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PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Marianna Perakis, Chair, Lakshmi Malalahalli, Vice Chair
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,
Dave Lambert and John J. Tagle

September 10, 2024

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – August 27, 2024
4. PUBLIC COMMENT – For Items Not on the Agenda

PLANNED UNIT DEVELOPMENT

5. PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

PRELIMINARY SITE PLAN REVIEW

6. PRELIMINARY SITE PLAN REVIEW (SP JPLN2024-0023) – Proposed Somerset Park Apartments Administration and Learning Center and New Golf Cart Storage Garage, East of Coolidge, south of Big Beaver (2401 Golfview John R; PIN 88-20-29-176-002), Section 29, Currently Zoned MF (Multiple Family) Zoning District

OTHER ITEMS

7. PUBLIC COMMENT – For Items on the Agenda
8. PLANNING COMMISSION COMMENT
9. ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on August 27, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Absent:

- Toby Buechner

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- R. Brent Savidant, Community Development Director
- Julie Quinlan Dufrane, Assistant City Attorney
- Salim Huerta, Jr., Commercial Project Collaborator
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2024-08-051

- Moved by: Fox
- Support by: Faison

RESOLVED, To approve the agenda as prepared.

- Yes: All present (8)
- Absent: Buechner

MOTION CARRIED

3. APPROVAL OF MINUTES – August 13, 2024

Resolution # PC-2024-08-052

- Moved by: Lambert
- Support by: Malalahalli

RESOLVED, To approve the minutes of August 13, 2024 Regular meeting as submitted.

Yes: All present (8)
Absent: Buechner

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

CONDITIONAL REZONING

5. PUBLIC HEARING - CONDITIONAL REZONING (CR JPLN2024-001) – Proposed Bachard Lofts Conditional Rezoning, North side of Maple, West side of Stephenson (1441 E. Maple; PIN 88-20-26-351-016), Section 26, From O (Office) to IB (Integrated Industrial & Business) District

Mr. Carlisle reviewed the proposed Bachard Lofts Conditional Rezoning application. He said repurposing and reinvesting in an existing building advance the goals of the Master Plan. Mr. Carlisle addressed voluntary conditions offered by the applicant and the “Offer of Conditional Rezoning” letter dated August 2, 2024 received in the application submittal.

Mr. Carlisle reported rezoning the property to IB would create a non-conformity as relates to parking. He said there are options the applicant could pursue to rectify the non-conformity. Mr. Carlisle said building permits are all that is required if the applicant converts only the upper floors to residential, but a site plan application would be required should the applicant make any site improvements to the property.

Mr. Carlisle asked the Planning Commission to hold a public hearing, consider public testimony, consider in its deliberations if the application meets the Standards of Section 16.03 of the Zoning Ordinance and make a recommendation to the City Council.

Present were Attorney Dennis Cowan of Plunkett Cooney and Dalen Hanna, principle of Blackacre Management LLC.

Mr. Cowan addressed the applicant’s intent for mixed use on the first floor and up to 38 residential units on the second and third floors. He said the footprint of the building would remain the same, and there is sufficient parking for the retail mixed use. Mr. Cowan said they just recently became aware of the non-conformity situation related to parking.

Mr. Hanna shared information on similar development projects in Southfield and Madison Heights. He addressed potential mixed uses, layout of residential units and reskinning of the building façade.

Some comments during discussion related to the following:

- Options to rectify parking non-conformity.
- Reskinning/resurfacing building façade.
- Prohibiting uses relating to automotive, transportation and miscellaneous categories.
- Potential light pollution; photometric plan submitted at permitting process.

The applicants asked for some time to consider how to address the non-conformity.

PUBLIC HEARING OPENED

There was no one present who wished to speak.

PUBLIC HEARING CLOSED

Discussion continued among the administration and Board members on:

- Parking non-conformity along Stephenson Highway and Maple Road.
- Options to rectify the non-conformity;
 - Seek relief from Sustainable Design Review Committee.
 - Seek variance from Zoning Board of Appeals.
 - Eliminate all parking on the site plan.

Mr. Cowan addressed the Board members. He said the applicant is offering to include in the Conditional Rezoning Agreement to (1) either change the site plan to eliminate the non-conformity or seek relief from the Sustainable Design Review Committee, (2) prohibit automotive and transportations uses, and (3) work with the City Attorney on minor miscellaneous uses that might be desirable.

Discussion continued whether to accept the voluntary conditions as verbally presented or request that the applicant come back before the Board at a subsequent meeting with the conditions in writing.

Resolution # PC-2024-08-

Moved by: Fox
 Seconded by: Krent

RESOLVED, That the Planning Commission hereby recommends to the City Council that the O to IB Conditional Rezoning Request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the North side of Maple and West side of Stephenson (1441 E. Maple), within Section 26, being approximately 1.82 acres in size, be GRANTED, for the following reasons:

1. The request complies with the Master Plan.
2. The rezoning would permit greater flexibility in use and development of the property.
3. The conditions offered by the applicant reasonably protect the adjacent properties.
4. The rezoning would be compatible with surrounding zoning and land use.
5. The site can be adequately served with municipal water and sewer.

BE IT FURTHER RESOLVED, That the Planning Commission recommends the following site plan design considerations:

1. Provide Conditional Rezoning Agreement prior to City Council consideration that includes the additional conditions of banning automotive and transportation base uses and the intent to reduce or eliminate the non-conformity that would be created by the rezoning, as offered by the applicant.

Discussion on the motion on the floor.

There was discussion on the interpretation of the conditions verbally cited by the applicant, as relates to reducing or eliminating the non-conformity.

Vote on the motion as revised.

Resolution # PC-2024-08-053

Moved by: Fox

Seconded by: Krent

RESOLVED, That the Planning Commission hereby recommends to the City Council that the O to IB Conditional Rezoning Request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the North side of Maple and West side of Stephenson (1441 E. Maple), within Section 26, being approximately 1.82 acres in size, be **GRANTED**, for the following reasons:

1. The request complies with the Master Plan.
2. The rezoning would permit greater flexibility in use and development of the property.
3. The conditions offered by the applicant reasonably protect the adjacent properties.
4. The rezoning would be compatible with surrounding zoning and land use.
5. The site can be adequately served with municipal water and sewer.

BE IT FURTHER RESOLVED, That the Planning Commission recommends the following site plan design considerations:

1. Provide Conditional Rezoning Agreement prior to City Council consideration that includes the additional condition of banning automotive and transportation base uses and the intent to eliminate the non-conformity that would be created by the rezoning by either changing the site plan or seeking relief from the Sustainable Design Review Committee.

Yes: Faison, Fox, Krent, Lambert, Malalahalli, Perakis, Tagle

No: Hutson

Absent: Buechner

MOTION CARRIED

Mr. Carlisle exited the meeting at 8:10 p.m.

SPECIAL USE APPROVALS

- 6. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-0025) – Proposed Adult Foster Care Small Group Home (Up to 10 Residents), West side of John R, South side of Abbotsford (5589 John R; PIN 88-20-12-152-003), Section 12, Currently Zoned R-1C (One Family Residential) Zoning District

Mr. Savidant reviewed the proposed Adult Foster Care Small Group Home application. He presented an overview of an adult foster care facility as defined in the Zoning Ordinance, State regulations and the applicant’s request to add four additional bedrooms for a total of ten (10) residents.

In summary, Mr. Savidant asked the Board to consider the application per Section 15.06 of the Zoning Ordinance, hold a public hearing and provide feedback to the applicant. He said the applicant would be seeking a variance from the Zoning Board of Appeals (ZBA) for relief from the density standards of Section 6.02.B.2 to provide a home for a total of ten (10) residents. Mr. Savidant said the Planning Commission would take appropriate action on the Special Use application following ZBA action.

Some Board members shared personal experiences in seeking special care for their loved ones and expressed support of small group homes that offer adult foster care.

Teresa Sandoval was present. Ms. Sandoval addressed the number of years she has offered her services, State regulations, parking, and the special care she provides her residents. She shared a few personal experiences during her years of service.

PUBLIC HEARING OPENED

There was no one present who wished to speak.

PUBLIC HEARING CLOSED

Mr. Fox addressed the applicant with respect to the ZBA standards applied to an application seeking a variance from the Zoning Board of Appeals.

- 7. PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-0024) – Proposed Aston Martin Dealership, North side of Maplelawn, West of Crooks (1744 Maplelawn; PIN 88-20-29-401-017), Section 29, Currently Zoned IB (Integrated Industrial & Business) Zoning District

Mr. Huerta reviewed the Aston Martin Dealership application. He said the building has been vacant for a decade and that it was formerly used as a vehicle repair shop. Mr. Huerta addressed exterior building improvements, paved parking lot, enhanced landscaping, building design, increased transparency along the front façade and displayed a rendering. Mr. Huerta said the application is consistent with the Master Plan. He addressed specific Special Use Standards per Section 6.27 Vehicle Sales, New, Used and Vintage, and general Special Use Standards per Section 9.03, of the Zoning Ordinance.

Present were project architect Jonatan Davi and Gary Laundroche of LAG (LaFontaine Automotive Group) Development LLC. Mr. Davi and Mr. Laundroche addressed the building design and building materials.

There was discussion on:

- Building materials; specifically, EIFS (exterior insulation finishing system) and ACM (aluminum composite material).
- Prototype building design of Aston Martin dealerships.
- Majority of sales are internet-based.
- Special Use Standards.
- Site Plan Review Design Standards.

Mr. Savidant stated he did not require the applicant to submit a complete site plan application. He addressed the applicant’s reinvestment in a vacant building and encouraged the Board’s consideration in the use itself and the improvements to the existing building.

Mr. Huerta said the application would go through the administrative site plan review process.

PUBLIC HEARING OPENED

There was no one present who wished to speak.

PUBLIC HEARING CLOSED

Resolution # PC-2024-08-054

Moved by: Fox
 Seconded by: Lambert

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Aston Martin Dealership, North side of Mapelawn, West of Crooks (1744 Mapelawn, PIN 88-20-29-401-017), Section 29, Currently Zoned IB (Integrated Industrial & Business) District, be **GRANTED**, for the following reasons:

1. The proposed use is compatible with adjacent uses.
2. The proposed use is compatible with the Master Plan.
3. The proposed use does not negatively impact traffic or public services.
4. The proposed use complies with Zoning Ordinance standards.

BE IT FURTHER RESOLVED, That approval is subject to restricting the use of EIFS on the property.

Discussion on the motion on the floor.

Mr. Lambert addressed page 65 of the Agenda packet that references the proposed site improvements including bicycle parking, improved parking surface, landscaping improvements, and building improvements comply with the Special Use requirements per Sections 9.03, 6.27, and 6.24 of the Zoning Ordinance.

Vote on the motion on the floor.

Yes: All present (8)
Absent: Buechner

MOTION CARRIED

OTHER ITEMS

8. PUBLIC COMMENT – For Items on the Agenda

There was no one present who wished to speak.

9. PLANNING COMMISSION COMMENT

There were general Planning Commission comments.

10. ADJOURN

The Regular meeting of the Planning Commission adjourned at 9:06 p.m.

Respectfully submitted,

Marianna J. Perakis, Chair

Kathy L. Czarnecki, Recording Secretary

<https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2024/2024 08 27 Draft.docx>

ITEM #5

DATE: September 5, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan, North side of Big Beaver, East side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

The applicant Forbes Frankel Troy Ventures LLC seeks Conceptual Development Plan (CDP) approval for Somerset West Planned Unit Development (PUD). The project features a mixed-use project including up to 750 residential units, 500,000 square feet of office, 300,000 square feet of retail, a 250-room hotel and associated amenities and open space.

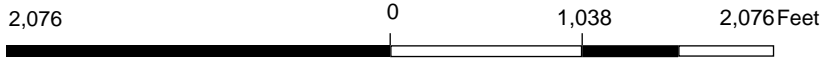
The Planning Commission is a recommending body for this application.

This is not a public hearing. The Planning Commission will not be taking any specific action on the application at this meeting. The meeting provides an opportunity for the applicant to introduce the concept to the Planning Commission and solicit feedback.

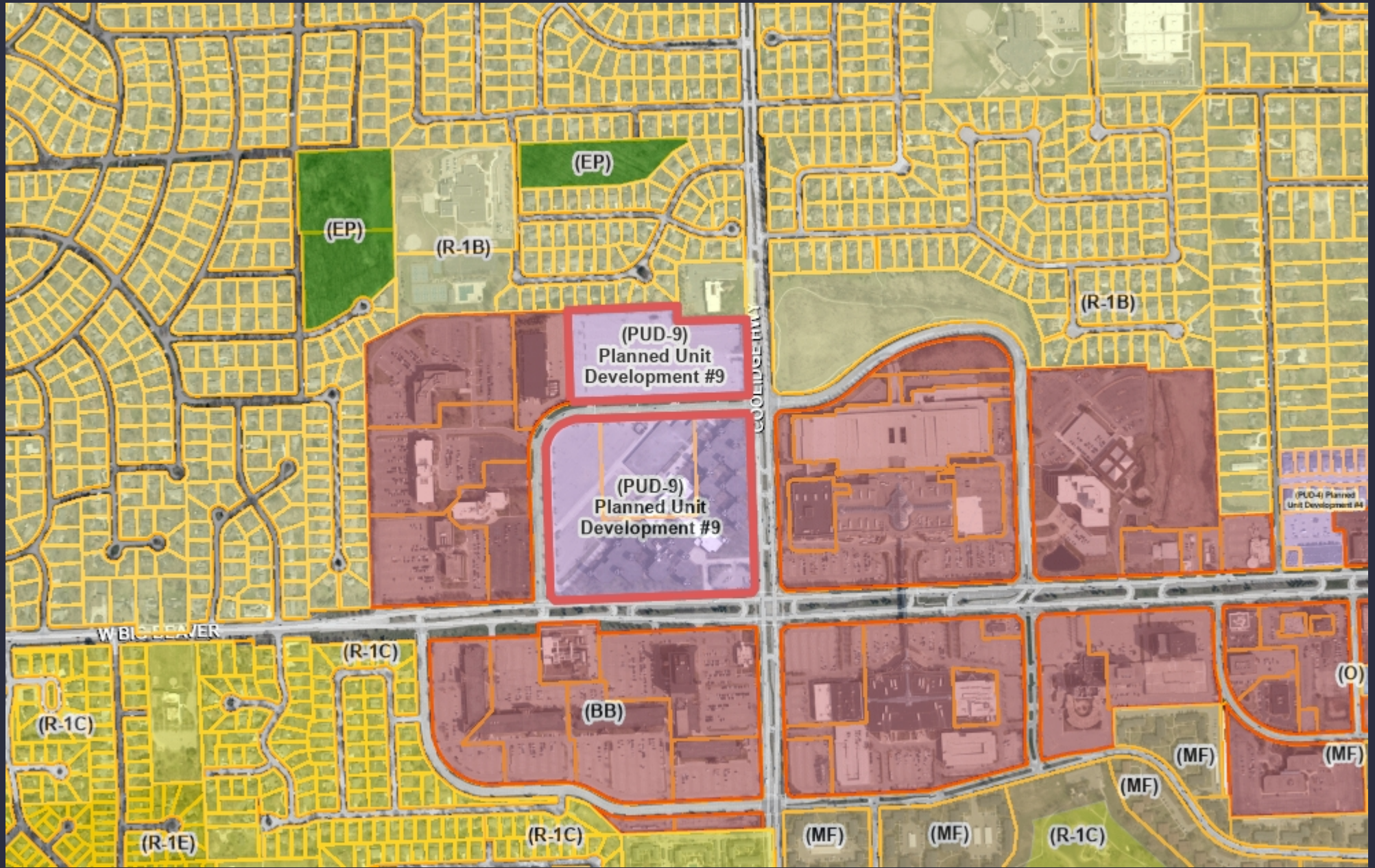
The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Concept Development Plan (draft)



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



2,076 0 1,038 2,076 Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

To: City of Troy Planning Commission
Brent Savident, AICP

From: Benjamin Carlisle, AICP
Richard K. Carlisle, FAICP

Date: September 3, 2024

Re: Somerset West PUD

The City has received an application from Forbes Frankel Troy Ventures LLC to redevelop the former K-Mart Headquarters Property. Both the building and parking lot have been removed, and there has also been a public announcement of the purchase of a portion of the site by the University of Michigan Health System to serve as an anchor.

The site is located at the NW corner of Big Beaver and Crooks and consists of three parcels, which total approximately four (40) acres in area. The site is bifurcated by Cunningham Drive, where twenty-eight acres (28) are south of Cunningham Drive at the northwest corner of Big Beaver and Coolidge, and twelve (12) acres are located north of Cunningham Drive.

The forty (40) acre subject site is currently zoned PUD (The Pavilions), and the applicant is seeking to amend the Concept Development Plan and the PUD Development Agreement. Section 11.09 Amendment states:

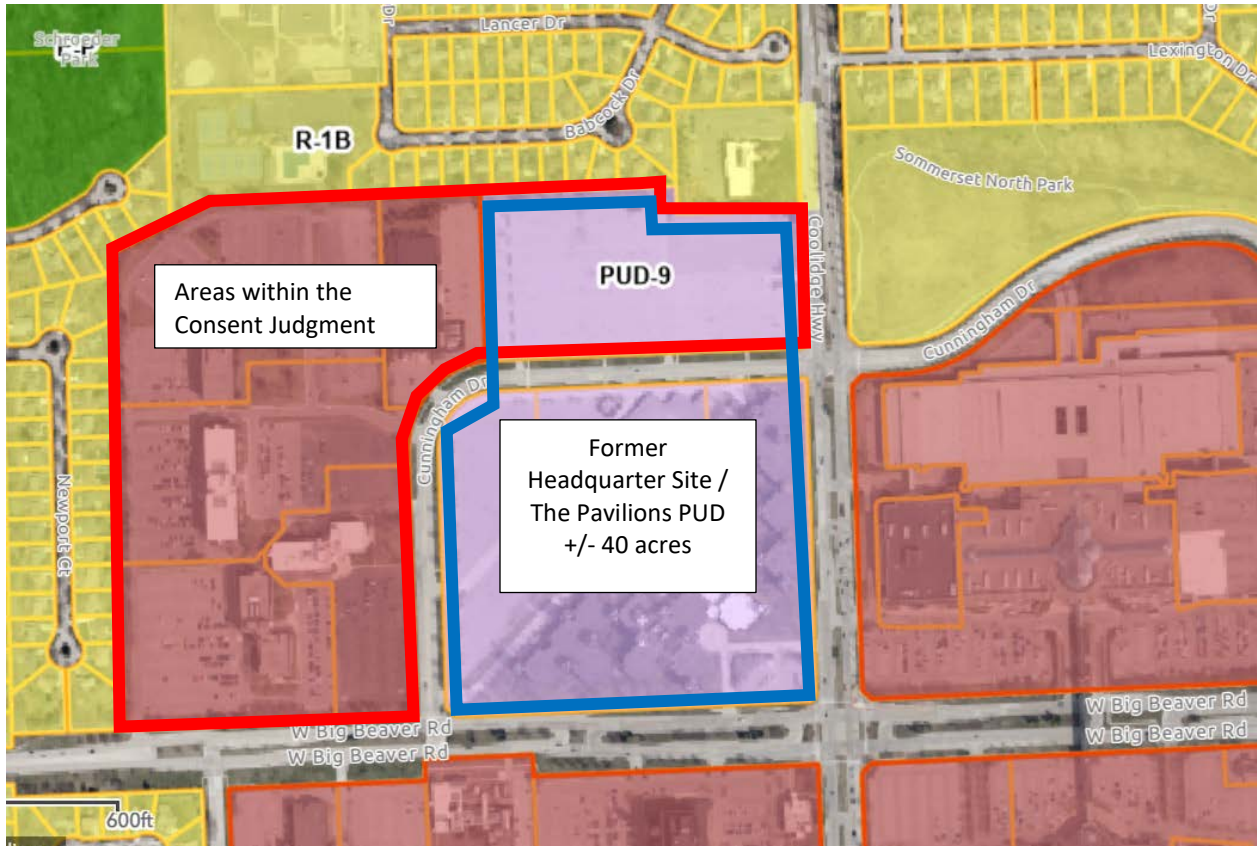
“Any proposed amendment of the Planning Unit Development which seeks to alter the intent, the conditions or terms of the Concept Development Plan as approved and/or the terms or conditions of Final Development Plan approval, shall be presented to and considered by the Planning Commission and the City Council at Public Hearings, following the procedures set forth for Concept Development Plan approval.”

Consent Judgment

A Consent Judgment originally entered in May of 1973 between Sheffield Development and the City of Troy that includes four (4) contiguous parcels (referred to as A, B, C, and D in the Consent Judgment) that total approximately one hundred-forty (140) acres. A portion of the 140 acres includes the 12-acre portion of the site north of Cunningham, but does not include the northwest corner parcel at Big Beaver and Coolidge of approximately twenty-eight (28) acres. To clarify,

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal*
Richard K. Carlisle, *Past President/Senior Principal*

while the entire 40-acres is controlled by PUD, the 12 acres north of Cunningham Drive is part of a larger Consent Judgement. The development of the former Headquarters site (area south of Cunningham) will not be affected by the Consent Judgement but will require amendment to the existing PUD. The development of the 12-acres north of Cunningham Drive will require an amendment to the Consent Judgement.

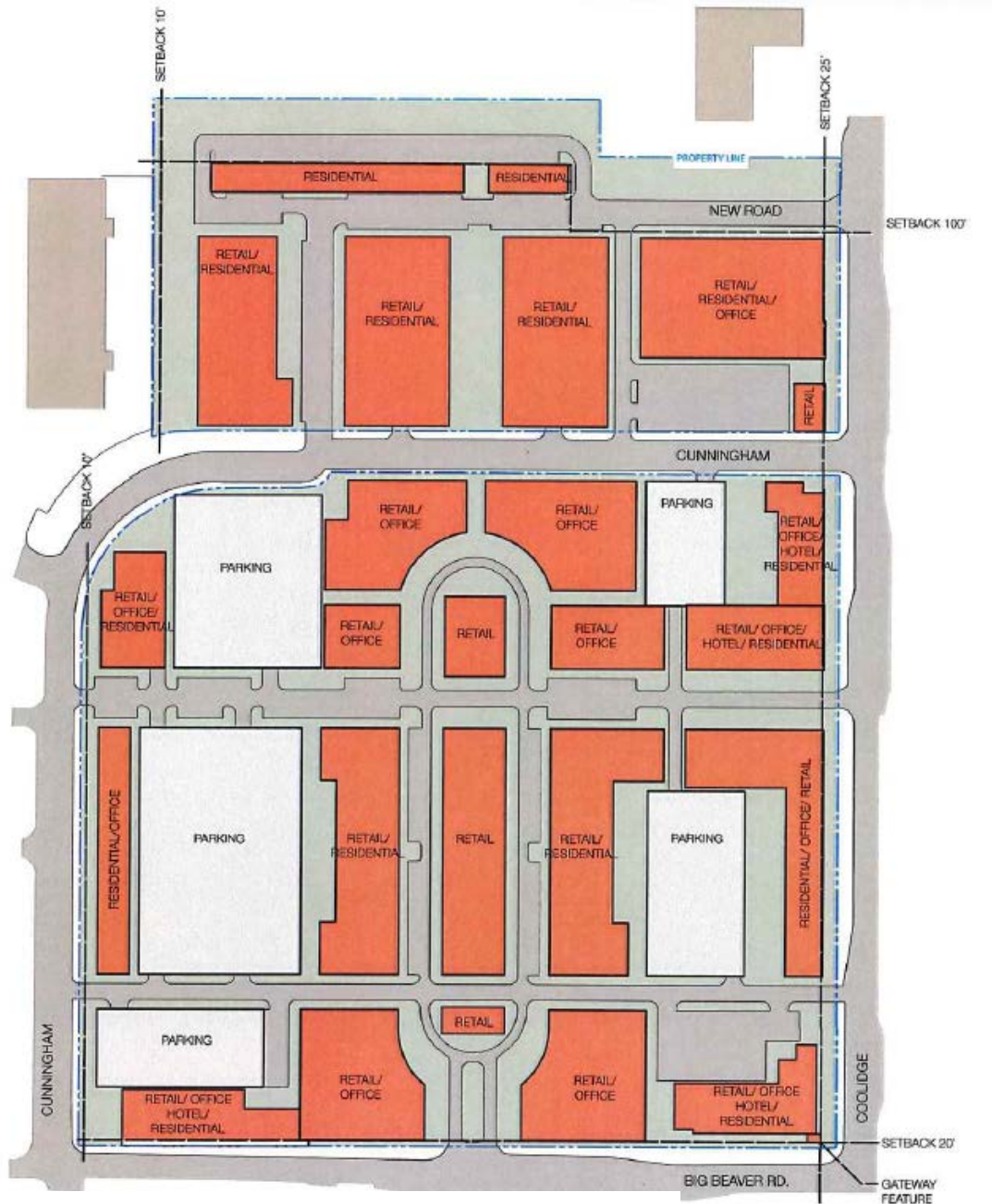


The Pavilions Planned Unit Development

On October 15, 2007, Troy City Council rezoned the site to PUD and granted Concept Development Plan (CDP) Approval for The Pavilions Planned Unit Development (PUD). The Pavilions CDP approval included all forty (40) acres. Approval of a PUD CDP establishes a general plan for development of the property, with more specific details spelled out in the Development Agreement. In the case of The Pavilions PUD, the Development Agreement included the following uses:

- 750 residential units including townhomes, multiple family buildings, lofts, and senior housing
- Office uses (300,000 square feet) including general, professional, medical, research and financial institutions
- Hotel (250 rooms)

- Retail (500,000 square feet) including general and specialty retail, full-service restaurants and bars, take-out restaurants, and fitness center.



Approved Pavilions Concept PUD Plan (2007)

Based upon the scope and parameters of development set forth in the Development Agreement, the specific site plan and design elements for either all or a portion of the site are proposed during Stage 2-Preliminary Development. However, The Pavilions PUD project never proceeded to Stage 2.

Approval of a CDP is valid for five (5) years unless an extension is requested and granted. In the case of the Pavilions, a request for extension was never requested and the current CDP has expired. Section 11.11 grants the City the authority to determine that a PUD CDP has been abandoned and may proceed to take all necessary steps to reclassify the property. However, the City of Troy did not make such a determination of abandonment and the property remains zoned PUD, but without an approved CDP or PUD Development Agreement.

Amending a PUD

The PUD zoning of the subject site is particularly relevant to the consideration of the current application. There are many elements of the previous Plan CDP and Development Agreement that remain relevant even as market conditions have changed considerably since 2007. Section 11.09 Amendments sets forth the procedure for an amendment of a PUD. Although Section 11.09 does not discuss or contemplate the circumstances when a PUD CDP and Development Agreement have expired, the amendment of a CDP follows the same procedures as approving an original application. These procedures will include conducting a public hearing prior to approving an amendment.

Process

The applicant is seeking to amend the PUD, which would include the following steps:

1. Step One: Conceptual Development Plan Approval. The first step shall be application for and approval of a Concept Development Plan, which requires a legislative enactment amending the zoning district map so as to reclassify the property as a Planned Unit Development. The applicant is seeking to amend the Concept Plan, which would include an amended Development Agreement.
2. Step Two: Preliminary Development Plan Approval. The second step of the review and approval process shall be the application for and approval of a Preliminary Development Plan (preliminary site plan) for the entire project, or for any one or more phases of the project. City Council shall have the final authority to approve and grant Preliminary Development Plan approvals, following a recommendation by the Planning Commission.
3. Step Three: Final Development Plan Approval. The third step of the review and approval process shall be the review and approval of a Final Development Plan (final site plan) for the entire project, or for any one or more phases of the project, and the issuance of building permits. Final Development Plans for Planned Unit Developments shall be submitted to the Zoning Administrator for administrative review.

The applicant seeks to amend the entire 40-acre PUD. As part of the process, the applicant has provided a concept plan for the 28-acre portion of the site. However, they are unable to provide

a concept plan for the 12-acre portion of the site as it is controlled by Consent Judgement. The applicant notes that they are working on amending the Consent Judgement, however there is no assurances when or if the Consent Judgement would ever be amended. Since the City is a party to the Consent Judgment, the City has control of an amended Consent Judgment.

The applicant desires to present the project to the Planning Commission and is seeking feedback prior to the submittal of a formal Conceptual Development Plan application.

Concept Plan

The applicant is proposing a mixed-use project with many similar elements of the Pavilions PUD. The most significant difference is the recent announcement that approximately 7.8 acres has been purchased by the University of Michigan Health System to build a multi-specialty medical facility. Although the exact size, scope and services offered has not been fully disclosed by the Michigan Health System, it is likely to be significant given the lack of similar UM health facilities in the region surrounding Troy. The UM health facility will serve as the anchor to the site development.

Proposed uses include:

- Medical facility building
- Two retail/ restaurants buildings (fronting on Big Beaver)
- Hotel/restaurant building
- Two (2) residential buildings
- Retail mixed use building
- Two (2) Retail/office/hotel/residential/parking mixed use buildings

Site amenities include:

- At-grade parking lots
- Two (2) parking decks
- Enhanced landscaping
- Plazas and siting areas
- Lighting
- Internal sidewalks and other pedestrian amenities

Height:

- Outside of renderings showing prospective heights, the applicant has not indicated proposed maximums heights.

Please note that traffic and parking for each phase will be reviewed during PDP stage.

Concept Plan:



Site Plan



SOMERSET WEST PUD CONCEPTUAL PRESENTATION THE FORBES COMPANY
ELKUS MANFREDI ARCHITECTS JULY 12, 2024

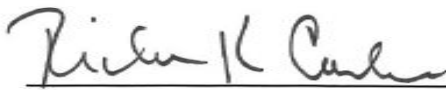
The Pavilions PUD Comparison

	Proposed Amended PUD	The Pavilion PUD
Uses	Office, Residential, Retail, and Hotel	Office (professional, medical, research, and financial), Residential (townhomes, multiple family, lofts, senior housing), Retail (general and specialty, restaurants and fitness center), and Hotel
Hotel Units	250	250
Residential Units	750	750
Retail sq.ft	300,000	500,000
Office sq.ft	500,000	300,000

Summary:

The applicant desires to present the project to the Planning Commission and is seeking feedback prior to the submittal of a formal application. As part of the review, the Planning Commission should consider the following questions:

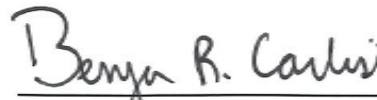
1. Overall does the Planning Commission support the overall Concept PUD?
2. Does the Planning Commission support the proposed mix of uses?
3. Does the Planning Commission support the proposed intensity and height?
4. Does the Planning Commission agree with the proposed precedents the applicant is applying for the site's architectural program?
5. Are there are additional amenities that the Planning Commission thinks that the applicant should consider?
6. Are there additional details that the Planning Commission desires to review as part of the formal Concept Plan submittal?



CARLISLE/WORTMAN ASSOC., INC

Richard K. Carlisle, FAICP

Past President/Senior Principal



CARLISLE/WORTMAN ASSOC., INC

Benjamin R. Carlisle, AICP, LEED AP

President

Somerset West

TROY, MICHIGAN

PUD CONCEPTUAL PRESENTATION

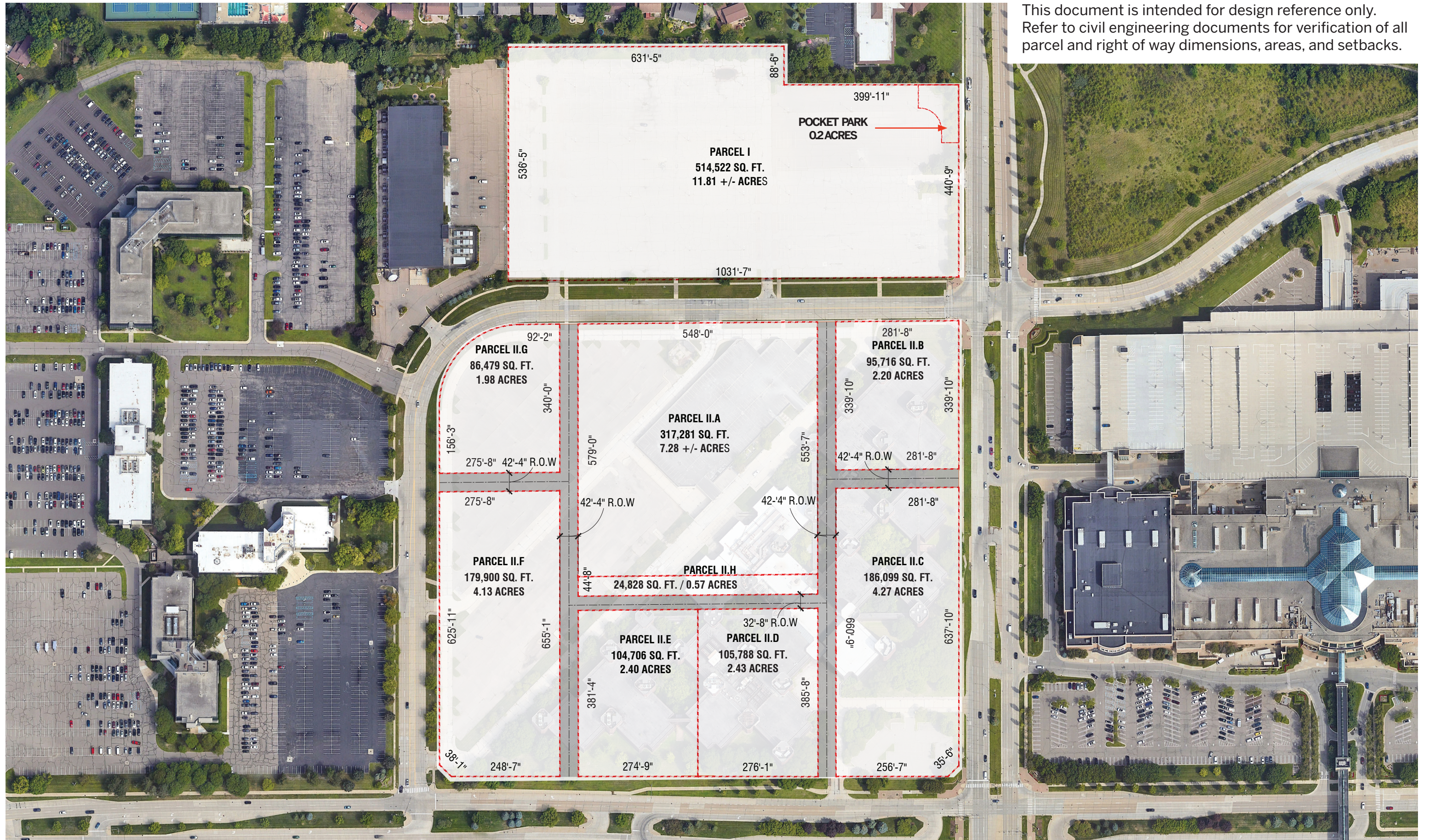
JULY 12, 2024 DRAFT

THE FORBES COMPANY

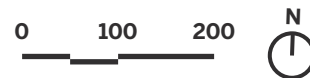
GRISSIM
METZ ASSOCIATES
ANDRIESE

ELKUS | MANFREDI
ARCHITECTS

This document is intended for design reference only.
Refer to civil engineering documents for verification of all
parcel and right of way dimensions, areas, and setbacks.



Parcel Plan



1 Big Beaver Landscape Corridor

2 Promenade/Restaurant Row

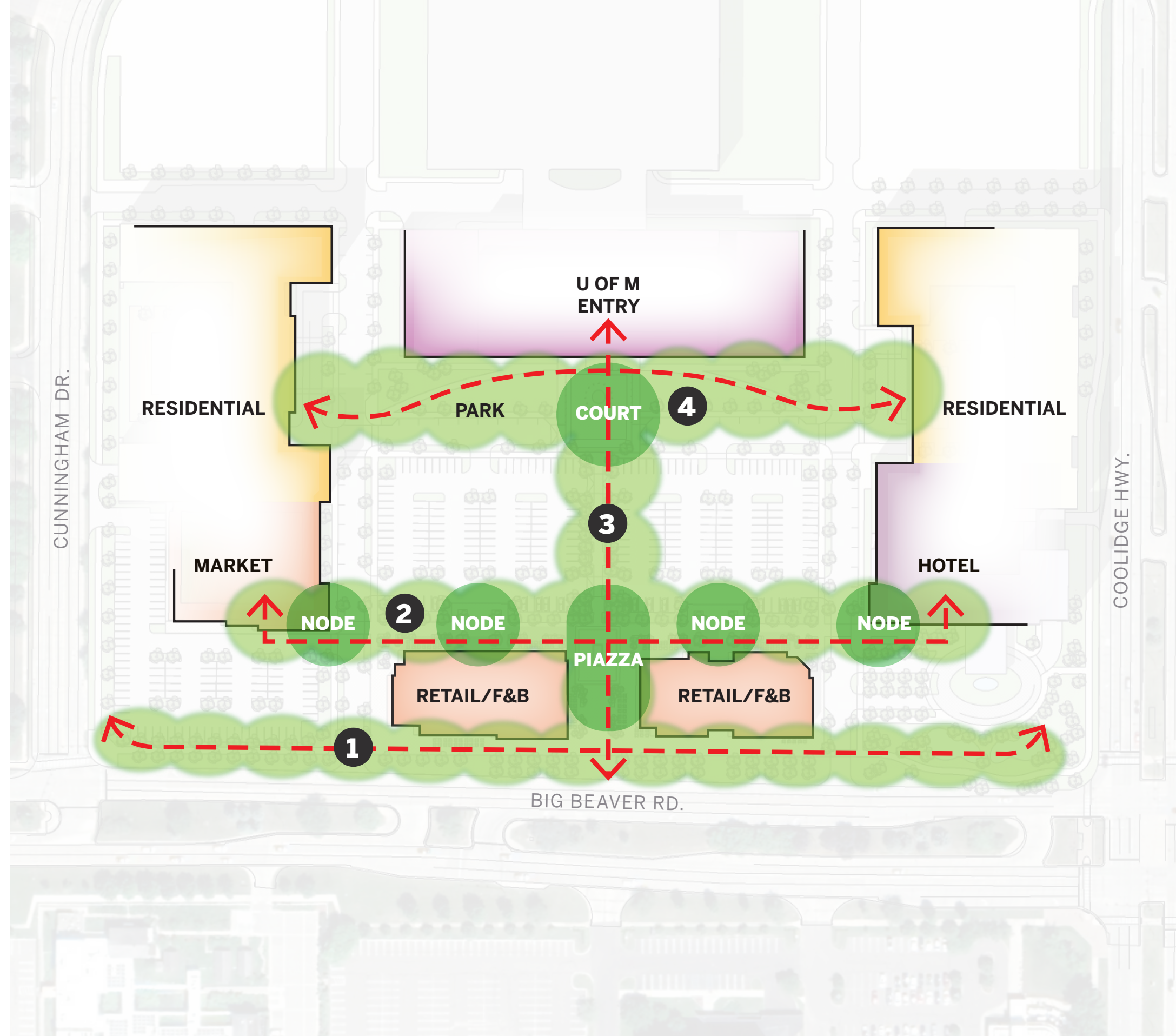
- East-west connection from market to hotel
- Intermediate landscaped nodes and center piazza

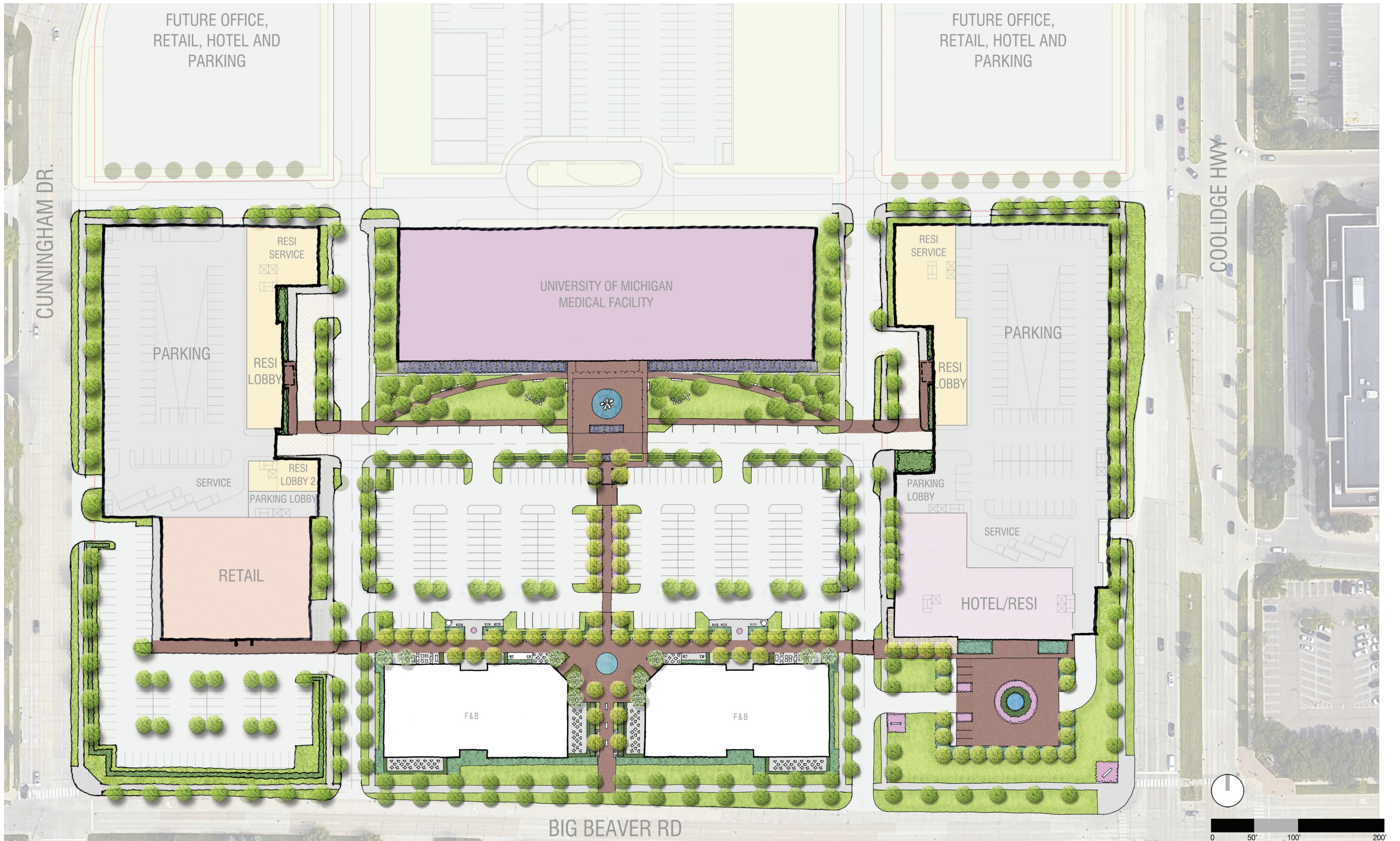
3 Center Pedestrian Spine

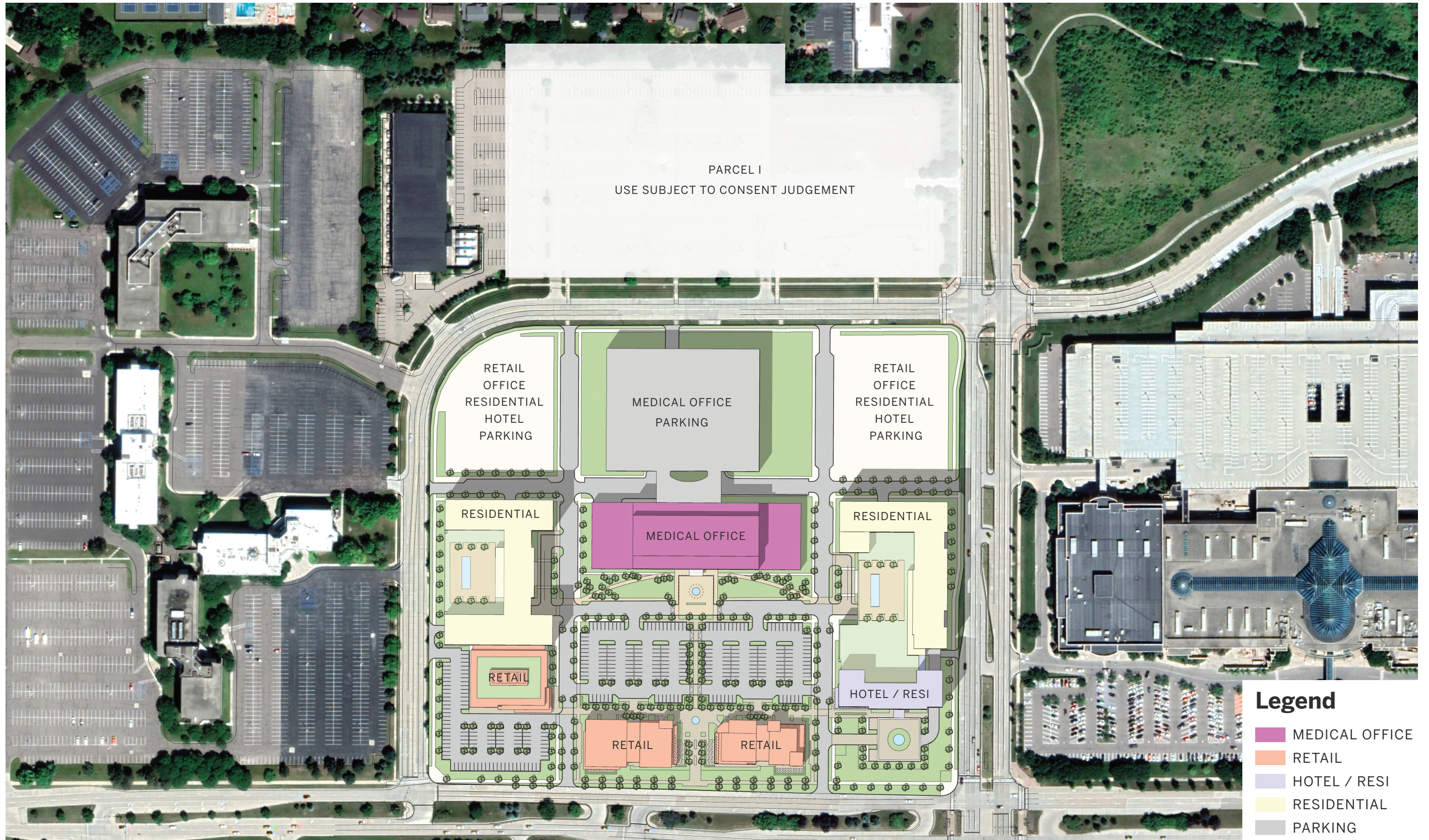
- North-south connection from piazza to U of M entry court

4 Central Park

- University of Michigan entry court and east/west residential connection







PARCEL I
USE SUBJECT TO CONSENT JUDGEMENT

RETAIL
OFFICE
RESIDENTIAL
HOTEL
PARKING

MEDICAL OFFICE
PARKING

RETAIL
OFFICE
RESIDENTIAL
HOTEL
PARKING

RESIDENTIAL

MEDICAL OFFICE

RESIDENTIAL

RETAIL

RETAIL

RETAIL

HOTEL / RESI

- Legend**
- MEDICAL OFFICE
 - RETAIL
 - HOTEL / RESI
 - RESIDENTIAL
 - PARKING



Overall View



Center Pedestrian Spine View



Center Pedestrian Spine View Close-Up



Piazza View



Central Park View



Precedents Promenade and Dining



Precedents Residential and Hotel





ITEM #6

DATE: September 5, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (SP JPLN2024-0023) – Proposed Somerset Park Apartments Administration and Learning Center and New Golf Cart Storage Garage, East of Coolidge, south of Big Beaver (2401 Golfview John R; PIN 88-20-29-176-002), Section 29, Currently Zoned MF (Multiple Family) Zoning District

The petitioner Somerset Apartments submitted the above referenced Preliminary Site Plan application for build a +/-21,000 square foot building. The building will replace an existing building and will include a new pro shop and leasing management center on the main level, and administration offices with training space on the second level. In addition, the applicant proposes 2,900 square foot golf car storage garage. The buildings will be served by a new 97-space parking lot. The Planning Commission is authorized to approve this Preliminary Site Plan.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (SP JPLN2024-0023) – Proposed Somerset Park Apartments Administration and Learning Center and New Golf Cart Storage Garage, East of Coolidge, south of Big Beaver (2401 Golfview John R; PIN 88-20-29-176-002), Section 29, Currently Zoned MF (Multiple Family) Zoning District

Resolution # PC-2024-09-

Moved by:

Support by:

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Somerset Park Apartments Administration and Learning Center and New Golf Cart Storage Garage, East of Coolidge, south of Big Beaver (2401 Golfview John R; PIN 88-20-29-176-002), Section 29, Currently Zoned MF (Multiple Family) Zoning District:

1. Provide bicycle parking.
2. Provide details of masonry knee wall.
3. Provide trash enclosure location and details.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

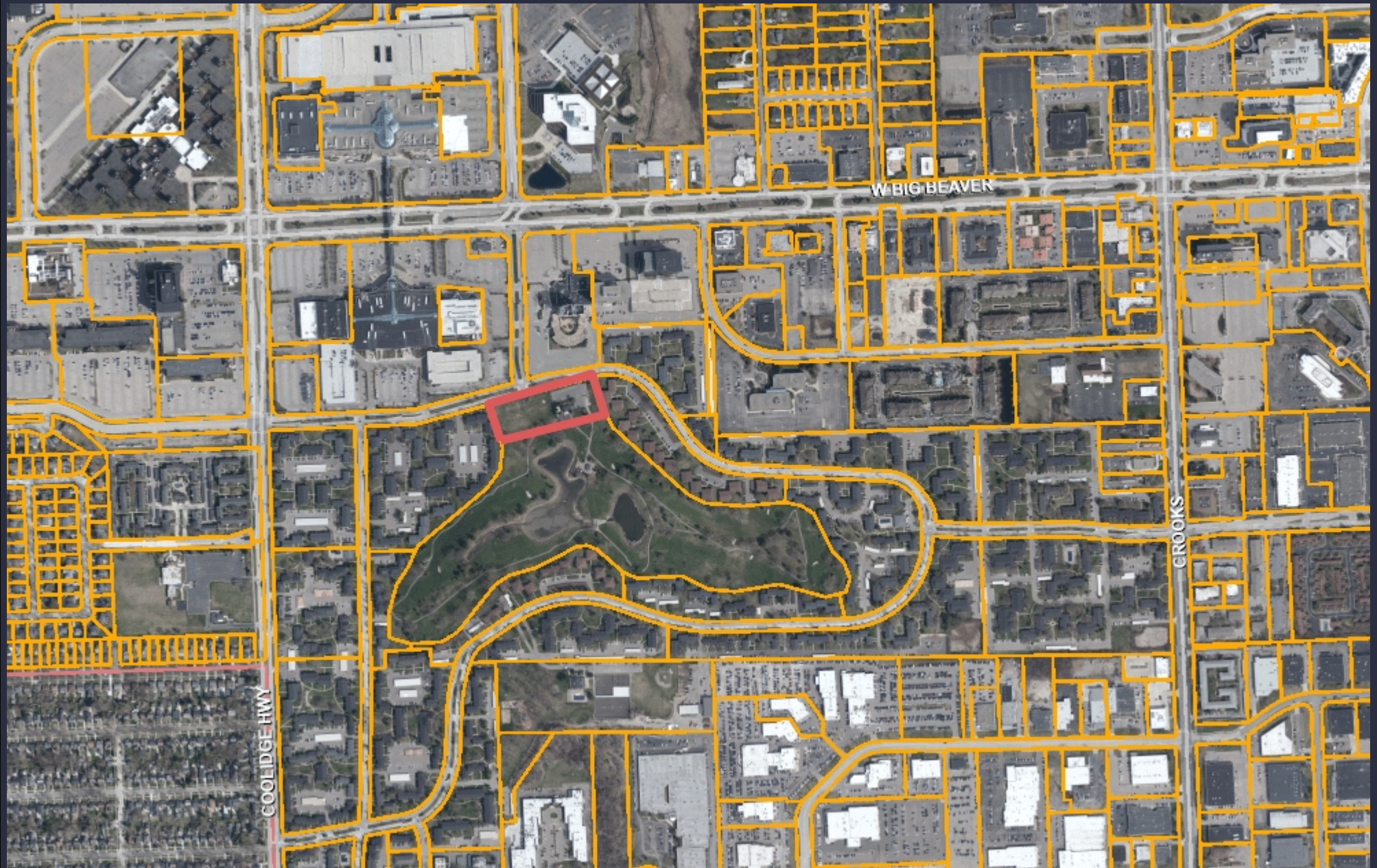
No:

Absent:

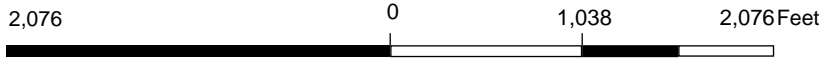
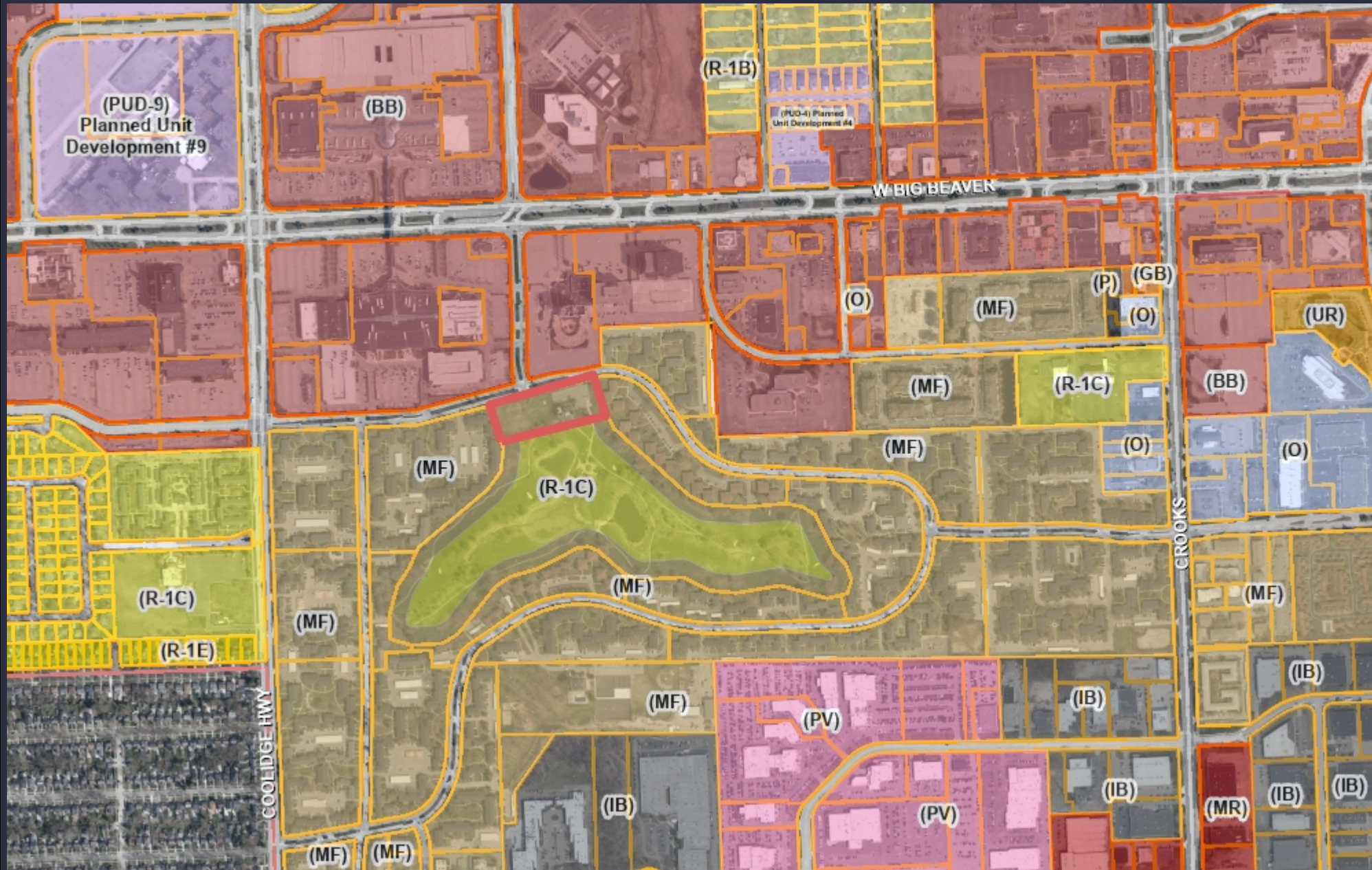
MOTION CARRIED



GIS Online



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 17, 2019
August 29, 2024

Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	Somerset Apartments
Project Name:	Somerset Apartments Clubhouse
Location:	2401 Golfview Drive
Plan Date:	August 5, 2024
Zoning:	MF, Multiple Family
Action Requested:	Preliminary Site Plan Review

PROJECT AND SITE DESCRIPTION

In late 2018, a 1.32-acre portion of the Somerset Apartment golf course that is adjacent to Golfview Drive, was rezoned from R1-C, Single Family Residential to MF, Multiple Family. The purpose of the rezoning was to allow the applicant to develop the golf club house and administrative building on the northern portion of the site adjacent to Golfview Drive, which was not permitted under R-1C zoning. The golf course still remains zoned MF, Multiple Family.

The applicant is seeking preliminary site plan approval to build a +/-21,000 sq/ft building. The building is a replacement to an existing building and will include a new pro shop and leasing management center on the main level, and administration offices on the second level. In addition, the applicant proposes 2,900 sq/ft golf car storage garage. The buildings will be served by a new 97-space parking lot.

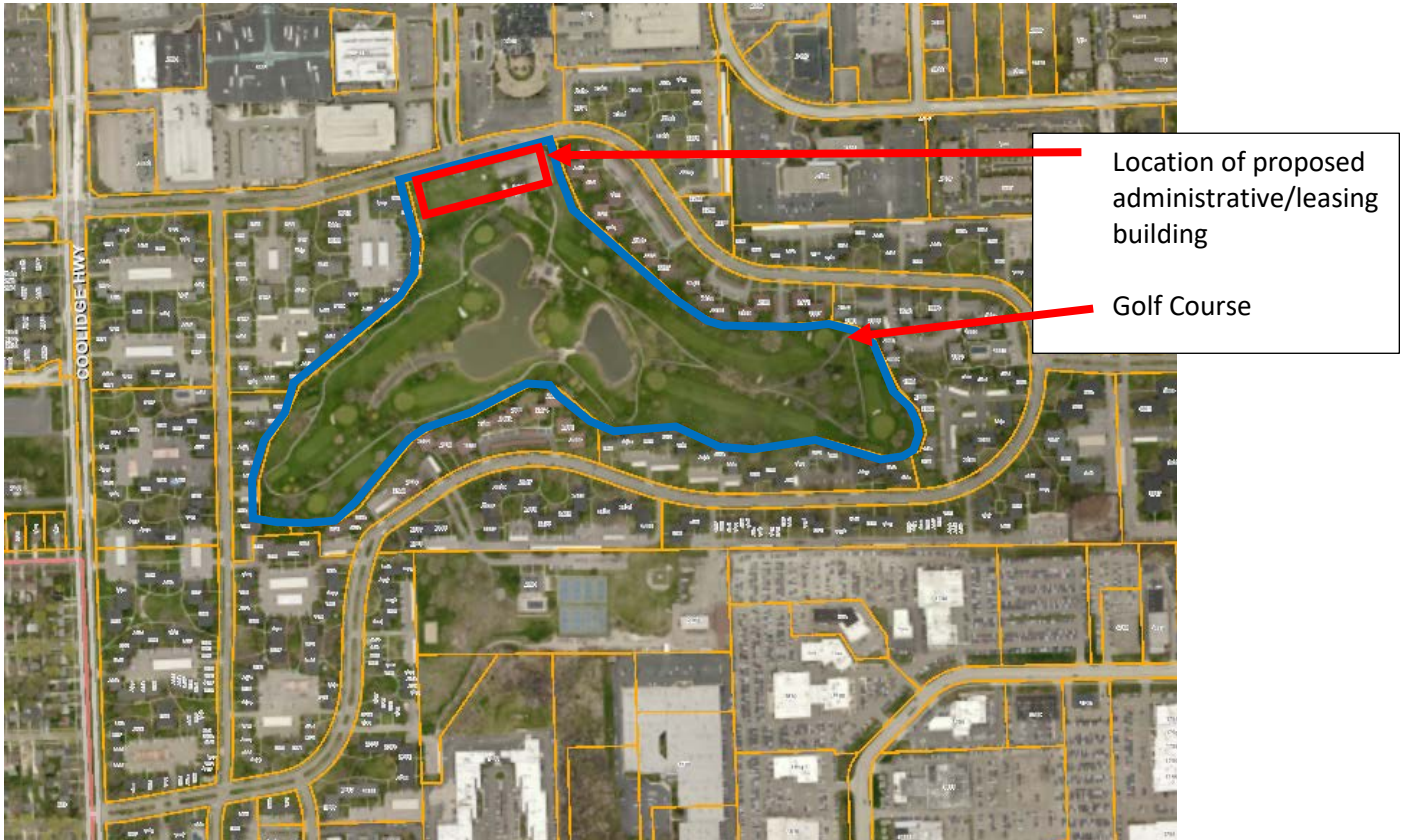
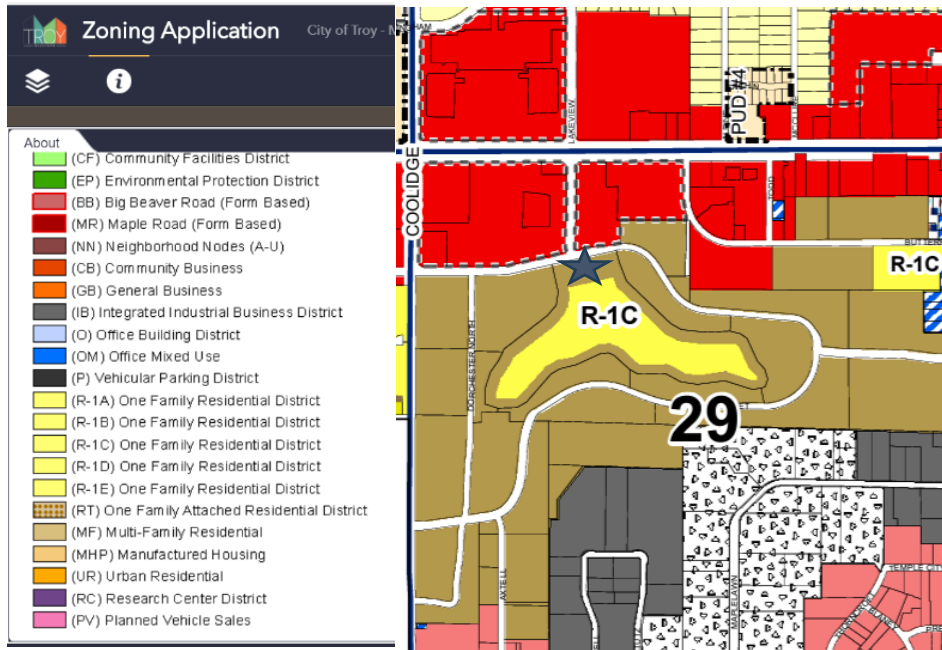


Table 2. – Zoning/Existing Land Use

Direction	Zoning	Existing Use
Subject Site		
Somerset Park Apartments Golf Course	MF, Multiple Family Residential	Vacant
North	BB, Big Beaver	Office / Commercial / Hotel
South	R-1C, One Family Residential	Golf Course
East	MF, Multiple Family Residential	Multiple Family Residential
West	MF, Multiple Family Residential	Multiple Family Residential



2019 APPROVAL

An 18,000 square foot clubhouse was approved in 2019. However, that plan approval has expired. The location of the clubhouse is in the same proposed location; however, differences include a slightly larger building, a change in architecture and materials, and inclusion of golf cart storage garage.

Items to be Addressed: None

BUILDING ORIENTATION AND OVERALL SITE LAYOUT

The building is oriented towards Golfview Drive and serves as a focal point at the terminus of Lakeview Drive. A drop off area is located in front of the building, with a majority of the parking located to the side of the building.

Items to be Addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Section 4.08 establishes the dimensional requirements for the MF, Multiple Family district, as shown in **Table 1.:**

Table 1. – Site Dimensional Requirements

	Required / Allowed	Provided	Compliance
Front	30 ft.	69 ft.	Compliant
Rear	30 ft.	67 ft.	Compliant
Side	30 ft.	120 ft and 320 ft	Compliant
Setbacks must equal height of building	30 ft.	All setbacks exceed 30 ft	Compliant
Required Open Space (building coverage)	35 percent	62%	Compliant
Building Height	8 stories 100 feet	30'	Compliant
Parking	No more than fifty (50) percent of the required front yard shall be occupied by off-street parking.	Less than 50% of the required front yard is parking	Compliant

Items to be Addressed: None

SITE ACCESS and CIRCULATION

Vehicular access to the site is provided via a primary access point on Golfview Drive at the terminus of Lakeview Drive and a secondary access point off Golfview Drive. There is access on three sides of the building and adequate vehicular circulation.

The applicant proposes a primary pedestrian access off Golfview Drive. In addition, there are internal sidewalks to reach parts of the buildings and parking areas.

Items to be Addressed: None

PARKING

Parking Calculations:

The parking calculations provided are included in **Table 2.**, below.

Table 2. – Required and provided parking

	Required	Provided
Office: 1 per 300	12,250 sq ft / 300 = 40 + 2 spaces for apartment model	99 automobile
Pro Shop: 1 per 250	1032 / 250 = 5	
Golf Course : 4 spaces per hole	9 holes = 36 spaces	
Barrier Free	4	4
Bicycle Parking	2	0
Loading	1	0
Total	83 automobile + 2 bicycle	99 automobile + 0 bicycle

There doesn't appear to be any bicycle parking. The loading space is a requirement that can be waived by Planning Commission.

Items to be Addressed: 1). Provide bicycle parking; and 2). Planning Commission to consider loading space deviation.

LANDSCAPING

The applicant has submitted a full landscape plan and tree survey. They propose on removing 38 trees from the site, 5 of which are regulated, for a total tree replacement of 76 inches.

Table 3. – Landscaping Requirements

	Required:	Provided:	Compliance
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	620 / 30 = 21 trees	21 trees	Complies
<u>Parking Lot Trees:</u> 1 space per 8 spaces	99 spaces / 8 = 13 trees	13 trees	Compliant

Site landscaping: A minimum of fifteen percent (20%) of the site area shall be comprised of landscape material. Up to twenty-five percent (25%) of the required landscape area may be brick, stone, pavers, or other public plaza elements, but shall not include any parking area or required sidewalks.	20%	43%	Compliant
Tree Mitigation	19"/3	7 trees	Compliant

The landscape plan shows an attractive entrance feature in the boulevard entrance, which includes stamped concrete, landscaping, seating area, and multiple flagpoles.

The applicant indicates a 3-foot tall masonry screen wall around the proposed exterior patio. Details were not provided. In addition, the applicant has not indicated a trash enclosure on site.

Items to be Addressed: 1). Provide details of masonry knee wall; and 2). Provide trash enclosure location and details.

FLOOR PLAN AND ELEVATIONS

The applicant has submitted floor plans and elevations. Materials include brick first floor, with metal panel upper story. The cart storage building is proposed to be split faced CMU, with prefinished metal siding. Roofing to be prefinished metal roof with gutters and downspouts.

Items to be Addressed: None

LIGHTING

A photometric plan and fixture details has been submitted. The applicant includes eight (8) pole lights and 17 bollard lights. The photometrics comply with all ordinance requirements.

Items to be Addressed: None

SITE PLAN REVIEW STANDARDS

Section 8.06 sets forth the following site plan standards:


- A. Development shall ensure compatibility to existing commercial districts and provide a transition between land uses through application of the following requirements:
 - 1. Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.

2. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
3. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
- B. *Development shall incorporate the following recognized best architectural building design practices:*
 1. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
 2. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
 3. *Develop buildings with creativity that includes balanced compositions and forms.*
 4. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
 5. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
 6. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
- C. *Enhance the character, environment and safety for pedestrians and motorists through the following requirements:*
 1. *Provide elements that define the street and the pedestrian realm*
 2. *Create a connection between the public right of way and ground floor activities.*
 3. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
 4. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
 5. *Improve safety for pedestrians through site design measures.*

SUMMARY

As part of the discussion, the Planning Commission is to consider the loading space waiver and if the Site Plan standards have been met. If the Planning Commission approves the Preliminary Site Plan, we recommend the following items are addressed as part of the final site plan:

1. *Provide bicycle parking.*
2. *Provide details of masonry knee wall.*
3. *Provide trash enclosure location and details.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

Somerset Park Apartments - Administration Building

Troy | Michigan

ARCHITECT

STUCKY VITALE ARCHITECTS
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(248) 546-6700

CIVIL / LANDSCAPE ENGINEER

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342
(248) 332-7931

PROJECT INFORMATION

PROJECT DESCRIPTION
ADMINISTRATION, LEASING OFFICE, PRO SHOP, & STORAGE SHED

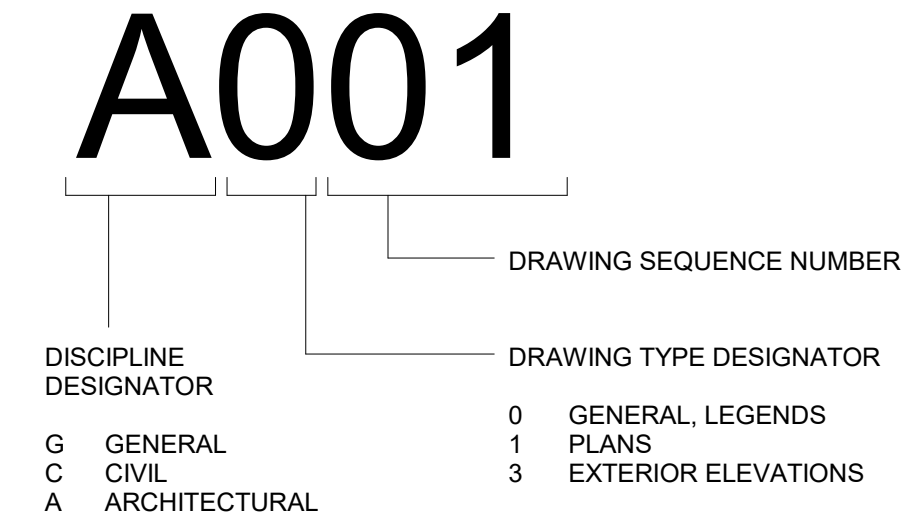
APPLICABLE CODES
2015 MICHIGAN BUILDING CODE (MBC)
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRC)
2021 MICHIGAN MECHANICAL CODE (MMC)
2021 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2013 ANSI/ASHRAE/IES 90.1
2023 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA 101 LIFE SAFETY CODE

SHEET INDEX - GENERAL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	SPA	08.05.2024	
DRAWINGS: 1				
SHEET INDEX - CIVIL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
C1	PRELIMINARY SITE PLAN/ BOUNDARY/TOPOGRAPHIC / TREE SURVEY	SPA	08.05.2024	
C2	PRELIMINARY SITE PLAN/ TREE INVENTORY LIST	SPA	08.05.2024	
C3	PRELIMINARY SITE PLAN/ DEMOLITION PLAN	SPA	08.05.2024	
C4	PRELIMINARY SITE PLAN/ PRELIMINARY ENGINEERING	SPA	08.05.2024	
DRAWINGS: 4				
SHEET INDEX - ARCHITECTURAL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
A110	COMPOSITE FIRST FLOOR PLAN	SPA	08.05.2024	
A120	COMPOSITE SECOND FLOOR PLAN	SPA	08.05.2024	
A140	COMPOSITE STORAGE SHED FLOOR PLAN	SPA	08.05.2024	
A301	EXTERIOR ELEVATIONS	SPA	08.05.2024	
A302	Exterior Elevations	SPA	08.05.2024	
A311	EXTERIOR RENDEREINGS	SPA	08.05.2024	
DRAWINGS: 6				
SHEET INDEX - PHOTOMETRIC				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
1 OF 1	PHOTOMETRIC PLAN	SPA	08.05.2024	
DRAWINGS: 1				

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

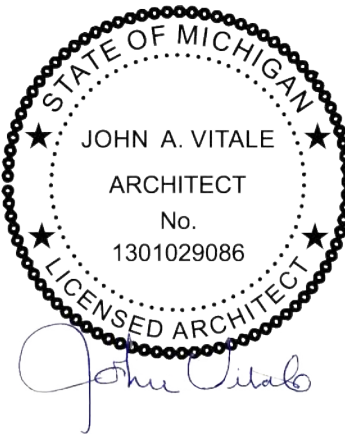


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Consultants

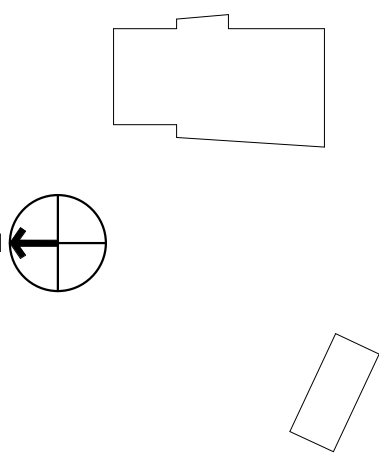
Seal:



Project:

Somerset Park
Apartments -
Administration Building
Troy | Michigan

Key Plan:



Issued for

SPA 08.05.2024

Drawn by:

SVA

Checked by:

JAV, MJB, AJD

Sheet Title:

COVER SHEET, GENERAL
INFORMATION, DRAWING
INDEX

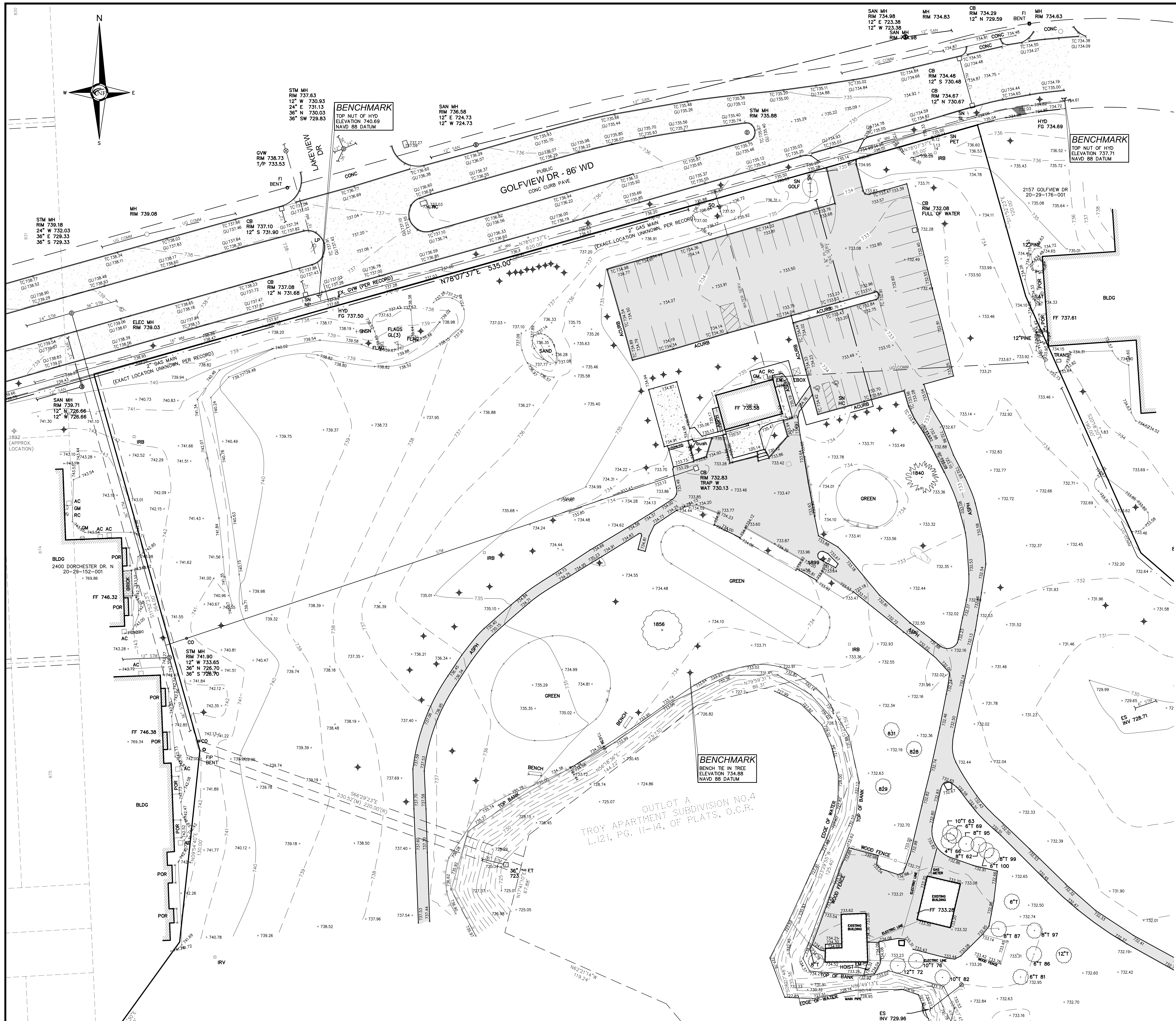
Project No.:

2023.074

Sheet No.:

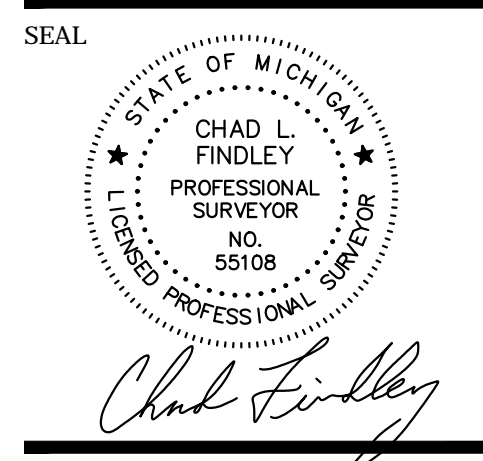
G001

DO NOT SCALE DRAWINGS
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NF ENGINEERS
 civil Engineers
 Land Surveyors
 Land Planners

NOWAK & FRAUS ENGINEERS
 46777 Woodward Ave.
 Pontiac, MI 48342-5032
 Tel. (248) 332-7931
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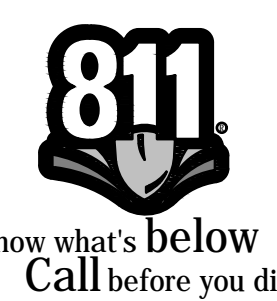
PROJECT
 Somerset Park Apartments
 Administration Building

CLIENT
 The Solomon Organization
 2405 Sorchester Dr.
 Troy, MI 48084

CONTACT
 Scott Snow
 Tel: 908-988-1088
 Email: snow@solomonorg.com

PROJECT LOCATION
 Part of the Northwest 1/4
 of Section 29
 T.2 North, R.11 East
 City of Troy,
 Oakland County, Michigan

SHEET
 Preliminary Site Plan
 Boundary / Topographic /
 Tree Survey



LEGAL DESCRIPTION (PER RECORD)
 LAND SITUATED IN THE CITY OF TROY, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

OUTLOT A OF "TROY APARTMENT SUBDIVISION NO.4" AS RECORDED IN LIBER 121, PG.11-14 OF PLATS, OAKLAND COUNTY RECORDS.
 SOWELL NO. 88-20-29-176-002
 ACREAGE: 39.413 ACRES

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER B08331147, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 12-10-18. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISHED PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
 UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
 THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND	
	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R.Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN

DRAWN BY:
J. Klinkenberger

Project Manager:
J. Klinkenberger

APPROVED BY:
C. Findley

DATE:
August 5, 2024

SCALE: 1" = 30'
 30 15 0 15 30 45

NFEJOB NO. sheet no.
K489-01 C1

Tree Inventory List

Job Number: K489
 Job Location: Troy, MI
 Date: Monday, January 14, 2019
 Performed By: Jacob R. Hamilton Forestry Registration No. 3301046119

Condition Description Notes:
 "Good" - no observed structural defects*
 "Fair" - minor structural defects, marginal form, some insect activity noted*
 "Poor" - major structural defects, poor form, insect infested*

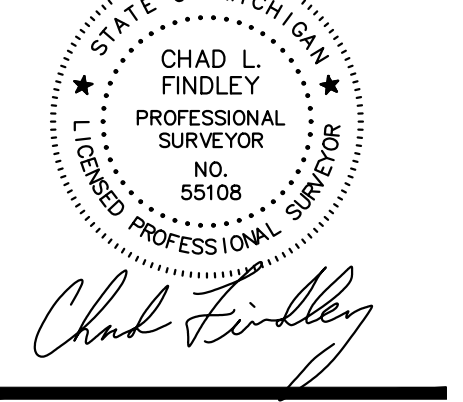
*Structural defects may include decayed wood, cracks, root problems, weak branch unions, cankers, poor tree architecture, dead/failed branches due to various causes.

Tree #	Botanical Name	Common Name	Dia.	Type	Other Dia.	Condition
1801	Ginkgo biloba	Ginkgo	4			Good
1802	Pyrus calleryana	Bradford Pear	4			Good
1803	Pyrus calleryana	Bradford Pear	4			Good
1804	Pyrus calleryana	Bradford Pear	3			Poor
1805	Acer tataricum	Tatarian Maple	6	Multiple	5,4,3,2(many)	Fair
1806	Juniperus virginiana	Eastern Red Cedar	8			Good
1807	Juniperus virginiana	Eastern Red Cedar	8			Good
1808	Juniperus virginiana	Eastern Red Cedar	7			Good
1809	Crataegus spp.	Hawthorn	4	Twin	2	Good
1810	Juniperus virginiana	Eastern Red Cedar	8			Good
1811	Juniperus virginiana	Eastern Red Cedar	8			Good
1812	Juniperus virginiana	Eastern Red Cedar	6			Good
1813	Juniperus virginiana	Eastern Red Cedar	7			Good
1814	Juniperus virginiana	Eastern Red Cedar	9			Good
1815	Juniperus virginiana	Eastern Red Cedar	9			Good
1816	Acer tataricum	Tatarian Maple	5	Multiple	3,3,3,2,2	Fair
1817	Ginkgo biloba	Ginkgo	4			Good
1818	Ginkgo biloba	Ginkgo	4			Good
1819	Pyrus calleryana	Bradford Pear	5			Fair
1820	Amelanchier spp.	Serviceberry	3	Multiple	3,2(many)	Good
1821	Tilia cordata	Littleleaf-linden	2			Fair
1822	Pinus nigra	Austrian Pine	18			Good
1823	Pyrus calleryana	Bradford Pear	4			Good
1824	Ulmus pumila	Siberian Elm	9			Good
1825	Malus spp.	Crabapple Spp.	7			Good
1826	Zelkova serrata	Japanese Zelkova	5			Good
1827	Thuja occidentalis	Northern White Cedar	10			Good
1828	Malus spp.	Crabapple Spp.	3	Twin	1	Fair
1829	Malus spp.	Crabapple Spp.	3			Fair
1830	Acer platanoides	Norway Maple	16			Fair
1831	Malus spp.	Crabapple Spp.	10	Multiple	6,5	Fair
1832	Pinus sylvestris	Scotch Pine	22			Good
1833	Abies balsamea	Balsam Fir	7			Fair
1834	Pinus sylvestris	Scotch Pine	28			Good
1835	Abies balsamea	Balsam Fir	11			Good
1836	Ulmus pumila	Siberian Elm	20			Fair
1837	Zelkova serrata	Japanese Zelkova	4			Fair
1838	Quercus alba	White Oak	24			Good
1839	Acer rubrum	Red Maple	29			Good
1840	Picea abies	Norway Spruce	24			Fair
1841	Acer saccharum	Sugar Maple	13			Good
1842	Ostrya virginiana	Hop-Hornbeam	4	Multiple	2(many)	Good
1843	Malus spp.	Crabapple Spp.	3	Multiple	2(many)	Good
1844	Malus spp.	Crabapple Spp.	3	Multiple	2(many)	Good
1845	Ostrya virginiana	Hop-Hornbeam	3	Multiple	3,2,2,1	Good
1846	Malus spp.	Crabapple Spp.	3	Multiple	2(many)	Good
1847	Malus spp.	Crabapple Spp.	2	Multiple	2(many)	Good
1848	Picea pungens	Colorado Blue Spruce	16			Fair
1849	Acer rubrum	Red Maple	30	Twin	16	Fair
1850	Ginkgo biloba	Ginkgo	3			Fair
1851	Gleditsia triacanthos	Honeylocust	25			Good
1852	Ginkgo biloba	Ginkgo	13			Good
1853	Gleditsia triacanthos	Honeylocust	24			Good
1854	Pinus sylvestris	Scotch Pine	16			Fair
1855	Pinus sylvestris	Scotch Pine	27			Good
1856	Gleditsia triacanthos	Honeylocust	28			Good
1857	Crataegus spp.	Hawthorn	12	Multiple	9,8,8	Fair
1858	Quercus rubra	Red Oak	31			Good
1859	Picea pungens	Colorado Blue Spruce	18			Fair
1860	Ginkgo biloba	Ginkgo	8			Good
1861	Quercus rubra	Red Oak	25			Good
1862	Quercus rubra	Red Oak	21			Good
1863	Betula nigra	River Birch	10	Multiple	9,8,8	Good
1864	Picea pungens	Colorado Blue Spruce	5			Good
1865	Betula nigra	River Birch	8	Twin	8	Good
1866	Picea pungens	Colorado Blue Spruce	8			Good
1867	Betula nigra	River Birch	9	Multiple	7,7	Good
1868	Picea pungens	Colorado Blue Spruce	9			Good
1869	Betula nigra	River Birch	10	Multiple	10,6	Good
1870	Picea pungens	Colorado Blue Spruce	10			Good
1871	Betula nigra	River Birch	7	Twin	7	Good
1872	Picea pungens	Colorado Blue Spruce	8			Good
1873	Malus spp.	Crabapple Spp.	2	Multiple	2(many)	Poor
1874	Pinus nigra	Scotch Pine	10			Good
1875	Pinus mugo	Mugo Pine	2	Multiple	2(many)	Fair
1876	Thuja occidentalis	Northern White Cedar	9	Twin	8	Good
1877	Thuja occidentalis	Northern White Cedar	10	Twin	6	Good
1878	N/A	Does Not Exist				
1879	Thuja occidentalis	Northern White Cedar	11			Good
1880	Thuja occidentalis	Northern White Cedar	11	Twin	2	Good
1881	Thuja occidentalis	Northern White Cedar	11			Good
1882	Thuja occidentalis	Northern White Cedar	13			Good
1883	Thuja occidentalis	Northern White Cedar	14			Good
1884	Tilia cordata	Littleleaf-linden	5			Good
1885	Tilia cordata	Littleleaf-linden	5			Good
1886	Tilia cordata	Littleleaf-linden	6			Fair
1887	Betula papyrifera	White Birch	12	Twin	8	Fair
1888	Malus spp.	Crabapple Spp.	10			Fair
1889	Pinus nigra	Austrian Pine	19			Good
1890	Magnolia spp.	Magnolia spp.	4	Multiple	4,3,3,2,2	Good
1891	Magnolia spp.	Magnolia spp.	4	Multiple	3,2	Fair
1892	Malus spp.	Crabapple Spp.	10	Multiple	8,6	Good
1893	Gleditsia triacanthos	Honeylocust	23			Good
1894	Pinus nigra	Austrian Pine	16			Good
1895	Acer rubrum	Red Maple	37			Good
1896	Pinus nigra	Austrian Pine	17			Good
1897	Acer rubrum	Red Maple	28	Multiple	27,26	Good
1898	Populus deltoides	Eastern Cottonwood	50	Multiple	37,26	Good
1899	Acer Rubrum	Red Maple	33			Good



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 Pontiac, MI 48342-5032
 Tel. (248) 332-7931
 Fax. (248) 332-8257
 WWW.NOWAKFRAUS.COM

SEAL



PROJECT
 Somerset Park Apartments
 Administration Building

CLIENT
 The Solomon Organization
 2405 Sorchester Dr.
 Troy, MI 48084

CONTACT
 Scott Snow
 Tel: 908-988-1088
 Email: snow@solomonorg.com

PROJECT LOCATION
 Part of the Northwest 1/4
 of Section 29
 T.2 North, R.11 East
 City of Troy,
 Oakland County, Michigan

SHEET
 Preliminary Site Plan
 Tree Inventory List



DATE ISSUED/REVISED
 2024-08-05 ISSUED FOR PRELIMINARY SPA

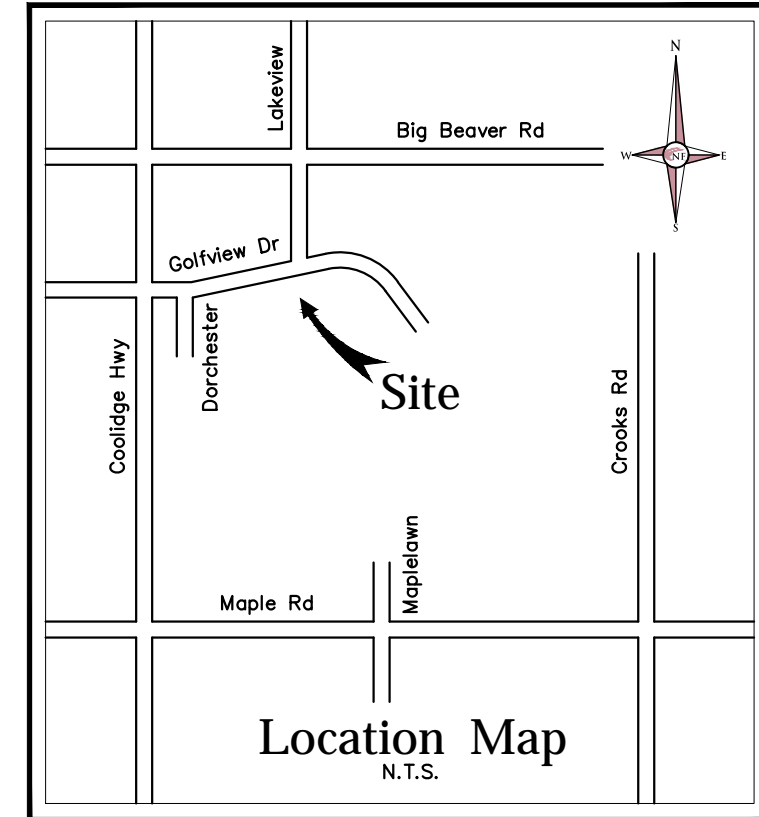
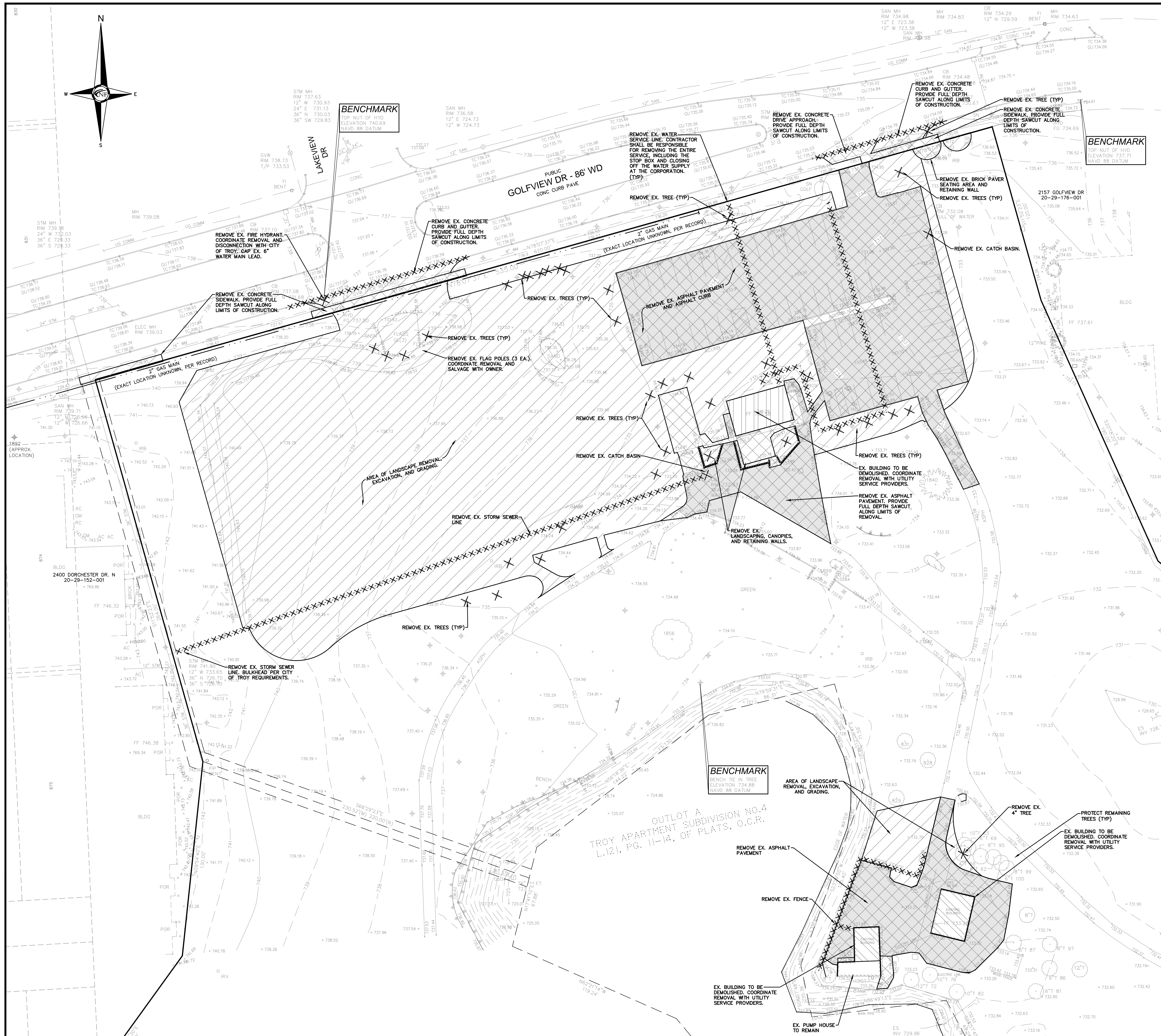
DRAWN BY:
 J. Klenk

Project Manager:
 J. Klinkenberger

APPROVED BY:
 C. Findley

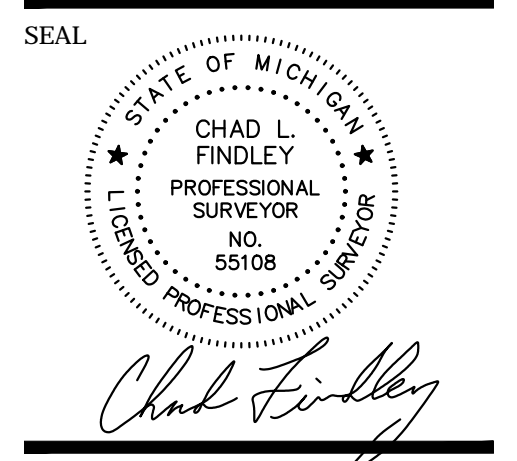
DATE:
 August 5, 2024

SCALE: N.T.S.



civil Engineers
Land Surveyors
Land Planners

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PROJECT
Somerset Park Apartments
Administration Building

CLIENT
The Solomon Organization
2405 Sorchester Dr.
Troy, MI 48084

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PROJECT LOCATION
Part of the Northwest 1/4
of Section 29
T.2 North, R.11 East
City of Troy,
Oakland County, Michigan

SHEET
Preliminary Site Plan
Demolition Plan



Know what's below
Call before you dig.

DATE ISSUED/REVISED
2024-08-05 ISSUED FOR PRELIMINARY SPA

DRAWN BY:
J. Klenk

Project Manager:
J. Klinkenberger

APPROVED BY:
C. Findley

DATE:
August 5, 2024

SCALE: 1" = 30'
30 15 0 15 30 45

NFEJOB NO. sheet no.
K489-01 C3

DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION.

FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LICENSES AND ARRANGE FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE UTILITY SERVICE PROVIDER. REMOVAL OF UTILITIES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.

ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

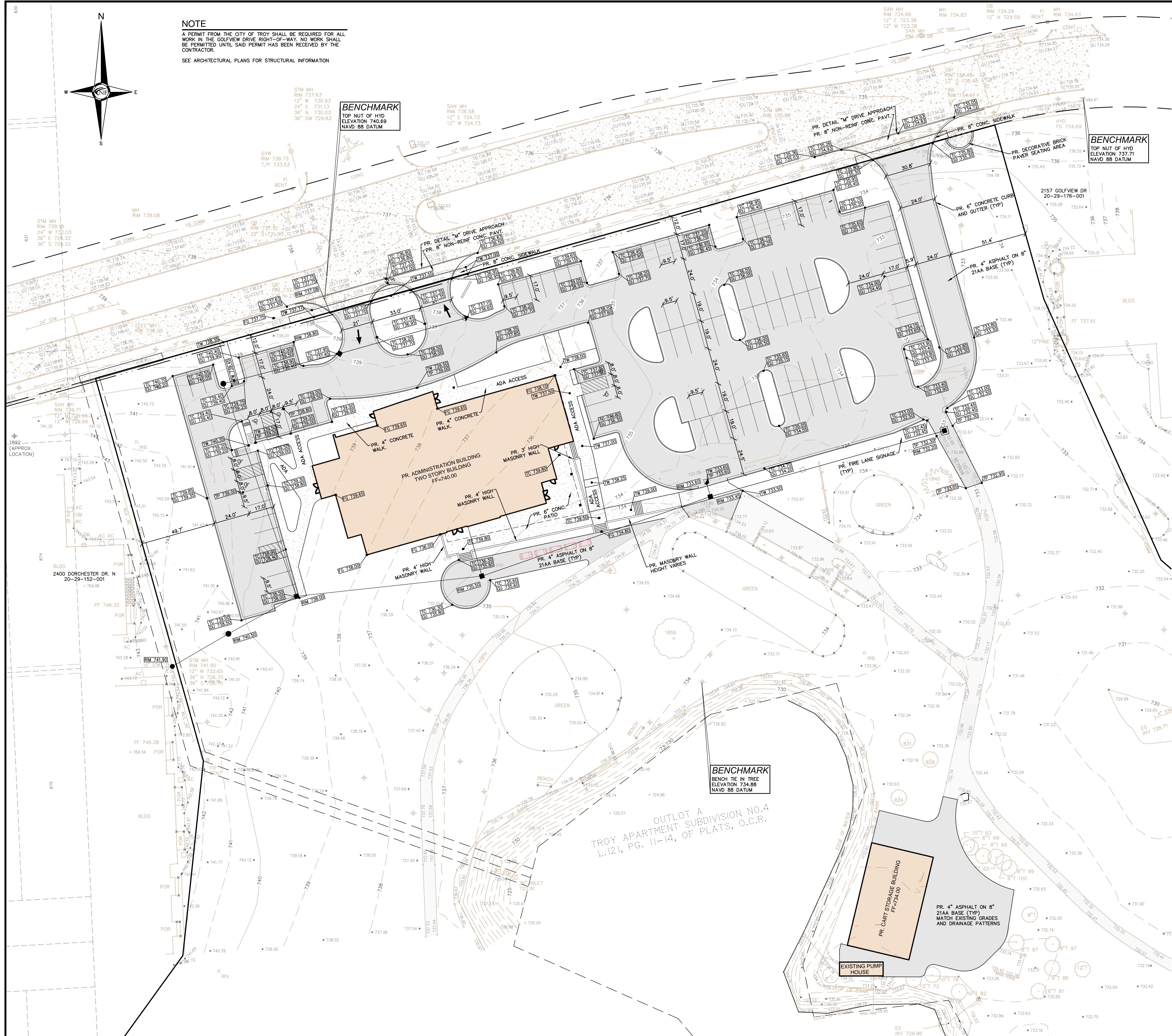
WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOTPRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH MDOT CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.

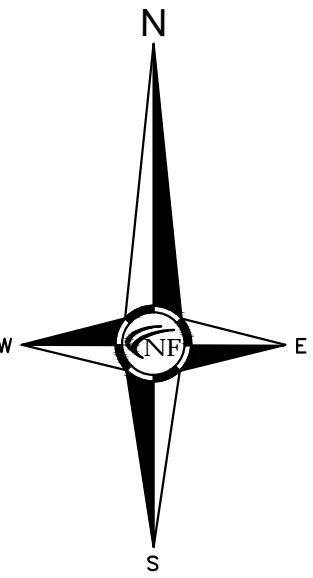
EXISTING SANITARY SEWER LEAD SHALL BE LOCATED AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND CAPPING THE LEAD AT THE PUBLIC SEWER MAIN AS PART OF THE DEMOLITION PHASE, AND THE ABANDONED SEWER SERVICE LEAD SHALL BE COMPLETELY REMOVED OR GROUTED IN PLACE.

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATER MAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	LIGHT POLE		OVERHEAD LINES
	SIGN		EXISTING GAS MAIN
	EXISTING ITEM TO BE REMOVED		EXISTING UTILITY TO BE ABANDONED
	12" MAPLE		INDICATES EXISTING TREE TO BE REMOVED
			INDICATES AREAS OF LANDSCAPING TO BE CLEARED



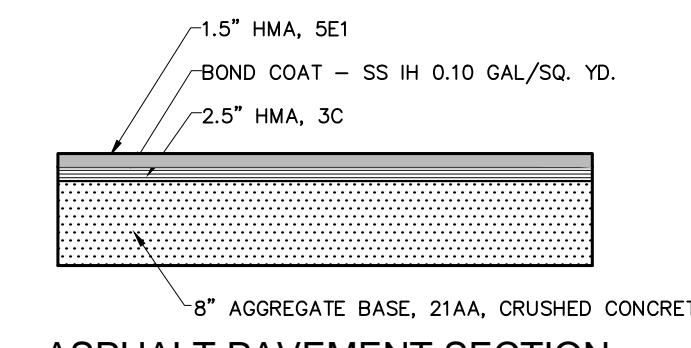
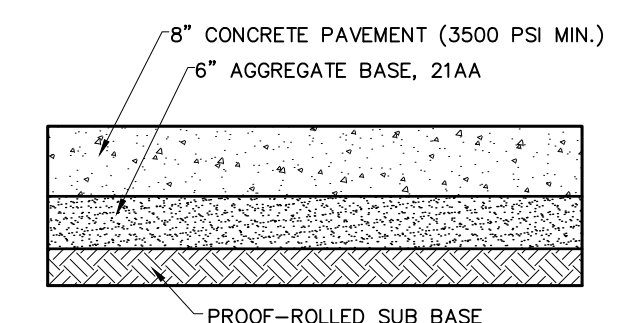
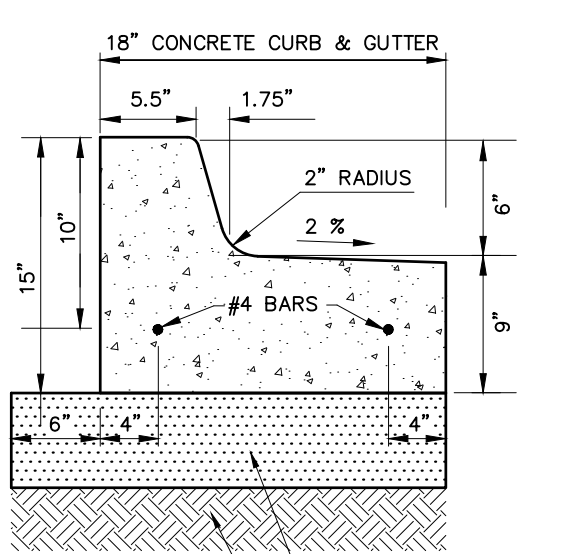
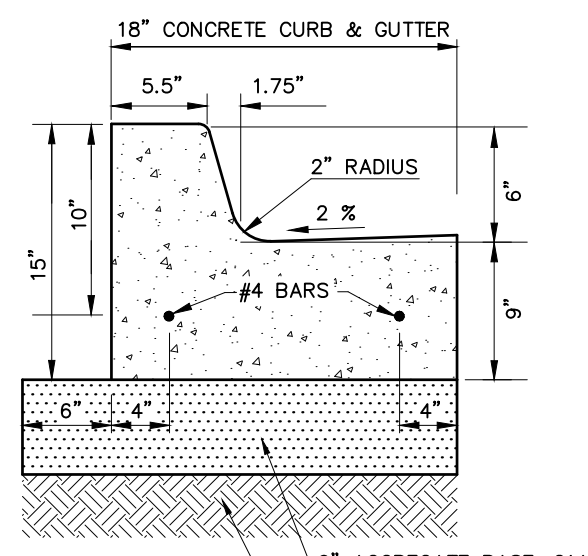
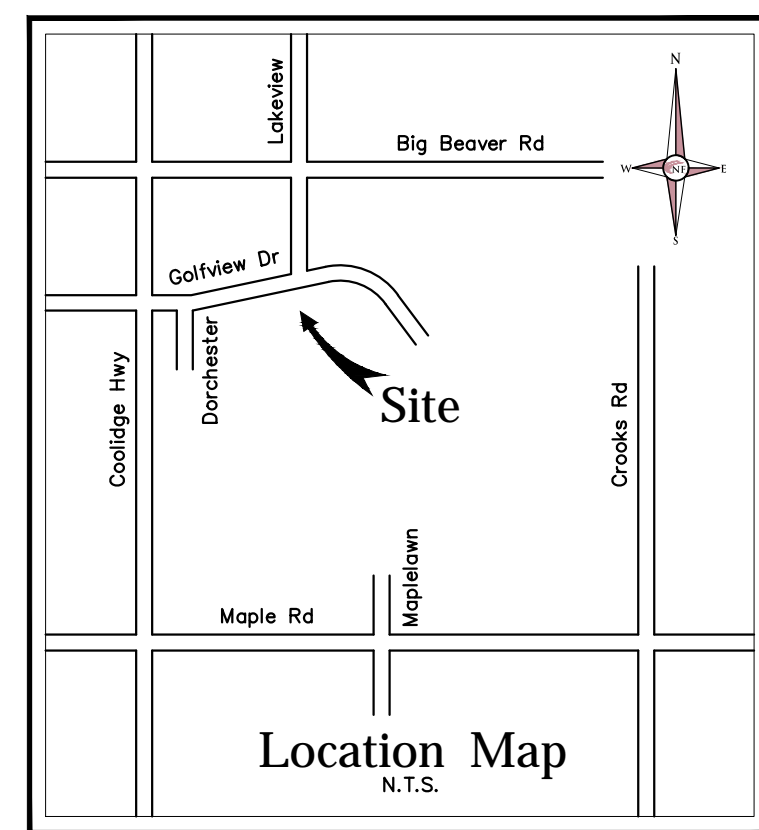
NOTE
 A PERMIT FROM THE CITY OF TROY SHALL BE REQUIRED FOR ALL WORK IN THE GOLDFIELD DRIVE RIGHT-OF-WAY. NO WORK SHALL BE PERMITTED UNTIL SAID PERMIT HAS BEEN RECEIVED BY THE CONTRACTOR.
 SEE ARCHITECTURAL PLANS FOR STRUCTURAL INFORMATION.



BENCHMARK
 TOP NUT OF HYD
 ELEVATION 740.69
 NAVD 88 DATUM

BENCHMARK
 TOP NUT OF HYD
 ELEVATION 737.71
 NAVD 88 DATUM

BENCHMARK
 BENCH IN TREE
 ELEVATION 734.88
 NAVD 88 DATUM



PAVING LEGEND

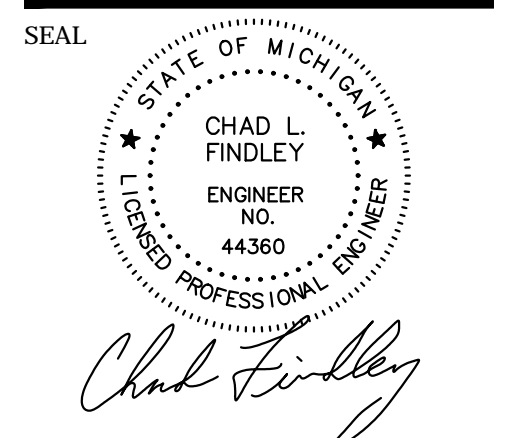
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	GATE VALVE		EXISTING WATERMAIN
	MANHOLE CATCH BASIN		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY POLE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	LIGHT POLE		SIGN
	C.O.		EXISTING GAS MAIN
	MANHOLE		PR. SANITARY SEWER
	HYDRANT		GATE VALVE
	INLET		PR. WATER MAIN
	MANHOLE		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		



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PROJECT
 Somerset Park Apartments
 Administration Building

CLIENT
 The Solomon Organization
 2405 Sorchester Dr.
 Troy, MI 48084

CONTACT
 Scott Snow
 Tel: 908-988-1088
 Email: snow@solomonorg.com

PROJECT LOCATION
 Part of the Northwest 1/4
 of Section 29
 T.2 North, R.11 East
 City of Troy,
 Oakland County, Michigan

SHEET
 Preliminary Site Plan
 Preliminary Engineering



DATE ISSUED/REVISED
 2024-08-05 ISSUED FOR PRELIMINARY SPA

DRAWN BY:
 J. Klenk
Project Manager:
 J. Klinkenberger
APPROVED BY:
 C. Findley
DATE:
 August 5, 2024

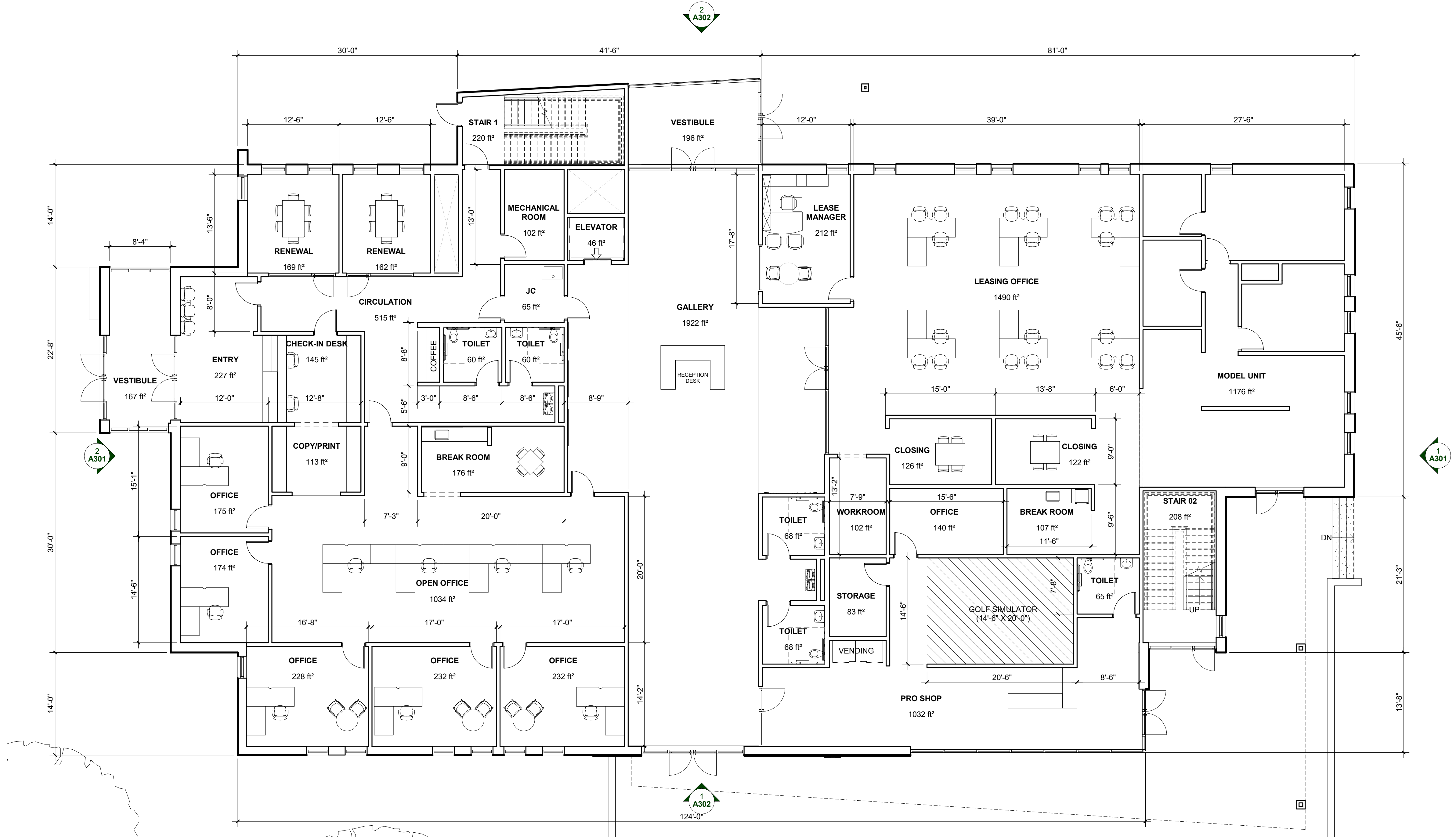
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NFEJOB NO. sheet no.
 K489-01 C4



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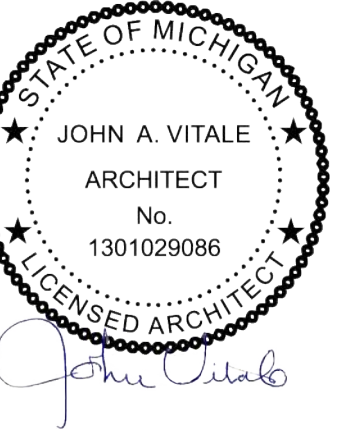
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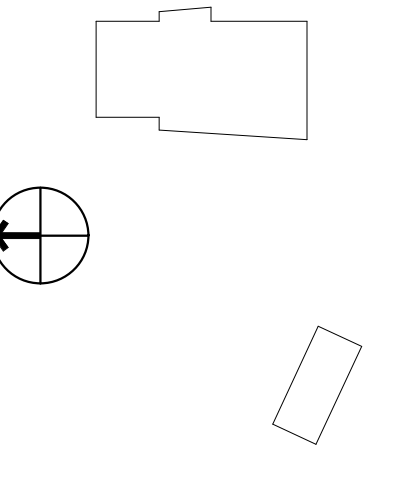
1 Level 1
 A110 1/8" = 1'-0"

Seal:



Project:
 Somerset Park
 Apartments -
 Administration Building
 Troy | Michigan

Key Plan:



Issued for

Drawn by:
 CPG
 Checked by:
 SVA
 Sheet Title:
 COMPOSITE FIRST FLOOR
 PLAN

Project No. :
 2023.074

Sheet No. :
A110

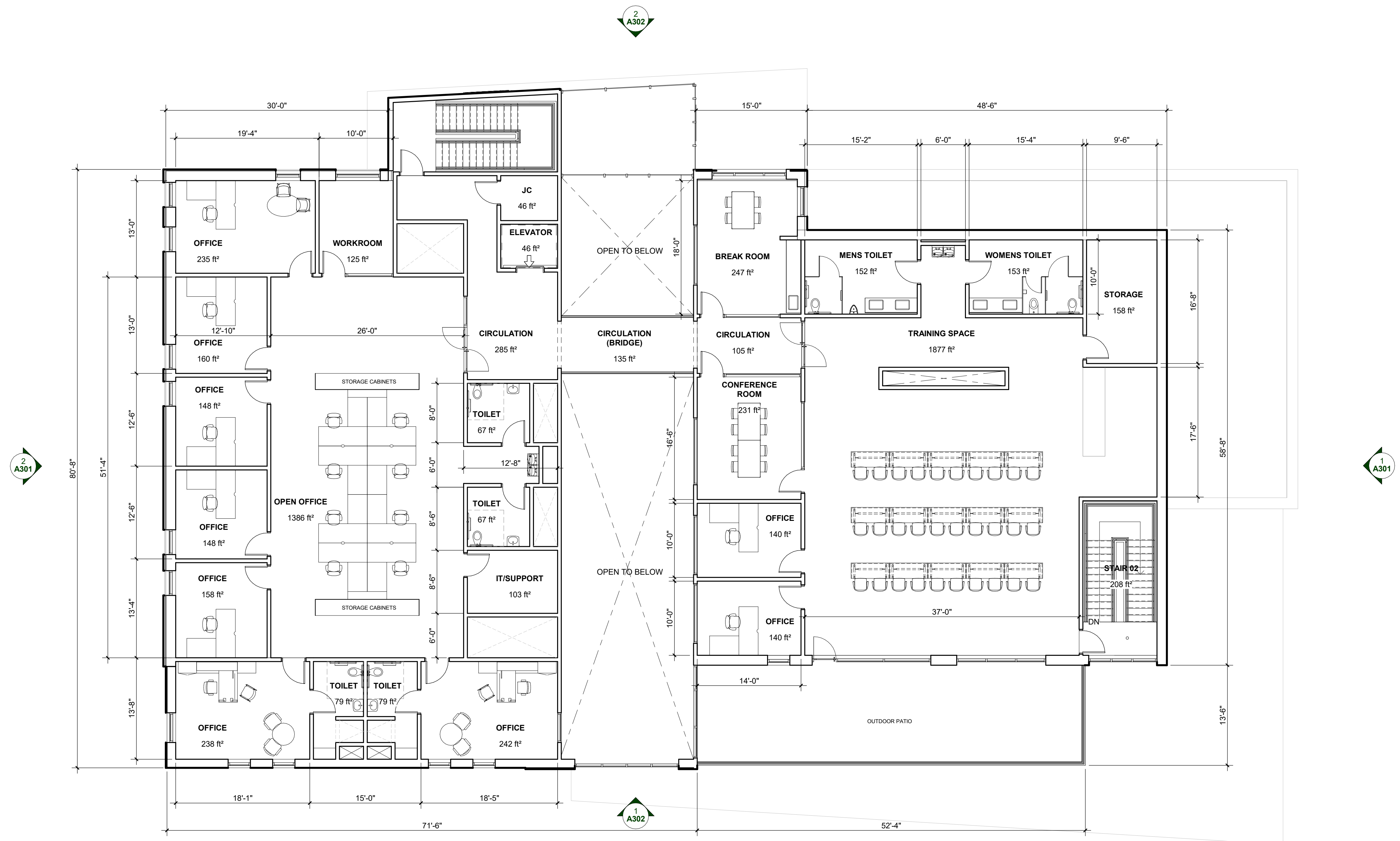
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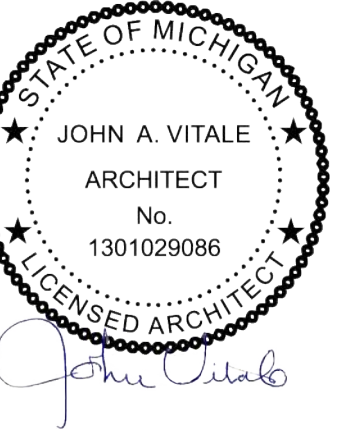
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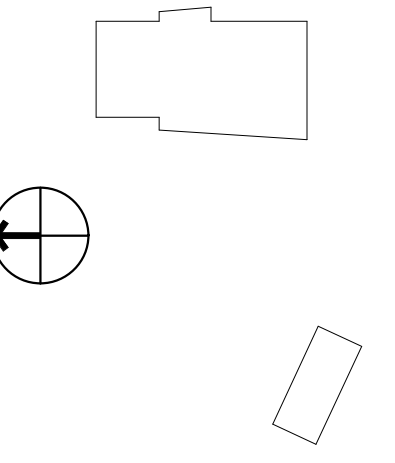
1 Level 2a
 A120 1/8" = 1'-0"

Seal:



Project :
 Somerset Park
 Apartments -
 Administration Building
 Troy | Michigan

Key Plan:



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 Sheet Title :
 COMPOSITE SECOND FLOOR
 PLAN

Project No. :
 2023.074

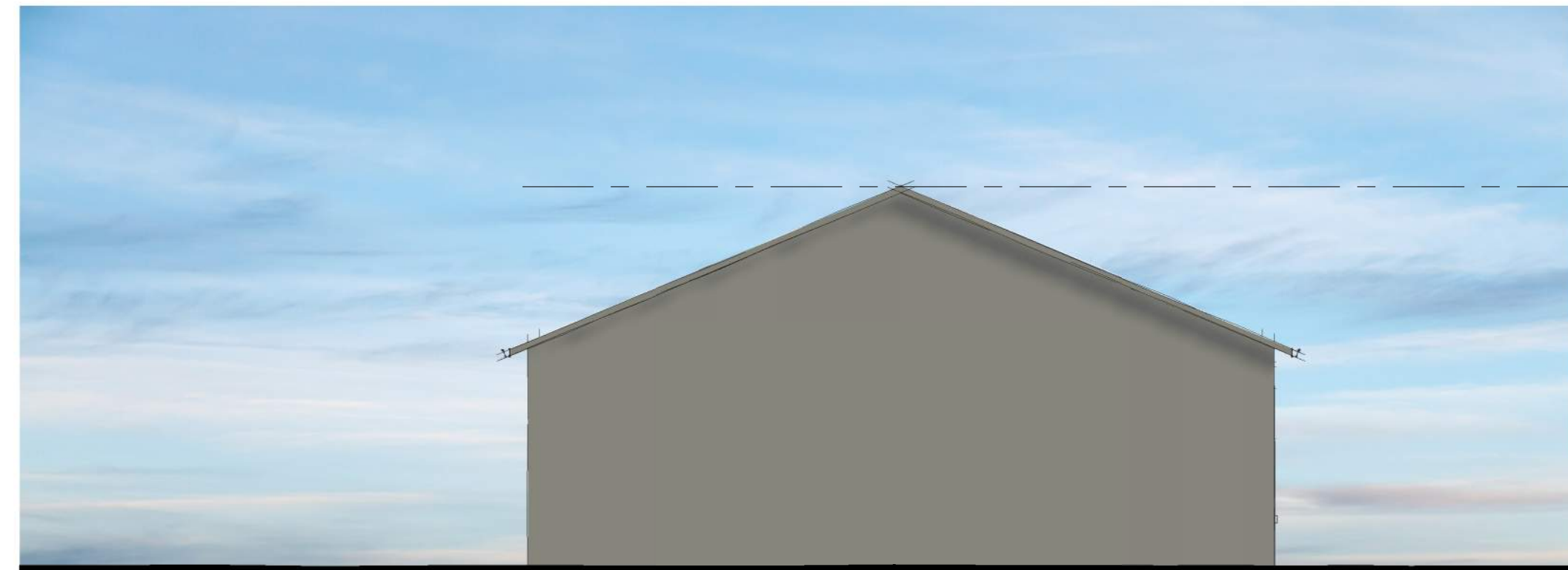
Sheet No. :
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Storage Shed Roof
21' - 6"

6 Storage Building - East Elevation
A140 1/8" = 1'-0"



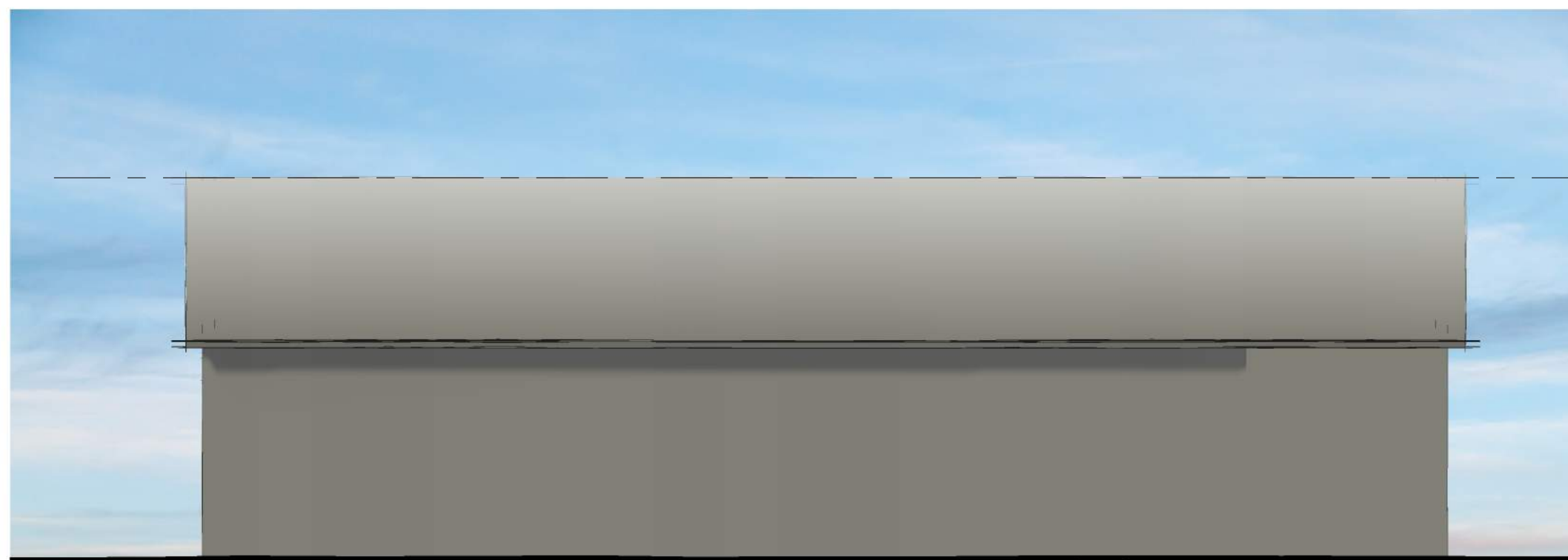
Storage Shed Roof
21' - 6"

4 Storage Building - South Elevation
A140 1/8" = 1'-0"



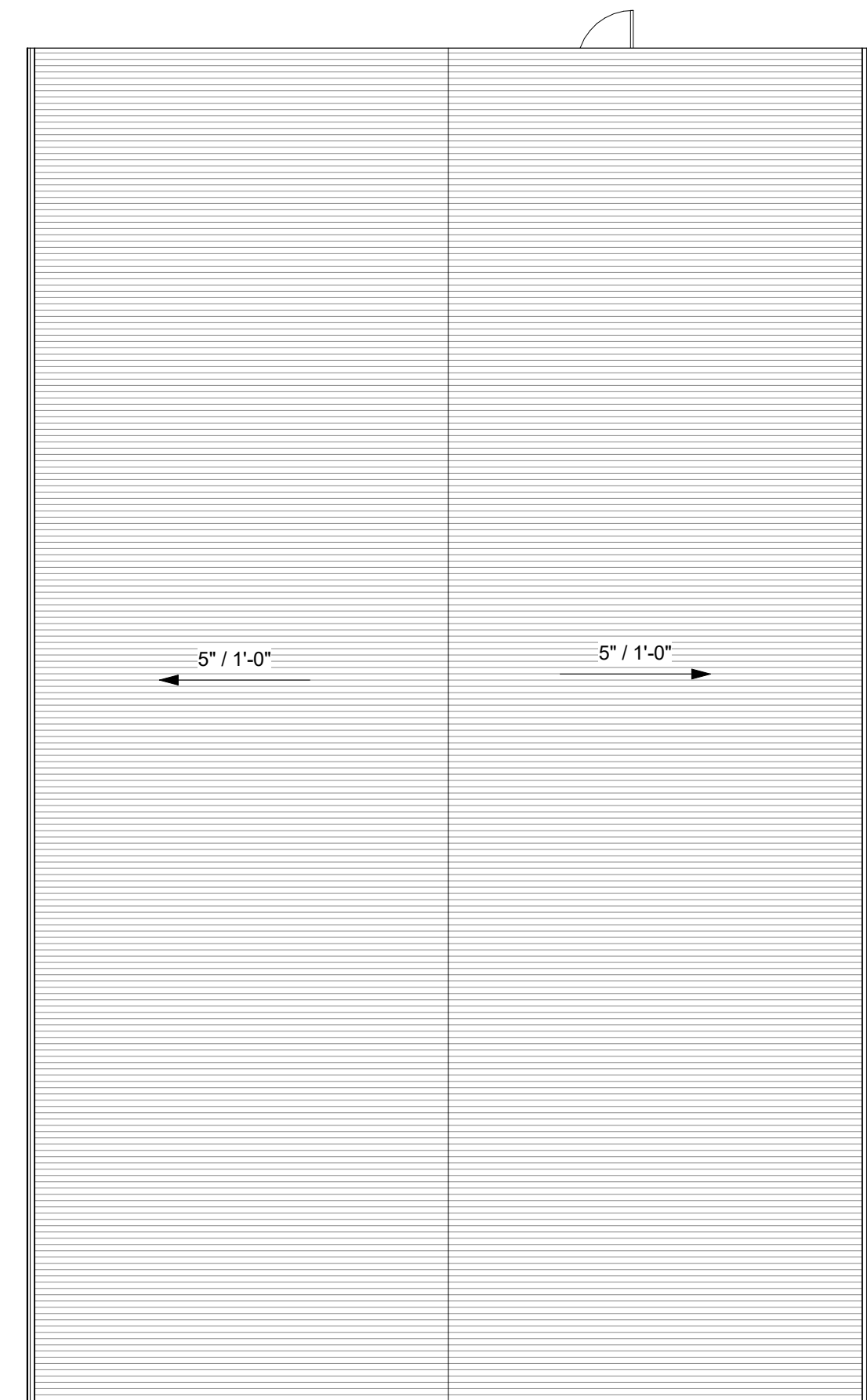
Storage Shed Roof
21' - 6"

3 Storage Building - North Elevation
A140 1/8" = 1'-0"

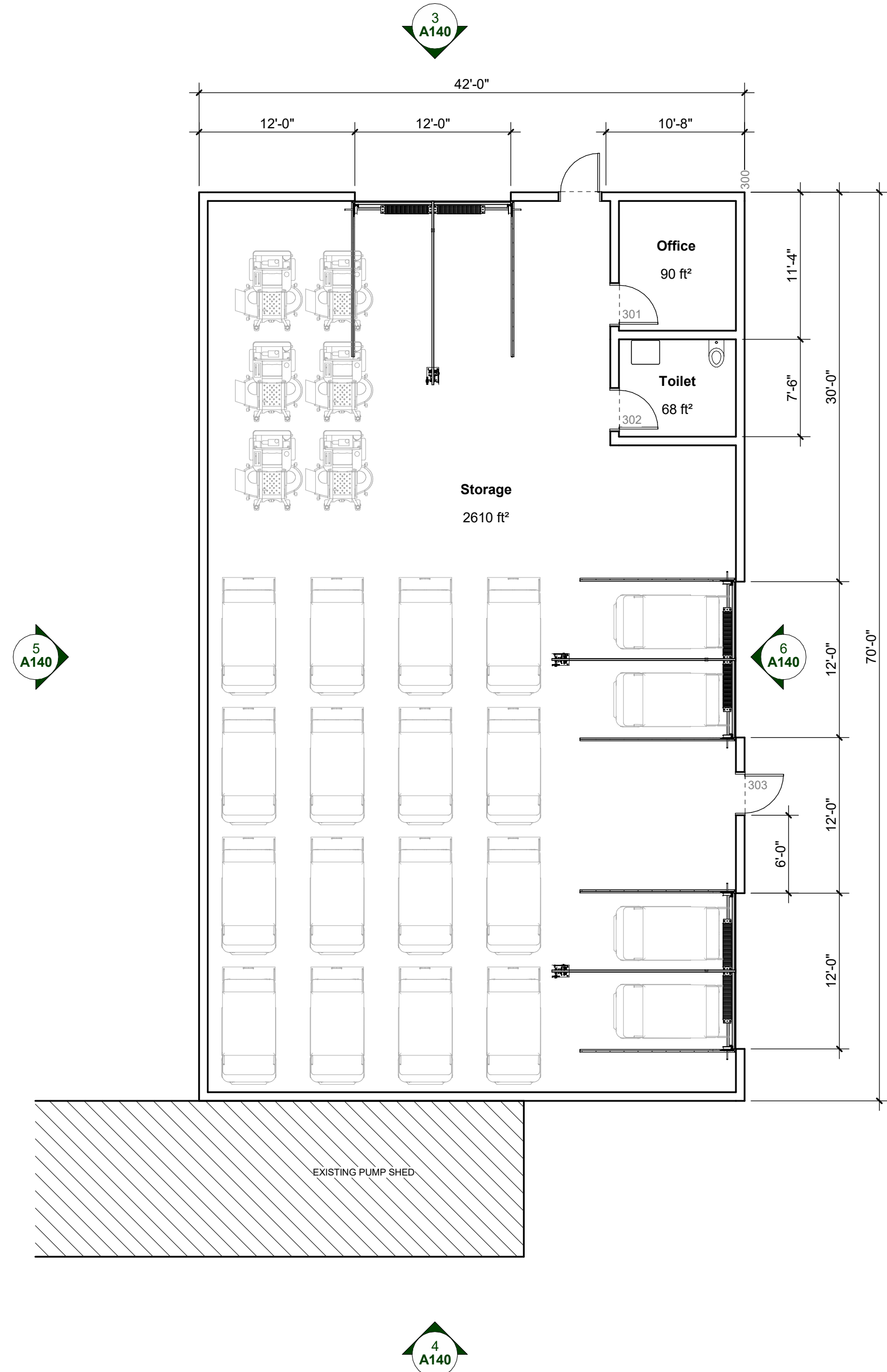


Storage Shed Roof
21' - 6"

5 Storage Building - West Elevation
A140 1/8" = 1'-0"



2 Storage Shed - Roof Plan
A140 1/8" = 1'-0"



1 Storage Shed - Floor Plan
A140 1/8" = 1'-0"

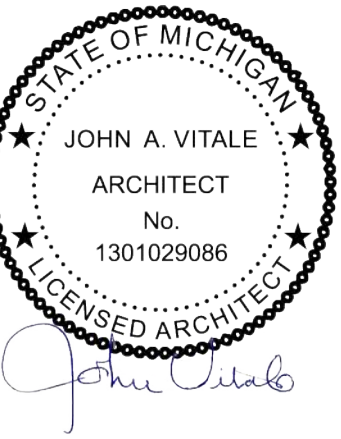


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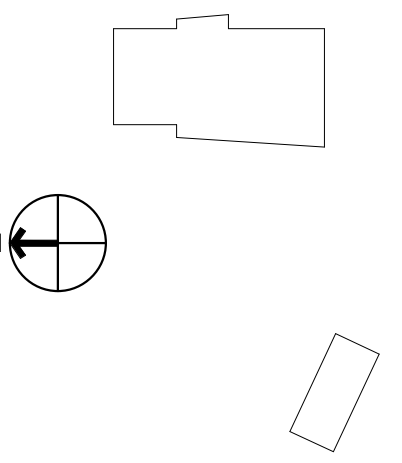
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Seal:



Project :
Somerset Park
Apartments -
Administration Building
Troy | Michigan

Key Plan:



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COMPOSITE STORAGE SHED
FLOOR PLAN

Project No. :
2023.074

Sheet No. :

A140

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FORMED METAL PANEL SCREEN WALL
 METAL PANEL WALL SYSTEM
 PROFILE METAL PANEL WALL SYSTEM
 BRICK VENEER WALL SYSTEM

T.O. Screen Wall
35' - 0"
 T.O. Parapet
30' - 4"
 Level 02
15' - 0"
 Level 1
0' - 0"

2 West Elevation
 A301 1/8" = 1'-0"



METAL PANEL SCREEN WALL
 PROFILE METAL PANEL WALL SYSTEM
 BRICK VENEER WALL SYSTEM
 METAL PANEL WALL SYSTEM

T.O. Screen Wall
35' - 0"
 T.O. Parapet
30' - 4"
 Level 02
15' - 0"
 Level 1
0' - 0"

1 East Elevation
 A301 1/8" = 1'-0"

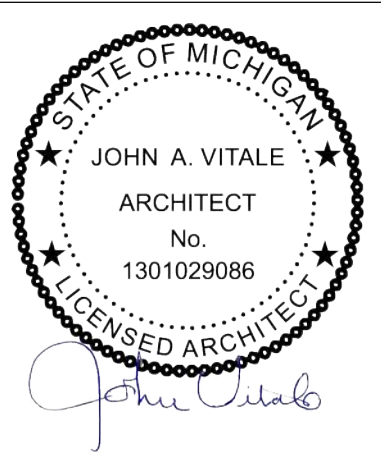


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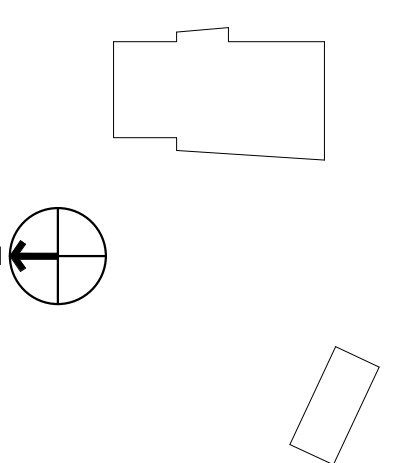
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Seal:



Project :
 Somerset Park
 Apartments -
 Administration Building
 Troy | Michigan

Key Plan:



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 Sheet Title :
 EXTERIOR ELEVATIONS

Project No. :
 2023.074

Sheet No. :
A301

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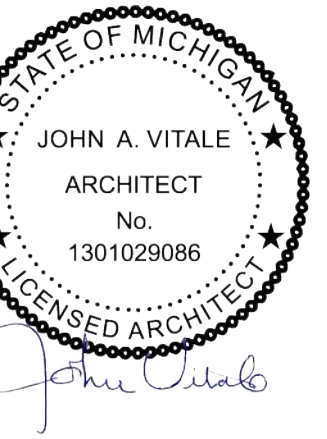


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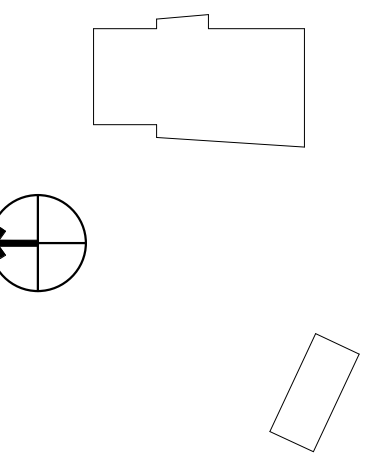
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Seal:



Project :
 Somerset Park
 Apartments -
 Administration Building
 Troy | Michigan

Key Plan:



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 Checked by :
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 Sheet Title :
 EXTERIOR ELEVATIONS

Project No. :
 2023.074

Sheet No. :
A302

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2 North Elevation
 1/8" = 1'-0"



1 South Elevation
 1/8" = 1'-0"



CONCEPTUAL RENDERING - FROM NORTHEAST ALONG GOLFVIEW LOOKING AT MAIN ENTRANCE OF BUILDING



CONCEPTUAL RENDERING - FROM SOUTH EAST LOOKING NORTH AT OUTDOOR PATIO

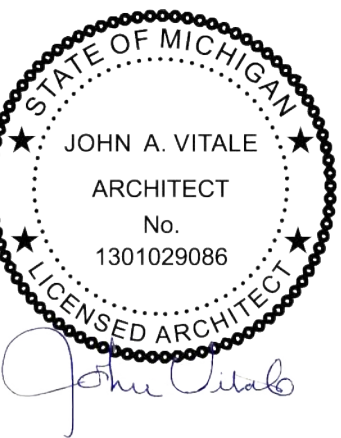


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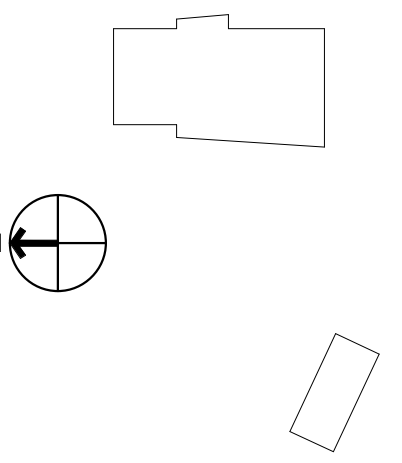
Seal:



Project :

Somerset Park
 Apartments -
 Administration Building
 Troy | Michigan

Key Plan:



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 Checked by :
 CPG, MJB
 Sheet Title :
 EXTERIOR RENDEREINGS

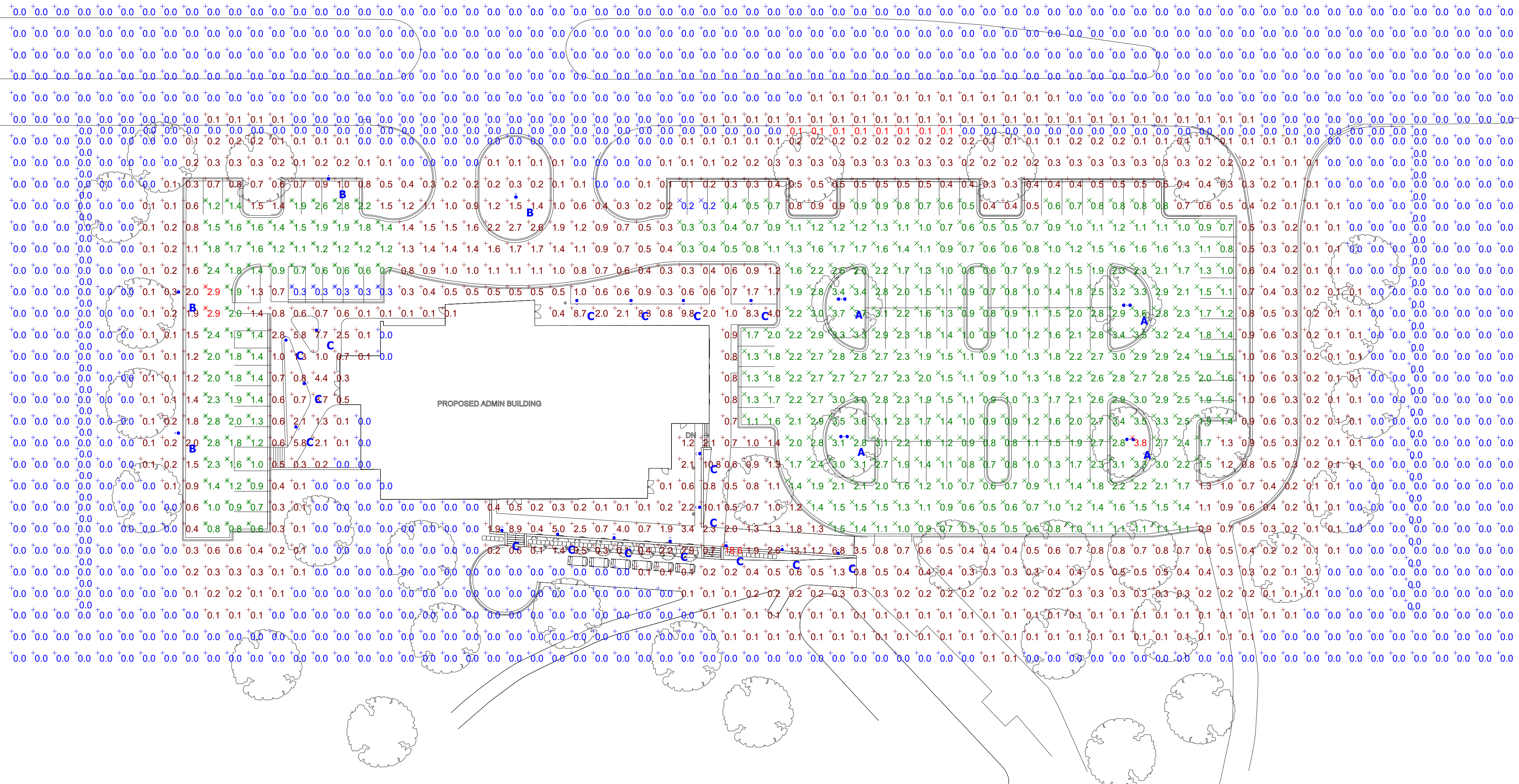
Project No. :
 2023.074

Sheet No. :
A311

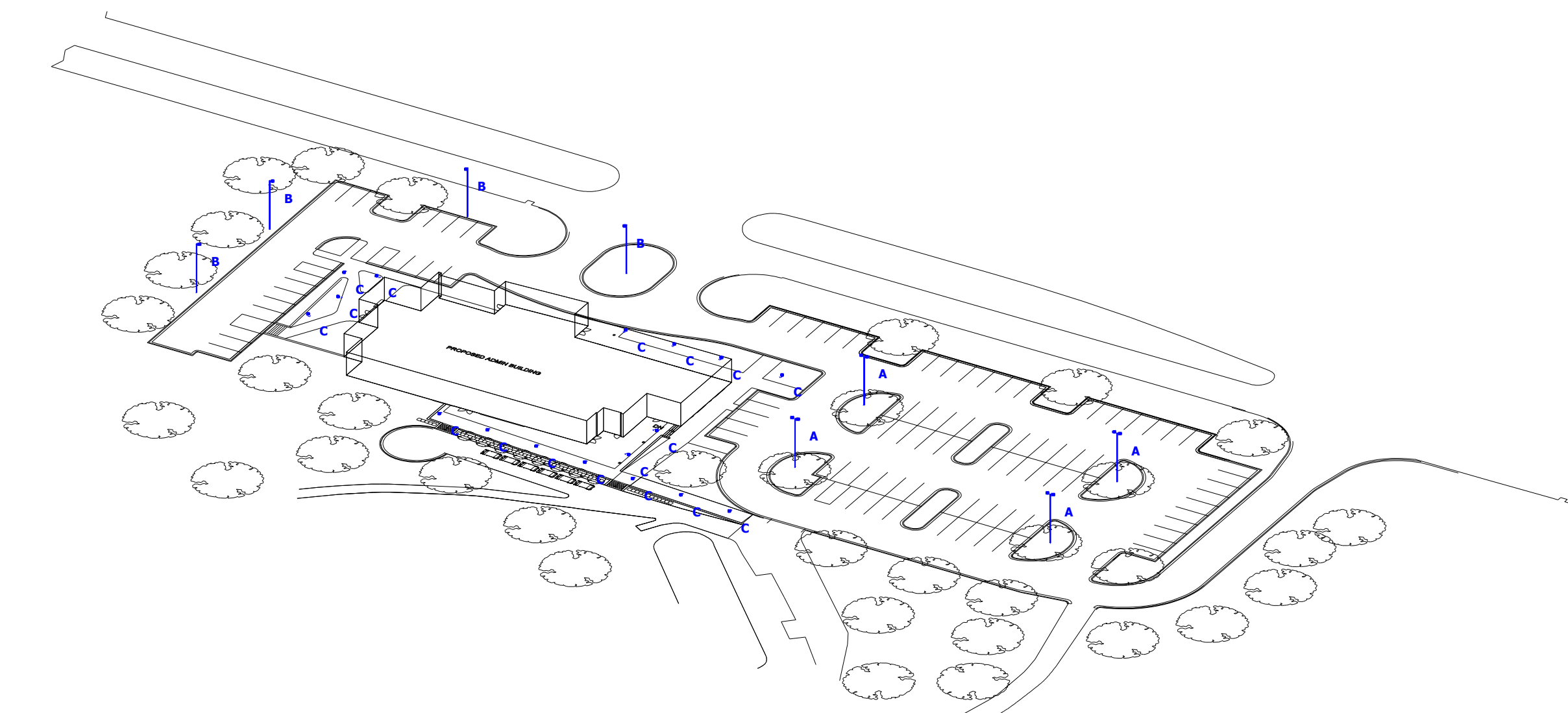
DO NOT SCALE DRAWINGS
 © 2024 - StuckyVitale Architects



SOMERSET ADMIN BUILDING - SITE
PHOTOMETRIC LAYOUT
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM



Plan View
Scale - 1" = 30ft



South East View

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	✕	1.7 fc	3.8 fc	0.2 fc	19.0:1	8.5:1
Parking Area	✕	1.5 fc	2.9 fc	0.3 fc	9.7:1	5.0:1
Property Line @ 5'	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Overall	+	0.6 fc	18.6 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power	Mounting Height
⊙	A	4	Lumenpulse	LIAM-120_277-CSL-M110-40K-CRI 80-5S	Lumenicon Medium	10133	0.9	184	25'
⊙	B	4	Lumenpulse	LIAM-120_277-CSL-M110-40K-CRI 70-3 BLS	Lumenicon Medium	6418	0.9	92	25'
⊙	C	17	Lumenpulse	LIB-120_277-CSL-RO-40K-CRI 80-4-XX-XX	Lumenicon Bollard	1513	0.9	20	40"

Specification Sheet

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0" & 5' - 0"

Specification Sheet

General Note

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0" & 5' - 0"

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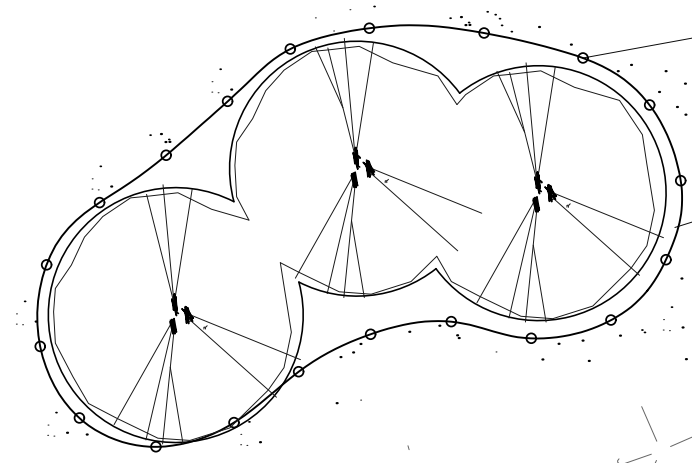
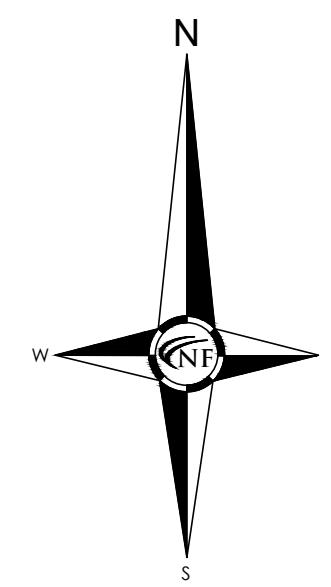
Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Designer
KS
Date
08/05/2024
Scale
Not to Scale
Drawing No.
#24-32170_V1



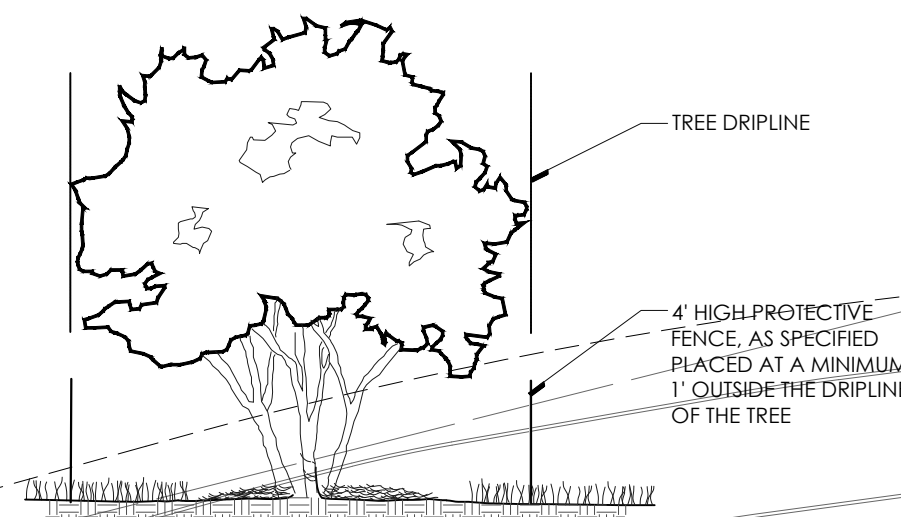
TREE PROTECTION DETAIL-PLAN

5/8" X 6' RE-ROD, OR EQUAL, SUPPORT POSTS EVERY 10' O.C. INSTALL POSTS A MIN. 24" INTO GROUND, TYPICAL.

4' HIGH FENCING, AS SPECIFIED, TO BE PLACED 1' OUTSIDE THE DRIP LINE OR LIMITS OF GRADING, AS INDICATED ON PLAN, TYPICAL.

NOTE: FENCING TO BE 4' HIGH ORANGE SNOW FENCE, OR APPROVED EQUAL.

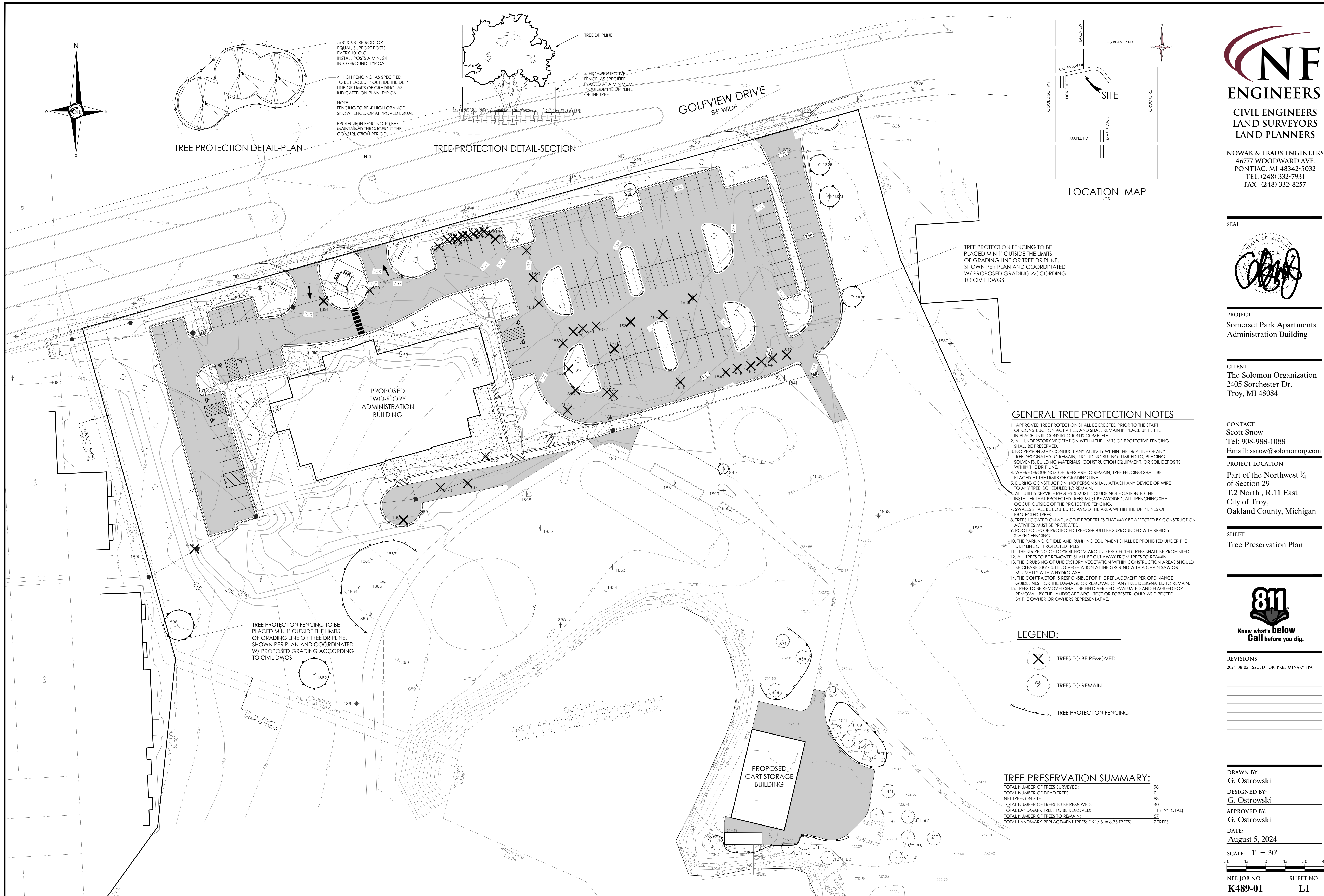
PROTECTION FENCING TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



TREE PROTECTION DETAIL-SECTION



LOCATION MAP N.T.S.



TREE PROTECTION FENCING TO BE PLACED MIN 1' OUTSIDE THE LIMITS OF GRADING LINE OR TREE DRIPLINE, SHOWN PER PLAN AND COORDINATED W/ PROPOSED GRADING ACCORDING TO CIVIL DWGS

TREE PROTECTION FENCING TO BE PLACED MIN 1' OUTSIDE THE LIMITS OF GRADING LINE OR TREE DRIPLINE, SHOWN PER PLAN AND COORDINATED W/ PROPOSED GRADING ACCORDING TO CIVIL DWGS

GENERAL TREE PROTECTION NOTES

- APPROVED TREE PROTECTION SHALL BE ERRECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE, SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO-AXE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL, BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.

LEGEND:

- TREES TO BE REMOVED
- TREES TO REMAIN
- TREE PROTECTION FENCING

TREE PRESERVATION SUMMARY:

TOTAL NUMBER OF TREES SURVEYED:	98
TOTAL NUMBER OF DEAD TREES:	0
NET TREES ON-SITE:	98
TOTAL NUMBER OF TREES TO BE REMOVED:	40
TOTAL NUMBER OF TREES TO REMAIN:	57
TOTAL LANDMARK REPLACEMENT TREES: (19' / 3" = 6.33 TREES)	7 TREES



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT
Somerset Park Apartments
Administration Building

CLIENT
The Solomon Organization
2405 Sorchester Dr.
Troy, MI 48084

CONTACT
Scott Snow
Tel: 908-988-1088
Email: snow@solomonorg.com

PROJECT LOCATION
Part of the Northwest 1/4
of Section 29
T.2 North, R.11 East
City of Troy,
Oakland County, Michigan

SHEET
Tree Preservation Plan



Know whats below
Call before you dig.

REVISIONS
2024-08-05 ISSUED FOR PRELIMINARY SPA

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

DATE:
August 5, 2024

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
K489-01 L1

W:\CS00\2020 Rev\CS00\FILES\489-01\Office\Landscapes\489-01_L1.dwg, 8/7/2024 11:22:13 AM

DEMOLITION NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING THE UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE ARCHITECT AND OWNERS REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- ALL EXISTING IMPROVEMENTS, MATERIALS AND PLANT MATERIAL TO REMAIN WITHIN THE NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING THE DEMOLITION OPERATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
- ALL MATERIALS TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE CITY ENGINEER FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE CITY ENGINEER.
- STREETS, SIDEWALKS AND ADJACENT PROPERTIES SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS AND APPROVED BY THE OWNER.
- ALL MATERIAL SPECIFIED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE PER LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL COORDINATE METHOD OF DISPOSAL WITH CITY ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- MATERIALS TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE OWNERS REPRESENTATIVE FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER.
- DURING DEMOLITION OPERATIONS EVERY EFFORT SHALL BE MADE TO CONTROL DUST, PER CITY REQUIREMENTS.
- TREES AND SHRUBS TO BE REMOVED WITHIN THE LIMITS OF WORK SHALL BE CLEARLY IDENTIFIED WITH BRIGHTLY COLORED RIBBON.
- GRUBBING SHALL INCLUDE ALL WEEDS, SHRUBS, STUMPS AND ROOT SYSTEMS OF REMOVED PLANT MATERIAL, IRRIGATION PIPING AND ANY OTHER IRRIGATION MATERIALS WITHIN THE LIMITS OF DEMOLITION. GRUBBING SHALL BE TO THE DEPTHS BELOW PROPOSED IMPROVEMENTS INDICATED AS FOLLOWS: CONCRETE PAVING AND WALKWAYS-TOTAL DEPTH OF PAVING AND SUB-BASE; ASPHALT PAVING-TOTAL DEPTH OF PAVING AND SUB-BASE; LAWN AND OTHER PLANTING AREAS-REMOVE DEPTH REQUIRED OF STUMPS AND ROOTS OVER TWO (2) INCHES IN DIAMETER AND TURF.
- PROTECT EXISTING TREES TO REMAIN PER TYPICAL TREE PROTECTION DETAIL.
- STOCKPILED TOPSOIL SHALL BE STORED ON SITE AND REMAIN PROTECTED FROM CONTAMINATION PRIOR TO REDISTRIBUTION.
- SAWCUT AND REMOVE EXISTING ASPHALT AS REQUIRED TO INSTALL NEW SITE IMPROVEMENTS AND ADJUST GRADES WITHIN CITY STREETS. ALL WORK WITHIN CITY RIGHT OF WAY SHALL MEET CITY STANDARDS AND SPECIFICATIONS.
- ARRANGE FOR APPLICABLE UTILITY COMPANY TO RELOCATE EXISTING CABLES, WIRES, PHONE LINES, ETC. ALONG WITH EDISON POWER LINES AS REQUIRED.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL APPLICABLE PERMITS AND FEES NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT.

GRADING NOTES:

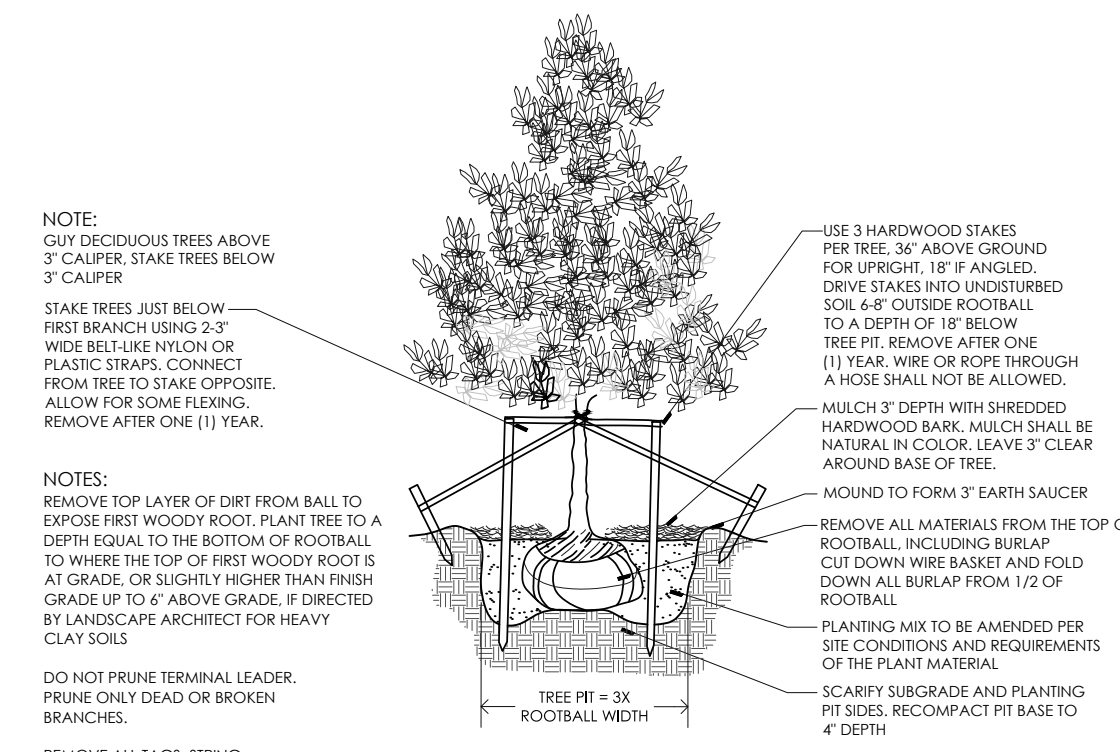
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING THE UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE ARCHITECT AND OWNERS REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND / OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO LACK OF SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR ACTUAL OR CLAIMED BETWEEN EXISTING GRADE AND THOSE SHOWN ON PLANS AFTER CONTRACTOR HAS ACCEPTED EXISTING GRADES AND MOVED ON TO THE SITE.
- ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH THE EXISTING GRADE AT PROJECT LIMIT. PRECISE ELEVATIONS INDICATED ON THE PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- ALL GRADING AND PLACEMENT OF DRAINAGE STRUCTURES TO BE SUPERVISED IN THE FIELD BY THE OWNERS REPRESENTATIVE.
- INSTALL 4" DEPTH TOPSOIL OVER ALL DISTURBED LAWN AREAS.
- SEED ALL PROPOSED OR DISTURBED LAWN AREAS.

PLANTING NOTES:

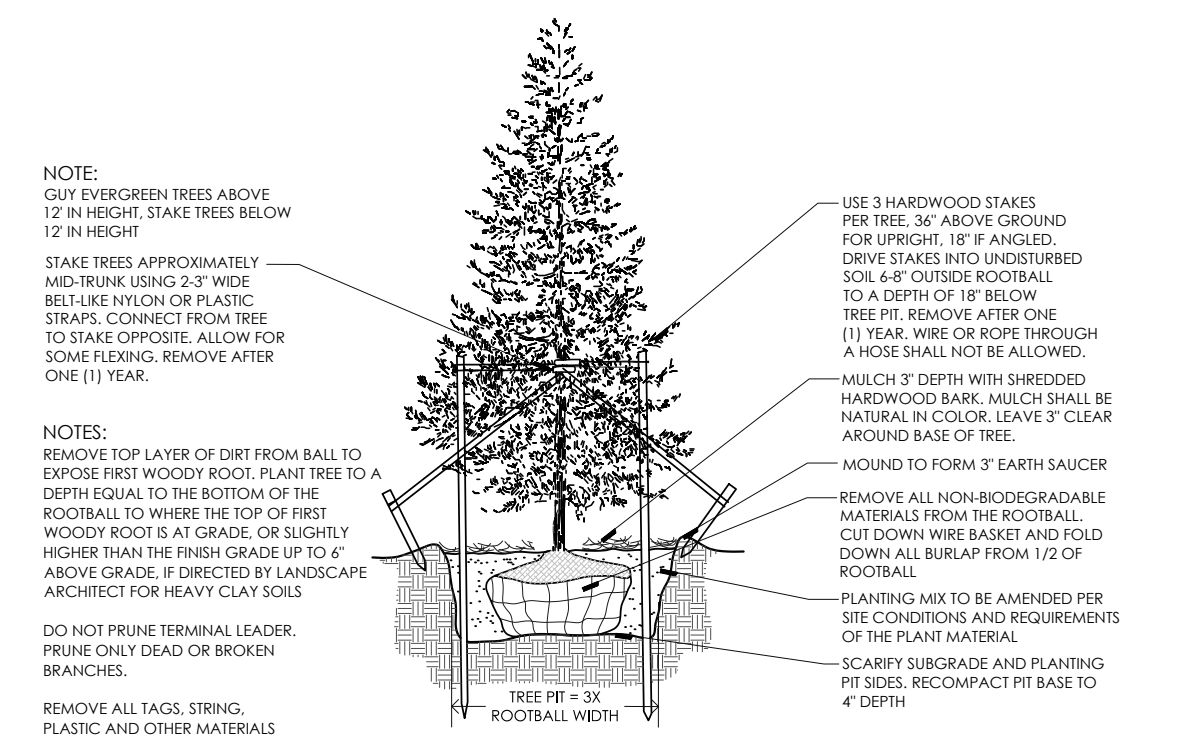
- THE CONTRACTOR SHALL VERIFY ALL RIGHTS OF WAY, EASEMENTS, PROPERTY LINES AND LIMITS OF WORK, ETC. PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES 72 HOURS IN ADVANCE OF ANY DIGGING TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- ANY DISCREPANCIES BETWEEN DIMENSIONED LAYOUT AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN WILL RESULT IN CONTRACTOR'S RESPONSIBILITY AND LIABILITY FOR ANY CHANGES AND ASSOCIATED COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION INSTALLATION OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN POSITIVE SURFACE DRAINAGE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, AND OR OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- SEE SPECIFICATIONS, PLANT LIST AND PLANTING DETAILS FOR PLANTING REQUIREMENTS, MATERIALS AND EXECUTION.
- ALL TREES TO HAVE CLAY LOAM OR CLAY BALLS - TREES WITH SAND BALLS SHALL NOT BE ACCEPTED.
- ALL TREES TO BE APPROVED BY OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE. ANY TREES DELETED TO THE SITE NOT PREVIOUSLY APPROVED MAY BE REJECTED AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR TO VERIFY PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL PLACE 3" DEPTH OF SHREDED BARK MULCH IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED.

CONSTRUCTION NOTES:

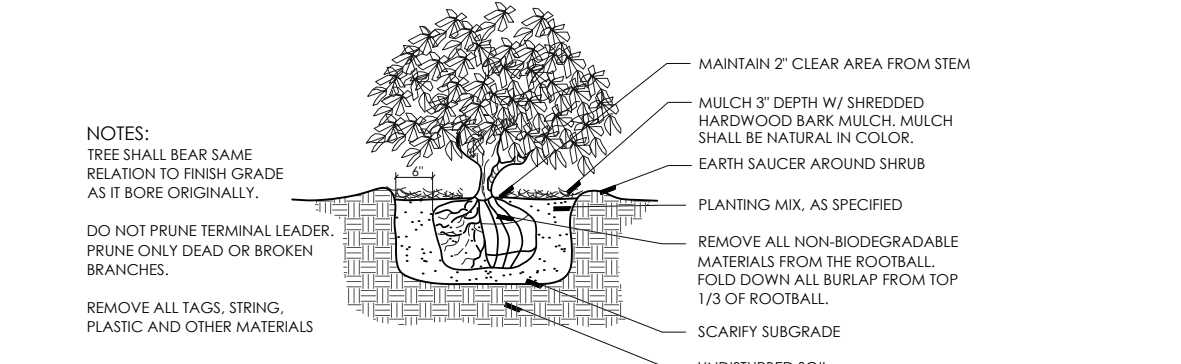
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- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND / OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO LACK OF SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- SEE SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS, MATERIALS, AND EXECUTION.
- ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUBMIT ALL SAMPLES PER SPECIFICATIONS. ALL SAMPLES SHALL BE APPROVED BY THE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.
- DIMENSIONAL FLEXIBILITY SHALL BE WITHIN PLANT BEDS ONLY.
- CONTRACTOR SHALL COORDINATE ALL SITE LAYOUT WITH THE LANDSCAPE ARCHITECT AND REPORT ANY DIMENSIONAL DISCREPANCIES PRIOR TO CONSTRUCTION.
- HANDICAPPED RAMPS SHALL MEET ALL CURRENT BARRIER FREE DESIGN CODES.



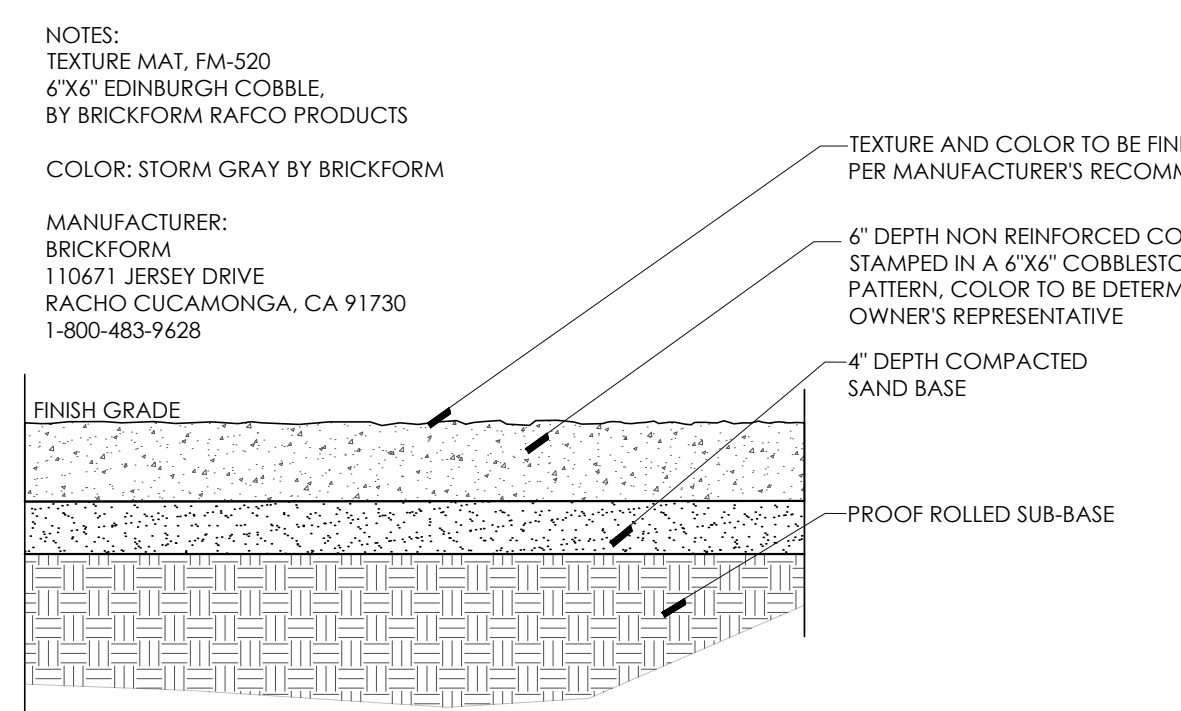
DECIDUOUS TREE PLANTING DETAIL



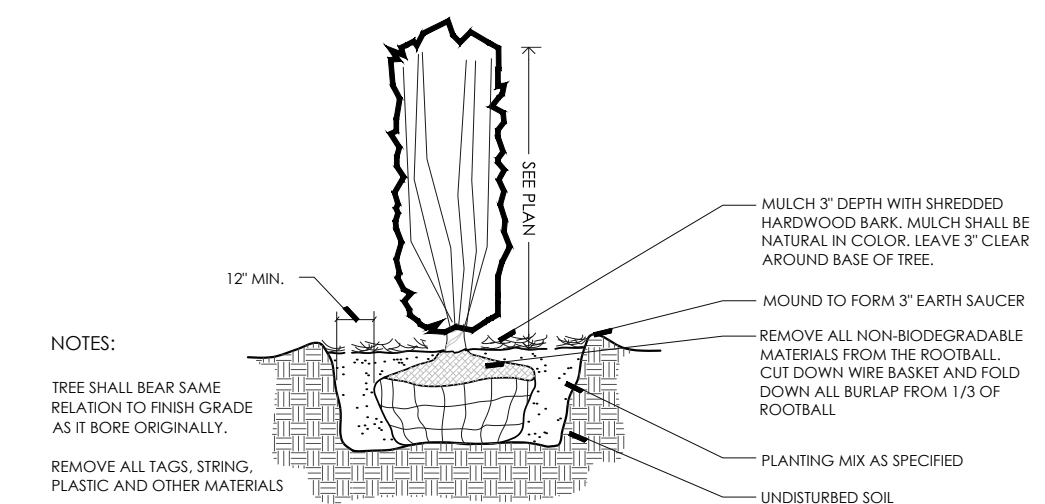
EVERGREEN TREE PLANTING DETAIL



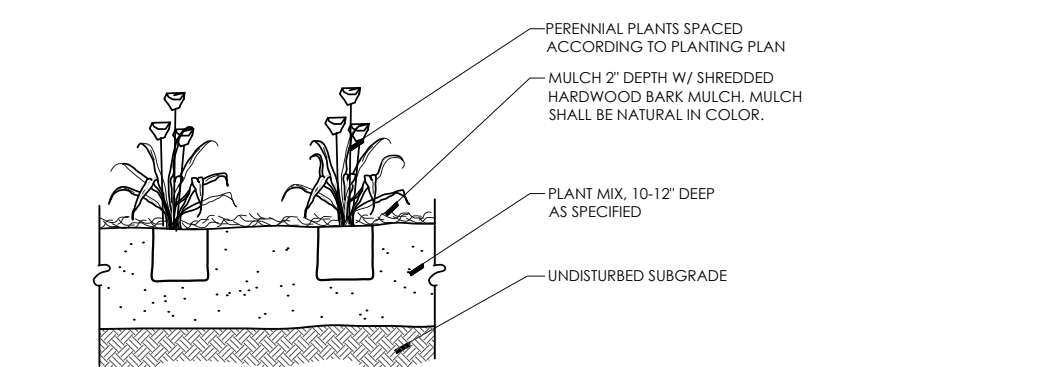
SHRUB PLANTING DETAIL
DECIDUOUS SHRUB



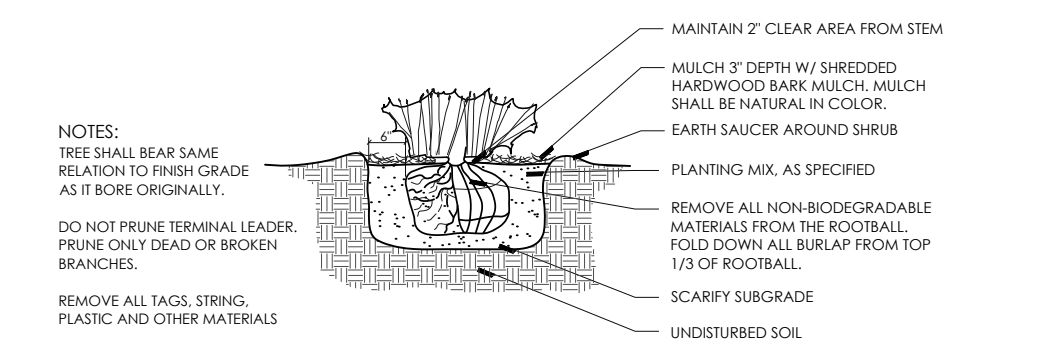
STAMPED/COLORED CONCRETE SECTION



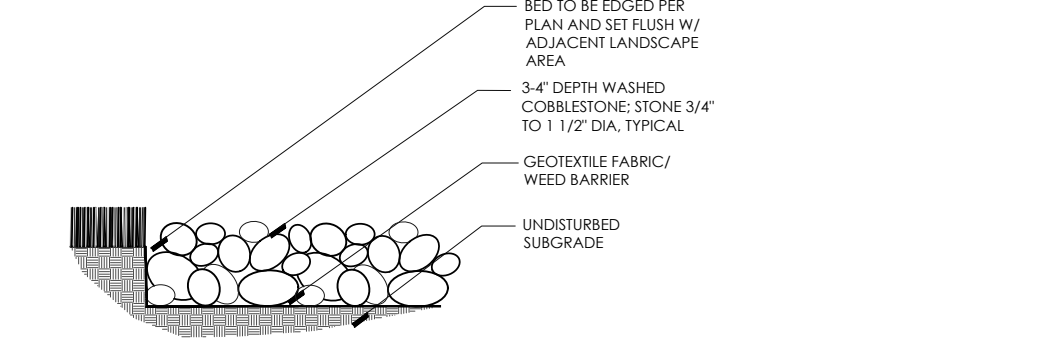
UPRIGHT EVERGREEN SHRUB PLANTING DETAIL



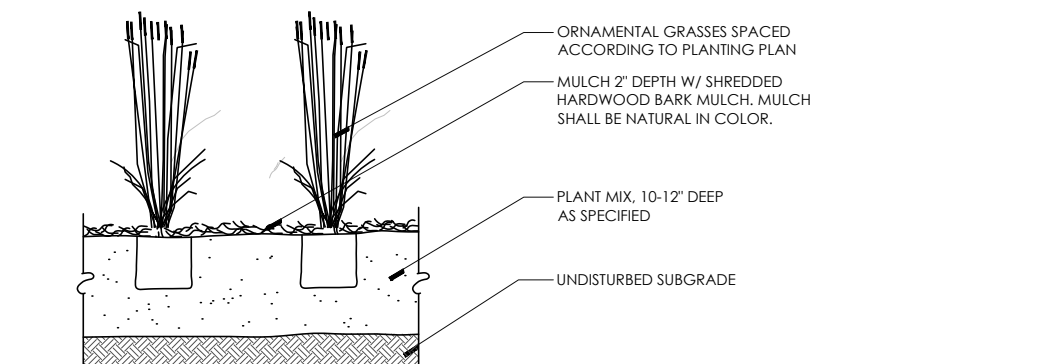
PERENNIAL PLANTING DETAIL



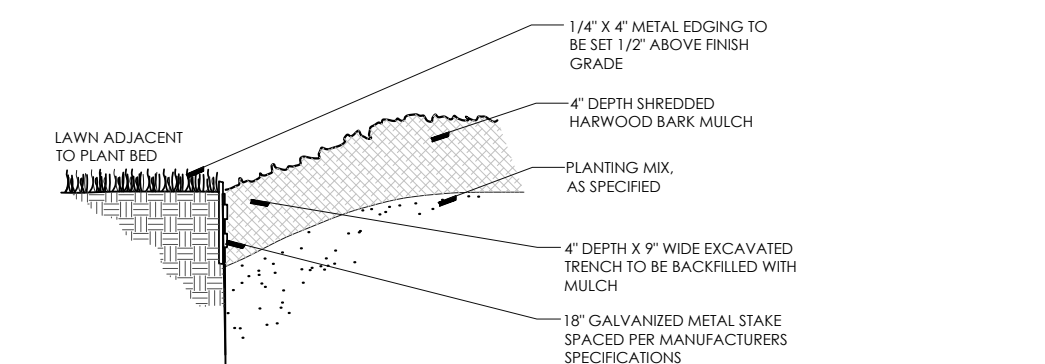
HEDGE PLANTING DETAIL



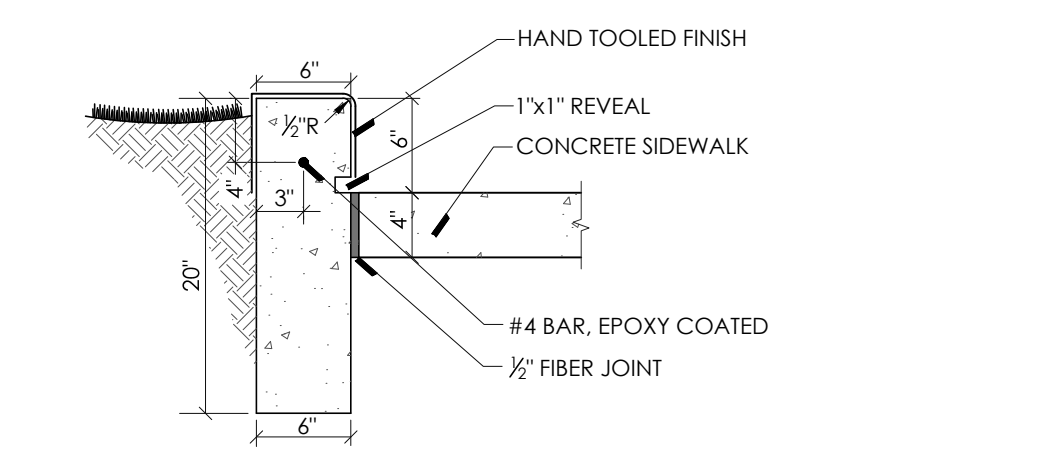
COBBLESTONE MULCH DETAIL



ORNAMENTAL GRASS PLANTING DETAIL



METAL EDGING DETAIL



6" RAISED CONCRETE CURBED PLANTER



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT
Somerset Park Apartments
Administration Building

CLIENT
The Solomon Organization
2405 Dorchester Dr.
Troy, MI 48084

CONTACT
Scott Snow
Tel: 908-988-1088
Email: ssnow@solomonorg.com

PROJECT LOCATION
Part of the Northwest 1/4
of Section 29
T.2 North, R.11 East
City of Troy,
Oakland County, Michigan

SHEET
Landscape Notes
and Details



Know whats below
Call before you dig.

REVISIONS

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

DATE:
August 5, 2024

SCALE: VARIES

X X 0 X X X X X

NFE JOB NO. SHEET NO.
K489-01 L3