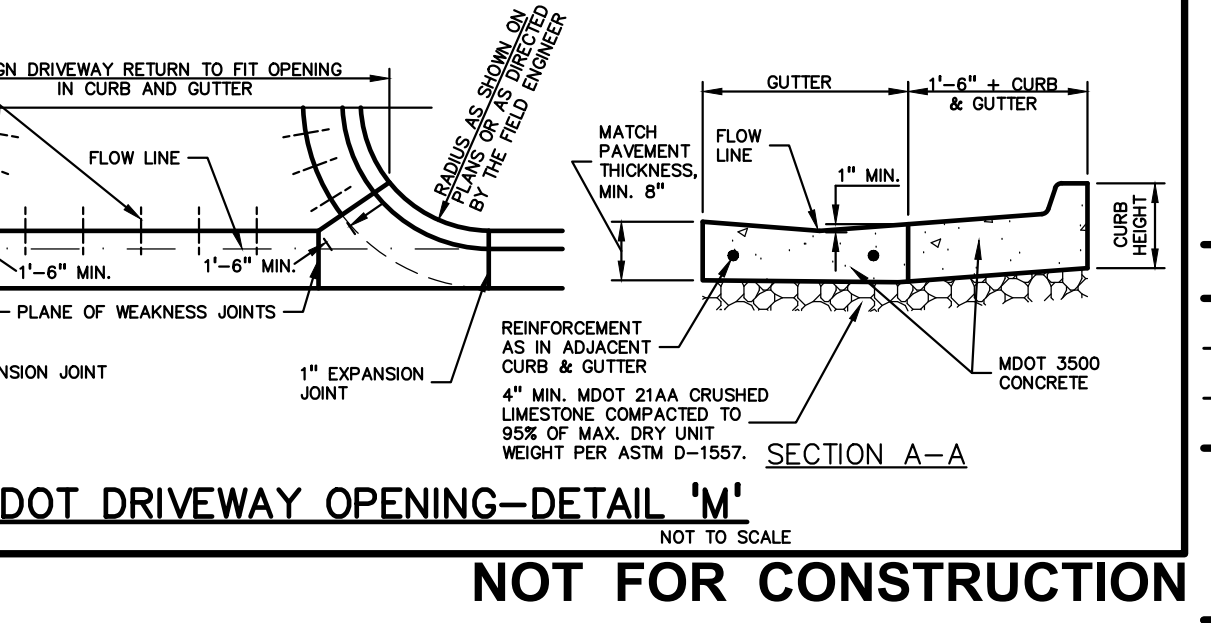
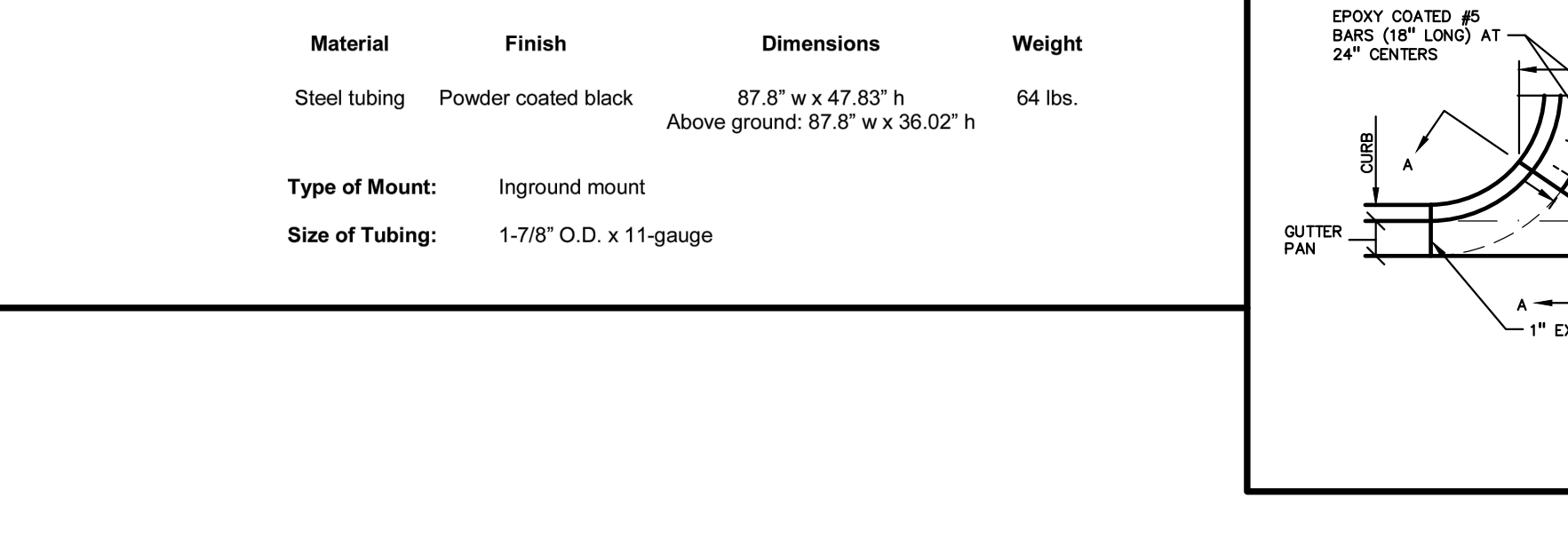
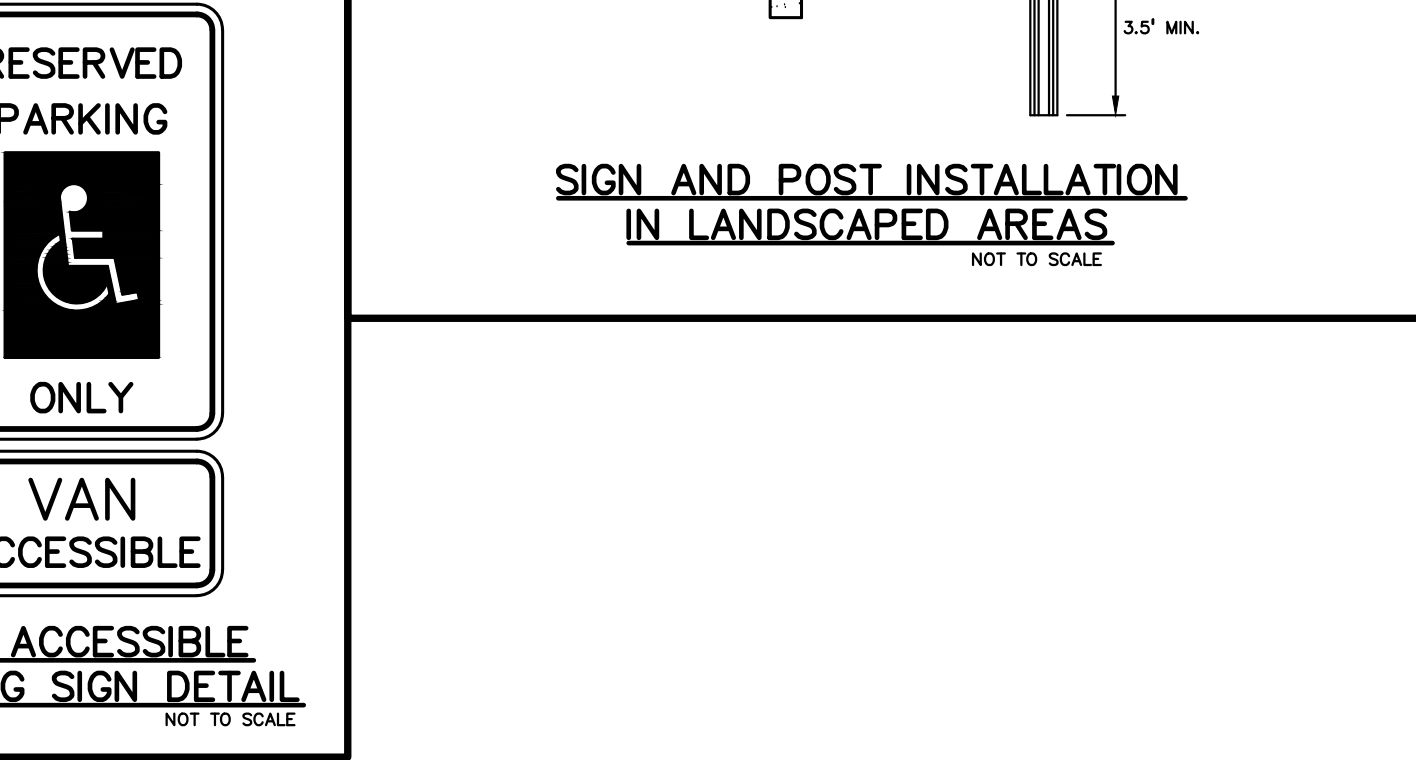
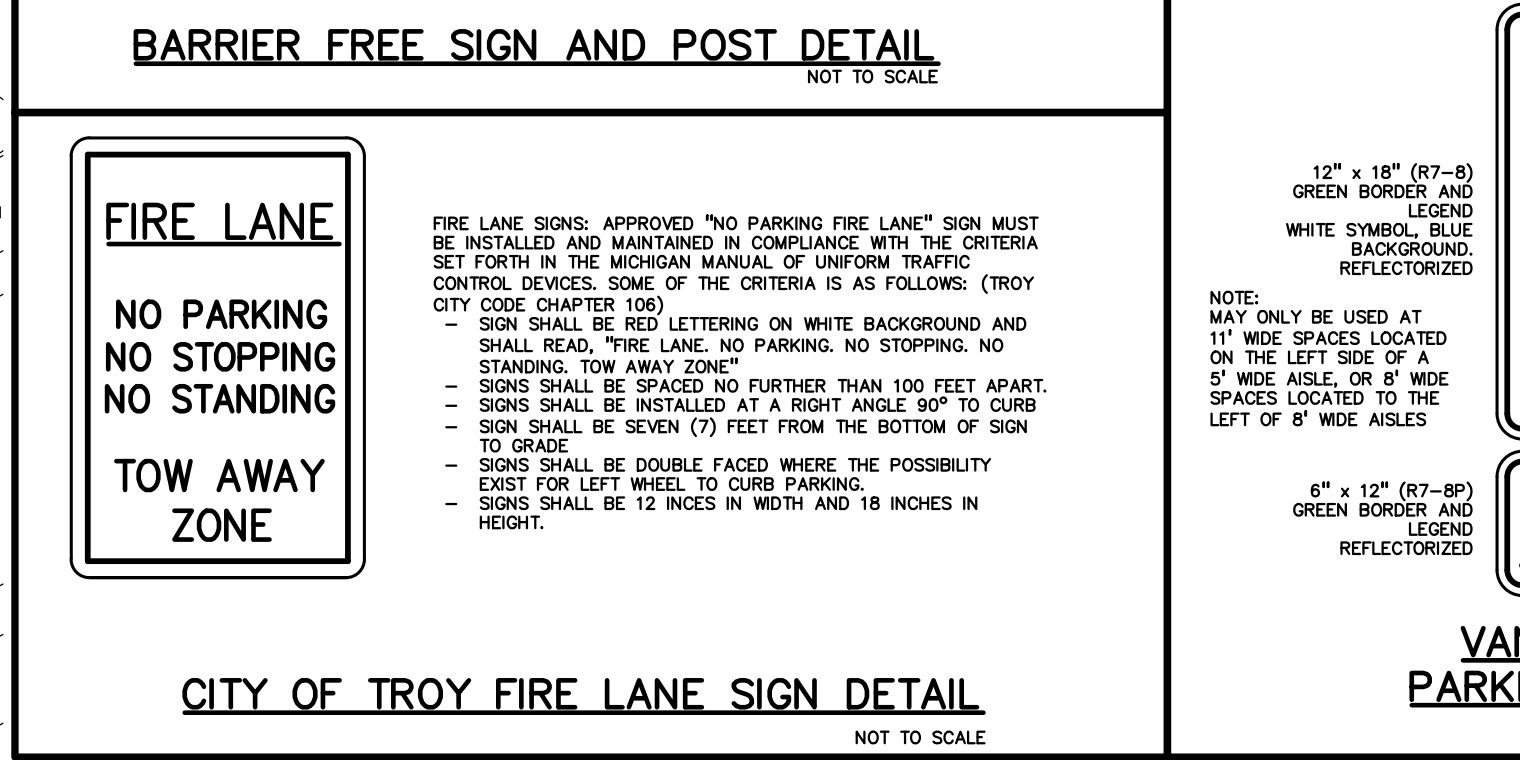
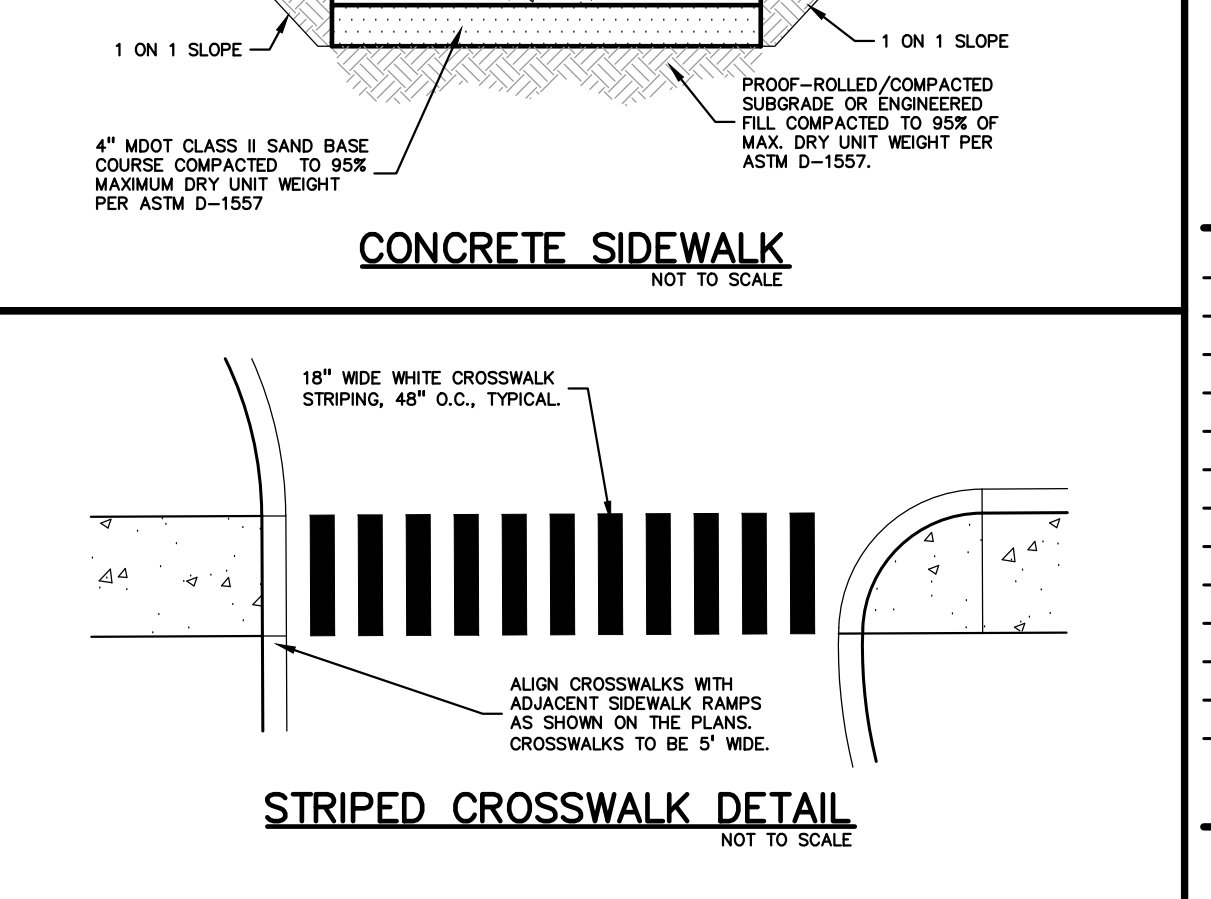
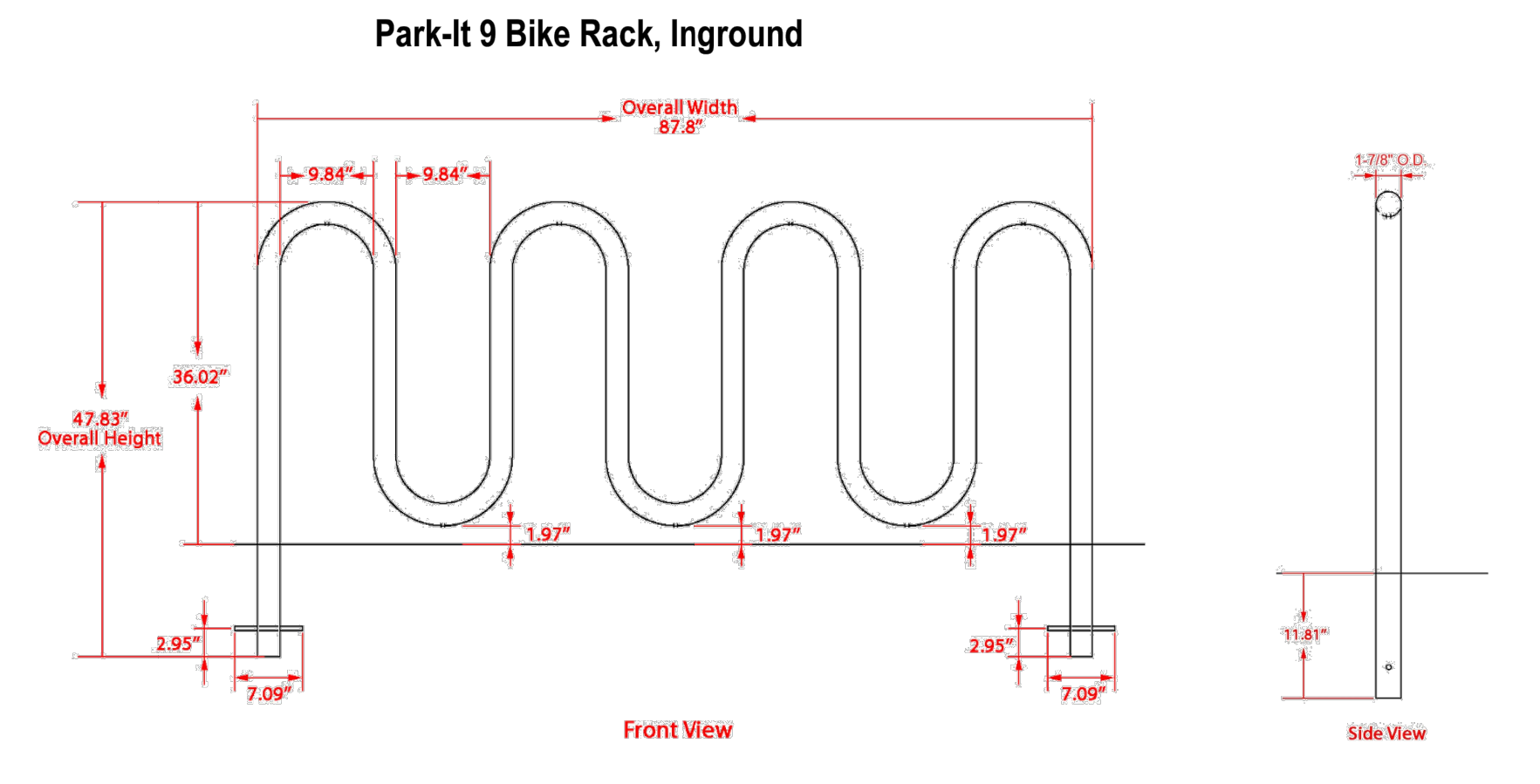
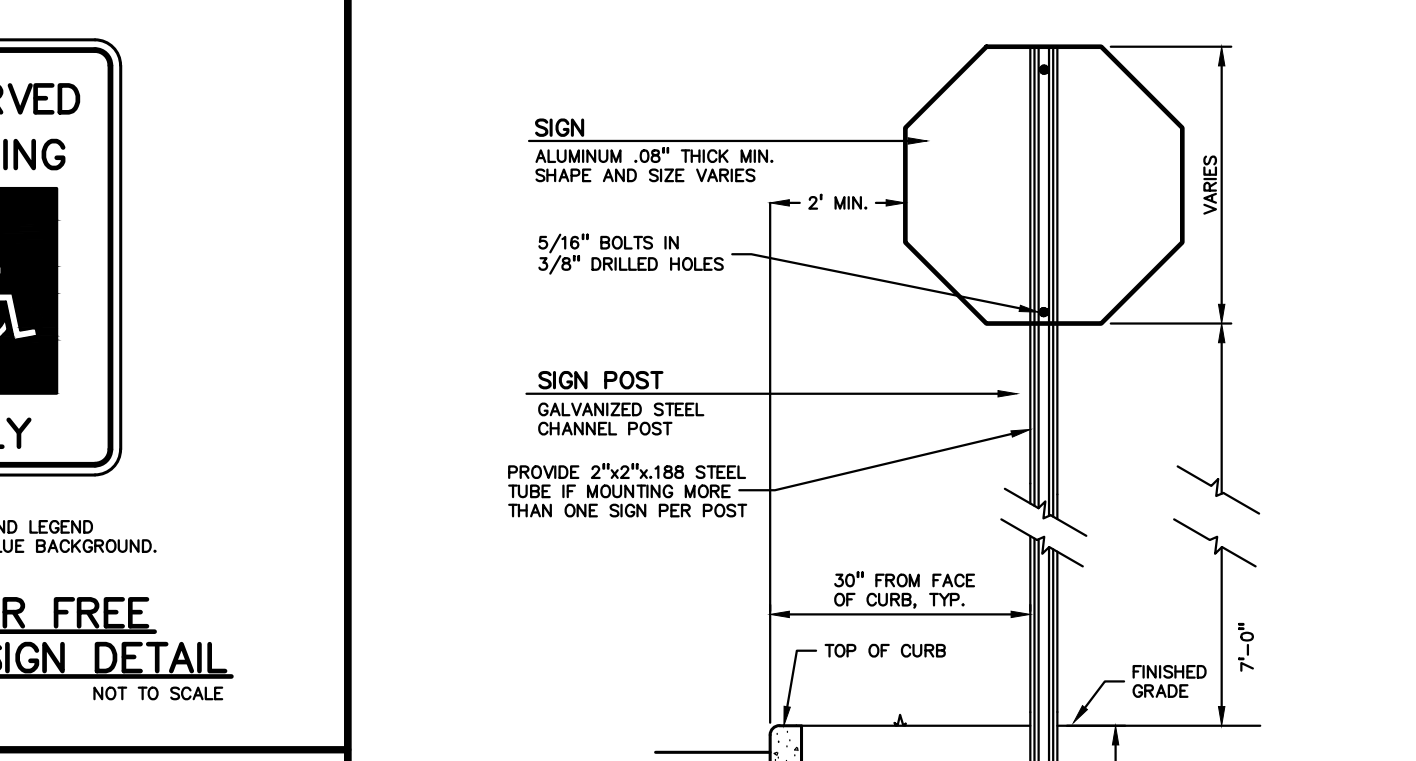
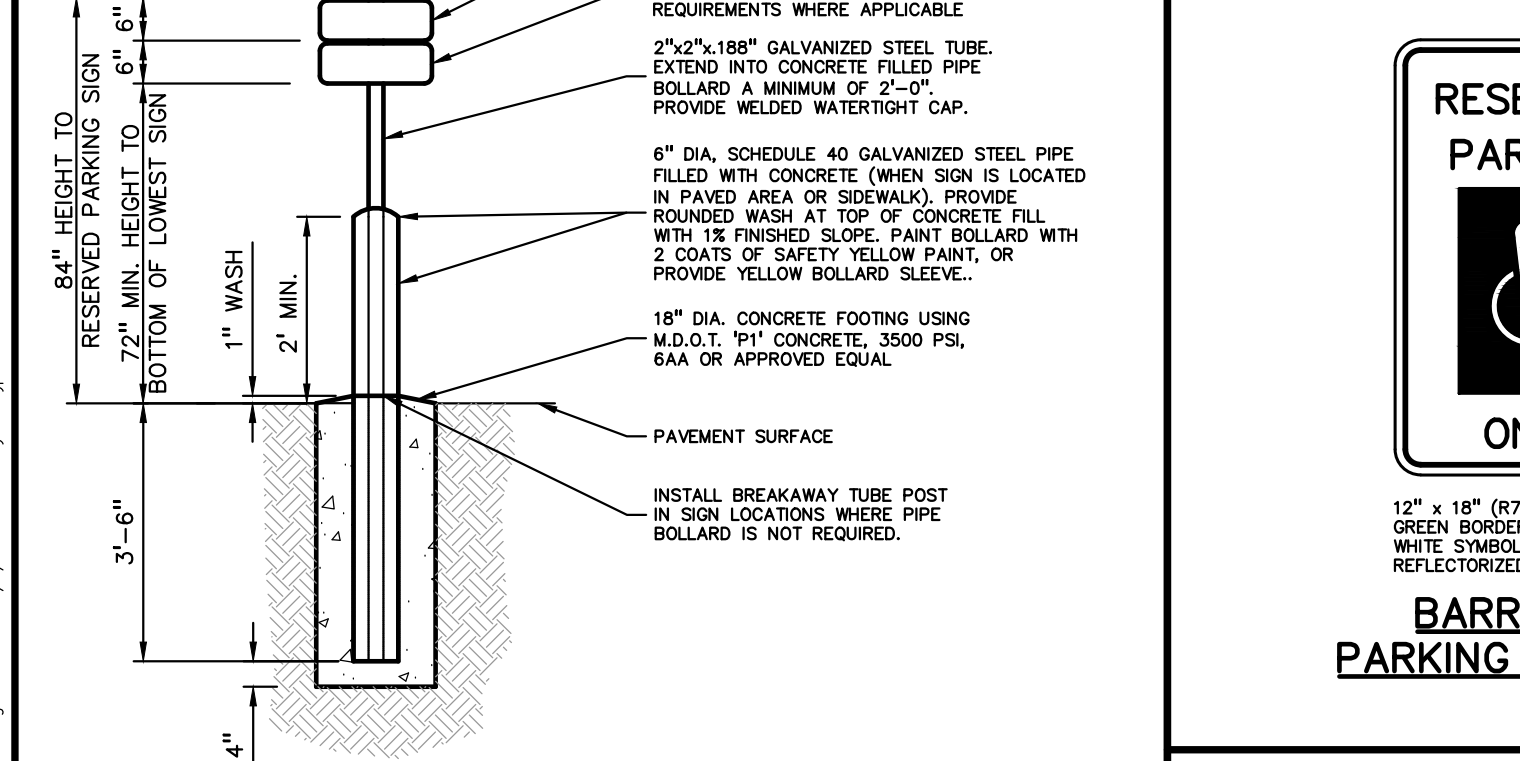
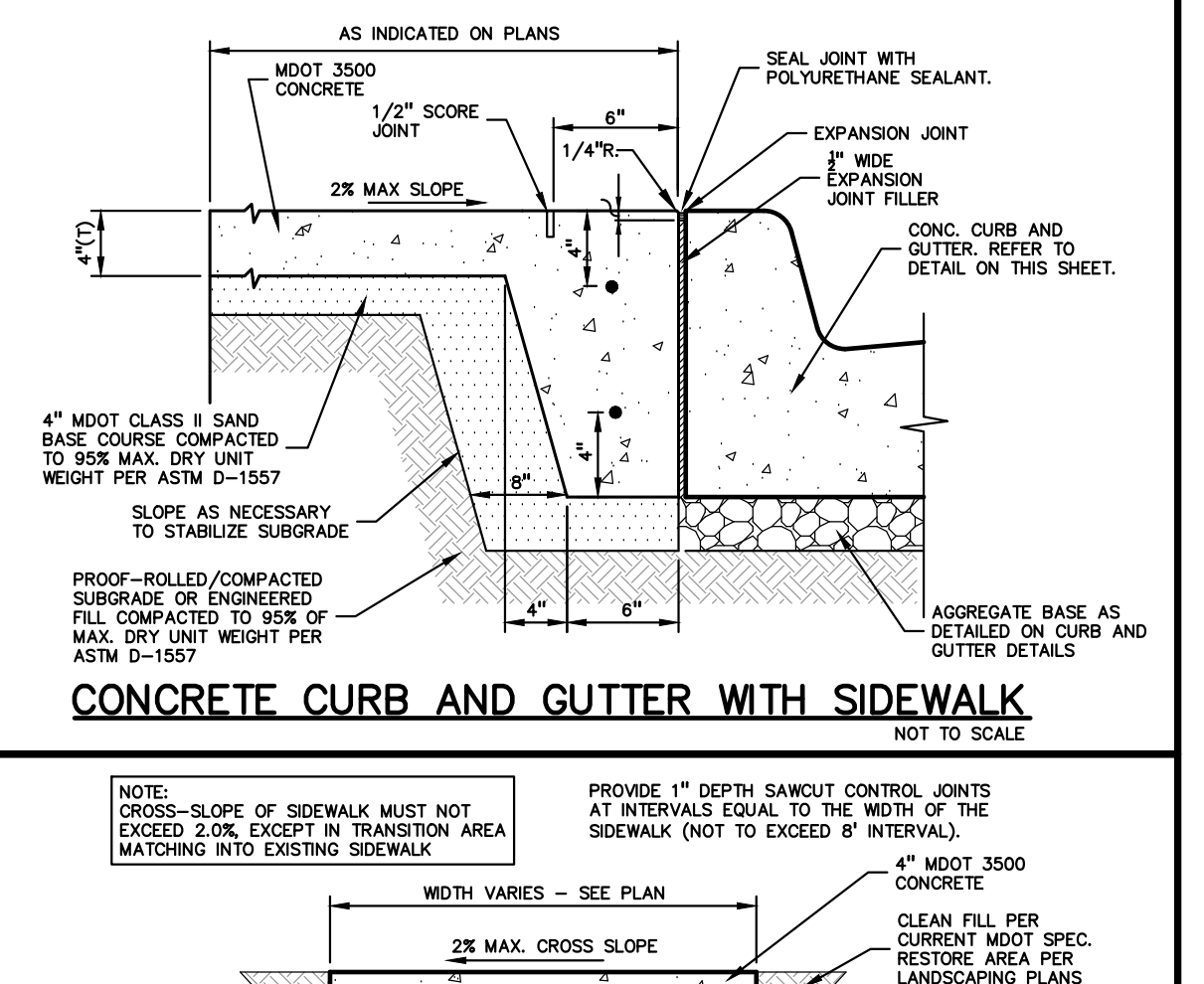
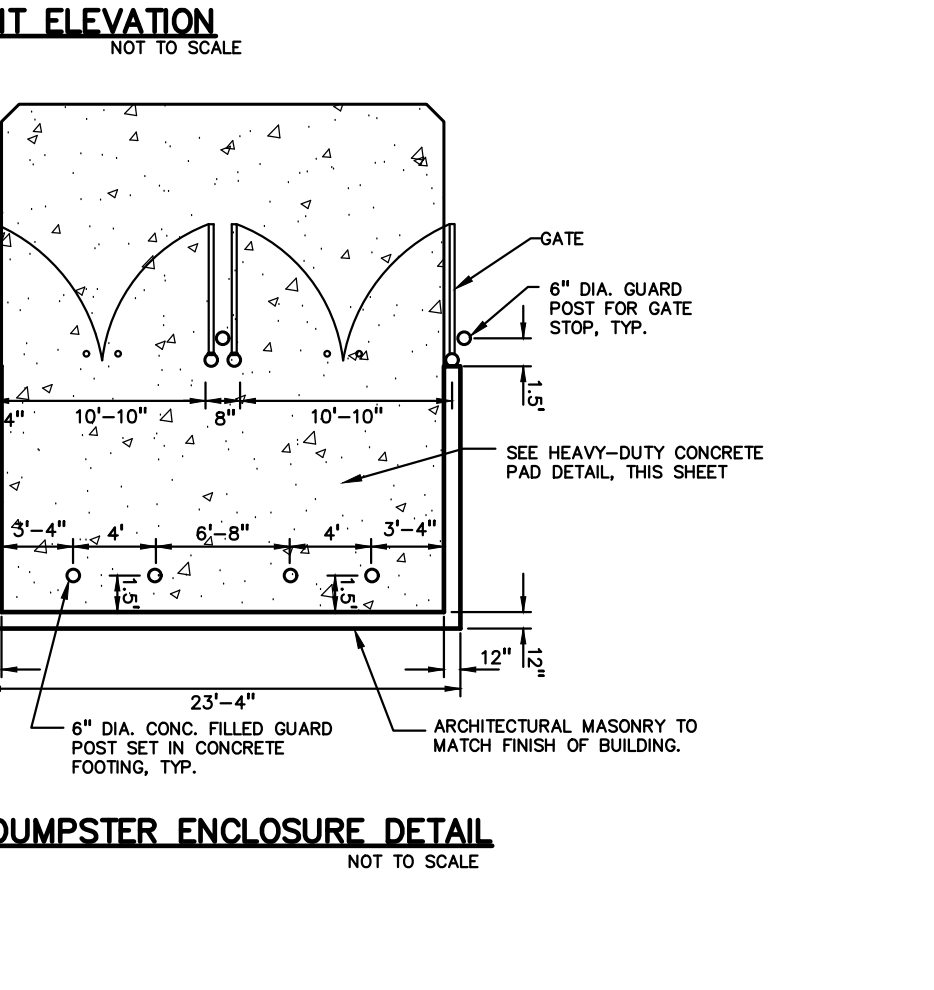
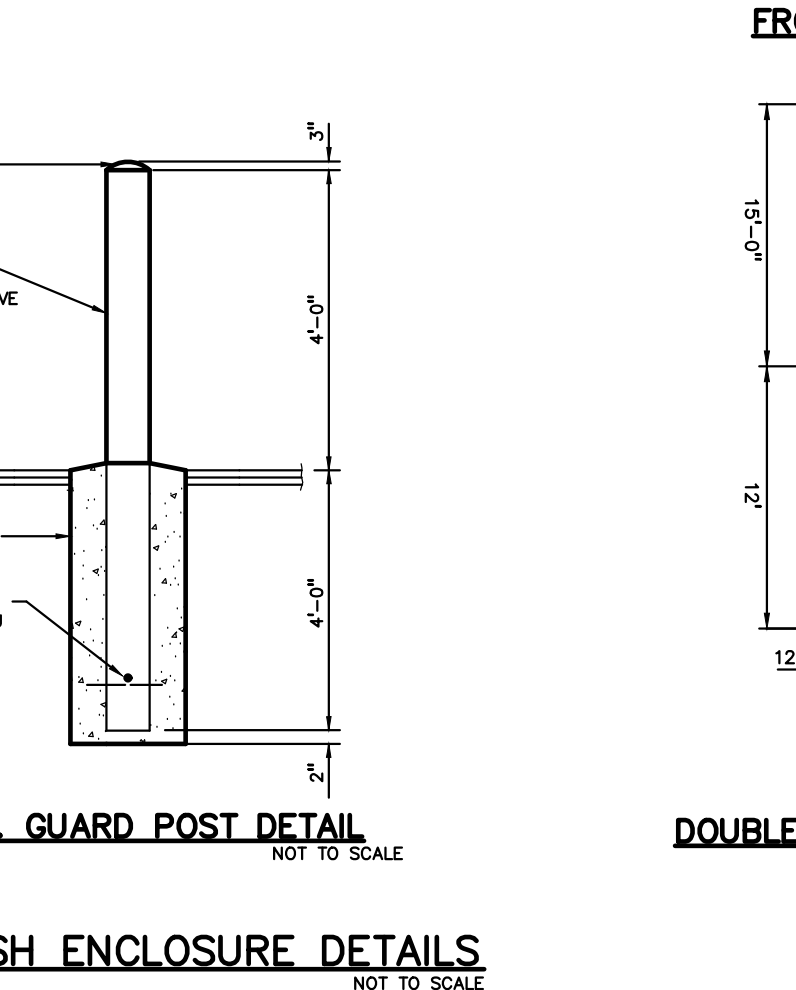
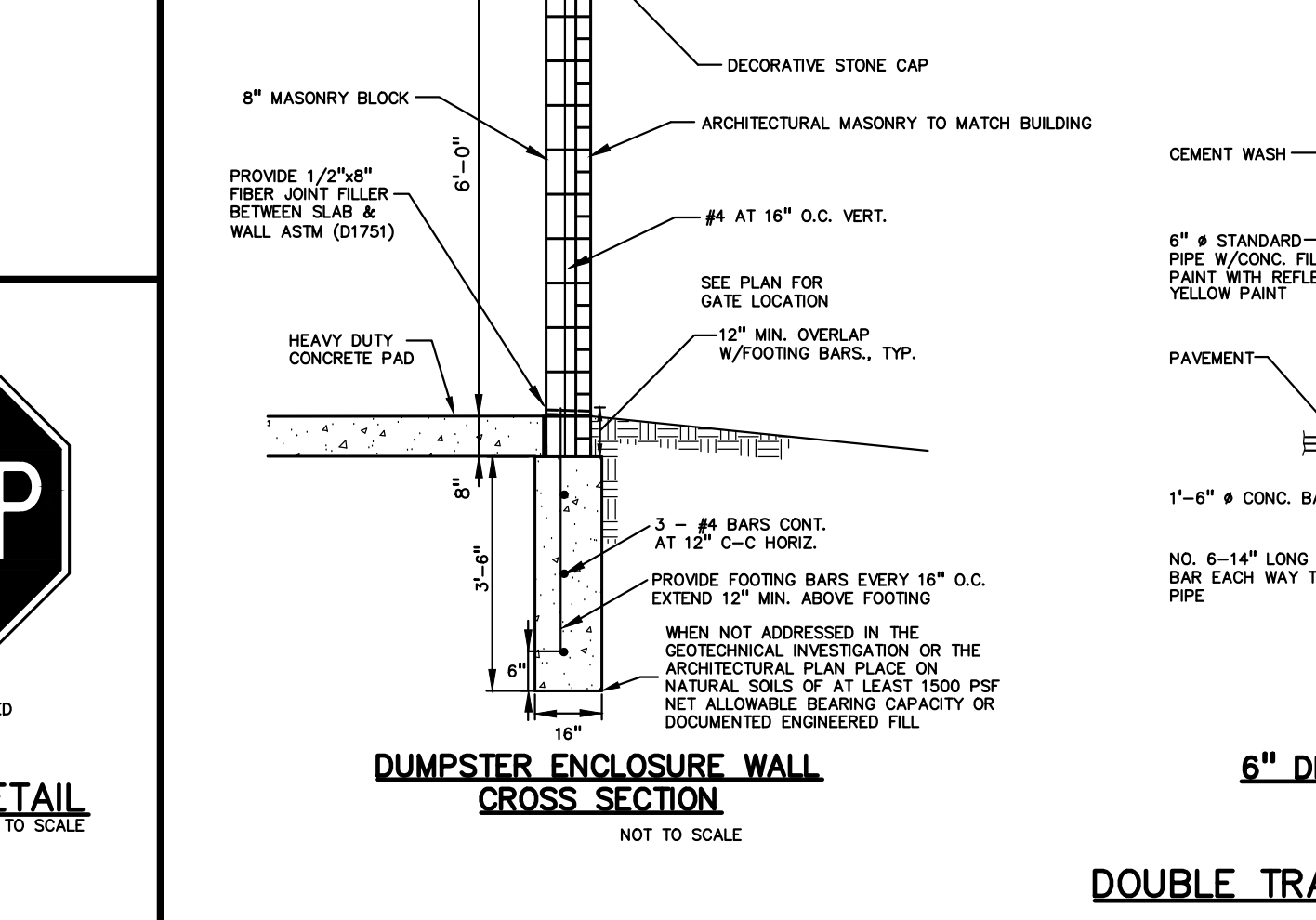
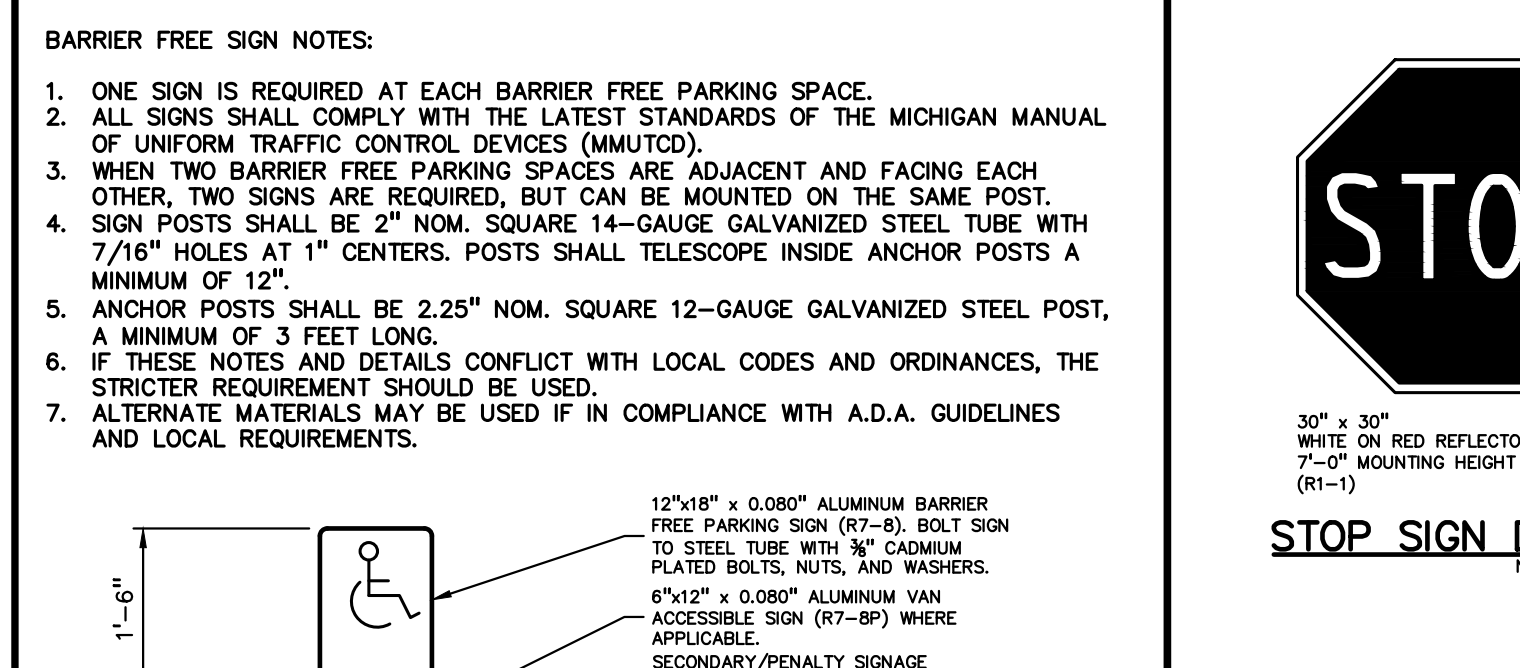
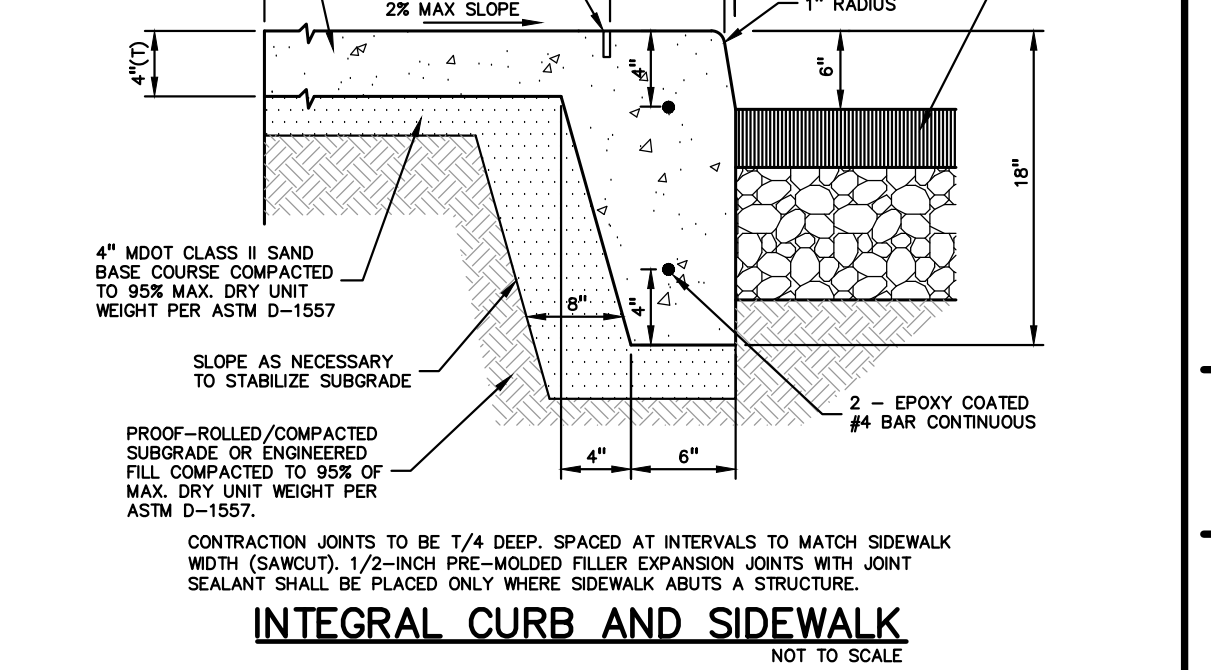
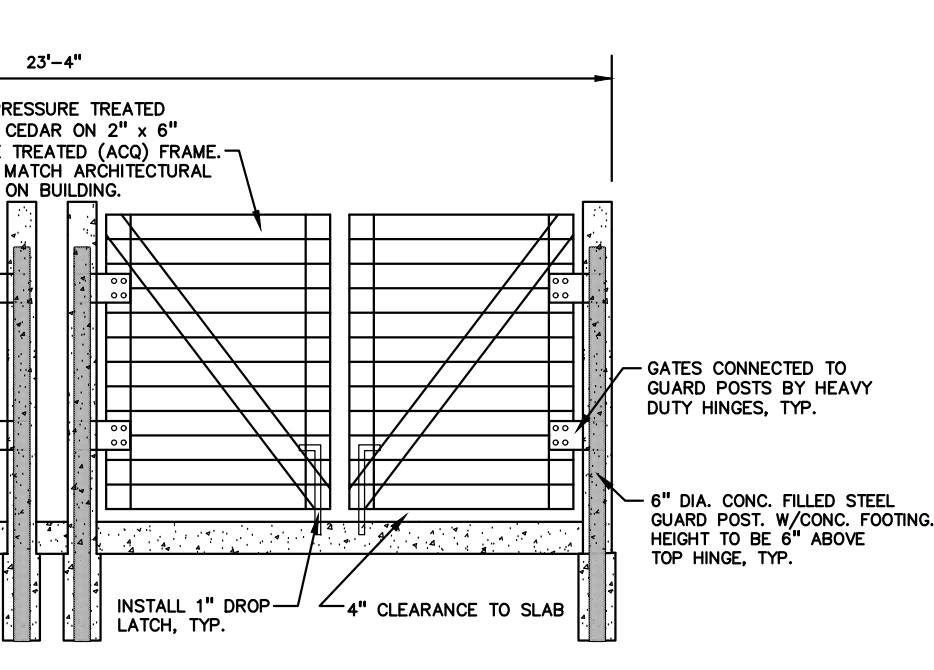
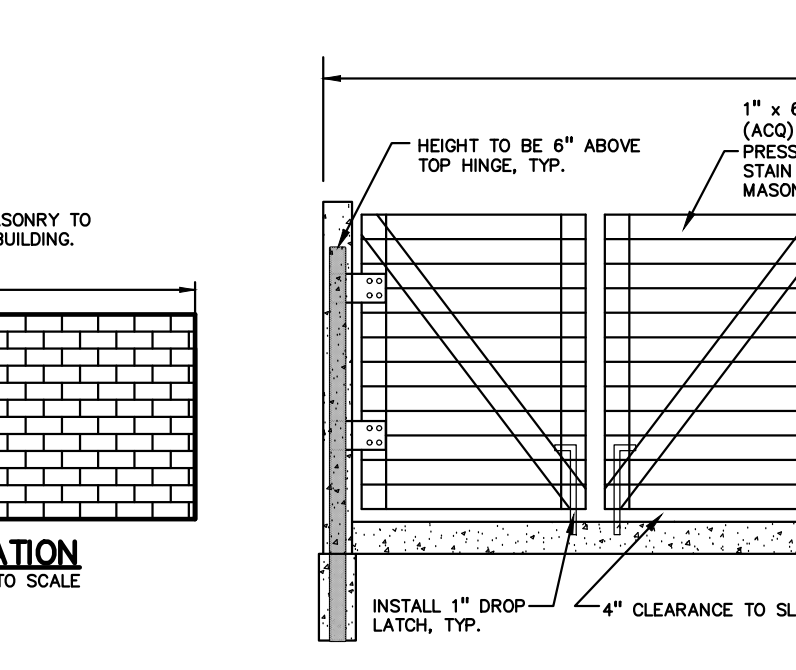
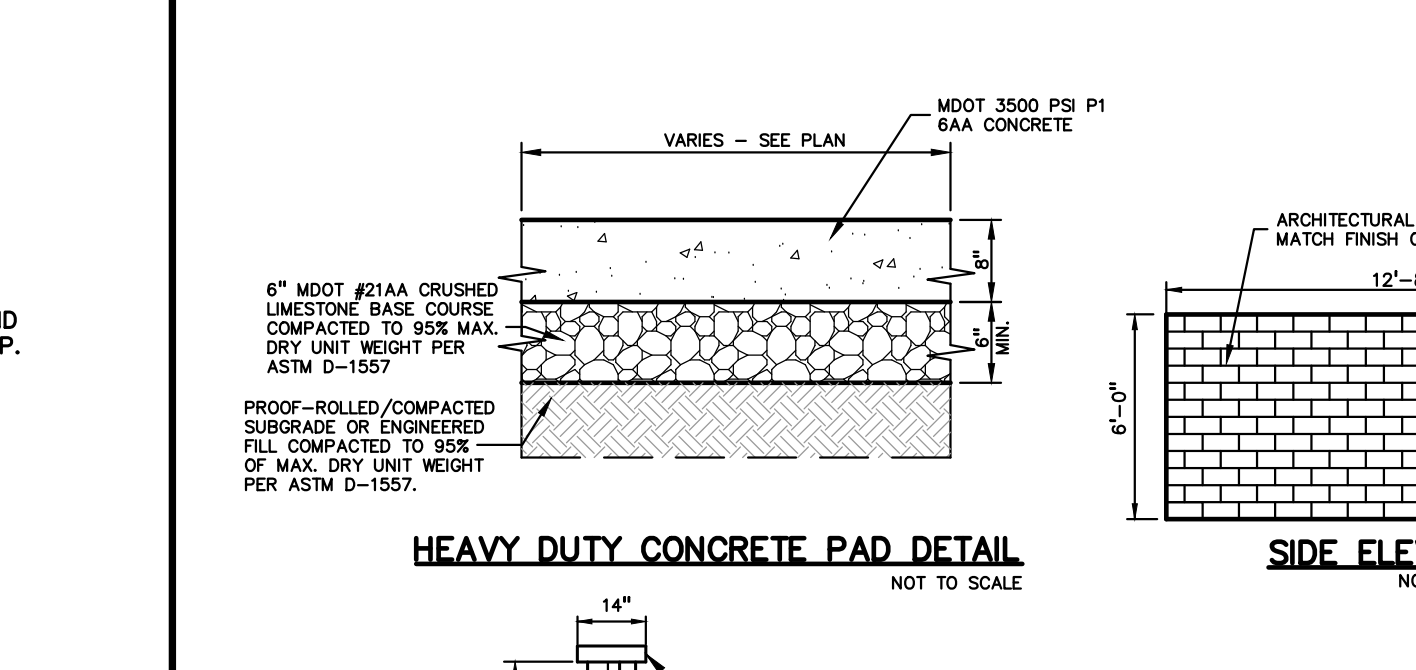
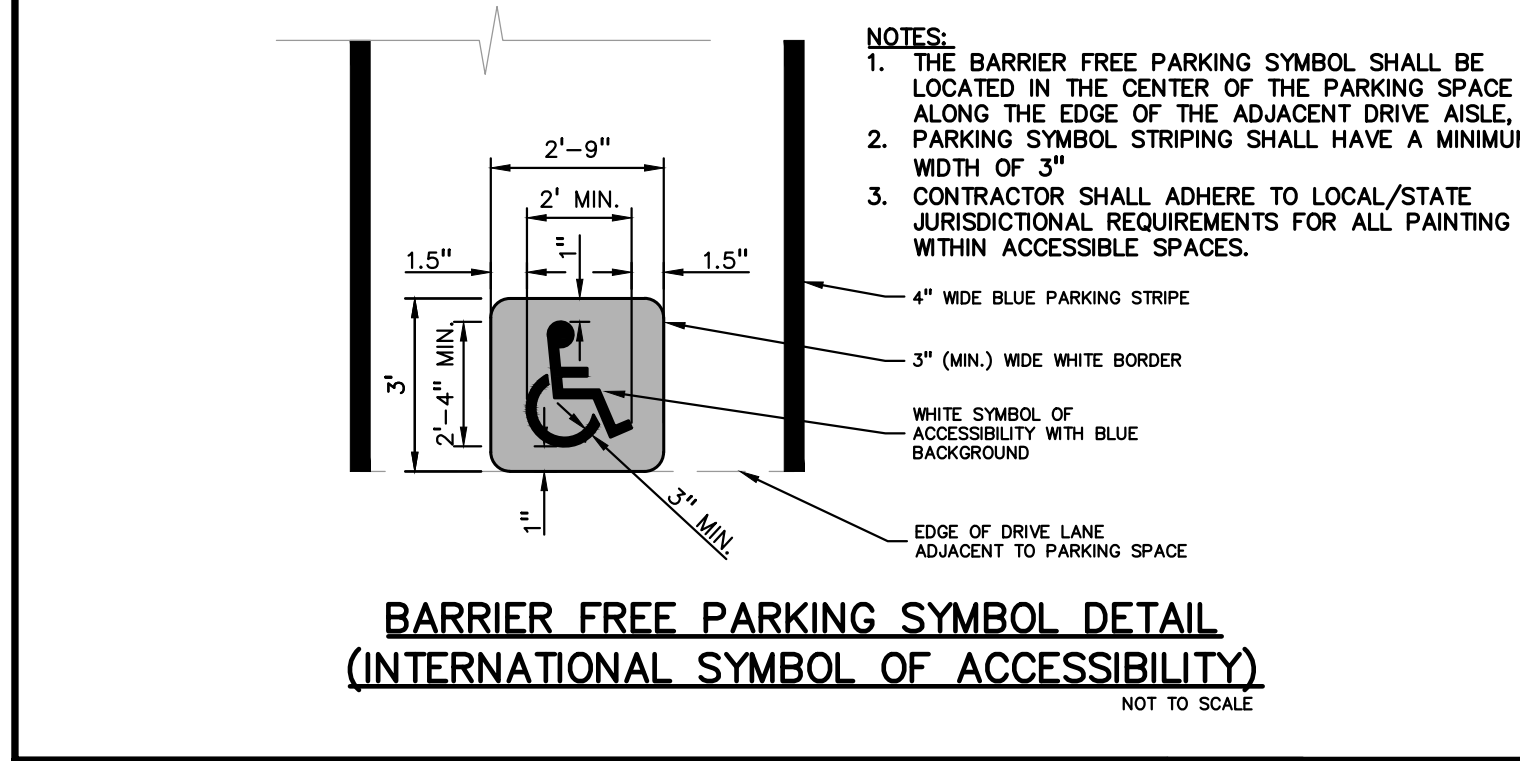
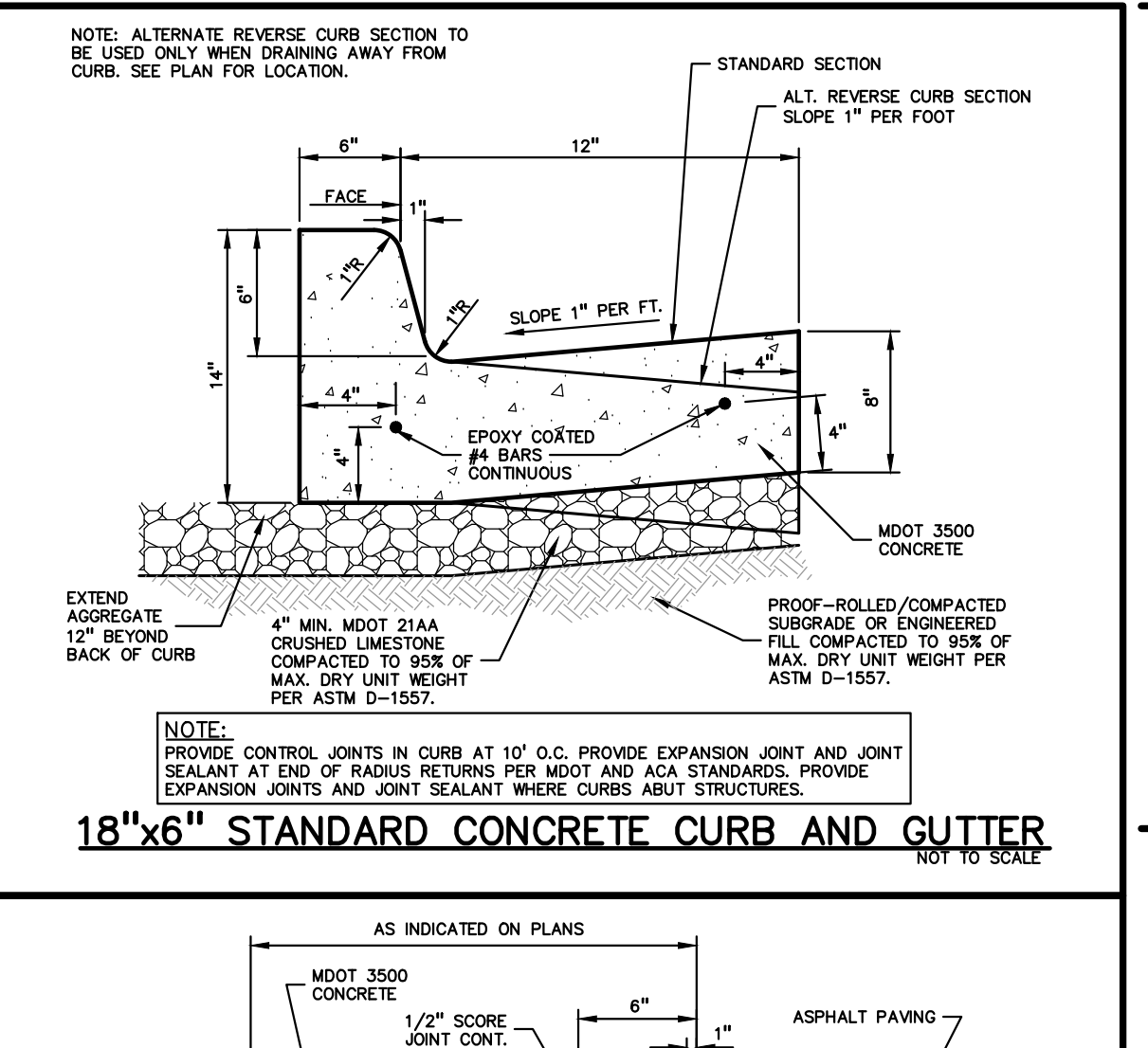


S:\PROJECTS\2022\2022-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\C-4.0\PL-22-1309.dwg PLOT DATE: 6/7/2024 BY: kwp, Szczyklo



ASPHALT MIX DESIGN CHART

COMMERCIAL ADT 0-300	COMMERCIAL ADT 301-1000	COMMERCIAL ADT 1001-3400	COMMERCIAL ADT 53401	APPLICATION RATE (LB/YD) MINIMUM - MAXIMUM
4EL	4EML	4EMH	4EMH	220-275
5EL	5EML	5EMH	SMA OR SEMH	165-220
PG 58-28	PG 64-28	PG 64-28	PG 70-28P	



**PEA GROUP**  
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STATE OF MICHIGAN  
GREGORY MICHAEL BONO  
PROFESSIONAL ENGINEER  
No. 010104435

**811** Know what's below. Call before you dig.

CAUTION!!  
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LOCATION MAP

CLIENT  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS

CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
CITY COMMENTS	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

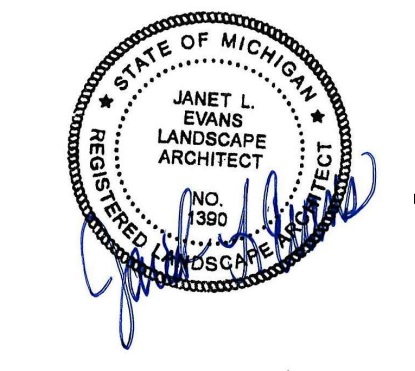
ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**NOTES AND DETAILS**

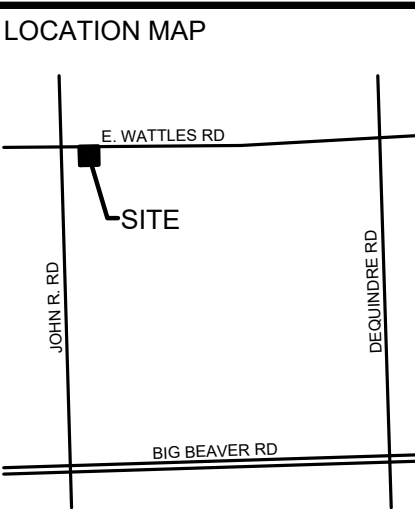
PEA JOB NO. 22-1309

P.M.	GMB
DN	KRD
DES.	KRD

DRAWING NUMBER:  
**C-5.0**



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**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

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E. WATTLES RD. & JOHN R. RD.  
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ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE

DRAWING NUMBER:

**KEY:**

- = PROPOSED DECIDUOUS TREES
- = PROPOSED EVERGREEN TREES
- = IRRIGATED SOD LAWN

LETTER DESIGNATION FOR ORDINANCE REQUIRED MATERIAL

- S = SCREENING LANDSCAPING
- G = GREENBELT TREES
- P = PARKING LOT TREES
- R = REPLACEMENT TREES

= TREE PROTECTION FENCE

**LANDSCAPE CALCULATIONS:**  
PER CITY OF TROY ZONING ORDINANCE:  
ZONING: NEIGHBORHOOD NODES (NN) - NODE F  
PROPOSED USE: MULTI-FAMILY RESIDENTIAL

**SCREENING (S)**  
GROUP 2: RESIDENTIAL/LODGING USES ABUT GROUP 1: RESIDENTIAL USES. SCREEN ALT 1 OR 2 REQUIRED. SCREEN ALT 2: 1 LARGE EVG TREE PER 10LF  
REQUIRED: SOUTH BOUNDARY: 379.4 LF / 10 = 38 EVG TREES  
EAST BOUNDARY: 278LF / 10 = 28 EVG TREE  
PROVIDED: SOUTH BOUNDARY: 38 EVG TREES  
EAST BOUNDARY: 28 EVG TREES  
AND 6' HT OPAQUE SCREEN FENCE

**PARKING LOT LANDSCAPE (P)**  
1 TREE PER 8 PARKING SPACES  
LANDSCAPING TO BE 5' FROM CURB WHERE THERE IS VEHICLE OVERHANG AND 3' WHERE THERE IS NOT.  
REQUIRED: 109 PARKING SPACES / 8 = 14 DEC TREES  
PROVIDED: 14 DEC TREES

**GREENBELT (WATTLES RD) (G)**  
1 DEC TREE PER 30 LF OF FRONTAGE ABUTTING A PUBLIC ROW  
REQUIRED: 308.01 LF / 30 = 11 TREES  
PROVIDED: UNABLE TO PROVIDE TREES WITHIN THE EASEMENT AT R.O.W ADJACENT TO WATTLES RD.

**GENERAL SITE LANDSCAPE**  
20% OF THE TOTAL SITE AREA IS TO BE LANDSCAPED  
REQUIRED: 93,561 SF SITE AREA X 20% = 18,712.2 SF LANDSCAPED AREA  
PROVIDED: 32849.6 SF LANDSCAPED AREA (35%)

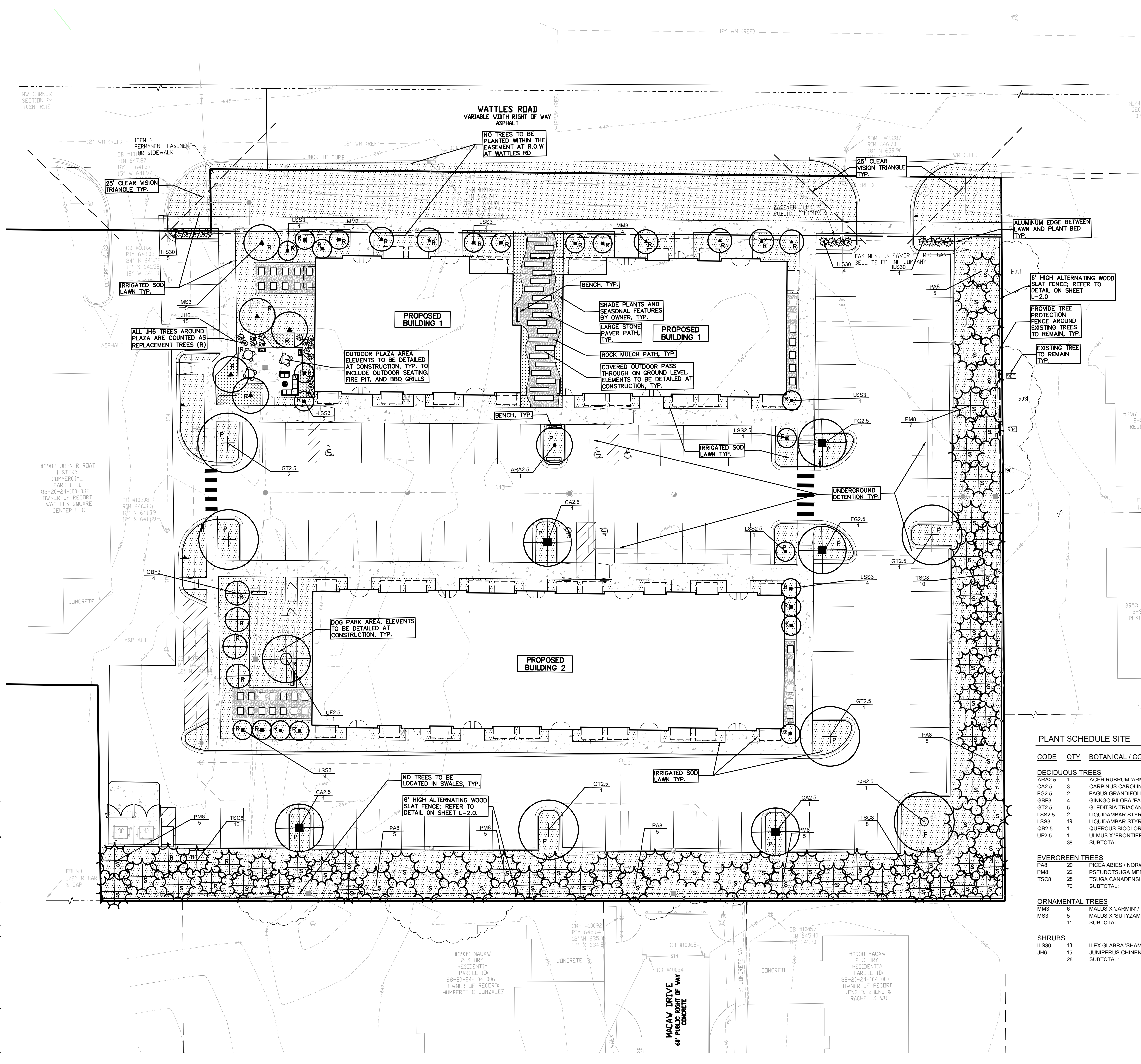
**TREE REPLACEMENT (R)**  
WOODLAND TREES:  
WOODLAND TREES REMOVED (12 TREES): REPLACE AT 50% OF REMOVED DBH  
137" DBH X .5 = 69" REPLACEMENT  
WOODLAND TREES SAVED (0 TREES): CREDIT OF 2X DBH  
0" DBH X 2 = 0" CREDIT  
69" - 0" = 69" REPLACEMENT REQUIRED

LANDMARK TREES:  
LANDMARK TREES REMOVED (4 TREES): REPLACE AT 100% OF REMOVED DBH  
85" DBH X 1 = 85" REPLACEMENT  
LANDMARK TREES SAVED (0 TREES): CREDIT OF 2X DBH  
0" x 2 = 0" CREDIT  
85" - 0" = -85" REPLACEMENT REQUIRED

**TOTAL REPLACEMENT TREES:**  
69" + 85" = 154" DBH REPLACEMENT REQUIRED  
PROVIDED:  
34, 3" DEC TREES = 34 X 3" DBH = 102" DBH  
1, 2.5" DEC TREE = 1 X 2.5" DBH = 2.5" DBH  
15, 6" EVG TREES = 15 X 2.5" DBH = 37.5" DBH  
4, 8" EVG TREES = 4 X 3.5" DBH = 14" DBH  
156" TOTAL DBH PROVIDED

**PLANT SCHEDULE SITE**

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
<b>DECIDUOUS TREES</b>					
ARA2.5	1	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	2.5" CAL.	B&B	PER PLAN
CA2.5	3	CARPINUS CAROLINIANA / AMERICAN HORNBEAM	2.5" CAL.	B&B	PER PLAN
FG2.5	2	FAGUS GRANDIFOLIA / AMERICAN BEECH	2.5" CAL.	B&B	PER PLAN
GBF3	4	GINKGO BILOBA 'FASTIGIATA' / FASTIGIATE MAIDENHAIR TREE	3" CAL.	B&B	PER PLAN
GT2.5	5	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' / SKYLINE® HONEY LOCUST	2.5" CAL.	B&B	PER PLAN
LSS2.5	2	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	2.5" CAL.	B&B	PER PLAN
LSS3	19	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	3" CAL.	B&B	PER PLAN
QB2.5	1	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5" CAL.	B&B	PER PLAN
UF2.5	1	ULMUS X FRONTIER / FRONTIER ELM	2.5" CAL.	B&B	PER PLAN
	38	SUBTOTAL:			
<b>EVERGREEN TREES</b>					
PA8	20	PICEA ABIES / NORWAY SPRUCE	8" HT.	B&B	PER PLAN
PM8	22	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	8" HT.	B&B	PER PLAN
TSC8	28	TSUGA CANADENSIS / EASTERN HEMLOCK	8" HT.	B&B	PER PLAN
	70	SUBTOTAL:			
<b>ORNAMENTAL TREES</b>					
MM3	6	MALUS X JARMIN / MARILEE® CRABAPPLE	3" CAL.	B&B	PER PLAN
MS3	5	MALUS X 'SUTYZAM' / SUGAR TYME® CRABAPPLE	3" CAL.	B&B	PER PLAN
	11	SUBTOTAL:			
<b>SHRUBS</b>					
ILS30	13	ILEX GLABRA 'SHAMROCK' / SHAMROCK INKERRY HOLLY	30" HT.	CONT.	4" O.C.
JH6	15	JUNIPERUS CHINENSIS 'HETZI' COLUMNARIS / HETZI COLUMNAR JUNIPER	6" HT.	B&B	36" O.C.
	28	SUBTOTAL:			

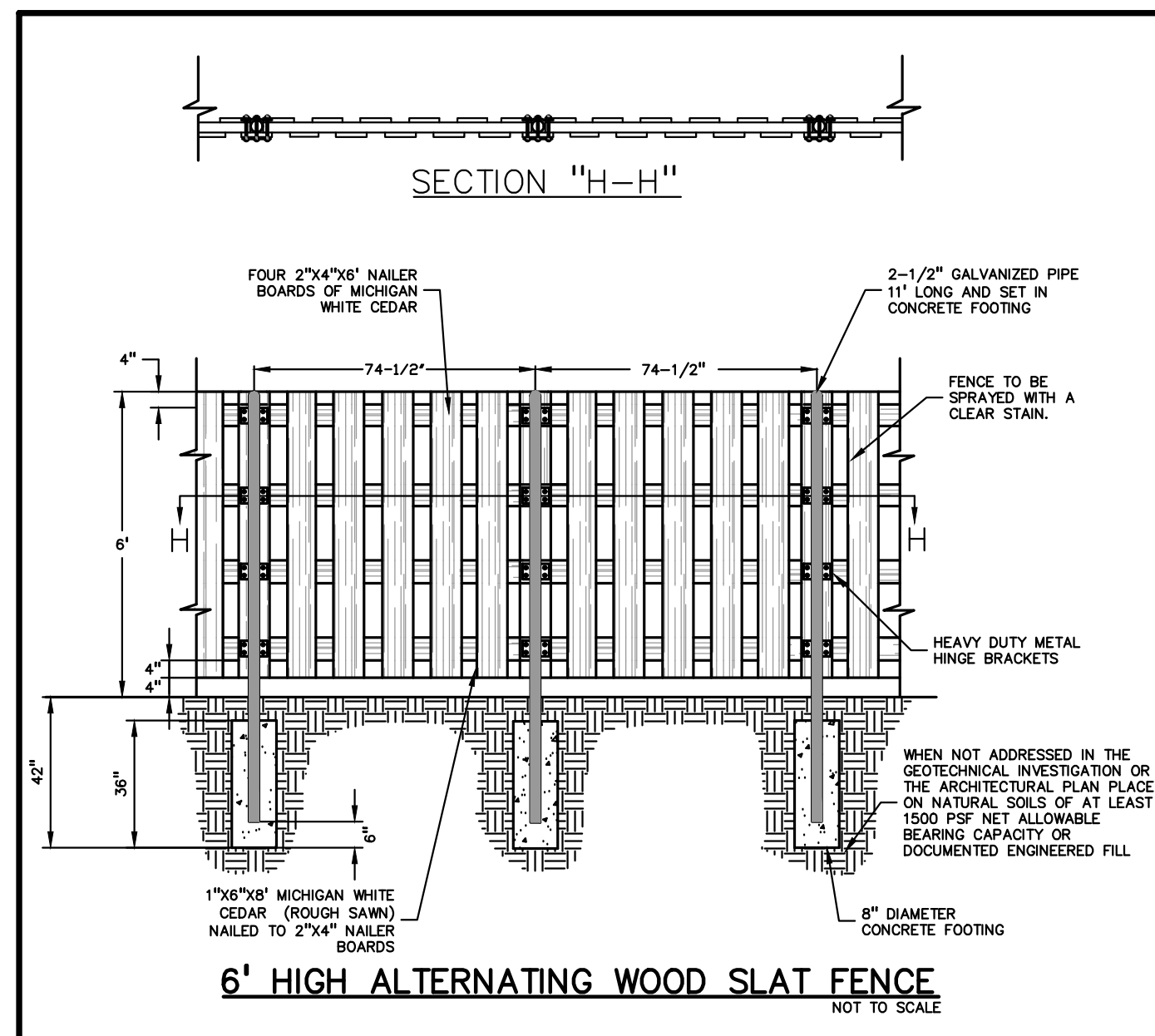


pea\proj\PROJECTS\2022\2022-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\L-10.LANDSCAPE-22-1309.dwg PLOT DATE: 6/2/2024 BY: Janet Evans  
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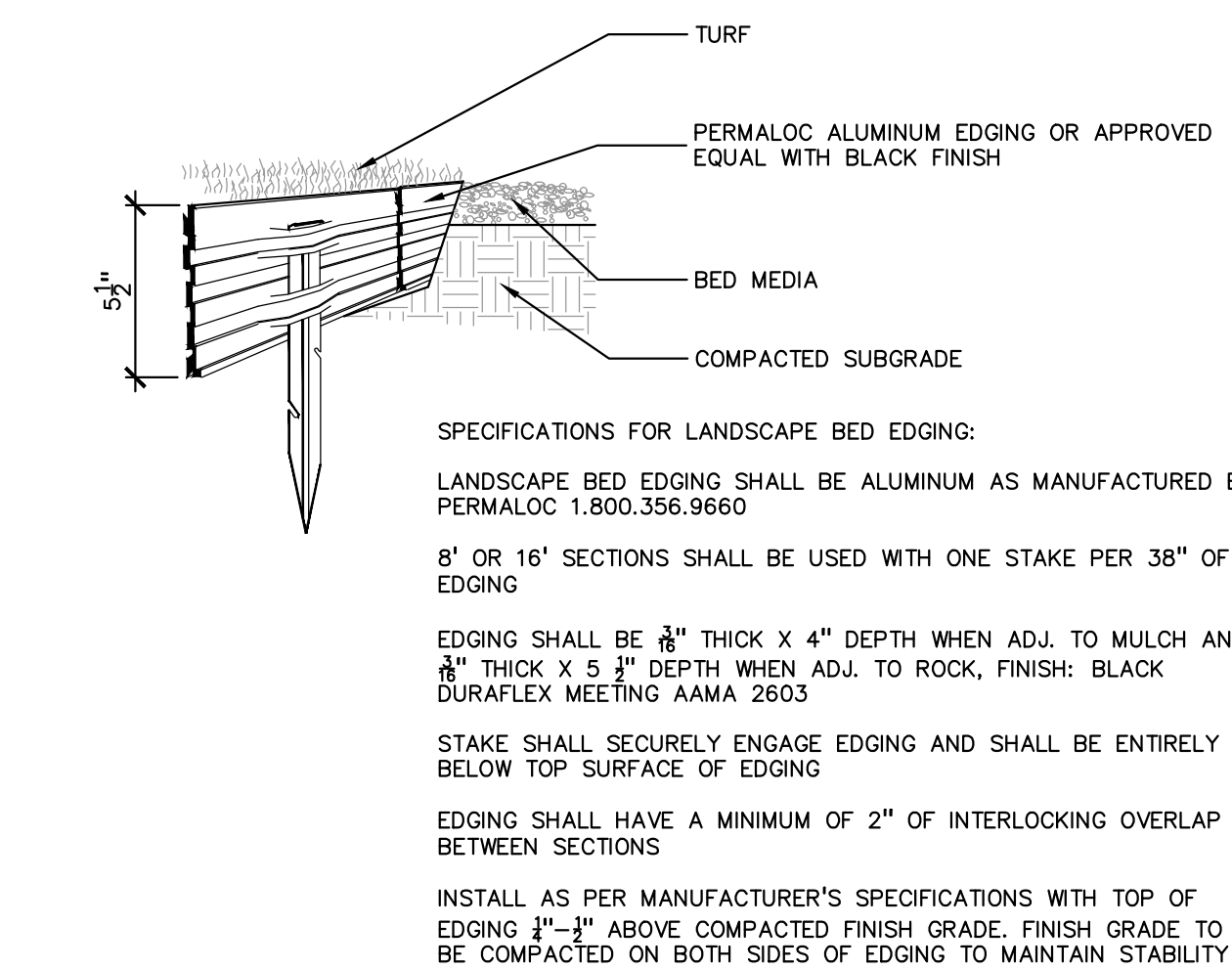


**GENERAL PLANTING NOTES:**

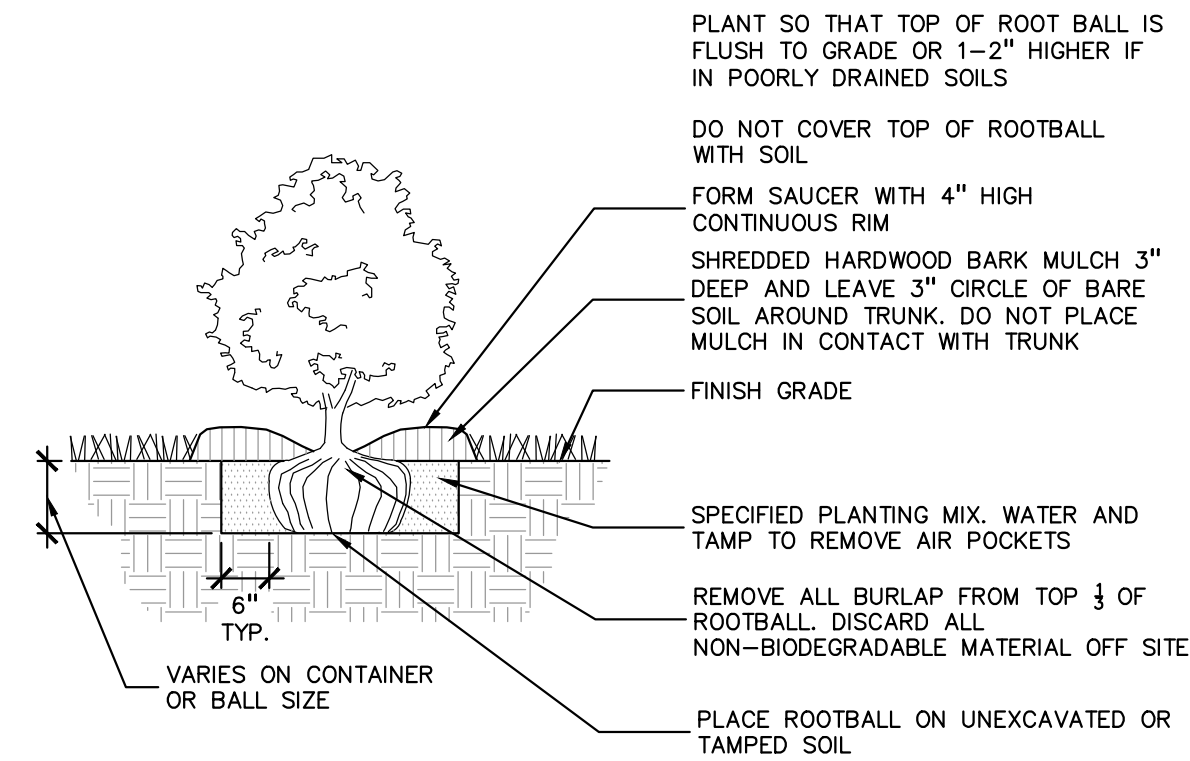
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



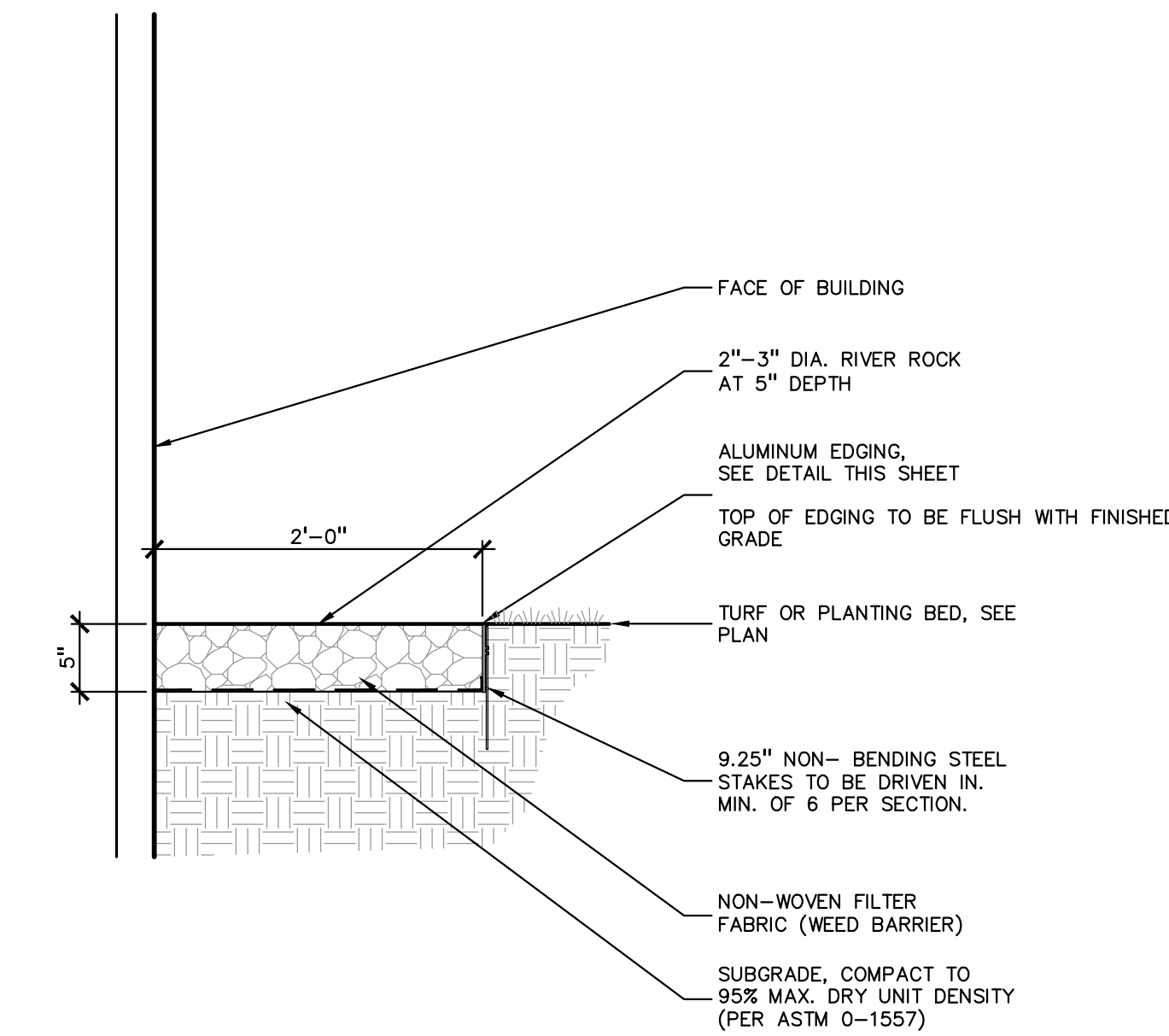
**6 STONE MAINTENANCE STRIP**  
SCALE: 1" = 1'-0"



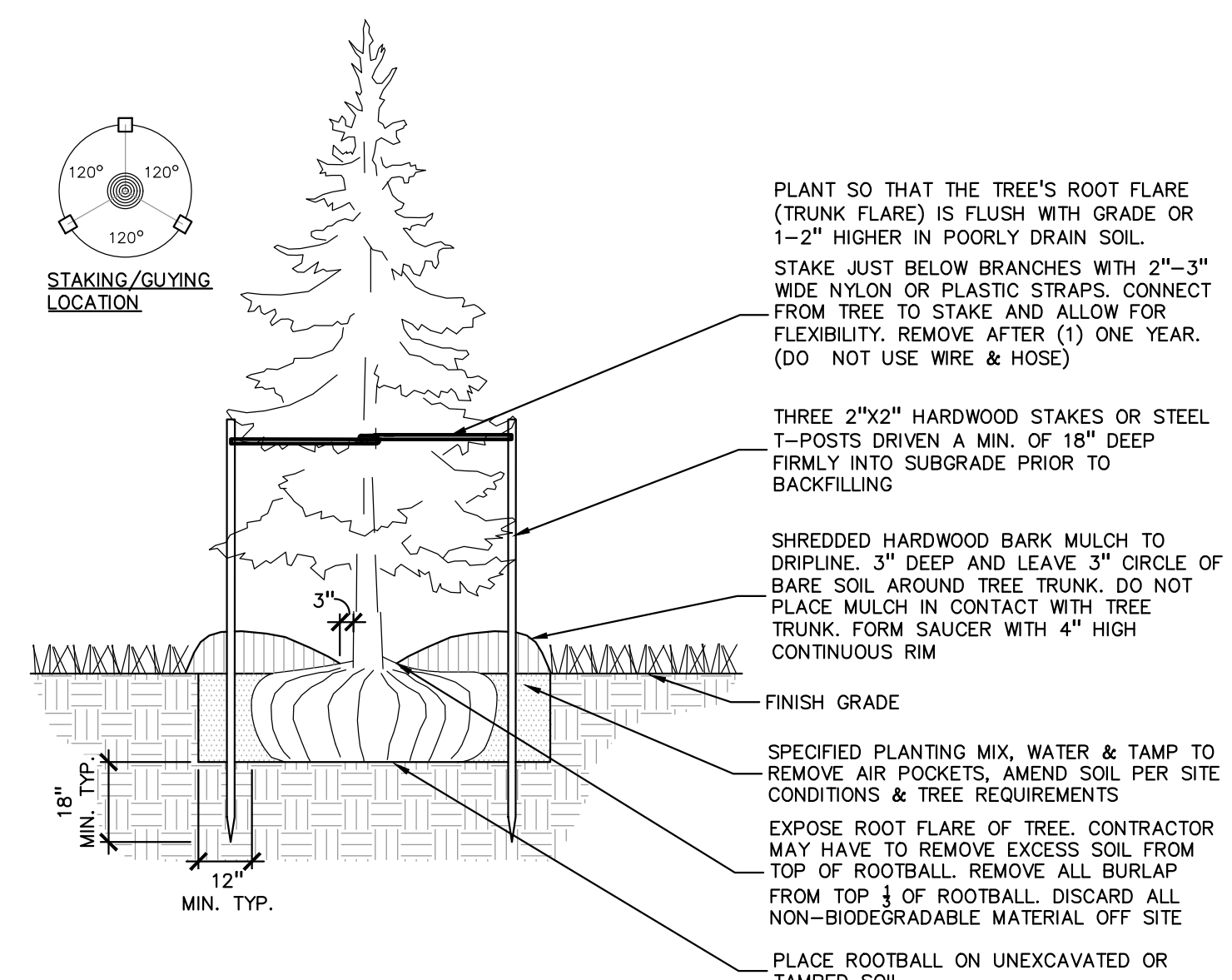
**5 ALUMINUM EDGE DETAIL**  
SCALE: 1/2" = 1'-0"



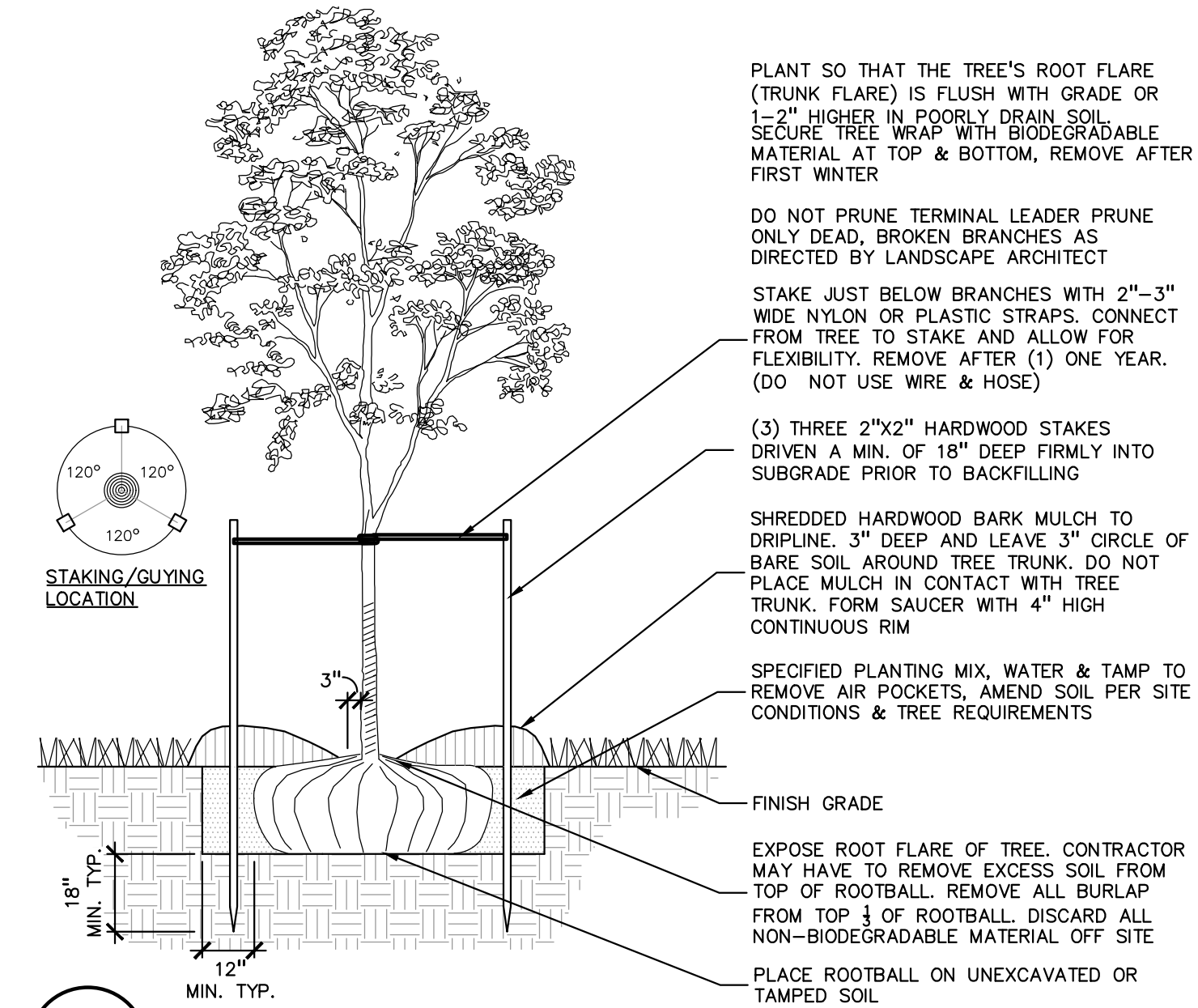
**4 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"



**3 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"



**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

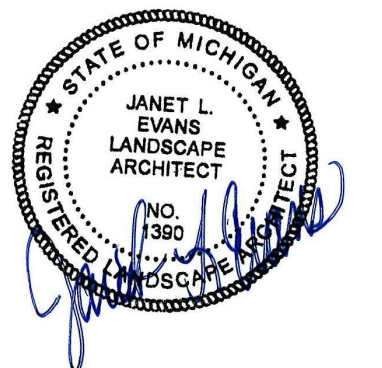
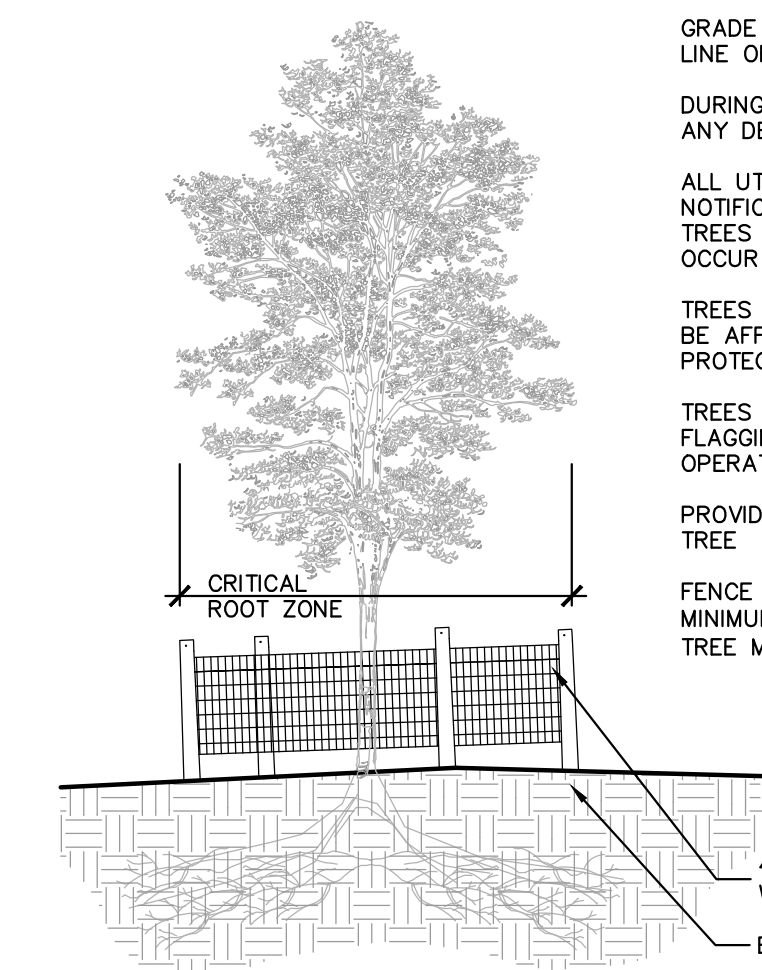
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

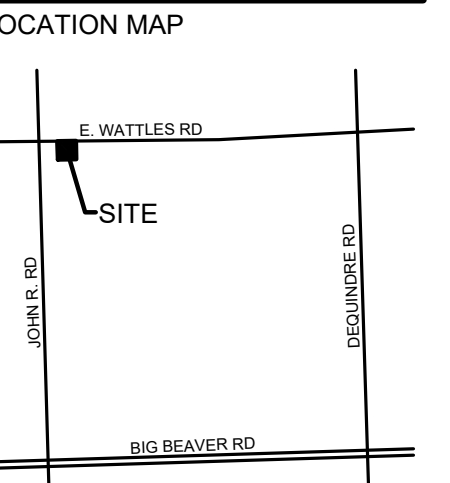
TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND



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2150 FRANKLIN ROAD  
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PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48068

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**LANDSCAPE DETAILS**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE

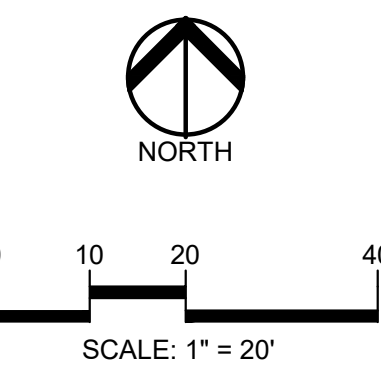
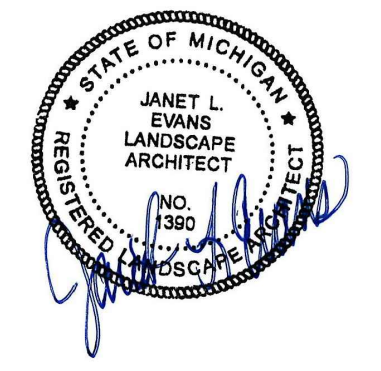
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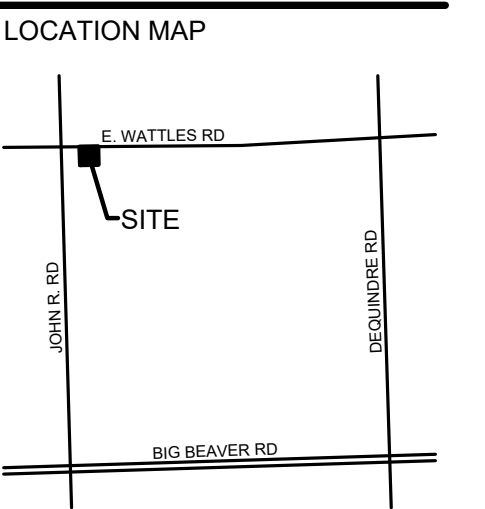
**L-2.0**

**KEY:**

- = EXISTING TREE TO REMAIN
- = EXISTING TREE TO BE REMOVED
- = TREE PROTECTION FENCING



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 2150 FRANKLIN ROAD  
 BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
 E. WATTLES RD. & JOHN R. RD.  
 TROY, MI 48063

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CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
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**ORIGINAL ISSUE DATE:**  
 SEPTEMBER 22, 2023

**DRAWING TITLE**  
**TREE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE
DRAWING NUMBER:	

**NOT FOR CONSTRUCTION**

**T-1.0**



\\pea\new\PROJECTS\2022\2022-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\T-1.0 TREE PLAN.dwg PLOT DATE: 6/7/2024 PLOT: Janet Evans



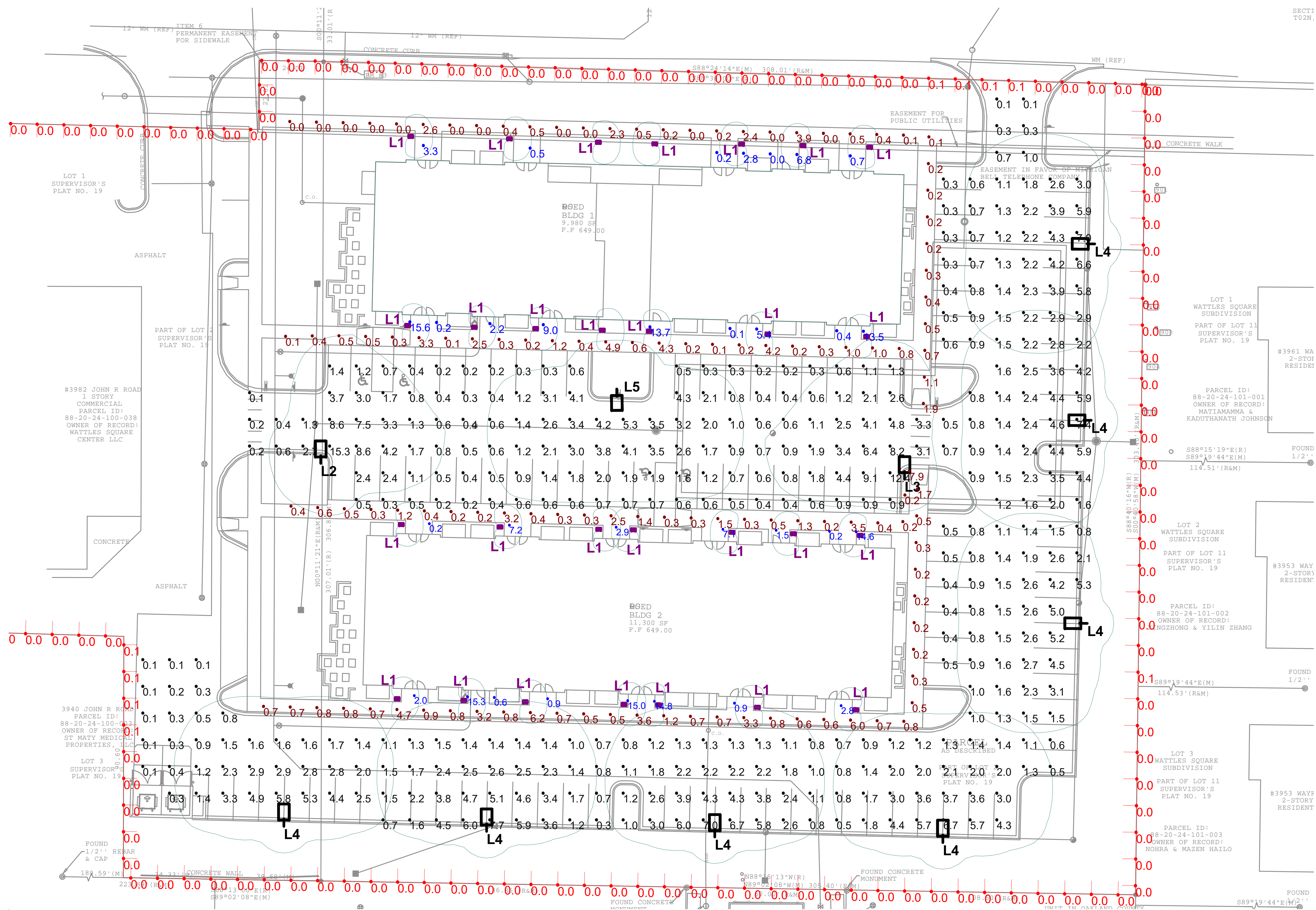
TAG	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
901	13"	Red Maple	Acer rubrum	Good		WOODLAND	S	N	-
902	17"	Austrian Pine	Pinus nigra	Poor	DL, M	WOODLAND	S	N	-
903	8"	White Pine	Pinus strobus	Fair/Poor	NC	WOODLAND	S	N	-
904	22"	Austrian Pine	Pinus nigra	Fair		LANDMARK	S	N	-
905	16"	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	S	N	-
906	3'-11"	Mulberry	Morus rubra	Poor	DL, VC (OrBit)	INVASIVE	R	Y	-
907	30"	Box Elder	Acer negundo	Very Poor	Growing horizontal to the ground	INVASIVE	R	Y	-
908	13"	Box Elder	Acer negundo	Very Poor	Topped, VC (Gr)	INVASIVE	R	Y	-
909	7'-8"	Box Elder	Acer negundo	Poor	Totally VC (Gr)	INVASIVE	R	Y	-
910	22"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
911	18"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
912	11'-17"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
913	9"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
914	10"	Cottonwood	Populus deltoides	Poor	NC, VC (Gr)	INVASIVE	R	Y	-
915	10'-16'-18"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
916	16"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
917	12"	American Elm	Ulmus americana	Poor	NC, OS	INVASIVE	R	Y	-
918	13"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
919	11"	American Elm	Ulmus americana	Fair		INVASIVE	R	Y	-
920	16"	Box Elder	Acer negundo	Poor	Totally VC (Gr)	INVASIVE	R	Y	-
921	15'-18"	Box Elder	Acer negundo	Poor	Maj, L, DL	INVASIVE	R	Y	-
922	18'-22'-24"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
923	13'-15"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
924	39"	Willow	Salix sp.	Poor	BD, BR, OS	INVASIVE	R	Y	-
925	35"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
926	20'-42"	Willow	Salix sp.	Very Poor	Maj, BD, Many DL	INVASIVE	R	Y	-
927	16"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
928	19"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
929	21"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
930	18"	Cottonwood	Populus deltoides	Poor	DL, OS, VC (Fr)	INVASIVE	R	Y	-
931	5'-16"	Cottonwood	Populus deltoides	Poor	6'-stem very poor, OS	INVASIVE	R	Y	-
932	11'-19"	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
933	12"	Silver Maple	Acer saccharinum	Fair/Poor	OS	INVASIVE	R	Y	-
934	18"	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
935	11"	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
936	25"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
937	25"	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
938	10'-23"	Cottonwood	Populus deltoides	Poor	10'-stem VC (Fr), OS, VC (Fr)	INVASIVE	R	Y	-
939	23"	Cottonwood	Populus deltoides	Poor	OS, VC (Fr)	INVASIVE	R	Y	-
940	12"	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
941	21"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
942	23"	Cottonwood	Populus deltoides	Poor	Maj, DL, OS	INVASIVE	R	Y	-
943	13"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
944	9"	Silver Maple	Acer saccharinum	Poor	NC, Vines (Gr)	INVASIVE	R	Y	-
945	16"	Cottonwood	Populus deltoides	Poor	Topped, M	INVASIVE	R	Y	-
946	9'-21"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
947	24"	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
948	16"	Cottonwood	Populus deltoides	Poor	SI, L, M, OS	INVASIVE	R	Y	-
949	17"	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
950	16"	Cottonwood	Populus deltoides	Fair/Poor	L	INVASIVE	R	Y	-
951	16"	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
952	15"	Cottonwood	Populus deltoides	Fair/Poor	SI, L	INVASIVE	R	Y	-
953	18"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
954	15"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
955	9"	Red Oak	Quercus rubra	Fair		WOODLAND	R	Y	REPLACE
956	7"	Red Oak	Quercus rubra	Good		WOODLAND	R	Y	REPLACE
957	9"	Silver Maple	Acer saccharinum	Fair/Poor	Vines (Gr)	INVASIVE	R	Y	-
958	19'-21"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
959	16"	Cottonwood	Populus deltoides	Poor	NC, OS	INVASIVE	R	Y	-

960	23"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
961	11"	Silver Maple	Acer saccharinum	Fair/Poor	OS	INVASIVE	R	Y	-
962	22"	Cottonwood	Populus deltoides	Fair	Some vines (Fr)	INVASIVE	R	Y	-
963	20"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
964	6'-11'-13"	Box Elder	Acer negundo	Very Poor	6'-stem dead, BD, DL	INVASIVE	R	Y	-
965	16"	Box Elder	Acer negundo	Poor	DL, L, Fungus	INVASIVE	R	Y	-
966	15"	Box Elder	Acer negundo	Very Poor	Maj, BD, DL	INVASIVE	R	Y	-
967	3'-10'-10'-12"	Box Elder	Acer negundo	Very Poor	Many DL, M	INVASIVE	R	Y	-
968	19"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
969	18"	Norway Maple	Acer platanoides	Very Poor	Maj, BD	INVASIVE	R	Y	-
970	8'-11'-13"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
971	12"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
972	10"	Cottonwood	Populus deltoides	Poor	NC, OS	INVASIVE	R	Y	-
973	11"	Cottonwood	Populus deltoides	Very Poor	DL, VC (Gr)	INVASIVE	R	Y	-
974	13"	Cottonwood	Populus deltoides	Fair/Poor	NC	INVASIVE	R	Y	-
975	11"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
976	9"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
977	11"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
978	17"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
979	13"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
980	13"	Cottonwood	Populus deltoides	Poor	DL, L, OS	INVASIVE	R	Y	-
981	10"	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
982	11"	Box Elder	Acer negundo	Fair/Poor	Maj, DL	INVASIVE	R	Y	-
983	9"	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
984	8'-10"	Box Elder	Acer negundo	Fair/Poor	DL	INVASIVE	R	Y	-
985	14"	Box Elder	Acer negundo	Very Poor	Maj, BD, DL, L	INVASIVE	R	Y	-
986	17"	Norway Maple	Acer platanoides	Fair/Poor	Exposed roots	INVASIVE	R	Y	-
987	16"	Norway Maple	Acer platanoides	Fair/Poor	Exposed roots	INVASIVE	R	Y	-
988	28"	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
989	7"	Red Oak	Quercus rubra	Good		WOODLAND	R	Y	REPLACE
990	26"	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
991	12"	Bur Oak	Quercus macrocarpa	Fair		WOODLAND	R	Y	REPLACE
992	20"	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
993	23"	Cottonwood	Populus deltoides	Fair/Poor	DL	INVASIVE	R	Y	-
994	12"	Mulberry	Morus rubra	Poor	OS, Vines (Gr)	INVASIVE	R	Y	-
995	26"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
996	19"	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
997	21"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
998	15"	Cottonwood	Populus deltoides	Poor	L, OS, Vines (Gr)	INVASIVE	R	Y	-
999	16"	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
1000	17"	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
1001	16"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1002	16"	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
1003	13"	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
1004	7"	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
1005	18"	Cottonwood	Populus deltoides	Poor	Maj, DL, NC	INVASIVE	R	Y	-
1006	22"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1007	19"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1008	18"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1009	16"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1010	10"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
1011	23"	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
1012	7'-9"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
1013	15"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1014	25"	Cottonwood	Populus deltoides	Poor	Many DL	INVASIVE	R	Y	-
1015	21"	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
1016	16"	Cottonwood	Populus deltoides	Fair/Poor	DL	INVASIVE	R	Y	-
1017	16'-16'-18"	Cottonwood	Populus deltoides	Poor	(1)-16'-stem dead, DL, NC	INVASIVE	R	Y	-
1018	16'-18'-20"	Cottonwood	Populus deltoides	Poor	26'-stem dead	INVASIVE	R	Y	-
1019	14"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1020	17"	Cottonwood	Populus deltoides	Fair/Poor	L	INVASIVE	R	Y	-
1021	10'-12'-16"	Cottonwood	Populus deltoides	Very Poor	10'-stem dead, L, NC	INVASIVE	R	Y	-
1022	16'-22'-28"	Willow	Salix sp.	Very Poor	16'-stem dead, Many DL	INVASIVE	R	Y	-
1023	25"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1024	14"	Cottonwood	Populus deltoides	Poor	L, NC	INVASIVE	R	Y	-
1025	12'-19"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1026	20"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1027	24"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1028	16"	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1029	28"	Cottonwood	Populus deltoides	Poor	Maj, DL, SI, L, OS	INVASIVE	R	Y	-
1030	32"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1031	13"	Cottonwood	Populus deltoides	Poor	SI, L, M, NC	INVASIVE	R	Y	-
1032	17"	Cottonwood	Populus deltoides	Poor	Maj, DL, OS	INVASIVE	R	Y	-
1033	32"	Cottonwood	Populus deltoides	Very Poor	(3) Maj, DL, OS	INVASIVE	R	Y	-
1034	18"	Siberian Elm	Ulmus pumila	Very Poor	Maj, BD, Many DL	INVASIVE	R	Y	-
1035	10'-12"	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
1036	8'-11"	Box Elder	Acer negundo	Poor	DL, M, SS	INVASIVE	R	Y	-
1037	13'-16'-18"	Box Elder	Acer negundo	Very Poor	Maj, BD, DL, L	INVASIVE	R	Y	-
1038	16"	Norway Maple	Acer platanoides	Fair		INVASIVE	R	Y	-
1039	14"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1040	6"	Cottonwood	Populus deltoides	Fair/Poor	BD	INVASIVE	R	Y	-
1041	18"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1042	16"	Austrian Pine	Pinus nigra	Fair		WOODLAND	R	Y	REPLACE
1043	18"	Austrian Pine	Pinus nigra	Fair		LANDMARK	R	Y	REPLACE
1044	20"	Norway Spruce	Picea abies	Good		LANDMARK	R	Y	REPLACE
1045	23"	Norway Spruce	Picea abies	Good		LANDMARK	R	Y	REPLACE
1046	13"	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1047	15"	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1048	3'-5'-6'-7'-9"	Amur Maple	Acer ginnala	Very Poor	Maj, BD, DL	INVASIVE	R	Y	-
1049	24"	Austrian Pine	Pinus nigra	Fair		LANDMARK	R	Y	REPLACE
1050	8"	Spruce	Picea sp.	Very Poor	Central leader poor, OS	WOODLAND	R	Y	-
1051	12"	Spruce	Picea sp.	Fair		WOODLAND	R	Y	REPLACE
1052	10"	Spruce	Picea sp.	Fair		WOODLAND	R	Y	REPLACE
1053	10"	Spruce	Picea sp.	Very Poor	Central leader poor, BD, OS	WOODLAND	R	Y	-
1054	11"	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1055	15"	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1056	10"	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	R	Y	REPLACE

**TREE INVENTORY/PRESERVATION CALCULATIONS**

**WOODLAND TREES**  
**WOODLAND TREES REMOVED:** 12 (REPLACE AT 50% OF REMOVED DBH)  
 137" DBH x 0.5 = 69" REPLACEMENT  
**WOODLAND TREES SAVED:** 0 (CREDIT OF 2X DBH)  
 " DBH x 2 = " CREDIT  
 68.5 - 0 = 68.5  
**69" DBH REQUIRED FOR WOODLAND REPLACEMENT**

**LANDMARK TREES**  
**LANDMARK TREES REMOVED:** 4 (REPLACE AT 100% OF REMOVED DBH)  
 85" DBH x 1 = 85" REPLACEMENT  
**LANDMARK TREES SAVED:** 0 (CREDIT OF 2X DBH)  
 " DBH x 2 = " CREDIT  
 85 -



Scale: 1 inch = 20 Ft.

Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
	28	L1	0.900	LUMIERE 303-B1-LEDB1-3500-UNV-T4-DIM10	8.4	653	3
	1	L2	0.900	MCGRAW EDISON GALN-SA2C-735-U-SLR	108	11352	15
	1	L3	0.900	MCGRAW EDISON GALN-SA2C-735-U-SLL	108	11352	15
	7	L4	0.900	MCGRAW EDISON GALN-SA2C-735-U-SL4-HSS	108	10833	15
	1	L5	0.900	MCGRAW EDISON GALN-SA2C-735-U-T4W	108	13180	15

Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Building A Entrances	Fc	4.65	15.6	0.0	N.A.	N.A.
Building A Sidewalks	Fc	0.80	4.9	0.0	N.A.	N.A.
Building B Entrances	Fc	5.73	15.3	0.2	76.50	28.65
Building B Sidewalks	Fc	1.23	7.9	0.2	39.50	6.15
Parking Lot and Drives	Fc	2.06	15.3	0.1	153.00	20.60
Property Line	Fc	0.01	0.1	0.0	N.A.	N.A.

PROPERTY LINE CALCULATION POINTS ARE TAKEN AT 5'-0" A.F.G. VERTICALLY.

CALCULATION POINTS FOR PARKING LOT, SIDEWALKS AND ENTRANCES ARE TAKEN AT GRADE HORIZONTALLY.

**NOTES:**

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.

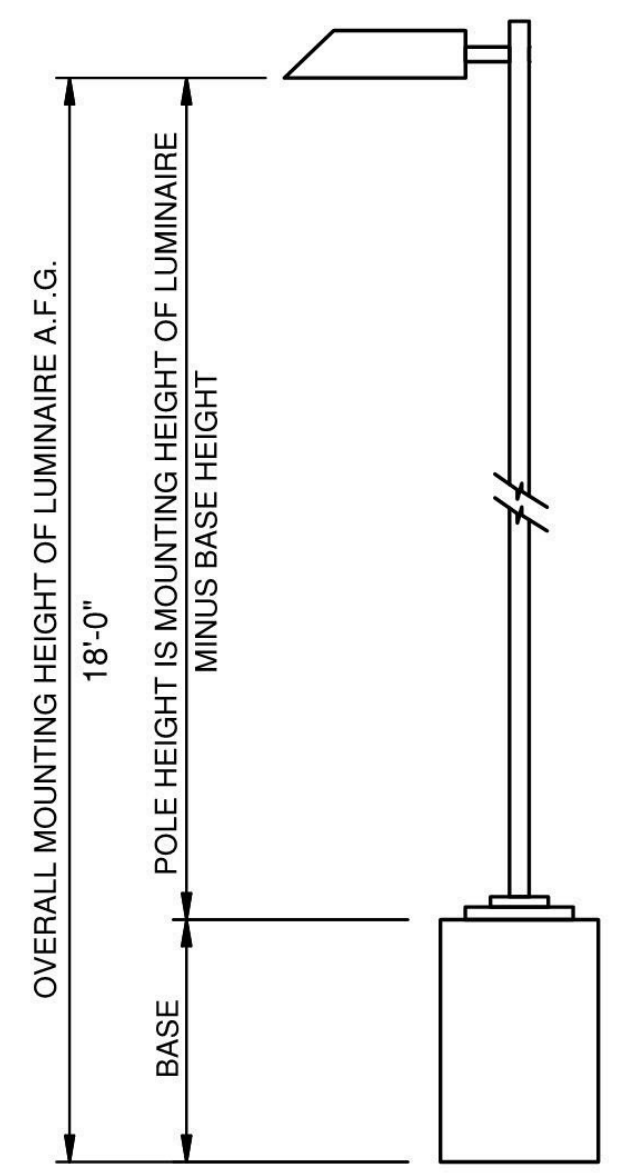
LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LEDS AND OTHER VARIABLE FIELD CONDITIONS.

MOUNTING HEIGHTS INDICATED ARE FROM GRADE TO BOTTOM OF LUMINAIRE LENS OR FROM FLOOR TO BOTTOM OF LUMINAIRE LENS, UNLESS OTHERWISE NOTED.

CLARUS DOES NOT ACT AS THE ELECTRICAL, CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS AND APPLICABLE CODE COMPLIANCE. CLARUS IS NOT LIABLE FOR ANY CODE COMPLIANCE DISCREPANCY.

LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT OF RECORD IS RESPONSIBLE TO REVIEW FOR CODE COMPLIANCE, INCLUDING AND NOT LIMITED TO - NFPA 101 LIFE SAFETY CODE, MICHIGAN ENERGY CODE, MICHIGAN BUILDING CODE AND/OR IECC CODE, LIGHTING QUALITY COMPLIANCE AND LOCAL LIGHTING ORDINANCES.

FOR SITE PLAN PHOTOMETRICS, THE USE OF ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.



Project	WATTLES APARTMENTS	Catalog #	Type
Prepared by	Notes	Date	L2, L3, L4, L5

**McGraw-Edison**  
**GALN Galleon II**  
Area / Site Luminaire

**Product Certifications**

**Resources**

**Quick Facts**

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 16 optical distributions
- Efficacy up to 159 lumens per watt

**Interactive Menu**

- Ordering Information
- Mounting Details
- Optical Distributions
- Product Specifications
- Energy and Performance Data
- Control Options

**Connected Systems**

- WaveLux Lite
- WaveLux

**Dimensions**

Number of Luminaires	Width (in)	Height (in)	Weight (lbs)	ETL (in)
14	16"	22"	29	0.15
54	22"	22"	39	0.15
78	22"	28 1/4"	48	1.1

Project	WATTLES APARTMENTS	Catalog #	Type
Prepared by	Notes	Date	L1

**Lumiere**  
**EON 303-B1-LEDB1**  
Bollard

**Product Certification**

**Product Features**

**Top Product Features**

- Full Cut Off Downlight: 12", 24", 36" or 42" height
- 2700K, 3000K or 3500 or 4000K Color Temperature and Amber (585-595nm)
- Type II, Type IV or Type V Optics with clear glass sealed lens
- Patented AccuLED Optics™ System
- Universal Input LED Driver Included (120 - 277V, 50/60 Hz)
- ELV or 0-10 Dimming

**Interactive Menu**

- Order Information
- Product Specifications
- Lumen Maintenance
- Product Warranty

**Dimensions**

**From:** [Fabrice Smieliauskas](#)  
**To:** [Planning](#)  
**Subject:** comments on Wattles Square Apartments proposal  
**Date:** Tuesday, April 23, 2024 11:47:24 AM

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You don't often get email from fab.smieliauskas@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Planning Commission,

As you consider the proposal in front of you tonight, a few comments:

I fully support a rental, residential only project here as permitted under the current NN zoning, as serving an important need for a more affordable housing rent/price point in the city.

Please do not reject this on the grounds that the "style" of garden apartments does not suit your architectural tastes. **You are not the style police -- this is not your own home.** Allow the market to decide what is an attractive style for renters, which may include a value/aesthetic tradeoff that renters are willing to make to save a couple of hundred dollars on rent.

I like the repurposing of part of the vacant Rite-Aid as a community center! I have a hard time believing that the owners will be able to find another pharmacy to replace the Rite-Aid, at a time of retrenchment in the pharmacy sector. The project plan showing that the corner facing retail space will remain a pharmacy may be misleading - another use there is likely to emerge. Nonetheless, repurposing of existing buildings -- like the office-to-residential conversions occurring in our city - reduces the carbon emissions associated with new development and is environmentally sound. Applicant should receive credit for this.

Fabrice Smieliauskas

**From:** [Doriscell Drake](#)  
**To:** [Planning](#)  
**Subject:** Opposition to Proposed Apartment Complex - Zoned NN:B  
**Date:** Tuesday, May 28, 2024 4:26:08 PM

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You don't often get email from doriscell.drake@youngrembrandts.com. [Learn why this is important](#)

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To Whom It May Concern.

I am a resident of The Enclave Condominiums in Troy. I strongly oppose the building of an apartment complex in our neighborhood. It is my opinion that the existence of an apartment building would negatively impact property value as well as stabilization of our beautiful neighborhood.

Please advise if you need additional information regarding my opposition.

*Doriscell Drake*  
2047 Applewood Drive  
Troy, MI 48085

**From:** [Laura Wilkins](#)  
**To:** [Planning](#)  
**Subject:** Wattles Square Apartment Complex  
**Date:** Friday, June 7, 2024 12:13:32 AM

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You don't often get email from leduc.laura.24@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Troy Planning Commission Members,

My name is Laura Wilkins and I reside in the Wattle Square Neighborhood. I am writing to you because of my strong opposition to the development of the Wattles Square Apartment Complex.

I moved into this subdivision with my husband almost ten years ago. We recently renovated our home and welcomed our two children into our family. We made the decision to stay in our current home and renovate because we absolutely love this city. We love how diverse it is, the fantastic schools, and most importantly, we love our neighbors. I often joke around to my friends that our neighborhood reminds me of an old movie where everyone knows each other and always stops to say hello. It's a neighborhood that I am extremely excited to see my children grow up in.

When I found out the news about the apartment complex, my first thought was how will this change our surrounding neighborhoods, especially our neighborhood? We are completely open to building our community and allowing others the opportunity to be able to enjoy what this great city has to offer. However, I would like it to be done in a manner that continues to build on the beauty of our surrounding neighborhoods. We took the time to research what the neighborhood nodes should consist of, and this project simply does not meet the standards that were put into the nodes plans. The neighborhood nodes were created to help build the community and bring others together. I want to know how a closed off, modern apartment complex, helps the surrounding neighborhoods and makes the community stronger?

So here's my list of questions that I have for you, that I am begging that you consider when making your final decision on this project.

- Take a moment to look at the designs of this project, and think to yourself, does this truly match the character of the surrounding neighborhoods? Many of these homes were built in the 80s, so is it a good look to throw in an apartment building that looks like a shopping strip mall? **According to the neighborhood nodes, the development should share common characteristics with the surrounding area and should NOT be so extreme that it overpowers the surrounding residential areas.**

- There are multiple homes who will have a parking lot in their backyard. Is that a great way to meet new neighbors by watching them get in and out of their cars while hanging out in your backyard enjoying some time with your family? Would you want this in your yard? Even if you put a fence up, once again, how is that drawing in the surrounding communities? How does that respect the adjacent neighborhoods?
- The developer mentioned that there will be green spaces, but I want to quote what he said at the May 28th meeting. "There will be green spaces for the residents to use." He made mention of a community center that the "residents" will be able to use. A grill that the "residents" can use. I would like to add that this "community center" that he mentioned is the storage room of an existing hair salon that has been abandoned for ten years and will only have maybe two forms of exercise equipment for 54 units. **According to the neighborhood node district, the developments are supposed to take on a social role, and be a "go to" kind of place for everyone.** How does closing off the surrounding neighbors, and not providing amenities to the surrounding neighborhoods provide this as a way to build the community? Where is the common green space area for everyone, to make it a "go to" place? I could see some potential if they were going to make the commercial area a place to gather, such as a coffee shop or places to eat, but instead, they plan on leaving a super aged abandoned Rite Aid in hopes that someone will lease it. Again, how does that bring the community together?

Finally, I am an elementary teacher, so I tend to provide a lot of visuals for my students. **Sometimes it can be an eye opener when you see something for yourself. I highly encourage you to get your own visual. I encourage you to try to go Southbound on John R during peak traffic hours (morning commute/5:00 pm).** I already struggle to get out of our subdivision, so I will be honest, I use the neighborhood behind me to get out because of how backed up the left hand turn lane gets at Wattles and John R. Can you picture how congested that left lane will get once there are 100+ cars added into the area trying to leave for work?

In conclusion, I completely understand the need for multifamily housing and allowing others the opportunity to seek Troy as their home, but I strongly believe that this land could be developed into something that has greater potential and respects the surrounding neighborhoods.. The city shouldn't settle for something that is being thrown together and not respecting the intent of the neighborhood nodes.

Thank you so much for your time and consideration.  
Laura Wilkins



**From:** [chris touma](#)  
**To:** [Planning](#)  
**Subject:** Subject: Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)  
**Date:** Tuesday, June 11, 2024 9:31:49 PM

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Dear Members of the Troy City Planning Commission,

I am writing as a concerned resident to express my strong opposition to the planned construction of an apartment complex near my home. I urge the Planning Commission to seriously reconsider this project.

Here are my primary concerns:

1. **\*\*Traffic Congestion and Safety:\*\*** The proposed apartment complex will significantly increase traffic in our area. The local roads, especially at the intersection of John R Road and Wattles, are not designed to handle such an influx. This will pose safety risks to residents, particularly children who walk or bike to school and parks. The likelihood of accidents will also increase, endangering both residents and commuters.
2. **\*\*Privacy and Safety:\*\*** The close proximity of the proposed buildings raises significant privacy and safety issues. The increased density and height of the apartments could lead to a loss of privacy, as residents may have direct views into our homes and yards.
3. **\*\*Environmental Concerns:\*\*** The proposed development site includes green spaces and mature trees that are vital to the ecological health and aesthetic appeal of our neighborhood. Construction would likely lead to the loss of

these green areas, negatively impacting local wildlife and the overall environment.

4. **\*\*Community Character and Quality of Life:\*\*** Our neighborhood is defined by its single-family homes and a close-knit community atmosphere. The introduction of a large apartment complex is inconsistent with this character and could disrupt the sense of community that we value.

5. **\*\*Strain on Infrastructure and Services:\*\*** The addition of numerous new residents could strain existing infrastructure and public services, including water, sewage, and emergency services. There is concern that the current infrastructure may not support such a significant increase in population, leading to reduced service quality and longer emergency response times.

While I support responsible development within Troy, I believe this project is not suitable for the location adjacent to our neighborhood. I respectfully request that the Planning Commission reconsider the approval of this project.

Sincerely,

Chris Touma

**From:** [paul leitheiser](mailto:paul.leitheiser)  
**To:** [Planning](#)  
**Subject:** 54 units proposed at Wattles and John R  
**Date:** Tuesday, June 11, 2024 5:52:49 PM

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I oppose the current plan to stuffing 54 units into an Area that is 1/8 the size of my adjoining subdivision "Wattles Square" with less occupancy. I am not opposed to a more reasonable approach - less units with garages and a townhouse look or traditional houses.

Specifically I oppose current approach for these reasons

1. No garages - theft, noise and light pollution
2. No setback from Wattles - will look like strip mall
3. Garden style first floor - unit split between upstairs and basement - no senior would be interested in that (also all basements leak)
4. Flat roof - not pitch like rest of housing in area
5. Negative Impact of increased traffic
6. Increased crime from a transient population

Paul Leitheiser  
3897 Wayfarer Dr  
Troy, Mich. 48083

Pleitheiser1@att.net

[Sent from AT&T Yahoo Mail for iPhone](#)

**From:** [COLLEEN HELMICK](#)  
**To:** [Planning](#)  
**Cc:** [maleonard50@gmail.com](mailto:maleonard50@gmail.com); [Paul Leonard](#)  
**Subject:** Constructing Apartments Wattles/John R  
**Date:** Saturday, June 22, 2024 11:36:08 AM

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Troy Planning Commission:

As residents of the Mt Vernon Estates subdivision, we are totally opposed to the plan to build apartments on the corner of Wattles and John R. The plan is to build 54 apartments, two 3 story buildings with 108 parking spaces, on a small 2.8 acre lot. The residents who live in the area were not made aware of this plan and have major concerns. Making this a dense residential corner, it will have a negative impact on the surrounding neighborhoods' property values, schools, traffic, and safety. It is an unsightly design, which will be sandwiched between two well designed residential neighborhoods. The nearby homeowners will be looking at a massive unsightly parking lot with no garages, trash dumpsters, and two functional buildings. There is no room for a natural fire break, and embers can travel a short distance to adjacent subdivisions. Traffic will be impossible with drivers making left turns in and out of the complex. Even if no left turn signs are installed, it won't be adhered to or enforced. It is difficult enough on that corner with Athen's High School so close.

Troy has recently built new apartments that are crammed in on most corners:

Square Lk/Dequindre  
Wattles/Livernois  
Big Beaver/John R  
Livernois/Square Lk  
Long Lk next to Ace Hardware  
Currently building a large complex on Long Lk between Livernois & Rochester.

All these developments are functional complexes at best. They look unsightly, create traffic congestion, and are a negative reflection on the city. We also understand the Kelly Service building will be turned into flats, as well as, other commercial office buildings on Big Beaver. This begs the question as to why so many multi family dwellings are needed. However, the rendering of the Kelly Service building included some green space unlike all the other apartment complexes. Since the corner of Wattles/John R is a small space, why not have a small amount of condos be built around a cul-de-sac that is less dense, has greenery with landscaping, and is more appealing.

Instead of the old City of Troy motto being "The city tomorrow today," it should read "The city of unsightly apartments." The surveys conducted in recent years have shown residents want more green spaces in the city. Why do you not represent this view point. Maybe it is time to elect city officials who listen to those that they are suppose to represent.

Sincerely,

Colleen Helmick  
Michelle Leonard  
Paul Leonard

**From:** [Pete Wilkins](#)  
**To:** [Planning](#)  
**Subject:** May 28th meeting follow-up  
**Date:** Wednesday, May 29, 2024 10:27:08 PM  
**Attachments:** [image.png](#)  
[image.png](#)  
[Petition Cover Letter.pdf](#)

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You don't often get email from [pete.wilkins.umich@gmail.com](mailto:pete.wilkins.umich@gmail.com). [Learn why this is important](#)

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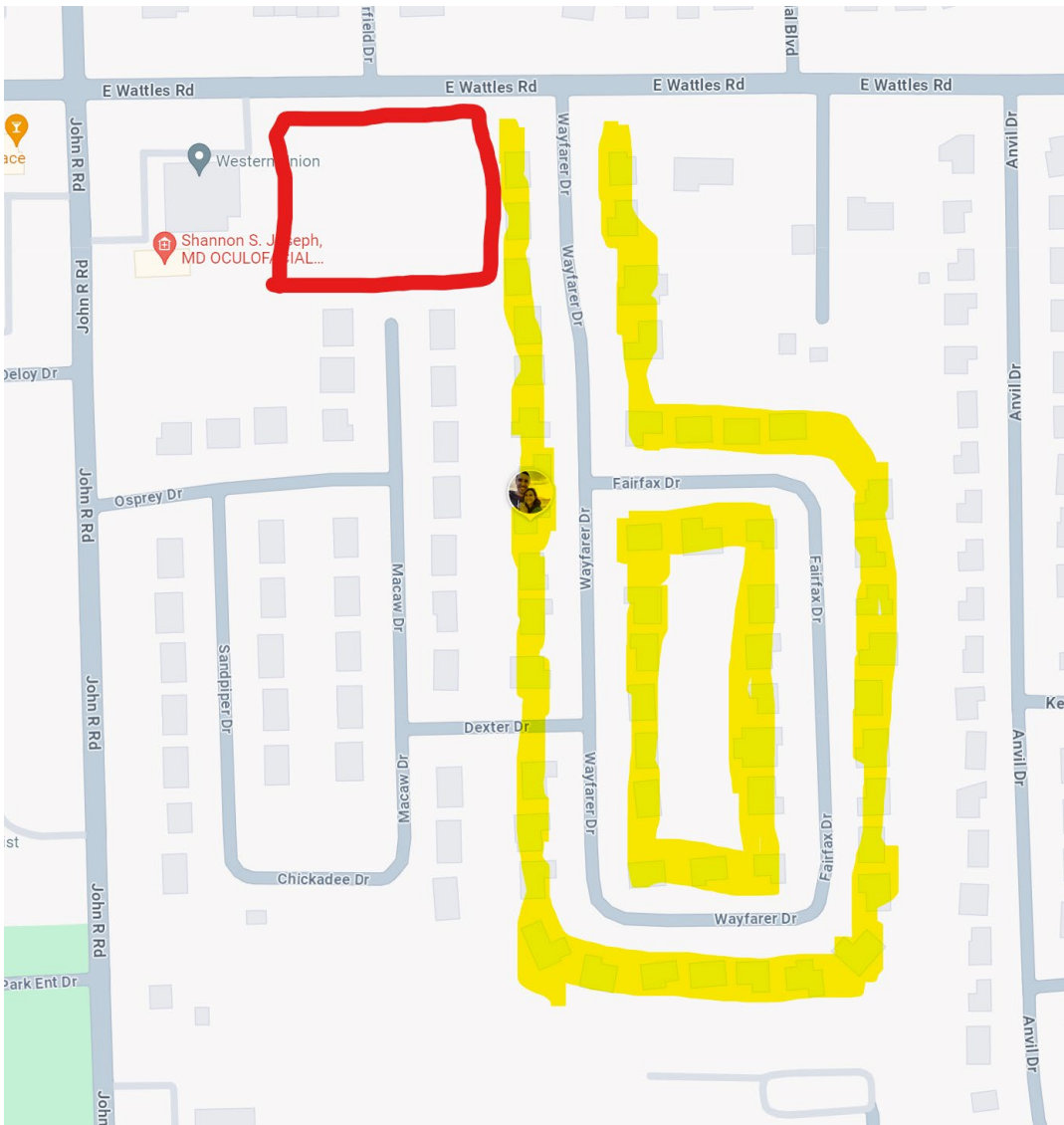
Hello Planning Council members,

My name is Pete Wilkins. I was the first to speak at last night's meeting regarding opposition to the proposed Wattles Square Apartments.

First, let me say thank you for giving me and my neighbor's the opportunity to speak last night. I've attached a copy of the cover letter that I handed to council member Marianna Perakis after speaking.

Also, I want to express that people's statements made in that meeting are their own. The points presented in this document is what was shared when we asked for signatures from the neighborhood. The use of the word "transient" should not be taken negatively, but only as it is defined in the dictionary, "lasting only a short time; existing briefly; temporary." I want to be clear that the statements made in this document are not discriminatory against renters but merely pointing out the role each plays in a community. Ownership means commitment whereas renting means involvement. A good parallel is marriage vs. dating.

References to safety in this document are referring to the high density of people driving in and out of such a small area. There is nothing really within walking distance, so these 100+ vehicles will be coming and going constantly. We worry about the safety of drivers and pedestrians, especially our children. To put it in perspective, the entire neighboring Wattles Square subdivision is 54 households, and we are proposing to squeeze that many households into such a small plot of land.



Speaking now for just myself, not on behalf of the residents who signed the petition, I'd like to offer a view of what I believe "good" looks like and what better matches the intent of the Neighborhood Node zoning ordinance.

I put this together rather quickly using satellite imagery of existing developments in the area.



Something like this

- Offers a good mix of building variation
- Promotes the improvement of the existing commercial space
- Lowers the density
- Allows for safe Southbound egress
- Offers good transitions to surrounding neighborhoods
- Respects privacy of abutting neighbors
- Offers attractive public space
- Preserves mature trees

A. Multifamily residential housing (taken from The Enclave across Wattles) with a tree buffer separating neighboring residents.

B. Higher density rental housing (taken from The Phoenix apartments at Big Beaver and John R).

C. The existing commercial building which could be rebuilt to offer more attractive windowed shops/restaurants with the option to add more rental units above.

D. Preserved mature greenspace with some public amenities like a pavilion and playground that could be shared by both existing and new members to the community.

We can do better than what is proposed and we can/should work together to realize the vision of what the Neighborhood Nodes were created for.

Thank you for time and consideration,  
Pete Wilkins  
3905 Wayfarer Dr.



**From:** [Chandru Boopalam](#)  
**To:** [Planning](#)  
**Subject:** Comments/Concerns  
**Date:** Tuesday, May 28, 2024 6:27:31 PM

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**To:** Planning Commission - City of Troy

**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)

Dear Members of Troy City Planning Commission,

I hope this letter finds you well. I am writing to express my concerns regarding the proposed development of new apartments adjacent to our neighborhood. I, along with many of our fellow neighborhood residents, have reservations about the potential impact this development could have on our community regarding privacy, safety and other areas.

I kindly request the planning commission board for a formal hearing to express my concerns.

Thank you for your attention to this urgent matter and look forward to a quick response.

Sincerely,

C.Boopalam  
3894 Sandpiper Dr  
Troy,MI 48083

**From:** [drlemu.misc@gmail.com](mailto:drlemu.misc@gmail.com)  
**To:** [Planning](#)  
**Subject:** RE: Apartment Complex Planned for Wattles at John R  
**Date:** Tuesday, May 28, 2024 7:22:51 PM

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Greetings,

I have just become aware of planned apartment complex at Wattles and John R. I live directly across from the proposed complex (the Enclave of Troy) and would be very concerned about traffic (with such high resident density for small area) and the detrimental effect of a large Apartment complex in an established area of single-family dwellings/condos. A traffic signal would be needed at our exit (Summerfield Dr) onto Wattles – and this is a large pickup spot for school children. Please stick to the original plans of homes/condos for this site (much reduced traffic), apartments do not fit/enhance the area in anyway. Please vote AGAINST this proposal.

Thank you,  
David Lemieux  
2051 Applewood Dr

**From:** [Kelly Martin](#)  
**To:** [Planning](#)  
**Subject:** Kelly Martin - resident on Fairfax, Wattles Square  
**Date:** Tuesday, May 28, 2024 4:35:36 PM

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Dear Planning Commission:

I regret I cannot be there in person tonight, but I would like to email my thoughts to you regarding the Neighborhood Node at Wattles and John R. I've looked over the packet on the city of Troy website and I'm very much against this development. Not against the Nodes in general, but this one does not fit the criteria in any way.

Definition from the Troy Website: **Neighborhood nodes are major intersections with shopping, housing, and services for nearby neighborhoods.**

There is nothing in the plans of developing shopping, services, and social meeting areas within the intersection. **This is a plan for a developer to simply build apartments.** As a matter of fact, there's a plaza that sits right in front of the development that sits empty.

In addition, our traffic is already heavy trying to attempt a left out of the neighborhood, I would love to see a traffic study conducted on John R as well as Wattles, as we could have another complex built just north of Kroger.

Appreciate your time,  
Kelly Martin

**From:** [Leonard Stesney](#)  
**To:** [Planning](#)  
**Subject:** Apartment complex at Wattles and John Road  
**Date:** Monday, May 27, 2024 8:42:38 PM

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We oppose the proposed complex at Wattles and John R. There is so much traffic during the morning and afternoon that it makes it very difficult to leave the Mt Vernon sub. We are also concerned about the developers interest in the empty rite aide bldg.  
Leonard and Cheryl Stesney 4089 Colonial Blvd 2492406284

[Sent from Yahoo Mail for iPh](#)

**From:** [Estates of Willowbrook HOA](#)  
**To:** [Planning](#)  
**Subject:** Concerns Over "Wattles Square Apartments" Proposal  
**Date:** Monday, May 27, 2024 6:25:32 PM  
**Attachments:** [Letter to City of Troy Planning Commisison.pdf](#)  
[signatures.pdf](#)

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Hello there,

Some of us represented on the open agenda on 05/14 expressing our concerns regarding the proposed Wattles Square Apartments South side of Wattles and east of John R (PIN 88-20-24-100-039).

Please find the attached formal submission of concerns/issues w.r.t the proposal and the signatures of all the residents of the community who unanimously reject the proposal. Please provide us an opportunity to discuss this and call for public hearing on this matter before it is too late.

Thank you for your attention to this matter

Estates of Willowbrook HOA

From: [JS Sharland](#)  
To: [Planning](#)  
Subject: Proposed Apartment Complex at Wattles & John R  
Date: Friday, May 24, 2024 6:44:46 PM

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Dear Commissioners.....

My wife & I have lived @ 3921 Wayfarer Drive for the past 35 years. We survived (under protest) your decision to allow Mondrian Properties to literally 'clear cut' the wooded lots between John R and Wayfarer Drive and construct a 'Site Condo Development' (the Estates of Willowbrook) featuring 3000 ft<sup>2</sup> homes that are 30 feet apart with 40 foot backyards, one of which abuts my property. That said, they are well built, higher end properties that will ultimately enhance the value of our home....so we took one for the team.

(note: we're also enduring significantly more traffic on Wayfarer Drive as you approved providing access to Wayfarer Drive from Macaw Drive in the Estates of Willowbrook development. FYI...most EoW residents cut thru the Wattle Square Sub rather than go thru the traffic light on Wattles & John R)

You are now considering approval of a plan to (again) clear cut a small wooded parcel very near my home and shoehorn a 54 unit apartment complex between Wattles Square Sub and the recently closed RITE AID. The notion that this site/property is zoned NN:B and/or the developer could argue that this proposed complex meets/exceeds any of the rather lofty *Neighborhood Nodes District* zoning goals delineated in the *2008 City of Troy Master Plan* (e.g. serve the basic needs of the community, acts as a 21st century village center, protect & cultivate a high quality of life, will not visually overpower transitional or residential areas etc.etc) is self-serving rhetoric of the highest order. It simply doesn't. Further, it will negatively impact the current/future value(s) of the adjoining properties in both the Wattles Square and Estates of Willowbrook Subs.

**PLEASE REJECT THIS PROPOSED DEVELOPMENT!**

In closing, I have lived half of my life in my current home here in Troy. It's a great city. Our City leadership has been outstanding thru the years. I support the City and our leadership's vision(s) for our future.

**That said, IF the Planning Commission feels compelled to accept/approve this proposal, I will (grudgingly..LoL) support your decision with one caveat that I feel BETTER SERVES our citizenry & Troy's future:**

**Please mandate that the proposed development be apartments for SENIORS ONLY (as in 55+).**

**At present, there is woefully inadequate access to housing in Troy for this growing, voting and tax paying social demographic (aka Baby Boomers like us!)**

As always.....thanks in advance for your support and consideration.

James & Susan Sharland  
3921 Wayfarer Drive,  
Troy, MI 48083  
email: [jssharland001@gmail.com](mailto:jssharland001@gmail.com)

**From:** [Brenda Lewis](#)  
**To:** [Planning](#)  
**Subject:** Proposed apartment complex, Wattles and John R Rd  
**Date:** Monday, May 27, 2024 5:12:40 PM

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Dear planning department,

I live in Troy at the Enclave of Troy at Wattles and John R.

I've been informed through people in my immediate neighborhood that two buildings with a total of 54 apartments may be built in the area of the former Rite Aid at Wattles and John R.

I can't imagine that many residences in such a small space. The traffic would be pretty horrendous if it achieved full occupancy. The traffic is already very heavy on John R and people like me with the back of our condo next to John R hear heavy, noisy traffic all day long. I already avoid sitting on my deck during morning and evening rush-hour because of the fumes and noise. If I sit out there with friends during that time, we have to shout to make ourselves heard!

Please consider how squeezing so many people in such a small space will negatively affect the quality of life in that area of Troy. I'm extremely disappointed to hear what might happen here and I plan to continue to do everything I can to stop it from negatively changing our little neighborhood.

Thank you for listening and for your service on the planning commission. Please consider my thoughts on this matter.

Sincerely, Brenda Lewis

Sent from my iPhone



**From:** [Fred Przybysz](#)  
**To:** [Planning](#)  
**Subject:** Wattles and John R proposed development  
**Date:** Friday, May 24, 2024 8:50:56 PM

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Dear planning commission,

My name is Fred Przybysz and I would like to express my opinion on a proposed development at Wattles and John R.

I believe the proposed building of 54 apartment units on just a little over 2 acres is totally inappropriate. Originally there was a proposal to build 6 family single homes on this parcel. Going from 6 family homes to 54 apartment units will only cause overcrowding, noise, and egress problems.

When I moved to Troy 35 years ago it was claimed to be the place for families to move to.

It seems we have gotten away from that scenario in recent years.

This property could definitely have single family homes built upon.

Companies like Mondrian have certainly shown that capability.

I urge you to vote no on this proposal.

Furthermore, my neighbors and I will be attending the commission meeting on Tuesday, May 28.

Sincerely,

Fred Przybysz

3842 Wayfarer Dr, Troy, MI 48083

**From:** [Yelder-Beard, Karen](#)  
**To:** [Planning](#)  
**Subject:** Proposed apartment complex at Wattles and John R  
**Date:** Tuesday, May 28, 2024 10:54:19 AM  
**Attachments:** [Outlook-ji5ahazt.png](#)

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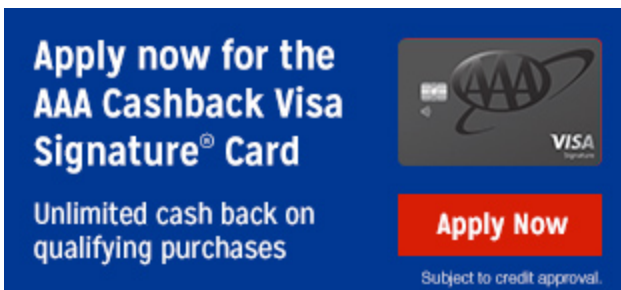
Troy Planning Committee<

I am expressing my opposition to the proposed apartment complex at Wattles and John R. Among many concerns, the development does not respect the adjacent neighborhoods or protect and cultivate a high quality of life in Troy. I am also very concerned about traffic congestion, privacy and safety of our community.

I thank you for your consideration.

*Karen Beard*  
**Agency Owner**

**Karen Yelder-Beard Insurance Agency**  
**901 E Auburn Rd**  
**Rochester Hills, mi 48307**  
**248-853-7005**  
**kgbeard@acg.aaa.com**



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**From:** [Krystal Abiaad](#)  
**To:** [Planning](#)  
**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)  
**Date:** Friday, June 21, 2024 11:28:47 PM

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Dear Planning Commission,

I hope this message finds you well. I am writing to express my deep concern and strong opposition to the proposed development of a new apartment complex behind my home on Wattles Road. This project, if approved, will have significant negative impacts on the local community and environment, which I believe have not been fully considered.

Firstly, the removal of the green space and mature trees that have been a part of this area for many years is deeply troubling. These trees provide essential shade and privacy, contributing to the quality of life and natural beauty of our neighborhood. Their destruction would not only diminish the aesthetic and environmental value of our community but also impact the local wildlife that depends on this habitat.

Secondly, Wattles Road is already a heavily congested one-lane road in each direction. Introducing a large apartment complex will exacerbate the traffic situation, leading to severe congestion and potential safety hazards for both residents and commuters. The existing infrastructure is not equipped to handle the increased traffic volume that this development will inevitably bring.

Moreover, the privacy of the adjacent neighborhoods is at serious risk. The proposed development would lead to a significant invasion of privacy for the current residents, disrupting the peaceful and secluded nature of our community. The planning commission's decision appears to overlook the adverse effects on the surrounding neighborhoods, focusing solely on the immediate benefits of the development.

In light of these concerns, I urge the planning commission to reconsider the approval of this apartment complex. It is crucial to take into account the long-term impacts on traffic, privacy, and environmental sustainability. I respectfully request that alternative solutions be explored that would better serve the interests of the entire community without compromising our quality of life.

Thank you for your attention to this matter. I look forward to your response and hope that our concerns will be given the consideration they deserve.

Sincerely,

Krystal Touma  
2026 Osprey Dr  
Troy, MI 48083



ESTATES OF WILLOWBROOK SUBDIVISION OWNERS' ASSOCIATION (EWB)

2008 OSPREY

TROY MI 48083

**To:** Planning Commission - City of Troy

**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)

Dear Members of Troy City Planning Commission,

We are writing on behalf of the Estates of Willowbrook Homeowners Association to express our collective opposition to the proposed construction of an apartment complex adjacent to our subdivision. Our community, consisting of 28 homes, has serious concerns regarding this development, and we urge the City Council/ City Planning Commission to reconsider the approval of this project.

Our primary concerns are as follows:

**Traffic Congestion and Safety:** The introduction of a high-density apartment complex will significantly increase traffic in our area. The roads surrounding the Estates of Willowbrook, particularly the intersection of John R Road and Wattles, are not designed to handle the additional volume of vehicles. This increase in traffic poses a safety risk to our residents, especially children

who walk or bike to the nearby schools and parks. Additionally, the higher traffic volume increases the likelihood of accidents, which could endanger both residents and commuters.

**Impact on Property Values:** The construction of an apartment complex adjacent to our subdivision could negatively affect property values. Our residents have invested significantly in their homes, and the presence of an apartment complex may deter potential buyers who prefer a quieter, low-density neighborhood.

**Privacy and Safety:** The proximity of the proposed apartment complex to our homes raises significant privacy and safety concerns. The increased density and the height of the apartment buildings could lead to a loss of privacy for our residents, as apartment dwellers may have direct lines of sight into our homes and yards. Moreover, the influx of a large number of new residents, some of whom may not be familiar with our community, could potentially increase the risk of crime and other safety issues. Maintaining the privacy and security of our neighborhood is paramount for our residents. Additionally, the safety of our children is a major concern, as the increased population and traffic could pose greater risks to their well-being while playing outside or commuting to school.

**Environmental Concerns:** The proposed development site is home to several green spaces and mature trees that contribute to the ecological health and aesthetic appeal of our community. The construction of the apartment complex would likely result in the loss of these green spaces, negatively impacting local wildlife and the overall environment.

**Community Character and Quality of Life:** Our neighborhood is characterized by its single-family homes and close-knit community atmosphere. The introduction of a large apartment complex is inconsistent with the existing character of our neighborhood and could disrupt the sense of community that our residents value highly

**Potential Strain on Infrastructure and Services:** The addition of a large number of new residents may strain the existing infrastructure and public services, including water, sewage, and emergency services. There is concern that our current infrastructure may not be equipped to support such a significant increase in population, which could lead to reduced service quality and increased response times for emergency services.

We understand the need for housing development and support responsible growth within Troy. However, we believe that this particular project is not suitable for the proposed location adjacent to the Estates of Willowbrook.

We appreciate your attention to our concerns and hope that the Planning Commission/City Council will take them into account when making a decision on this matter. We are willing to engage in further discussions and provide any additional information that may be required.

As stakeholders in our community, it is vital that our voices are heard, and our concerns are taken into account during the decision-making process. We request the Planning Commission/City Council board for a formal hearing to express our concerns.


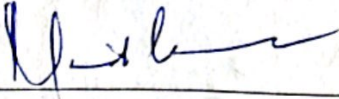
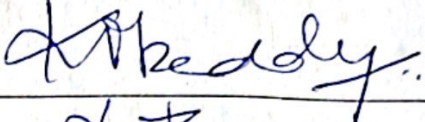
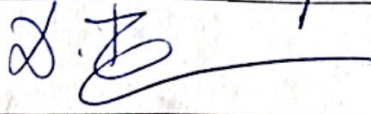
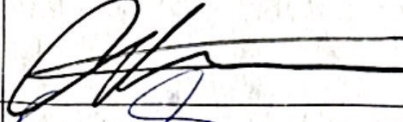
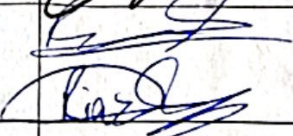

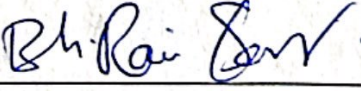
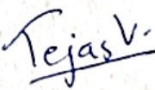

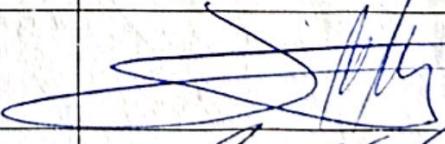
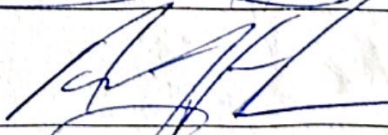

Thank you for your time and consideration.

Sincerely,

**ESTATE OF WILLOWBROOK OWNERS ASSOCIATION**

[ewbhoa2020@gmail.com](mailto:ewbhoa2020@gmail.com)

Address	Name	Signature
2018 Osprey Drive	Toni Martinovski	Toni Martinovski
2026 Osprey Drive	KHystal Touma	KHystal Touma
2034 Osprey Drive	David A. Hopcroft	David A. Hopcroft
3923 Macaw Drive	VINOD R NATLA	Vinod R Natla
3931 Macaw Drive	Mahesh Patil	Mahesh Patil
3939 Macaw Drive	HUMBERTO GONZALEZ	Humberto Gonzalez
3938 Macaw Drive	RACHEL WU	Rachel Wu
3930 Macaw Drive	Anuratha Battula	NA
3922 Macaw Drive	ESTHER QUAN	Esther Quan
3914 Macaw Drive	KRISHNA GUDUGUNTA	Krishna Gudugunta
3906 Macaw Drive	Arun Parthasarathy	Arun Parthasarathy
3898 Macaw Drive	MANJUNATH CHIKKANNA	Manjunath Chikkanna
3890 Macaw Drive	Lei Zhang	Lei Zhang
3879 Macaw Drive	Keerthi Grandhapaneni	Keerthi Grandhapaneni

Address	Name	Signature
3887 Macaw Drive	Gautham Seshadri	
3895 Macaw Drive	MANISH CHANDRA	
3903 Macaw Drive	Maheshwar Kashamolla	
3911 Macaw Drive	RAJAGOPALAN DURAIRAJAN	
3910 Sandpiper Drive	Carlos Ramirez	
3902 Sandpiper Drive	Saleem, Bilal Riaz, Sara	
3894 Sandpiper Drive	Chandrashekar Boopalam	
3886 Sandpiper Drive	RAVI BHAMIDIPATI	
3878 Sandpiper Drive	Tejas Varunjikar	
3877 Sandpiper Drive	Kalpana Pandey	
3885 Sandpiper Drive	Thiago Podolsky	
3893 Sandpiper Drive	Anthony HAMANE	
3901 Sandpiper Drive	Mohit Wadhwa	
3909 Sandpiper Drive		



Address	Name	Signature
2018 Osprey Drive	Toni martinovski	Toni Martin
2026 Osprey Drive	Chris Toumu	Chris Toumu
2034 Osprey Drive	KARIN L. HOPCROFT	Karin Hopcroft
3923 Macaw Drive	SRIVIDYA BELLIDIGA	Sridya
3931 Macaw Drive	S.R. Bann Sharanamma Bann	S.R. Bann
3939 Macaw Drive		
3938 Macaw Drive	Jing B zheng	Jing B zheng
3930 Macaw Drive	HARIBABU BATTULA A	B. Haribabu
3922 Macaw Drive	SONNY QUAN	Sonny Quan
3914 Macaw Drive	SUSHMA GUDUGUNTLA	Sushma Guduguntla
3906 Macaw Drive	ManasaIday	Manasa Id
3898 Macaw Drive	Kavya Chalaih	Kavya Chalaih
3890 Macaw Drive	Brendan Pan.	Brendan Pan
3879 Macaw Drive	Sandeep Puligadda	Sandeep

Address	Name	Signature
3887 Macaw Drive	Vidhya	
3895 Macaw Drive	Manisha Sharan	Manisha
3903 Macaw Drive	Kiranmaye Ahluwalia	Ahluwalia
3911 Macaw Drive	SANDHURI KESAVA	Sandhuri
3910 Sandpiper Drive		
3902 Sandpiper Drive	Zaria Saleem	Zaria
3894 Sandpiper Drive	Vasudha Boopalam	Vasudha B
3886 Sandpiper Drive	Udaya Bhamidipati	Udaya
3878 Sandpiper Drive	Aditi Andurkar	Aditi A.
3877 Sandpiper Drive	AMIT PANDEY	Amit Pandey
3885 Sandpiper Drive	FABIDA Podolsky	Fabida
3893 Sandpiper Drive	NATALIE DEEB	Natalie Deeb
3901 Sandpiper Drive	Gurnoor Kaur	Gurnoor Kaur
3909 Sandpiper Drive		