



## Zoning Board of Appeals Application

### STATEMENT OF PRACTICAL DIFFICULTY

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

# **MOTION TEMPLATE GRANT VARIANCE**

## **RESOLUTION TEMPLATE**

Moved by:

Seconded by:

That the variance request for [applicant name, address or location], for [request]

*Be granted for the following reasons:*

The applicant has demonstrated that:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:

Nays:

**MOTION CARRIED / FAILED**

## **MOTION TEMPLATE DENY**

Moved by:

Seconded by:

That the variance request for [applicant name, address or location], for [request]

Be denied for the following reason(s):

The applicant has not demonstrated that:

- f) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- g) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- h) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- i) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- j) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:

Nays:

**MOTION CARRIED / FAILED**

## **MOTION TEMPLATE POSTPONE**

Moved by:

Seconded by:

***RESOLVED***, that the variance request for [applicant name, address or location], for [request]

*Be postponed for the following reason(s):*

Yeas:

Nays:

**MOTION CARRIED / FAILED**

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500 West Big Beaver  
Troy, MI 48084  
troymi.gov

248.524.3364  
planning@troymi.gov

## ZONING BOARD OF APPEALS MEETING AGENDA

Michael Bossenbroek, Chair, Thomas Desmond, Vice Chair  
Aaron Green, David Eisenbacher, Mahendra Kenkre, Jim McCauley,  
Tyler Fox, Barbara Chambers, Alternate, Jeffrey Forster, Alternate

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**November 19, 2024**

**7:00 P.M.**

**COUNCIL CHAMBERS**

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1. ROLL CALL
2. PROCEDURE
3. APPROVAL OF MINUTES – October 15, 2024
4. APPROVAL OF AGENDA
5. HEARING OF CASES:
  - A. Vacant, PIN 88-20-24-100-039, property east of and next to 3986 John R., Humberto Gonzalez - An appeal of the Planning Commission's July 23, 2024 Preliminary Site Plan approval of the proposed Wattles Square Apartments.  
  
ZONING ORDINANCE SECTION: 15.04 C
  - B. Vacant, PIN 88-20-24-100-039, property east of and next to 3986 John R., Xingzhong (Jason) Zhang - An appeal of the Planning Commission's July 23, 2024 Preliminary Site Plan approval of the proposed Wattles Square Apartments.  
  
ZONING ORDINANCE SECTION: 15.04 C
  - C. 801 Hannah, Ollie Apahidean - A variance request to allow a proposed home addition be set back 10 feet from the front (west) property line, where the Zoning Ordinance requires a 40 foot set back.  
  
ZONING ORDINANCE SECTION: 4.06 C R-1B Zoning district
6. COMMUNICATIONS
7. MISCELLANEOUS BUSINESS – 2025 Meeting Schedule
8. PUBLIC COMMENT
9. ADJOURNMENT

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

## ZONING BOARD OF APPEALS – OPENING STATEMENT

The Zoning Board of Appeals is a group of seven of your neighbors appointed by the Troy City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Applicants must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

### PROCEDURE

The Board will hear the items in the order that they appear on the approved agenda. When an item is called, the Chairperson will verify that the applicant is present. Then the City Administration will summarize the facts of the case. If there is less than a full board (7 members) present at a meeting, an applicant may request a postponement so his or her request can be heard by a full board. If there is no request for a postponement, the applicant will then be given an opportunity to address the Board to explain the justification for the action requested.

After the applicant makes their presentation, and answers any questions that the Board may have, the Chairperson will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairperson, come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next-door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairperson. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairperson to speak at one time.

At the conclusion of public comments, the Chairperson will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.

On October 15, 2024 at 7:00 p.m., Chair Bossenbroek called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bossenbroek  
Barbara Chambers  
David Eisenbacher  
Aaron Green  
Tyler Fox  
Mahendra Kenkre (arrived 7:04)  
James McCauley

Also Present:

Paul Evans, Zoning and Compliance Specialist  
Nicole MacMillan, Assistant City Attorney

2. PROCEDURE- read by Mr. Eisenbacher

3. APPROVAL OF MINUTES –

Moved by Fox  
Second by Green

RESOLVED, to approve the September 17, 2024 draft minutes.

Yes: All

MOTION PASSED

4. APPROVAL OF AGENDA – no changes

5. HEARING OF CASES:

- A. 5589 JOHN R, TERESITA SANDOVAL - A variance request from the requirement that the minimum site area for an adult foster care facility be at least 40,000 square feet. The Zoning Ordinance requires 4,000 square feet per resident, and 10 residents are proposed. The site area is 34,798.5 square feet.

Moved by Eisenbacher  
Second by Fox

RESOLVED, to grant the request.

Yes: Green, Fox, Kenkre, Chambers, Eisenbacher

No: McCauley, Bossenbroek

MOTION PASSED

- B. 645 BURTMAN PAUL SCHILLER, ITALY AMERICAN CONSTRUCTION - A variance request to allow a proposed detached accessory structure (garage) be set back 3 feet from the side property line, where the Zoning Ordinance requires the proposed garage be set back 6 feet from the side property line.

Moved by Eisenbacher  
Second by McCauley

RESOLVED, to grant the request

Yes: Fox, Chambers, McCauley, Eisenbacher, Kenkre  
No: Green, Bossenbroek

MOTION PASSED

6. COMMUNICATIONS – Mr. Evans advised the board there were cases for the November agenda.
7. MISCELLANEOUS BUSINESS - General Board discussion on certain residential areas of the City that appear to have consistent nonconforming development patterns, including the 645 Burtman neighborhood. The Board desires to know options to request these areas be studied for potential Zoning Ordinance changes to better accommodate for the nonconforming conditions.
8. PUBLIC COMMENT – None
9. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 8:23 p.m.

Respectfully submitted,

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Michael Bossenbroek, Chair

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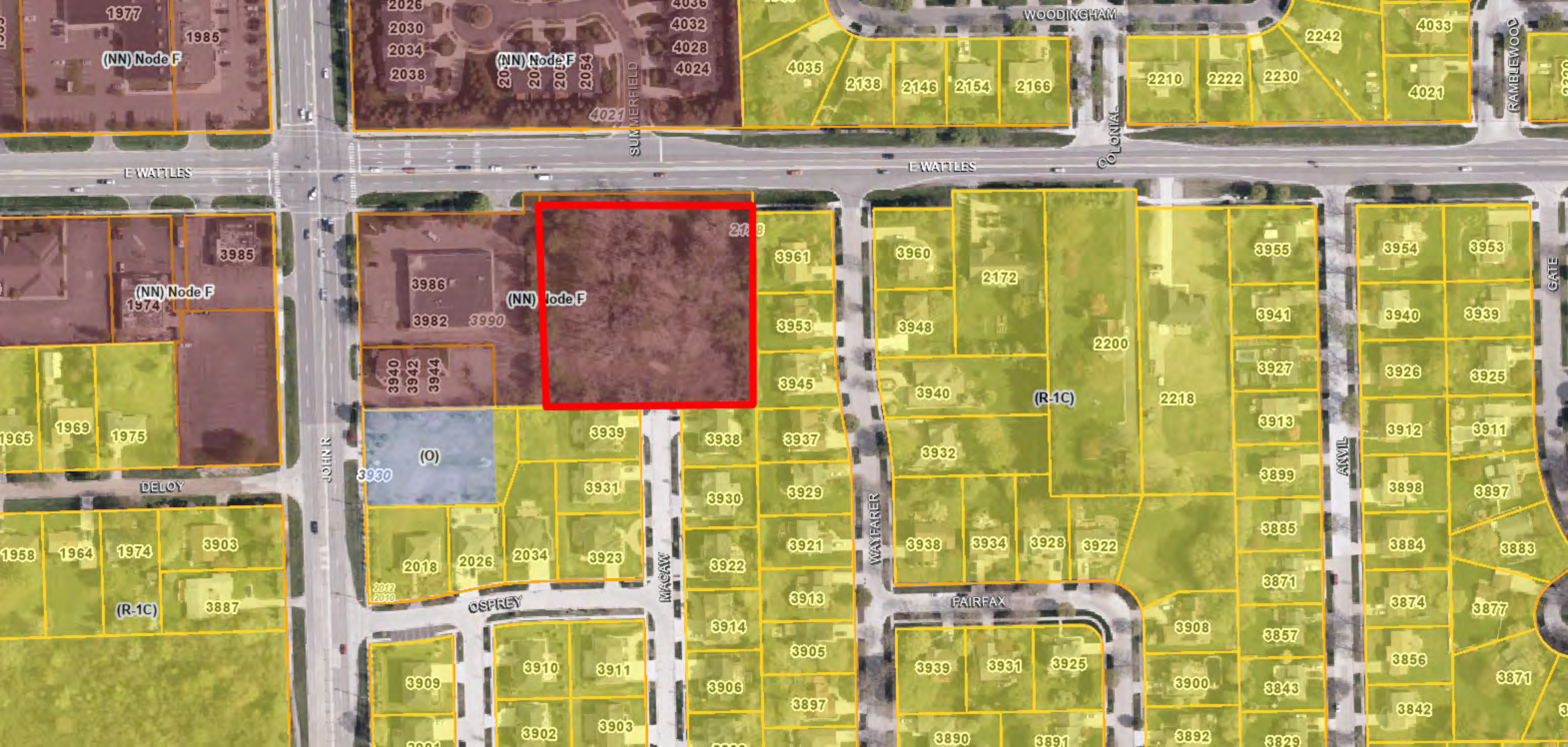
Paul Evans, Zoning & Compliance Specialist



- A. Vacant, PIN 88-20-24-100-039, property east of and next to 3986 John R., Humberto Gonzalez - An appeal of the Planning Commission's July 23, 2024 Preliminary Site Plan approval of the proposed Wattles Square Apartments.

ZONING ORDINANCE SECTION: 15.04 C





(NN) Node F

(NN) Node F

WOODINGHAM

E WATTLES

E WATTLES

COLONIAL

RAMBLEWOOD

(NN) Node F

(NN) Node F

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(O)

JOHN R

DELOY

OSPREY

MACAW

WAYFARER

FAIRFAX

AXVIL

GATE



E WATTLES

JOHN R

WAYFARER

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500 West Big Beaver  
Troy, MI 48084  
troymi.gov

Date: October 23, 2024

To: Members of the Troy Zoning Board of Appeals

From: Lori Grigg Bluhm, City Attorney  
Nicole MacMillan, Assistant City Attorney

Subject: Wattles Square Apartments

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There are two appellate items on the Zoning Board of Appeals (ZBA) Agenda for November 2024. The residents of 3939 Macaw and 3953 Wayfarer Drive have both submitted applications seeking to appeal the July 23, 2024 preliminary site plan approval granted by the Planning Commission for the proposed Wattles Square Apartments. These appeals are required to be considered separately.

Section 15.04(C) of the City's Zoning Ordinance delegates appeals of administrative or board decisions to the ZBA. Under this provision, an appellant must demonstrate that they have both a property interest and standing to challenge the decision. (Section 15.04(C)(1)). The ZBA must first determine if either or both of these applicants have established these pre-requisites.

As to standing, Troy's ordinance and Michigan case law requires an appellant to be "aggrieved" by the decision. This has been further refined to require both appellants to first demonstrate that they opposed the preliminary site plan at the Planning Commission hearing. Assuming they satisfy this hurdle, the appellants must show that they have some protected interest or protected personal, pecuniary, or property right that will be or is likely to be affected by the approval of the preliminary site plan. Third, the appellants must produce evidence that they have or will incur special damages from the Planning Commission's approval of the preliminary site plan. These special damages are actual or likely injuries to their property interest that is different in kind or more significant in degree than the effects on others in the local community.

As to the third element, above, generalized concerns about traffic, aesthetics or environmental harms will not meet the appellant's burden of proof for standing. Instead, the appellant must demonstrate a disproportionate burden to its property. The ZBA may consider the following factors for this analysis: (1) scope of the change; (2) the nature of the appellant's property rights; (3) the burden on the appellant's property rights, (4) the proximity of the proposed development to the appellant's property. !

The ZBA must first determine if either of the appellants have satisfied the test for standing. If not, then there is no need for further action. If standing is established, then the ZBA is required to determine if the Planning Commission made an error of law.



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Under Section 15.04(C)(4), the ZBA can affirm, reverse in whole or in part, or modify the Planning Commission's approval of the preliminary site plan for the proposed Wattles Square Apartments. In reaching its decision, this Board shall only modify or reverse if one (1) or more of the following requirements are met:

- a. The decision was arbitrary or capricious.
- b. The decision was based on an erroneous finding of material fact.
- c. The decision constituted an abuse of discretion; or
- d. The decision was based on erroneous interpretation of the Zoning Ordinance or zoning law.

In deciding this appeal, it may be important for the ZBA to note that the proposed Wattles Square Apartments development project is a "by-right" development, where there are no special conditions for approval. Following this, the Planning Commission is required to approve the preliminary site plan if all of the applicable zoning requirements are met.

If ZBA ultimately decides to reverse or modify the Planning Commission's approval of the preliminary site plan, it should fully articulate the basis in its Resolution, using the criteria set forth above. Any decision on an appeal must be supported by at least four votes, which is a majority of ZBA members (Section 15.03(B)).



# Zoning Board of Appeals Application

planning@troymi.gov | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: WATTLES SQUARE APARTMENTS SECT. 24
2. PROPERTY TAX IDENTIFICATION NUMBER(S): PIN 88-20-24-100-039
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: SECT. 8.02
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: YES: AT PLANNING COMMISSION MEETINGS ON MAY 28, 2024 & JULY 23, 2024
5. APPLICANT:
  - NAME HUMBERTO GONZALEZ
  - COMPANY RESIDENT
  - ADDRESS 3939 Macaw
  - CITY Troy STATE MI ZIP 48083
  - PHONE 313-717-9488
  - E-MAIL betogonzz@gmail.com
  - AFFILIATION TO THE PROPERTY OWNER: NONE



# Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME ATT70 CONSTRUCTION INC.

COMPANY " "

ADDRESS 2150 FRANKLIN B

CITY BLOOMFIELD HILLS STATE MI ZIP 48302-0338

TELEPHONE 248-332-5697

E-MAIL NA

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, HUMBERTO GONZALEZ (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE [Signature] DATE 09/11/2024

PRINT NAME: HUMBERTO GONZALEZ

PROPERTY OWNER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



## Zoning Board of Appeals

### Request Information

My name is Humberto Gonzalez and I am a resident of Troy, Mi. I reside at 3939 Macaw in the Estates of Willowbrook in Troy MI.

I am appealing the decision of the Planning Commission which approved the development of the Wattles Square Apartments, PIN No. 88-20-100-039.

My reasons for my appeal are several.

First, I would like to point out that the development in question will alter the character of the Estates of Willowbrook subdivision. My community is made up of residents that have strived over the years to own single family homes. This development does not support that ideology.

My understanding is that originally the property in question was zoned single family homes until 2011 at which time the zoning was changed to high density family living.

There is no good transition from the neighborhoods to this proposed development, unlike other developments in Troy. My house is setback 10 feet from the North edge of my property line. The setback of the parking lot is 20 feet to the South edge of the proposed development property line. This means that the parking lot is only 30 feet from the side of my house. Also, it is worth noting that there is a discrepancy in the plans submitted showing that the setback to the South edge of the property line is only 19.83 feet and not 20 feet.

Secondly, developing this property on only 2.1 acres will create hardships for my family and I. The extreme density of this development will present health and safety concerns of the following nature: noise and air pollution will increase due to 120 plus proposed parking spaces; lighting will create a business type of atmosphere at night; and there is a proposed dog walk. These items could vastly impact our sleep patterns and daily routines.

Lastly, the economic impact on our house value could be extremely negative. A report by Realtor.com pointed out that as areas become inundated with rentals property, values are negatively impacted by as much as 13.8%. There has been one new apartment complex built at John R and Big Beaver with another complex approved just around the corner on John R just North of Big Beaver. With the number of neighborhood nodes designated for the East side of Troy more apartment complexes could be springing up which could even worsen the situation.

Thank you for considering my appeal and I look forward to your decision.



Compose

Inbox

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Important

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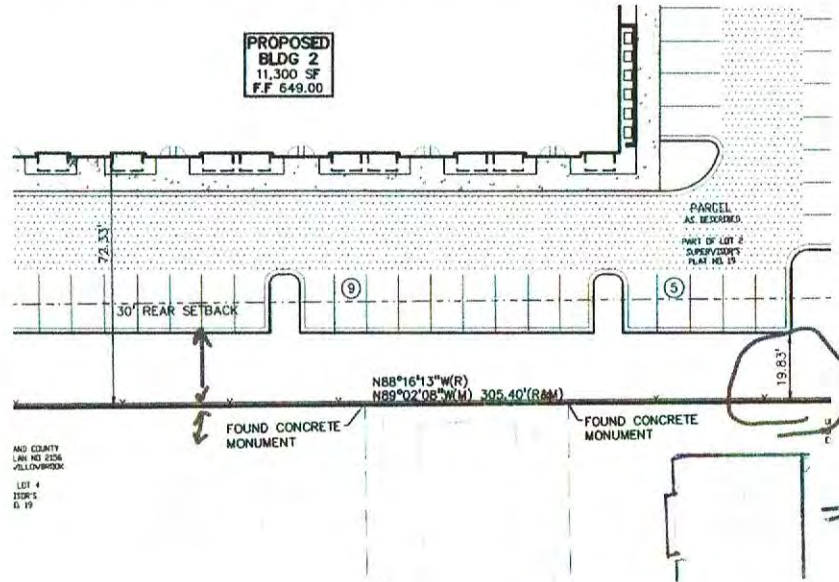
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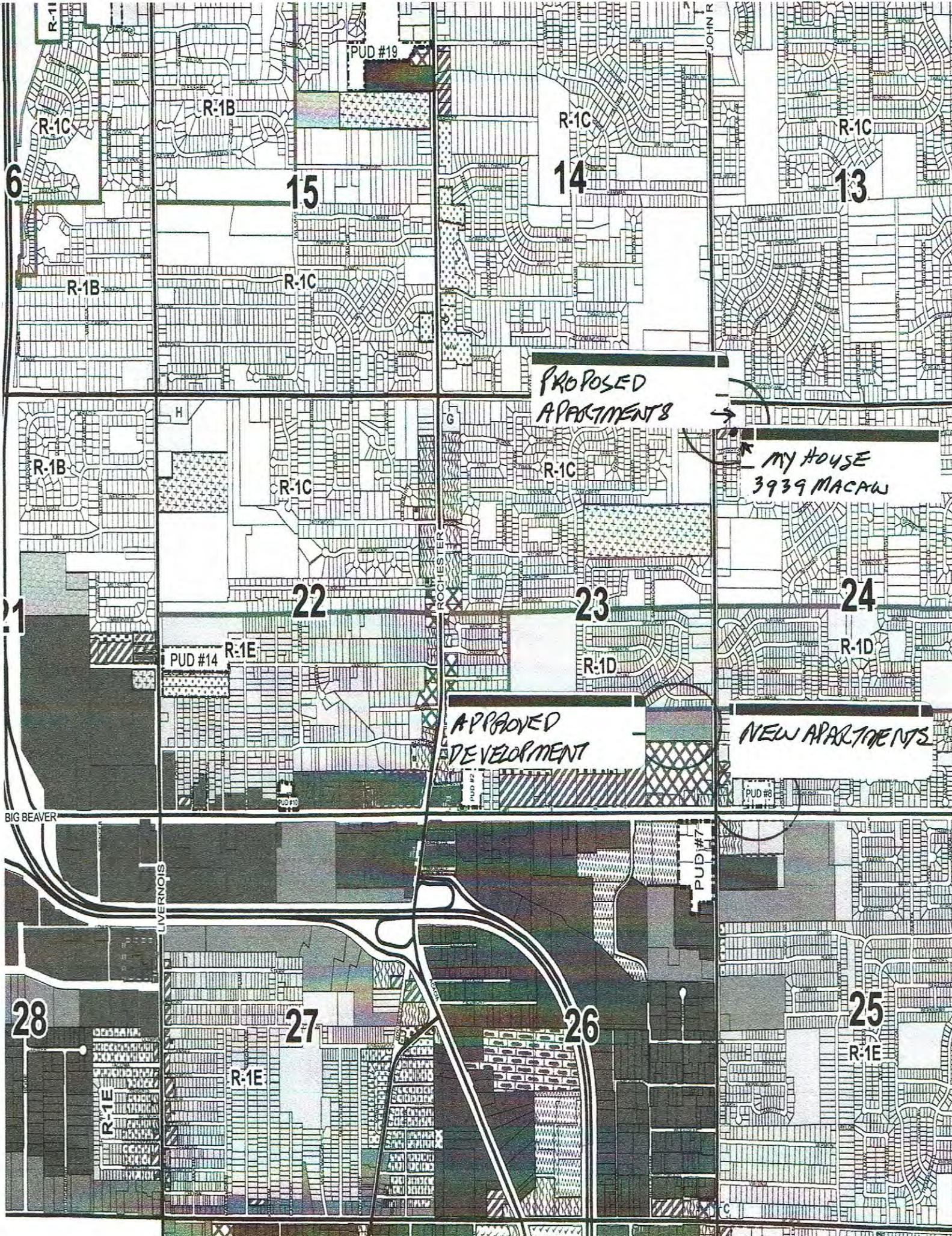
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More

Labels

My house is setback 10' from the North edge of my property line. The setback of the parking lot is 20' to the South edge of the proposed development property line. This means that the parking lot is only 30' from the side of my house. Also, it is worth noting that there is a discrepancy in the plans submitted showing that the setback to the South edge of the property line is only 19.83' and not 20'.





PROPOSED APARTMENTS

MY HOUSE  
3939 MACAW

APPROVED DEVELOPMENT

NEW APARTMENTS

6

15

14

13

21

22

23

24

28

27

26

25

PUD #19

PUD #14

PUD #2

PUD #8

PUD #7

BIG BEAVER

LIVERNOIS

JOHN R

ROCHESTER

OSBANA

R-1E

R-1E

R-1E

R-1C

R-1B

R-1C

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R-1C

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R-1D

R-1D



# Zoning Application

About

## Legend

### Zoning

-  (PUD) Planned Unit Development
-  (CF) Community Facilities District
-  (EP) Environmental Protection District
-  (BB) Big Beaver Road (Form Based)
-  (MR) Maple Road (Form Based)
-  (NN) Neighborhood Nodes (A-U)
-  (CB) Community Business
-  (GB) General Business
-  (IB) Integrated Industrial Business District



REPRESENTS NEW + PROPOSED  
DEVELOPMENTS



600 feet



# Zoning Application

About

## Legend

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REPRESENTS NEW & PROPOSED DEVELOPMENTS

600ft

**THE FOLLOWING PAGES ARE EXHIBITS PROVIDED BY THE TROY PLANNING DEPARTMENT**

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on July 23, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- Allan Motzny, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Ms. Malalahalli asked to move Agenda item #7 after Agenda item #4.

**Resolution # PC-2024-07-043**

Moved by: Malalahalli  
Support by: Lambert

**RESOLVED**, To approve the agenda as revised.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES – July 9, 2024

**Resolution # PC-2024-07-044**

Moved by: Buechner  
Support by: Fox

**RESOLVED**, To approve the minutes of July 9, 2024 Regular meeting as submitted.

Yes: Buechner, Faison, Fox, Hutson, Krent, Lambert, Malalahalli, Perakis  
Abstain: Tagle

**MOTION CARRIED**

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

**PRELIMINARY SITE PLAN APPROVAL**

*(Refer to revised agenda per Resolution # PC-2024-07-043)*

7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Carlisle addressed the revisions to the Wattles Square Apartments application since it was last considered by the Planning Commission at its May 28, 2024 meeting. He said the applicant has provided a fence along the eastern and southern property lines and submitted revised elevations as relates to architectural design features and color scheme. Mr. Carlisle addressed the City Traffic Consultant OHM memorandum that states traffic generated from the proposed site will not present significant impacts to Wattles Road, John R Road or the surrounding roadway network.

In summary, Mr. Carlisle said the by-right application meets all the requirements of the Zoning Ordinance. He asked the Planning Commission to consider in its deliberations if the application complies with the Site Plan Design Review Standards set forth in Section 8.06.

Present were Richard Atto and Landscape Architect Stacey Hadeed.

Some comments during discussion related to the following:

- Public comment and signed petitions received and distributed to the Board prior to the beginning of tonight’s meeting.
- Permitted uses within the Neighborhood Node zoning district.
- Transition between proposed development to residential properties.
- Applicant’s efforts to mitigate light, noise, odor, sound and traffic.
- Reduction in building height compared to single family homes.
- Existing trees on site; tree survey, size and type of proposed trees.
- Marketing target of tenants.
- Recreational amenities and community space.



Chair Perakis acknowledged the number of residents in the audience. She asked by a show of hands to determine how many were in support or opposition of the proposed application. The count was 27 in opposition; zero in support.

It was the consensus of the Board to open the floor for public comment.

#### PUBLIC COMMENT OPENED

The following persons spoke in opposition. The majority of concerns voiced related to safety, privacy, trash, overflow parking, traffic, light pollution and not a fit for the neighboring properties. Some comments related to the traffic data and summary provided by OHM.

- Anuratha Battula, 3930 Macaw Drive
- Fred Przybysz, 3842 Wayfarer
- Humberto Gonzales, 3939 Macaw
- Peter Wilkins, 3905 Wayfarer
- Michael Madley, 3831 Wayfarer
- Robert Mansour, 2153 Cumberland
- Angela Yuan, 3815 Wayfarer
- Manishe Sheran, 3895 Macaw
- Sonny Quan, 3922 Macaw
- Andrzej Olszweski, 2369 Newbedford
- Trey Brice, Taft Law, 27777 Franklin #2500, Southfield
- Ravi Bhamidipati, 3886 Sandpiper
- Ellen Thomas, 2198 Cumberland
- Laura Wilkins, 3905 Wayfarer
- Chandou Boopalam, 3894 Sandpiper

#### PUBLIC COMMENT CLOSED

Mr. Carlisle addressed:

- Methodology and ITE standards used by OHM in its traffic review.
- Stormwater management; full engineering review at Final Site Plan review/approval.
- Proposed development as relates to the current Master Plan.

Mr. Buechner said he does not support the application. It is his opinion some of the Site Plan design standards and Neighborhood Node characteristics are not met.

Mr. Motzny advised the Board's determination of approval should be based on whether the application meets the requirements of the Zoning Ordinance. He said the Master Plan is a guide only.

Mr. Atto addressed:

- Snow removal.
- Fence material.
- Price point of rental units.

Mr. Tagle addressed dimensional drawings and renderings as relates to a perception of distance from adjacent properties.

Mr. Hutson said he does not support the application. He addressed concerns with the safety of subterranean residential units, lack of recreational amenities for public use, and the application not meeting Neighborhood Node characteristics.

**Resolution # PC-2024-07-045**

Moved by: Faison

Seconded by: Fox

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be **granted**.

Discussion on the motion on the floor.

Mr. Lambert addressed future changes to the Master Plan as relates to Neighborhood Node zoning districts.

Mr. Krent said he supports the application because it meets all requirements of the Zoning Ordinance.

Vote on the motion on the floor.

Yes: Faison, Fox, Krent, Lambert, Malalahalli, Perakis, Tagle

No: Buechner, Hutson

**MOTION CARRIED**

**SPECIAL USE REQUEST**

5. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-003) – Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

Mr. Carlisle addressed the revisions to the Starbucks application since last reviewed at the May 14, 2024 Regular meeting, as relates to the circulation plan for the Troy Sports Center parking lot, the dumpster location, required landscaping and pedestrian improvements.

In summary, Mr. Carlisle asked the Planning Commission in its deliberations to consider if the application complies with the Special Use Standards and the Site Plan Review Design Standards as set forth Section 9.03 and Section 8.06 of the Zoning Ordinance, respectively.

Project Engineer James Butler of the PEA Group was present. He briefly addressed the addition of parking lot trees, traffic circulation, pedestrian improvements and ADA parking.

Chair Perakis opened the floor for public comment. Acknowledging there was no one present who wished to speak, Chair Perakis closed the floor for public comment.

**Resolution # PC-2024-07-046**

Moved by: Lambert  
 Support by: Fox

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) District, be **granted**, subject to the following condition:

1. Submittal of a photometric plan approved by the City staff.

Yes: All present (9)

**MOTION CARRIED**

**PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District

Mr. Carlisle addressed the revisions to the John R Commons Townhome Development since last reviewed at the May 14, 2024 Regular meeting, as relates to the Troy Sports Center circulation improvements and architectural design.

In summary, Mr. Carlisle asked the Planning Commission to consider in its deliberations whether the application meets the Site Plan Review Design Standards as set forth in Section 8.06 of the Zoning Ordinance.

Project Engineer Greg Bono of the PEA Group and Project Architect Brian Neeper were present.

Some comments during discussion related to the following:

- Access points to site.
- Recreational amenities in common area.
- Stormwater detention area.
- Path/trail on north side of the pond.

- Architectural elevations; building material.
- Site layout of residential units.
- Additional landscaping adjacent to Building 16.
- Techniques for traffic calming/mitigation along the north drive aisle.

Chair Perakis opened the floor for public comment. Acknowledging there was no one present who wished to speak, Chair Perakis closed the floor for public comment.

**Resolution # PC-2024-07-047**

Moved by: Fox  
Support by: Buechner

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed John R Commons Townhome Development, located on the West side of John R, North of Big Beaver, Section 23, Zoned MF (Multi-Family Residential) District, be **granted**, subject to the following condition:

1. Applicant explores the traffic speeding mitigation on the entire site to the satisfaction of the Planning Department.

Discussion on the motion on the floor.

Mr. Lambert said he would prefer an EVA (Emergency Vehicular Access) at the western access point.

Vote on the motion on the floor.

Yes: Buechner, Faison, Fox, Hutson, Krent, Malalahalli, Perakis, Tagle  
No: Lambert

**MOTION CARRIED**

**OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda

There was no one present who wished to speak.

9. PLANNING COMMISSION COMMENT

There were general Planning Commission comments, some relating to:

- Analysis/study of parking requirements in the Zoning Ordinance.
- Data/demographics relating to apartments in comparison to single family homes and like communities.

10. ADJOURN

The Regular meeting of the Planning Commission adjourned at 9:56 p.m.

Respectfully submitted,

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Marianna J. Perakis, Chair

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Kathy L. Czarnecki, Recording Secretary

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planning@troymi.gov

## **PLANNING COMMISSION MEETING AGENDA REGULAR MEETING**

Marianna Perakis, Chair, Lakshmi Malalahalli, Vice Chair  
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,  
Dave Lambert and John J. Tagle

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**July 23, 2024**

**7:00 P.M.**

**Council Chambers**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – July 9, 2024
4. PUBLIC COMMENT – For Items Not on the Agenda

### **SPECIAL USE REQUEST**

5. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-003) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

### **PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District
7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

### **OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda
9. PLANNING COMMISSION COMMENT
10. ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) –. Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

DATE: July 12, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District.

The petitioner Atto Construction submitted the above referenced Preliminary Site Plan application for a 54-unit townhome development. The property is currently zoned NN (Neighborhood Node “F”) Zoning District. Multi-family residential is permitted by right in this district, subject to height and setback limitations as well as transparency requirements. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The Planning Commission considered this item on April 23, 2024 and May 28, 2024 (minutes attached).

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Minutes from April 23, 2024 Planning Commission Regular meeting.
3. Minutes from May 28, 2024 Planning Commission Regular meeting.
4. Report prepared by Carlisle/Wortman Associates, Inc.
5. Preliminary site plan

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**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) –. Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District.

**Resolution # PC-2024-07-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, east of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be granted, subject to applicant the following:

\_\_\_\_\_ ) or

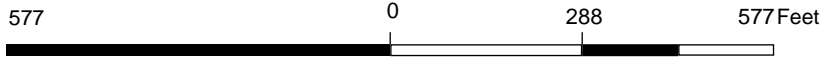
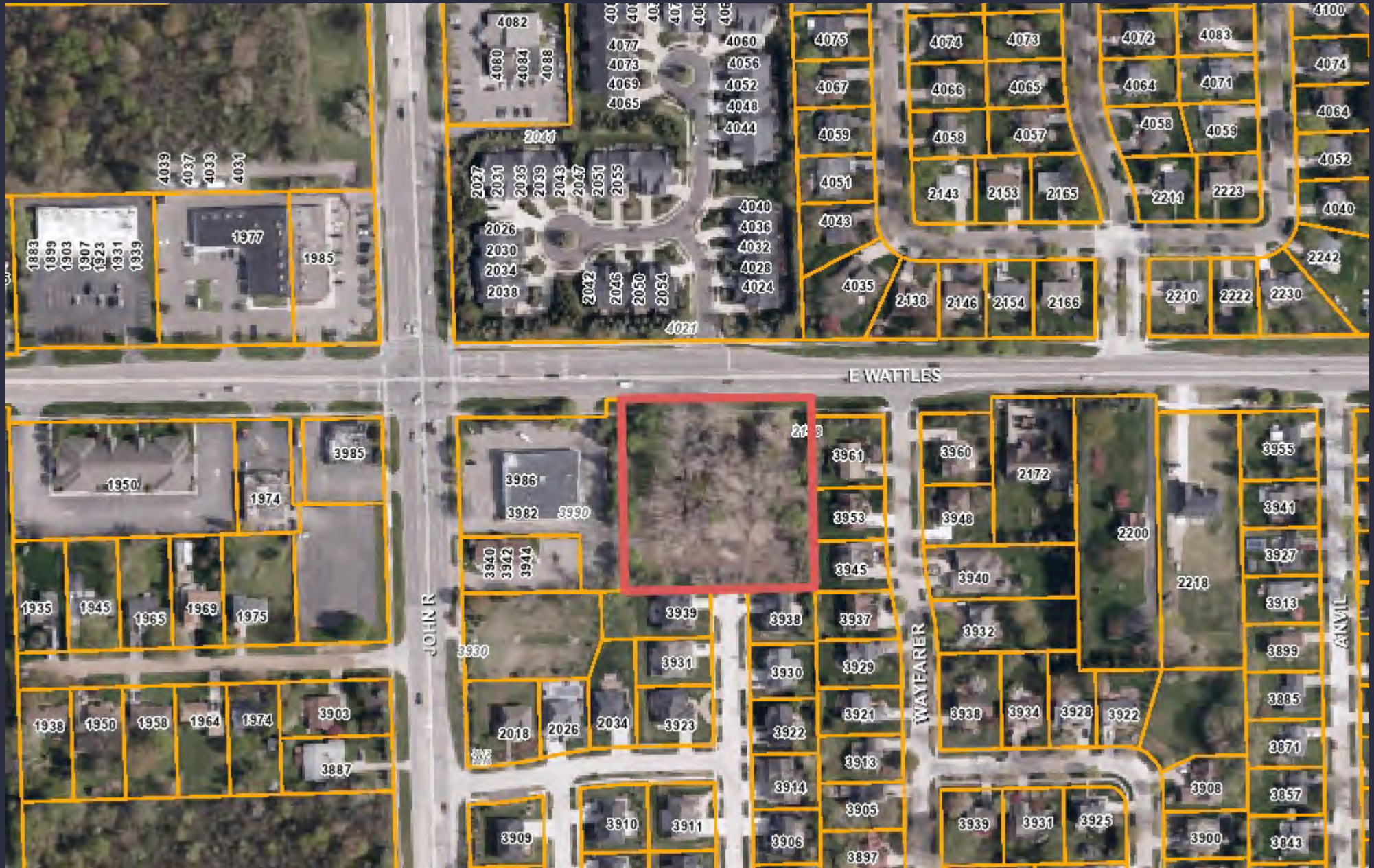
(denied, for the following reasons: \_\_\_\_\_ ) or

(postponed, for the following reasons: \_\_\_\_\_ )

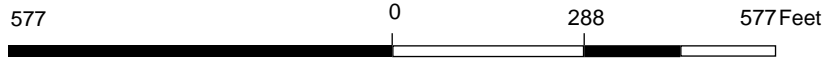
Yes:

No:

**MOTION CARRIED/FAILED**



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on April 23, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Also Present:

- R. Brent Savidant, Community Development Director
- Salim Huerta Jr., Commercial Project Collaborator
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-04-019**

Moved by: Faison  
Support by: Fox

**RESOLVED**, To approve the as prepared.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES – April 9, 2024

**Resolution # PC-2024-04-020**

Moved by: Buechner  
Support by: Lambert

**RESOLVED**, To approve the minutes of April 9, 2024 Regular meeting as submitted.

Yes: All present (9)

**MOTION CARRIED**

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

**PRELIMINARY SITE PLAN**

5. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Savidant provided background information on the Preliminary Site Plan application for Wattles Square Apartments. He addressed the intent of the Neighborhood Node “F” zoning district, how the application relates to the Master Plan and specific site design and building design attributes. Mr. Savidant said the application proposes a first true ‘garden style’ building concept where a portion of the ground floor is below grade. He said there was extensive dialogue between the administration and the applicant on building height, what constitutes a story and the Zoning Ordinance definition of a basement.

Mr. Savidant asked to go on record with an apology to the Planning Commission and to the applicant for some errors in the Planning Consultant report dated April 12, 2024. He stated the application itself is more compliant than what the report narrates. Mr. Savidant noted the application meets all parking requirements with an exception of adding a bicycle rack. He reported the parking lot island trees and tree replacement are compliant. Mr. Savidant noted the one row of landscaping proposed on the north side of the site would have to be removed for future right of way purposes.

Mr. Savidant reported the application does not meet the transparency requirements on the Wattles frontage and east and south facades. He noted though transparency requirements relate more to commercial use than residential use. He said the applicant is seeking Planning Commission approval to incorporate transparency alternatives, and the Planning Commission has the authority to grant flexibility of the transparency requirements. Mr. Savidant also reported there are safety concerns with the head-clearance of the first floor balconies and the lower level units below grade.

Mr. Savidant asked the Planning Commission to consider in its deliberations the following:

- Does the Planning Commission support the proposed transparency alternatives?
- Does the proposed garden level apartment style meet the Neighborhood Node design requirements?
- Does the Planning Commission support the proposed floor plans (including the community building), elevations and balcony clearance?

In summary, Mr. Savidant asked any approval to be subject to the applicant providing the required bicycle rack and to confirm transparency requirements (30%) on the south and east sides of the buildings. He said the Planning Commission may approve the transparency alternatives for the north elevation.

Some of the comments during discussion among the administration related to:

- Transparency requirements on all facades.
- Design and transparency requirements of front elevation in relation to right of way.
- Horizontal mixed use complies with the Neighborhood Node zoning district.
- Neighborhood Node zoning requirements with future adoption of the Master Plan.
- Safety concerns of balcony head-clearance and lower level units below grade.
- Confirmation that a flat roof is proposed for both buildings.
- Compliance of landscape requirements on north side with removal of landscaping along right of way.

Chair Perakis called a recess at 7:30 p.m. to allow the Information Technology department to resolve audio issues. Chair Perakis called the meeting back in session at 7:40 p.m.

Richard Atto, property owner of subject site and Rite Aid property to the west, introduced family members in the audience and project team members business partner Brian Najor, Landscape Architect Stacey Hadeed and Project Engineer Greg Bono. Mr. Atto gave a brief history of his family background and real estate/development career. He identified several design aspects he feels would be desirous of a potential resident that are incorporated in the development.

Mr. Atto said his short-term goal is to obtain a tenant for the vacant Rite Aid store and a long-term goal would be to potentially expand the development given any future changes in the Neighborhood Node zoning district.

Ms. Hadeed distributed handouts to the Planning Commission and gave a brief history of her career path. She addressed in detail the proposed development as relates to living units, building height and stories, landscaping, parking, traffic circulation, three dimensional views from several directional perspectives, roof design, elevations, outdoor amenities, transparency calculations, site design attributes, building materials and color scheme.

There was discussion, some comments related to:

- Parking, as relates to Rite Aid existing spaces, designated spaces for residents, walking distance to residential units.
- Proposed garden style units as relates to creativity, urban look, massing, unique design, low profile.
- Examples of similar apartment styles in the City with below grade lower level units.
- Community center amenities, as relates to arrangement of work-out area and social gathering space.
- Options to mitigate safety concerns of below grade lower level units and head-clearance of balconies.
- Transparency requirements; measures applicant could apply to meet requirements, consideration of alternative options.

- Approval of application would be conditioned on applicant combining the parcels, as noted on the site plan.
- Nonconforming status of vacant Rite Aid building as relates to Neighborhood Node zoning district if demolished and/or renovated.

Mr. Hutson stated he does not support the application because of the proposed below grade lower level units and floor plans.

Chair Perakis opened the floor for public comment.

- Susan Kuhn, 2172 E Wattles; addressed existing swampy land near Wayfarer Street connection to new homes on John R, parking, management of apartment complex.

Chair Perakis closed the floor for public comment.

Discussion continued among Board members on options applicant could take to mitigate safety concerns of the balconies, to mitigate safety concerns and install egress windows on below grade lower level units, to reconfigure floor space in the community center and to meet transparency requirements.

Mr. Najor said finding a good tenant to lease the Rite Aid property is a step in the right direction. He addressed the subjectivity of transparency requirements for residential use compared to commercial use. Mr. Najor said they will work with the City to mitigate any concerns discussed this evening and meet all code requirements for the egress windows and balconies to assure compliance.

**Resolution # PC-2024-04-021**

Moved by: Lambert

Seconded by: Faison

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District be postponed, for the following reasons:

1. To increase transparency on all sides of the units.
2. To address appropriate concerns on the first level balconies and lower level egress areas.
3. Add a bicycle rack.

Yes: All present (9)

**MOTION CARRIED**

Mr. Savidant informed the applicant of the specific transparency requirements for each elevation.

**OTHER ITEMS**

6. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

7. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments, some comments related to:

- Master Plan focus; parking, neighborhood node districts, North Troy zoning district.
- Potential future development of former K-Mart Headquarters site.
- Availability of Commissioners to attend May 28, 2024 Regular meeting.

8. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 9:25 p.m.

Respectfully submitted,



\_\_\_\_\_  
Marianna J. Perakis, Chair



\_\_\_\_\_  
Kathy L. Czarneski, Recording Secretary



Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:08 (7:06) p.m. on May 28, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis

Absent:

- John J. Tagle

Also Present:

- R. Brent Savidant, Community Development Director
- Salim Huerta Jr., Commercial Project Collaborator
- Allan Motzny, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-05-027**

Moved by: Faison

Support by: Fox

**RESOLVED**, To approve the agenda as prepared.

Yes: All present (8)

Absent: Tagle

**MOTION CARRIED**

3. APPROVAL OF MINUTES – May 14, 2024

**Resolution # PC-2024-05-028**

Moved by: Fox

Support by: Faison

**RESOLVED**, To approve the minutes of May 14, 2024 Regular meeting as amended.

Vote on the motion on the floor.

Yes: Buechner, Faison, Fox, Krent, Malalahalli, Perakis  
 No: Hutson, Lambert  
 Absent: Tagle

**MOTION CARRIED**

**PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Savidant presented a brief background on the Wattles Square Apartments application and addressed the revisions to the site plan since last considered by the Planning Commission at their April 23, 2024 meeting. He said the applicant has provided transparency calculations that meet the requirements, reconfigured the first level balconies and lower level egress windows to address concerns of safety and aesthetics, and added a bicycle rack on the southwest corner of the north building.

Mr. Savidant asked the Planning Commission to consider in its deliberations the following:

- Compliance with Site Plan Review Design Standards set forth in Section 8.06.
- Evaluation of the revised balcony and egress window design.
- How well the proposed project meets the overall site and building design standards of the Neighborhood Node district.

Some of the comments during discussion among the administration related to:

- Egress window, compliance with Building Code, facilitation of exit in emergencies.
- Dimensions of the lower level walkout area and egress window.
- Stormwater management on site; engineering review during final site plan approval.
- Elevations as relates to ground level and basement.

Present were Richard Atto and Landscape Architect Stacey Hadeed.

Mr. Atto addressed dimensions of the egress window and walkout area, compliance with building codes, and the use of a concrete step and fence gate to facilitate an exit should there be an emergency. He said he is quite comfortable with the safety features provided in case of emergencies. Mr. Atto explained there is drain tile around the whole building and stone and/or pea gravel to facilitate the management of stormwater to the underground parking lot.

There was discussion, some comments related to:

- Number of apartment units required to be compliant with American Disabilities Act (ADA).
- Building Code requirements for bedrooms located in basement/lower level of home.
- Dimensions of walkout area, egress window, step, and fencing.
- Landscape screening/buffering in relation to adjacent single family homes.

A count was taken to determine the number of persons in the audience who were in support or in opposition of the proposed site plan application. There were 61 in opposition; none in support.

Chair Perakis opened the floor for public comment.

The following residents spoke in opposition to the proposed site plan application. The majority of concerns expressed related to: not a fit for the neighborhood; safety, particularly school children; intent of the Zoning Ordinance; traffic congestion; noise and light pollution; loss of privacy; mail delivery; trash removal; walkability and lack of sidewalks; tree preservation; connection to adjacent residential homes; desire for single family homes; transiency of apartment residents; safety of emergency exits; lack of green space.

- Peter Wilkins, 3905 Wayfarer; submitted signed petition.
- Susan Kuhn, 2172 E. Wattles.
- Colleen Helmick, 4151 Washington Crescent.
- Fred Przybysz, 3842 Wayfarer.
- Paul Leitheiser, 3897 Wayfarer.
- Padmanabhan Karatha, 2042 Applewood.
- Thiago Podolsky, 3885 Sandpiper.
- Anuratha Battula, 3930 Macaw Drive.
- Sonny Quan, 3922 Macaw Drive.
- Karen Beard, 2034 Applewood.
- Mahesh Patil, 3931 Macaw Drive.
- Katharine Mitropoulos, 3912 Anvil.
- Raja Durairajan, 3911 Macaw Drive.
- Ravi Bhamidipati, 3886 Sandpiper; submitted signed petition.
- Jeff Zaleski, 3791 Wayfarer.
- Theresa Drauch, 4097 Colonial.
- Sushma Guduguntla, 3914 Macaw Drive.
- Jason Zhang, 3953 Wayfarer.
- James Sharland, 3921 Wayfarer.

Chair Perakis closed the floor for public comment.

Mr. Savidant stated the proposed development is permitted by right. He said neither State nor local law requires notification to the public of a proposed by-right development.

Mr. Fox again shared the data of the U.S. Census survey relating to property values and home sales in communities with a mix of single family and multi-family homes. He said it is a false perception that multi-family developments attract crime and unsafe conditions.

Discussion continued on:

- Stormwater management.
- Traffic concerns, consideration to provide a traffic study.
- Connectivity to adjacent single family homes.
- Compliance with Site Plan Review Design Standards; Section 8.06.
- Concerns with transiency of apartment residents.
- Public amenities.
- Intent of Neighborhood Node zoning district.
- By-right development.
- Compliance with photometric plan.

**Resolution # PC-2024-05-030**

Moved by: Fox

Seconded by: Faison

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be granted, subject to the following:

1. The applicant providing a six (6) foot high privacy fence along the south and east property lines.

Discussion on the motion on the floor.

Section 8.06, 1, b. of the Site Plan Review Design Standards, *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony*, was discussed.

Vote on the motion on the floor.

Yes: Faison, Fox, Lambert, Perakis

No: Buechner, Hutson, Krent, Malalahalli

Absent: Tagle

**MOTION FAILED**

**Resolution # PC-2024-05-031**

Moved by: Fox

Seconded by: Malalahalli

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be postponed, for a full board in attendance.

Yes: Buechner, Faison, Fox, Krent, Lambert, Malalahalli, Perakis  
 No: Hutson  
 Absent: Tagle

**MOTION CARRIED**

The Board members encouraged the applicant to provide a privacy fence on the south and east property lines, a general traffic study, a variety of architectural expression for the units that front Wattles, and a colored rendering.

Chair Perakis called for a recess at 9:45 p.m. The meeting reconvened at 9:58 p.m.

**SPECIAL USE APPROVAL**

- 7. PUBLIC HEARING - SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-0006) – Proposed Jax Kar Wash, South side of Long Lake, East of Livernois (102 East Long Lake Road), Section 15, Currently Zoned NN (Neighborhood Node “M”) Zoning District

Mr. Lambert disclosed that his daughter is employed at the day care center east of the subject site. The Board members agreed there is no conflict of interest.

Mr. Savidant reviewed the Special Use Approval and Preliminary Site Plan application for a Jax Kar Wash. He addressed the number of vacuum spaces and stacking spaces, the proliferation of car washes in the City and the use of a water reclamation/recycling system.

Mr. Savidant referenced the applicant’s responses on the proposed number of vacuum stations, the use of a water reclamation/recycling system, and the proliferation of car washes in the City. He read into the record the applicant’s responses as cited on pages 5, 7 and 9 of the Planning Consultant Report dated May 21, 2024.

Mr. Savidant stated that while the subject property is still in the Neighborhood Node (NN) zoning district, the future land use for this site was removed from the Neighborhood Nodes in the newly adopted version of the Master Plan, and underlying zoning of those Neighborhood Nodes are to be determined.

Mr. Savidant asked the Planning Commission to consider in its deliberations the proposed use, consumer demand, and to consider any testimony heard at the public hearing. In summary, Mr. Savidant asked the Planning Commission to consider if the application is compliant with the Special Use and Site Plan Review Design Standards and to ask the applicant’s consideration to use a water reclamation/recycling system.

Vote on the motion on the floor.

Yes: Buechner, Faison, Hutson, Krent, Lambert, Perakis  
No: Fox, Malalahalli  
Absent: Tagle

**MOTION CARRIED**

**OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda

Deborah Louzecky, 6327 Donaldson, spoke on Agenda Item #5, The Village of Hastings PUD. She addressed a desire that the proposed development created more of a village-like or downtown environment.

9. PLANNING COMMISSION COMMENT

There were general Planning Commission comments, some comments related to:

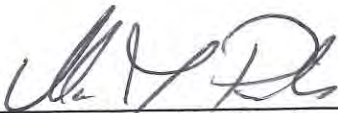
- Planning Commission access to public comment.
- Progress on hotel development at I-75 and Rochester Road.
- Compaction of trash in multi-family residential development.
- Proposed development at former K-Mart Headquarters property; informal presentation by applicant in June.

Mr. Savidant announced that the City Council adopted the Master Plan at their May 20, 2024 meeting. He shared information on a Michigan Association of Planners (MAP) meetup site visit at Palmer Park and a nearby LGBTQ community in Detroit.

10. ADJOURN

The Regular meeting of the Planning Commission adjourned at 11:26 p.m.

Respectfully submitted,



Marianna J. Perakis, Chair



Kathy L. Czarnecki, Recording Secretary



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 1, 2023  
Revised: February 7, 2024  
April 12, 2024  
May 14, 2024  
July 15, 2024

**Preliminary Site Plan  
For  
City of Troy, Michigan**

**Applicant:** Atto Construction  
**Project Name:** Wattles Square Apartment  
**Plan Date:** June 3, 2024  
**Location:** South side of Wattles, east of John R.  
**Zoning:** NN, Neighborhood Node, Site Type B  
**Action Requested:** Preliminary Site Plan Approval

**PROJECT AND SITE DESCRIPTION**

An application has been submitted for a proposed multiple family stacked flat project along the south side of Wattles, east of John R. The site is approximately 2 acres in area and is currently vacant but encumbered with tree cover. The site is directly east of an existing RiteAid and abuts residential uses on its north, east, and south sides.

The applicant proposes a total of 57 units, divided into two (2) buildings. The first building is directly adjacent to Wattles and the second building is set behind the first. The buildings are stacked flats totaling three (3) stories, but we note that the applicant has lowered the grade of the site so the first story is below grade. The level below grade (noted as “garden level”) and the level above (noted as “first floor”) are one unit. The third level (noted as “second floor”) is a separate unit.

The proposed development is heavily intertwined with the RiteAid site to the east. The applicant is utilizing a portion of the existing RiteAid site for sidewalks, open space, five (5) parking spaces, and a shared dumpster/recycling enclosure. Furthermore, the applicant proposes to convert a 500 sq/ft section of the existing RiteAid building into a community building for tenants. The existing RiteAid site is owned by the same owner and they will combine the lots to make them one zoning lot.

The site is zoned NN, Neighborhood Node. The proposed multiple family residential use is permitted in the NN, Neighborhood Node, Site Type B.

Location of subject site:

South side of Wattles, east of John R.

**Location and Aerial Image of Subject Site**



Size of subject site:

The property is approximately 2 acres in area.

Proposed use of subject site:

The proposed use is for 56 apartment units.

Current use of subject site:

The property is currently vacant.



Current Zoning:

The property is currently zoned NN, Neighborhood Node, Site Type B.

Surrounding Property Details:

Direction	Zoning	Use
North	NN, Neighborhood Node	Attached Residential
South	R1-C, One Family Residential District	Single Family Residential
East	R1-C, One Family Residential District	Single Family Residential
West	NN, Neighborhood Node	RiteAid

**PREVIOUS PLANNING COMMISSION REVIEWS**

The items was first last by the Planning Commission on May 28, 2024. The item was postponed to have a full board in attendance. In addition, the Board members encouraged the applicant to provide a privacy fence on the south and east property line, a general traffic study, a variety of architectural expression for the units that front on Wattles, and a colored rendering.

**CHANGES SINCE PLANNING COMMISSION REVIEW**

Since the last meeting the applicant has provided the following:

- Fence detail: The applicant has provided a six-foot tall stockade wood fence. The fence is proposed along the eastern and southern property lines.
- Traffic memo: a traffic memo was completed by OHM. A summary of the memo:

*The table below provides the calculated number of trips generated for the Wattles Square site, based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, for Multifamily Housing (Low-Rise) (ITE Land Use Code #220).*

**Table 1. Trips Generated**

Dwelling Units	AM Peak			PM Peak		
	In	Out	Total	In	Out	Total
54	10	30	40	28	16	44

*During the morning (AM) peak hour, the Wattles Square site generates 40 vehicle trips: 10 inbound (entering the site), and 30 outbound (exiting the site). During the evening (PM) peak hour, the site generates 44 vehicle trips: 28 inbound (entering the site), and 16 outbound (exiting the site).*

*Overall, the amount of traffic generated from this proposed site will not provide significant impacts to Wattles Road, John R Road, or the surrounding roadway network.*

- Revised elevations and colored rendering: The applicant has revised the front elevations (fronting Wattles) to provide more architectural variety and increase transparency. In addition, the applicant has provided a set of colored renderings.



July Elevations

## SITE PLAN REVIEW STANDARDS

Section 8.06 outlines Site Plan Review Design Standards.

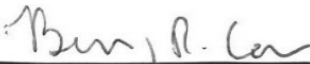
1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
  - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
  - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
  - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
  - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
  - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
  - c. *Develop buildings with creativity that includes balanced compositions and forms.*

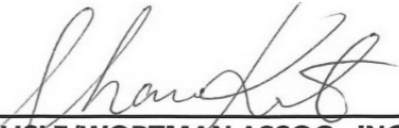
- d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
  - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
  - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
- a. *Provide elements that define the street and the pedestrian realm.*
  - b. *Create a connection between the public right of way and ground floor activities.*
  - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
  - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
  - e. *Improve safety for pedestrians through site design measures.*

## SUMMARY

The Planning Commission should consider compliance with the Site Plan Review standards set forth in Section 8.06.

Sincerely,

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, AICP, LEED AP**  
**President**

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Shana Kot**  
**Community Planner**

# memorandum

**Date:** April 11, 2024

**To:** Scott Finlay, PE

**From:** Stephen Dearing, PE, PTOE & Lauren Hull, EIT

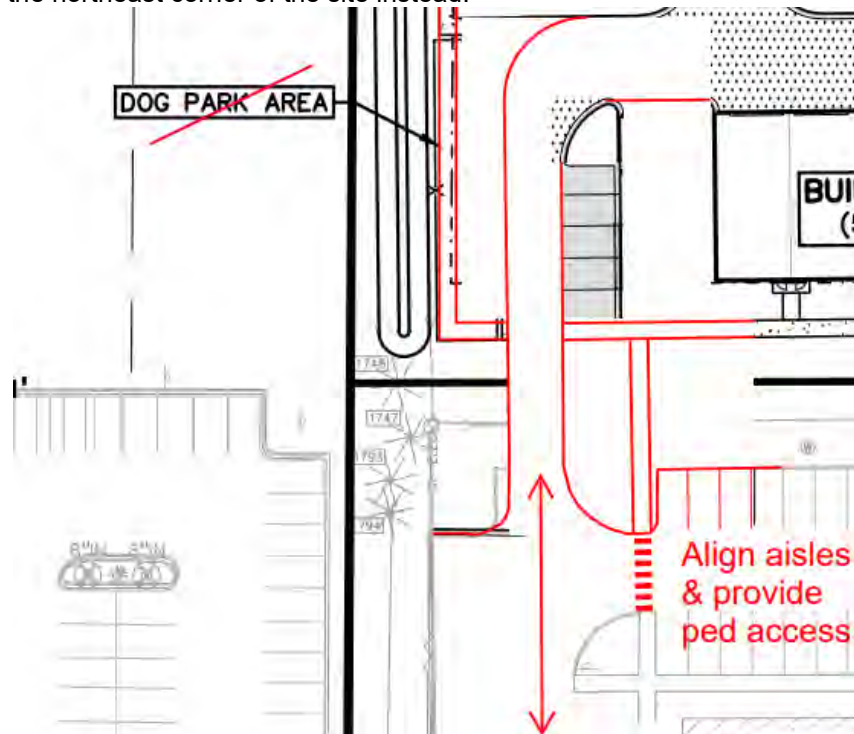
**Re:** Proposed John R Commons Townhome Development  
Site Plan Review

We have reviewed the site plan for the proposed John R Commons Townhome development in Troy, Michigan. The plans were prepared by PEA Group and are dated March 1, 2024.

OHM's comments are as follows:

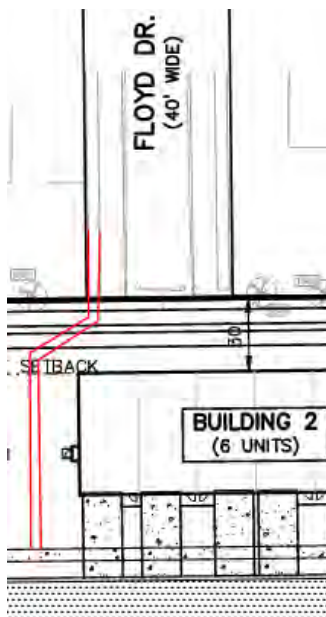
1. Site Plan:

- a. Align the aisles and provide pedestrian access between sites. The dog park can be relocated to the northeast corner of the site instead.

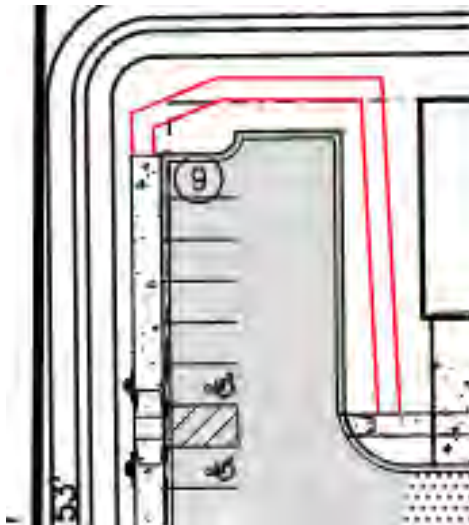




- b. Provide a sidewalk connection to Floyd as a school walking route to the neighborhood elementary school.



- c. Provide a sidewalk connection as shown below.

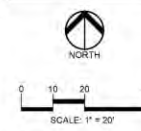


- d. Sidewalk should be dimensioned. Additionally, any sidewalk adjacent to parking spaces needs to be at least 7 feet wide since there is the possibility of vehicle overhang.
- e. The east driveway needs to be dimensioned.
- f. Provide sidewalk along Nancy Bostick Drive connecting to the existing sidewalk along John R Road. Included with this, add a crosswalk across the east driveway.
- g. The west driveway seems to eliminate several parking spaces for the adjacent site. Has this been agreed upon/coordinated with the adjacent site?

# July 23, 2024 Troy PC meeting Wattles Square Apartments

East Wattles & John R. Road, Troy MI





**811** Know what's below. Call before you dig.

**CAUTION!**  
 ALL UTILITIES ARE LOCATED BY GROUND SURVEY AND FIELD VERIFICATION. THE LOCATION AND DEPTH OF UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE MOST RECENT RECORD DRAWINGS AND FIELD VERIFICATION. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.



**CLIENT**  
**ATTO CONSTRUCTION, INC.**  
 2102 FRANKLIN ROAD  
 ROCKFORD, IL 60087

**PROJECT TITLE**  
**WATTLE'S SQUARE APARTMENTS**  
 E WATTLE RD. & JOHN R. RD.  
 WATLES RD.

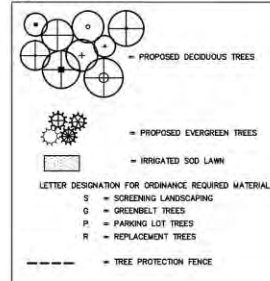
**REVISIONS**

SITE COMMENTS	11/8/21
SITE PLAN APPROVAL	12/23/21
CITY COMMENTS	3/6/22
CITY COMMENTS	6/3/22

**ORIGINAL ISSUE DATE**  
 SEPTEMBER 22, 2023

**DRAWING TITLE**  
**PRELIMINARY LANDSCAPE PLAN**

**PEA JOB NO.** 22-1309  
**P.M.** GMB  
**DN.** BIGG  
**DES.** J.E  
**DRAWING NUMBER:**



**LANDSCAPE CALCULATIONS:**  
 PER CITY OF TROY ZONING ORDINANCE:  
 ZONING: NEIGHBORHOOD HOUSES (NH) - HOME F  
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL

**SCREENING (S)**  
 GROUP 2: RESIDENTIAL/LODGING USES ABUT GROUP 1: RESIDENTIAL USES. SCREEN ALT 1 OR 2 REQUIRED. SCREEN ALT ≥ 1 LARGE EVG TREE PER 10 LF.  
 REQUIRED: SOUTH BOUNDARY: 378.4 LF / 10 = 38 EVG TREES  
 EAST BOUNDARY: 278 LF / 10 = 28 EVG TREE

**PROVIDED:** SOUTH BOUNDARY: 38 EVG TREES  
 EAST BOUNDARY: 28 EVG TREES  
 AND 6' HT OPAQUE SCREEN FENCE

**PARKING LOT LANDSCAPE (P)**  
 1 TREE PER 8 PARKING SPACES  
 LANDSCAPING TO BE 5' FROM CURB WHERE THERE IS VEHICLE OVERHANG AND 3' WHERE THERE IS NOT.  
 REQUIRED: 108 PARKING SPACES / 8 = 14 DEC TREES  
 PROVIDED: 14 DEC TREES

**GREENBELT (WATTLE'S RD) (O)**  
 1 DEC TREE PER 30 LF FRONTAGE ABUTTING A PUBLIC ROW  
 REQUIRED: 308.01 LF / 30 = 11 TREES  
 PROVIDED: 11 TREES SOUTH SIDE OF SIDEWALK ADJACENT TO WATTLE'S RD. OUTSIDE THE R.O.W.

**GENERAL SITE LANDSCAPE**  
 23% OF THE TOTAL SITE AREA IS TO BE LANDSCAPED  
 REQUIRED: 93,561 SF SITE AREA X 20% = 18,712 SF LANDSCAPED AREA  
 PROVIDED: 32849.6 SF LANDSCAPED AREA (35%)

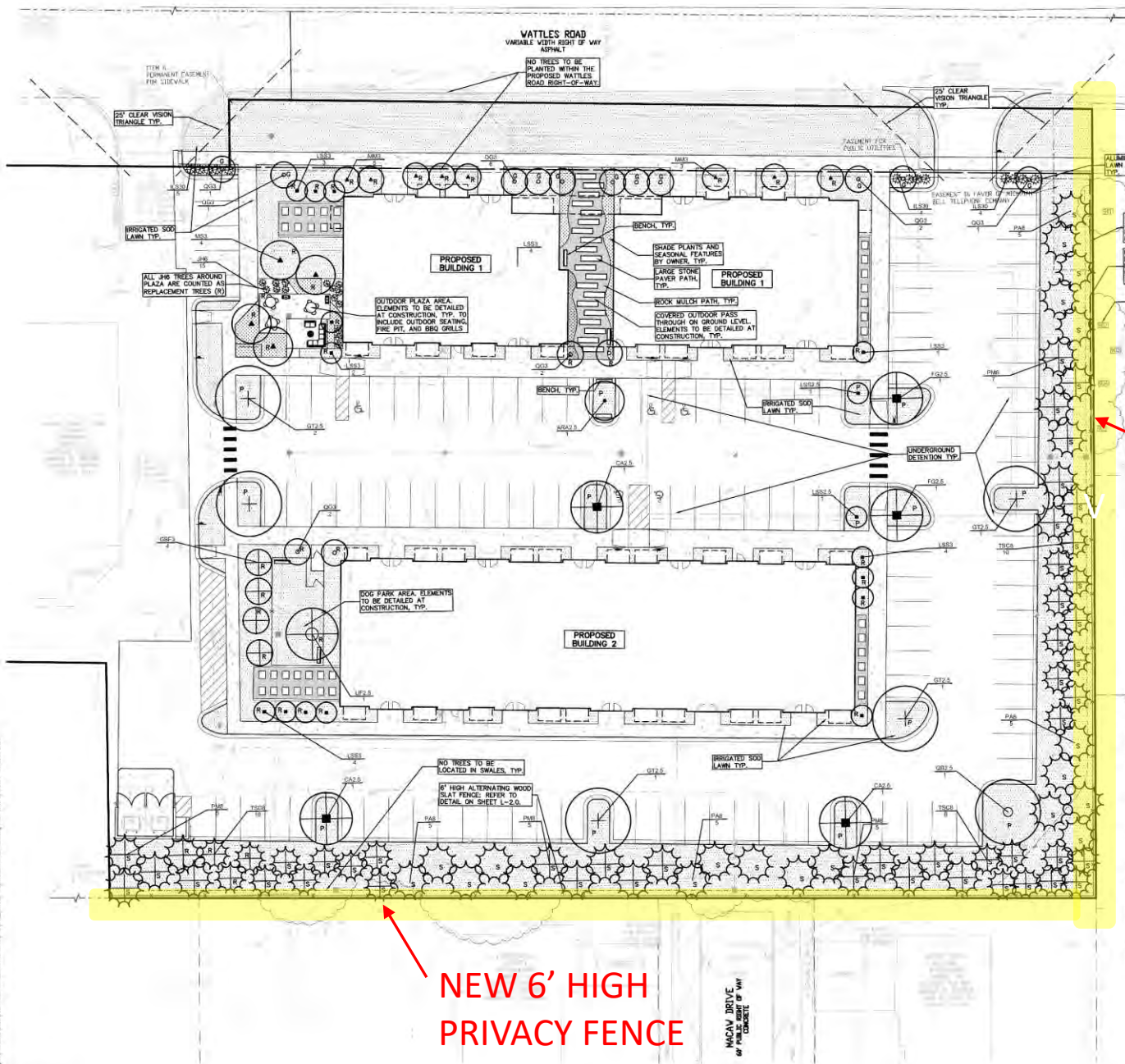
**TREE REPLACEMENT (R)**  
**WOODLAND TREES:**  
 WOODLAND TREES REMOVED (12 TREES): REPLACE AT 50% OF REMOVED DBH  
 137" DBH X 5 = 69" REPLACEMENT  
**WOODLAND TREES SAVED (0 TREES): CREDIT OF 2X DBH**  
 69" DBH X 2 = 0" CREDIT  
 69" - 0" = 69" REPLACEMENT REQUIRED

**LANDMARK TREES:**  
 LANDMARK TREES REMOVED (4 TREES): REPLACE AT 100% OF REMOVED DBH  
 85" DBH X 1 = 85" REPLACEMENT  
**LANDMARK TREES SAVED (0 TREES): CREDIT OF 2X DBH**  
 0" X 2 = 0" CREDIT  
 85" - 0" = 85" REPLACEMENT REQUIRED

**TOTAL REPLACEMENT TREES:**  
 69" + 85" = 154" DBH REPLACEMENT REQUIRED  
**PROVIDED:**  
 34, 3" DEC TREES = 34 X 3" DBH = 102" DBH  
 1, 2.5" DEC TREE = 1 X 2.5" DBH = 2.5" DBH  
 15, 6" EVG TREES = 15 X 2.5" DBH = 37.5" DBH  
 4, 8" EVG TREES = 4 X 3.5" DBH = 14" DBH  
 156" TOTAL DBH PROVIDED

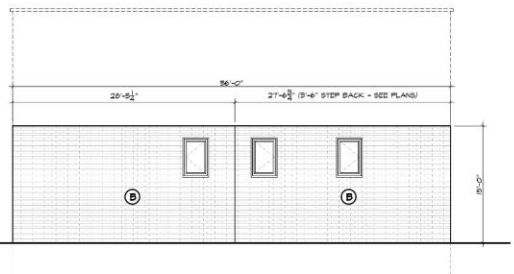
**PLANT SCHEDULE SITE**

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
<b>DECIDUOUS TREES</b>					
AXR22	1	ACER RUBRUM / ARMSTRONG / ARMSTRONG RED MAPLE	2.5" CAL	B&B	PER PLAN
CA2.5	3	CORNUS CANADENSIS / AMERICAN HORSEBANE	2.5" CAL	B&B	PER PLAN
FG2.5	2	FAGUS GRANDIFOLIA / AMERICAN BEECH	2.5" CAL	B&B	PER PLAN
GBF3	4	QUERCUS BLUMI 'FASTIGIATA' / EASTWATE MAHONIAH TREE	3" CAL	B&B	PER PLAN
Q12.5	5	QUERCUS THUNBERGII / BURNING BUSH	2.5" CAL	B&B	PER PLAN
LS2.5	2	LIGULIDARUM STYRACIFLUA / SLENDER SILHOUETTE SWEET GUM	2.5" CAL	B&B	PER PLAN
LS2.5	14	LIGULIDARUM STYRACIFLUA / SLENDER SILHOUETTE SWEET GUM	3" CAL	B&B	PER PLAN
Q2.5	1	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5" CAL	B&B	PER PLAN
Q2.5	15	QUERCUS ROBUR / ALBA / SPANISH OAK	2" CAL	B&B	PER PLAN
UT2.5	48	ULMUS X FRAXINUS / FRONTER SILM	2.5" CAL	B&B	PER PLAN
		SUBTOTAL			
<b>EVERGREEN TREES</b>					
PA6	20	PICEA ABIES / NORWAY SPRUCE	8" HT	B&B	PER PLAN
PN6	22	PRINLEDOTYSA NENZEBI / DOUGLAS FIR	8" HT	B&B	PER PLAN
TS28	28	TSUGA CANADENSIS / EASTERN HEMLOCK	8" HT	B&B	PER PLAN
		SUBTOTAL			
<b>ORNAMENTAL TREES</b>					
MR2	2	MAHONIA X JARMINI / MARILEES CRABAPPLE	3" CAL	B&B	PER PLAN
MS3	4	MALUS X SUTYZAMI / SUGAR TREES CRABAPPLE	3" CAL	B&B	PER PLAN
		SUBTOTAL			
<b>SHRUBS</b>					
L13	13	ILEX GLABRA 'SHAMROCK' / SHAMROCK NINEBERRY HOLLY	30" Ht	CONT	8" O.C.
JM6	15	JUNIPERUS CHINENSIS 'HETZI COLUMNARIS' / HETZI COLUMNAR JUNIPER	8" Ht	B&B	30" O.C.
		SUBTOTAL			

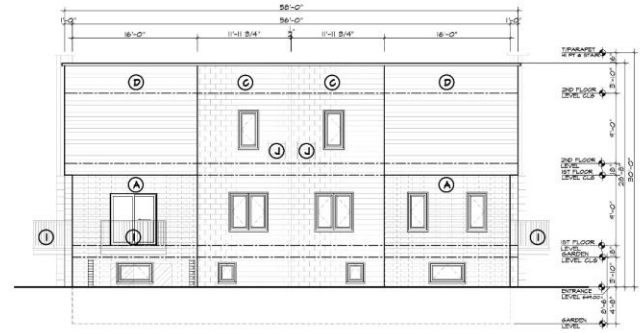


**NEW 6' HIGH PRIVACY FENCE**

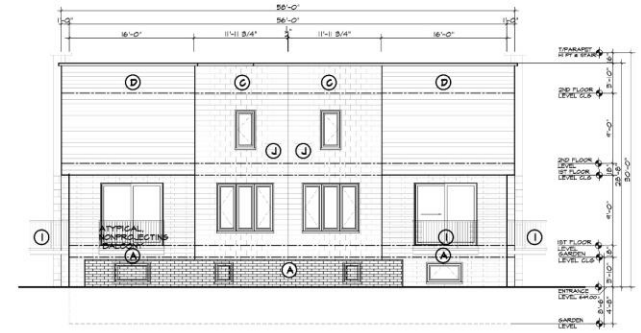
**NEW 6' HIGH PRIVACY FENCE**



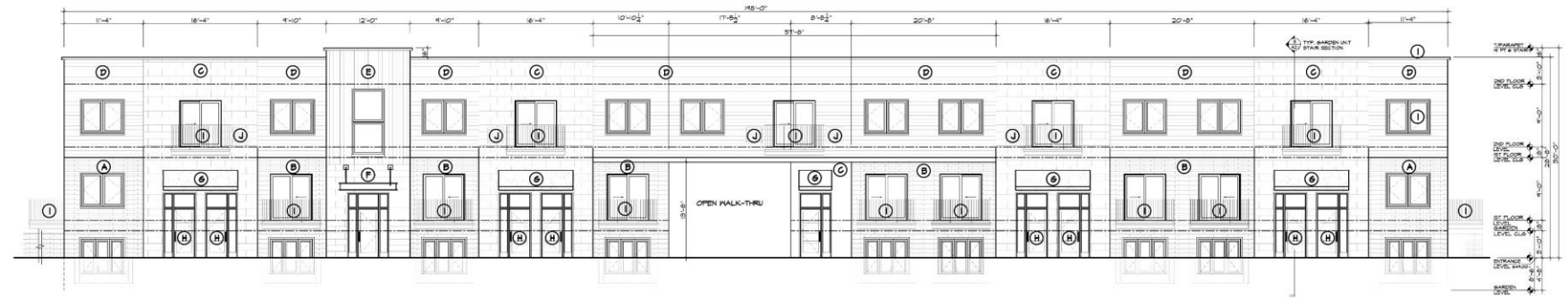
5 BLDG. 1 WEST WALK-THRU ELEVATION  
 (EAST ELEVATION SAME W/O STEPPED WALL)  
 Scale: 1/8" = 1'-0"



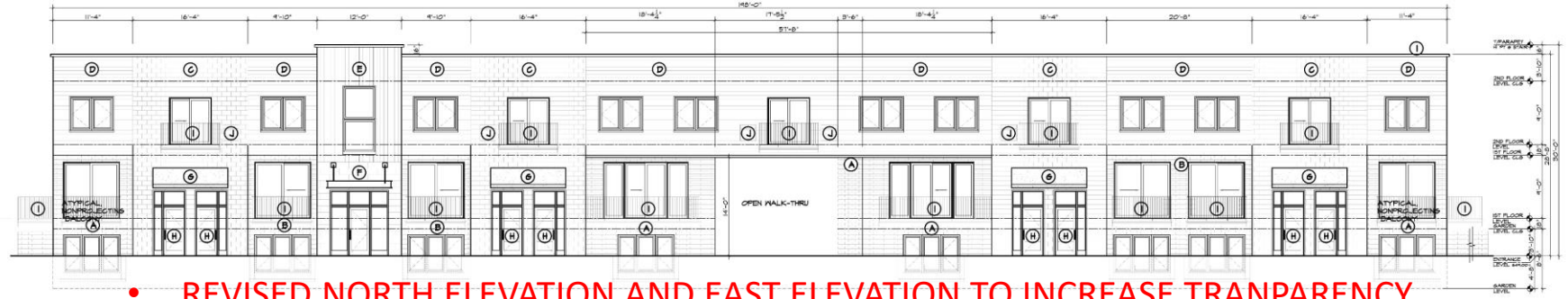
4 BLDG. 1 WEST ELEVATION  
 Scale: 1/8" = 1'-0"



3 BLDG. 1 EAST ELEVATION  
 Scale: 1/8" = 1'-0"



2 BLDG. 1 SOUTH ELEVATION  
 Scale: 1/8" = 1'-0"



1 BLDG. 1 NORTH ELEVATION  
 Scale: 1/8" = 1'-0"

• **REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY**

EXTERIOR MATERIALS

- EXTERIOR BLIND MATERIAL LEGEND  
 SEE LIST AND COLOR SAMPLES
- A. 12" X 4" H BRICK VENEER  
MEDIUM GRAY COLOR
  - B. 12" X 4" H BRICK VENEER  
VERY LIGHT GRAY COLOR
  - C. 16" X 8" H BURNISHED SMOOTH  
CONCRETE BLOCK LIGHT GREYH COLOR
  - D. 6" H HORIZONTAL METAL SIDING  
MEDIUM CHARCOAL WOOD GRAIN
  - E. 6" H VERTICAL METAL SIDING  
LIGHT PALMWOOD GRAIN
  - F. 2'-0" X 10" X 10" 8/4" H STONE VENEER  
LIGHT GRAY COLOR
  - G. COMMERCIAL GRADE CANVAS AWNING  
MARINE BLUE COLOR
  - H. RESIDENCE ENTRY DOORS  
LIGHT PALMWOOD GRAIN
  - I. BRICK COLOR  
WINDOWS & DOOR FRAMES  
METAL BALCONY & RAILINGS  
METAL CANOPY AT 2ND FLR STAIR ENTRY  
METAL PARAPET COPING
  - J. 2ND FLOOR HVAC GRILLE COLOR TO MATCH  
ADJACENT WALL MATERIAL COLOR

CITY CODEBOOK	05/04/21
CITY CODEBOOK	06/04/21
SITE PLAN APPROVAL	05/20/20
PERMITS	07/02/20
DATE	05/20/20

WATTLES SQUARE APARTMENTS  
 EAST WATTLES ROAD  
 TROY, MI

BUILDING 1  
 EXTERIOR ELEVATIONS

A2.0





- REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY



- REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY

The material palette of the architectural design is varied, including:

- 2 brick types
- burnished block
- Stone veneer
- 2 types of metal siding.

EXTERIOR MATERIAL COLOR SAMPLES:



EXTERIOR BLDG. MATERIAL LEGEND:

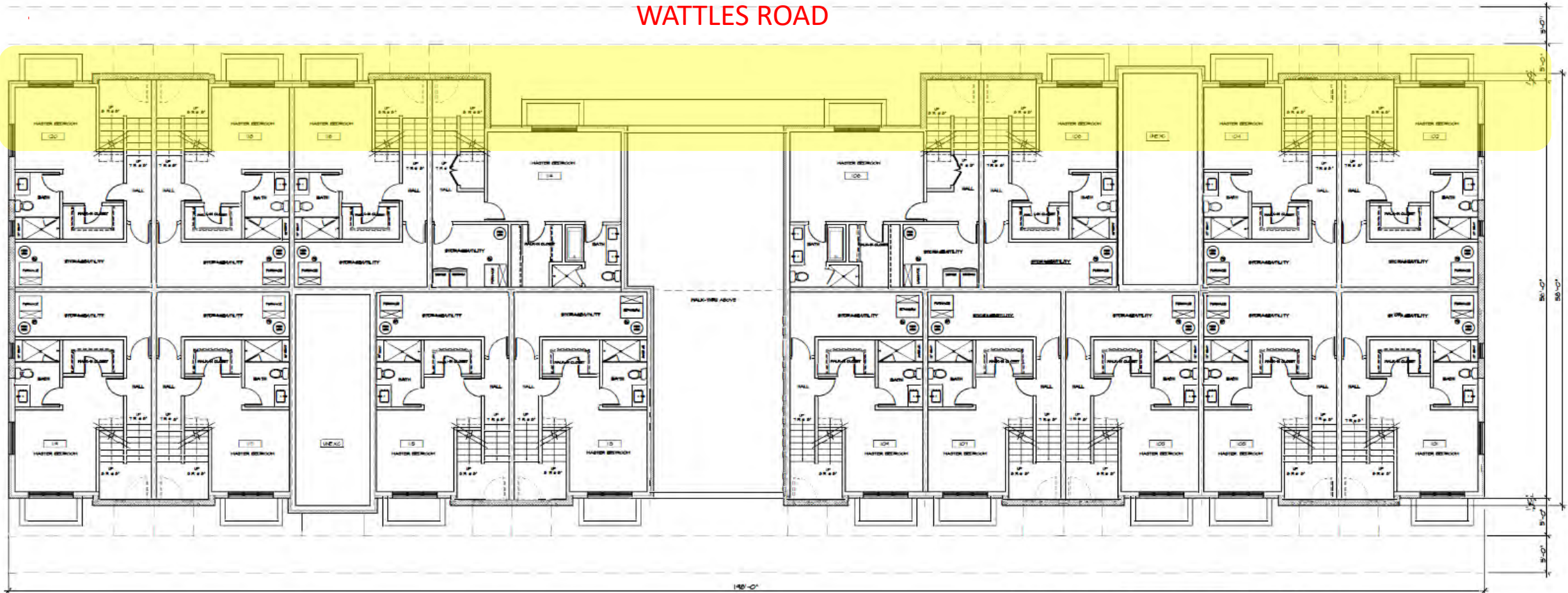
- A. 12" W. X 4" H. BRICK VENEER  
MEDIUM GRAY COLOR
- B. 12" W. X 4" BRICK VENEER  
VERY LIGHT GRAY COLOR
- C. 16" W. X 8" H. BURNISHED SMOOTH  
CONCRETE BLOCK LIGHT CREAM COLOR
- D. 6" H. HORIZONTAL METAL SIDING  
MEDIUM CHARCOAL WOOD GRAIN
- E. 6" H. VERTICAL METAL SIDING  
LIGHT WALNUT WOOD GRAIN
- F. 2'-8" W. X 10 3/4" H. STONE VENEER  
LIGHT GRAY COLOR
- G. COMMERCIAL GRADE CANVAS AWNING  
MARINE BLUE COLOR
- H. RESIDENCE ENTRY DOORS  
LIGHT WALNUT WOOD GRAIN
- I. BLACK COLOR:  
WINDOW & DOOR FRAMES  
METAL BALCONY & RAILINGS  
METAL CANOPY AT 2ND FLR STAIR ENTRY  
METAL PARAPET COPING
- J. 2ND FLOOR HVAC GRILLE COLOR TO MATCH  
ADJACENT WALL MATERIAL COLOR



Wattles Square Apartments

The street front facade has a variety of architectural expression, with a façade that steps in and out and transitions materially both horizontally and vertically, causing unique shadow lines, color contrast, and texture changes.

## WATTLES ROAD



Garden Level Plan  
Scale: 1/8" = 1'-0"  North

# VIEW AT OUTDOOR PLAZA





*“MASTER PLAN”*

*We sincerely believe that we meet the intended purpose of the neighborhood node category.*

*Multifamily apartment buildings inherently support social neighborhoods through increased density. This increased density creates a robust and livable community. For our site, being surrounded by single family homes, this results in a more diverse community. Additionally, our neighborhood node is a site, that will be combined with the neighboring commercial retail site (formerly Rite Aid). It is a mixed use project.*

*We are providing gathering places for residents and their guests with the community patio, and the dog park, and the “pass through” garden space which will include landscaping and benches, in the center of Building 1.*

*Basic living needs for residents will be provided through the apartment building and site, while also generous outdoor areas and on site parking will also be provided for residents. Residents will have access to multiple services provided on site necessary for daily living. Furthermore, the project location lends itself to easy and walkable access to nearby retail and has close proximity to services provided by the City of Troy.*





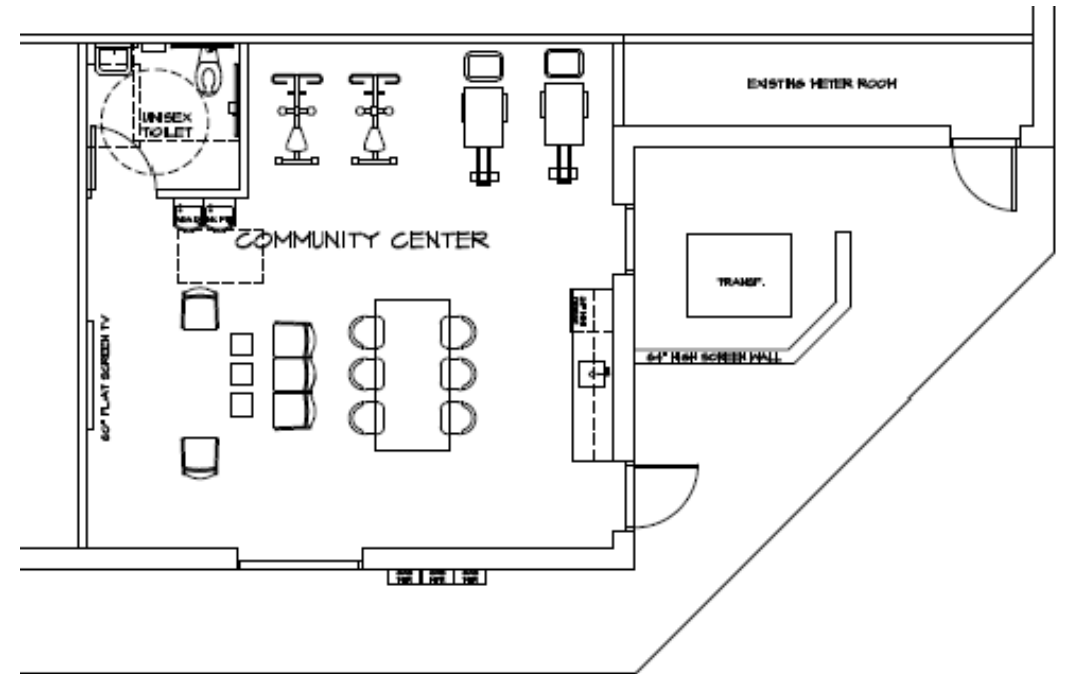
# TRAFFIC CIRCULATION:



35 units x 2 cars  
= 70 cars total

PROPOSED:  
155 spaces.  
(52+52+51)  
Max 155 cars

*The Community Building space, which will include a minimum of 500-600 SF, will be a vibrant and welcoming gathering place for residents to meet and mingle. It can support health and wellness activities, fitness equipment, a lounge space for television viewing, and more. It will be flexible and adaptable to support the various needs of the resident community.*



Community Center Plan  
Scale: 1/4" = 1'-0"



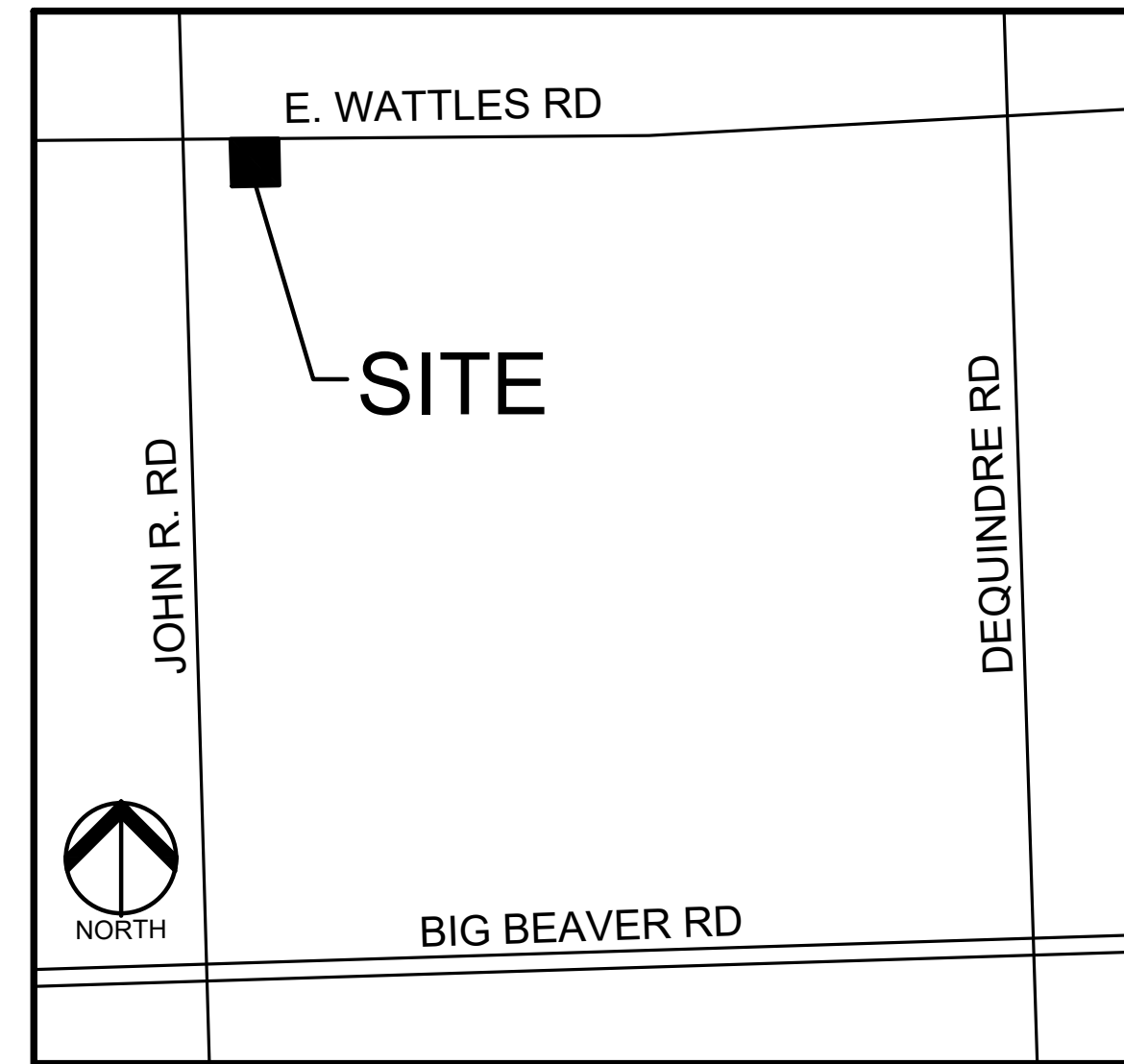
THANK YOU! QUESTIONS?

PRELIMINARY SITE PLANS

# WATTLES SQUARE APARTMENTS

E. WATTLES ROAD & JOHN R. ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP  
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	OVERALL SITE PLAN
C-2.1	PRELIMINARY SITE PLAN
C-3.0	PRELIMINARY GRADING PLAN
C-4.0	PRELIMINARY UTILITY PLAN
C-5.0	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS
T-1.0	TREE PLAN
T-1.1	TREE LIST
L201	PHOTOMETRIC PLAN
ARCHITECTURAL PLANS	
A0.0	BUILDING 1 NORTH EXTERIOR ELEVATION
A1.1	TWO LEVEL UNIT FLOOR PLANS - BUILDING 1
A1.2	TWO LEVEL UNIT FLOOR PLANS - BUILDING 2
A1.3	2ND FLOOR SINGLE LEVEL UNITS - BUILDINGS 1 & 2
A2.0	BUILDING 1 EXTERIOR ELEVATIONS
A2.1	BUILDING 2 EXTERIOR ELEVATIONS
CC1.0	COMMUNITY CENTER PLAN

DESIGN TEAM

<b>DEVELOPER</b>	<b>CIVIL ENGINEER</b>
ATTO CONSTRUCTION 2150 FRANKLIN ROAD BLOOMFIELD HILLS, MI 48302 CONTACT: RICHIE ATTO EMAIL: ATTONATION@MSN.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: GREG BONO, PE PHONE: 844.813.2949 EMAIL: GBONO@PEAGROUP.COM
<b>ARCHITECT</b>	<b>LANDSCAPE ARCHITECT</b>
HARRY SWIHART ARCHITYPE 21643 SHIAWASSEE DR. CASSAPOLIS, MI 49031 CONTACT: HARRY SWIHART PHONE: 312.758.7037 EMAIL: HSARCHITYPE@COMCAST.NET	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	9/22/2023
CITY COMMENTS	11/15/2023
SITE PLAN APPROVAL	12/5/2023
CITY COMMENTS	3/6/2024
CITY COMMENTS	6/3/2024



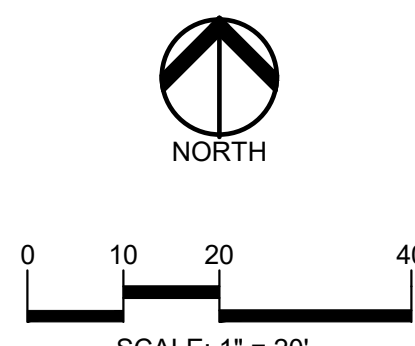
NOT FOR CONSTRUCTION

**FLOODPLAIN NOTE:**  
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C05536, EFFECTIVE DATE OF JANUARY 16, 2009.

**TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:**  
 TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY CORE LAND CONSULTING.  
 PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

**LEGEND:**

- FOUND MONUMENT (AS NOTED)
- SECTION CORNER
- ⊕ SET 1/2" REBAR & CAP
- ⊗ SQUARE CATCH BASIN
- ⊙ STORM MANHOLE
- ⊕ ROUND CATCH BASIN
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER MANHOLE
- ⊕ SEWER MANHOLE
- UTILITY POLE
- SINGLE POST SIGN
- ADJOINING BOUNDARY LINE
- EDGE OF ASPHALT
- BOUNDARY LINE
- BUILDING
- EDGE OF CONCRETE
- CONCRETE CURB
- EDGE OF METAL
- OVERHEAD UTILITY LINE
- GUARDRAIL
- PLATTED SUBDIVISION
- ROAD CENTERLINE
- SECTION LINE
- SEWER LINE
- EDGE OF SIDEWALK
- STORM DRAIN LINE
- WALL (AS NOTED)
- WATER MAIN



**BENCHMARKS (NAVD83)**

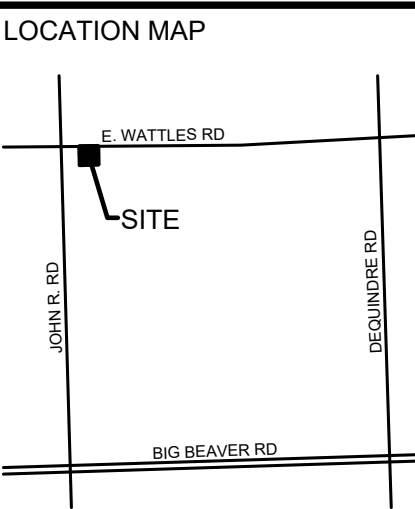
**BM #1**  
 ARROW ON HYDRANT LOCATED ON NORTH SIDE OF WATTLES ROAD ±638 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 649.24

**BM #2**  
 MAG NAIL IN SOUTH FACE OF TREE LOCATED ON NORTH EDGE OF WALK ON SOUTH SIDE OF WATTLES ±472 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 647.68

**BM #3**  
 ARROW ON HYDRANT LOCATED NORTHEAST CORNER OF PARCEL LOCATED ±332 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 647.68



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**CLIENT**  
**ATTO CONSTRUCTION, INC.**  
 2150 FRANKLIN ROAD  
 BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
 E. WATTLES RD. & JOHN R. RD.  
 TROY, MI 48063

**REVISIONS**

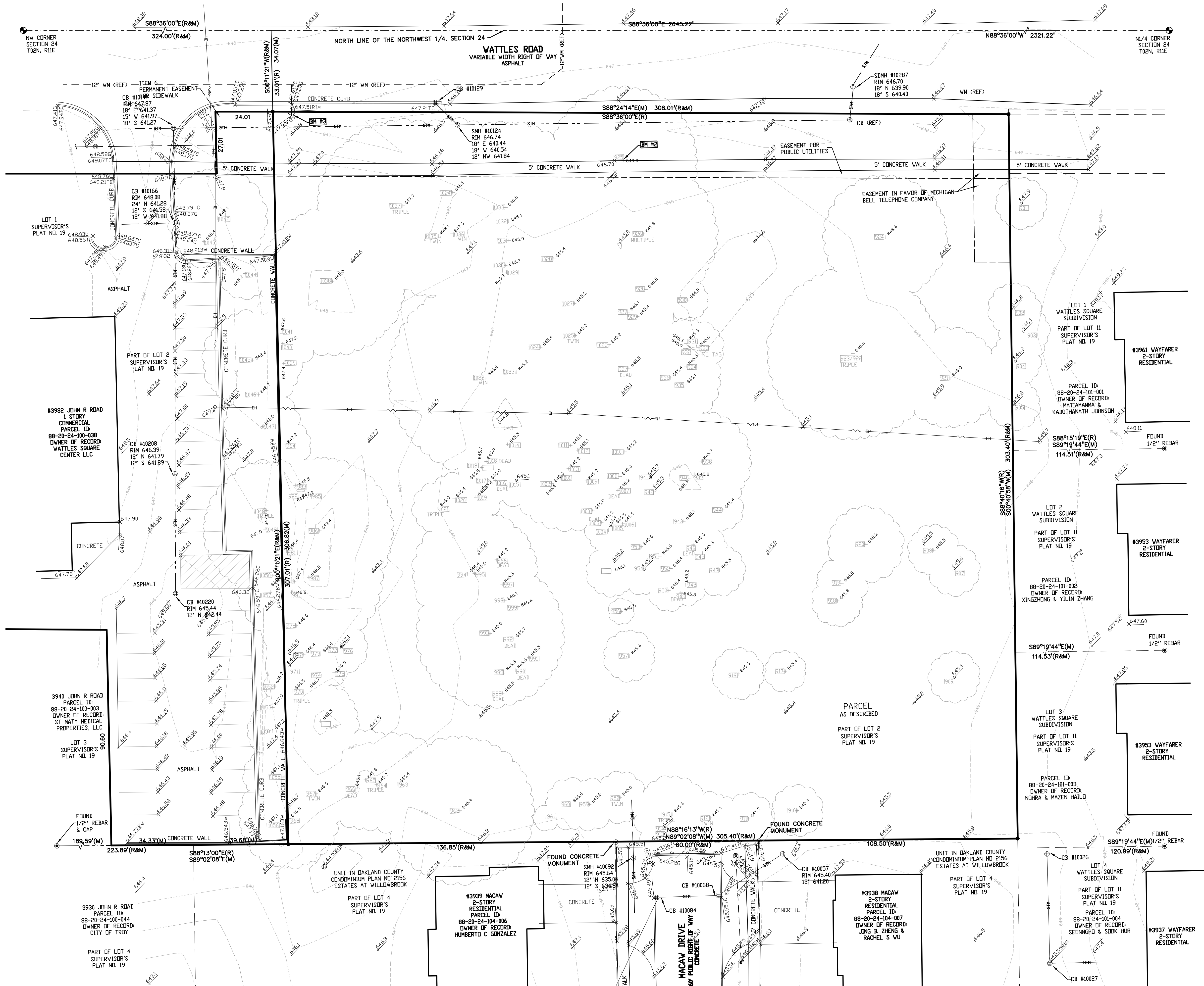
CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
CITY COMMENTS	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

**ORIGINAL ISSUE DATE:**  
 SEPTEMBER 22, 2023

**DRAWING TITLE**  
**TOPOGRAPHIC SURVEY**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	KRD
DES.	KRD
DRAWING NUMBER:	

**NOT FOR CONSTRUCTION C-1.0**



S:\PROJECTS\2022\022-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\1-C-1.0\TOPG-22-1309.dwg PLOT DATE: 6/2/2024 BY: Kelly Sztybel



**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

**SITE DATA TABLE:**

SITE AREA = 3.47 ACRES (151,214 SF) GROSS  
3.28 ACRES (142,767 SF) NET

ZONING: NEIGHBORHOOD NODES (NN) - NODE F

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

**BUILDING INFORMATION**  
BUILDING FORM C

MAXIMUM ALLOWABLE BUILDING HEIGHT = 2.5 STORIES (30 FEET)  
PROPOSED BUILDING HEIGHT = 2.5 STORIES

**BUILDING FOOTPRINT AREA:**  
BLDG 1 = 9,980 SF  
BLDG 2 = 11,300 SF  
TOTAL FOOTPRINT AREA = 21,280 SF

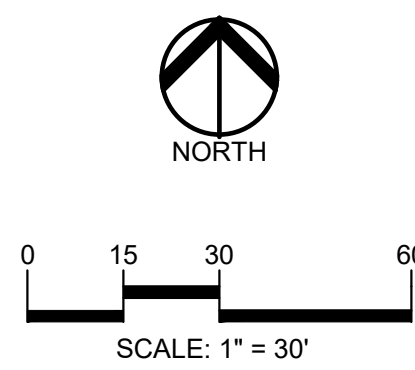
MAXIMUM BUILDING COVERAGE = 30%  
PROPOSED BUILDING COVERAGE = (21,280 + 11,585 + 500) / 142,767 = 23.4%

SETBACK:	REQUIRED:	PROPOSED:
FRONT (NORTH):	10'	10.00'
SIDE (EAST):	20'	90.05'
SIDE (WEST):	0'	89.62'
REAR (SOUTH):	30'	72.33'

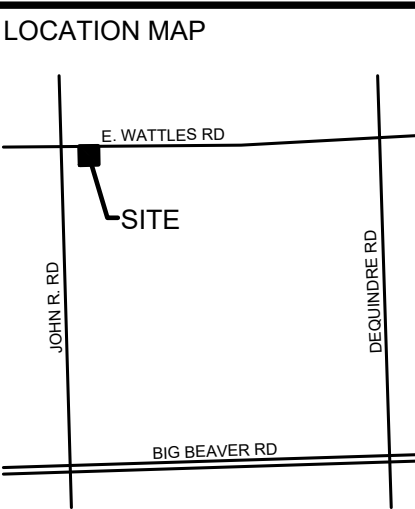
**PARKING CALCULATIONS:**  
MULTI-FAMILY = 2 SPACES PER UNIT  
REQUIRED PARKING = 54 UNITS x 2 = 108 SPACES  
PROPOSED PARKING = 109 SPACES INC. 5 ADA SPACES

RETAIL = 1 SPACE PER 250 SF  
REQUIRED PARKING = 11,585 SF / 250 = 46.3 ~ 46 SPACES  
PROPOSED PARKING = 46 SPACES INC. 2 ADA SPACES

TOTAL REQUIRED PARKING = 108 + 46 = 154 SPACES  
TOTAL PROPOSED PARKING = 109 + 46 = 155 SPACES INC. 7 ADA SPACES



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**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

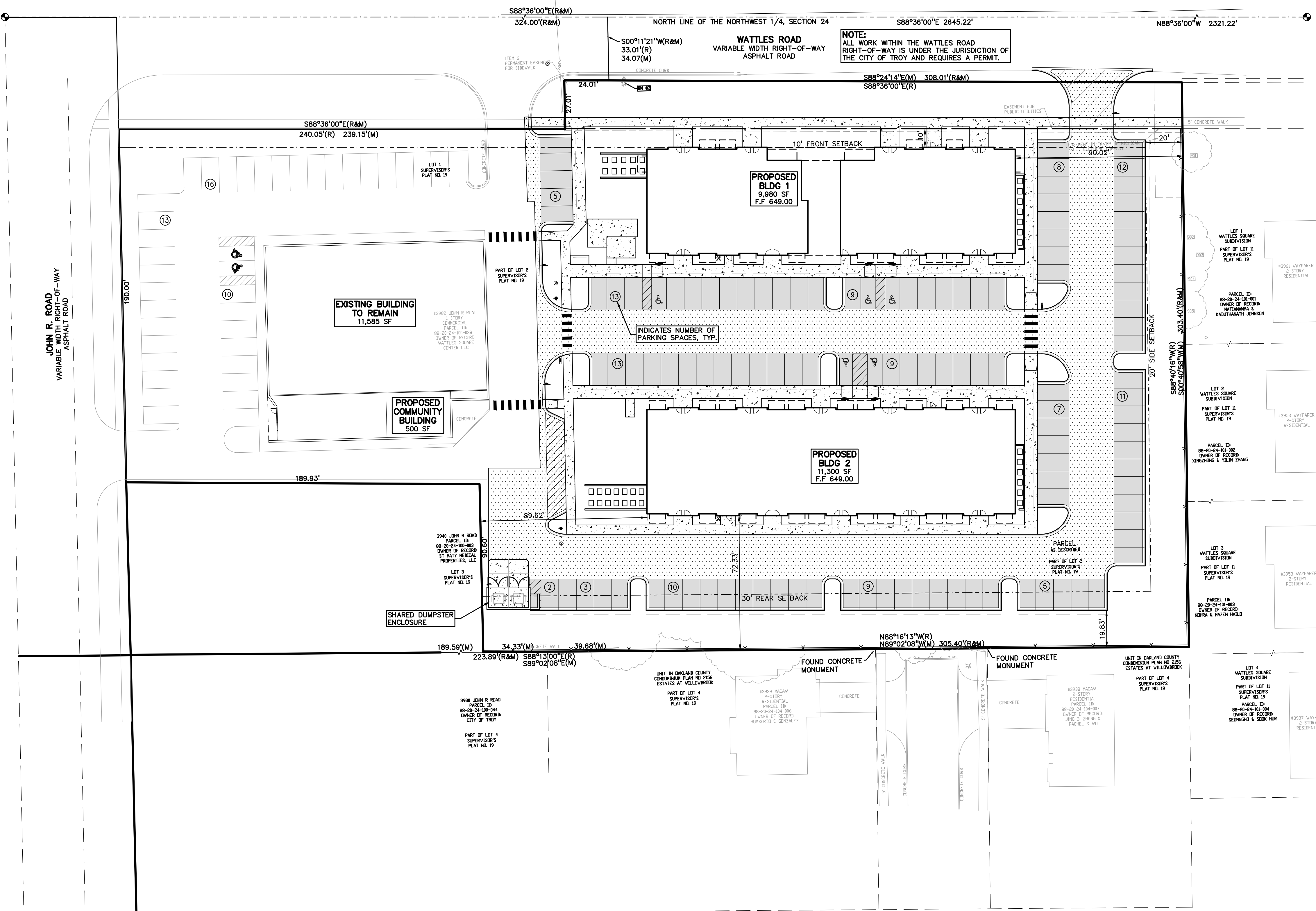
**REVISIONS**

CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
CITY COMMENTS	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

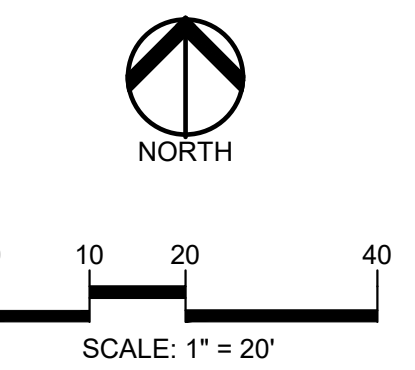
DRAWING TITLE  
**OVERALL SITE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	KRD
DES.	KRD
DRAWING NUMBER:	

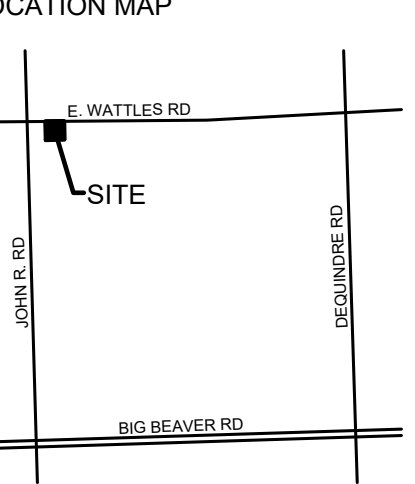


NOT FOR CONSTRUCTION

**C-2.0**



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**ATTO CONSTRUCTION, INC.**  
 2150 FRANKLIN ROAD  
 BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
 E. WATTLES RD. & JOHN R. RD.  
 TROY, MI 48063

**REVISIONS**

CITY COMMENTS	DATE
CITY PLAN APPROVAL	11/15/23
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CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

**ORIGINAL ISSUE DATE:**  
 SEPTEMBER 22, 2023

**DRAWING TITLE**  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN	KRD
DES.	KRD

**DRAWING NUMBER:**  
**C-2.1**

**LEGEND:**

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE SLOPE PAN
	SETBACK LINE
	SIGN
	LIGHTPOLE
	FENCE
	GUARD RAIL

- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS.

**SIDEWALK RAMP LEGEND:**

	SIDEWALK RAMP 'TYPE P'
	SIDEWALK RAMP 'TYPE R'
	CURB DROP ONLY

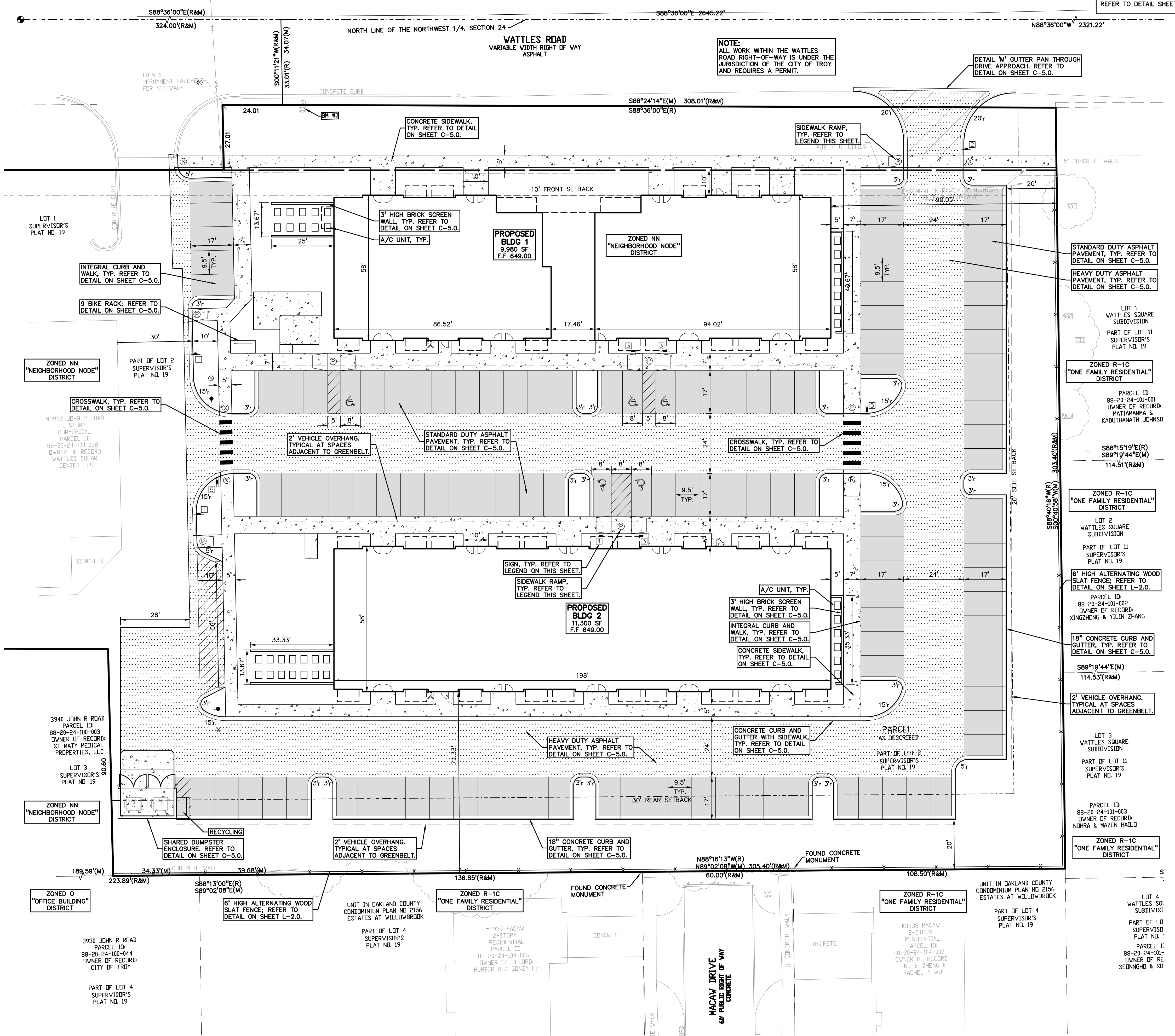
**SIGN LEGEND:**

	'NO PARKING FIRE LANE' SIGN
	'STOP' SIGN
	'BARRIER FREE PARKING' SIGN
	'VAN ACCESSIBLE' SIGN
	'CROSSWALK' SIGN

REFER TO DETAIL SHEET FOR SIGN DETAILS

**NOTE:**  
 ALL WORK WITHIN THE WATTLES ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF TROY AND REQUIRES A PERMIT.

DETAIL 'M' GUTTER PAN THROUGH DRIVE APPROACH. REFER TO DETAIL ON SHEET C-5.0.



S:\PROJECTS\2022\0202-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\C-2.100.dwg PLOT DATE: 07/2024 BY: KMY, S2024

**NOT FOR CONSTRUCTION**

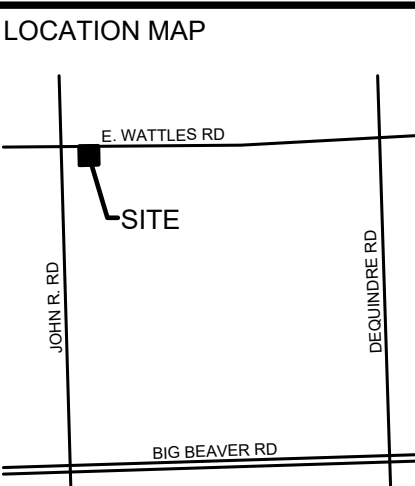




0 10 20 40  
SCALE: 1" = 20'



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**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

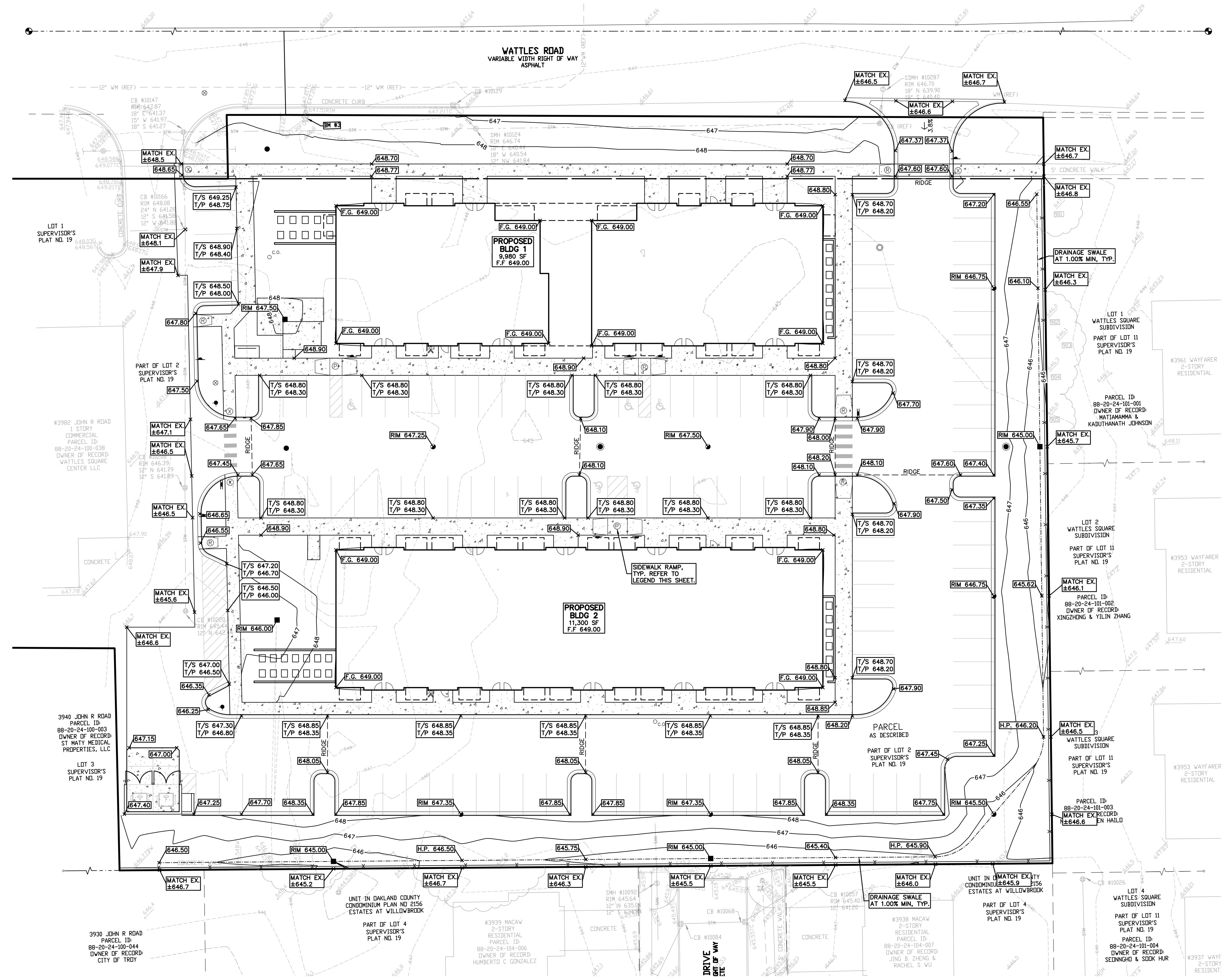
PEA JOB NO.	22-1309
P.M.	GMB
DN.	KRD
DES.	KRD
DRAWING NUMBER:	

**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

**ABBREVIATIONS**

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- T/W = TOP OF WALL
- B/W = BOTTOM OF WALL
- G = GUTTER GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- RIM = RIM ELEVATION



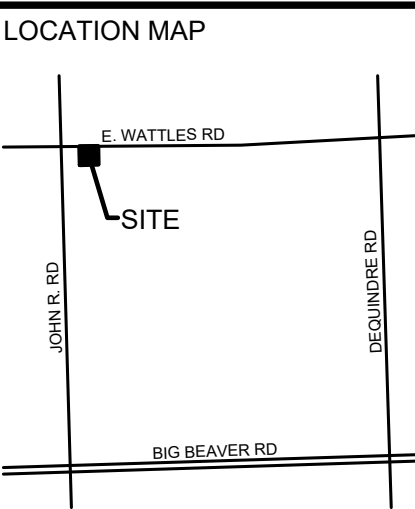
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0 10 20 40  
SCALE: 1" = 20'



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PROJECT TITLE  
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REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

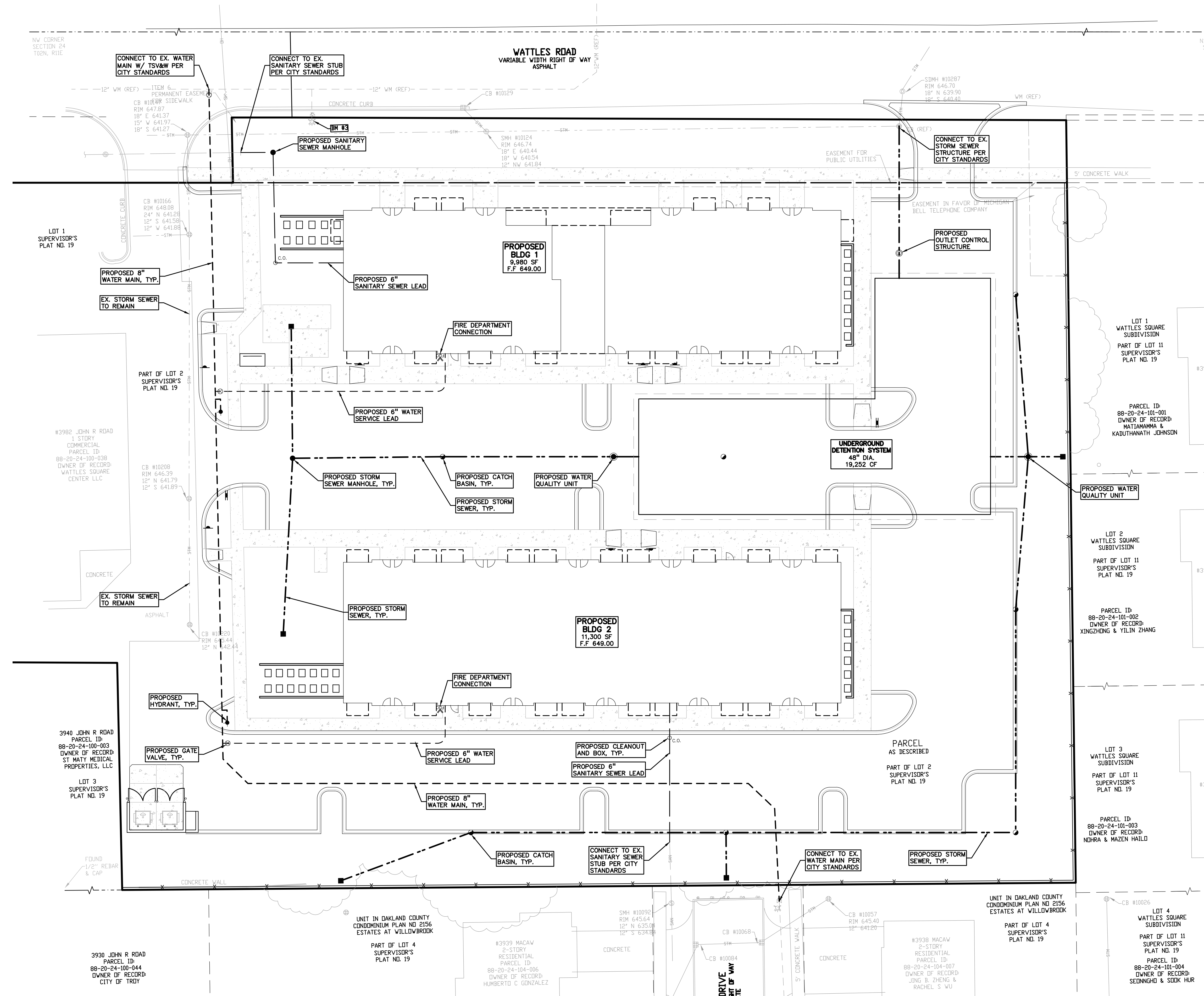
ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

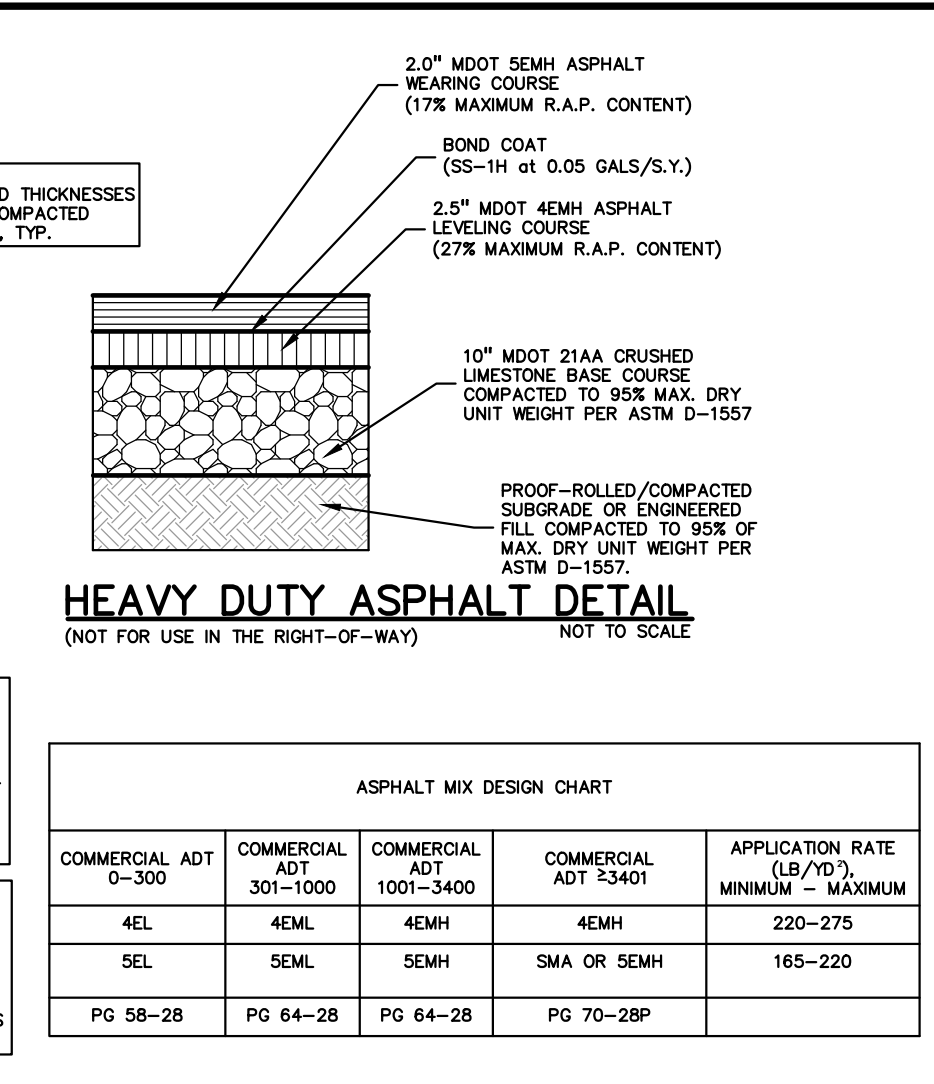
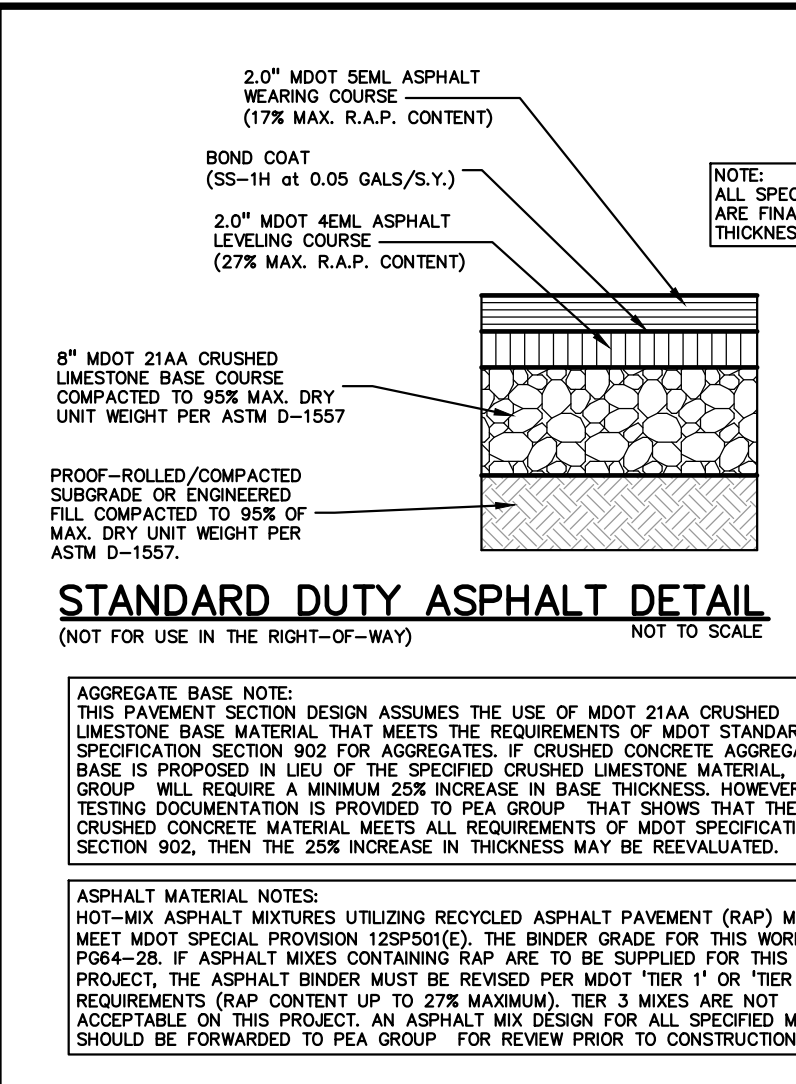
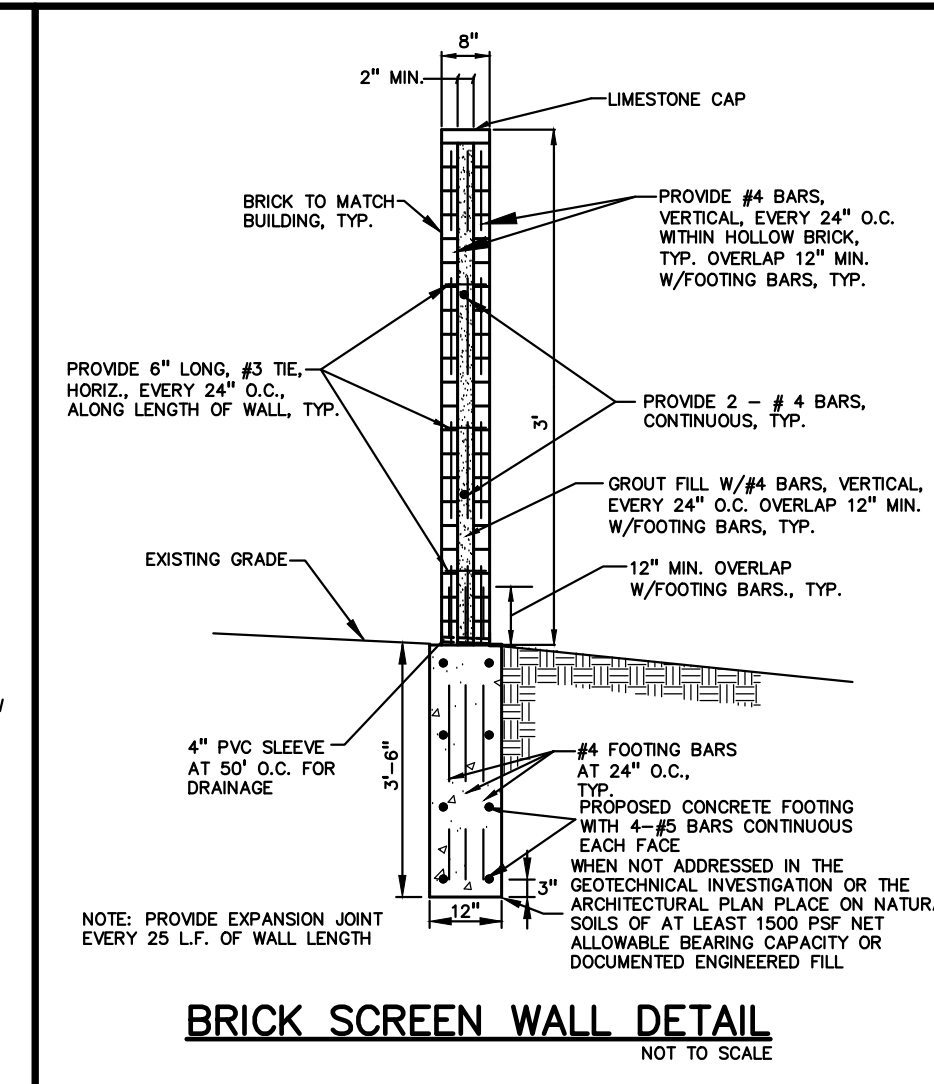
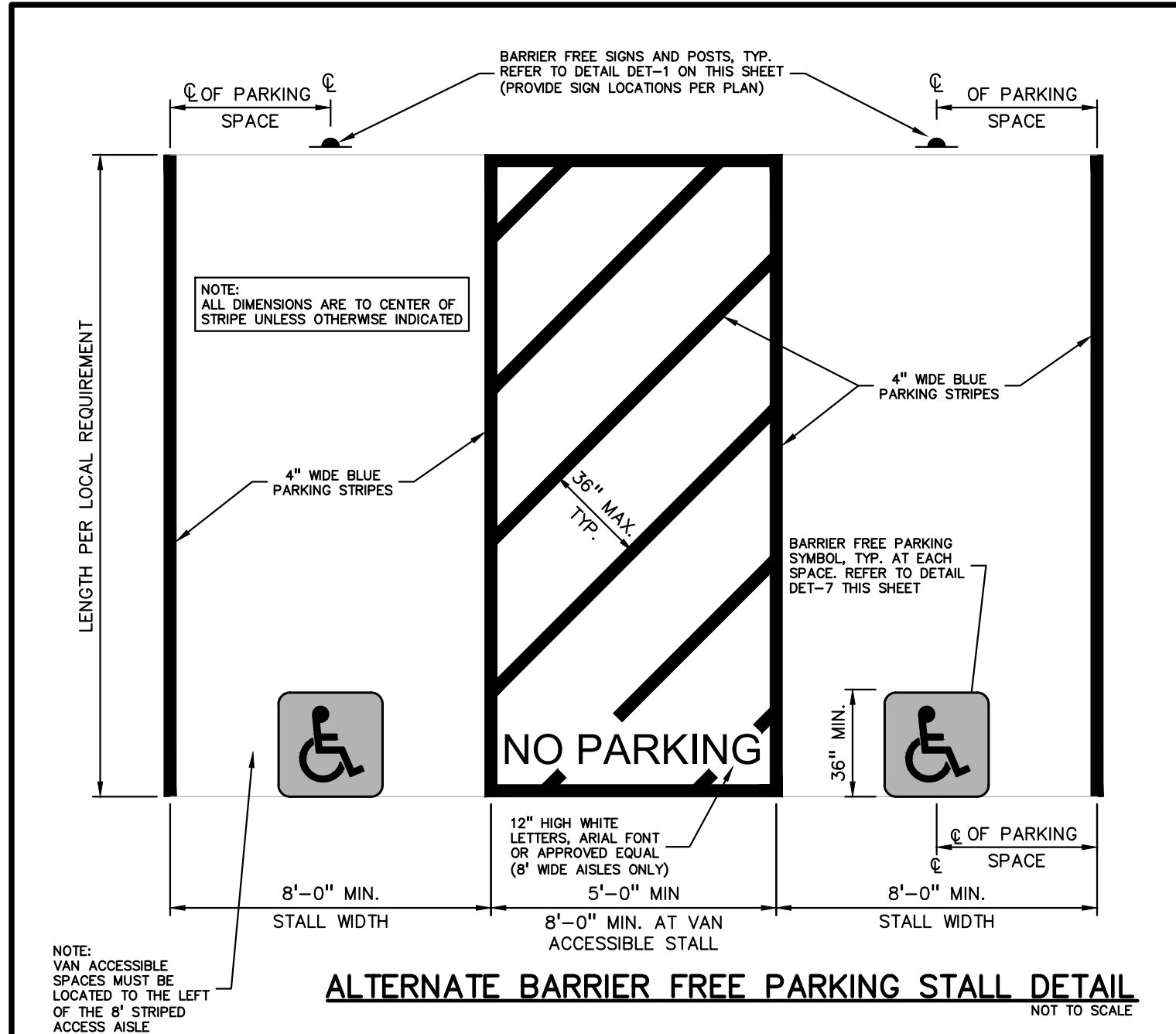
PEA JOB NO.	22-1309
P.M.	GMB
DN	KRD
DES.	KRD
DRAWING NUMBER:	

**UTILITY LEGEND:**

- OH-ELEC-W— EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV— EX. U.G. CABLE TV & PEDESTAL
- UG-COMM— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC— EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- ⊗ EX. GAS VALVE & GAS LINE MARKER
- ⊠ EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- ⊕ EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- ⊖ EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- ⊙ EX. SANITARY CLEANOUT & MANHOLE
- ⊙ EX. COMBINED SEWER MANHOLE
- ⊙ EX. STORM SEWER
- ⊙ EX. CLEANOUT & MANHOLE
- ⊙ EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- ⊙ EX. YARD DRAIN & ROOF DRAIN
- ⊙ EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- ⊕ PROPOSED HYDRANT AND GATE VALVE
- ⊖ PROPOSED TAPPING SLEEVE, VALVE & WELL
- ⊖ PROPOSED POST INDICATOR VALVE
- ⊖ PROPOSED SANITARY SEWER
- ⊖ PROPOSED SANITARY CLEANOUT & MANHOLE
- ⊖ PROPOSED STORM SEWER
- ⊖ PROPOSED STORM SEWER CLEANOUT & MANHOLE
- ⊖ PROPOSED CATCH BASIN, INLET & YARD DRAIN

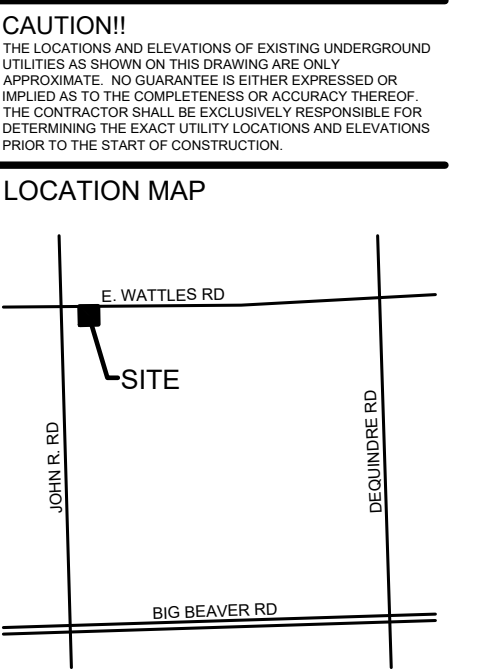
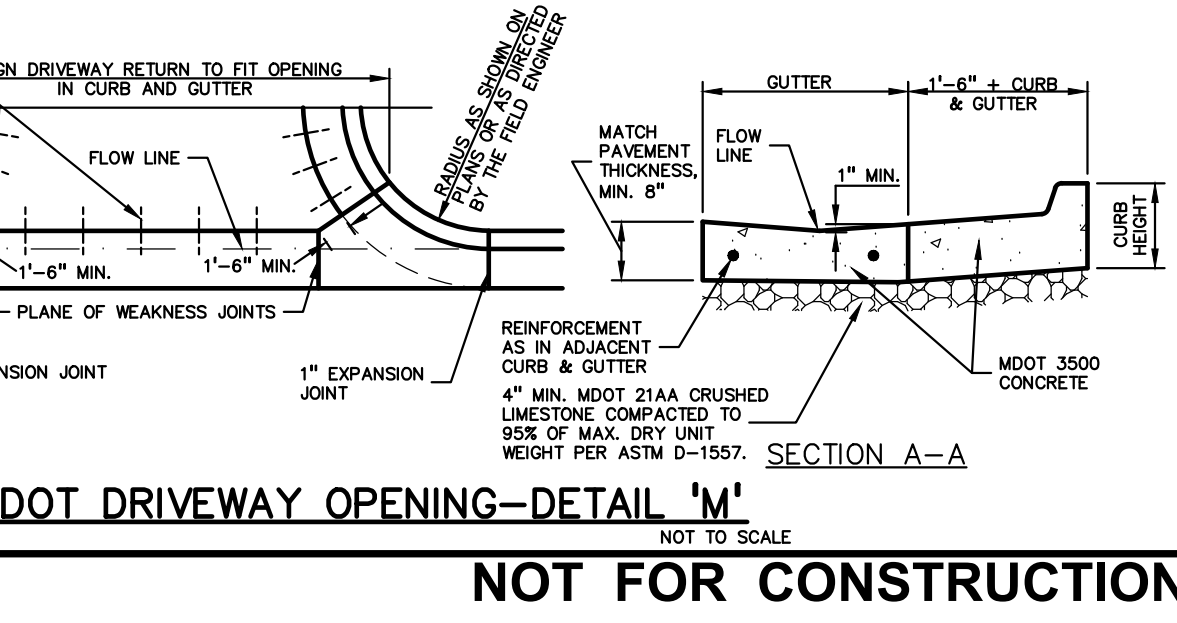
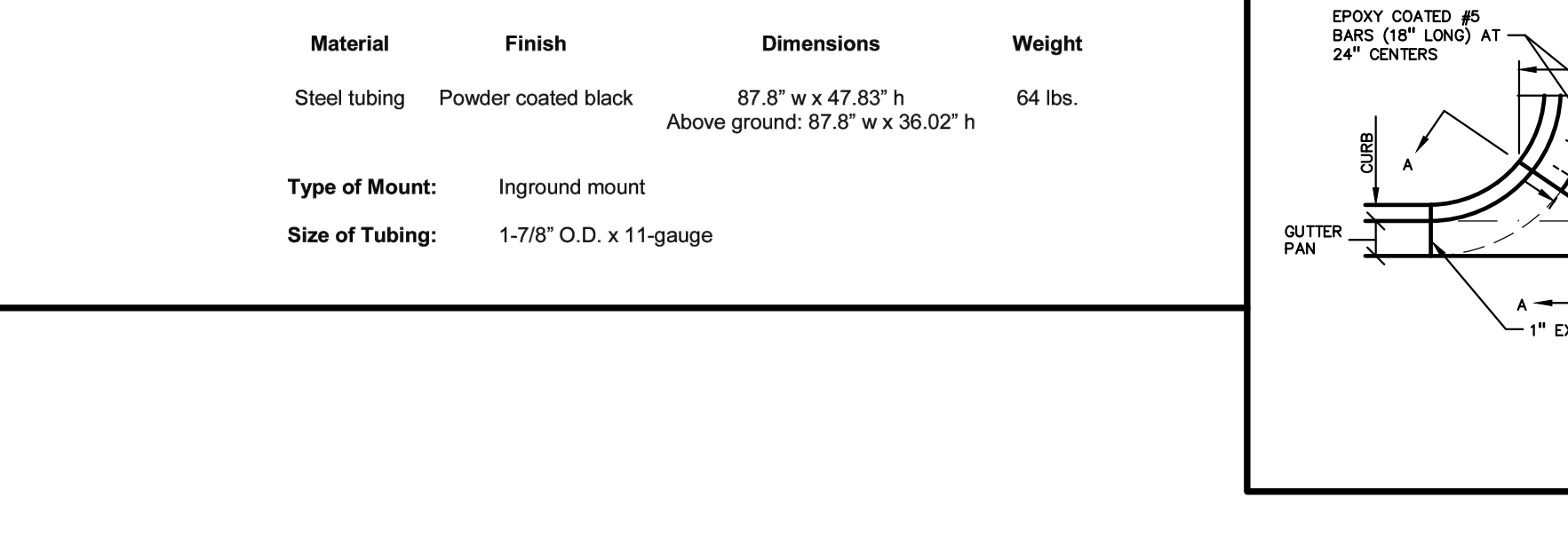
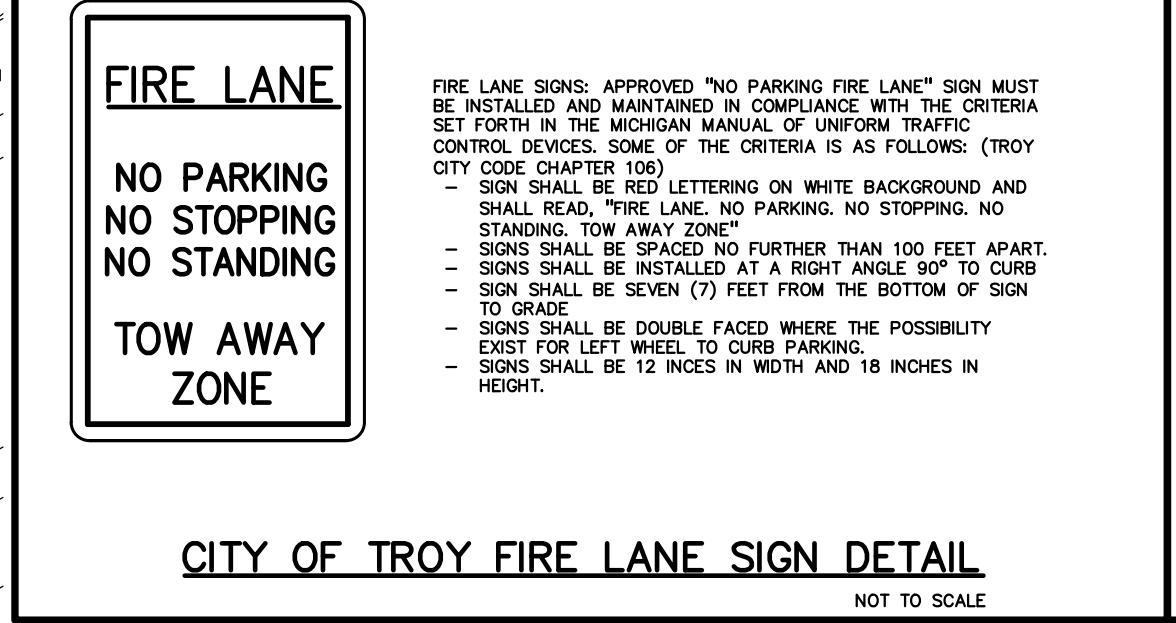
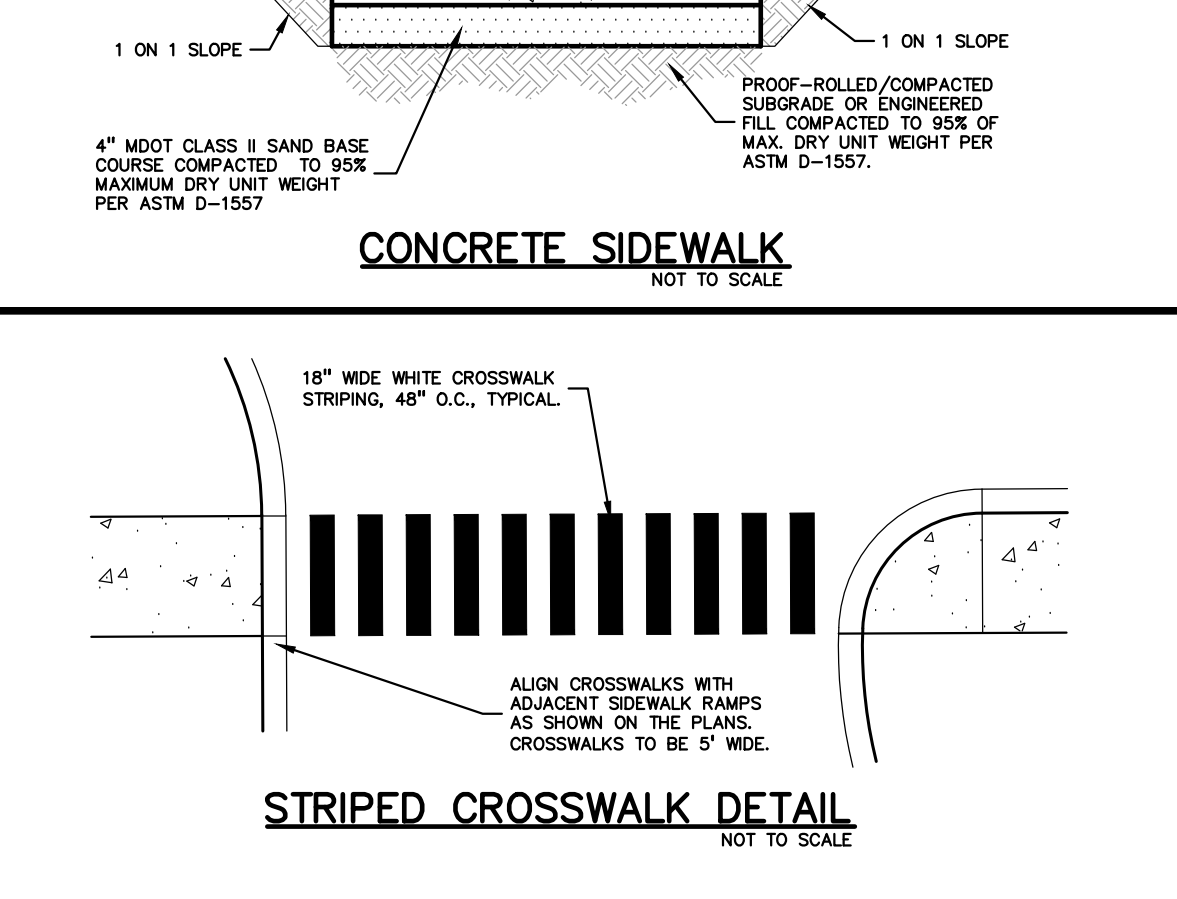
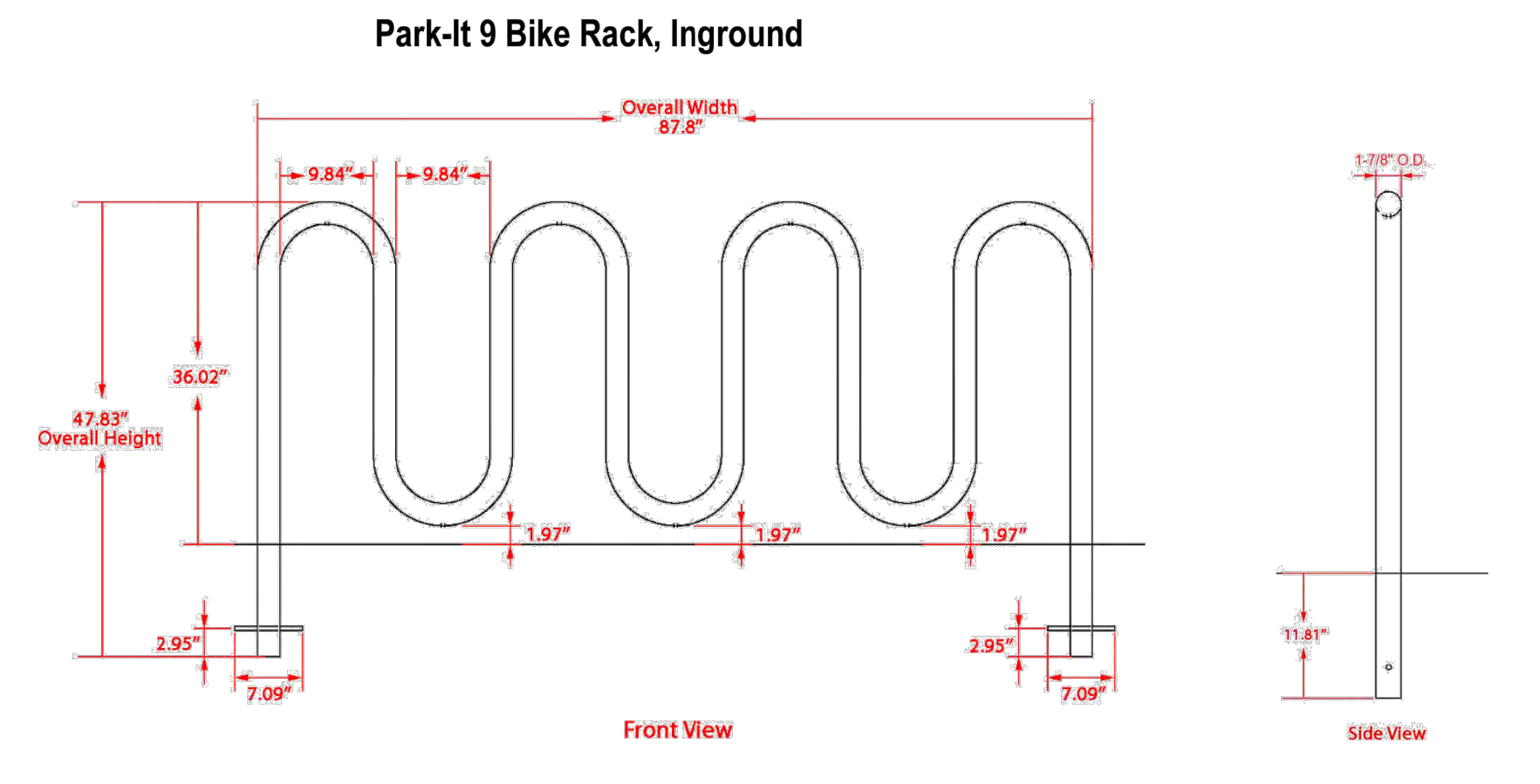
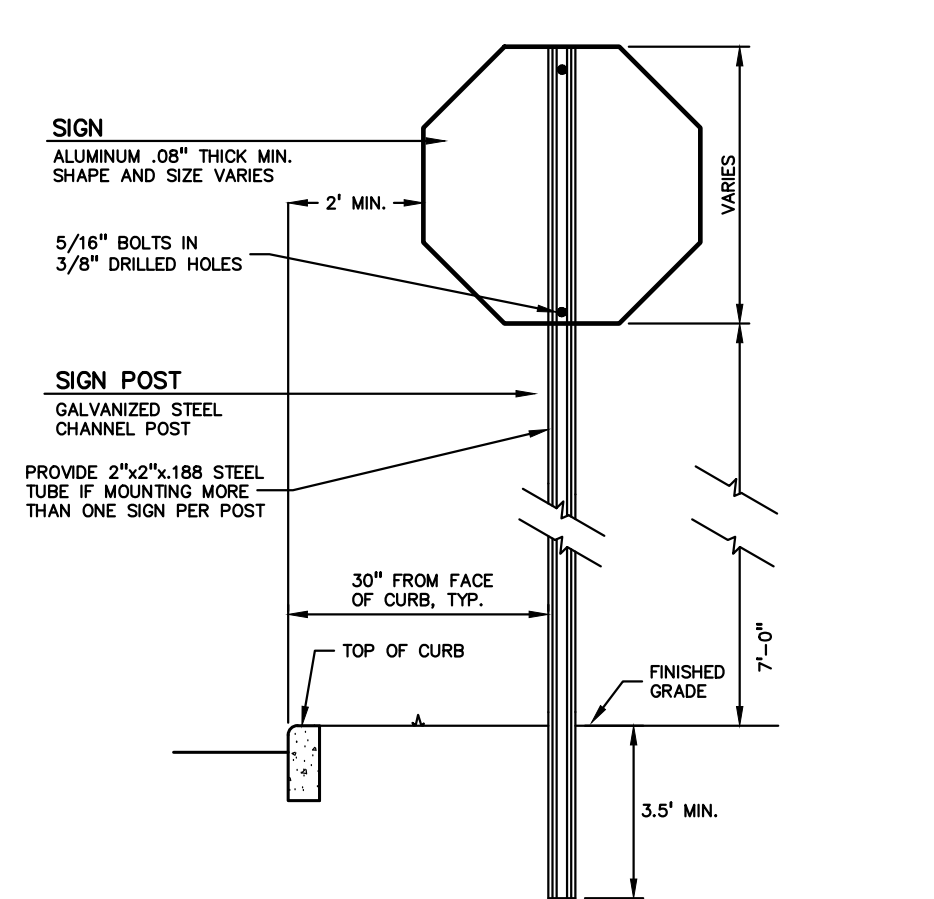
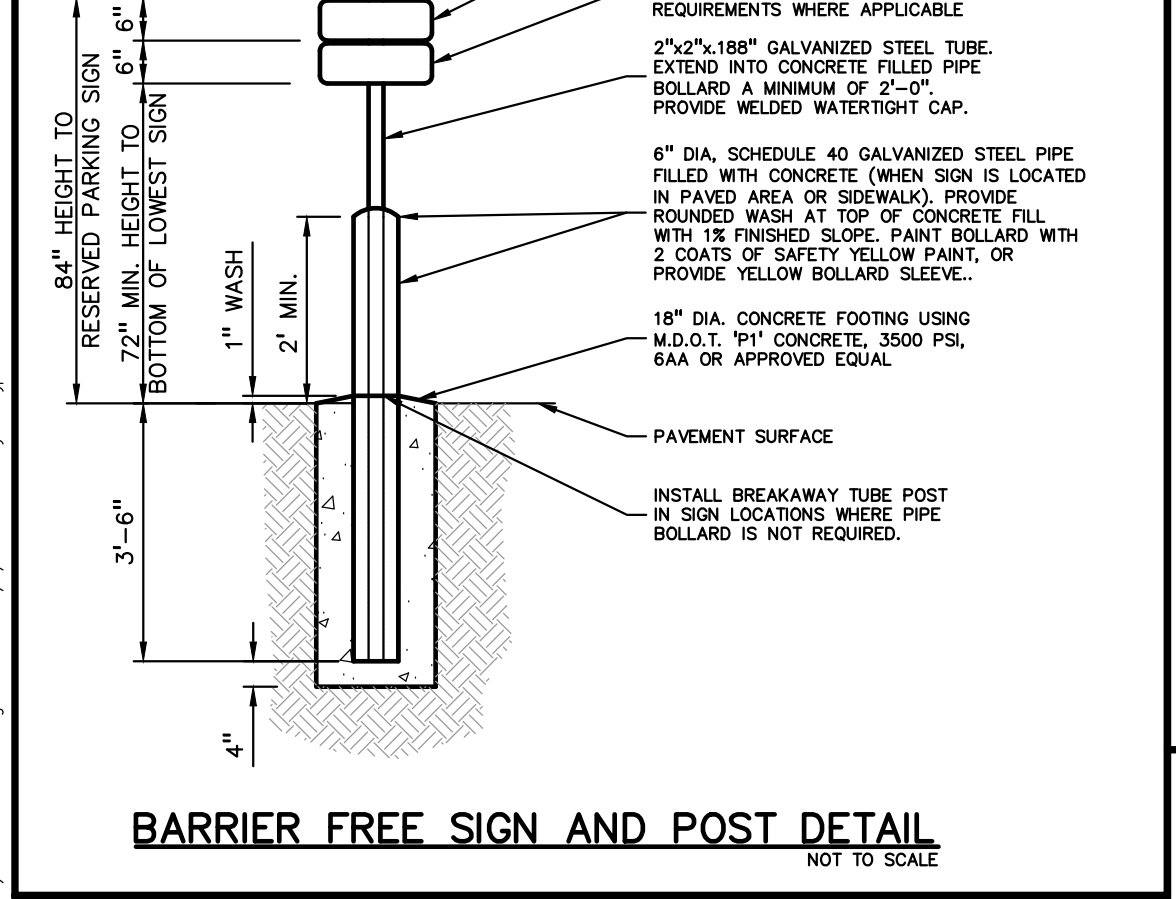
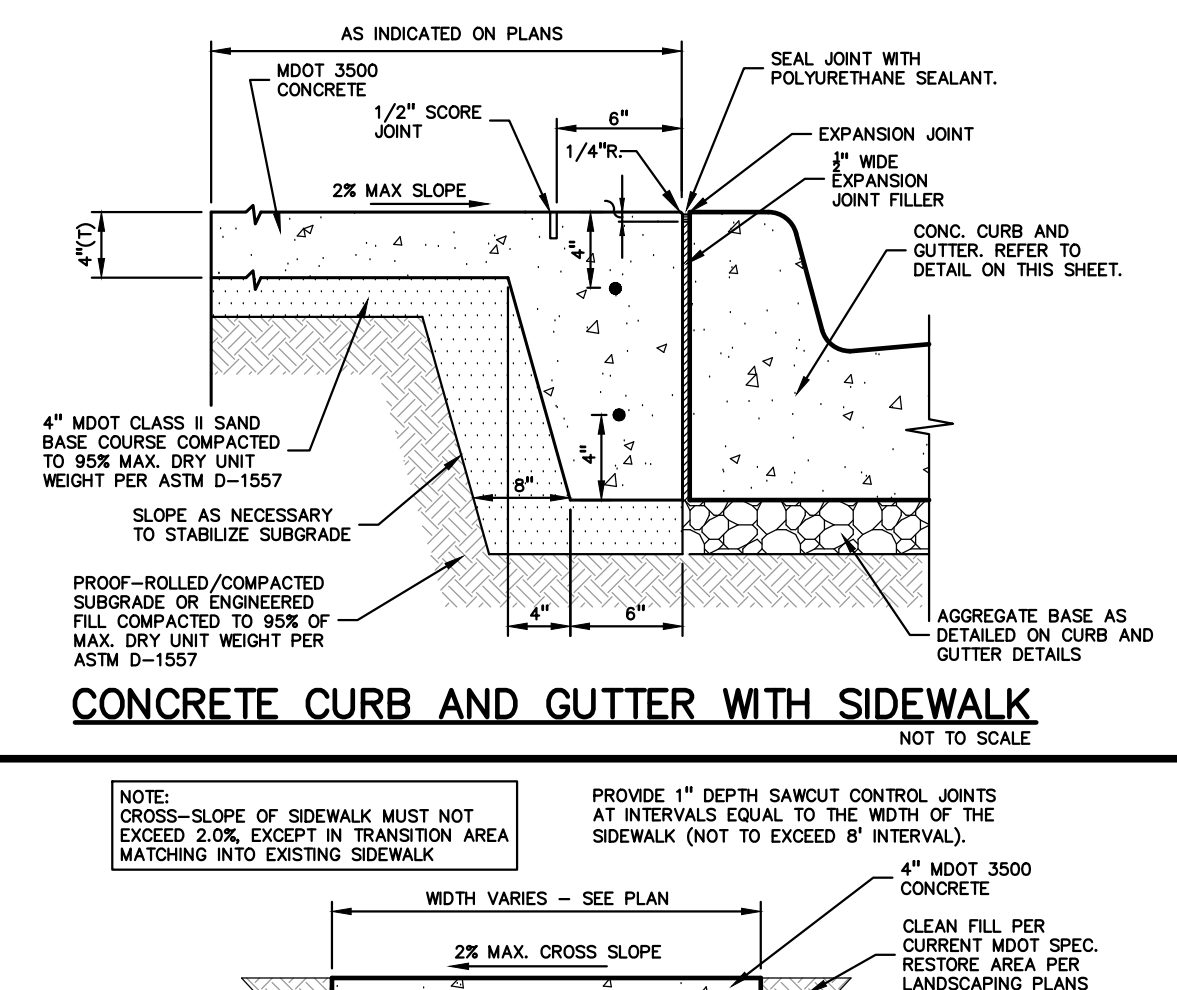
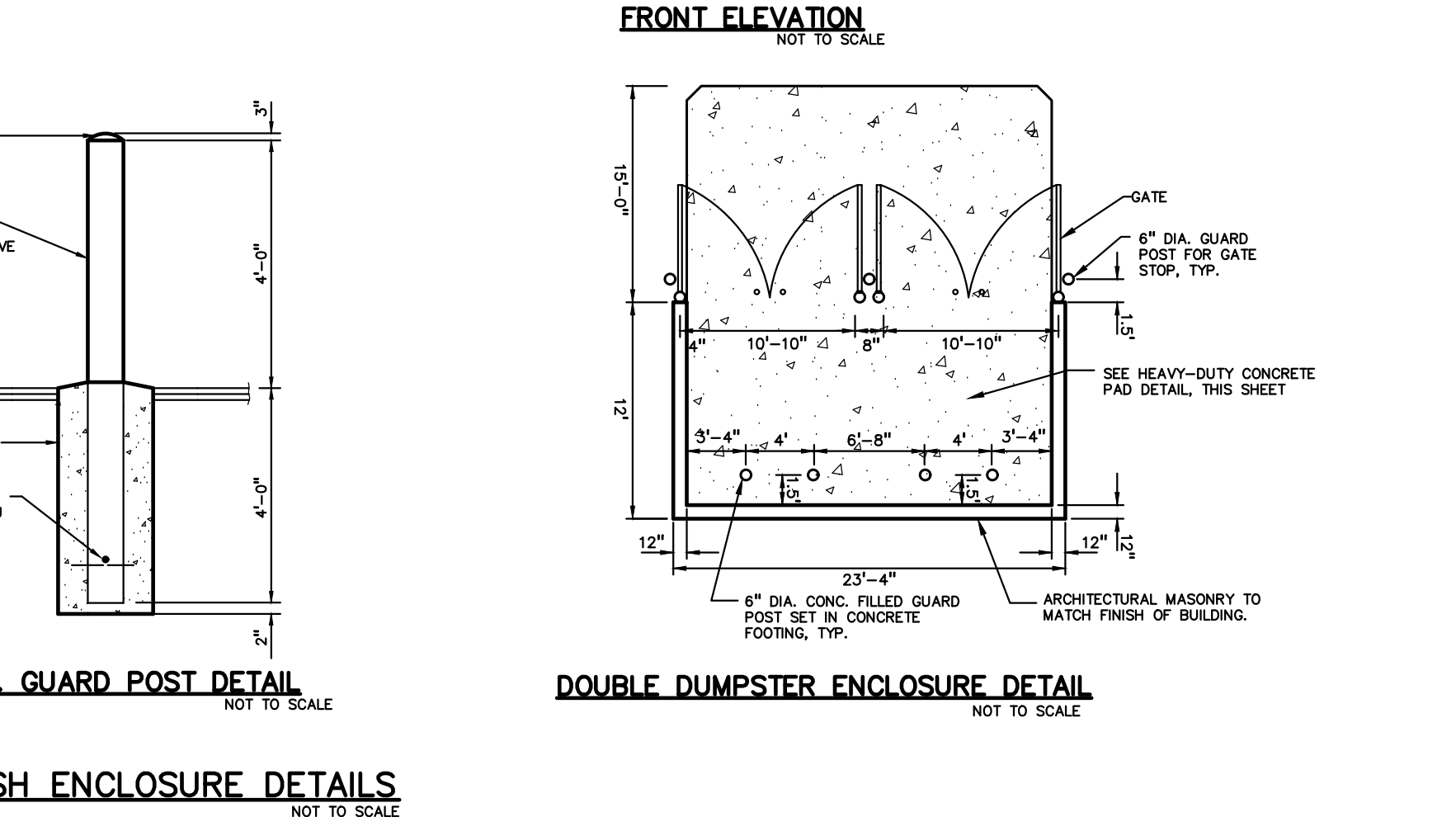
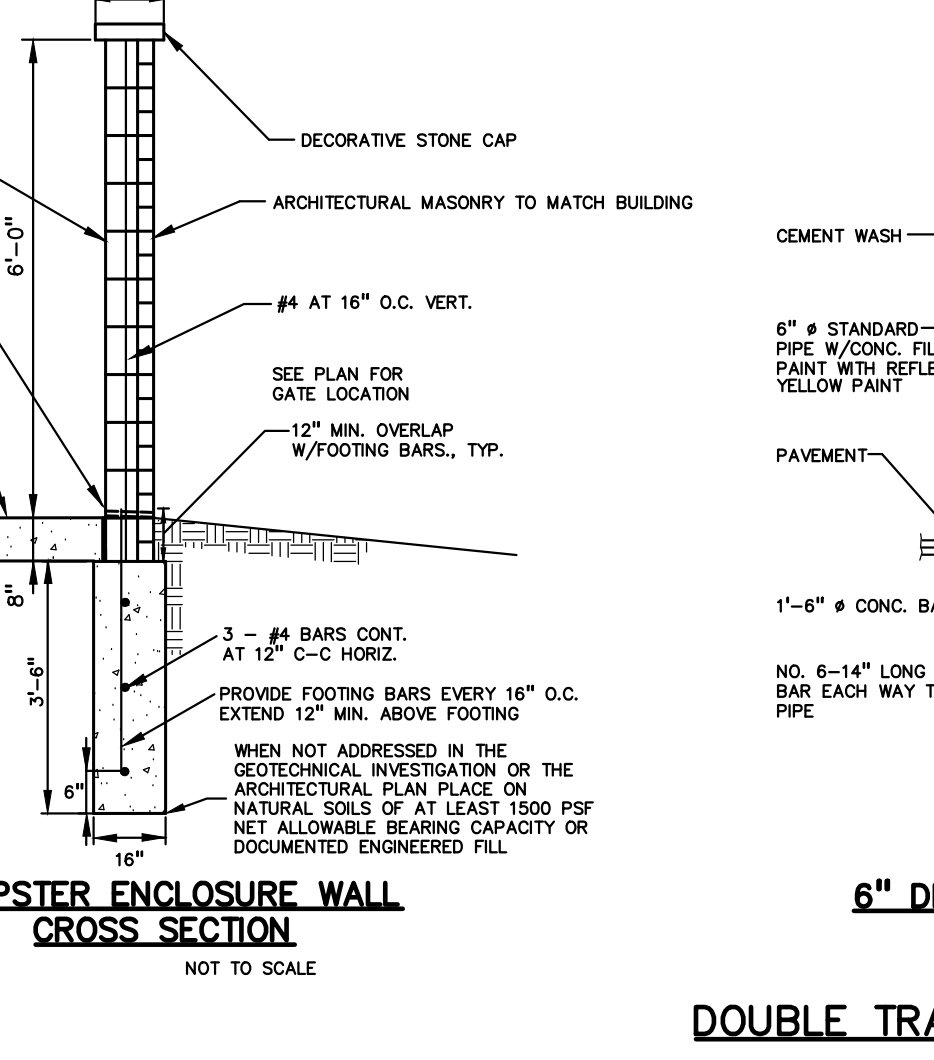
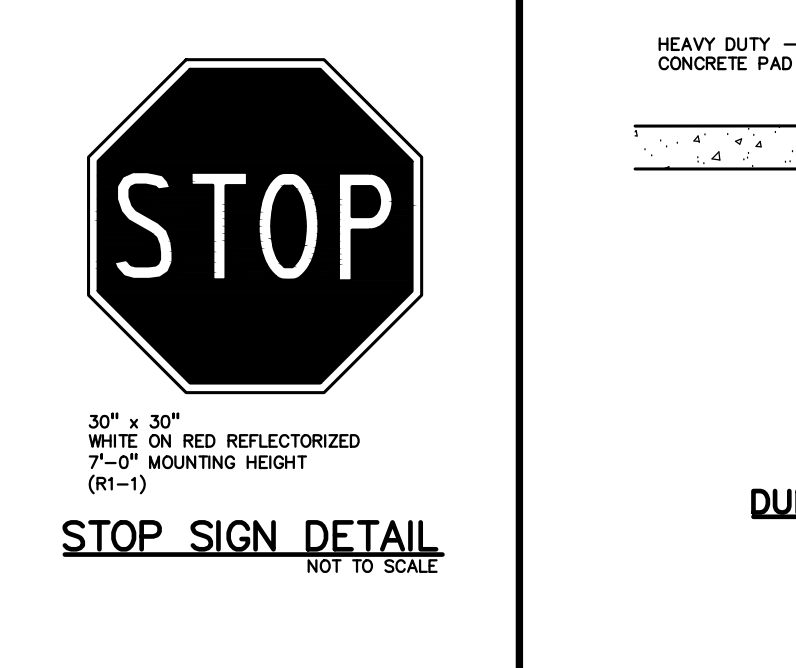
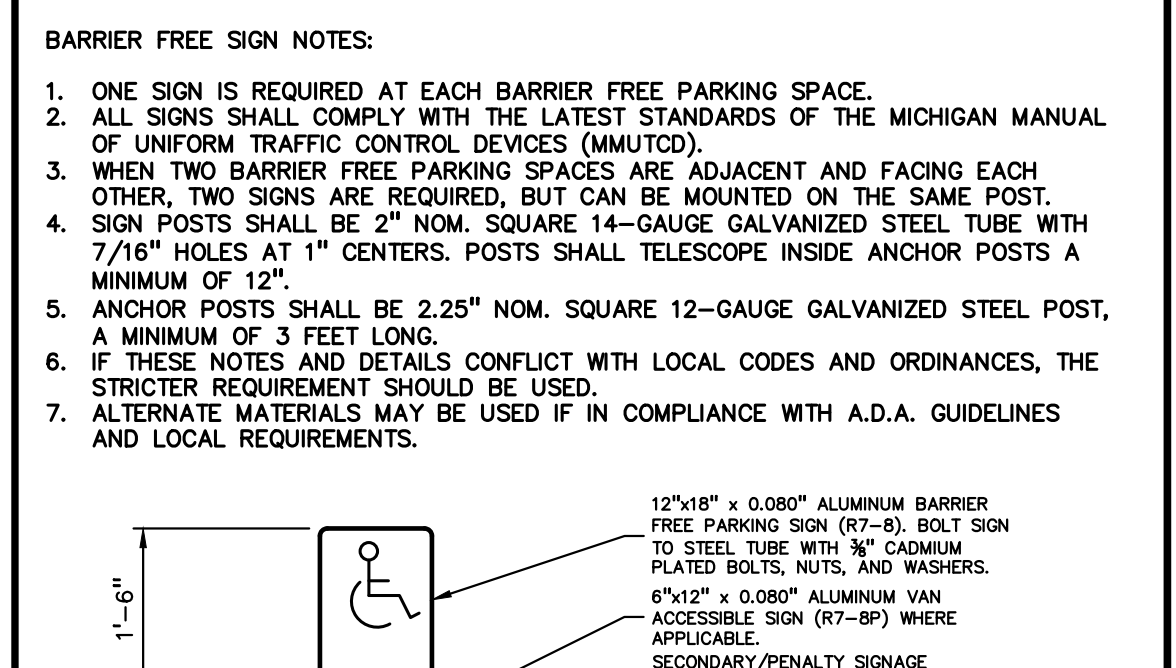
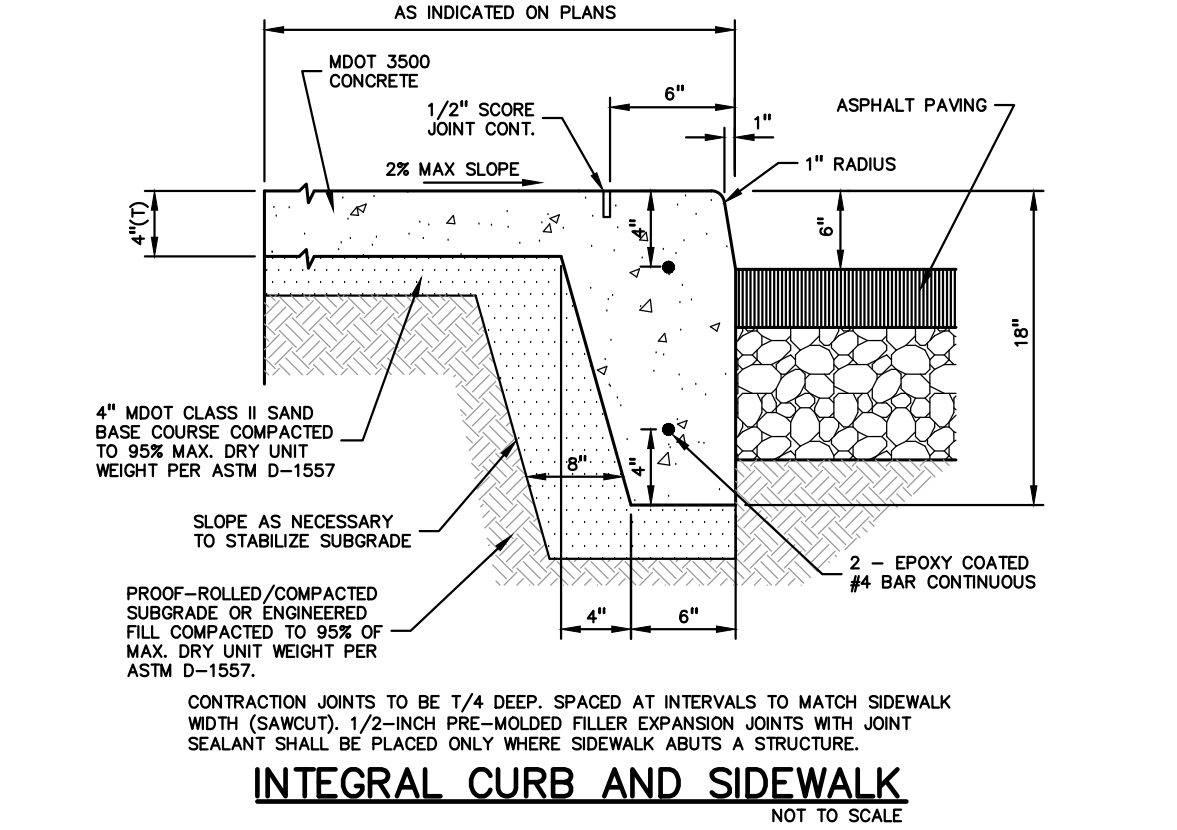
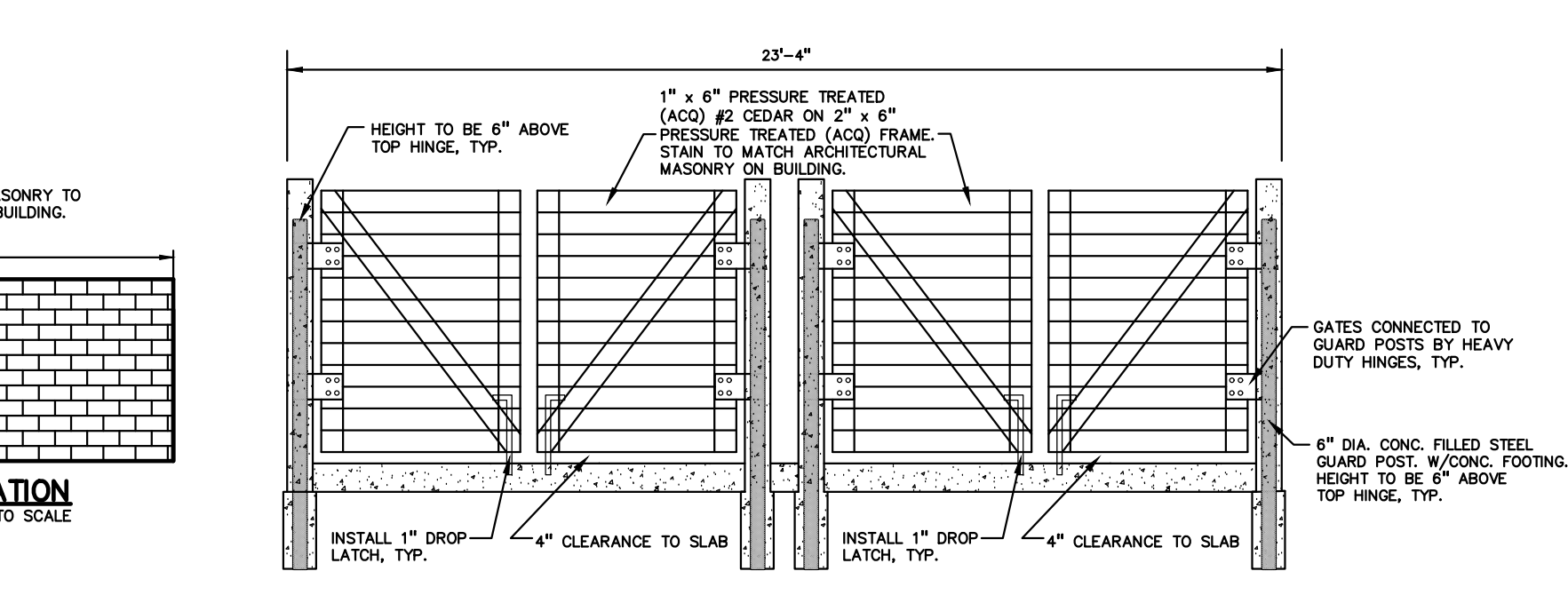
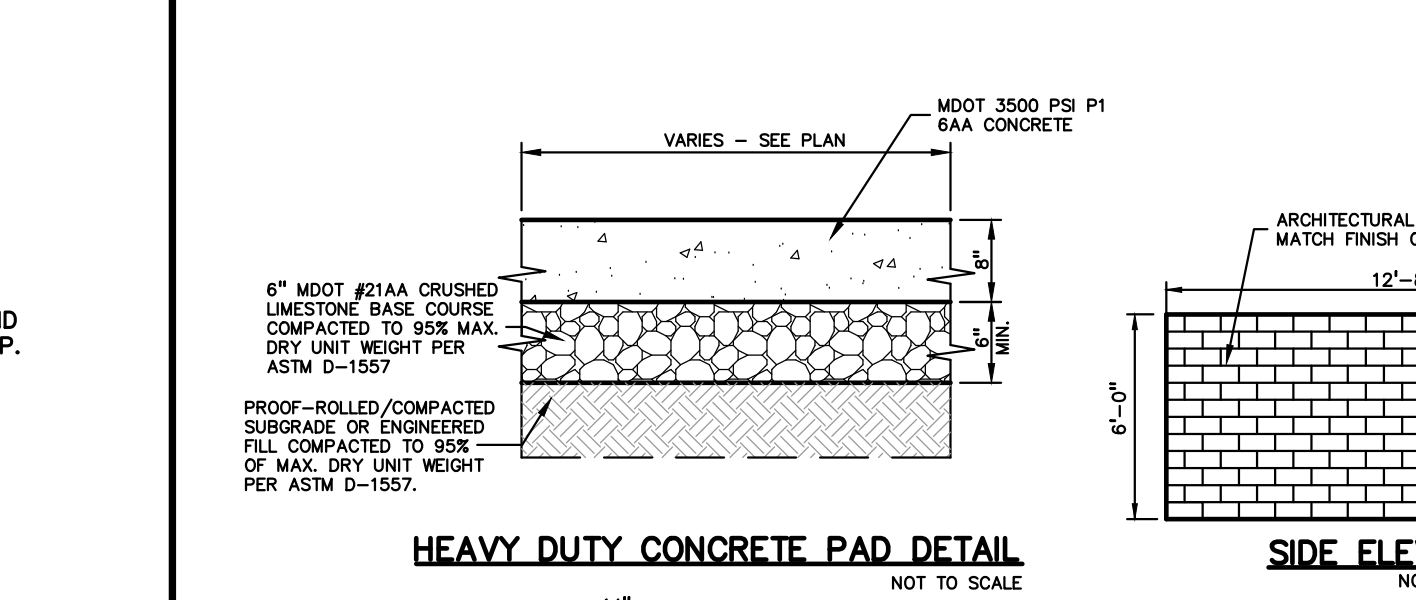
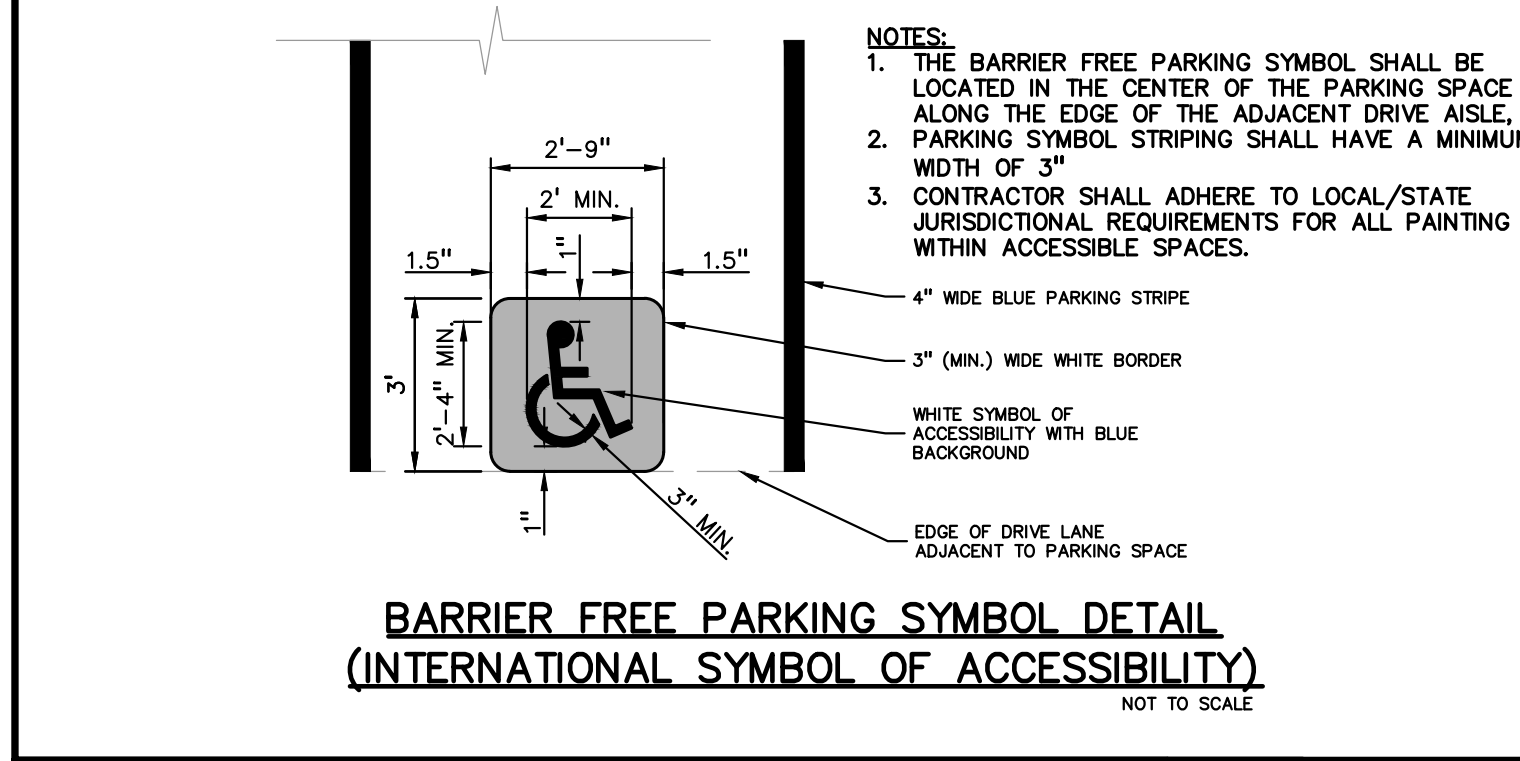
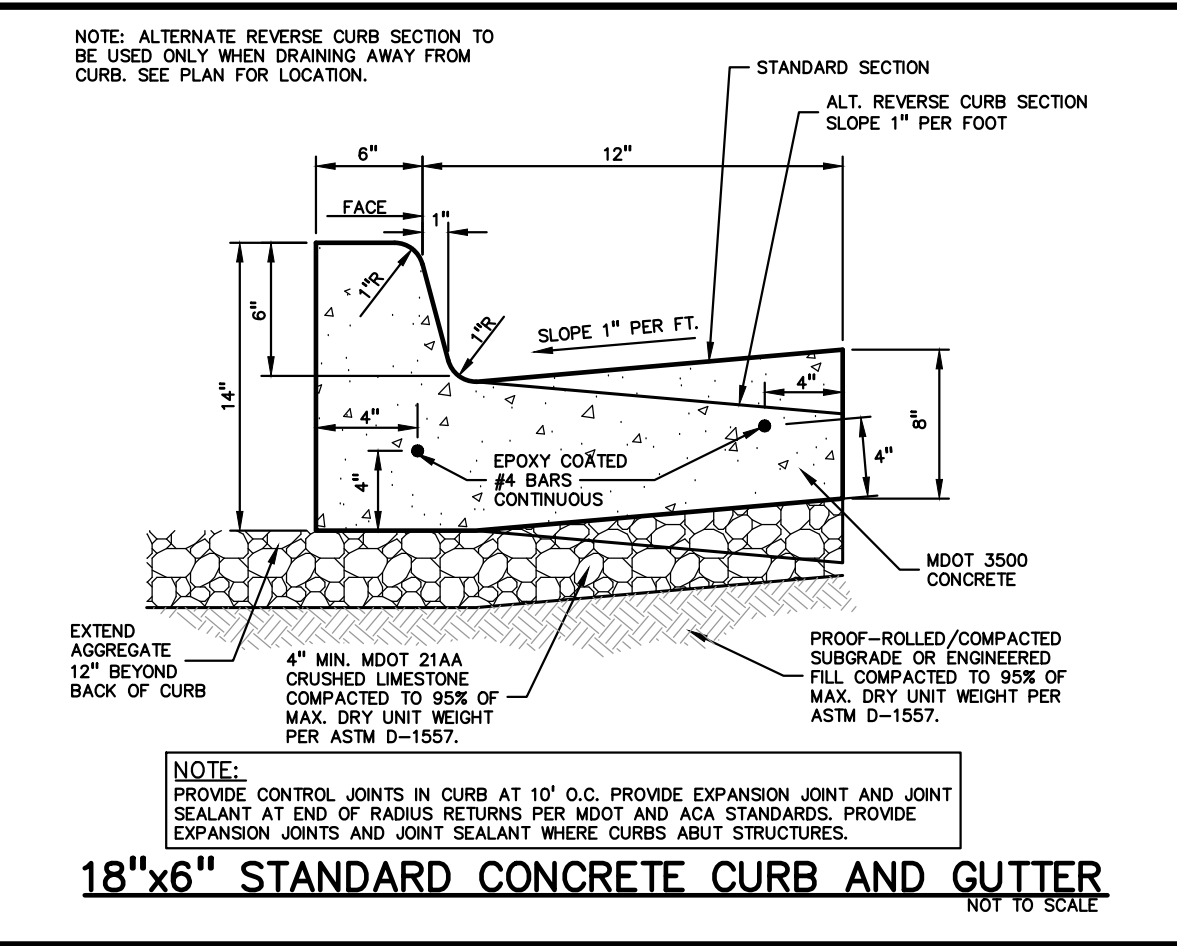


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ASPHALT MIX DESIGN CHART

COMMERCIAL ADT 0-300	COMMERCIAL ADT 301-1000	COMMERCIAL ADT 1001-3400	COMMERCIAL ADT 53401	APPLICATION RATE (LB/YD) MINIMUM - MAXIMUM
4EL	4EML	4EMH	4EMH	220-275
5EL	5EML	5EMH	SMA OR SEMH	165-220
PG 58-28	PG 64-28	PG 64-28	PG 70-28P	



CLIENT  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS

CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
CITY COMMENTS	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

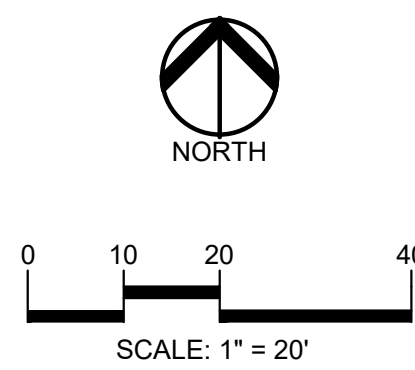
ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**NOTES AND DETAILS**

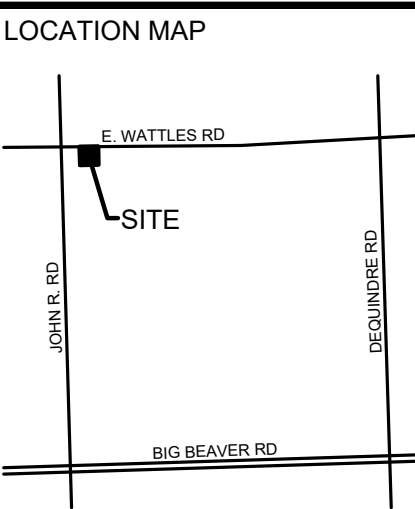
PEA JOB NO. 22-1309

P.M.	GMB
DN	KRD
DES.	KRD

DRAWING NUMBER:  
**C-5.0**



**CAUTION!!**  
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BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS

CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
CITY COMMENTS	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE

DRAWING NUMBER:

**KEY:**

- = PROPOSED DECIDUOUS TREES
- = PROPOSED EVERGREEN TREES
- = IRRIGATED SOD LAWN
- Letter Designation for Ordinance Required Material:
  - S = SCREENING LANDSCAPING
  - G = GREENBELT TREES
  - P = PARKING LOT TREES
  - R = REPLACEMENT TREES
- = TREE PROTECTION FENCE

**LANDSCAPE CALCULATIONS:**  
PER CITY OF TROY ZONING ORDINANCE:  
ZONING: NEIGHBORHOOD NODES (NN) - NODE F  
PROPOSED USE: MULTI-FAMILY RESIDENTIAL

**SCREENING (S)**  
GROUP 2: RESIDENTIAL/LODGING USES ABUT GROUP 1: RESIDENTIAL USES. SCREEN ALT 1 OR 2 REQUIRED.  
SCREEN ALT 2: 1 LARGE EVG TREE PER 10LF  
REQUIRED: SOUTH BOUNDARY: 379.4 LF / 10 = 38 EVG TREES  
EAST BOUNDARY: 278LF / 10 = 28 EVG TREE  
PROVIDED: SOUTH BOUNDARY: 38 EVG TREES  
EAST BOUNDARY: 28 EVG TREES  
AND 6' HT OPAQUE SCREEN FENCE

**PARKING LOT LANDSCAPE (P)**  
1 TREE PER 8 PARKING SPACES  
LANDSCAPING TO BE 5' FROM CURB WHERE THERE IS VEHICLE OVERHANG AND 3' WHERE THERE IS NOT.  
REQUIRED: 109 PARKING SPACES / 8 = 14 DEC TREES  
PROVIDED: 14 DEC TREES

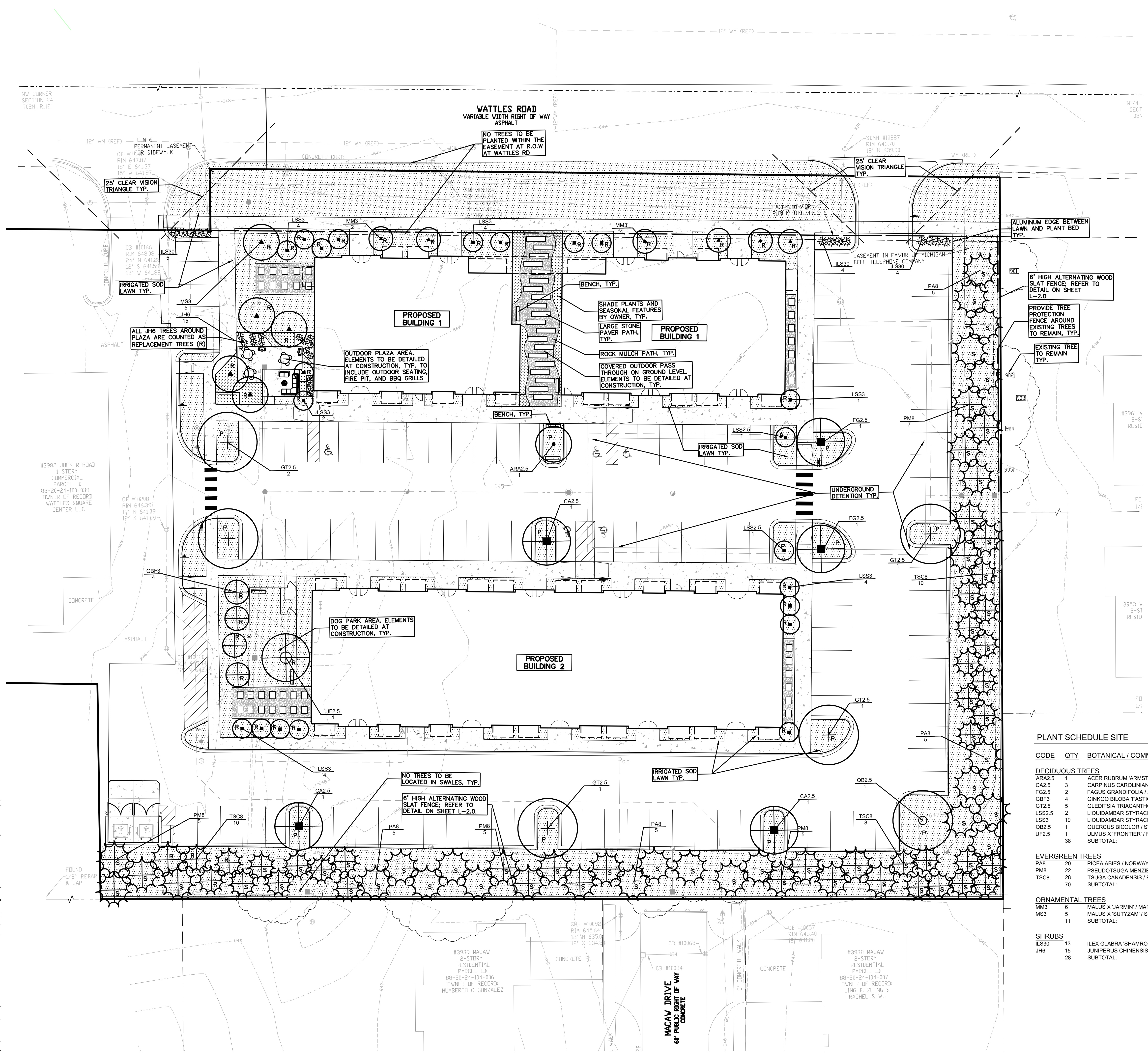
**GREENBELT (WATTLES RD) (G)**  
1 DEC TREE PER 30 LF OF FRONTAGE ABUTTING A PUBLIC ROW  
REQUIRED: 308.01 LF / 30 = 11 TREES  
PROVIDED: UNABLE TO PROVIDE TREES WITHIN THE EASEMENT AT R.O.W ADJACENT TO WATTLES RD.

**GENERAL SITE LANDSCAPE**  
20% OF THE TOTAL SITE AREA IS TO BE LANDSCAPED  
REQUIRED: 93,561 SF SITE AREA X 20% = 18,712.2 SF LANDSCAPED AREA  
PROVIDED: 32849.6 SF LANDSCAPED AREA (35%)

**TREE REPLACEMENT (R)**  
WOODLAND TREES:  
WOODLAND TREES REMOVED (12 TREES): REPLACE AT 50% OF REMOVED DBH  
137" DBH X .5 = 69" REPLACEMENT  
WOODLAND TREES SAVED (0 TREES): CREDIT OF 2X DBH  
0" DBH X 2 = 0" CREDIT  
69" - 0" = 69" REPLACEMENT REQUIRED  
LANDMARK TREES:  
LANDMARK TREES REMOVED (4 TREES): REPLACE AT 100% OF REMOVED DBH  
85" DBH X 1 = 85" REPLACEMENT  
LANDMARK TREES SAVED (0 TREES): CREDIT OF 2X DBH  
0" x 2 = 0" CREDIT  
85" - 0" = -85" REPLACEMENT REQUIRED  
TOTAL REPLACEMENT TREES:  
69" + 85" = 154" DBH REPLACEMENT REQUIRED  
PROVIDED:  
34, 3" DEC TREES = 34 X 3" DBH = 102" DBH  
1, 2.5" DEC TREE = 1 X 2.5" DBH = 2.5" DBH  
15, 6" EVG TREES = 15 X 2.5" DBH = 37.5" DBH  
4, 8" EVG TREES = 4 X 3.5" DBH = 14" DBH  
156" TOTAL DBH PROVIDED

**PLANT SCHEDULE SITE**

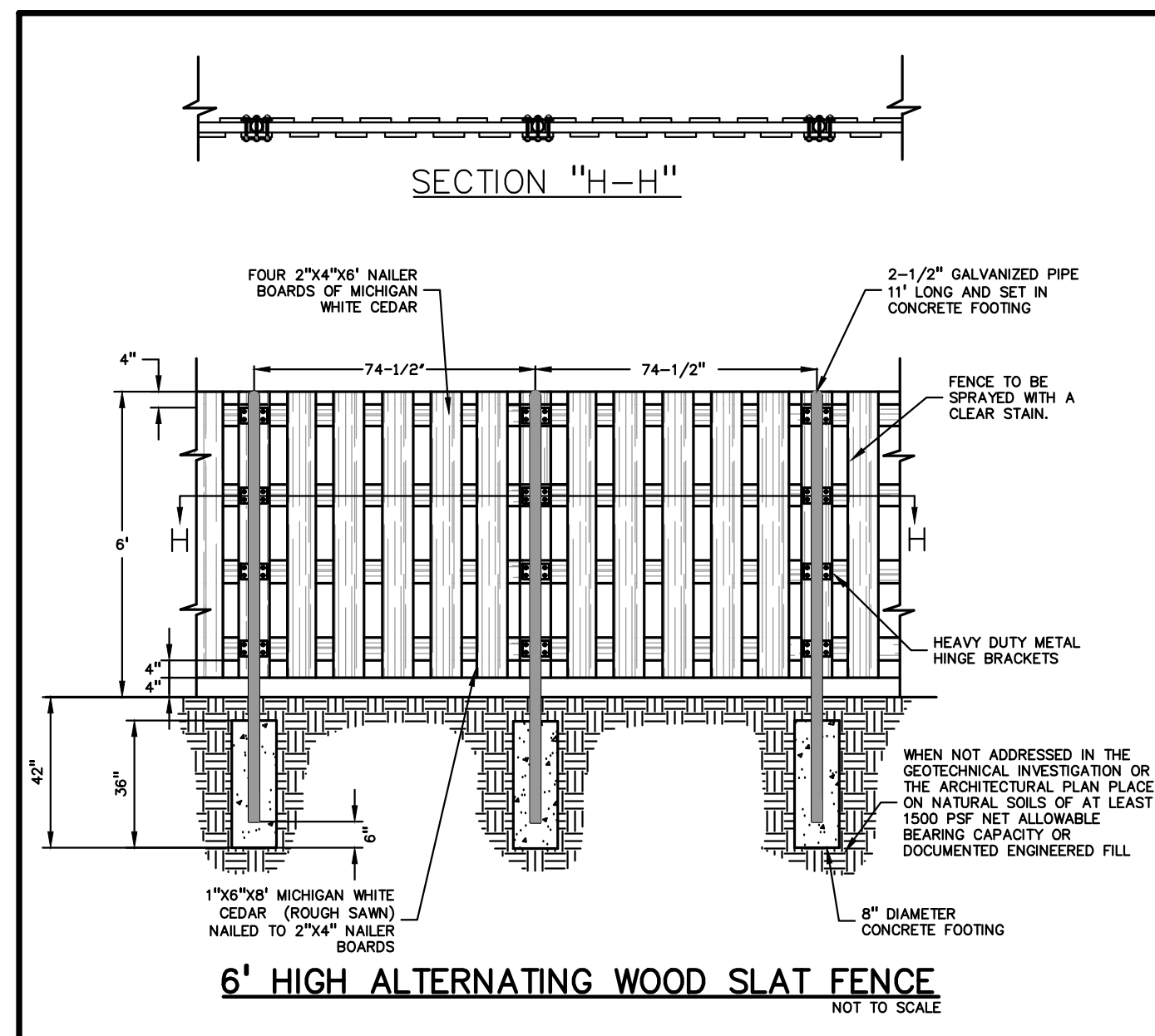
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
<b>DECIDUOUS TREES</b>					
ARA2.5	1	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	2.5" CAL.	B&B	PER PLAN
CA2.5	3	CARPINUS CAROLINIANA / AMERICAN HORNBEAM	2.5" CAL.	B&B	PER PLAN
FG2.5	2	FAGUS GRANDIFOLIA / AMERICAN BEECH	2.5" CAL.	B&B	PER PLAN
GBF3	4	GINKGO BILOBA 'FASTIGIATA' / FASTIGIATE MAIDENHAIR TREE	3" CAL.	B&B	PER PLAN
GT2.5	5	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' / SKYLINE® HONEY LOCUST	2.5" CAL.	B&B	PER PLAN
LSS2.5	2	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	2.5" CAL.	B&B	PER PLAN
LSS3	19	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	3" CAL.	B&B	PER PLAN
QB2.5	1	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5" CAL.	B&B	PER PLAN
UF2.5	1	ULMUS X FRONTIER / FRONTIER ELM	2.5" CAL.	B&B	PER PLAN
	38	SUBTOTAL:			
<b>EVERGREEN TREES</b>					
PA8	20	PICEA ABIES / NORWAY SPRUCE	8" HT.	B&B	PER PLAN
PM8	22	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	8" HT.	B&B	PER PLAN
TSC8	28	TSUGA CANADENSIS / EASTERN HEMLOCK	8" HT.	B&B	PER PLAN
	70	SUBTOTAL:			
<b>ORNAMENTAL TREES</b>					
MM3	6	MALUS X JARMIN / MARILEE® CRABAPPLE	3" CAL.	B&B	PER PLAN
MS3	5	MALUS X 'SUTZYAM' / SUGAR TYME® CRABAPPLE	3" CAL.	B&B	PER PLAN
	11	SUBTOTAL:			
<b>SHRUBS</b>					
ILS30	13	ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERRY HOLLY	30" HT.	CONT.	4' O.C.
JH6	15	JUNIPERUS CHINENSIS 'HETZI COLUMNARIS' / HETZI COLUMNAR JUNIPER	6" HT.	B&B	36" O.C.
	28	SUBTOTAL:			



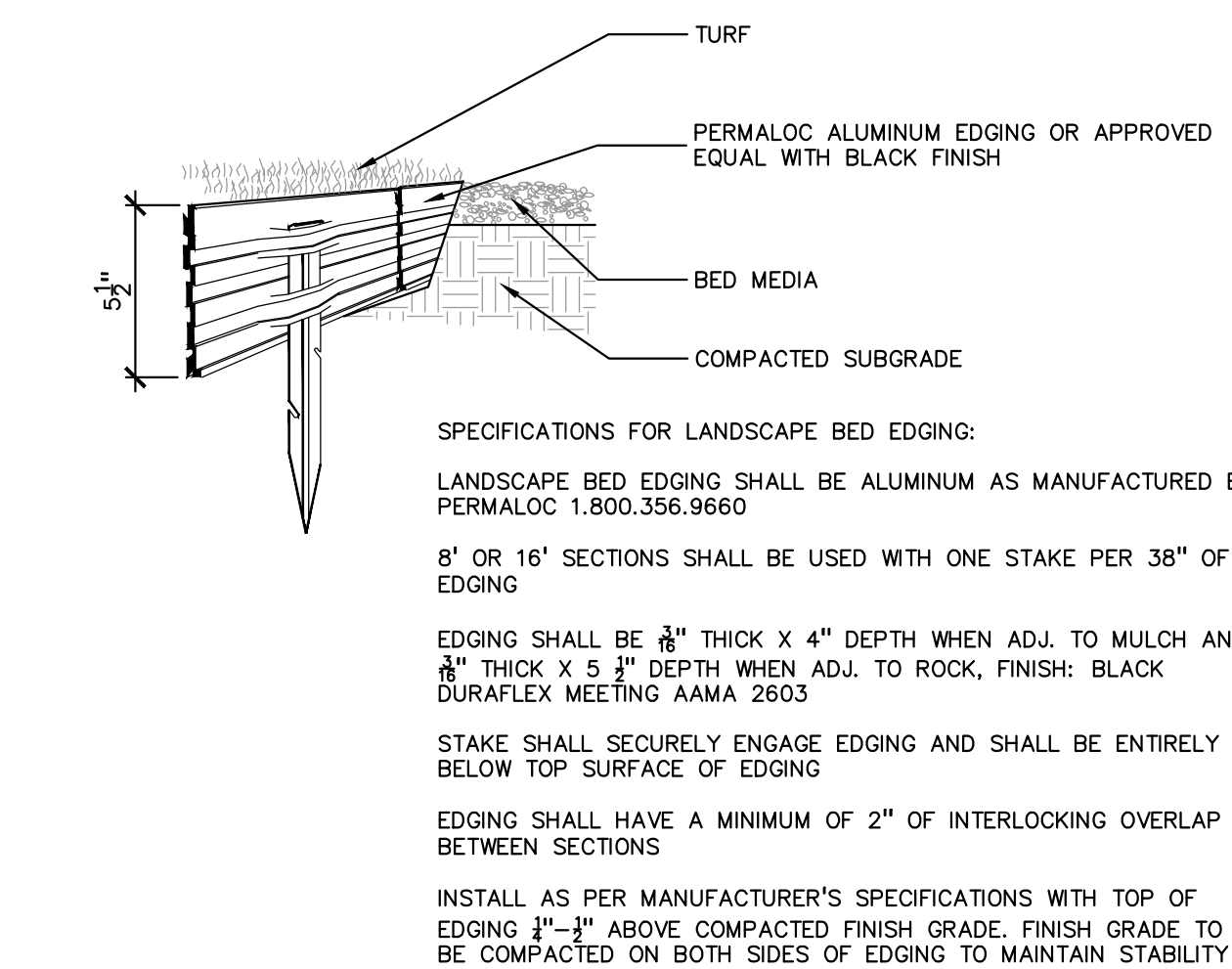
pea\proj\PROJECTS\2022\2022-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\L-10.LANDSCAPE-22-1309.dwg PLOT DATE: 6/2/2024 BY: Janet Evans  
Xref: IXTLBK-23-1309.dwg

**GENERAL PLANTING NOTES:**

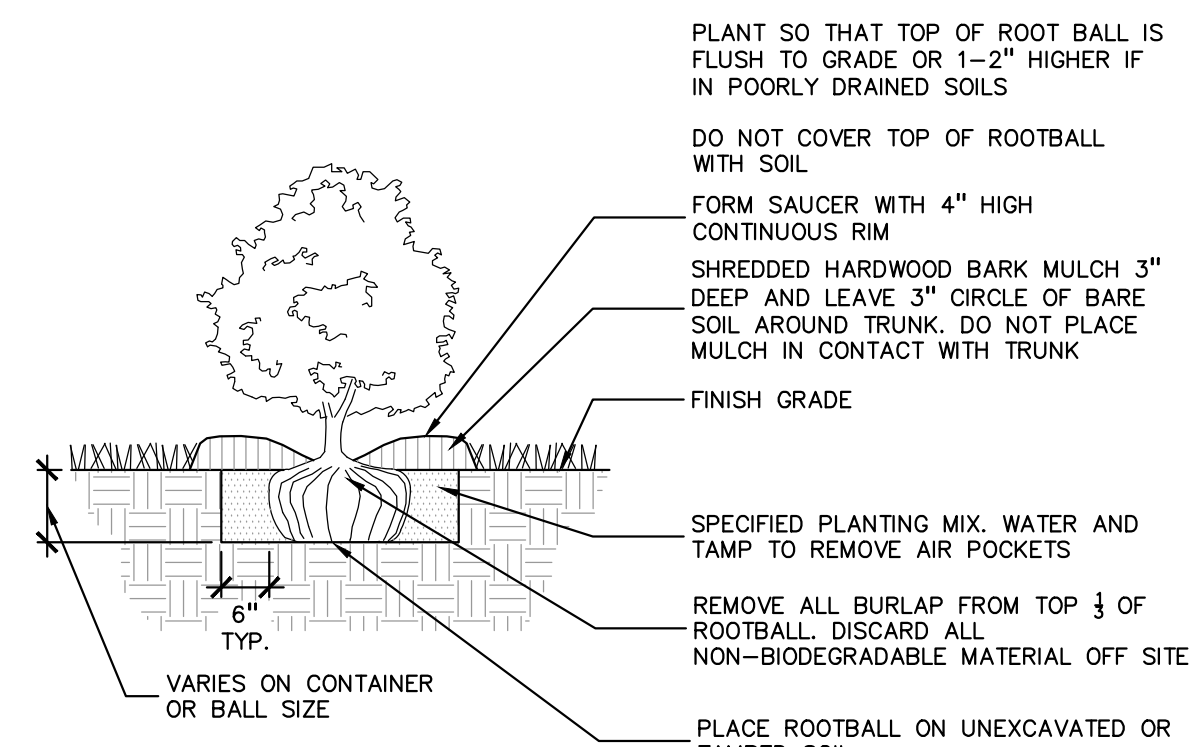
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



**6 STONE MAINTENANCE STRIP**  
SCALE: 1" = 1'-0"

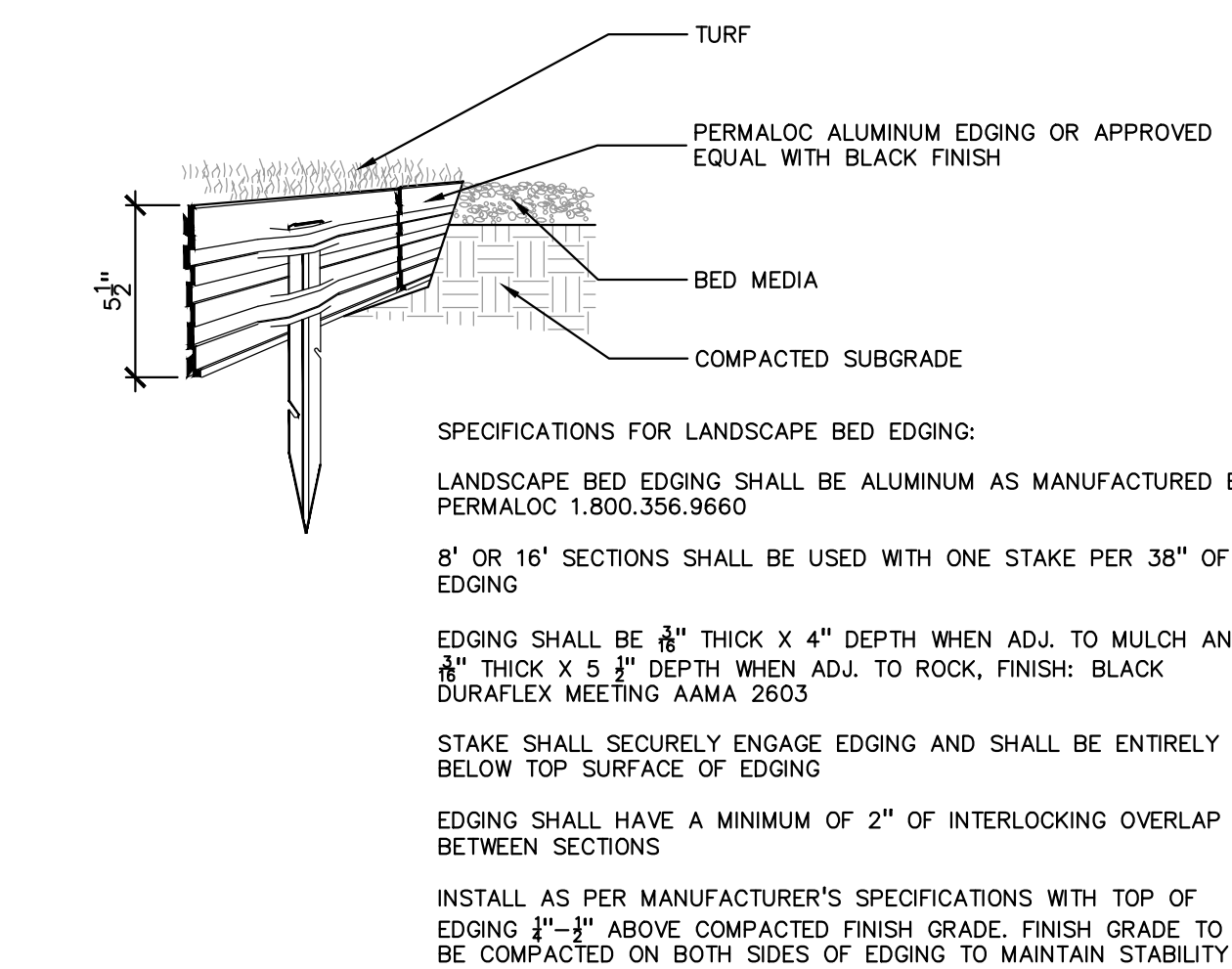


**5 ALUMINUM EDGE DETAIL**  
SCALE: 1/2" = 1'-0"



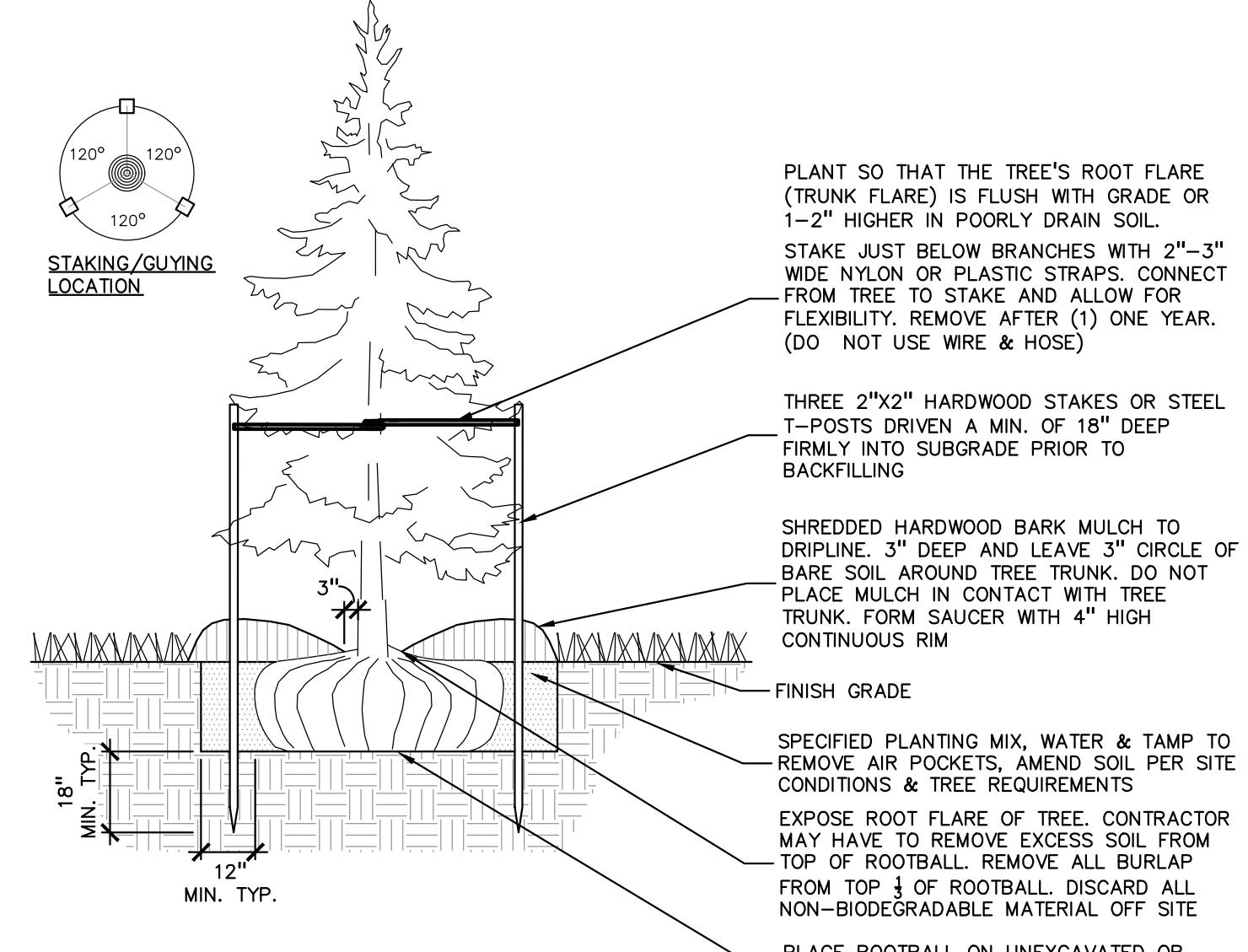
**4 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"

**4 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"



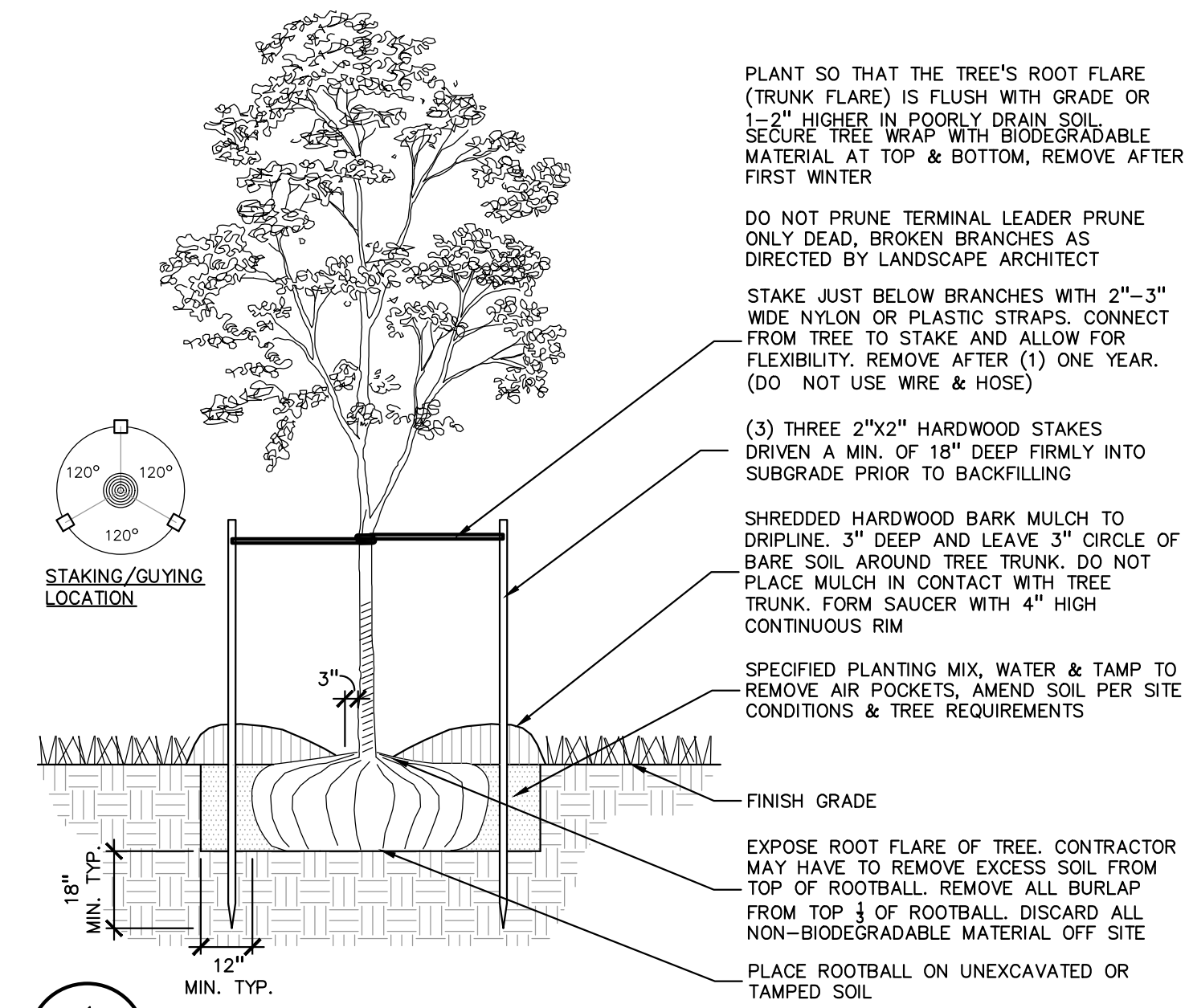
**6 STONE MAINTENANCE STRIP**  
SCALE: 1" = 1'-0"

**3 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"



**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

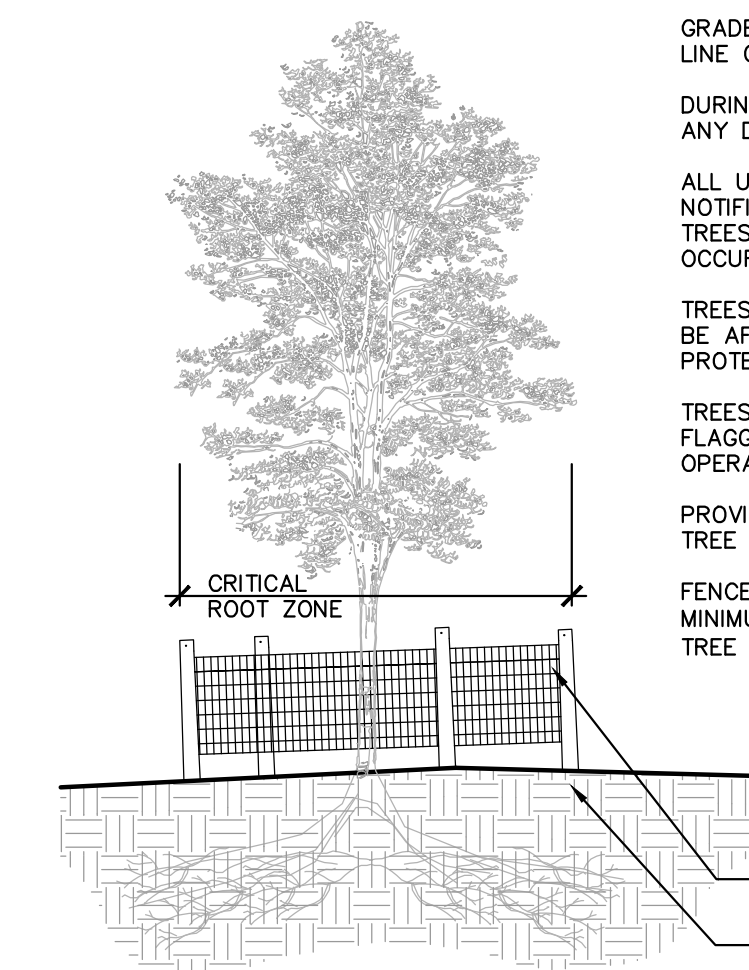
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

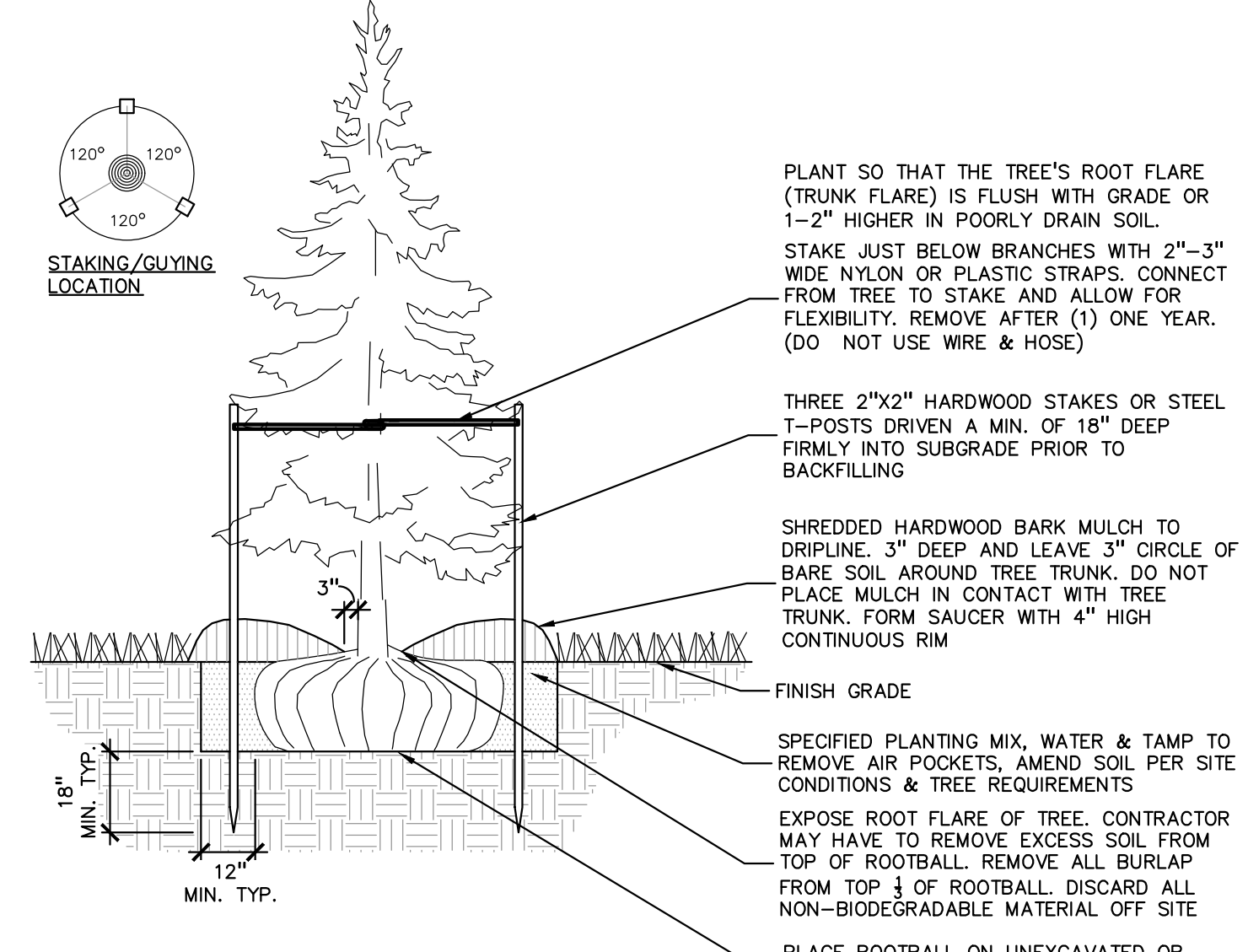
PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND



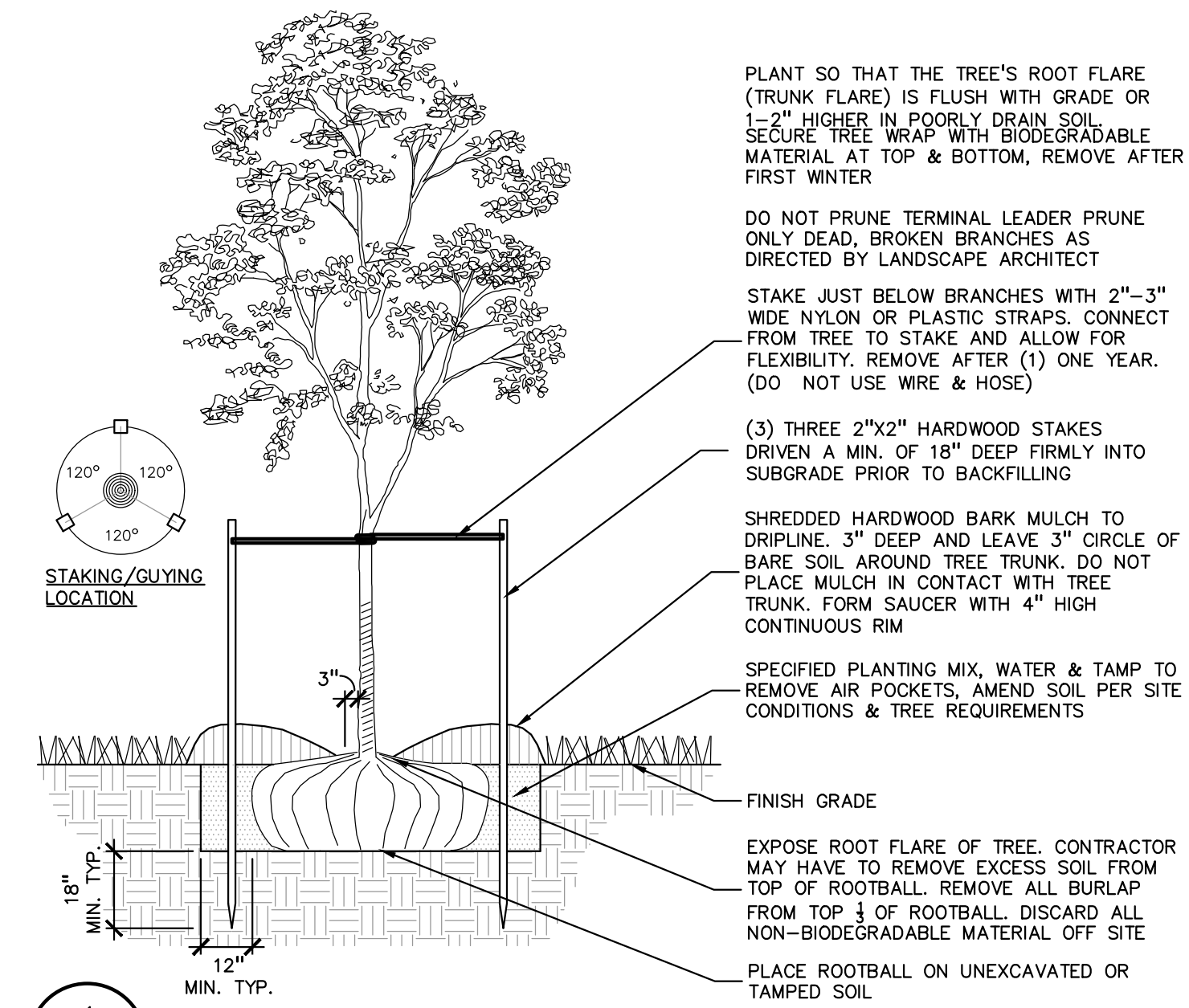
**3 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"

**3 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"



**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

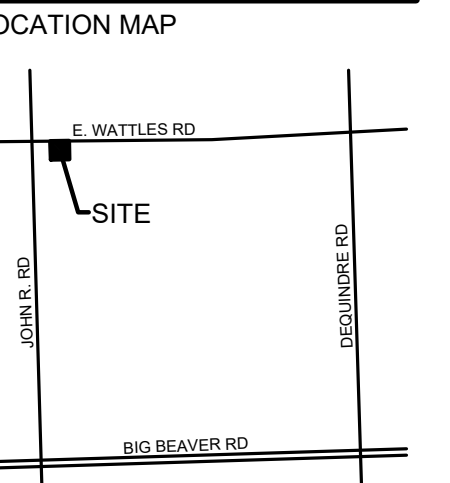


**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48068

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**LANDSCAPE DETAILS**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE
DRAWING NUMBER:	

NOT FOR CONSTRUCTION

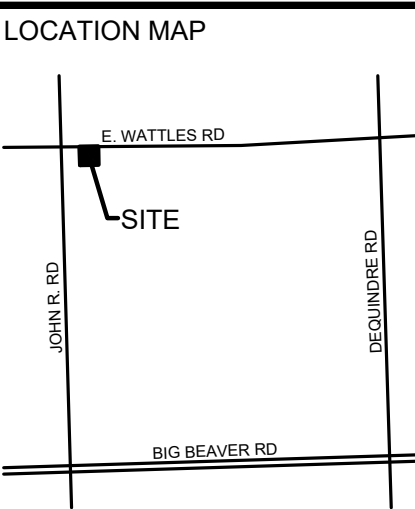
**L-2.0**



0 10 20 40  
SCALE: 1" = 20'



**CAUTION!!**  
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**TREE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE

DRAWING NUMBER:

KEY:

- = EXISTING TREE TO REMAIN
- = EXISTING TREE TO BE REMOVED
- = TREE PROTECTION FENCING



NOT FOR CONSTRUCTION

T-1.0



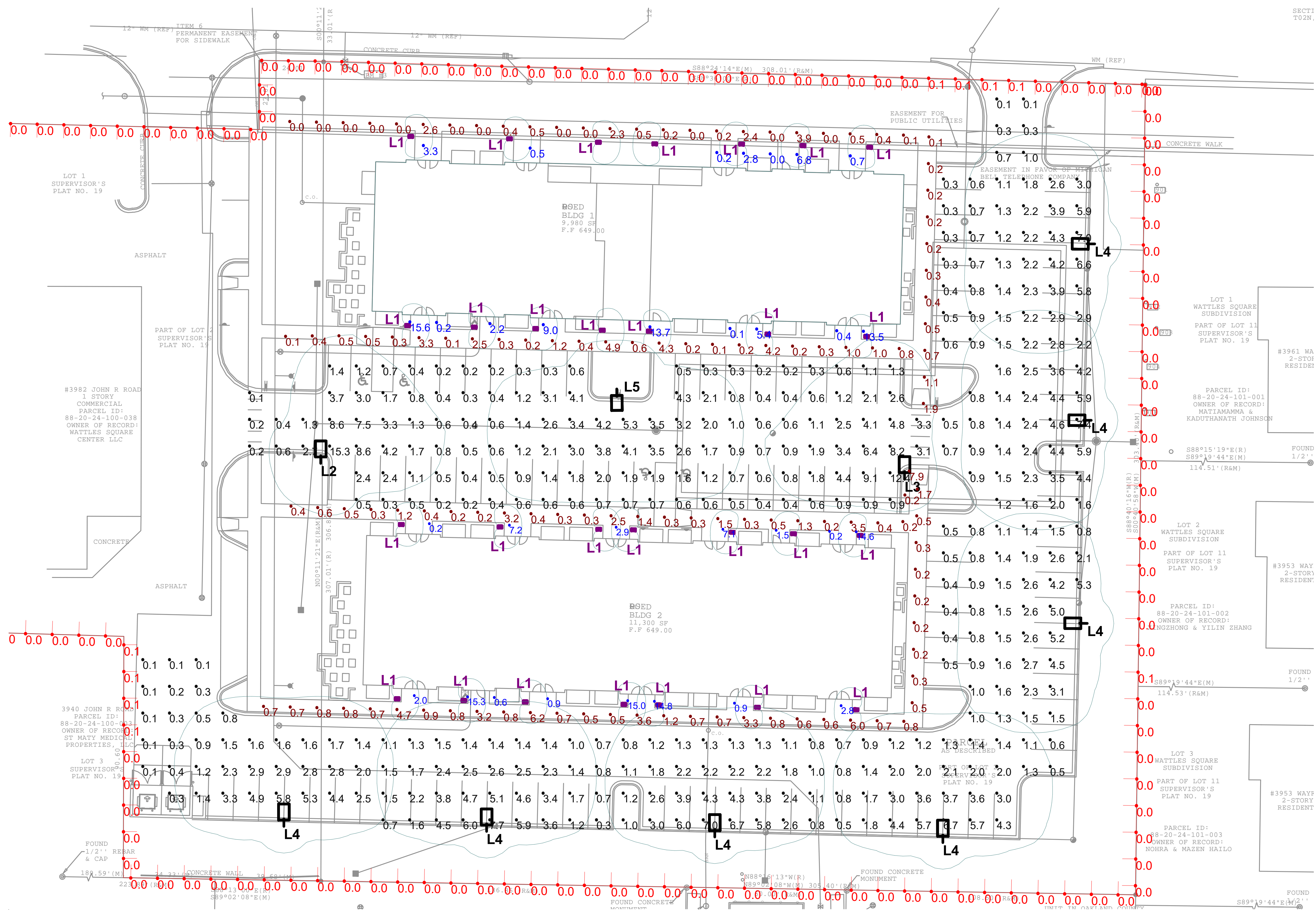
TAG	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
901	13'	Red Maple	Acer rubrum	Good		WOODLAND	S	N	-
902	17'	Austrian Pine	Pinus nigra	Poor	DL, M	WOODLAND	S	N	-
903	8"	White Pine	Pinus strobus	Fair/Poor	NC	WOODLAND	S	N	-
904	22'	Austrian Pine	Pinus nigra	Fair		LANDMARK	S	N	-
905	16'	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	S	N	-
906	3', 11"	Mulberry	Morus rubra	Poor	DL, VC (CrB)	INVASIVE	R	Y	-
907	30'	Box Elder	Acer negundo	Very Poor	Growing horizontal to the ground	INVASIVE	R	Y	-
908	13'	Box Elder	Acer negundo	Very Poor	Topped-VC (Gr)	INVASIVE	R	Y	-
909	7', 8"	Box Elder	Acer negundo	Poor	Totally VC (Gr)	INVASIVE	R	Y	-
910	22'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
911	16'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
912	11'-17'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
913	9"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
914	10'	Cottonwood	Populus deltoides	Poor	NC, VC (Gr)	INVASIVE	R	Y	-
915	10', 16', 18'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
916	16'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
917	12'	American Elm	Ulmus americana	Poor	NC, OS	INVASIVE	R	Y	-
918	13'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
919	11'	American Elm	Ulmus americana	Fair		INVASIVE	R	Y	-
920	16'	Box Elder	Acer negundo	Poor	Totally VC (Gr)	INVASIVE	R	Y	-
921	16'-18'	Box Elder	Acer negundo	Poor	Maj, L, DL	INVASIVE	R	Y	-
922	18'-22'-24'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
923	13', 15'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
924	39'	Willow	Salix sp.	Poor	BD, BR, OS	INVASIVE	R	Y	-
925	35'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
926	20', 42'	Willow	Salix sp.	Very Poor	Maj, BD, Many DL	INVASIVE	R	Y	-
927	16'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
928	16'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
929	24'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
930	18'	Cottonwood	Populus deltoides	Poor	DL, OS, VC (P)	INVASIVE	R	Y	-
931	5'-16'	Cottonwood	Populus deltoides	Poor	6'-stem-very-poor, OS	INVASIVE	R	Y	-
932	11'-19'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
933	12'	Silver Maple	Acer saccharinum	Fair/Poor	OS	INVASIVE	R	Y	-
934	18'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
935	11'	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
936	25'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
937	25'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
938	10'-33'	Cottonwood	Populus deltoides	Poor	10'-stem-VC (P), OS, VC (P)	INVASIVE	R	Y	-
939	23'	Cottonwood	Populus deltoides	Poor	OS, VC (P)	INVASIVE	R	Y	-
940	12'	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
941	21'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
942	23'	Cottonwood	Populus deltoides	Poor	Maj, DL, OS	INVASIVE	R	Y	-
943	13'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
944	8"	Silver Maple	Acer saccharinum	Poor	NC, Vines (Gr)	INVASIVE	R	Y	-
945	16'	Cottonwood	Populus deltoides	Poor	Topped-M	INVASIVE	R	Y	-
946	6', 21"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
947	24'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
948	16'	Cottonwood	Populus deltoides	Poor	SI, L, M, OS	INVASIVE	R	Y	-
949	17'	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
950	16'	Cottonwood	Populus deltoides	Fair/Poor	L	INVASIVE	R	Y	-
951	16'	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
952	18'	Cottonwood	Populus deltoides	Fair/Poor	SI, L	INVASIVE	R	Y	-
953	16'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
954	15'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
955	9"	Red Oak	Quercus rubra	Fair		WOODLAND	R	Y	REPLACE
956	7"	Red Oak	Quercus rubra	Good		WOODLAND	R	Y	REPLACE
957	9"	Silver Maple	Acer saccharinum	Fair/Poor	Vines (Gr)	INVASIVE	R	Y	-
958	19', 21"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
959	16'	Cottonwood	Populus deltoides	Poor	NC, OS	INVASIVE	R	Y	-

960	23'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
961	11'	Silver Maple	Acer saccharinum	Fair/Poor	OS	INVASIVE	R	Y	-
962	22'	Cottonwood	Populus deltoides	Fair	Some vines (P)	INVASIVE	R	Y	-
963	20'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
964	6'-11', 13'	Box Elder	Acer negundo	Very Poor	6'-stem-dead, BD, DL	INVASIVE	R	Y	-
965	16'	Box Elder	Acer negundo	Poor	DL, L, Fungus	INVASIVE	R	Y	-
966	15'	Box Elder	Acer negundo	Very Poor	Maj, BD, DL	INVASIVE	R	Y	-
967	3', 10', 10', 12'	Box Elder	Acer negundo	Very Poor	Many DL, M	INVASIVE	R	Y	-
968	19'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
969	18'	Norway Maple	Acer platanoides	Very Poor	Maj, BD	INVASIVE	R	Y	-
970	8'-11', 13'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
971	12'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
972	10'	Cottonwood	Populus deltoides	Poor	NC, OS	INVASIVE	R	Y	-
973	11'	Cottonwood	Populus deltoides	Very Poor	DL, VC (Gr)	INVASIVE	R	Y	-
974	13'	Cottonwood	Populus deltoides	Fair/Poor	NC	INVASIVE	R	Y	-
975	11'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
976	9"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
977	11'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
978	17'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
979	13'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
980	13'	Cottonwood	Populus deltoides	Poor	DL, L, OS	INVASIVE	R	Y	-
981	10'	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
982	11'	Box Elder	Acer negundo	Fair/Poor	Maj, DL	INVASIVE	R	Y	-
983	9"	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
984	8'-10'	Box Elder	Acer negundo	Fair/Poor	DL	INVASIVE	R	Y	-
985	14'	Box Elder	Acer negundo	Very Poor	Maj, BD, DL, L	INVASIVE	R	Y	-
986	17'	Norway Maple	Acer platanoides	Fair/Poor	Exposed roots	INVASIVE	R	Y	-
987	16'	Norway Maple	Acer platanoides	Fair/Poor	Exposed roots	INVASIVE	R	Y	-
988	28'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
989	7'	Red Oak	Quercus rubra	Good		WOODLAND	R	Y	REPLACE
990	26'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
991	12'	Bur Oak	Quercus macrocarpa	Fair		WOODLAND	R	Y	REPLACE
992	20'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
993	23'	Cottonwood	Populus deltoides	Fair/Poor	DL	INVASIVE	R	Y	-
994	12'	Mulberry	Morus rubra	Poor	OS, Vines (Gr)	INVASIVE	R	Y	-
995	26'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
996	19'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
997	21'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
998	15'	Cottonwood	Populus deltoides	Poor	L, OS, Vines (Gr)	INVASIVE	R	Y	-
999	16'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
1000	17'	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
1001	16'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1002	16'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
1003	13'	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
1004	7'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
1005	18'	Cottonwood	Populus deltoides	Poor	Maj, DL, NC	INVASIVE	R	Y	-
1006	22'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1007	19'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1008	18'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1009	16'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1010	10'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
1011	23'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
1012	7'-9'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
1013	15'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1014	25'	Cottonwood	Populus deltoides	Poor	Many DL	INVASIVE	R	Y	-
1015	21'	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
1016	16'	Cottonwood	Populus deltoides	Fair/Poor	DL	INVASIVE	R	Y	-
1017	16'-16'-18'	Cottonwood	Populus deltoides	Poor	(1)-16'-stem-dead, DL, NC	INVASIVE	R	Y	-
1018	16'-18'-26'	Cottonwood	Populus deltoides	Poor	26'-stem-dead	INVASIVE	R	Y	-
1019	14'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1020	17'	Cottonwood	Populus deltoides	Fair/Poor	L	INVASIVE	R	Y	-
1021	10'-12'-16'	Cottonwood	Populus deltoides	Very Poor	10'-stem-dead, L, NC	INVASIVE	R	Y	-
1022	16'-22'-28'	Willow	Salix sp.	Very Poor	16'-stem-dead, Many DL	INVASIVE	R	Y	-
1023	25'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1024	14'	Cottonwood	Populus deltoides	Poor	L, NC	INVASIVE	R	Y	-
1025	12'-19'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1026	20'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1027	24'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1028	16'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1029	28'	Cottonwood	Populus deltoides	Poor	Maj, DL, SI, L, OS	INVASIVE	R	Y	-
1030	32'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1031	13'	Cottonwood	Populus deltoides	Poor	SI, L, M, NC	INVASIVE	R	Y	-
1032	17'	Cottonwood	Populus deltoides	Poor	Maj, DL, OS	INVASIVE	R	Y	-
1033	32'	Cottonwood	Populus deltoides	Very Poor	(3) Maj, DL, OS	INVASIVE	R	Y	-
1034	18'	Siberian Elm	Ulmus pumila	Very Poor	Maj, BD, Many DL	INVASIVE	R	Y	-
1035	10'-12'	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
1036	8'-11'	Box Elder	Acer negundo	Poor	DL, M, SS	INVASIVE	R	Y	-
1037	13'-16'-18'	Box Elder	Acer negundo	Very Poor	Maj, BD, DL, L	INVASIVE	R	Y	-
1038	16'	Norway Maple	Acer platanoides	Fair		INVASIVE	R	Y	-
1039	14'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1040	6'	Cottonwood	Populus deltoides	Fair/Poor	BD	INVASIVE	R	Y	-
1041	18'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1042	16'	Austrian Pine	Pinus nigra	Fair		WOODLAND	R	Y	REPLACE
1043	18'	Austrian Pine	Pinus nigra	Fair		LANDMARK	R	Y	REPLACE
1044	20'	Norway Spruce	Picea abies	Good		LANDMARK	R	Y	REPLACE
1045	23'	Norway Spruce	Picea abies	Good		LANDMARK	R	Y	REPLACE
1046	13'	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1047	15'	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1048	3'-5'-6'-7'-9'	Amur Maple	Acer ginnala	Very Poor	Maj, BD, DL	INVASIVE	R	Y	-
1049	24'	Austrian Pine	Pinus nigra	Fair		LANDMARK	R	Y	REPLACE
1050	8"	Spruce	Picea sp.	Very Poor	Central-leader-poor, OS	WOODLAND	R	Y	-
1051	12"	Spruce	Picea sp.	Fair		WOODLAND	R	Y	REPLACE
1052	10"	Spruce	Picea sp.	Fair		WOODLAND	R	Y	REPLACE
1053	10"	Spruce	Picea sp.	Very Poor	Central-leader-poor, BD, OS	WOODLAND	R	Y	-
1054	11"	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1055	15'	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1056	10'	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	R	Y	REPLACE

**TREE INVENTORY/PRESERVATION CALCULATIONS**

**WOODLAND TREES**  
**WOODLAND TREES REMOVED:** 12 (REPLACE AT 50% OF REMOVED DBH)  
 137" DBH x 0.5 = 69" REPLACEMENT  
**WOODLAND TREES SAVED:** 0 (CREDIT OF 2X DBH)  
 " DBH x 2 = " CREDIT  
 68.5 - 0 = 68.5  
**69" DBH REQUIRED FOR WOODLAND REPLACEMENT**

**LANDMARK TREES**  
**LANDMARK TREES REMOVED:** 4 (REPLACE AT 100% OF REMOVED DBH)  
 85" DBH x 1 = 85" REPLACEMENT  
**LANDMARK TREES SAVED:** 0 (CREDIT OF 2X DBH)



Scale: 1 inch = 20 Ft.

Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
	28	L1	0.900	LUMIERE 303-B1-LEDB1-3500-UNV-T4-DIM10	8.4	653	3
	1	L2	0.900	MCGRAW EDISON GALN-SA2C-735-U-SLR	108	11352	15
	1	L3	0.900	MCGRAW EDISON GALN-SA2C-735-U-SLL	108	11352	15
	7	L4	0.900	MCGRAW EDISON GALN-SA2C-735-U-SL4-HSS	108	10833	15
	1	L5	0.900	MCGRAW EDISON GALN-SA2C-735-U-T4W	108	13180	15

Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Building A Entrances	Fc	4.65	15.6	0.0	N.A.	N.A.
Building A Sidewalks	Fc	0.80	4.9	0.0	N.A.	N.A.
Building B Entrances	Fc	5.73	15.3	0.2	76.50	28.65
Building B Sidewalks	Fc	1.23	7.9	0.2	39.50	6.15
Parking Lot and Drives	Fc	2.06	15.3	0.1	153.00	20.60
Property Line	Fc	0.01	0.1	0.0	N.A.	N.A.

PROPERTY LINE CALCULATION POINTS ARE TAKEN AT 5'-0" A.F.G. VERTICALLY.

CALCULATION POINTS FOR PARKING LOT, SIDEWALKS AND ENTRANCES ARE TAKEN AT GRADE HORIZONTALLY.

**NOTES:**

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.

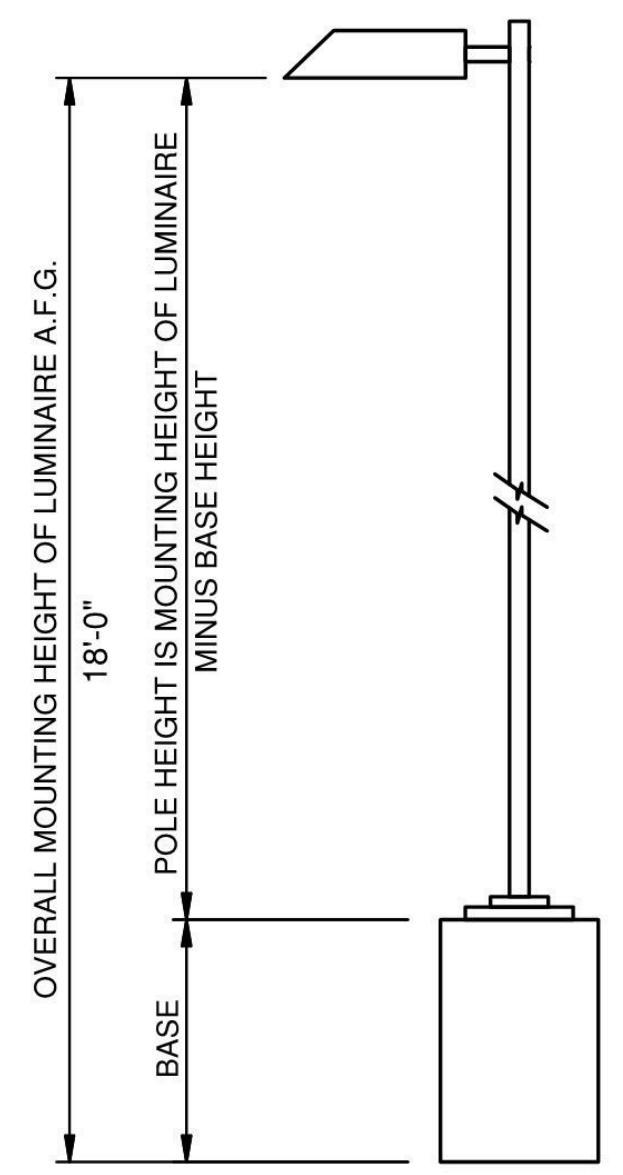
LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LEDS AND OTHER VARIABLE FIELD CONDITIONS.

MOUNTING HEIGHTS INDICATED ARE FROM GRADE TO BOTTOM OF LUMINAIRE LENS OR FROM FLOOR TO BOTTOM OF LUMINAIRE LENS, UNLESS OTHERWISE NOTED.

CLARUS DOES NOT ACT AS THE ELECTRICAL, CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS AND APPLICABLE CODE COMPLIANCE. CLARUS IS NOT LIABLE FOR ANY CODE COMPLIANCE DISCREPANCY.

LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT OF RECORD IS RESPONSIBLE TO REVIEW FOR CODE COMPLIANCE, INCLUDING AND NOT LIMITED TO - NFPA 101 LIFE SAFETY CODE, MICHIGAN ENERGY CODE, MICHIGAN BUILDING CODE AND/OR IECC CODE, LIGHTING QUALITY COMPLIANCE AND LOCAL LIGHTING ORDINANCES.

FOR SITE PLAN PHOTOMETRICS, THE USE OF ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.



**Project:** WATTLES APARTMENTS | **Catalog #:** | **Type:** L2, L3, L4, L5

**Produced by:** | **Notes:** | **Date:** | **Scale:**

**McGraw-Edison GALN Galleon II**  
Area / Site Luminaire

**Typical Applications:** Outdoor - Parking Lots - Walkways - Roadways - Building Areas

**Interactive Menu:**

- Ordering Information
- Mounting Details
- Optical Distributions
- Product Specifications
- Energy and Performance Data
- Control Options

**Product Certifications:** IESNA, UL, ENEC, CE, PSE, SAA, CCC, CB, VDE, TUV, BSI, ENEC, CE, PSE, SAA, CCC, CB, VDE, TUV, BSI

**Resources:** | **Connected Systems:** WaveLink, WaveLink

**Quick Facts:**

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 16 optical distributions
- Efficacy up to 159 lumens per watt

**Dimensional Details:**

Standard Arm: 1/2"

Number of Luminaires	Width "x"	Height Length "x"	Weight (lbs. Standard or Custom)	File Size (Standard or Custom)
14	16"	22"	29.15	0.55
54	22"	22"	39.50	0.55
78	22"	28 1/4"	48.65	1.1

**COOPER Lighting Solutions** | **PROVISION Page 1** | August 2021 (02/21)

**Project:** WATTLES APARTMENTS | **Catalog #:** | **Type:** L1

**Produced by:** | **Notes:** | **Date:** | **Scale:**

**Lumiere EON 303-B1-LEDB1**  
Bollard

**Typical Applications:** Hospitality - Commercial Landscape - Outdoor Area/Site - Residential - Architectural

**Interactive Menu:**

- Order Information
- Product Specifications
- Lumen Maintenance
- Product Warranty

**Product Certification:** IESNA, UL, ENEC, CE, PSE, SAA, CCC, CB, VDE, TUV, BSI

**Product Features:**

- Top Product Features
- Fall Cut Off Downlight: 12", 24", 36" or 42" height
- 2700K, 3000K or 3500 or 4000K Color Temperature and Amber (585-595nm)
- Type II, Type IV or Type V Optics with clear glass sealed lens
- Patented AccuLED Optics™ System
- Universal Input LED Driver Included (120 - 277V, 50/60 Hz)
- ELV or 0-10 Dimming

**Dimensions:**

**COOPER Lighting Solutions** | **PROVISION Page 1** | August 2021 (02/21)



**From:** [Fabrice Smieliauskas](#)  
**To:** [Planning](#)  
**Subject:** comments on Wattles Square Apartments proposal  
**Date:** Tuesday, April 23, 2024 11:47:24 AM

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You don't often get email from fab.smieliauskas@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Planning Commission,

As you consider the proposal in front of you tonight, a few comments:

I fully support a rental, residential only project here as permitted under the current NN zoning, as serving an important need for a more affordable housing rent/price point in the city.

Please do not reject this on the grounds that the "style" of garden apartments does not suit your architectural tastes. **You are not the style police -- this is not your own home.** Allow the market to decide what is an attractive style for renters, which may include a value/aesthetic tradeoff that renters are willing to make to save a couple of hundred dollars on rent.

I like the repurposing of part of the vacant Rite-Aid as a community center! I have a hard time believing that the owners will be able to find another pharmacy to replace the Rite-Aid, at a time of retrenchment in the pharmacy sector. The project plan showing that the corner facing retail space will remain a pharmacy may be misleading - another use there is likely to emerge. Nonetheless, repurposing of existing buildings -- like the office-to-residential conversions occurring in our city - reduces the carbon emissions associated with new development and is environmentally sound. Applicant should receive credit for this.

Fabrice Smieliauskas

**From:** [Doriscell Drake](#)  
**To:** [Planning](#)  
**Subject:** Opposition to Proposed Apartment Complex - Zoned NN:B  
**Date:** Tuesday, May 28, 2024 4:26:08 PM

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You don't often get email from doriscell.drake@youngrembrandts.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern.

I am a resident of The Enclave Condominiums in Troy. I strongly oppose the building of an apartment complex in our neighborhood. It is my opinion that the existence of an apartment building would negatively impact property value as well as stabilization of our beautiful neighborhood.

Please advise if you need additional information regarding my opposition.

*Doriscell Drake*  
2047 Applewood Drive  
Troy, MI 48085

**From:** [Laura Wilkins](#)  
**To:** [Planning](#)  
**Subject:** Wattles Square Apartment Complex  
**Date:** Friday, June 7, 2024 12:13:32 AM

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You don't often get email from leduc.laura.24@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Troy Planning Commission Members,

My name is Laura Wilkins and I reside in the Wattle Square Neighborhood. I am writing to you because of my strong opposition to the development of the Wattles Square Apartment Complex.

I moved into this subdivision with my husband almost ten years ago. We recently renovated our home and welcomed our two children into our family. We made the decision to stay in our current home and renovate because we absolutely love this city. We love how diverse it is, the fantastic schools, and most importantly, we love our neighbors. I often joke around to my friends that our neighborhood reminds me of an old movie where everyone knows each other and always stops to say hello. It's a neighborhood that I am extremely excited to see my children grow up in.

When I found out the news about the apartment complex, my first thought was how will this change our surrounding neighborhoods, especially our neighborhood? We are completely open to building our community and allowing others the opportunity to be able to enjoy what this great city has to offer. However, I would like it to be done in a manner that continues to build on the beauty of our surrounding neighborhoods. We took the time to research what the neighborhood nodes should consist of, and this project simply does not meet the standards that were put into the nodes plans. The neighborhood nodes were created to help build the community and bring others together. I want to know how a closed off, modern apartment complex, helps the surrounding neighborhoods and makes the community stronger?

So here's my list of questions that I have for you, that I am begging that you consider when making your final decision on this project.

- Take a moment to look at the designs of this project, and think to yourself, does this truly match the character of the surrounding neighborhoods? Many of these homes were built in the 80s, so is it a good look to throw in an apartment building that looks like a shopping strip mall? **According to the neighborhood nodes, the development should share common characteristics with the surrounding area and should NOT be so extreme that it overpowers the surrounding residential areas.**

- There are multiple homes who will have a parking lot in their backyard. Is that a great way to meet new neighbors by watching them get in and out of their cars while hanging out in your backyard enjoying some time with your family? Would you want this in your yard? Even if you put a fence up, once again, how is that drawing in the surrounding communities? How does that respect the adjacent neighborhoods?
- The developer mentioned that there will be green spaces, but I want to quote what he said at the May 28th meeting. "There will be green spaces for the residents to use." He made mention of a community center that the "residents" will be able to use. A grill that the "residents" can use. I would like to add that this "community center" that he mentioned is the storage room of an existing hair salon that has been abandoned for ten years and will only have maybe two forms of exercise equipment for 54 units. **According to the neighborhood node district, the developments are supposed to take on a social role, and be a "go to" kind of place for everyone.** How does closing off the surrounding neighbors, and not providing amenities to the surrounding neighborhoods provide this as a way to build the community? Where is the common green space area for everyone, to make it a "go to" place? I could see some potential if they were going to make the commercial area a place to gather, such as a coffee shop or places to eat, but instead, they plan on leaving a super aged abandoned Rite Aid in hopes that someone will lease it. Again, how does that bring the community together?

Finally, I am an elementary teacher, so I tend to provide a lot of visuals for my students. **Sometimes it can be an eye opener when you see something for yourself. I highly encourage you to get your own visual. I encourage you to try to go Southbound on John R during peak traffic hours (morning commute/5:00 pm).** I already struggle to get out of our subdivision, so I will be honest, I use the neighborhood behind me to get out because of how backed up the left hand turn lane gets at Wattles and John R. Can you picture how congested that left lane will get once there are 100+ cars added into the area trying to leave for work?

In conclusion, I completely understand the need for multifamily housing and allowing others the opportunity to seek Troy as their home, but I strongly believe that this land could be developed into something that has greater potential and respects the surrounding neighborhoods.. The city shouldn't settle for something that is being thrown together and not respecting the intent of the neighborhood nodes.

Thank you so much for your time and consideration.  
Laura Wilkins

**From:** [chris touma](#)  
**To:** [Planning](#)  
**Subject:** Subject: Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)  
**Date:** Tuesday, June 11, 2024 9:31:49 PM

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Dear Members of the Troy City Planning Commission,

I am writing as a concerned resident to express my strong opposition to the planned construction of an apartment complex near my home. I urge the Planning Commission to seriously reconsider this project.

Here are my primary concerns:

1. **\*\*Traffic Congestion and Safety:\*\*** The proposed apartment complex will significantly increase traffic in our area. The local roads, especially at the intersection of John R Road and Wattles, are not designed to handle such an influx. This will pose safety risks to residents, particularly children who walk or bike to school and parks. The likelihood of accidents will also increase, endangering both residents and commuters.
2. **\*\*Privacy and Safety:\*\*** The close proximity of the proposed buildings raises significant privacy and safety issues. The increased density and height of the apartments could lead to a loss of privacy, as residents may have direct views into our homes and yards.
3. **\*\*Environmental Concerns:\*\*** The proposed development site includes green spaces and mature trees that are vital to the ecological health and aesthetic appeal of our neighborhood. Construction would likely lead to the loss of

these green areas, negatively impacting local wildlife and the overall environment.

4. **\*\*Community Character and Quality of Life:\*\*** Our neighborhood is defined by its single-family homes and a close-knit community atmosphere. The introduction of a large apartment complex is inconsistent with this character and could disrupt the sense of community that we value.

5. **\*\*Strain on Infrastructure and Services:\*\*** The addition of numerous new residents could strain existing infrastructure and public services, including water, sewage, and emergency services. There is concern that the current infrastructure may not support such a significant increase in population, leading to reduced service quality and longer emergency response times.

While I support responsible development within Troy, I believe this project is not suitable for the location adjacent to our neighborhood. I respectfully request that the Planning Commission reconsider the approval of this project.

Sincerely,

Chris Touma

**From:** [paul leitheiser](#)  
**To:** [Planning](#)  
**Subject:** 54 units proposed at Wattles and John R  
**Date:** Tuesday, June 11, 2024 5:52:49 PM

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I oppose the current plan to stuffing 54 units into an Area that is 1/8 the size of my adjoining subdivision "Wattles Square" with less occupancy. I am not opposed to a more reasonable approach - less units with garages and a townhouse look or traditional houses.

Specifically I oppose current approach for these reasons

1. No garages - theft, noise and light pollution
2. No setback from Wattles - will look like strip mall
3. Garden style first floor - unit split between upstairs and basement - no senior would be interested in that (also all basements leak)
4. Flat roof - not pitch like rest of housing in area
5. Negative Impact of increased traffic
6. Increased crime from a transient population

Paul Leitheiser  
3897 Wayfarer Dr  
Troy, Mich. 48083

Pleitheiser1@att.net

[Sent from AT&T Yahoo Mail for iPhone](#)

**From:** [COLLEEN HELMICK](#)  
**To:** [Planning](#)  
**Cc:** [maleonard50@gmail.com](mailto:maleonard50@gmail.com); Paul Leonard  
**Subject:** Constructing Apartments Wattles/John R  
**Date:** Saturday, June 22, 2024 11:36:08 AM

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Troy Planning Commission:

As residents of the Mt Vernon Estates subdivision, we are totally opposed to the plan to build apartments on the corner of Wattles and John R. The plan is to build 54 apartments, two 3 story buildings with 108 parking spaces, on a small 2.8 acre lot. The residents who live in the area were not made aware of this plan and have major concerns. Making this a dense residential corner, it will have a negative impact on the surrounding neighborhoods' property values, schools, traffic, and safety. It is an unsightly design, which will be sandwiched between two well designed residential neighborhoods. The nearby homeowners will be looking at a massive unsightly parking lot with no garages, trash dumpsters, and two functional buildings. There is no room for a natural fire break, and embers can travel a short distance to adjacent subdivisions. Traffic will be impossible with drivers making left turns in and out of the complex. Even if no left turn signs are installed, it won't be adhered to or enforced. It is difficult enough on that corner with Athen's High School so close.

Troy has recently built new apartments that are crammed in on most corners:

Square Lk/Dequindre  
Wattles/Livernois  
Big Beaver/John R  
Livernois/Square Lk  
Long Lk next to Ace Hardware  
Currently building a large complex on Long Lk between Livernois & Rochester.

All these developments are functional complexes at best. They look unsightly, create traffic congestion, and are a negative reflection on the city. We also understand the Kelly Service building will be turned into flats, as well as, other commercial office buildings on Big Beaver. This begs the question as to why so many multi family dwellings are needed. However, the rendering of the Kelly Service building included some green space unlike all the other apartment complexes. Since the corner of Wattles/John R is a small space, why not have a small amount of condos be built around a cul-de-sac that is less dense, has greenery with landscaping, and is more appealing.

Instead of the old City of Troy motto being "The city tomorrow today," it should read "The city of unsightly apartments." The surveys conducted in recent years have shown residents want more green spaces in the city. Why do you not represent this view point. Maybe it is time to elect city officials who listen to those that they are suppose to represent.

Sincerely,

Colleen Helmick  
Michelle Leonard  
Paul Leonard



**From:** [Pete Wilkins](#)  
**To:** [Planning](#)  
**Subject:** May 28th meeting follow-up  
**Date:** Wednesday, May 29, 2024 10:27:08 PM  
**Attachments:** [image.png](#)  
[image.png](#)  
[Petition Cover Letter.pdf](#)

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You don't often get email from [pete.wilkins.umich@gmail.com](mailto:pete.wilkins.umich@gmail.com). [Learn why this is important](#)

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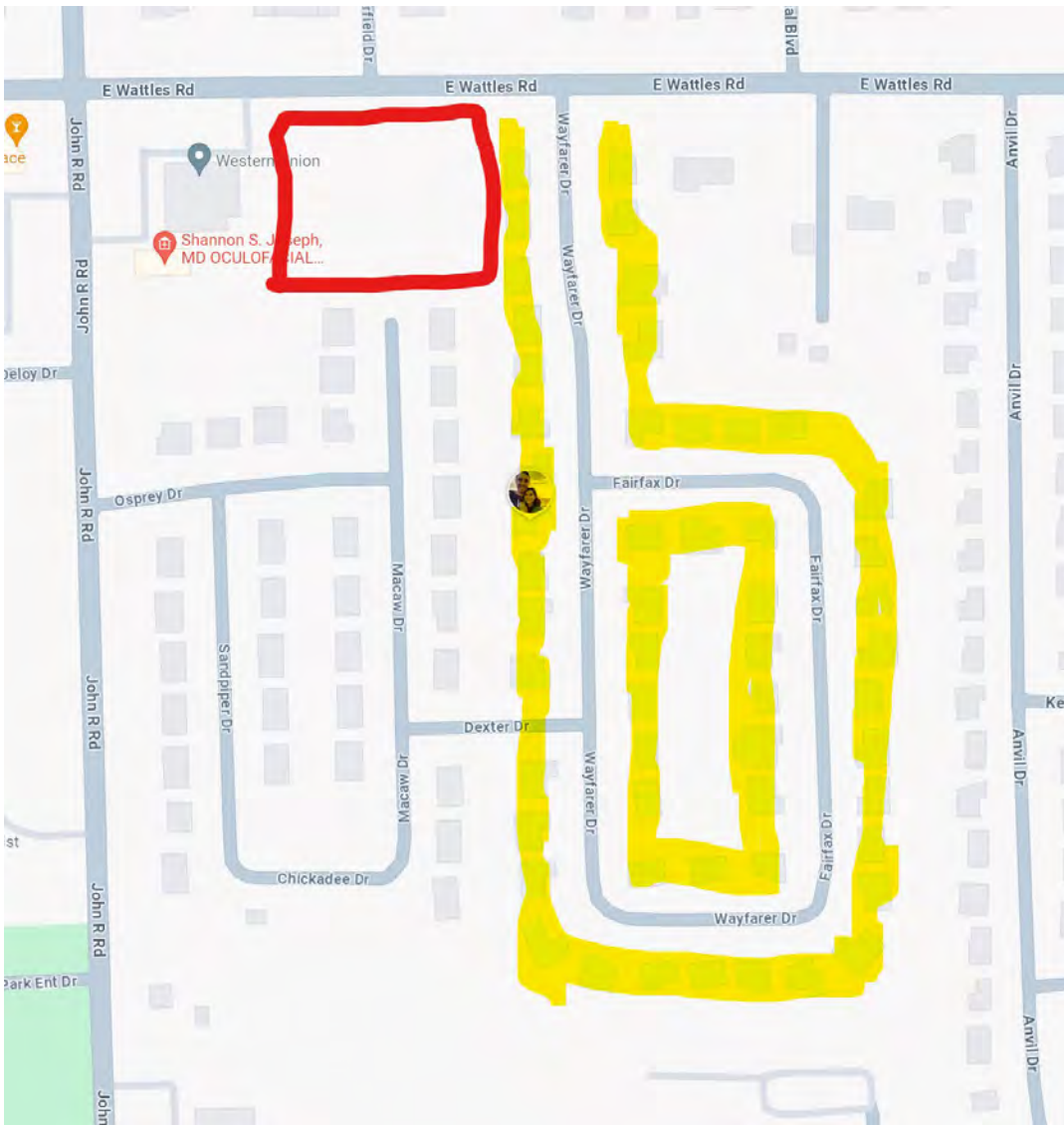
Hello Planning Council members,

My name is Pete Wilkins. I was the first to speak at last night's meeting regarding opposition to the proposed Wattles Square Apartments.

First, let me say thank you for giving me and my neighbor's the opportunity to speak last night. I've attached a copy of the cover letter that I handed to council member Marianna Perakis after speaking.

Also, I want to express that people's statements made in that meeting are their own. The points presented in this document is what was shared when we asked for signatures from the neighborhood. The use of the word "transient" should not be taken negatively, but only as it is defined in the dictionary, "lasting only a short time; existing briefly; temporary." I want to be clear that the statements made in this document are not discriminatory against renters but merely pointing out the role each plays in a community. Ownership means commitment whereas renting means involvement. A good parallel is marriage vs. dating.

References to safety in this document are referring to the high density of people driving in and out of such a small area. There is nothing really within walking distance, so these 100+ vehicles will be coming and going constantly. We worry about the safety of drivers and pedestrians, especially our children. To put it in perspective, the entire neighboring Wattles Square subdivision is 54 households, and we are proposing to squeeze that many households into such a small plot of land.



Speaking now for just myself, not on behalf of the residents who signed the petition, I'd like to offer a view of what I believe "good" looks like and what better matches the intent of the Neighborhood Node zoning ordinance.

I put this together rather quickly using satellite imagery of existing developments in the area.



Something like this

- Offers a good mix of building variation
- Promotes the improvement of the existing commercial space
- Lowers the density
- Allows for safe Southbound egress
- Offers good transitions to surrounding neighborhoods
- Respects privacy of abutting neighbors
- Offers attractive public space
- Preserves mature trees

A. Multifamily residential housing (taken from The Enclave across Wattles) with a tree buffer separating neighboring residents.

B. Higher density rental housing (taken from The Phoenix apartments at Big Beaver and John R).

C. The existing commercial building which could be rebuilt to offer more attractive windowed shops/restaurants with the option to add more rental units above.

D. Preserved mature greenspace with some public amenities like a pavilion and playground that could be shared by both existing and new members to the community.

We can do better than what is proposed and we can/should work together to realize the vision of what the Neighborhood Nodes were created for.

Thank you for time and consideration,  
Pete Wilkins  
3905 Wayfarer Dr.

**From:** [Chandru Boopalam](#)  
**To:** [Planning](#)  
**Subject:** Comments/Concerns  
**Date:** Tuesday, May 28, 2024 6:27:31 PM

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**To:** Planning Commission - City of Troy

**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)

Dear Members of Troy City Planning Commission,

I hope this letter finds you well. I am writing to express my concerns regarding the proposed development of new apartments adjacent to our neighborhood. I, along with many of our fellow neighborhood residents, have reservations about the potential impact this development could have on our community regarding privacy, safety and other areas.

I kindly request the planning commission board for a formal hearing to express my concerns.

Thank you for your attention to this urgent matter and look forward to a quick response.

Sincerely,

C.Boopalam  
3894 Sandpiper Dr  
Troy,MI 48083

**From:** [drlemu.misc@gmail.com](mailto:drlemu.misc@gmail.com)  
**To:** [Planning](#)  
**Subject:** RE: Apartment Complex Planned for Wattles at John R  
**Date:** Tuesday, May 28, 2024 7:22:51 PM

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Greetings,

I have just become aware of planned apartment complex at Wattles and John R. I live directly across from the proposed complex (the Enclave of Troy) and would be very concerned about traffic (with such high resident density for small area) and the detrimental effect of a large Apartment complex in an established area of single-family dwellings/condos. A traffic signal would be needed at our exit (Summerfield Dr) onto Wattles – and this is a large pickup spot for school children. Please stick to the original plans of homes/condos for this site (much reduced traffic), apartments do not fit/enhance the area in anyway. Please vote AGAINST this proposal.

Thank you,  
David Lemieux  
2051 Applewood Dr

**From:** [Kelly Martin](#)  
**To:** [Planning](#)  
**Subject:** Kelly Martin - resident on Fairfax, Wattles Square  
**Date:** Tuesday, May 28, 2024 4:35:36 PM

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Dear Planning Commission:

I regret I cannot be there in person tonight, but I would like to email my thoughts to you regarding the Neighborhood Node at Wattles and John R. I've looked over the packet on the city of Troy website and I'm very much against this development. Not against the Nodes in general, but this one does not fit the criteria in any way.

Definition from the Troy Website: **Neighborhood nodes are major intersections with shopping, housing, and services for nearby neighborhoods.**

There is nothing in the plans of developing shopping, services, and social meeting areas within the intersection. **This is a plan for a developer to simply build apartments.** As a matter of fact, there's a plaza that sits right in front of the development that sits empty.

In addition, our traffic is already heavy trying to attempt a left out of the neighborhood, I would love to see a traffic study conducted on John R as well as Wattles, as we could have another complex built just north of Kroger.

Appreciate your time,  
Kelly Martin

**From:** [Leonard Stesney](#)  
**To:** [Planning](#)  
**Subject:** Apartment complex at Wattles and John Road  
**Date:** Monday, May 27, 2024 8:42:38 PM

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You don't often get email from leonardstesney@yahoo.com. [Learn why this is important](#)

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We oppose the proposed complex at Wattles and John R. There is so much traffic during the morning and afternoon that it makes it very difficult to leave the Mt Vernon sub. We are also concerned about the developers interest in the empty rite aide bldg.  
Leonard and Cheryl Stesney 4089 Colonial Blvd 2492406284

[Sent from Yahoo Mail for iPh](#)



**From:** [Estates of Willowbrook HOA](#)  
**To:** [Planning](#)  
**Subject:** Concerns Over "Wattles Square Apartments" Proposal  
**Date:** Monday, May 27, 2024 6:25:32 PM  
**Attachments:** [Letter to City of Troy Planning Commisison.pdf](#)  
[signatures.pdf](#)

---

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Hello there,

Some of us represented on the open agenda on 05/14 expressing our concerns regarding the proposed Wattles Square Apartments South side of Wattles and east of John R (PIN 88-20-24-100-039).

Please find the attached formal submission of concerns/issues w.r.t the proposal and the signatures of all the residents of the community who unanimously reject the proposal. Please provide us an opportunity to discuss this and call for public hearing on this matter before it is too late.

Thank you for your attention to this matter

Estates of Willowbrook HOA

From: [JS Sharland](#)  
To: [Planning](#)  
Subject: Proposed Apartment Complex at Wattles & John R  
Date: Friday, May 24, 2024 6:44:46 PM

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You don't often get email from jssharrland001@gmail.com. [Learn why this is important](#)

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Dear Commissioners.....

My wife & I have lived @ 3921 Wayfarer Drive for the past 35 years. We survived (under protest) your decision to allow Mondrian Properties to literally 'clear cut' the wooded lots between John R and Wayfarer Drive and construct a 'Site Condo Development' (the Estates of Willowbrook) featuring 3000 ft<sup>2</sup> homes that are 30 feet apart with 40 foot backyards, one of which abuts my property. That said, they are well built, higher end properties that will ultimately enhance the value of our home....so we took one for the team.

(note: we're also enduring significantly more traffic on Wayfarer Drive as you approved providing access to Wayfarer Drive from Macaw Drive in the Estates of Willowbrook development. FYI...most EoW residents cut thru the Wattle Square Sub rather than go thru the traffic light on Wattles & John R)

You are now considering approval of a plan to (again) clear cut a small wooded parcel very near my home and shoehorn a 54 unit apartment complex between Wattles Square Sub and the recently closed RITE AID. The notion that this site/property is zoned NN:B and/or the developer could argue that this proposed complex meets/exceeds any of the rather lofty *Neighborhood Nodes District* zoning goals delineated in the *2008 City of Troy Master Plan* (e.g. serve the basic needs of the community, acts as a 21st century village center, protect & cultivate a high quality of life, will not visually overpower transitional or residential areas etc.etc) is self-serving rhetoric of the highest order. It simply doesn't. Further, it will negatively impact the current/future value(s) of the adjoining properties in both the Wattles Square and Estates of Willowbrook Subs.

**PLEASE REJECT THIS PROPOSED DEVELOPMENT!**

In closing, I have lived half of my life in my current home here in Troy. It's a great city. Our City leadership has been outstanding thru the years. I support the City and our leadership's vision(s) for our future.

**That said, IF the Planning Commission feels compelled to accept/approve this proposal, I will (grudgingly..LoL) support your decision with one caveat that I feel BETTER SERVES our citizenry & Troy's future:**

**Please mandate that the proposed development be apartments for SENIORS ONLY (as in 55+).**

**At present, there is woefully inadequate access to housing in Troy for this growing, voting and tax paying social demographic (aka Baby Boomers like us!)**

As always.....thanks in advance for your support and consideration.

James & Susan Sharland  
3921 Wayfarer Drive,  
Troy, MI 48083  
email: [jssharland001@gmail.com](mailto:jssharland001@gmail.com)

**From:** [Brenda Lewis](#)  
**To:** [Planning](#)  
**Subject:** Proposed apartment complex, Wattles and John R Rd  
**Date:** Monday, May 27, 2024 5:12:40 PM

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[You don't often get email from [brenda.lewis97@yahoo.com](mailto:brenda.lewis97@yahoo.com). Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

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Dear planning department,

I live in Troy at the Enclave of Troy at Wattles and John R.

I've been informed through people in my immediate neighborhood that two buildings with a total of 54 apartments may be built in the area of the former Rite Aid at Wattles and John R.

I can't imagine that many residences in such a small space. The traffic would be pretty horrendous if it achieved full occupancy. The traffic is already very heavy on John R and people like me with the back of our condo next to John R hear heavy, noisy traffic all day long. I already avoid sitting on my deck during morning and evening rush-hour because of the fumes and noise. If I sit out there with friends during that time, we have to shout to make ourselves heard!

Please consider how squeezing so many people in such a small space will negatively affect the quality of life in that area of Troy. I'm extremely disappointed to hear what might happen here and I plan to continue to do everything I can to stop it from negatively changing our little neighborhood.

Thank you for listening and for your service on the planning commission. Please consider my thoughts on this matter.

Sincerely, Brenda Lewis

Sent from my iPhone

**From:** [Fred Przybysz](#)  
**To:** [Planning](#)  
**Subject:** Wattles and John R proposed development  
**Date:** Friday, May 24, 2024 8:50:56 PM

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You don't often get email from przybyszfred@gmail.com. [Learn why this is important](#)

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Dear planning commission,

My name is Fred Przybysz and I would like to express my opinion on a proposed development at Wattles and John R.

I believe the proposed building of 54 apartment units on just a little over 2 acres is totally inappropriate. Originally there was a proposal to build 6 family single homes on this parcel. Going from 6 family homes to 54 apartment units will only cause overcrowding, noise, and egress problems.

When I moved to Troy 35 years ago it was claimed to be the place for families to move to. It seems we have gotten away from that scenario in recent years.

This property could definitely have single family homes built upon.

Companies like Mondrian have certainly shown that capability.

I urge you to vote no on this proposal.

Furthermore, my neighbors and I will be attending the commission meeting on Tuesday, May 28.

Sincerely,

Fred Przybysz

3842 Wayfarer Dr, Troy, MI 48083

**From:** [Yelder-Beard, Karen](#)  
**To:** [Planning](#)  
**Subject:** Proposed apartment complex at Wattles and John R  
**Date:** Tuesday, May 28, 2024 10:54:19 AM  
**Attachments:** [Outlook-ji5ahazt.png](#)

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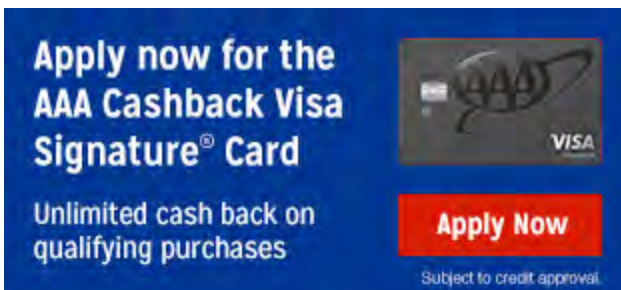
Troy Planning Committee<

I am expressing my opposition to the proposed apartment complex at Wattles and John R. Among many concerns, the development does not respect the adjacent neighborhoods or protect and cultivate a high quality of life in Troy. I am also very concerned about traffic congestion, privacy and safety of our community.

I thank you for your consideration.

*Karen Beard*  
**Agency Owner**

**Karen Yelder-Beard Insurance Agency**  
**901 E Auburn Rd**  
**Rochester Hills, mi 48307**  
**248-853-7005**  
**kgbeard@acg.aaa.com**



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**From:** [Krystal Abiaad](#)  
**To:** [Planning](#)  
**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)  
**Date:** Friday, June 21, 2024 11:28:47 PM

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Dear Planning Commission,

I hope this message finds you well. I am writing to express my deep concern and strong opposition to the proposed development of a new apartment complex behind my home on Wattles Road. This project, if approved, will have significant negative impacts on the local community and environment, which I believe have not been fully considered.

Firstly, the removal of the green space and mature trees that have been a part of this area for many years is deeply troubling. These trees provide essential shade and privacy, contributing to the quality of life and natural beauty of our neighborhood. Their destruction would not only diminish the aesthetic and environmental value of our community but also impact the local wildlife that depends on this habitat.

Secondly, Wattles Road is already a heavily congested one-lane road in each direction. Introducing a large apartment complex will exacerbate the traffic situation, leading to severe congestion and potential safety hazards for both residents and commuters. The existing infrastructure is not equipped to handle the increased traffic volume that this development will inevitably bring.

Moreover, the privacy of the adjacent neighborhoods is at serious risk. The proposed development would lead to a significant invasion of privacy for the current residents, disrupting the peaceful and secluded nature of our community. The planning commission's decision appears to overlook the adverse effects on the surrounding neighborhoods, focusing solely on the immediate benefits of the development.

In light of these concerns, I urge the planning commission to reconsider the approval of this apartment complex. It is crucial to take into account the long-term impacts on traffic, privacy, and environmental sustainability. I respectfully request that alternative solutions be explored that would better serve the interests of the entire community without compromising our quality of life.

Thank you for your attention to this matter. I look forward to your response and hope that our concerns will be given the consideration they deserve.

Sincerely,

Krystal Touma  
2026 Osprey Dr  
Troy, MI 48083



ESTATES OF WILLOWBROOK SUBDIVISION OWNERS' ASSOCIATION (EWB)

2008 OSPREY

TROY MI 48083

**To:** Planning Commission - City of Troy

**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)

Dear Members of Troy City Planning Commission,

We are writing on behalf of the Estates of Willowbrook Homeowners Association to express our collective opposition to the proposed construction of an apartment complex adjacent to our subdivision. Our community, consisting of 28 homes, has serious concerns regarding this development, and we urge the City Council/ City Planning Commission to reconsider the approval of this project.

Our primary concerns are as follows:

**Traffic Congestion and Safety:** The introduction of a high-density apartment complex will significantly increase traffic in our area. The roads surrounding the Estates of Willowbrook, particularly the intersection of John R Road and Wattles, are not designed to handle the additional volume of vehicles. This increase in traffic poses a safety risk to our residents, especially children



who walk or bike to the nearby schools and parks. Additionally, the higher traffic volume increases the likelihood of accidents, which could endanger both residents and commuters.

**Impact on Property Values:** The construction of an apartment complex adjacent to our subdivision could negatively affect property values. Our residents have invested significantly in their homes, and the presence of an apartment complex may deter potential buyers who prefer a quieter, low-density neighborhood.

**Privacy and Safety:** The proximity of the proposed apartment complex to our homes raises significant privacy and safety concerns. The increased density and the height of the apartment buildings could lead to a loss of privacy for our residents, as apartment dwellers may have direct lines of sight into our homes and yards. Moreover, the influx of a large number of new residents, some of whom may not be familiar with our community, could potentially increase the risk of crime and other safety issues. Maintaining the privacy and security of our neighborhood is paramount for our residents. Additionally, the safety of our children is a major concern, as the increased population and traffic could pose greater risks to their well-being while playing outside or commuting to school.

**Environmental Concerns:** The proposed development site is home to several green spaces and mature trees that contribute to the ecological health and aesthetic appeal of our community. The construction of the apartment complex would likely result in the loss of these green spaces, negatively impacting local wildlife and the overall environment.

**Community Character and Quality of Life:** Our neighborhood is characterized by its single-family homes and close-knit community atmosphere. The introduction of a large apartment complex is inconsistent with the existing character of our neighborhood and could disrupt the sense of community that our residents value highly

**Potential Strain on Infrastructure and Services:** The addition of a large number of new residents may strain the existing infrastructure and public services, including water, sewage, and emergency services. There is concern that our current infrastructure may not be equipped to support such a significant increase in population, which could lead to reduced service quality and increased response times for emergency services.

We understand the need for housing development and support responsible growth within Troy. However, we believe that this particular project is not suitable for the proposed location adjacent to the Estates of Willowbrook.

We appreciate your attention to our concerns and hope that the Planning Commission/City Council will take them into account when making a decision on this matter. We are willing to engage in further discussions and provide any additional information that may be required.

As stakeholders in our community, it is vital that our voices are heard, and our concerns are taken into account during the decision-making process. We request the Planning Commission/City Council board for a formal hearing to express our concerns.

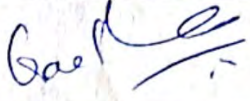
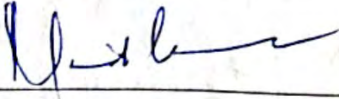
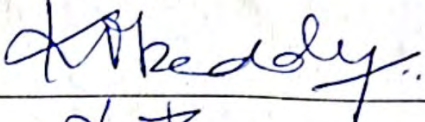
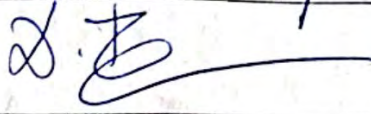
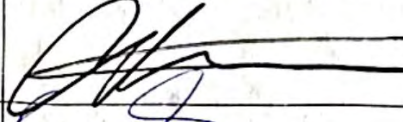
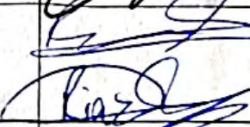

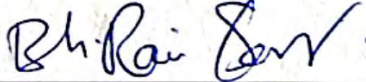
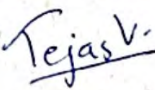

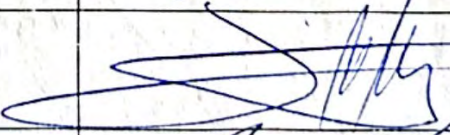
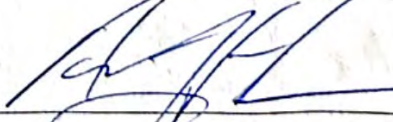

Thank you for your time and consideration.

Sincerely,

**ESTATE OF WILLOWBROOK OWNERS ASSOCIATION**

[ewbhoa2020@gmail.com](mailto:ewbhoa2020@gmail.com)

Address	Name	Signature
2018 Osprey Drive	Toni Martinovski	Toni Martinovski
2026 Osprey Drive	KHRYSTAL TOUMA	KHRYSTAL TOUMA
2034 Osprey Drive	DAVID A. HOPCROFT	DAVID A. HOPCROFT
3923 Macaw Drive	VINOD R NATLA	VINOD R NATLA
3931 Macaw Drive	Mahesh Patil	Mahesh Patil
3939 Macaw Drive	HUMBERTO GONZALEZ	HUMBERTO GONZALEZ
3938 Macaw Drive	RACHEL WU	RACHEL WU
3930 Macaw Drive	Anuratha Battula	NA
3922 Macaw Drive	ESTHER QUAN	ESTHER QUAN
3914 Macaw Drive	KRISHNA GUDUGUNTA	KRISHNA GUDUGUNTA
3906 Macaw Drive	Arun Parthasarathy	Arun Parthasarathy
3898 Macaw Drive	MANJUNATH CHIKKANNA	MANJUNATH CHIKKANNA
3890 Macaw Drive	Lei Zhang	Lei Zhang
3879 Macaw Drive	Keerthi Grandhapaneni	Keerthi Grandhapaneni

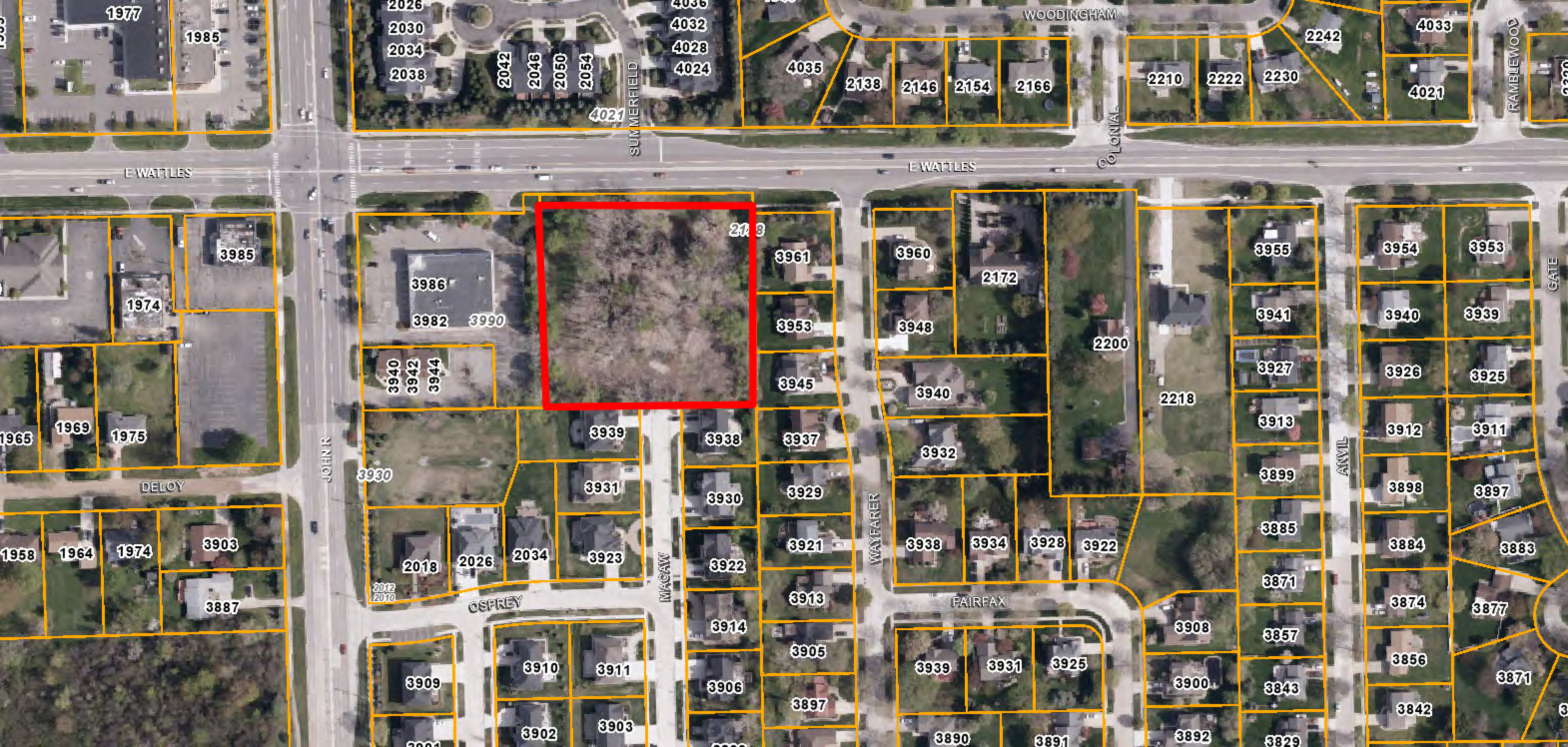
Address	Name	Signature
3887 Macaw Drive	Gautham Seshadri	
3895 Macaw Drive	MANISH CHANDRA	
3903 Macaw Drive	Maheshwar Kashamolla	
3911 Macaw Drive	RAJAGOPALAN DURAIRAJAN	
3910 Sandpiper Drive	Carlos Ramirez	
3902 Sandpiper Drive	Saleem, Bilal Riaz, Sara	
3894 Sandpiper Drive	Chandrashekar Boopalam	
3886 Sandpiper Drive	RAVI BHAMIDIPATI	
3878 Sandpiper Drive	Tejas Varunjikar	
3877 Sandpiper Drive	Kalpana Pandey	
3885 Sandpiper Drive	Thiago Podolsky	
3893 Sandpiper Drive	Anthony HAMANE	
3901 Sandpiper Drive	Mohit Wadhwa	
3909 Sandpiper Drive		

Address	Name	Signature
2018 Osprey Drive	Toni martinovski	Toni Martin
2026 Osprey Drive	Chris Toumu	Chris Toumu
2034 Osprey Drive	KARIN L. HOPCROFT	Karin Hopcroft
3923 Macaw Drive	SRIVIDYA BELLIDIGA	Sridya
3931 Macaw Drive	S.R. Bann Sharanamma Bann	S.R. Bann
3939 Macaw Drive		
3938 Macaw Drive	Jing B zheng	Jing B zheng
3930 Macaw Drive	HARIBABU BATTULA A	B. Haribabu
3922 Macaw Drive	SONNY QUAN	Sonny Quan
3914 Macaw Drive	SUSHMA GUDUGUNTLA	Sushma Guduguntla
3906 Macaw Drive	ManasaIday	Manasa Id
3898 Macaw Drive	Kavya Chalaih	Kavya Chalaih
3890 Macaw Drive	Brendan Pan.	Brendan Pan
3879 Macaw Drive	Sandeep Puligadda	Sandeep

Address	Name	Signature
3887 Macaw Drive	Vidhya	
3895 Macaw Drive	Manisha Sharan	Manisha
3903 Macaw Drive	Kiranmaye Ahluwalia	Kiran
3911 Macaw Drive	SANDHURI KESAVA	Sandhuri
3910 Sandpiper Drive		
3902 Sandpiper Drive	Zaria Saleem	Zaria
3894 Sandpiper Drive	Vasudha Boopalan	Vasudha B
3886 Sandpiper Drive	Udaya Bhamidipati	Udaya
3878 Sandpiper Drive	Aditi Andurkar	Aditi A.
3877 Sandpiper Drive	AMIT PANDEY	Amit Pandey
3885 Sandpiper Drive	FABIDA Podolsky	Fabida
3893 Sandpiper Drive	NATALIE DEEB	Natalie Deeb
3901 Sandpiper Drive	Gurnoor Kaur	Gurnoor
3909 Sandpiper Drive		

B. Vacant, PIN 88-20-24-100-039, property east of and next to 3986 John R., Xingzhong (Jason) Zhang - An appeal of the Planning Commission's July 23, 2024 Preliminary Site Plan approval of the proposed Wattles Square Apartments.

ZONING ORDINANCE SECTION: 15.04 C



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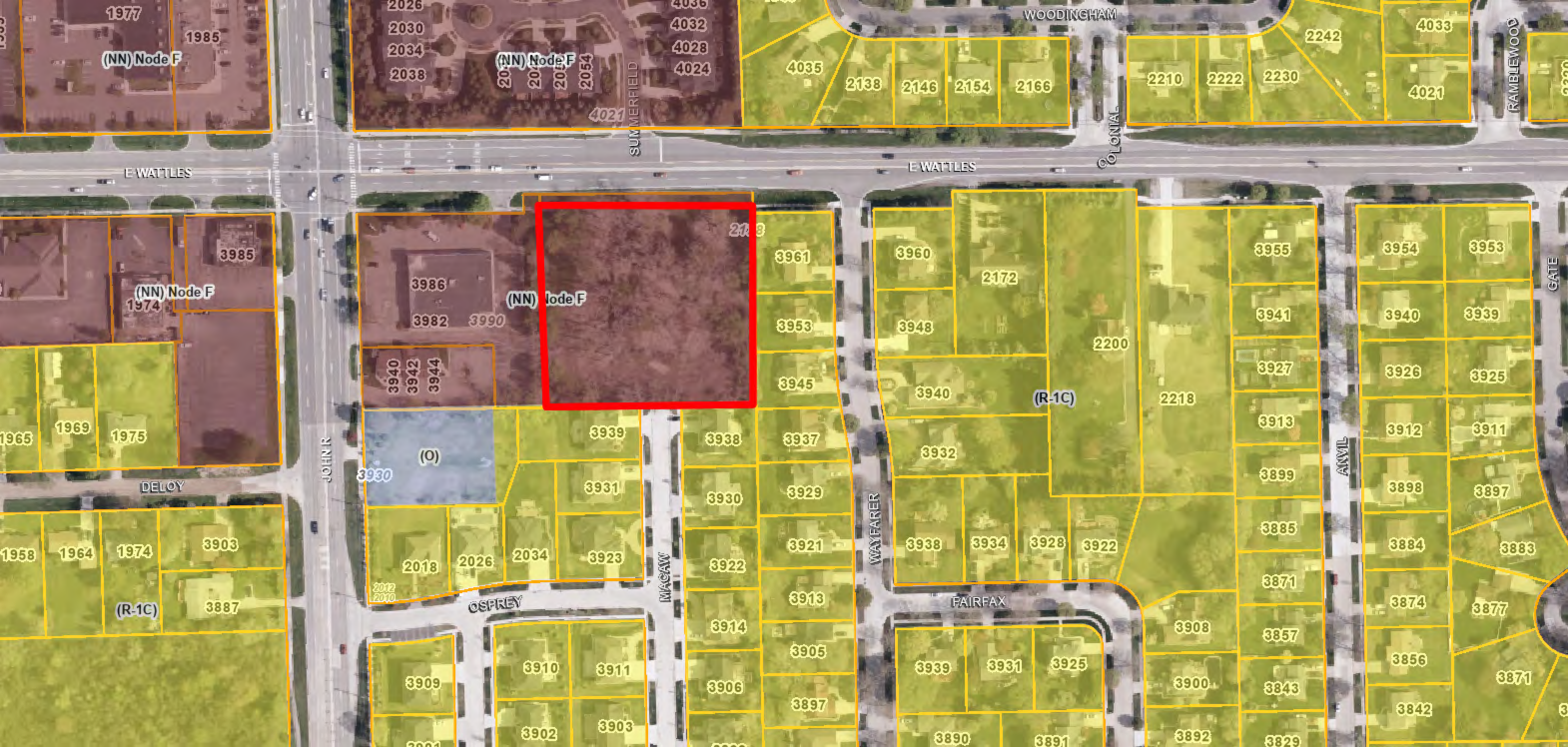
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500 West Big Beaver  
Troy, MI 48084  
troymi.gov

Date: October 23, 2024

To: Members of the Troy Zoning Board of Appeals

From: Lori Grigg Bluhm, City Attorney  
Nicole MacMillan, Assistant City Attorney

Subject: Wattles Square Apartments

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There are two appellate items on the Zoning Board of Appeals (ZBA) Agenda for November 2024. The residents of 3939 Macaw and 3953 Wayfarer Drive have both submitted applications seeking to appeal the July 23, 2024 preliminary site plan approval granted by the Planning Commission for the proposed Wattles Square Apartments. These appeals are required to be considered separately.

Section 15.04(C) of the City's Zoning Ordinance delegates appeals of administrative or board decisions to the ZBA. Under this provision, an appellant must demonstrate that they have both a property interest and standing to challenge the decision. (Section 15.04(C)(1)). The ZBA must first determine if either or both of these applicants have established these pre-requisites.

As to standing, Troy's ordinance and Michigan case law requires an appellant to be "aggrieved" by the decision. This has been further refined to require both appellants to first demonstrate that they opposed the preliminary site plan at the Planning Commission hearing. Assuming they satisfy this hurdle, the appellants must show that they have some protected interest or protected personal, pecuniary, or property right that will be or is likely to be affected by the approval of the preliminary site plan. Third, the appellants must produce evidence that they have or will incur special damages from the Planning Commission's approval of the preliminary site plan. These special damages are actual or likely injuries to their property interest that is different in kind or more significant in degree than the effects on others in the local community.

As to the third element, above, generalized concerns about traffic, aesthetics or environmental harms will not meet the appellant's burden of proof for standing. Instead, the appellant must demonstrate a disproportionate burden to its property. The ZBA may consider the following factors for this analysis: (1) scope of the change; (2) the nature of the appellant's property rights; (3) the burden on the appellant's property rights, (4) the proximity of the proposed development to the appellant's property. !

The ZBA must first determine if either of the appellants have satisfied the test for standing. If not, then there is no need for further action. If standing is established, then the ZBA is required to determine if the Planning Commission made an error of law.



500 West Big Beaver  
Troy, MI 48084  
troymi.gov

Under Section 15.04(C)(4), the ZBA can affirm, reverse in whole or in part, or modify the Planning Commission's approval of the preliminary site plan for the proposed Wattles Square Apartments. In reaching its decision, this Board shall only modify or reverse if one (1) or more of the following requirements are met:

- a. The decision was arbitrary or capricious.
- b. The decision was based on an erroneous finding of material fact.
- c. The decision constituted an abuse of discretion; or
- d. The decision was based on erroneous interpretation of the Zoning Ordinance or zoning law.

In deciding this appeal, it may be important for the ZBA to note that the proposed Wattles Square Apartments development project is a "by-right" development, where there are no special conditions for approval. Following this, the Planning Commission is required to approve the preliminary site plan if all of the applicable zoning requirements are met.

If ZBA ultimately decides to reverse or modify the Planning Commission's approval of the preliminary site plan, it should fully articulate the basis in its Resolution, using the criteria set forth above. Any decision on an appeal must be supported by at least four votes, which is a majority of ZBA members (Section 15.03(B)).



CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

### Zoning Board of Appeals Application

planning@troymi.gov | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

- 1. ADDRESS OF THE SUBJECT PROPERTY: WATTLES SQUARE APARTMENTS SECT. 24
- 2. PROPERTY TAX IDENTIFICATION NUMBER(S): PIN 88-20-24-100-039
- 3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: SECT. 8.02
- 4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: YES; AT PLANNING COMMISSION MEETINGS ON MAY 28, 2024 & JULY 23, 2024
- 5. APPLICANT:
  - NAME XINGZHONG (JASON) ZHANG
  - COMPANY RESIDENT
  - ADDRESS 3953 WAYFARER DRIVE
  - CITY TROY STATE MI ZIP 48083
  - PHONE 313-392-3980
  - E-MAIL jason.zhangxz@gmail.com
  - AFFILIATION TO THE PROPERTY OWNER: NONE



CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

# Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME AT70 CONSTRUCTION INC.  
 COMPANY " "  
 ADDRESS 2150 FRANKLIN B  
 CITY BLOOMFIELD HILLS STATE MI ZIP 48302-0328  
 TELEPHONE 248-332-5697  
 E-MAIL NA

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

1. XINGZHONG ZHANG (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE [Signature] DATE 9/11/2024

PRINT NAME: XINGZHONG ZHANG

PROPERTY OWNER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

## Zoning Board of Appeals

### Request Information

My name is Xingzhong Zhang and I am a resident of Troy, Mi. I reside at 3953 Wayfarer Dr in the Wattles Square Subdivision in Troy MI.

I am appealing the decision of the Planning Commission which approved the development of the Wattles Square Apartments, PIN No. 88-20-100-039.

My reasons for my appeal are several.

First, I would like to point out that the development in question will alter the character of the Wattles Square subdivision. My community is made up of residents who have lived here for many years and just a few years and have strived over time to own single family homes. This development does not support that ideology or respect the adjacent neighborhoods.

My understanding is that originally the property in question was zoned single family homes until 2011 at which time the zoning was changed to high density family living without the knowledge of then residents or existing residents.

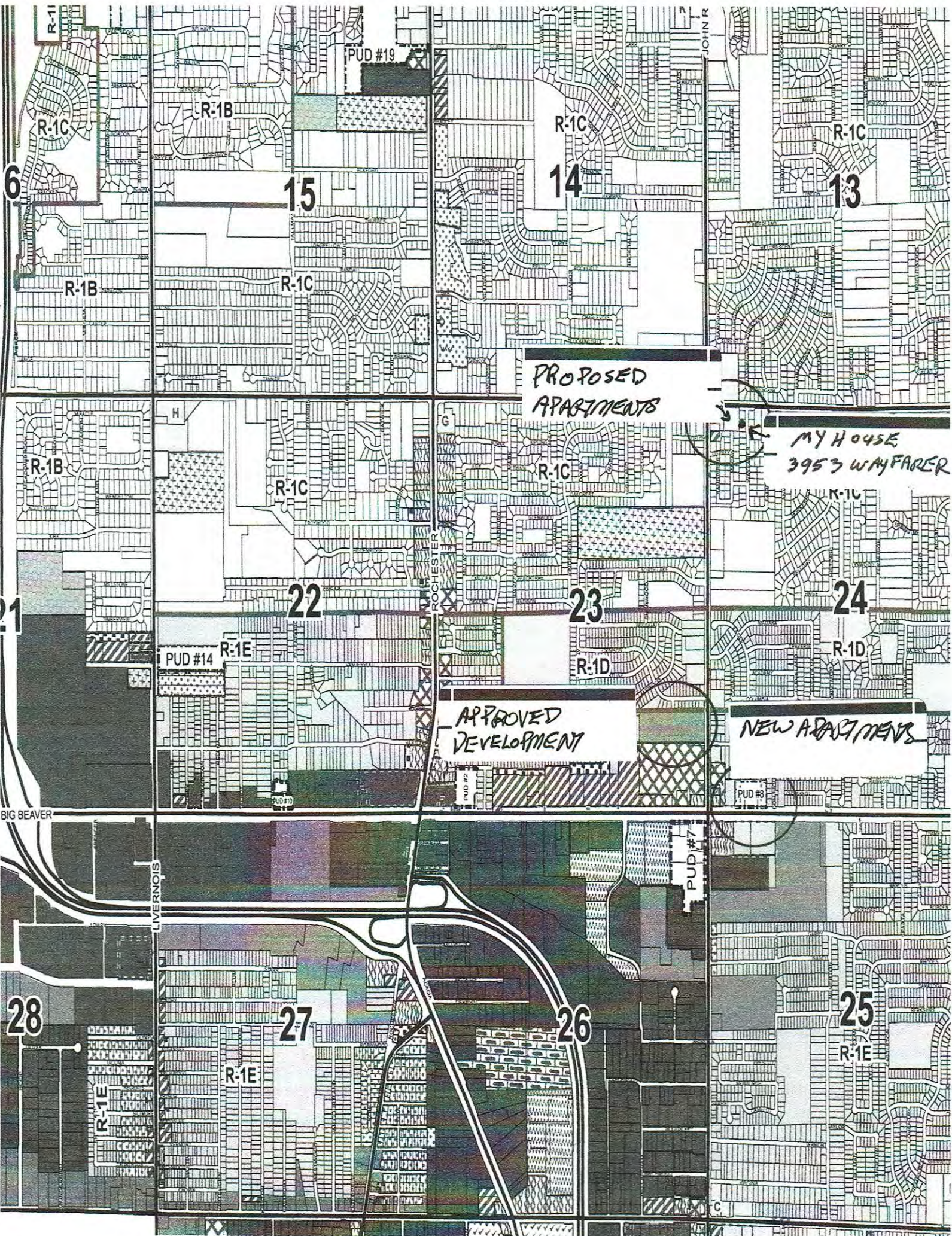
There is no good transition from the neighborhoods to this proposed development, unlike other developments in Troy.

Secondly, developing this property on only 2.1 acres will create hardships for my family and I. The extreme density of this development will present health and safety concerns of the following nature: noise and air pollution will increase due to 120 plus proposed parking spaces; lighting will create a business type of atmosphere at night; and there is a proposed dog walk. These items could vastly impact our sleep patterns and daily routines, especially, my wife who has extreme and sensitive hearing issues. In addition, my children's bedrooms face westward overlooking the parking lots and buildings and will certainly impact their privacy.

Thirdly, our property will now face traffic flow from both the front and rear of our house and will have to deal with navigating traffic from three directions one of which is a new egress from the proposed apartments coming off of Wattles.

Lastly, the economic impact on our house value could be extremely negative. A report by Realtor.com pointed out that as areas become inundated with rentals property values could be negatively impacted by as much as 13.8%. There has been one new apartment complex built at John R and Big Beaver with another complex approved just around the corner on John R just south of Big Beaver. With the number of neighborhood nodes designated for the East side of Troy more apartment complexes could be springing up which could even worsen the situation.

Thank you for considering my appeal and I look forward to your decision.

























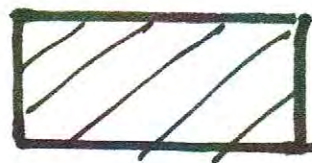
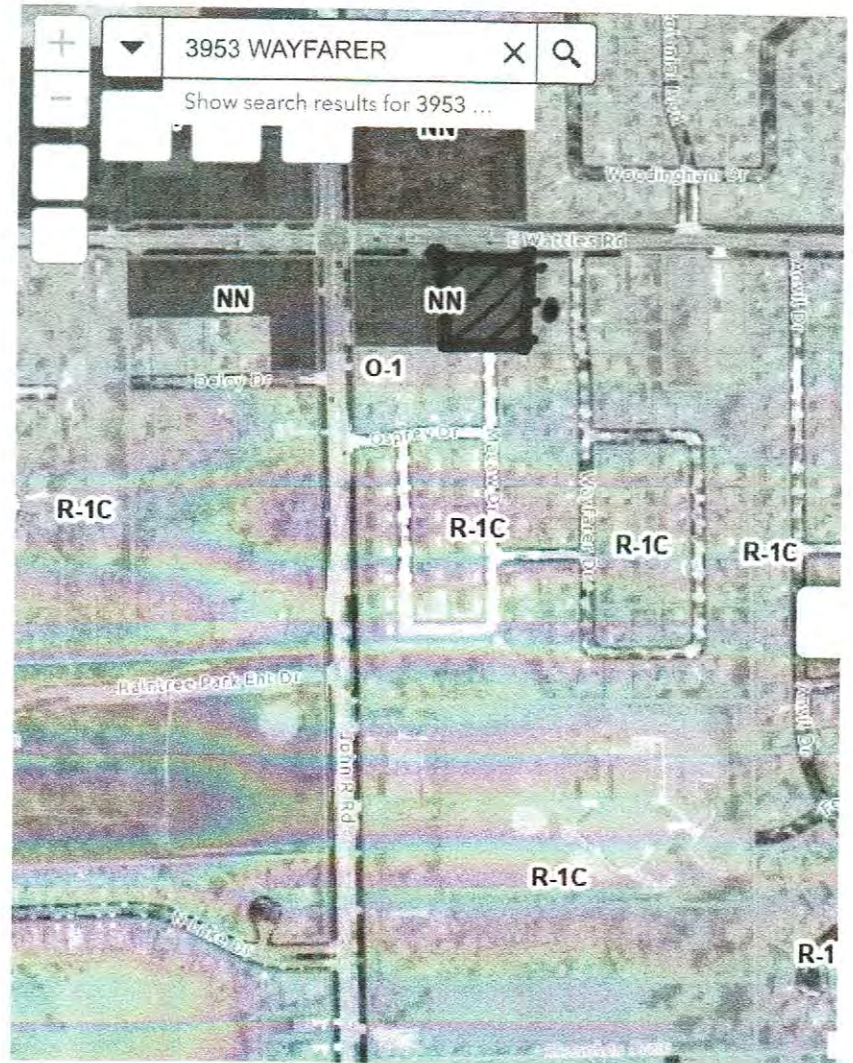
# Zoning Application

About

## Legend

### Zoning

-  (PUD) Planned Unit Development
-  (CF) Community Facilities District
-  (EP) Environmental Protection District
-  (BB) Big Beaver Road (Form Based)
-  (MR) Maple Road (Form Based)
-  (NN) Neighborhood Nodes (A-U)
-  (CB) Community Business
-  (GB) General Business
-  (IB) Integrated Industrial Business District
-  (O) Office Building District
-  (OM) Office Mixed Use
-  (P) Vehicular Parking District
-  (R-1A) One Family Residential District
-  (R-1B) One Family Residential District
-  (R-1C) One Family Residential District
-  (R-1D) One Family Residential District
-  (R-1E) One Family Residential District
-  (RT) One Family Attached Residential District



RE PRESENTS NEW & PROPOSED DEVELOPMENTS

● REPRESENTS 3953 WAYFARER

600ft





REPRESENTS NEW & PROPOSED DEVELOPMENTS



**THE FOLLOWING PAGES ARE EXHIBITS PROVIDED BY THE TROY PLANNING DEPARTMENT**

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on July 23, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- Allan Motzny, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Ms. Malalahalli asked to move Agenda item #7 after Agenda item #4.

**Resolution # PC-2024-07-043**

Moved by: Malalahalli  
Support by: Lambert

**RESOLVED**, To approve the agenda as revised.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES – July 9, 2024

**Resolution # PC-2024-07-044**

Moved by: Buechner  
Support by: Fox

**RESOLVED**, To approve the minutes of July 9, 2024 Regular meeting as submitted.

Yes: Buechner, Faison, Fox, Hutson, Krent, Lambert, Malalahalli, Perakis  
 Abstain: Tagle

**MOTION CARRIED**

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

**PRELIMINARY SITE PLAN APPROVAL**

*(Refer to revised agenda per Resolution # PC-2024-07-043)*

7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Carlisle addressed the revisions to the Wattles Square Apartments application since it was last considered by the Planning Commission at its May 28, 2024 meeting. He said the applicant has provided a fence along the eastern and southern property lines and submitted revised elevations as relates to architectural design features and color scheme. Mr. Carlisle addressed the City Traffic Consultant OHM memorandum that states traffic generated from the proposed site will not present significant impacts to Wattles Road, John R Road or the surrounding roadway network.

In summary, Mr. Carlisle said the by-right application meets all the requirements of the Zoning Ordinance. He asked the Planning Commission to consider in its deliberations if the application complies with the Site Plan Design Review Standards set forth in Section 8.06.

Present were Richard Atto and Landscape Architect Stacey Hadeed.

Some comments during discussion related to the following:

- Public comment and signed petitions received and distributed to the Board prior to the beginning of tonight’s meeting.
- Permitted uses within the Neighborhood Node zoning district.
- Transition between proposed development to residential properties.
- Applicant’s efforts to mitigate light, noise, odor, sound and traffic.
- Reduction in building height compared to single family homes.
- Existing trees on site; tree survey, size and type of proposed trees.
- Marketing target of tenants.
- Recreational amenities and community space.

Chair Perakis acknowledged the number of residents in the audience. She asked by a show of hands to determine how many were in support or opposition of the proposed application. The count was 27 in opposition; zero in support.

It was the consensus of the Board to open the floor for public comment.

#### PUBLIC COMMENT OPENED

The following persons spoke in opposition. The majority of concerns voiced related to safety, privacy, trash, overflow parking, traffic, light pollution and not a fit for the neighboring properties. Some comments related to the traffic data and summary provided by OHM.

- Anuratha Battula, 3930 Macaw Drive
- Fred Przybysz, 3842 Wayfarer
- Humberto Gonzales, 3939 Macaw
- Peter Wilkins, 3905 Wayfarer
- Michael Madley, 3831 Wayfarer
- Robert Mansour, 2153 Cumberland
- Angela Yuan, 3815 Wayfarer
- Manishe Sheran, 3895 Macaw
- Sonny Quan, 3922 Macaw
- Andrzej Olszweski, 2369 Newbedford
- Trey Brice, Taft Law, 27777 Franklin #2500, Southfield
- Ravi Bhamidipati, 3886 Sandpiper
- Ellen Thomas, 2198 Cumberland
- Laura Wilkins, 3905 Wayfarer
- Chandou Boopalam, 3894 Sandpiper

#### PUBLIC COMMENT CLOSED

Mr. Carlisle addressed:

- Methodology and ITE standards used by OHM in its traffic review.
- Stormwater management; full engineering review at Final Site Plan review/approval.
- Proposed development as relates to the current Master Plan.

Mr. Buechner said he does not support the application. It is his opinion some of the Site Plan design standards and Neighborhood Node characteristics are not met.

Mr. Motzny advised the Board's determination of approval should be based on whether the application meets the requirements of the Zoning Ordinance. He said the Master Plan is a guide only.

Mr. Atto addressed:

- Snow removal.
- Fence material.
- Price point of rental units.

Mr. Tagle addressed dimensional drawings and renderings as relates to a perception of distance from adjacent properties.

Mr. Hutson said he does not support the application. He addressed concerns with the safety of subterranean residential units, lack of recreational amenities for public use, and the application not meeting Neighborhood Node characteristics.

**Resolution # PC-2024-07-045**

Moved by: Faison

Seconded by: Fox

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be **granted**.

Discussion on the motion on the floor.

Mr. Lambert addressed future changes to the Master Plan as relates to Neighborhood Node zoning districts.

Mr. Krent said he supports the application because it meets all requirements of the Zoning Ordinance.

Vote on the motion on the floor.

Yes: Faison, Fox, Krent, Lambert, Malalahalli, Perakis, Tagle

No: Buechner, Hutson

**MOTION CARRIED**

**SPECIAL USE REQUEST**

5. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-003) – Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

Mr. Carlisle addressed the revisions to the Starbucks application since last reviewed at the May 14, 2024 Regular meeting, as relates to the circulation plan for the Troy Sports Center parking lot, the dumpster location, required landscaping and pedestrian improvements.

In summary, Mr. Carlisle asked the Planning Commission in its deliberations to consider if the application complies with the Special Use Standards and the Site Plan Review Design Standards as set forth Section 9.03 and Section 8.06 of the Zoning Ordinance, respectively.

Project Engineer James Butler of the PEA Group was present. He briefly addressed the addition of parking lot trees, traffic circulation, pedestrian improvements and ADA parking.

Chair Perakis opened the floor for public comment. Acknowledging there was no one present who wished to speak, Chair Perakis closed the floor for public comment.

**Resolution # PC-2024-07-046**

Moved by: Lambert  
 Support by: Fox

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) District, be **granted**, subject to the following condition:

1. Submittal of a photometric plan approved by the City staff.

Yes: All present (9)

**MOTION CARRIED**

**PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District

Mr. Carlisle addressed the revisions to the John R Commons Townhome Development since last reviewed at the May 14, 2024 Regular meeting, as relates to the Troy Sports Center circulation improvements and architectural design.

In summary, Mr. Carlisle asked the Planning Commission to consider in its deliberations whether the application meets the Site Plan Review Design Standards as set forth in Section 8.06 of the Zoning Ordinance.

Project Engineer Greg Bono of the PEA Group and Project Architect Brian Neeper were present.

Some comments during discussion related to the following:

- Access points to site.
- Recreational amenities in common area.
- Stormwater detention area.
- Path/trail on north side of the pond.



- Architectural elevations; building material.
- Site layout of residential units.
- Additional landscaping adjacent to Building 16.
- Techniques for traffic calming/mitigation along the north drive aisle.

Chair Perakis opened the floor for public comment. Acknowledging there was no one present who wished to speak, Chair Perakis closed the floor for public comment.

**Resolution # PC-2024-07-047**

Moved by: Fox  
Support by: Buechner

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed John R Commons Townhome Development, located on the West side of John R, North of Big Beaver, Section 23, Zoned MF (Multi-Family Residential) District, be **granted**, subject to the following condition:

1. Applicant explores the traffic speeding mitigation on the entire site to the satisfaction of the Planning Department.

Discussion on the motion on the floor.

Mr. Lambert said he would prefer an EVA (Emergency Vehicular Access) at the western access point.

Vote on the motion on the floor.

Yes: Buechner, Faison, Fox, Hutson, Krent, Malalahalli, Perakis, Tagle  
No: Lambert

**MOTION CARRIED**

**OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda

There was no one present who wished to speak.

9. PLANNING COMMISSION COMMENT

There were general Planning Commission comments, some relating to:

- Analysis/study of parking requirements in the Zoning Ordinance.
- Data/demographics relating to apartments in comparison to single family homes and like communities.

10. ADJOURN

The Regular meeting of the Planning Commission adjourned at 9:56 p.m.

Respectfully submitted,

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Marianna J. Perakis, Chair

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Kathy L. Czarnecki, Recording Secretary

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500 West Big Beaver  
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troymi.gov

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planning@troymi.gov

## **PLANNING COMMISSION MEETING AGENDA REGULAR MEETING**

Marianna Perakis, Chair, Lakshmi Malalahalli, Vice Chair  
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,  
Dave Lambert and John J. Tagle

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**July 23, 2024**

**7:00 P.M.**

**Council Chambers**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – July 9, 2024
4. PUBLIC COMMENT – For Items Not on the Agenda

### **SPECIAL USE REQUEST**

5. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-003) - Proposed Starbucks with drive through, North side of Big Beaver, West of John R (1735 E. Big Beaver), Section 23, Currently Zoned CB (Community Business) Zoning District

### **PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0028) – Proposed John R Commons Townhome Development, West side of John R, North of Big Beaver (PIN 88-20-23-476-017), Section 23, Zoned MF (Multi-Family Residential) Zoning District
7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

### **OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda
9. PLANNING COMMISSION COMMENT
10. ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

7. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) –. Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

DATE: July 12, 2024

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District.

The petitioner Atto Construction submitted the above referenced Preliminary Site Plan application for a 54-unit townhome development. The property is currently zoned NN (Neighborhood Node “F”) Zoning District. Multi-family residential is permitted by right in this district, subject to height and setback limitations as well as transparency requirements. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The Planning Commission considered this item on April 23, 2024 and May 28, 2024 (minutes attached).

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Minutes from April 23, 2024 Planning Commission Regular meeting.
3. Minutes from May 28, 2024 Planning Commission Regular meeting.
4. Report prepared by Carlisle/Wortman Associates, Inc.
5. Preliminary site plan

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**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) –. Proposed Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District.

**Resolution # PC-2024-07-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, east of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be granted, subject to applicant the following:

\_\_\_\_\_ ) or

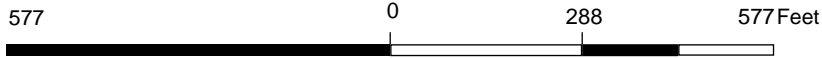
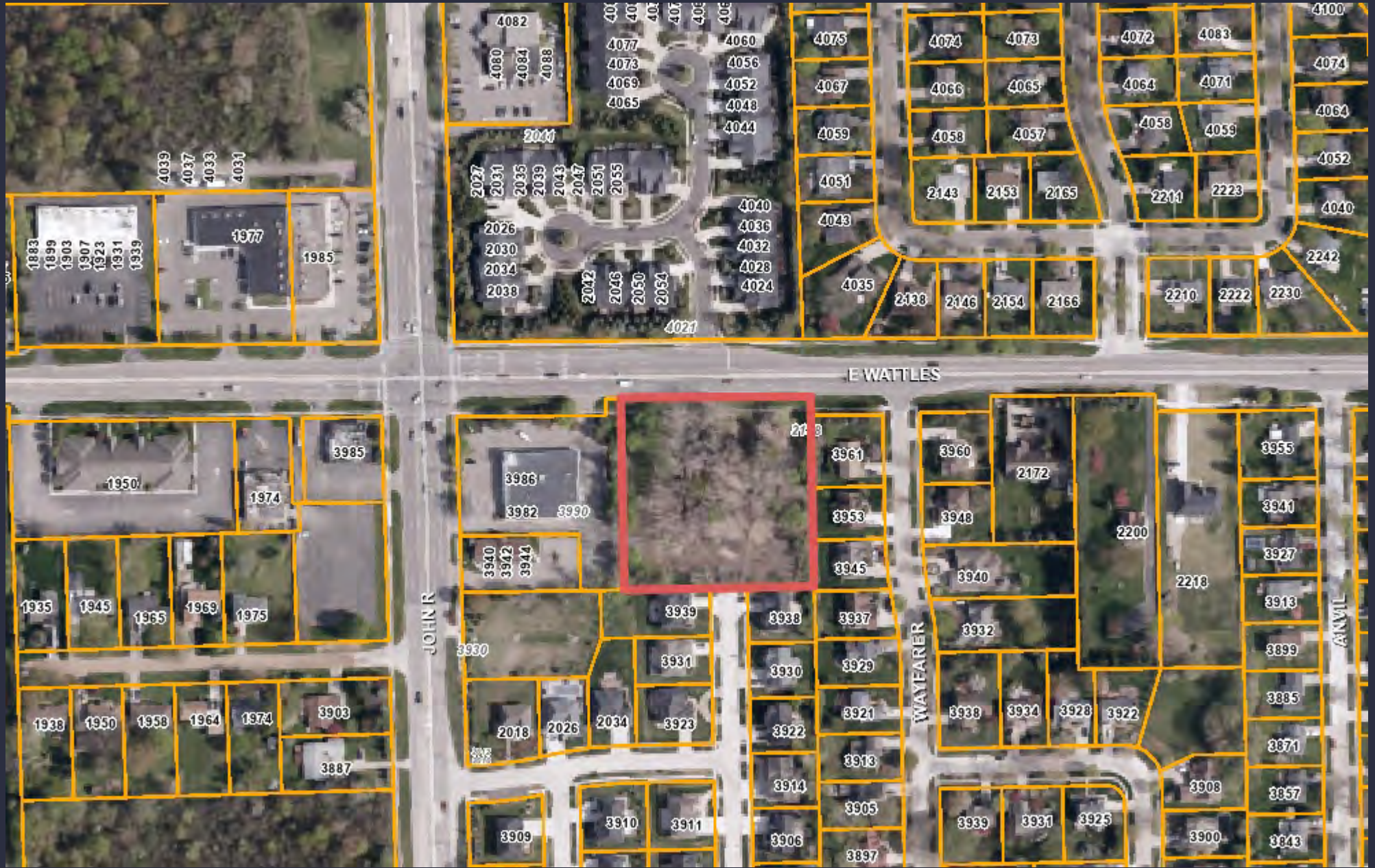
(denied, for the following reasons: \_\_\_\_\_ ) or

(postponed, for the following reasons: \_\_\_\_\_ )

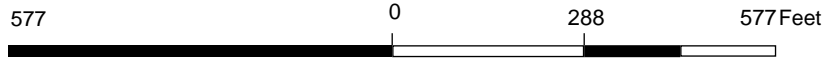
Yes:

No:

**MOTION CARRIED/FAILED**



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on April 23, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Also Present:

- R. Brent Savidant, Community Development Director
- Salim Huerta Jr., Commercial Project Collaborator
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-04-019**

Moved by: Faison  
Support by: Fox

**RESOLVED**, To approve the as prepared.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES – April 9, 2024

**Resolution # PC-2024-04-020**

Moved by: Buechner  
Support by: Lambert

**RESOLVED**, To approve the minutes of April 9, 2024 Regular meeting as submitted.

Yes: All present (9)

**MOTION CARRIED**

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

**PRELIMINARY SITE PLAN**

5. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Savidant provided background information on the Preliminary Site Plan application for Wattles Square Apartments. He addressed the intent of the Neighborhood Node “F” zoning district, how the application relates to the Master Plan and specific site design and building design attributes. Mr. Savidant said the application proposes a first true ‘garden style’ building concept where a portion of the ground floor is below grade. He said there was extensive dialogue between the administration and the applicant on building height, what constitutes a story and the Zoning Ordinance definition of a basement.

Mr. Savidant asked to go on record with an apology to the Planning Commission and to the applicant for some errors in the Planning Consultant report dated April 12, 2024. He stated the application itself is more compliant than what the report narrates. Mr. Savidant noted the application meets all parking requirements with an exception of adding a bicycle rack. He reported the parking lot island trees and tree replacement are compliant. Mr. Savidant noted the one row of landscaping proposed on the north side of the site would have to be removed for future right of way purposes.

Mr. Savidant reported the application does not meet the transparency requirements on the Wattles frontage and east and south facades. He noted though transparency requirements relate more to commercial use than residential use. He said the applicant is seeking Planning Commission approval to incorporate transparency alternatives, and the Planning Commission has the authority to grant flexibility of the transparency requirements. Mr. Savidant also reported there are safety concerns with the head-clearance of the first floor balconies and the lower level units below grade.

Mr. Savidant asked the Planning Commission to consider in its deliberations the following:

- Does the Planning Commission support the proposed transparency alternatives?
- Does the proposed garden level apartment style meet the Neighborhood Node design requirements?
- Does the Planning Commission support the proposed floor plans (including the community building), elevations and balcony clearance?

In summary, Mr. Savidant asked any approval to be subject to the applicant providing the required bicycle rack and to confirm transparency requirements (30%) on the south and east sides of the buildings. He said the Planning Commission may approve the transparency alternatives for the north elevation.

Some of the comments during discussion among the administration related to:

- Transparency requirements on all facades.
- Design and transparency requirements of front elevation in relation to right of way.
- Horizontal mixed use complies with the Neighborhood Node zoning district.
- Neighborhood Node zoning requirements with future adoption of the Master Plan.
- Safety concerns of balcony head-clearance and lower level units below grade.
- Confirmation that a flat roof is proposed for both buildings.
- Compliance of landscape requirements on north side with removal of landscaping along right of way.

Chair Perakis called a recess at 7:30 p.m. to allow the Information Technology department to resolve audio issues. Chair Perakis called the meeting back in session at 7:40 p.m.

Richard Atto, property owner of subject site and Rite Aid property to the west, introduced family members in the audience and project team members business partner Brian Najor, Landscape Architect Stacey Hadeed and Project Engineer Greg Bono. Mr. Atto gave a brief history of his family background and real estate/development career. He identified several design aspects he feels would be desirous of a potential resident that are incorporated in the development.

Mr. Atto said his short-term goal is to obtain a tenant for the vacant Rite Aid store and a long-term goal would be to potentially expand the development given any future changes in the Neighborhood Node zoning district.

Ms. Hadeed distributed handouts to the Planning Commission and gave a brief history of her career path. She addressed in detail the proposed development as relates to living units, building height and stories, landscaping, parking, traffic circulation, three dimensional views from several directional perspectives, roof design, elevations, outdoor amenities, transparency calculations, site design attributes, building materials and color scheme.

There was discussion, some comments related to:

- Parking, as relates to Rite Aid existing spaces, designated spaces for residents, walking distance to residential units.
- Proposed garden style units as relates to creativity, urban look, massing, unique design, low profile.
- Examples of similar apartment styles in the City with below grade lower level units.
- Community center amenities, as relates to arrangement of work-out area and social gathering space.
- Options to mitigate safety concerns of below grade lower level units and head-clearance of balconies.
- Transparency requirements; measures applicant could apply to meet requirements, consideration of alternative options.

- Approval of application would be conditioned on applicant combining the parcels, as noted on the site plan.
- Nonconforming status of vacant Rite Aid building as relates to Neighborhood Node zoning district if demolished and/or renovated.

Mr. Hutson stated he does not support the application because of the proposed below grade lower level units and floor plans.

Chair Perakis opened the floor for public comment.

- Susan Kuhn, 2172 E Wattles; addressed existing swampy land near Wayfarer Street connection to new homes on John R, parking, management of apartment complex.

Chair Perakis closed the floor for public comment.

Discussion continued among Board members on options applicant could take to mitigate safety concerns of the balconies, to mitigate safety concerns and install egress windows on below grade lower level units, to reconfigure floor space in the community center and to meet transparency requirements.

Mr. Najor said finding a good tenant to lease the Rite Aid property is a step in the right direction. He addressed the subjectivity of transparency requirements for residential use compared to commercial use. Mr. Najor said they will work with the City to mitigate any concerns discussed this evening and meet all code requirements for the egress windows and balconies to assure compliance.

**Resolution # PC-2024-04-021**

Moved by: Lambert

Seconded by: Faison

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District be postponed, for the following reasons:

1. To increase transparency on all sides of the units.
2. To address appropriate concerns on the first level balconies and lower level egress areas.
3. Add a bicycle rack.

Yes: All present (9)

**MOTION CARRIED**

Mr. Savidant informed the applicant of the specific transparency requirements for each elevation.

**OTHER ITEMS**

6. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

7. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments, some comments related to:

- Master Plan focus; parking, neighborhood node districts, North Troy zoning district.
- Potential future development of former K-Mart Headquarters site.
- Availability of Commissioners to attend May 28, 2024 Regular meeting.

8. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 9:25 p.m.

Respectfully submitted,



\_\_\_\_\_  
Marianna J. Perakis, Chair



\_\_\_\_\_  
Kathy L. Czarneski, Recording Secretary

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:08 (7:06) p.m. on May 28, 2024, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure of tonight’s meeting.

1. ROLL CALL

Present:

- Toby Buechner
- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis

Absent:

- John J. Tagle

Also Present:

- R. Brent Savidant, Community Development Director
- Salim Huerta Jr., Commercial Project Collaborator
- Allan Motzny, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2024-05-027**

Moved by: Faison

Support by: Fox

**RESOLVED**, To approve the agenda as prepared.

Yes: All present (8)

Absent: Tagle

**MOTION CARRIED**

3. APPROVAL OF MINUTES – May 14, 2024

**Resolution # PC-2024-05-028**

Moved by: Fox

Support by: Faison

**RESOLVED**, To approve the minutes of May 14, 2024 Regular meeting as amended.

Vote on the motion on the floor.

Yes: Buechner, Faison, Fox, Krent, Malalahalli, Perakis  
 No: Hutson, Lambert  
 Absent: Tagle

**MOTION CARRIED**

**PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN APPROVAL (JPLN2023-0031) – Proposed Wattles Square Apartments, South side of Wattles and East of John R (PIN 88-20-24-100-039), Section 24, Zoned NN (Neighborhood Node “F”) Zoning District

Mr. Savidant presented a brief background on the Wattles Square Apartments application and addressed the revisions to the site plan since last considered by the Planning Commission at their April 23, 2024 meeting. He said the applicant has provided transparency calculations that meet the requirements, reconfigured the first level balconies and lower level egress windows to address concerns of safety and aesthetics, and added a bicycle rack on the southwest corner of the north building.

Mr. Savidant asked the Planning Commission to consider in its deliberations the following:

- Compliance with Site Plan Review Design Standards set forth in Section 8.06.
- Evaluation of the revised balcony and egress window design.
- How well the proposed project meets the overall site and building design standards of the Neighborhood Node district.

Some of the comments during discussion among the administration related to:

- Egress window, compliance with Building Code, facilitation of exit in emergencies.
- Dimensions of the lower level walkout area and egress window.
- Stormwater management on site; engineering review during final site plan approval.
- Elevations as relates to ground level and basement.

Present were Richard Atto and Landscape Architect Stacey Hadeed.

Mr. Atto addressed dimensions of the egress window and walkout area, compliance with building codes, and the use of a concrete step and fence gate to facilitate an exit should there be an emergency. He said he is quite comfortable with the safety features provided in case of emergencies. Mr. Atto explained there is drain tile around the whole building and stone and/or pea gravel to facilitate the management of stormwater to the underground parking lot.

There was discussion, some comments related to:

- Number of apartment units required to be compliant with American Disabilities Act (ADA).
- Building Code requirements for bedrooms located in basement/lower level of home.
- Dimensions of walkout area, egress window, step, and fencing.
- Landscape screening/buffering in relation to adjacent single family homes.

A count was taken to determine the number of persons in the audience who were in support or in opposition of the proposed site plan application. There were 61 in opposition; none in support.

Chair Perakis opened the floor for public comment.

The following residents spoke in opposition to the proposed site plan application. The majority of concerns expressed related to: not a fit for the neighborhood; safety, particularly school children; intent of the Zoning Ordinance; traffic congestion; noise and light pollution; loss of privacy; mail delivery; trash removal; walkability and lack of sidewalks; tree preservation; connection to adjacent residential homes; desire for single family homes; transiency of apartment residents; safety of emergency exits; lack of green space.

- Peter Wilkins, 3905 Wayfarer; submitted signed petition.
- Susan Kuhn, 2172 E. Wattles.
- Colleen Helmick, 4151 Washington Crescent.
- Fred Przybysz, 3842 Wayfarer.
- Paul Leitheiser, 3897 Wayfarer.
- Padmanabhan Karatha, 2042 Applewood.
- Thiago Podolsky, 3885 Sandpiper.
- Anuratha Battula, 3930 Macaw Drive.
- Sonny Quan, 3922 Macaw Drive.
- Karen Beard, 2034 Applewood.
- Mahesh Patil, 3931 Macaw Drive.
- Katharine Mitropoulos, 3912 Anvil.
- Raja Durairajan, 3911 Macaw Drive.
- Ravi Bhamidipati, 3886 Sandpiper; submitted signed petition.
- Jeff Zaleski, 3791 Wayfarer.
- Theresa Drauch, 4097 Colonial.
- Sushma Guduguntla, 3914 Macaw Drive.
- Jason Zhang, 3953 Wayfarer.
- James Sharland, 3921 Wayfarer.

Chair Perakis closed the floor for public comment.

Mr. Savidant stated the proposed development is permitted by right. He said neither State nor local law requires notification to the public of a proposed by-right development.

Mr. Fox again shared the data of the U.S. Census survey relating to property values and home sales in communities with a mix of single family and multi-family homes. He said it is a false perception that multi-family developments attract crime and unsafe conditions.



Discussion continued on:

- Stormwater management.
- Traffic concerns, consideration to provide a traffic study.
- Connectivity to adjacent single family homes.
- Compliance with Site Plan Review Design Standards; Section 8.06.
- Concerns with transiency of apartment residents.
- Public amenities.
- Intent of Neighborhood Node zoning district.
- By-right development.
- Compliance with photometric plan.

**Resolution # PC-2024-05-030**

Moved by: Fox  
 Seconded by: Faison

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be granted, subject to the following:

1. The applicant providing a six (6) foot high privacy fence along the south and east property lines.

Discussion on the motion on the floor.

Section 8.06, 1, b. of the Site Plan Review Design Standards, *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony*, was discussed.

Vote on the motion on the floor.

Yes: Faison, Fox, Lambert, Perakis  
 No: Buechner, Hutson, Krent, Malalahalli  
 Absent: Tagle

**MOTION FAILED**

**Resolution # PC-2024-05-031**

Moved by: Fox  
 Seconded by: Malalahalli

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Wattles Square Apartments, located on the South side of Wattles, East of John R, Section 24, Zoned NN (Neighborhood Node “F”) Zoning District, be postponed, for a full board in attendance.

Yes: Buechner, Faison, Fox, Krent, Lambert, Malalahalli, Perakis  
 No: Hutson  
 Absent: Tagle

**MOTION CARRIED**

The Board members encouraged the applicant to provide a privacy fence on the south and east property lines, a general traffic study, a variety of architectural expression for the units that front Wattles, and a colored rendering.

Chair Perakis called for a recess at 9:45 p.m. The meeting reconvened at 9:58 p.m.

**SPECIAL USE APPROVAL**

- 7. PUBLIC HEARING - SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (SU JPLN2024-0006) – Proposed Jax Kar Wash, South side of Long Lake, East of Livernois (102 East Long Lake Road), Section 15, Currently Zoned NN (Neighborhood Node “M”) Zoning District

Mr. Lambert disclosed that his daughter is employed at the day care center east of the subject site. The Board members agreed there is no conflict of interest.

Mr. Savidant reviewed the Special Use Approval and Preliminary Site Plan application for a Jax Kar Wash. He addressed the number of vacuum spaces and stacking spaces, the proliferation of car washes in the City and the use of a water reclamation/recycling system.

Mr. Savidant referenced the applicant’s responses on the proposed number of vacuum stations, the use of a water reclamation/recycling system, and the proliferation of car washes in the City. He read into the record the applicant’s responses as cited on pages 5, 7 and 9 of the Planning Consultant Report dated May 21, 2024.

Mr. Savidant stated that while the subject property is still in the Neighborhood Node (NN) zoning district, the future land use for this site was removed from the Neighborhood Nodes in the newly adopted version of the Master Plan, and underlying zoning of those Neighborhood Nodes are to be determined.

Mr. Savidant asked the Planning Commission to consider in its deliberations the proposed use, consumer demand, and to consider any testimony heard at the public hearing. In summary, Mr. Savidant asked the Planning Commission to consider if the application is compliant with the Special Use and Site Plan Review Design Standards and to ask the applicant’s consideration to use a water reclamation/recycling system.

Vote on the motion on the floor.

Yes: Buechner, Faison, Hutson, Krent, Lambert, Perakis  
No: Fox, Malalahalli  
Absent: Tagle

**MOTION CARRIED**

**OTHER ITEMS**

8. PUBLIC COMMENT – For Items on the Agenda

Deborah Louzecky, 6327 Donaldson, spoke on Agenda Item #5, The Village of Hastings PUD. She addressed a desire that the proposed development created more of a village-like or downtown environment.

9. PLANNING COMMISSION COMMENT

There were general Planning Commission comments, some comments related to:

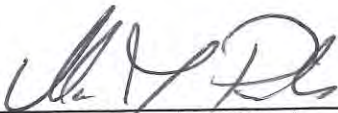
- Planning Commission access to public comment.
- Progress on hotel development at I-75 and Rochester Road.
- Compaction of trash in multi-family residential development.
- Proposed development at former K-Mart Headquarters property; informal presentation by applicant in June.

Mr. Savidant announced that the City Council adopted the Master Plan at their May 20, 2024 meeting. He shared information on a Michigan Association of Planners (MAP) meetup site visit at Palmer Park and a nearby LGBTQ community in Detroit.

10. ADJOURN

The Regular meeting of the Planning Commission adjourned at 11:26 p.m.

Respectfully submitted,



Marianna J. Perakis, Chair



Kathy L. Czarnecki, Recording Secretary



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 1, 2023  
Revised: February 7, 2024  
April 12, 2024  
May 14, 2024  
July 15, 2024

**Preliminary Site Plan  
For  
City of Troy, Michigan**

**Applicant:** Atto Construction  
**Project Name:** Wattles Square Apartment  
**Plan Date:** June 3, 2024  
**Location:** South side of Wattles, east of John R.  
**Zoning:** NN, Neighborhood Node, Site Type B  
**Action Requested:** Preliminary Site Plan Approval

**PROJECT AND SITE DESCRIPTION**

An application has been submitted for a proposed multiple family stacked flat project along the south side of Wattles, east of John R. The site is approximately 2 acres in area and is currently vacant but encumbered with tree cover. The site is directly east of an existing RiteAid and abuts residential uses on its north, east, and south sides.

The applicant proposes a total of 57 units, divided into two (2) buildings. The first building is directly adjacent to Wattles and the second building is set behind the first. The buildings are stacked flats totaling three (3) stories, but we note that the applicant has lowered the grade of the site so the first story is below grade. The level below grade (noted as “garden level”) and the level above (noted as “first floor”) are one unit. The third level (noted as “second floor”) is a separate unit.

The proposed development is heavily intertwined with the RiteAid site to the east. The applicant is utilizing a portion of the existing RiteAid site for sidewalks, open space, five (5) parking spaces, and a shared dumpster/recycling enclosure. Furthermore, the applicant proposes to convert a 500 sq/ft section of the existing RiteAid building into a community building for tenants. The existing RiteAid site is owned by the same owner and they will combine the lots to make them one zoning lot.

The site is zoned NN, Neighborhood Node. The proposed multiple family residential use is permitted in the NN, Neighborhood Node, Site Type B.

Location of subject site:

South side of Wattles, east of John R.

**Location and Aerial Image of Subject Site**



Size of subject site:

The property is approximately 2 acres in area.

Proposed use of subject site:

The proposed use is for 56 apartment units.

Current use of subject site:

The property is currently vacant.

Current Zoning:

The property is currently zoned NN, Neighborhood Node, Site Type B.

Surrounding Property Details:

Direction	Zoning	Use
North	NN, Neighborhood Node	Attached Residential
South	R1-C, One Family Residential District	Single Family Residential
East	R1-C, One Family Residential District	Single Family Residential
West	NN, Neighborhood Node	RiteAid

**PREVIOUS PLANNING COMMISSION REVIEWS**

The items was first last by the Planning Commission on May 28, 2024. The item was postponed to have a full board in attendance. In addition, the Board members encouraged the applicant to provide a privacy fence on the south and east property line, a general traffic study, a variety of architectural expression for the units that front on Wattles, and a colored rendering.

**CHANGES SINCE PLANNING COMMISSION REVIEW**

Since the last meeting the applicant has provided the following:

- Fence detail: The applicant has provided a six-foot tall stockade wood fence. The fence is proposed along the eastern and southern property lines.
- Traffic memo: a traffic memo was completed by OHM. A summary of the memo:

*The table below provides the calculated number of trips generated for the Wattles Square site, based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, for Multifamily Housing (Low-Rise) (ITE Land Use Code #220).*

**Table 1. Trips Generated**

Dwelling Units	AM Peak			PM Peak		
	In	Out	Total	In	Out	Total
54	10	30	40	28	16	44

*During the morning (AM) peak hour, the Wattles Square site generates 40 vehicle trips: 10 inbound (entering the site), and 30 outbound (exiting the site). During the evening (PM) peak hour, the site generates 44 vehicle trips: 28 inbound (entering the site), and 16 outbound (exiting the site).*

*Overall, the amount of traffic generated from this proposed site will not provide significant impacts to Wattles Road, John R Road, or the surrounding roadway network.*

- Revised elevations and colored rendering: The applicant has revised the front elevations (fronting Wattles) to provide more architectural variety and increase transparency. In addition, the applicant has provided a set of colored renderings.



July Elevations

## SITE PLAN REVIEW STANDARDS

Section 8.06 outlines Site Plan Review Design Standards.

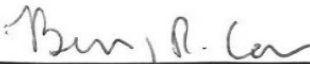
1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
  - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
  - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
  - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
  - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
  - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
  - c. *Develop buildings with creativity that includes balanced compositions and forms.*

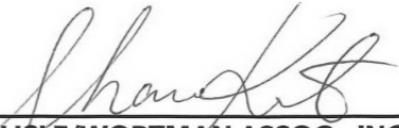
- d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
  - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
  - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
- a. *Provide elements that define the street and the pedestrian realm.*
  - b. *Create a connection between the public right of way and ground floor activities.*
  - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
  - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
  - e. *Improve safety for pedestrians through site design measures.*

## SUMMARY

The Planning Commission should consider compliance with the Site Plan Review standards set forth in Section 8.06.

Sincerely,

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, AICP, LEED AP**  
**President**

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Shana Kot**  
**Community Planner**



# memorandum

**Date:** April 11, 2024

**To:** Scott Finlay, PE

**From:** Stephen Dearing, PE, PTOE & Lauren Hull, EIT

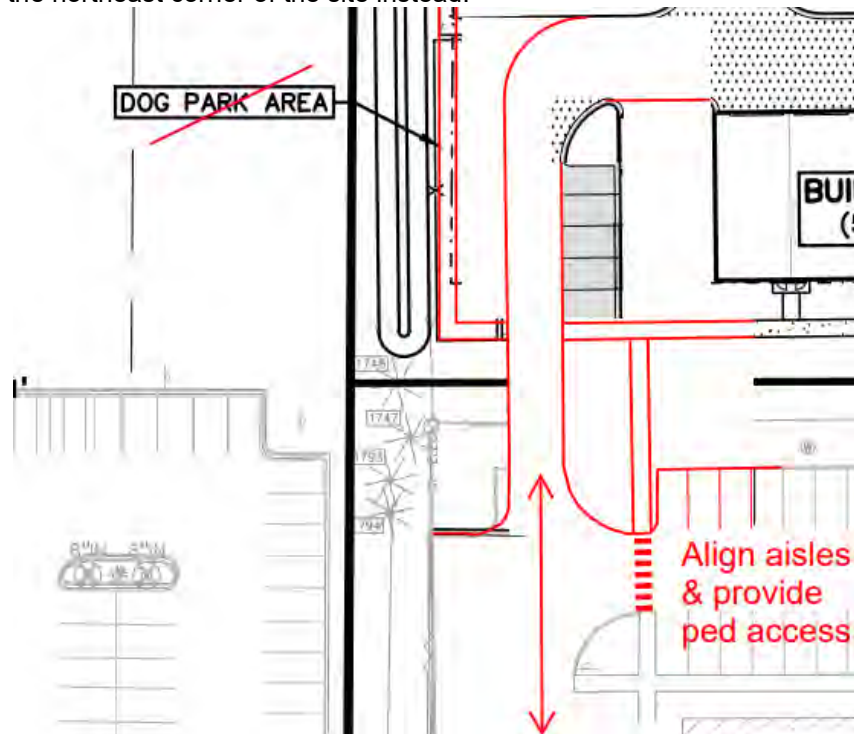
**Re:** Proposed John R Commons Townhome Development  
Site Plan Review

We have reviewed the site plan for the proposed John R Commons Townhome development in Troy, Michigan. The plans were prepared by PEA Group and are dated March 1, 2024.

OHM's comments are as follows:

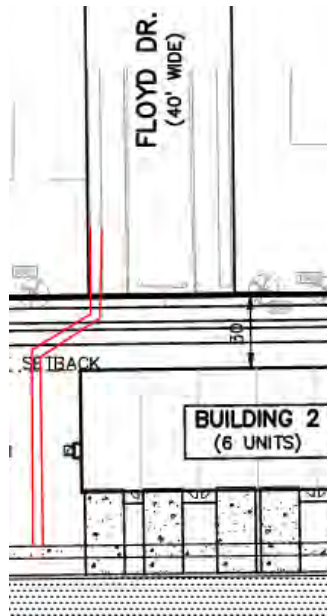
1. Site Plan:

- a. Align the aisles and provide pedestrian access between sites. The dog park can be relocated to the northeast corner of the site instead.

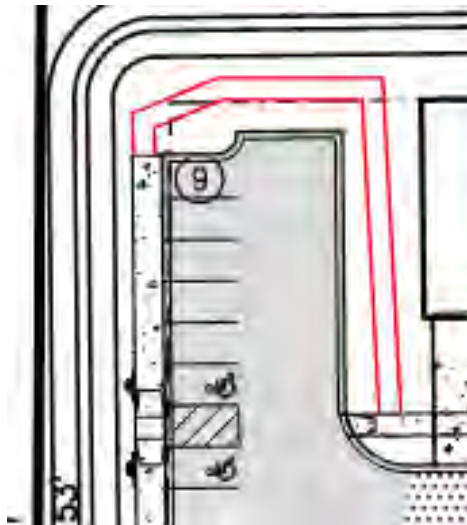




- b. Provide a sidewalk connection to Floyd as a school walking route to the neighborhood elementary school.



- c. Provide a sidewalk connection as shown below.



- d. Sidewalk should be dimensioned. Additionally, any sidewalk adjacent to parking spaces needs to be at least 7 feet wide since there is the possibility of vehicle overhang.
- e. The east driveway needs to be dimensioned.
- f. Provide sidewalk along Nancy Bostick Drive connecting to the existing sidewalk along John R Road. Included with this, add a crosswalk across the east driveway.
- g. The west driveway seems to eliminate several parking spaces for the adjacent site. Has this been agreed upon/coordinated with the adjacent site?

# July 23, 2024 Troy PC meeting Wattles Square Apartments

East Wattles & John R. Road, Troy MI

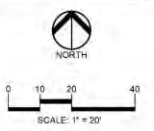


**KEY:**

- = PROPOSED DECIDUOUS TREES
- = PROPOSED EVERGREEN TREES
- = IRRIGATED SOD LAWN

LETTER DESIGNATION FOR ORDINANCE REQUIRED MATERIAL

- S = SCREENING LANDSCAPING
- O = GREENBELT TREES
- P = PARKING LOT TREES
- R = REPLACEMENT TREES
- - - - = TREE PROTECTION FENCE



**811** Know what's below. Call before you dig.



CLIENT  
**ATTO CONSTRUCTION, INC.**  
 2102 FRANKLIN ROAD  
 ROCKFORD, IL 60087

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
 E WATTLES RD & JOHN R. RD.  
 ROCKFORD, IL

REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/21	SITE COMMENTS
2	12/23/21	SITE PLAN APPROVAL
3	1/26/22	CITY COMMENTS
4	6/3/24	CITY COMMENTS

ORIGINAL ISSUE DATE  
 SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE
DRAWING NUMBER:	

**LANDSCAPE CALCULATIONS:**  
 PER CITY OF TROY ZONING ORDINANCE:  
 ZONING: NEIGHBORHOOD HOUSES (NH) - HOME F  
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL

**SCREENING (S)**  
 GROUP 2: RESIDENTIAL/LODGING USES ABUT GROUP 1: RESIDENTIAL USES. SCREEN ALT 1 OR 2 REQUIRED. SCREEN ALT ≥ 1 LARGE EVG TREE PER 10 LF  
 REQUIRED: SOUTH BOUNDARY: 378.4 LF / 10 = 38 EVG TREES  
 EAST BOUNDARY: 278 LF / 10 = 28 EVG TREE

**PROVIDED:** SOUTH BOUNDARY: 38 EVG TREES  
 EAST BOUNDARY: 28 EVG TREES  
 AND 6' HT OPAQUE SCREEN FENCE

**PARKING LOT LANDSCAPE (P)**  
 1 TREE PER 8 PARKING SPACES  
 LANDSCAPING TO BE 5' FROM CURB WHERE THERE IS VEHICLE OVERHANG AND 3' WHERE THERE IS NOT.  
 REQUIRED: 108 PARKING SPACES / 8 = 14 DEC TREES  
 PROVIDED: 14 DEC TREES

**GREENBELT (WATTLES RD) (O)**  
 1 DEC TREE PER 30 LF OF FRONTAGE ABUTTING A PUBLIC ROW  
 REQUIRED: 308.01 LF / 30 = 11 TREES  
 PROVIDED: 11 TREES SOUTH SIDE OF SIDEWALK ADJACENT TO WATTLES RD. OUTSIDE THE R.O.W.

**GENERAL SITE LANDSCAPE**  
 23% OF THE TOTAL SITE AREA IS TO BE LANDSCAPED  
 REQUIRED: 93,561 SF SITE AREA X 20% = 18,712.2 SF LANDSCAPED AREA  
 PROVIDED: 32849.6 SF LANDSCAPED AREA (35%)

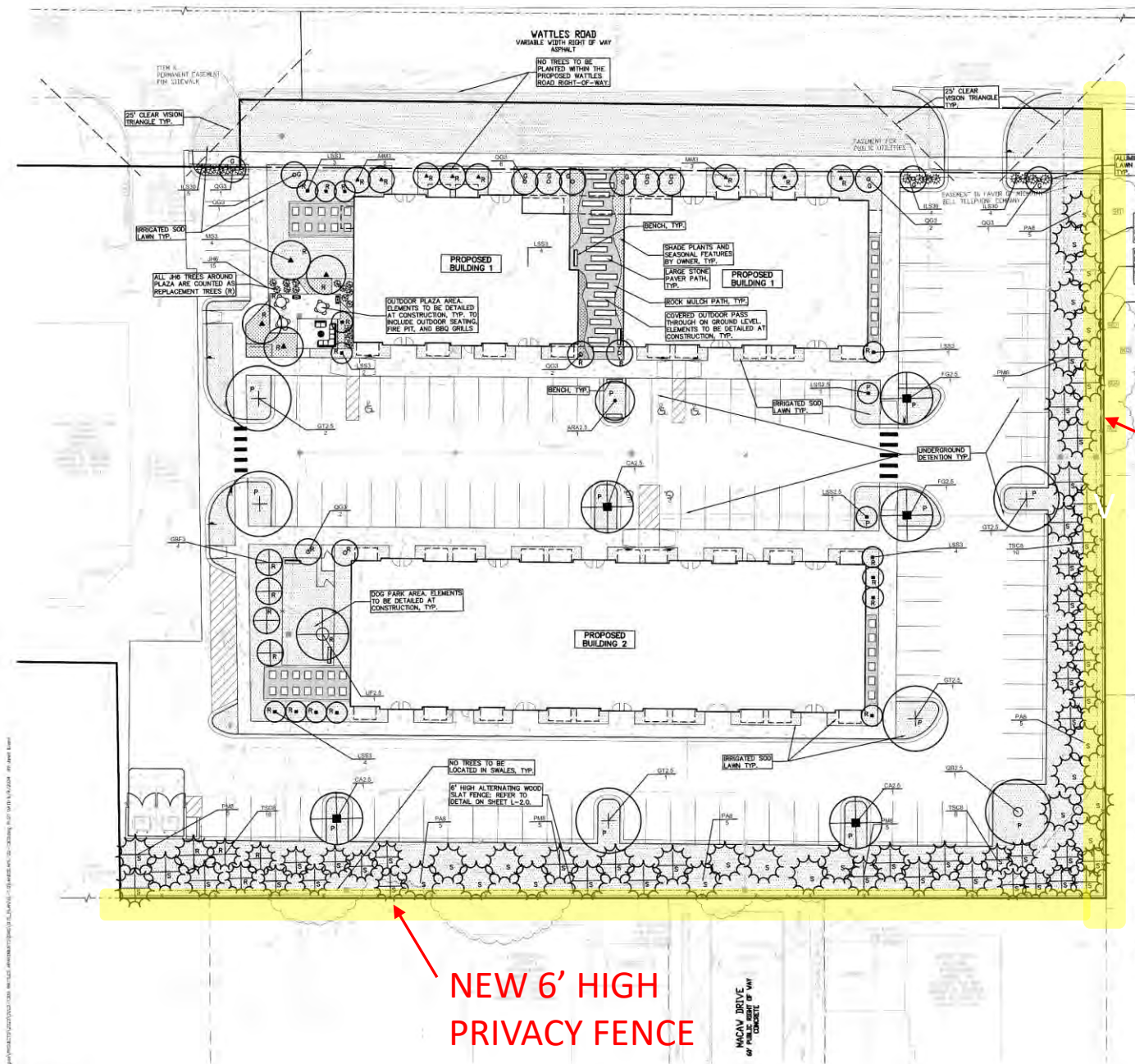
**TREE REPLACEMENT (R)**  
 WOODLAND TREES: WOODLAND TREES REMOVED (12 TREES); REPLACE AT 50% OF REMOVED DBH  
 137" DBH X 5 = 69" REPLACEMENT  
 WOODLAND TREES SAVED (0 TREES); CREDIT OF 2X DBH  
 0" DBH X 2 = 0" CREDIT  
 69" - 0" = 69" REPLACEMENT REQUIRED

**LANDMARK TREES:** LANDMARK TREES REMOVED (4 TREES); REPLACE AT 100% OF REMOVED DBH  
 85" DBH X 1 = 85" REPLACEMENT  
 LANDMARK TREES SAVED (0 TREES); CREDIT OF 2X DBH  
 0" x 2 = 0" CREDIT  
 85" - 0" = 85" REPLACEMENT REQUIRED

**TOTAL REPLACEMENT TREES:**  
 69" + 85" = 154" DBH REPLACEMENT REQUIRED  
 PROVIDED: 34, 3" DEC TREES = 34 X 3" DBH = 102" DBH  
 1, 2.5" DEC TREE = 1 X 2.5" DBH = 2.5" DBH  
 15, 6" EVG TREES = 15 X 2.5" DBH = 37.5" DBH  
 4, 8" EVG TREES = 4 X 3.5" DBH = 14" DBH  
 156" TOTAL DBH PROVIDED

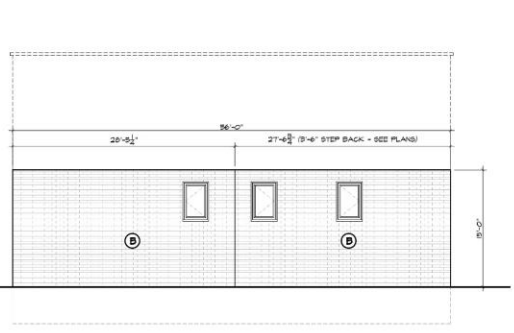
**PLANT SCHEDULE SITE**

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
<b>DECIDUOUS TREES</b>					
AR22	1	ACER RUBRUM / ARMSTRONG / ARMSTRONG RED MAPLE	2.5" CAL.	8.5B	PER PLAN
CA2.5	3	CORNUS CANADENSIS / AMERICAN HORNBEAM	2.5" CAL.	8.5B	PER PLAN
FG2.5	2	FAGUS GRANDIFOLIA / AMERICAN BEECH	2.5" CAL.	8.5B	PER PLAN
GBF3	4	GINKGO BILOBA FASTIGIATA / FASTIGIATE MAHONIA TREE	2" CAL.	8.5B	PER PLAN
Q12.5	5	QUERCUS TRUNCATIGERA / WHITE OAK / SILVER LEAFED HONEY LOCUST	2.5" CAL.	8.5B	PER PLAN
LS2.5	2	LIGULIDARUM STYRACIFLUA / SLENDER SILHOUETTE SWEET GUM	2.5" CAL.	8.5B	PER PLAN
LS23	14	LIGULIDARUM STYRACIFLUA / SLENDER SILHOUETTE SWEET GUM	3" CAL.	8.5B	PER PLAN
Q2.5	1	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5" CAL.	8.5B	PER PLAN
Q23	15	QUERCUS ROBUR / ALBA / SPANISH OAK / SPANISH GEMSEA OAK	2" CAL.	8.5B	PER PLAN
U2.5	48	ULMUS X FRAXINUS / FRONTIER ULM	2.5" CAL.	8.5B	PER PLAN
		SUBTOTAL			
<b>EVERGREEN TREES</b>					
PA6	20	PICEA ABIES / NORWAY SPRUCE	8" HT.	8.5B	PER PLAN
PN6	22	PRINUS NERIZIENSIS / DOUGLASS FIR	8" HT.	8.5B	PER PLAN
TS28	28	TSUGA CANADENSIS / EASTERN HEMLOCK	8" HT.	8.5B	PER PLAN
		SUBTOTAL			
<b>ORNAMENTAL TREES</b>					
MR2	1	MAHONIA X JARMINI / MARILEES CRABAPPLE	3" CAL.	8.5B	PER PLAN
MS3	4	MALUS X SUTYZAMI / SUGAR TREES CRABAPPLE	3" CAL.	8.5B	PER PLAN
		SUBTOTAL			
<b>SHRUBS</b>					
LE13	13	ILEX GLABRA / SHAMROCK / SHAMROCK, INKBERY HOLLY	30" H1	CONT	8" O.C.
JM6	15	JUNIPERUS CHINENSIS / HETZI COLUMNARIS / HETZI COLUMN JUNIPER	8" HT.	8.5B	30" O.C.
		SUBTOTAL			

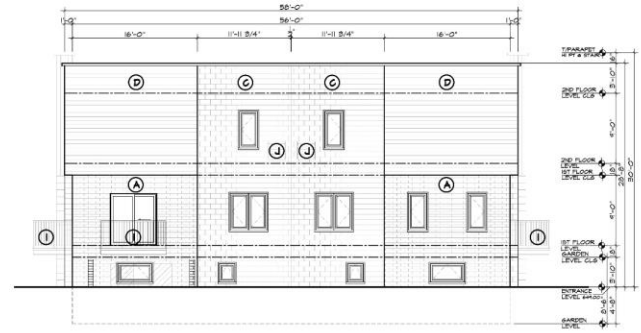


**NEW 6' HIGH PRIVACY FENCE**

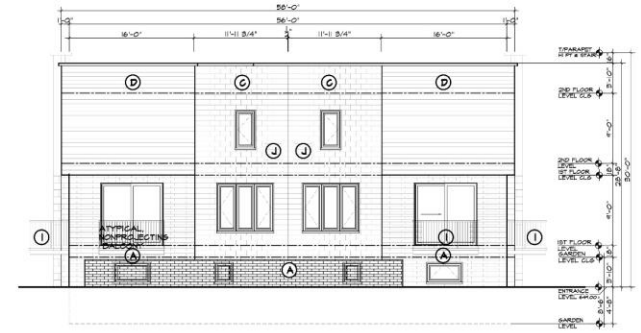
MAINT. DRIVE  
 6' PUBLIC RIGHT OF WAY  
 CURBSET



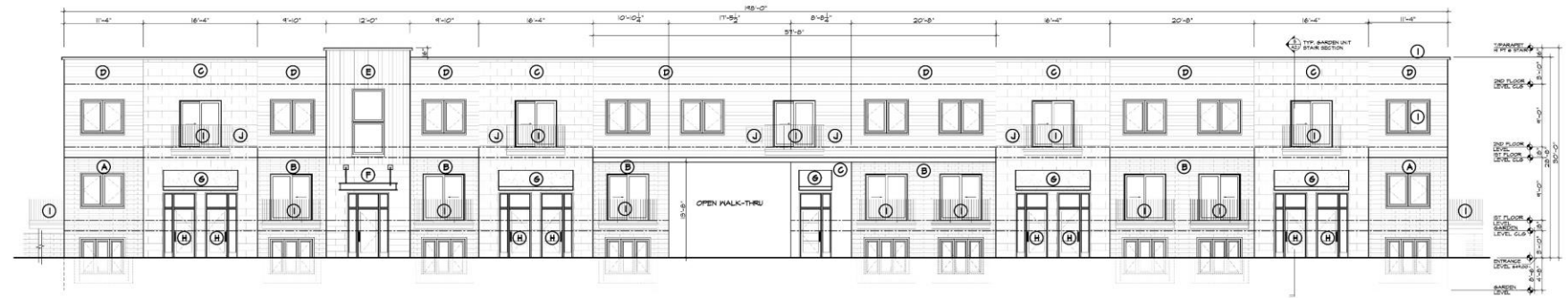
**5 BLDG. 1 WEST WALK-THRU ELEVATION**  
 (EAST ELEVATION SAME W/O STEPPED WALL)  
 Scale: 1/8" = 1'-0"



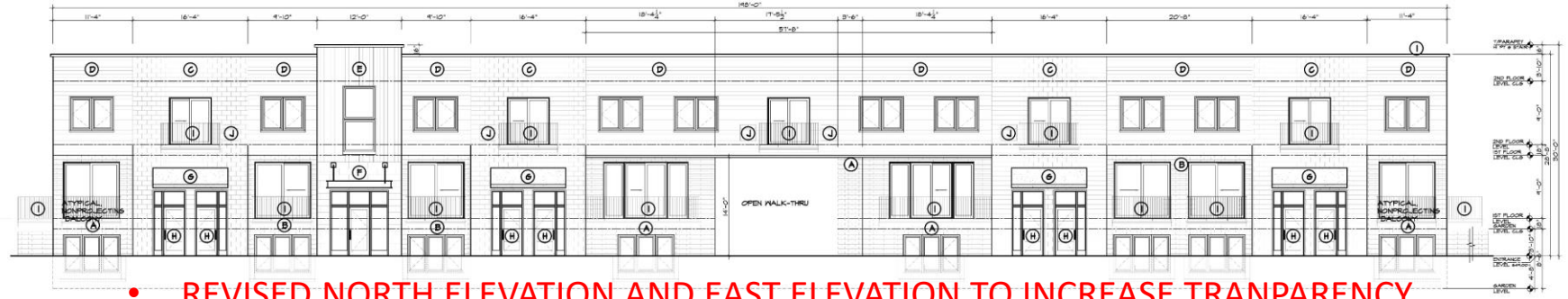
**4 BLDG. 1 WEST ELEVATION**  
 Scale: 1/8" = 1'-0"



**3 BLDG. 1 EAST ELEVATION**  
 Scale: 1/8" = 1'-0"



**2 BLDG. 1 SOUTH ELEVATION**  
 Scale: 1/8" = 1'-0"



**1 BLDG. 1 NORTH ELEVATION**  
 Scale: 1/8" = 1'-0"

**• REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY**

**EXTERIOR MATERIALS**

- EXTERIOR BLIND MATERIAL LEGEND**  
 SEE LIST AND GET COLOR SAMPLES
- A. 12" X 4" H BRICK VENEER  
MEDIUM GRAY COLOR
  - B. 12" X 4" H BRICK VENEER  
VERY LIGHT GRAY COLOR
  - C. 16" X 8" H BURNISHED SMOOTH  
CONCRETE BLOCK LIGHT GREYH COLOR
  - D. 6" H HORIZONTAL METAL SIDING  
MEDIUM CHARCOAL WOOD GRAIN
  - E. 6" H VERTICAL METAL SIDING  
LIGHT PALMWOOD GRAIN
  - F. 2'-0" X 10" X 10" 8/4" H STONE VENEER  
LIGHT GRAY COLOR
  - G. COMMERCIAL GRADE CANVAS AWNING  
MARINE BLUE COLOR
  - H. RESIDENCE ENTRY DOORS  
LIGHT PALMWOOD GRAIN
  - I. BLACK COLOR  
WINDOWS & DOOR FRAMES  
METAL BALCONY & RAILINGS  
METAL CANOPY AT 2ND FLR STAIR ENTRY  
METAL PARAPET COPING
  - J. 2ND FLOOR HVAC GRILLE COLOR TO MATCH  
ADJACENT WALL MATERIAL COLOR

CITY CODEBOOK	05/04/21
CITY CODEBOOK	06/04/21
SITE PLAN APPROVAL	05/20/20
PERMITS (2 PARTS)	07/02/20
NO. COMMENTS	

WATTLES SQUARE APARTMENTS  
 EAST WATTLES ROAD  
 TROY, MI

BUILDING 1  
 EXTERIOR ELEVATIONS

A2.0



- REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY



- REVISED NORTH ELEVATION AND EAST ELEVATION TO INCREASE TRANSPARENCY

The material palette of the architectural design is varied, including:

- 2 brick types
- burnished block
- Stone veneer
- 2 types of metal siding.

EXTERIOR MATERIAL COLOR SAMPLES:



EXTERIOR BLDG. MATERIAL LEGEND:

- A. 12" W. X 4" H. BRICK VENEER  
MEDIUM GRAY COLOR
- B. 12" W. X 4" BRICK VENEER  
VERY LIGHT GRAY COLOR
- C. 16" W. X 8" H. BURNISHED SMOOTH  
CONCRETE BLOCK LIGHT CREAM COLOR
- D. 6" H. HORIZONTAL METAL SIDING  
MEDIUM CHARCOAL WOOD GRAIN
- E. 6" H. VERTICAL METAL SIDING  
LIGHT WALNUT WOOD GRAIN
- F. 2'-8" W. X 10 3/4" H. STONE VENEER  
LIGHT GRAY COLOR
- G. COMMERCIAL GRADE CANVAS AWNING  
MARINE BLUE COLOR
- H. RESIDENCE ENTRY DOORS  
LIGHT WALNUT WOOD GRAIN
- I. BLACK COLOR:  
WINDOW & DOOR FRAMES  
METAL BALCONY & RAILINGS  
METAL CANOPY AT 2ND FLR STAIR ENTRY  
METAL PARAPET COPING
- J. 2ND FLOOR HVAC GRILLE COLOR TO MATCH  
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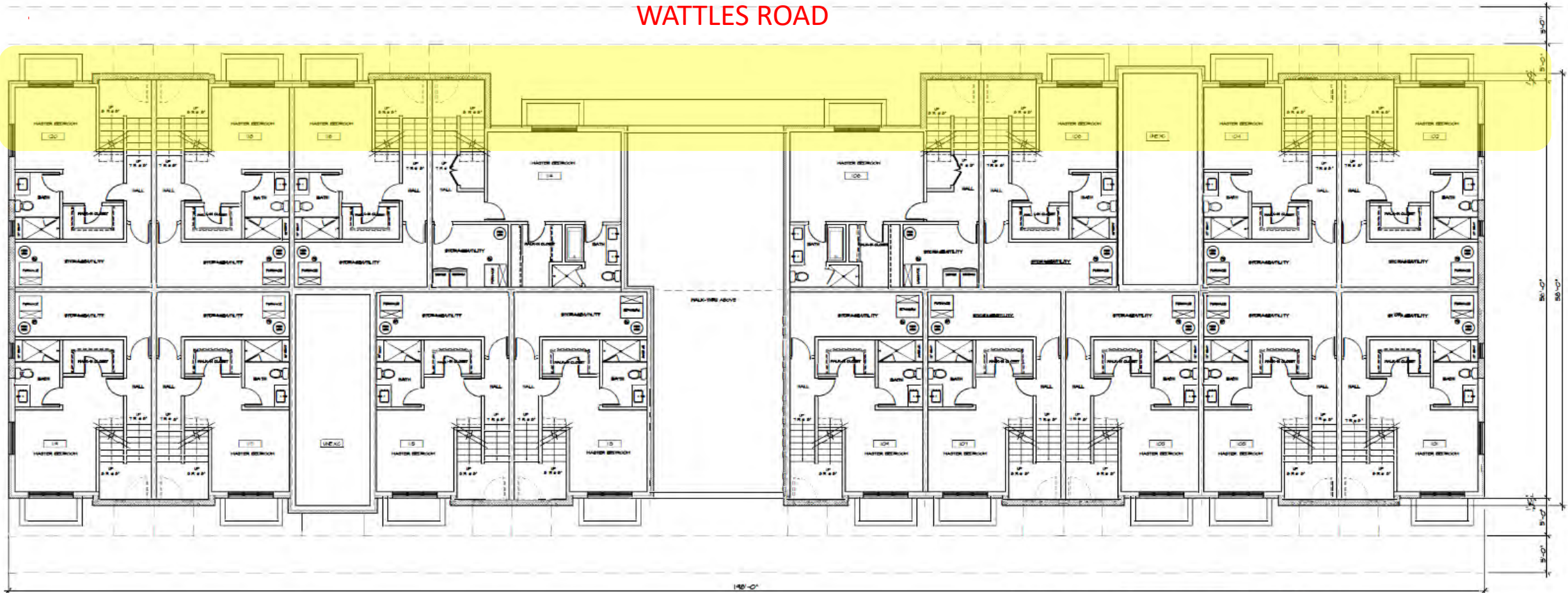




Wattles Square Apartments

The street front facade has a variety of architectural expression, with a façade that steps in and out and transitions materially both horizontally and vertically, causing unique shadow lines, color contrast, and texture changes.

## WATTLES ROAD



Garden Level Plan  
Scale: 1/8" = 1'-0"  North

# VIEW AT OUTDOOR PLAZA





*“MASTER PLAN”*

*We sincerely believe that we meet the intended purpose of the neighborhood node category.*

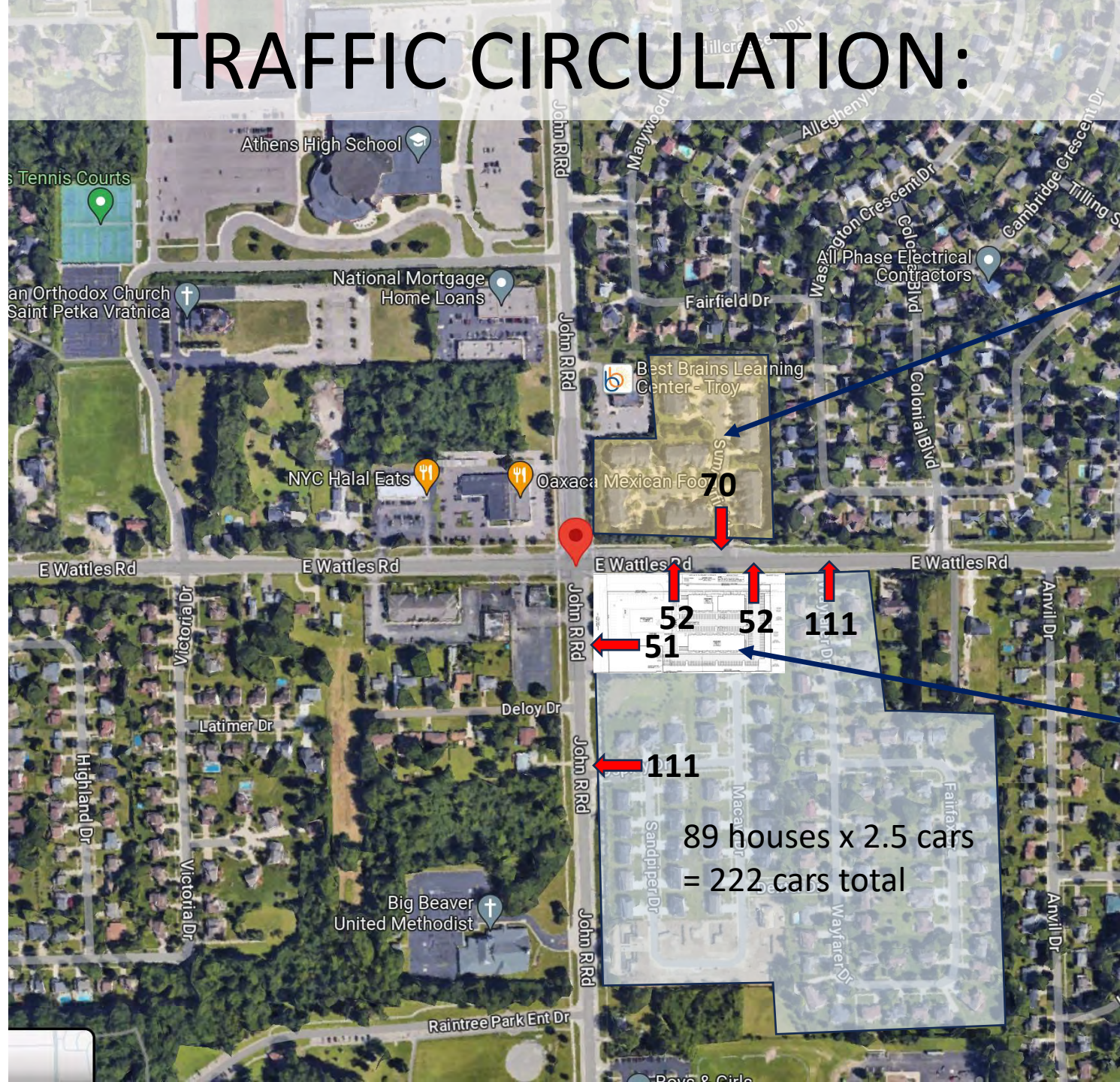
*Multifamily apartment buildings inherently support social neighborhoods through increased density. This increased density creates a robust and livable community. For our site, being surrounded by single family homes, this results in a more diverse community. Additionally, our neighborhood node is a site, that will be combined with the neighboring commercial retail site (formerly Rite Aid). It is a mixed use project.*

*We are providing gathering places for residents and their guests with the community patio, and the dog park, and the “pass through” garden space which will include landscaping and benches, in the center of Building 1.*

*Basic living needs for residents will be provided through the apartment building and site, while also generous outdoor areas and on site parking will also be provided for residents. Residents will have access to multiple services provided on site necessary for daily living. Furthermore, the project location lends itself to easy and walkable access to nearby retail and has close proximity to services provided by the City of Troy.*



# TRAFFIC CIRCULATION:

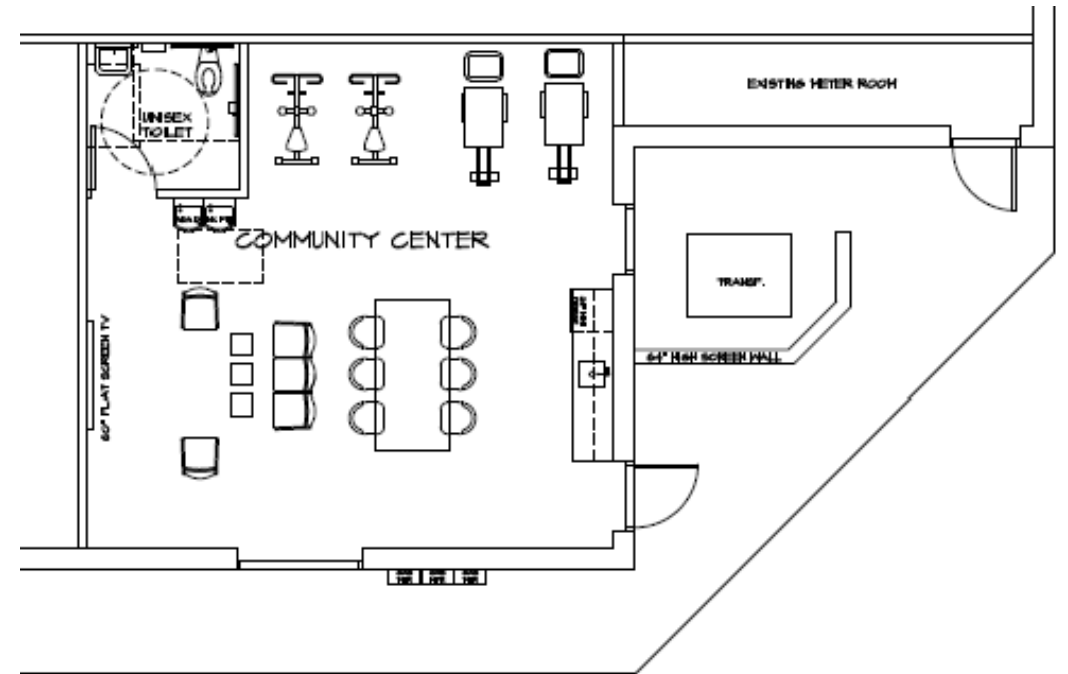


35 units x 2 cars  
= 70 cars total

PROPOSED:  
155 spaces.  
(52+52+51)  
Max 155 cars

89 houses x 2.5 cars  
= 222 cars total

*The Community Building space, which will include a minimum of 500-600 SF, will be a vibrant and welcoming gathering place for residents to meet and mingle. It can support health and wellness activities, fitness equipment, a lounge space for television viewing, and more. It will be flexible and adaptable to support the various needs of the resident community.*



Community Center Plan  
Scale: 1/4" = 1'-0"





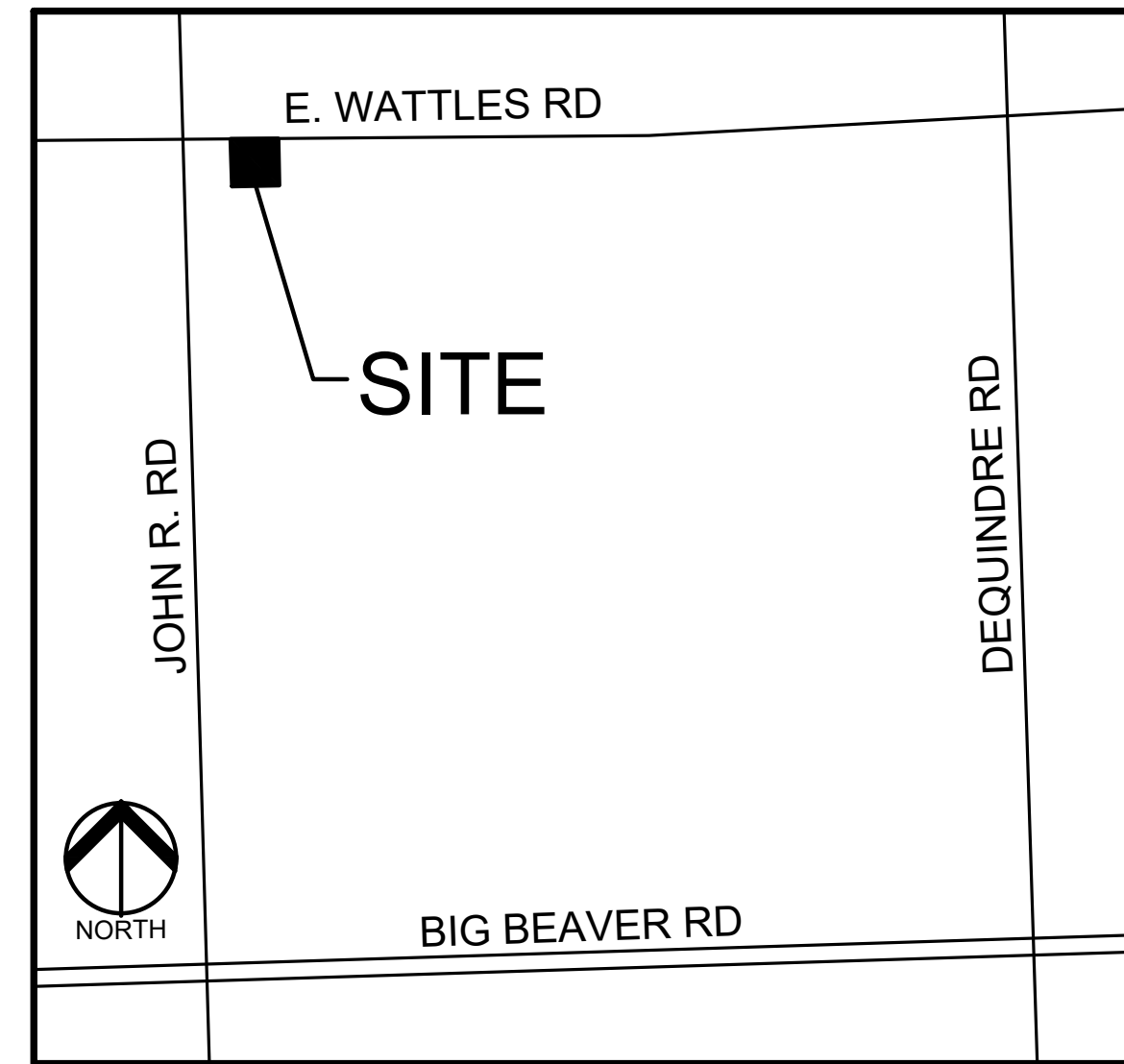
THANK YOU! QUESTIONS?

PRELIMINARY SITE PLANS

# WATTLES SQUARE APARTMENTS

E. WATTLES ROAD & JOHN R. ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



LOCATION MAP  
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	OVERALL SITE PLAN
C-2.1	PRELIMINARY SITE PLAN
C-3.0	PRELIMINARY GRADING PLAN
C-4.0	PRELIMINARY UTILITY PLAN
C-5.0	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS
T-1.0	TREE PLAN
T-1.1	TREE LIST
L201	PHOTOMETRIC PLAN
ARCHITECTURAL PLANS	
A0.0	BUILDING 1 NORTH EXTERIOR ELEVATION
A1.1	TWO LEVEL UNIT FLOOR PLANS - BUILDING 1
A1.2	TWO LEVEL UNIT FLOOR PLANS - BUILDING 2
A1.3	2ND FLOOR SINGLE LEVEL UNITS - BUILDINGS 1 & 2
A2.0	BUILDING 1 EXTERIOR ELEVATIONS
A2.1	BUILDING 2 EXTERIOR ELEVATIONS
CC1.0	COMMUNITY CENTER PLAN

DESIGN TEAM

<b>DEVELOPER</b>	<b>CIVIL ENGINEER</b>
ATTO CONSTRUCTION 2150 FRANKLIN ROAD BLOOMFIELD HILLS, MI 48302 CONTACT: RICHIE ATTO EMAIL: ATTONATION@MSN.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: GREG BONO, PE PHONE: 844.813.2949 EMAIL: GBONO@PEAGROUP.COM
<b>ARCHITECT</b>	<b>LANDSCAPE ARCHITECT</b>
HARRY SWIHART ARCHITYPE 21643 SHIAWASSEE DR. CASSAPOLIS, MI 49031 CONTACT: HARRY SWIHART PHONE: 312.758.7037 EMAIL: HSARCHITYPE@COMCAST.NET	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	9/22/2023
CITY COMMENTS	11/15/2023
SITE PLAN APPROVAL	12/5/2023
CITY COMMENTS	3/6/2024
CITY COMMENTS	6/3/2024



NOT FOR CONSTRUCTION

**FLOODPLAIN NOTE:**  
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C05536, EFFECTIVE DATE OF JANUARY 16, 2009.

**TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:**  
 TOPOGRAPHIC AND BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, EXISTING ELEVATIONS, EXISTING PHYSICAL FEATURES AND STRUCTURES WAS PROVIDED BY CORE LAND CONSULTING.  
 PEA GROUP WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS/OMISSIONS RESULTING FROM SURVEY INACCURACIES.

**LEGEND:**

- FOUND MONUMENT (AS NOTED)
- SECTION CORNER
- ⊙ SET 1/2" REBAR & CAP
- ⊕ SQUARE CATCH BASIN
- ⊗ STORM MANHOLE
- ⊘ ROUND CATCH BASIN
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER MANHOLE
- ⊙ SEWER MANHOLE
- UTILITY POLE
- SINGLE POST SIGN
- ADJOINING BOUNDARY LINE
- EDGE OF ASPHALT
- BOUNDARY LINE
- BUILDING
- EDGE OF CONCRETE
- CONCRETE CURB
- EDGE OF METAL
- OVERHEAD UTILITY LINE
- GUARDRAIL
- PLATTED SUBDIVISION
- ROAD CENTERLINE
- SECTION LINE
- SEWER LINE
- EDGE OF SIDEWALK
- STORM DRAIN LINE
- WALL (AS NOTED)
- WATER MAIN

**PEA GROUP**  
 t: 844.813.2949  
 www.peagroup.com

STATE OF MICHIGAN  
 GREGORY MICHAEL BONO  
 LICENSE NO. 63010-4433  
 PROFESSIONAL ENGINEER

NORTH

0 10 20 40  
 SCALE: 1" = 20'

**BENCHMARKS (NAVD83)**

BM #1  
 ARROW ON HYDRANT LOCATED ON NORTH SIDE OF WATTLES ROAD ±638 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 649.24

BM #2  
 MAG NAIL IN SOUTH FACE OF TREE LOCATED ON NORTH EDGE OF WALK ON SOUTH SIDE OF WATTLES ROAD ±472 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 647.68

BM #3  
 ARROW ON HYDRANT LOCATED NORTHEAST CORNER OF PARCEL LOCATED ±332 FEET EAST OF CENTERLINE OF JOHN R. RD.  
 ELEV. - 647.68

**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. YOU GUARANTEE AS EITHER EMPLOYEE OR OWNER AS TO THE COMPLETENESS AND ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

**LOCATION MAP**

**811. Know what's below. Call before you dig.**

**CLIENT**  
**ATTO CONSTRUCTION, INC.**  
 2150 FRANKLIN ROAD  
 BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
 E. WATTLES RD. & JOHN R. RD.  
 TROY, MI 48063

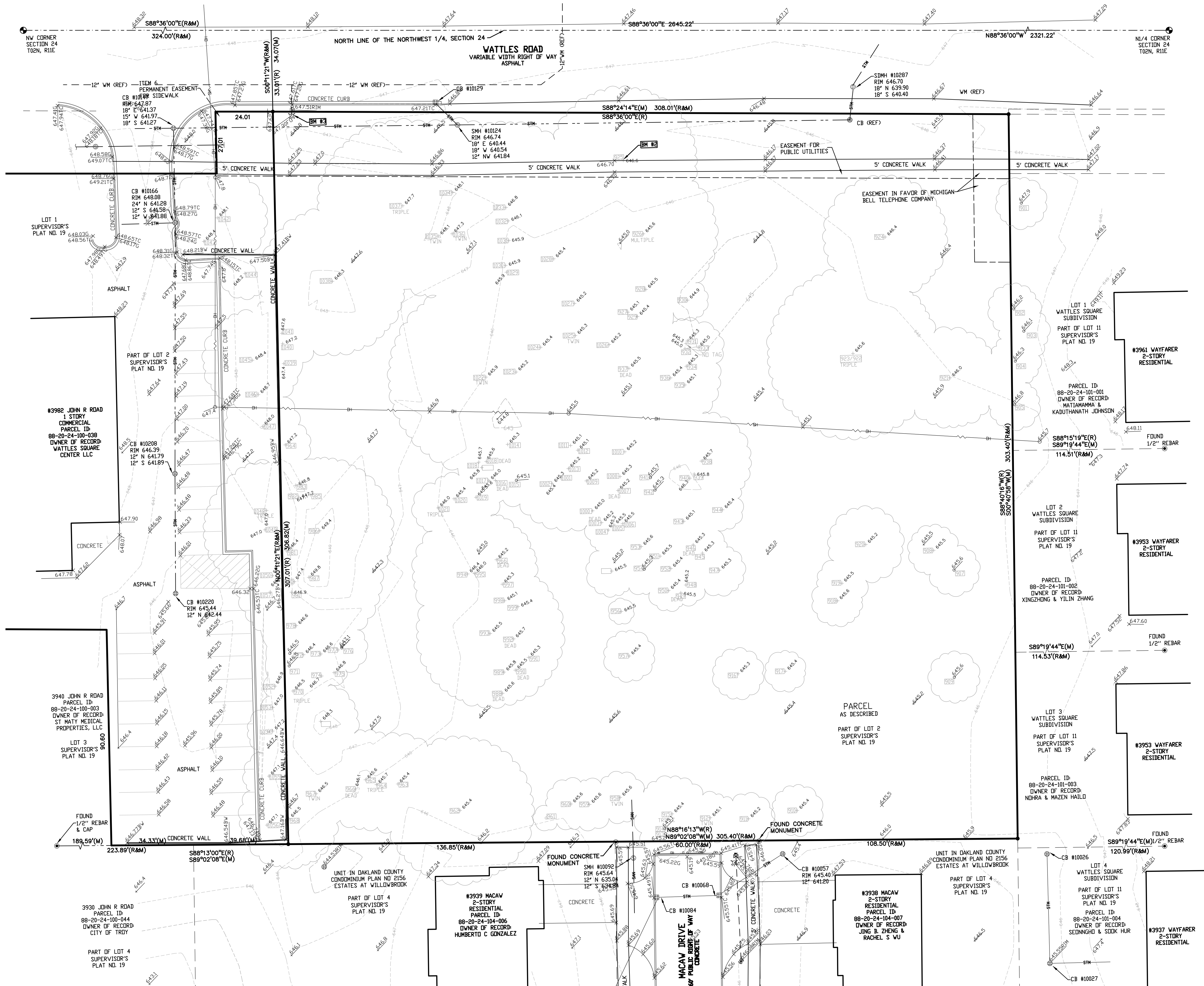
**REVISIONS**

CITY COMMENTS	DATE
SITE PLAN APPROVAL	11/15/23
CITY COMMENTS	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

**ORIGINAL ISSUE DATE:**  
 SEPTEMBER 22, 2023

**DRAWING TITLE**  
**TOPOGRAPHIC SURVEY**

PEA JOB NO. 22-1309  
 P.M. GMB  
 DN. KRJ  
 DES. KRJ  
 DRAWING NUMBER:  
**C-1.0**



**NOT FOR CONSTRUCTION**

S:\PROJECTS\2022\022-1309 WATTLES APARTMENTS\DWG\SITE\_PLAN\C-1.0\TOPO-22-1309.dwg PLOT DATE: 6/2/2024 BY: Kelly Sztybel



**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

**SITE DATA TABLE:**

SITE AREA = 3.47 ACRES (151,214 SF) GROSS  
3.28 ACRES (142,767 SF) NET

ZONING: NEIGHBORHOOD NODES (NN) - NODE F

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

**BUILDING INFORMATION**  
BUILDING FORM C

MAXIMUM ALLOWABLE BUILDING HEIGHT = 2.5 STORIES (30 FEET)  
PROPOSED BUILDING HEIGHT = 2.5 STORIES

**BUILDING FOOTPRINT AREA:**  
BLDG 1 = 9,980 SF  
BLDG 2 = 11,300 SF  
TOTAL FOOTPRINT AREA = 21,280 SF

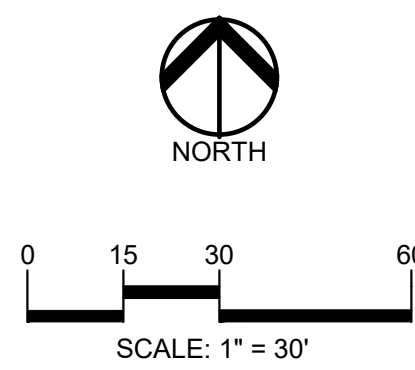
MAXIMUM BUILDING COVERAGE = 30%  
PROPOSED BUILDING COVERAGE = (21,280 + 11,585 + 500) / 142,767 = 23.4%

<b>SETBACK:</b>	<b>REQUIRED:</b>	<b>PROPOSED:</b>
FRONT (NORTH):	10'	10.00'
SIDE (EAST):	20'	90.05'
SIDE (WEST):	0'	89.62'
REAR (SOUTH):	30'	72.33'

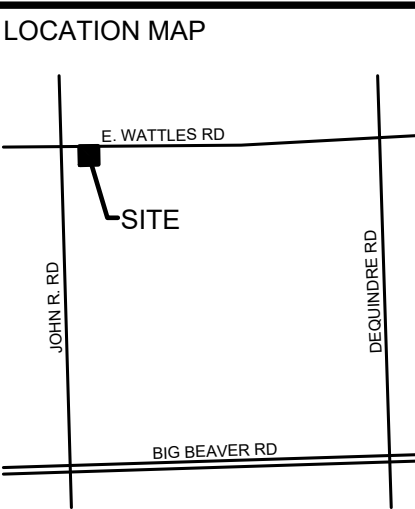
**PARKING CALCULATIONS:**  
MULTI-FAMILY = 2 SPACES PER UNIT  
REQUIRED PARKING = 54 UNITS x 2 = 108 SPACES  
PROPOSED PARKING = 109 SPACES INC. 5 ADA SPACES

RETAIL = 1 SPACE PER 250 SF  
REQUIRED PARKING = 11,585 SF / 250 = 46.3 ~ 46 SPACES  
PROPOSED PARKING = 46 SPACES INC. 2 ADA SPACES

TOTAL REQUIRED PARKING = 108 + 46 = 154 SPACES  
TOTAL PROPOSED PARKING = 109 + 46 = 155 SPACES INC. 7 ADA SPACES



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**CLIENT**  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

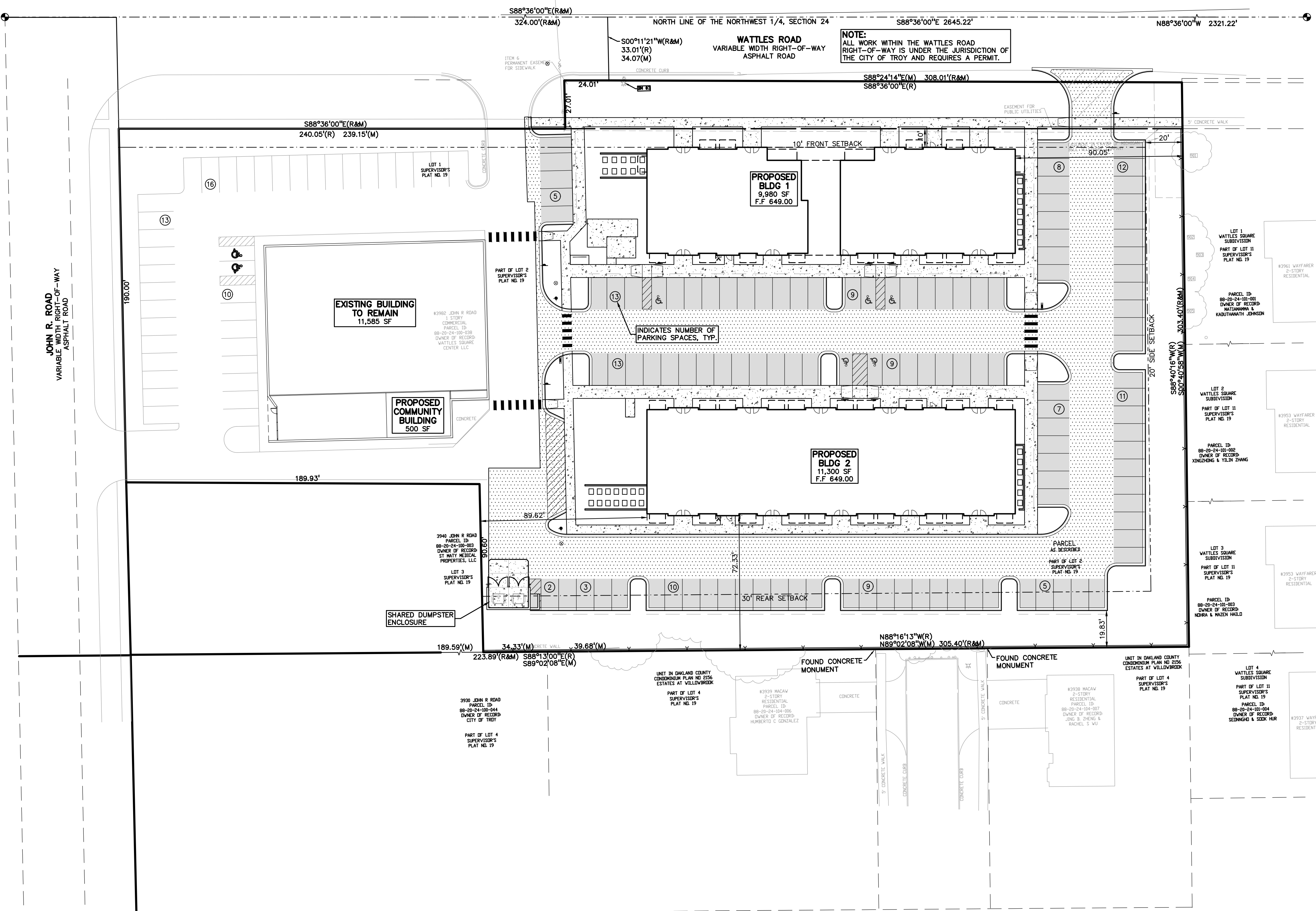
**REVISIONS**

CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**OVERALL SITE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	KRD
DES.	KRD
DRAWING NUMBER:	



NOT FOR CONSTRUCTION

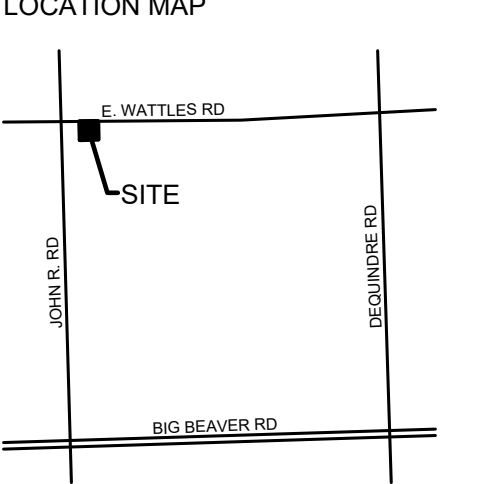
**C-2.0**



SCALE: 1" = 20'



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CLIENT  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	KRD
DES.	KRD

DRAWING NUMBER:

**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE SIDEWALK PATTERN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

**GENERAL NOTES:**

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS.

**SIDEWALK RAMP LEGEND:**

[Symbol]	SIDEWALK RAMP 'TYPE P'
[Symbol]	SIDEWALK RAMP 'TYPE R'
[Symbol]	CURB DROP ONLY

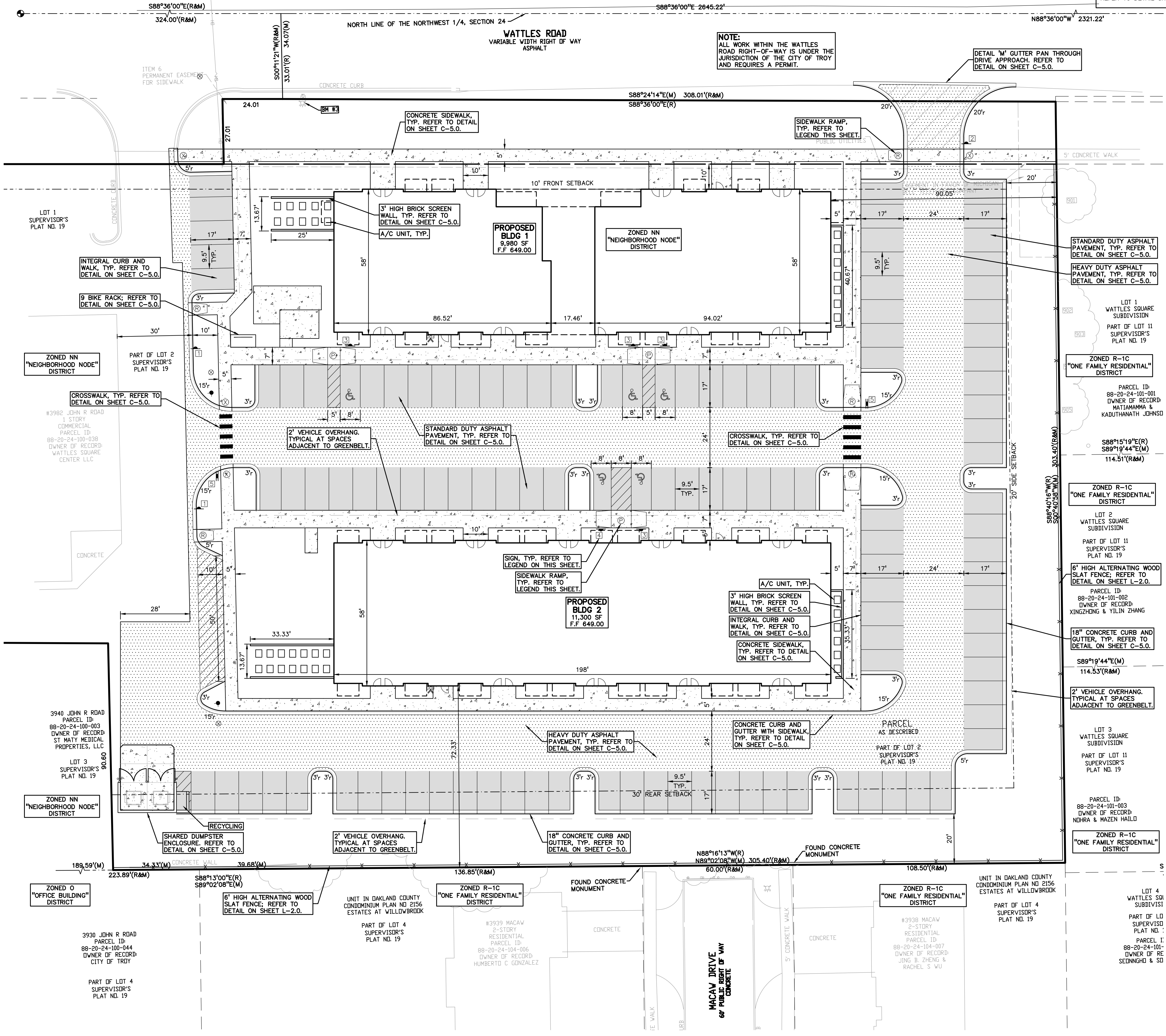
**SIGN LEGEND:**

[Symbol]	'NO PARKING FIRE LANE' SIGN
[Symbol]	'STOP' SIGN
[Symbol]	'BARRIER FREE PARKING' SIGN
[Symbol]	'VAN ACCESSIBLE' SIGN
[Symbol]	'CROSSWALK' SIGN

REFER TO DETAIL SHEET FOR SIGN DETAILS

**NOTE:**  
ALL WORK WITHIN THE WATTLES ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF TROY AND REQUIRES A PERMIT.

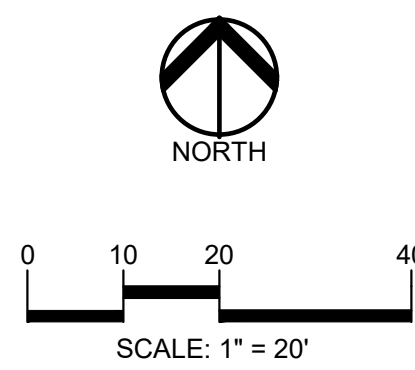
DETAIL 'M' GUTTER PAN THROUGH DRIVE APPROACH. REFER TO DETAIL ON SHEET C-5.0.



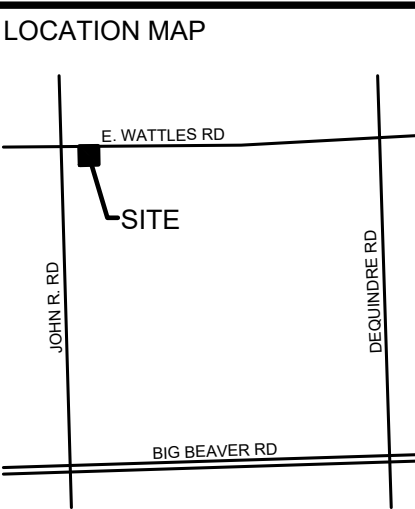
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NOT FOR CONSTRUCTION

C-2.1



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BLOOMFIELD HILLS, MI 48302

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**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

**REVISIONS**

CITY COMMENTS	DATE
11/15/23	
12/5/23	
3/6/24	
6/3/24	

**ORIGINAL ISSUE DATE:**  
SEPTEMBER 22, 2023

**DRAWING TITLE**  
**PRELIMINARY GRADING PLAN**

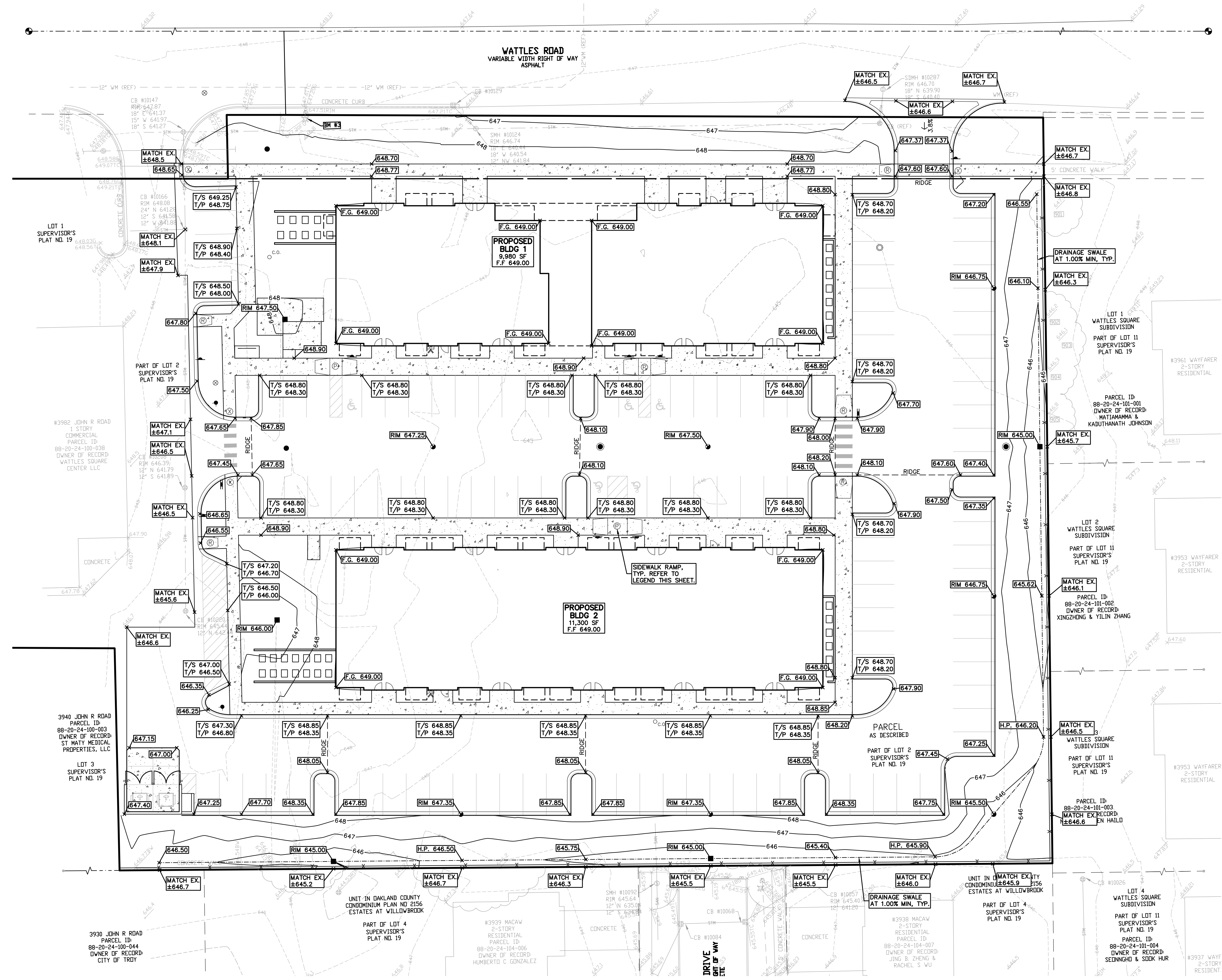
PEA JOB NO.	22-1309
P.M.	GMB
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DES.	KRD
DRAWING NUMBER:	

**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

**ABBREVIATIONS**

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- T/W = TOP OF WALL
- B/W = BOTTOM OF WALL
- G = GUTTER GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- RIM = RIM ELEVATION



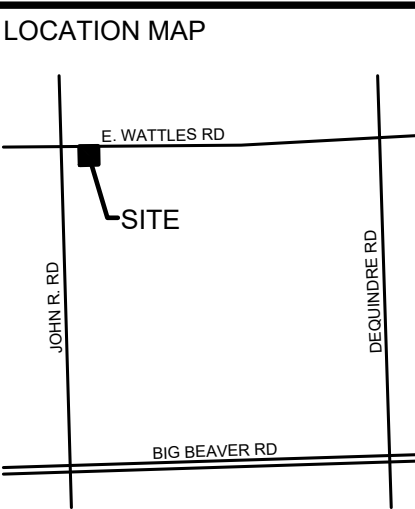
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0 10 20 40  
SCALE: 1" = 20'



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TROY, MI 48063

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CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

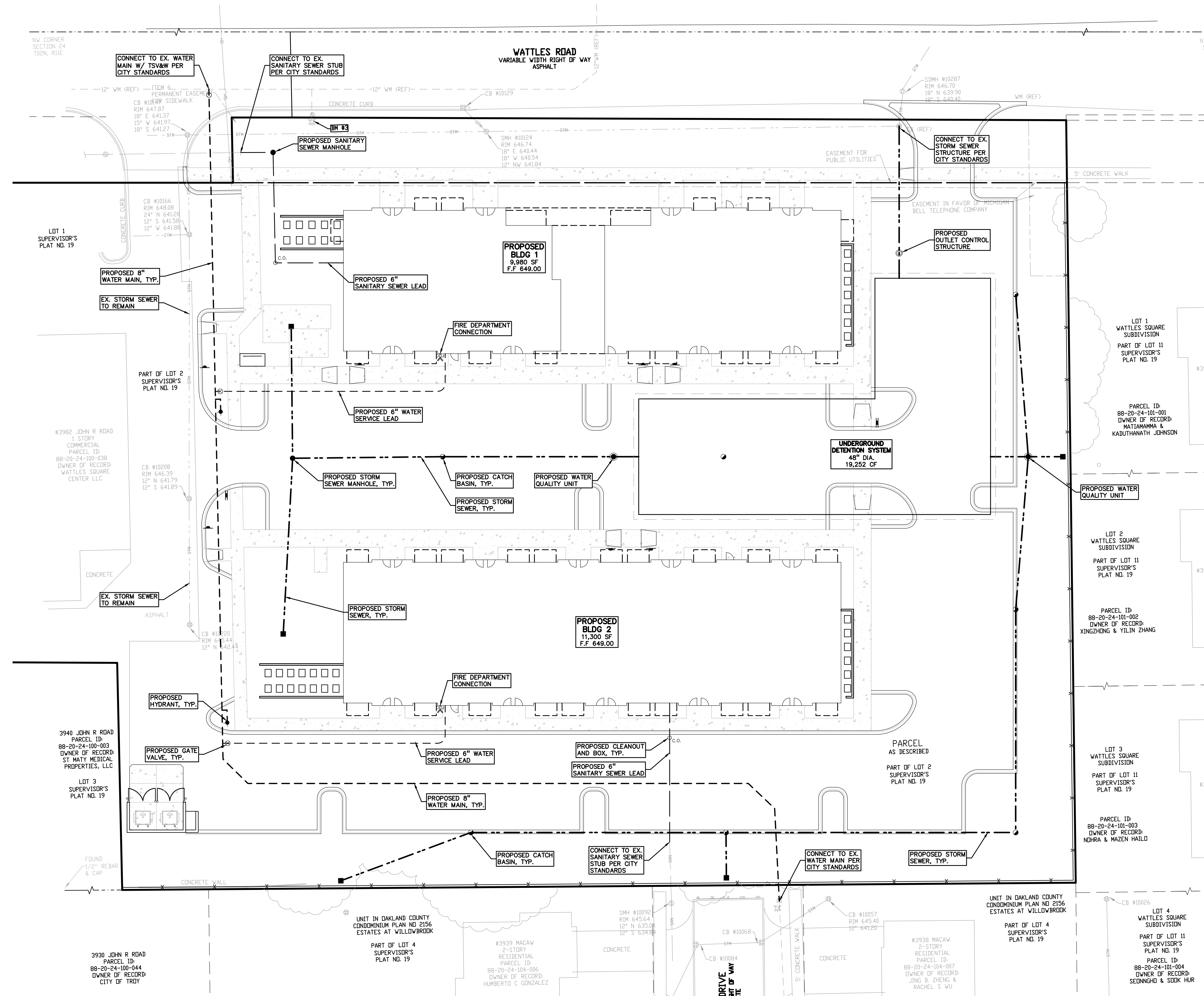
ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY UTILITY PLAN**

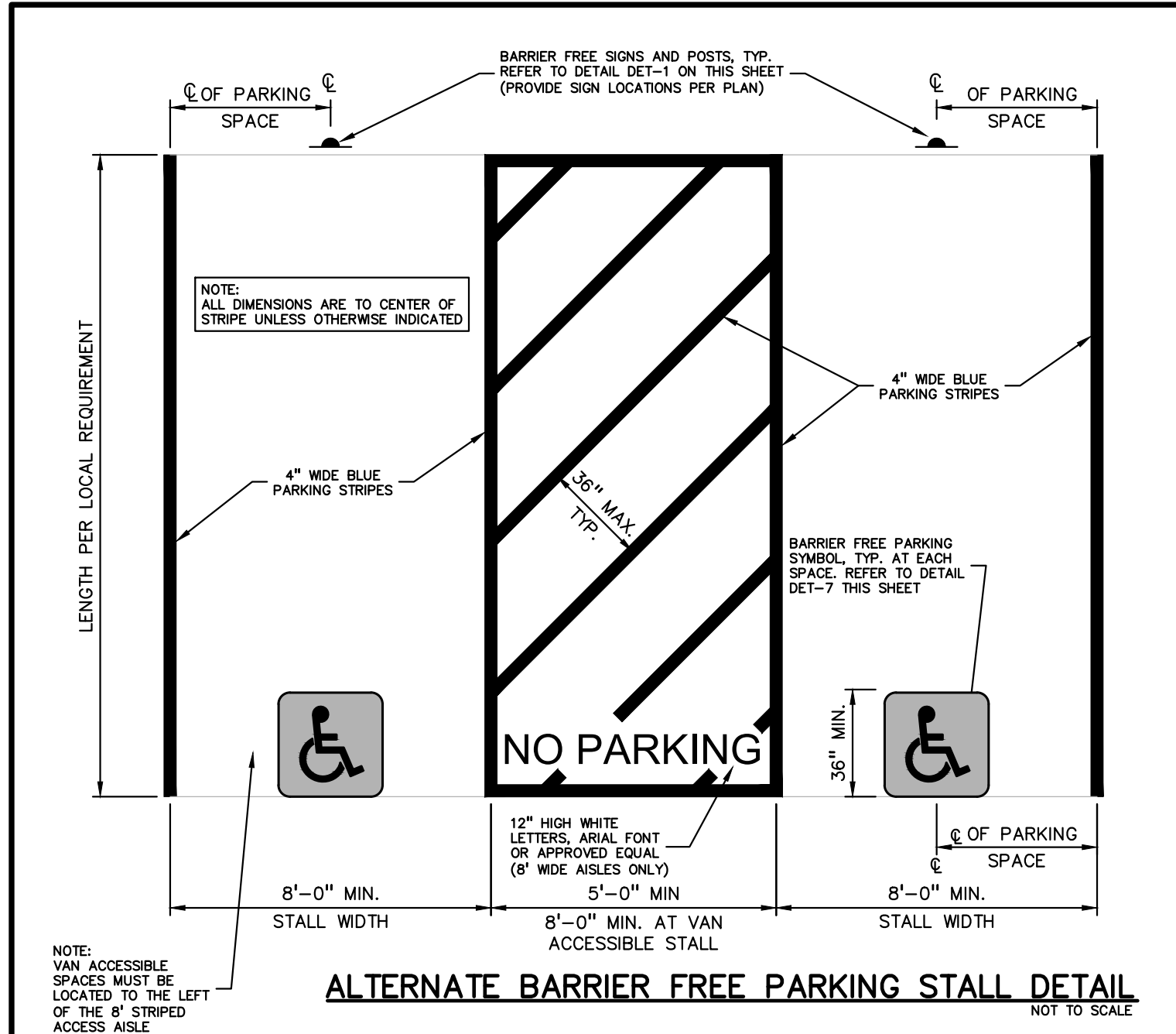
PEA JOB NO.	22-1309
P.M.	GMB
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**UTILITY LEGEND:**

- OH-ELEC—W—O— EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV— EX. U.G. CABLE TV & PEDESTAL
- UG-COMM— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC— EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- ⊗ EX. GAS VALVE & GAS LINE MARKER
- ⊠ EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- ⊕ EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- ⊖ EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- ⊙ EX. SANITARY CLEANOUT & MANHOLE
- ⊙ EX. COMBINED SEWER MANHOLE
- ⊙ EX. STORM SEWER
- ⊙ EX. CLEANOUT & MANHOLE
- ⊙ EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- ⊙ EX. YARD DRAIN & ROOF DRAIN
- ⊙ EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- ⊕ ⊗ PROPOSED HYDRANT AND GATE VALVE
- ⊖ ⊗ PROPOSED TAPPING SLEEVE, VALVE & WELL
- ⊖ ⊕ PROPOSED POST INDICATOR VALVE
- ⊖ ⊙ PROPOSED SANITARY SEWER
- ⊖ ⊙ PROPOSED SANITARY CLEANOUT & MANHOLE
- ⊖ ⊙ PROPOSED STORM SEWER
- ⊖ ⊙ PROPOSED STORM SEWER CLEANOUT & MANHOLE
- ⊖ ⊙ PROPOSED CATCH BASIN, INLET & YARD DRAIN



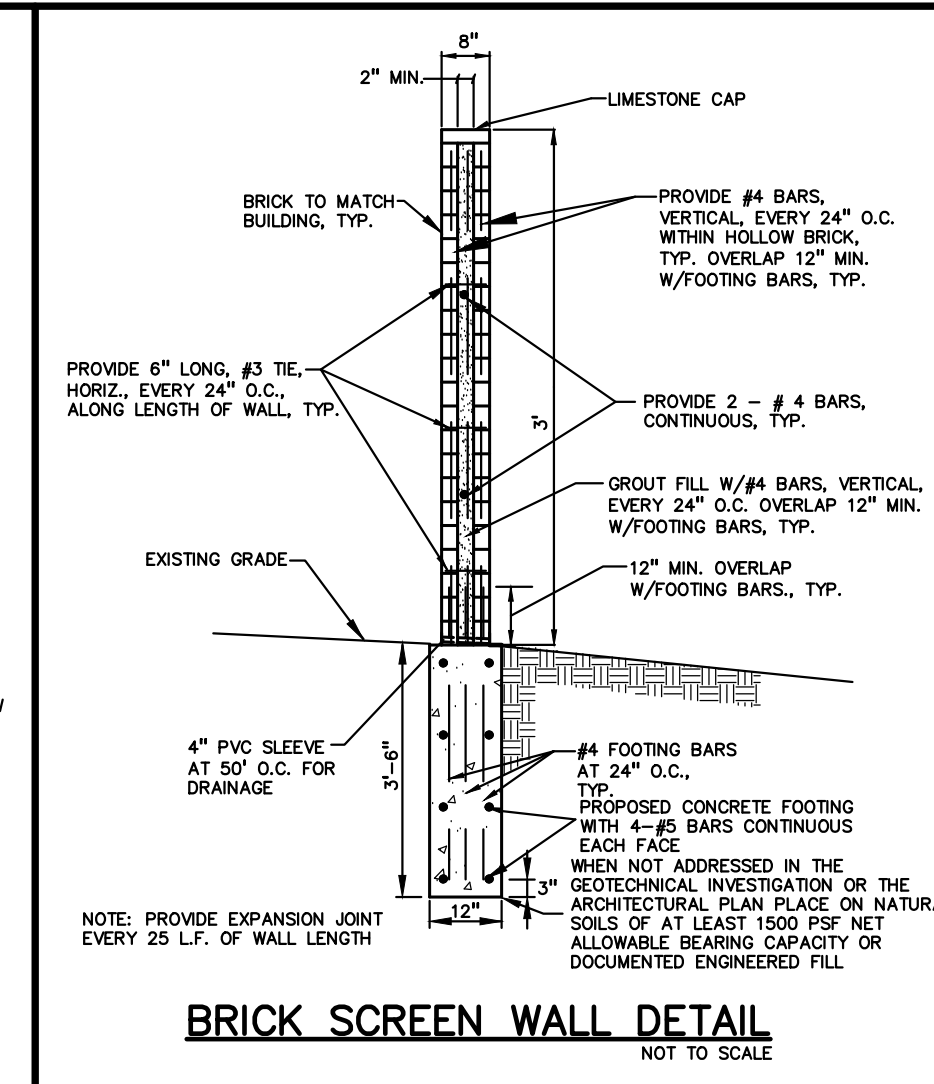
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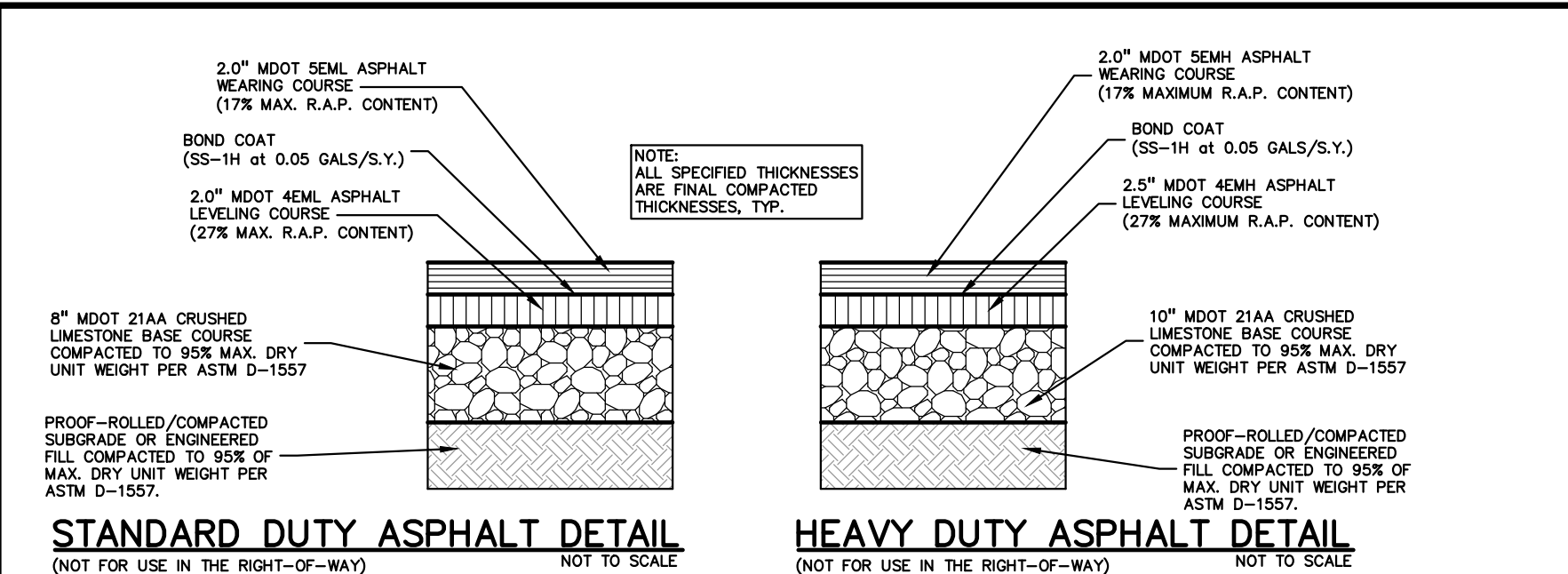
**ALTERNATE BARRIER FREE PARKING STALL DETAIL**  
NOT TO SCALE



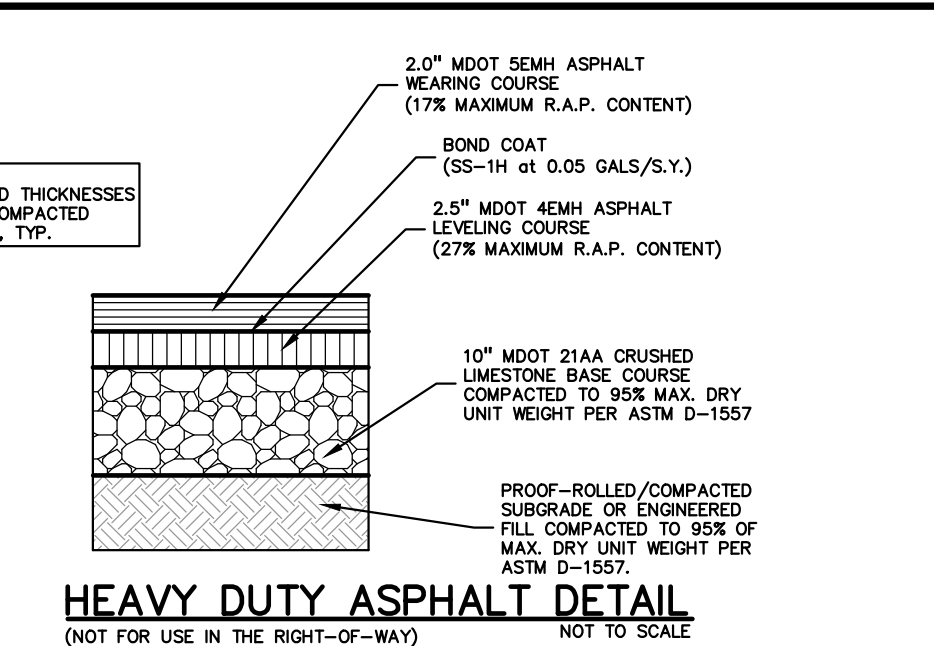
**CROSSWALK SIGN DETAIL**  
NOT TO SCALE



**BRICK SCREEN WALL DETAIL**  
NOT TO SCALE



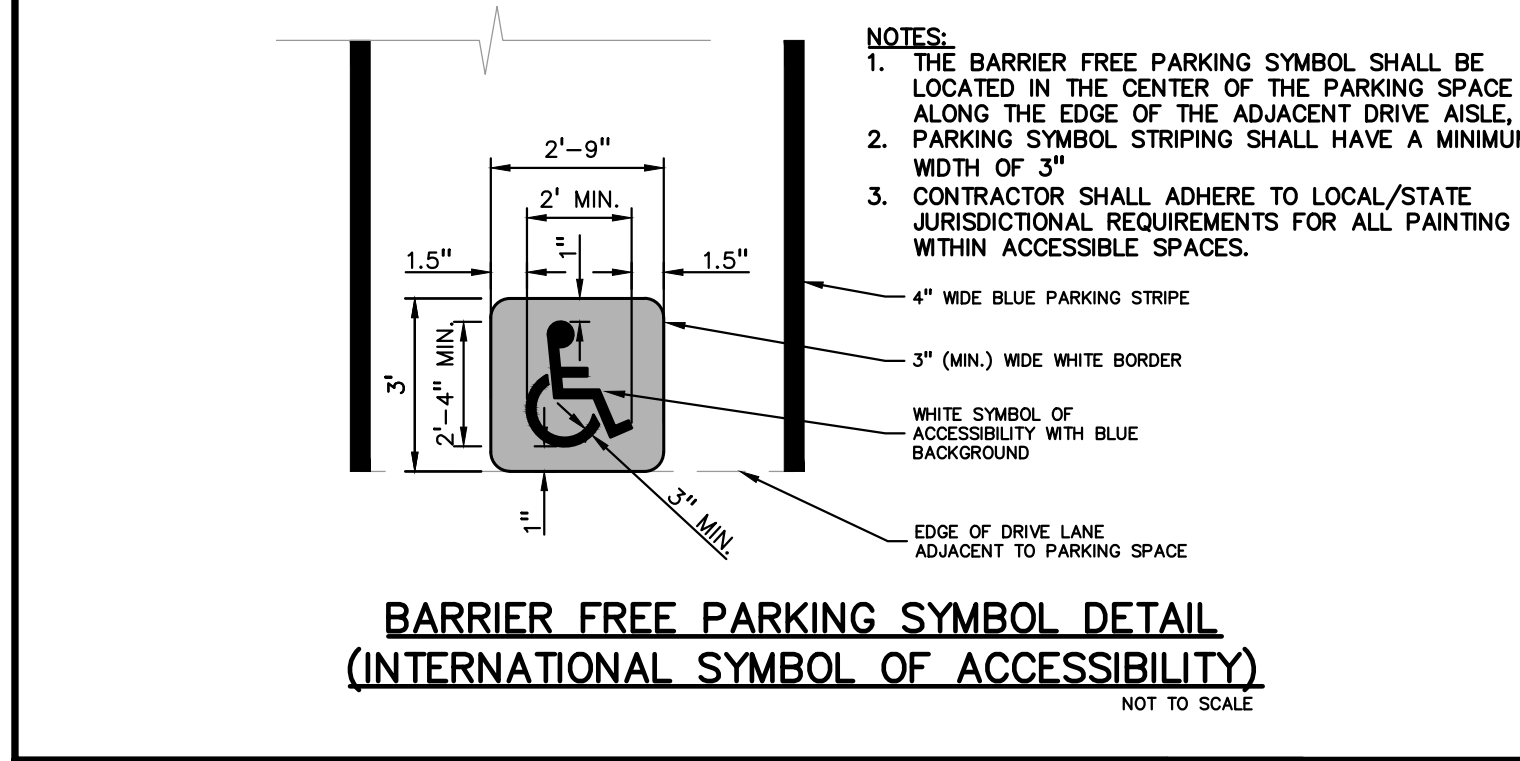
**STANDARD DUTY ASPHALT DETAIL**  
(NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE



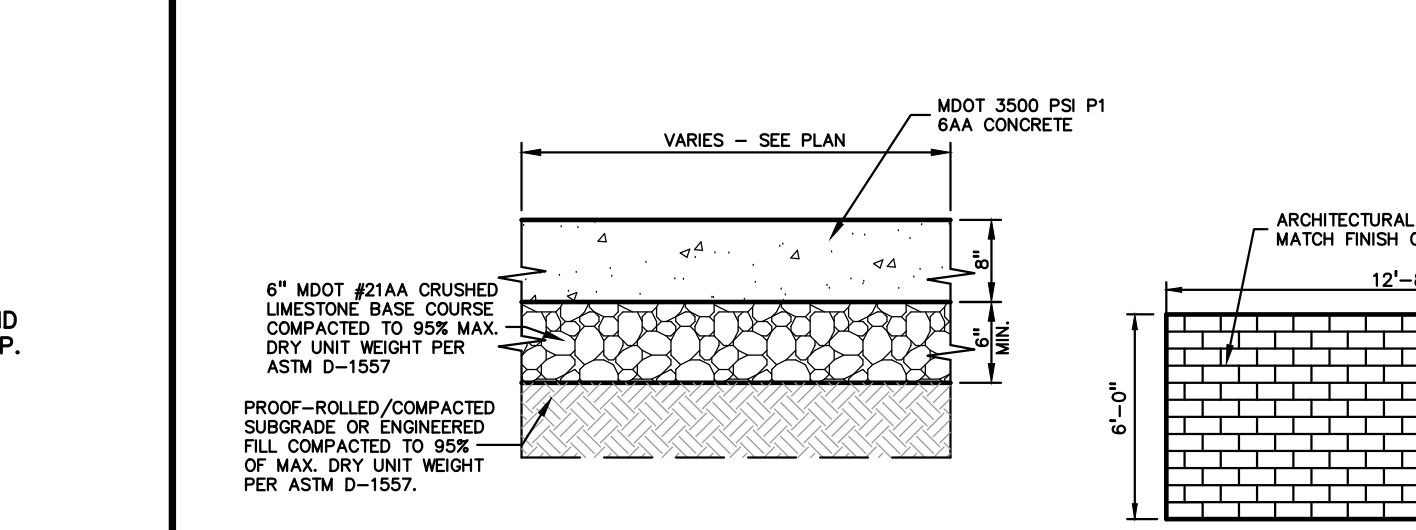
**HEAVY DUTY ASPHALT DETAIL**  
(NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE

ASPHALT MIX DESIGN CHART

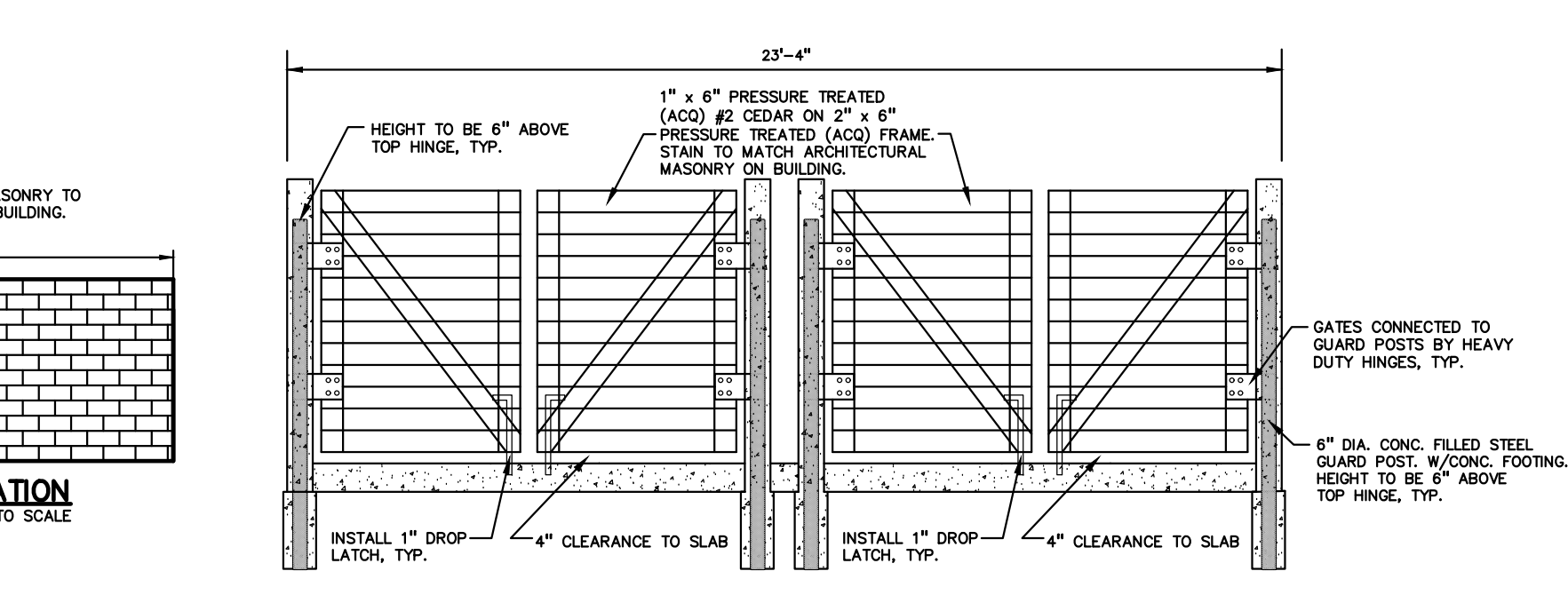
COMMERCIAL ADT 0-300	COMMERCIAL ADT 301-1000	COMMERCIAL ADT 1001-3400	COMMERCIAL ADT 53401	APPLICATION RATE (LB/YD) MINIMUM - MAXIMUM
4EL	4EML	4EMH	4EMH	220-275
5EL	5EML	5EMH	5MA OR 5EMH	165-220
PG 58-28	PG 64-28	PG 64-28	PG 70-28P	



**BARRIER FREE PARKING SYMBOL DETAIL (INTERNATIONAL SYMBOL OF ACCESSIBILITY)**  
NOT TO SCALE

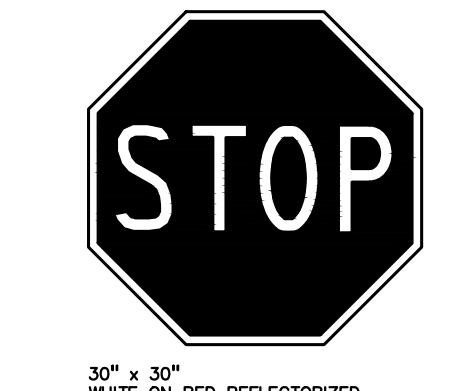


**HEAVY DUTY CONCRETE PAD DETAIL**  
NOT TO SCALE

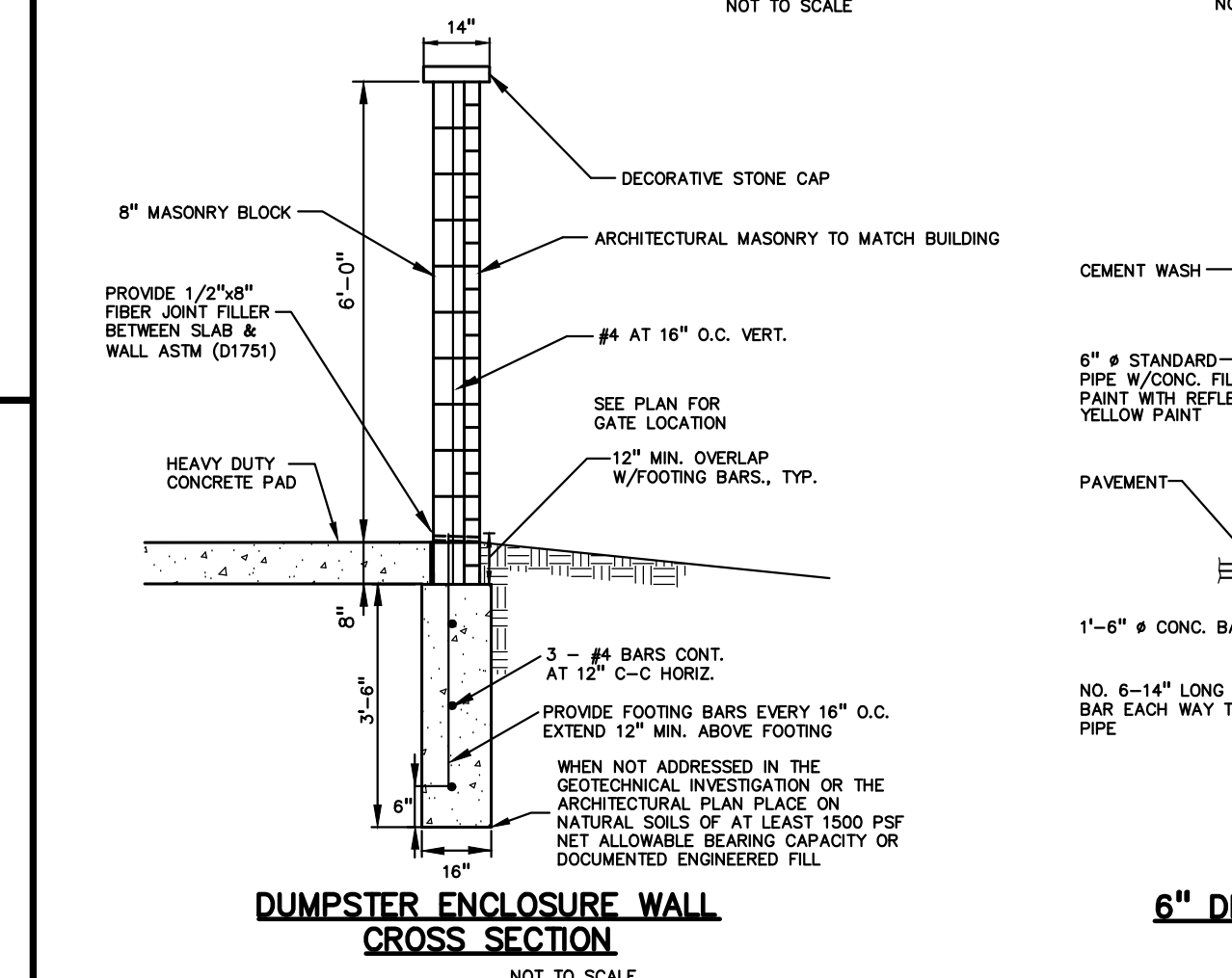


**FRONT ELEVATION**  
NOT TO SCALE

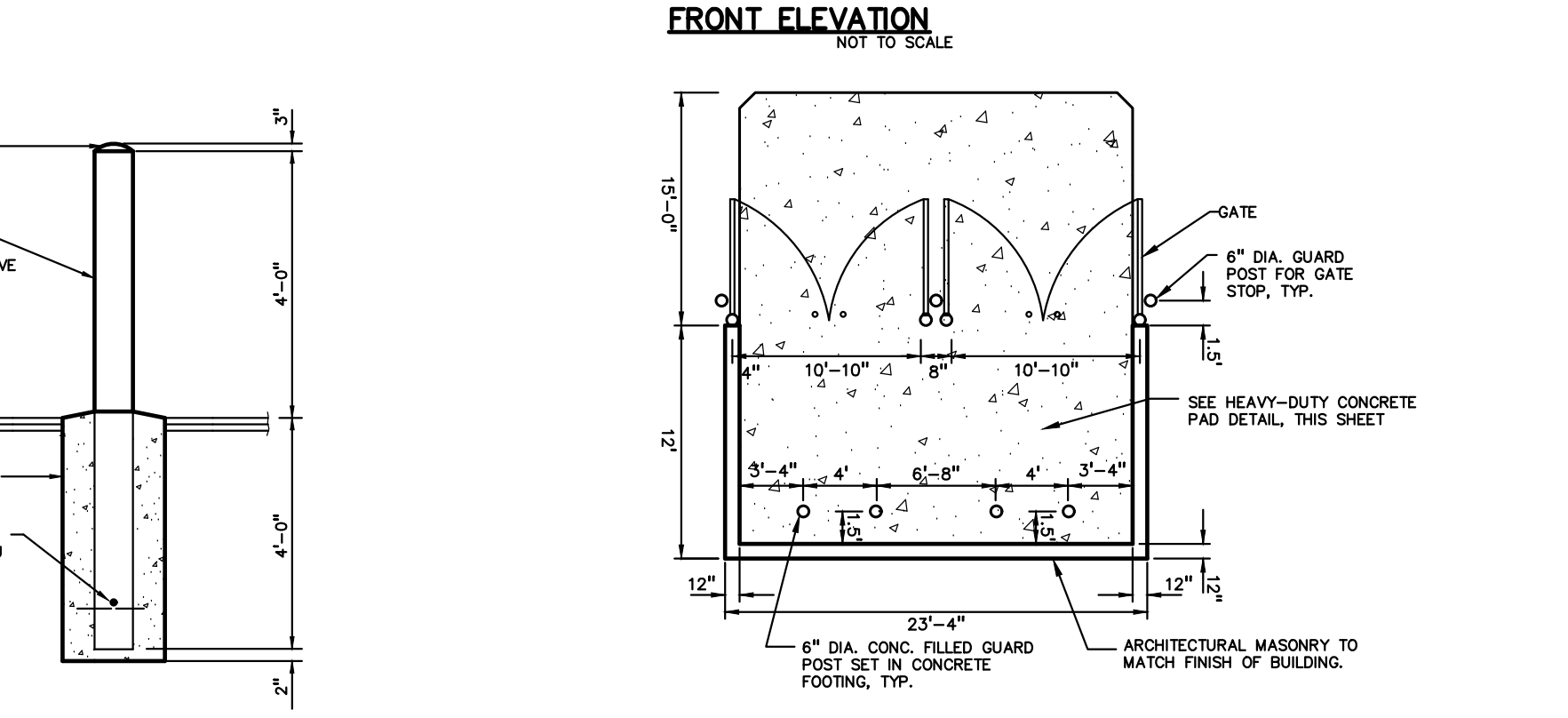
- BARRIER FREE SIGN NOTES:**
- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
  - ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
  - WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
  - SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
  - ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG.
  - IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
  - ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



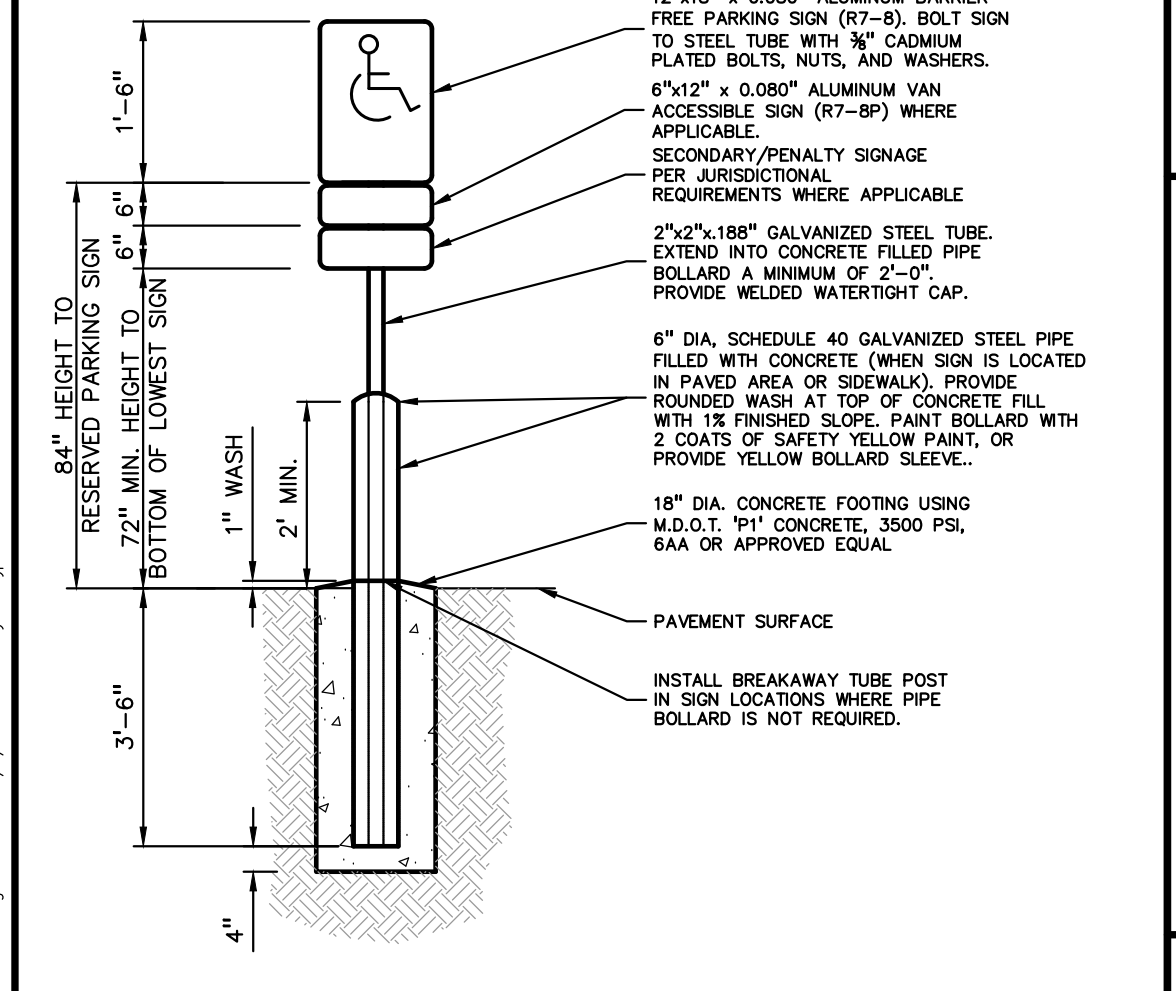
**STOP SIGN DETAIL**  
NOT TO SCALE



**DUMPSTER ENCLOSURE WALL CROSS SECTION**  
NOT TO SCALE



**DOUBLE TRASH ENCLOSURE DETAILS**  
NOT TO SCALE



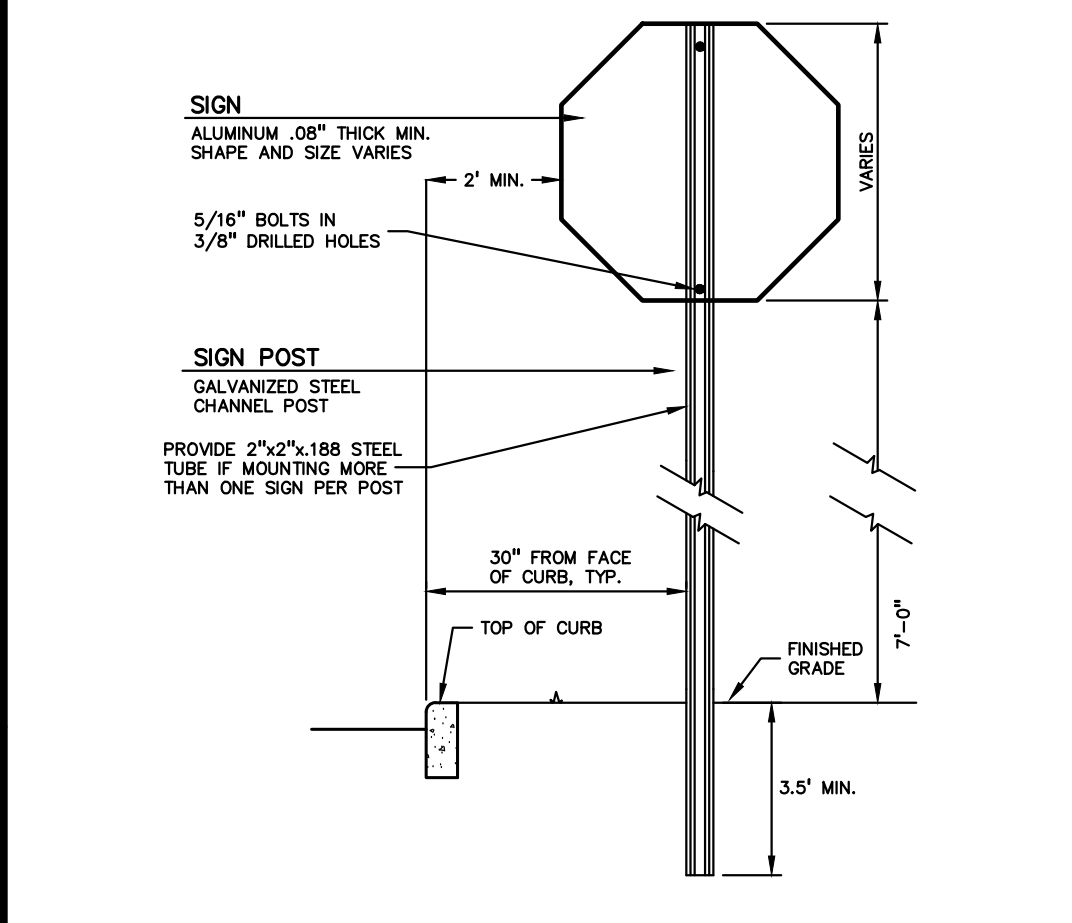
**BARRIER FREE SIGN AND POST DETAIL**  
NOT TO SCALE



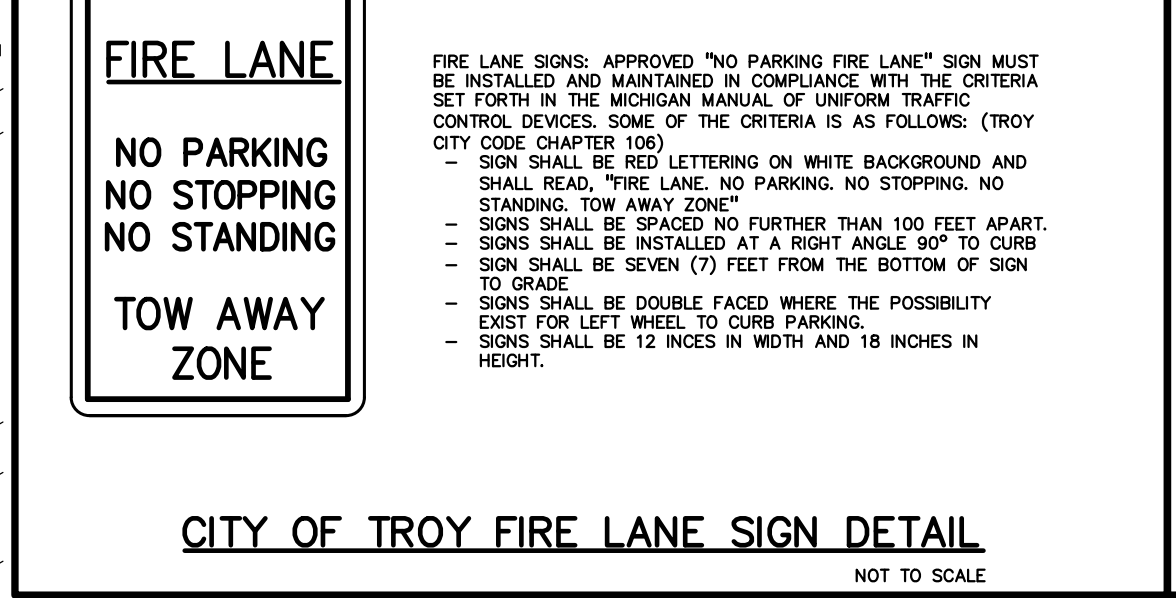
**BARRIER FREE PARKING SIGN DETAIL**  
NOT TO SCALE



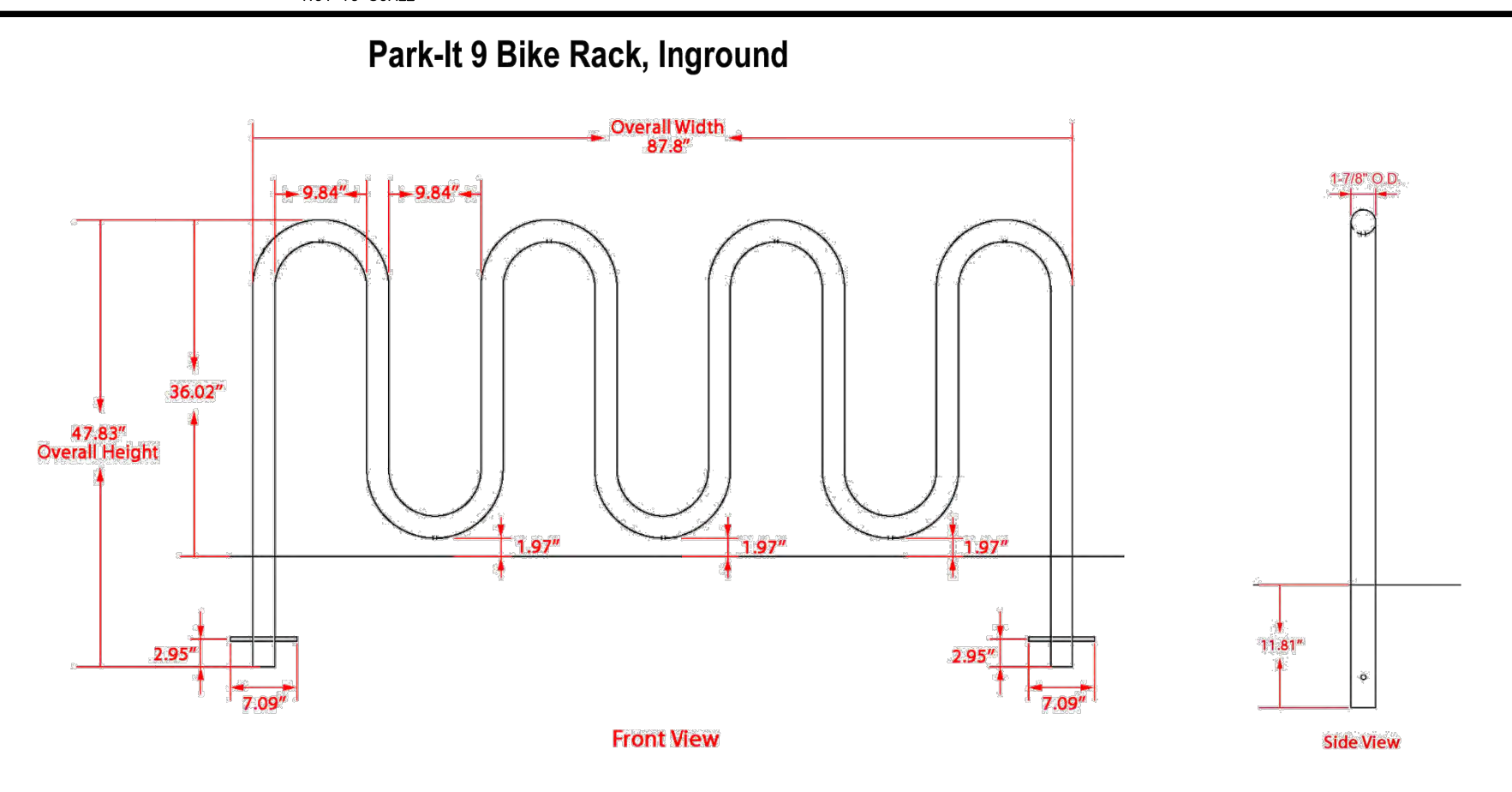
**RESERVED PARKING SIGN DETAIL**  
NOT TO SCALE



**SIGN AND POST INSTALLATION IN LANDSCAPED AREAS**  
NOT TO SCALE



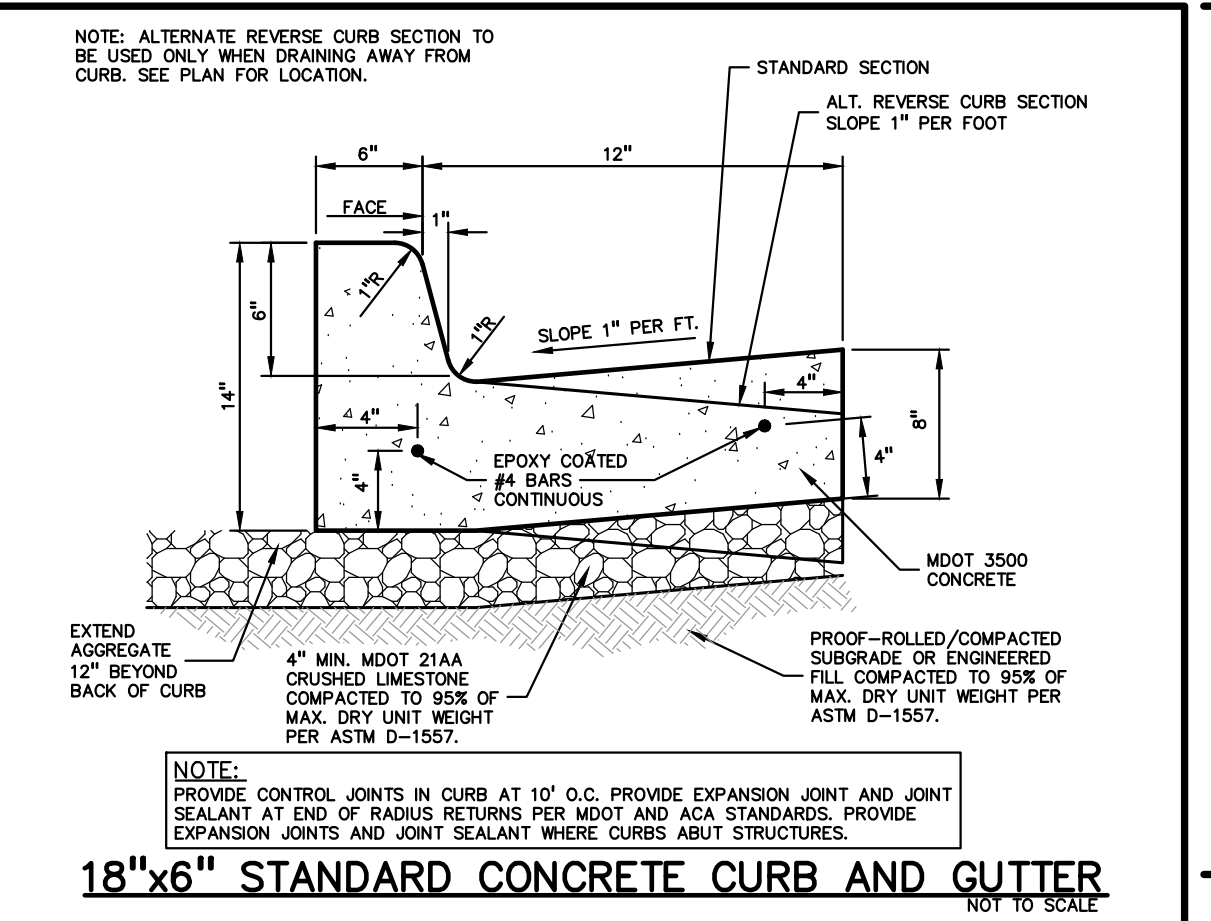
**CITY OF TROY FIRE LANE SIGN DETAIL**  
NOT TO SCALE



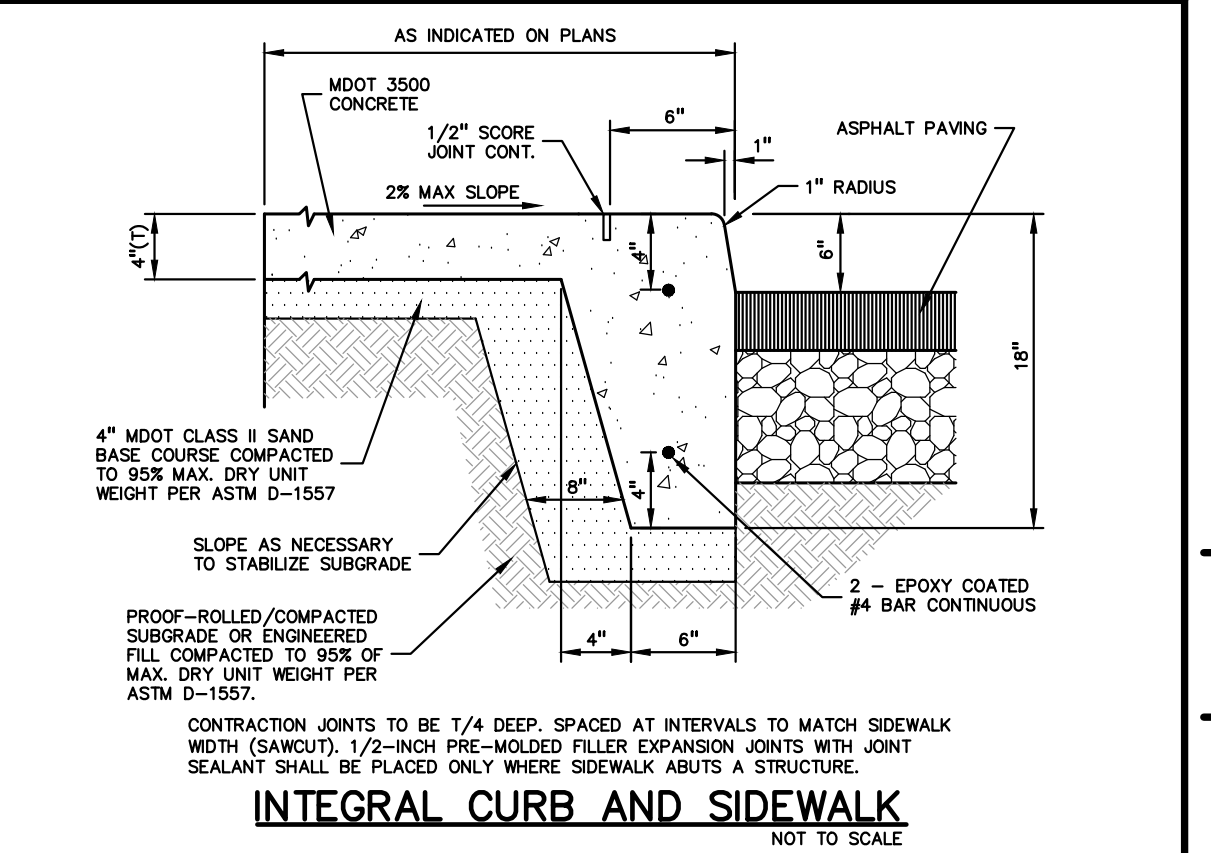
**Park-It 9 Bike Rack, Inground**

Material	Finish	Dimensions	Weight
Steel tubing	Powder coated black	87.8" w x 47.83" h Above ground: 87.8" w x 36.02" h	64 lbs.

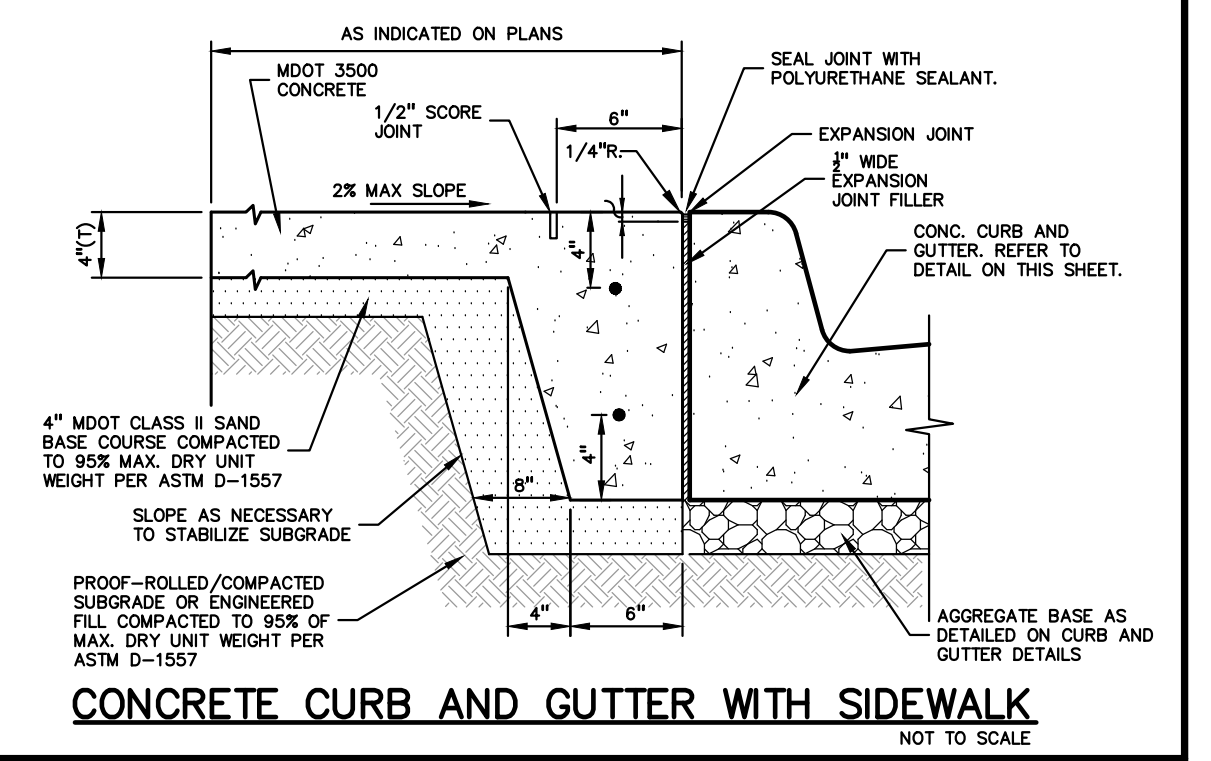
Type of Mount: Inground mount  
Size of Tubing: 1-7/8" O.D. x 1 1/2" gauge



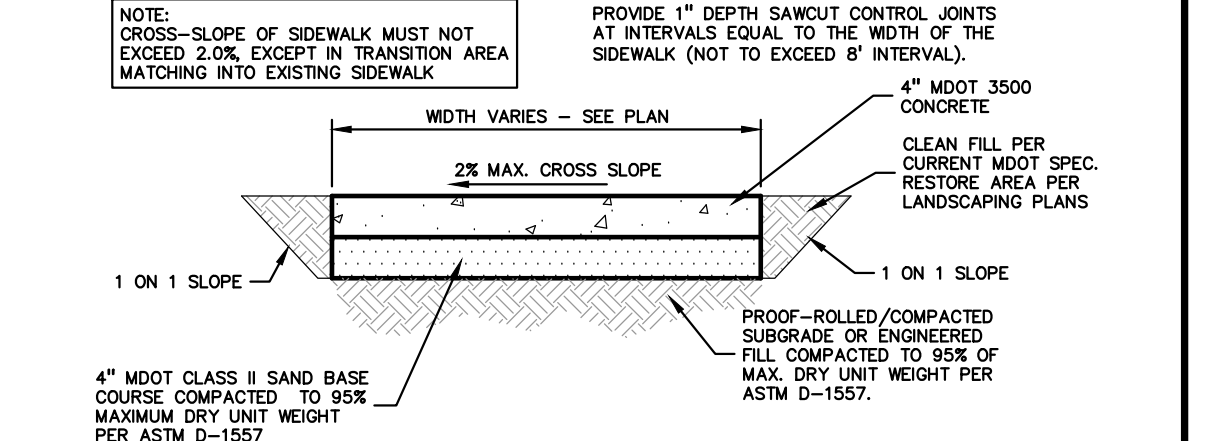
**18"X6" STANDARD CONCRETE CURB AND GUTTER**  
NOT TO SCALE



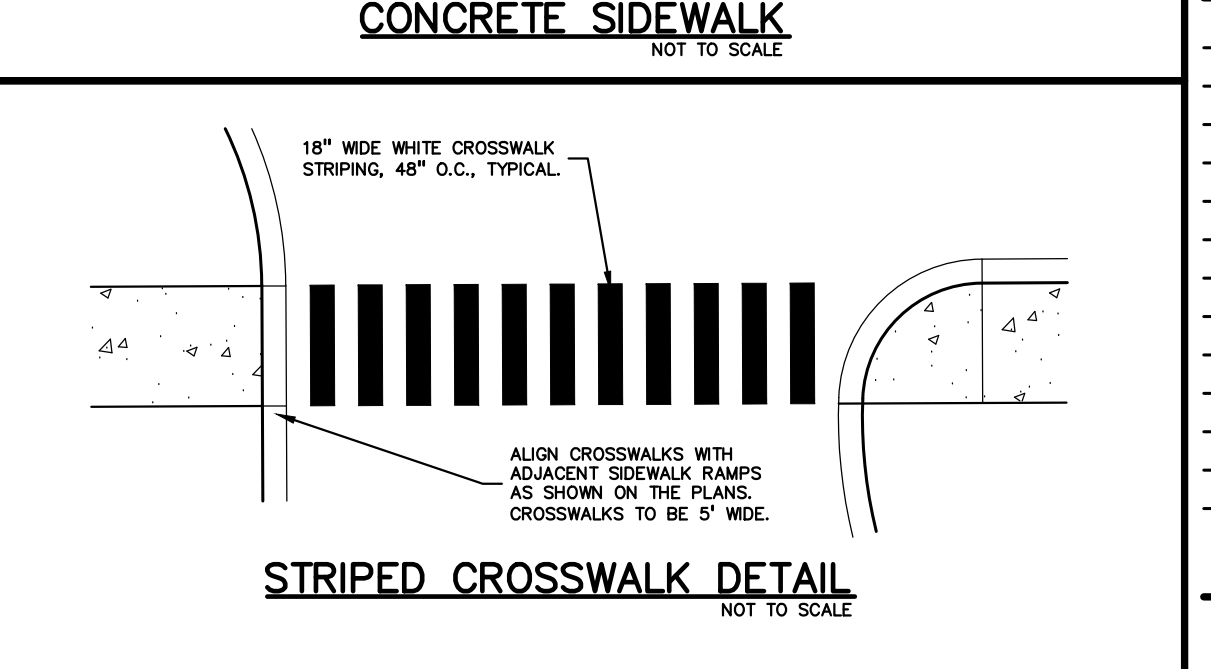
**INTEGRAL CURB AND SIDEWALK**  
NOT TO SCALE



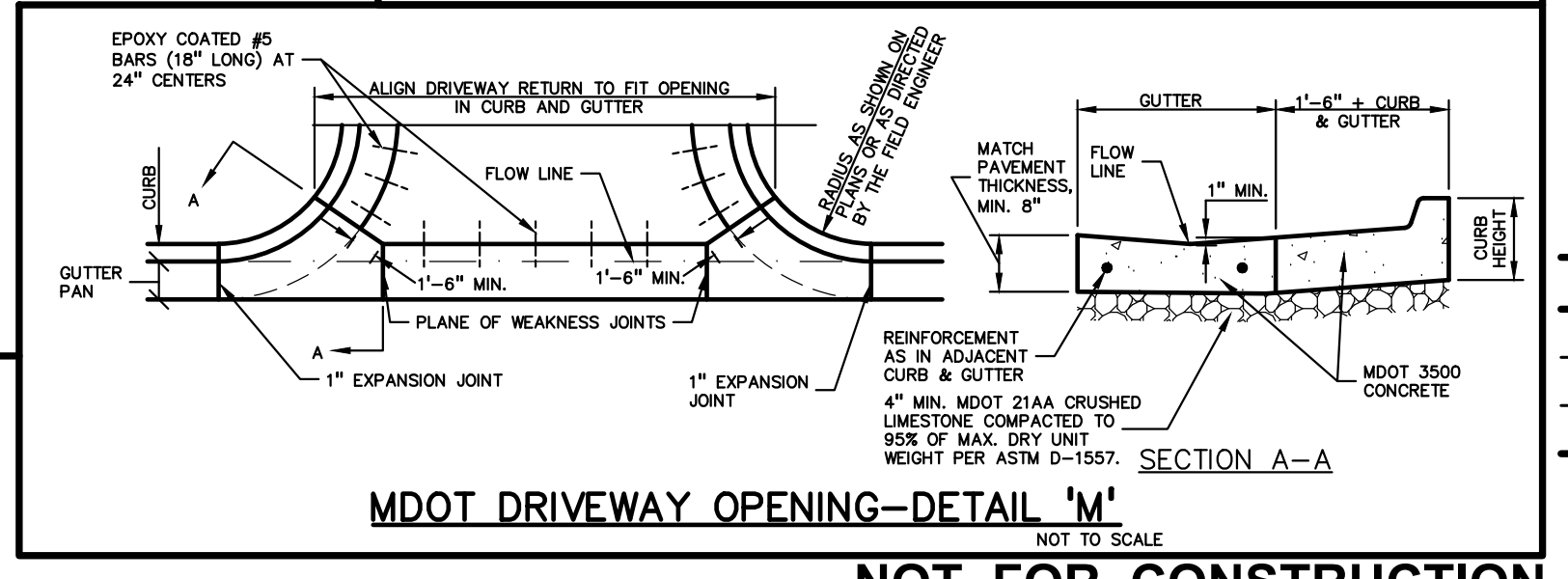
**CONCRETE CURB AND GUTTER WITH SIDEWALK**  
NOT TO SCALE



**CONCRETE SIDEWALK**  
NOT TO SCALE



**STRIPED CROSSWALK DETAIL**  
NOT TO SCALE



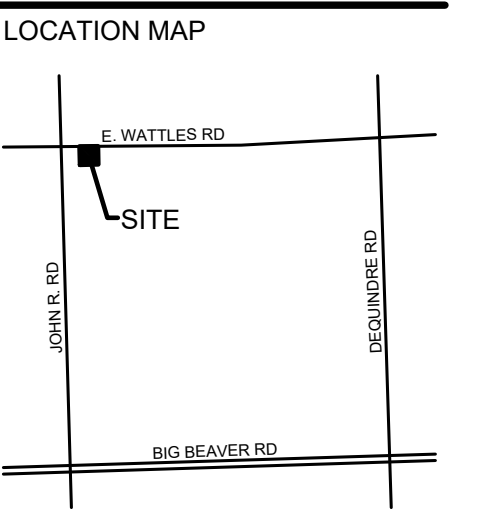
**MDOT DRIVEWAY OPENING-DETAIL 'M'**  
NOT TO SCALE

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com

STATE OF MICHIGAN  
GREGORY MICHAEL BONO  
PROFESSIONAL ENGINEER  
No. 01014435

**811** Know what's below. Call before you dig.

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2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

**PROJECT TITLE**  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

**REVISIONS**

CITY COMMENTS	DATE
	11/15/23
	12/5/23
	3/6/24
	6/3/24

**ORIGINAL ISSUE DATE:**  
SEPTEMBER 22, 2023

**DRAWING TITLE**  
**NOTES AND DETAILS**

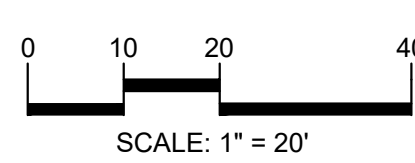
**PEA JOB NO.** 22-1309

P.M.	GMB
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DES.	KRD

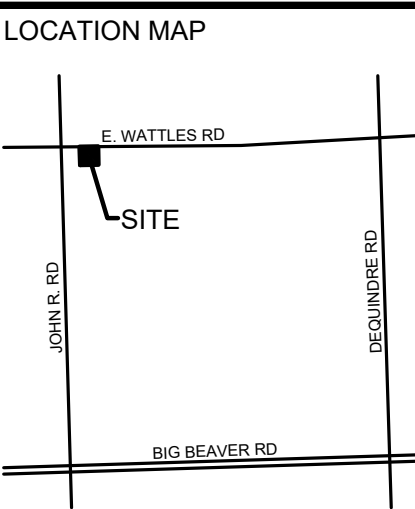
**DRAWING NUMBER:**  
C-5.0

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ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**PRELIMINARY LANDSCAPE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE

DRAWING NUMBER:

**KEY:**

- = PROPOSED DECIDUOUS TREES
- = PROPOSED EVERGREEN TREES
- = IRRIGATED SOD LAWN

LETTER DESIGNATION FOR ORDINANCE REQUIRED MATERIAL

- S = SCREENING LANDSCAPING
- G = GREENBELT TREES
- P = PARKING LOT TREES
- R = REPLACEMENT TREES

= TREE PROTECTION FENCE

**LANDSCAPE CALCULATIONS:**  
PER CITY OF TROY ZONING ORDINANCE:  
ZONING: NEIGHBORHOOD NODES (NN) - NODE F  
PROPOSED USE: MULTI-FAMILY RESIDENTIAL

**SCREENING (S)**  
GROUP 2: RESIDENTIAL/LODGING USES ABUT GROUP 1: RESIDENTIAL USES. SCREEN ALT 1 OR 2 REQUIRED. SCREEN ALT 2: 1 LARGE EVG TREE PER 10LF  
REQUIRED: SOUTH BOUNDARY: 379.4 LF / 10 = 38 EVG TREES  
EAST BOUNDARY: 278LF / 10 = 28 EVG TREE  
PROVIDED: SOUTH BOUNDARY: 38 EVG TREES  
EAST BOUNDARY: 28 EVG TREES  
AND 6' HT OPAQUE SCREEN FENCE

**PARKING LOT LANDSCAPE (P)**  
1 TREE PER 8 PARKING SPACES  
LANDSCAPING TO BE 5' FROM CURB WHERE THERE IS VEHICLE OVERHANG AND 3' WHERE THERE IS NOT.  
REQUIRED: 109 PARKING SPACES / 8 = 14 DEC TREES  
PROVIDED: 14 DEC TREES

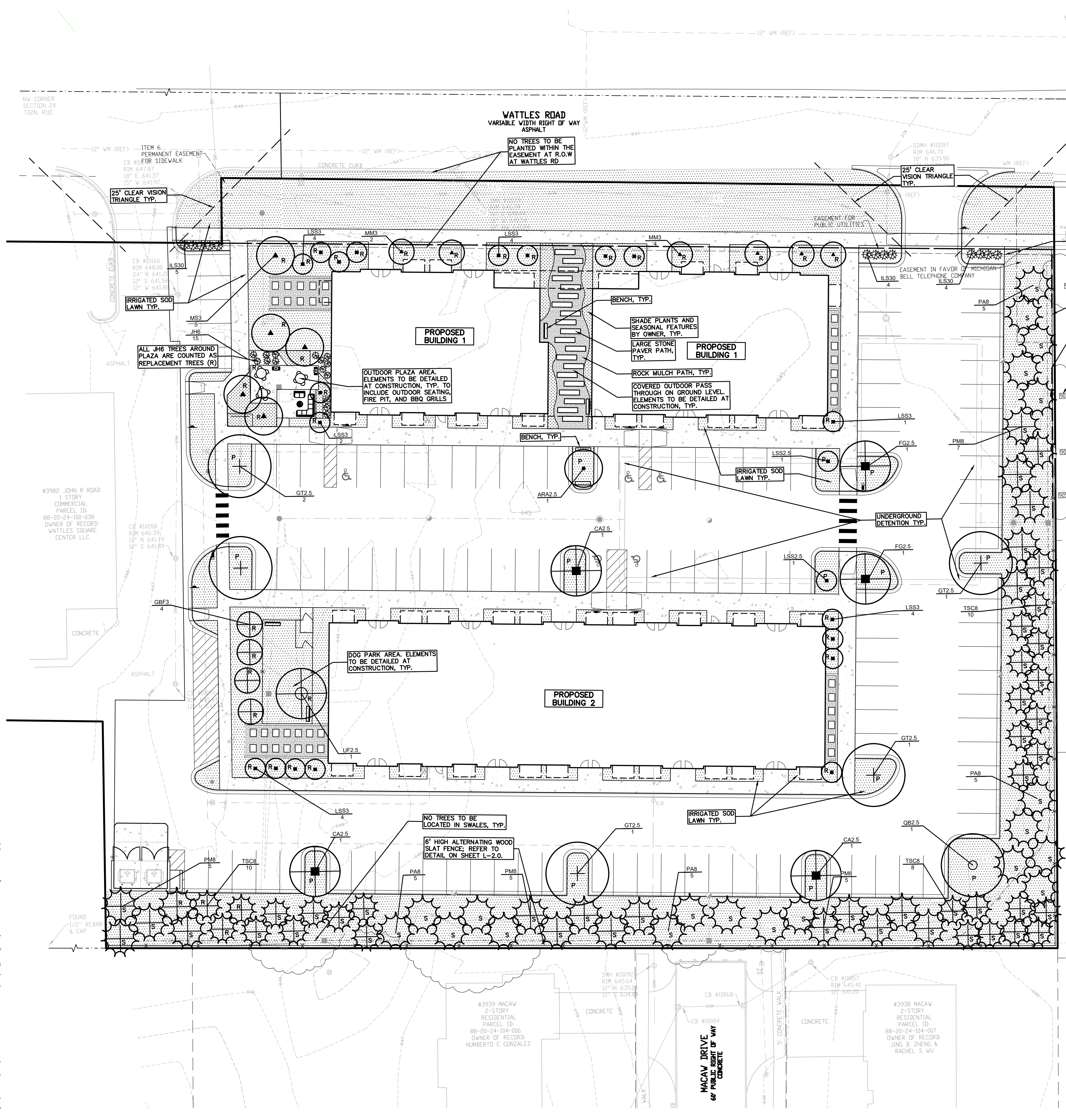
**GREENBELT (WATTLES RD) (G)**  
1 DEC TREE PER 30 LF OF FRONTAGE ABUTTING A PUBLIC ROW  
REQUIRED: 308.01 LF / 30 = 11 TREES  
PROVIDED: UNABLE TO PROVIDE TREES WITHIN THE EASEMENT AT R.O.W ADJACENT TO WATTLES RD.

**GENERAL SITE LANDSCAPE**  
20% OF THE TOTAL SITE AREA IS TO BE LANDSCAPED  
REQUIRED: 93,561 SF SITE AREA X 20% = 18,712.2 SF LANDSCAPED AREA  
PROVIDED: 32849.6 SF LANDSCAPED AREA (35%)

**TREE REPLACEMENT (R)**  
WOODLAND TREES:  
WOODLAND TREES REMOVED (12 TREES): REPLACE AT 50% OF REMOVED DBH  
137" DBH X .5 = 69" REPLACEMENT  
WOODLAND TREES SAVED (0 TREES): CREDIT OF 2X DBH  
0" DBH X 2 = 0" CREDIT  
69" - 0" = 69" REPLACEMENT REQUIRED  
LANDMARK TREES:  
LANDMARK TREES REMOVED (4 TREES): REPLACE AT 100% OF REMOVED DBH  
85" DBH X 1 = 85" REPLACEMENT  
LANDMARK TREES SAVED (0 TREES): CREDIT OF 2X DBH  
0" x 2 = 0" CREDIT  
85" - 0" = -85" REPLACEMENT REQUIRED  
TOTAL REPLACEMENT TREES:  
69" + 85" = 154" DBH REPLACEMENT REQUIRED  
PROVIDED:  
34, 3" DEC TREES = 34 X 3" DBH = 102" DBH  
1, 2.5" DEC TREE = 1 X 2.5" DBH = 2.5" DBH  
15, 6" EVG TREES = 15 X 2.5" DBH = 37.5" DBH  
4, 8" EVG TREES = 4 X 3.5" DBH = 14" DBH  
156" TOTAL DBH PROVIDED

**PLANT SCHEDULE SITE**

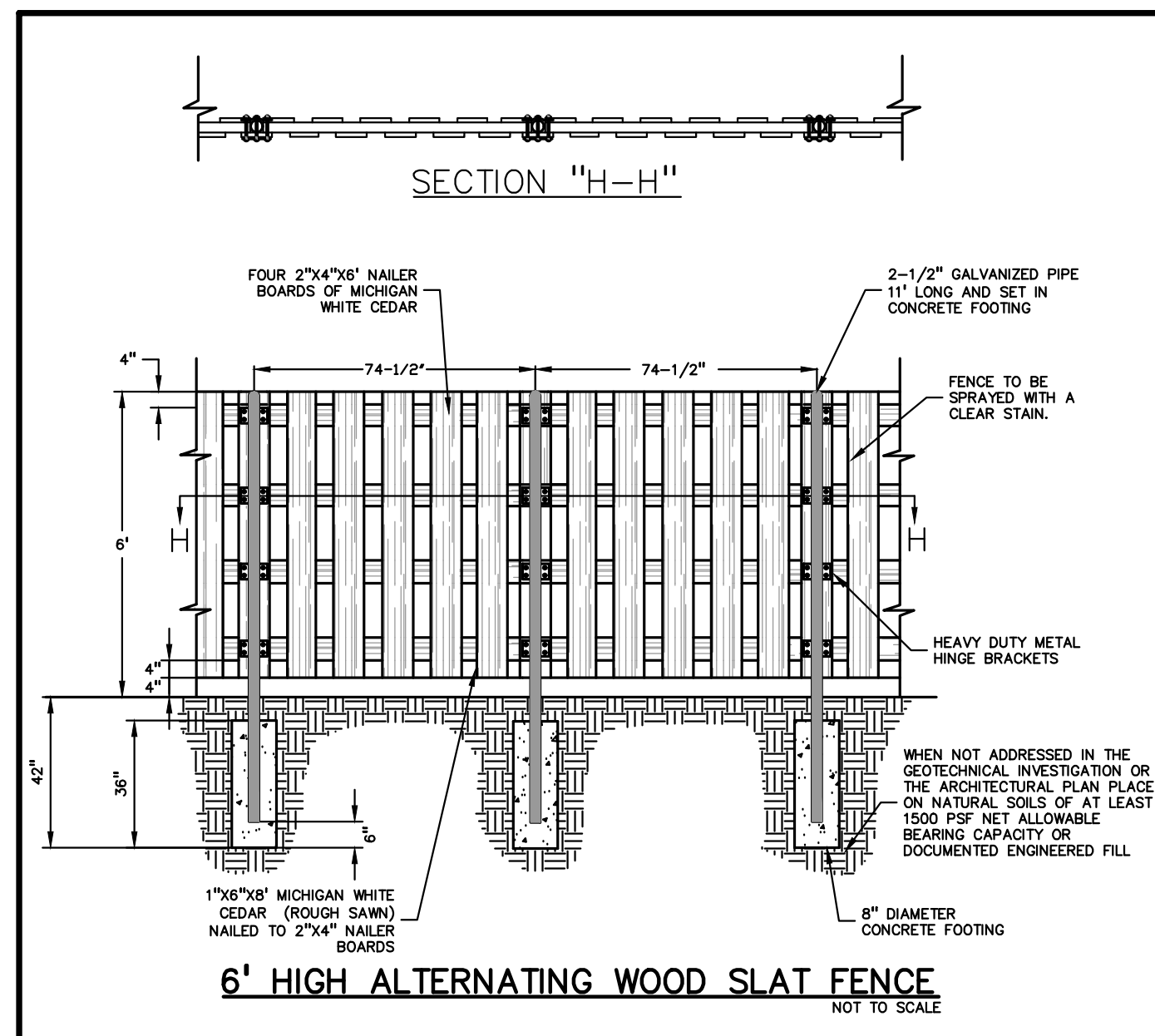
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
<b>DECIDUOUS TREES</b>					
ARA2.5	1	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	2.5" CAL.	B&B	PER PLAN
CA2.5	3	CARPINUS CAROLINIANA / AMERICAN HORNBEAM	2.5" CAL.	B&B	PER PLAN
FG2.5	2	FAGUS GRANDIFOLIA / AMERICAN BEECH	2.5" CAL.	B&B	PER PLAN
GBF3	4	GINKGO BILOBA 'FASTIGIATA' / FASTIGIATE MAIDENHAIR TREE	3" CAL.	B&B	PER PLAN
GT2.5	5	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' / SKYLINE® HONEY LOCUST	2.5" CAL.	B&B	PER PLAN
LSS2.5	2	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	2.5" CAL.	B&B	PER PLAN
LSS3	19	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	3" CAL.	B&B	PER PLAN
QB2.5	1	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5" CAL.	B&B	PER PLAN
UF2.5	1	ULMUS X FRONTIER / FRONTIER ELM	2.5" CAL.	B&B	PER PLAN
	38	SUBTOTAL:			
<b>EVERGREEN TREES</b>					
PA8	20	PICEA ABIES / NORWAY SPRUCE	8" HT.	B&B	PER PLAN
PM8	22	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	8" HT.	B&B	PER PLAN
TSC8	28	TSUGA CANADENSIS / EASTERN HEMLOCK	8" HT.	B&B	PER PLAN
	70	SUBTOTAL:			
<b>ORNAMENTAL TREES</b>					
MM3	6	MALUS X JARMIN / MARILEE® CRABAPPLE	3" CAL.	B&B	PER PLAN
MS3	5	MALUS X 'SUTZYAM' / SUGAR TYME® CRABAPPLE	3" CAL.	B&B	PER PLAN
	11	SUBTOTAL:			
<b>SHRUBS</b>					
ILS30	13	ILEX GLABRA 'SHAMROCK' / SHAMROCK INKERRY HOLLY	30" HT.	CONT.	4" O.C.
JH6	15	JUNIPERUS CHINENSIS 'HETZI' COLUMNARIS / HETZI COLUMNAR JUNIPER	6" HT.	B&B	36" O.C.
	28	SUBTOTAL:			



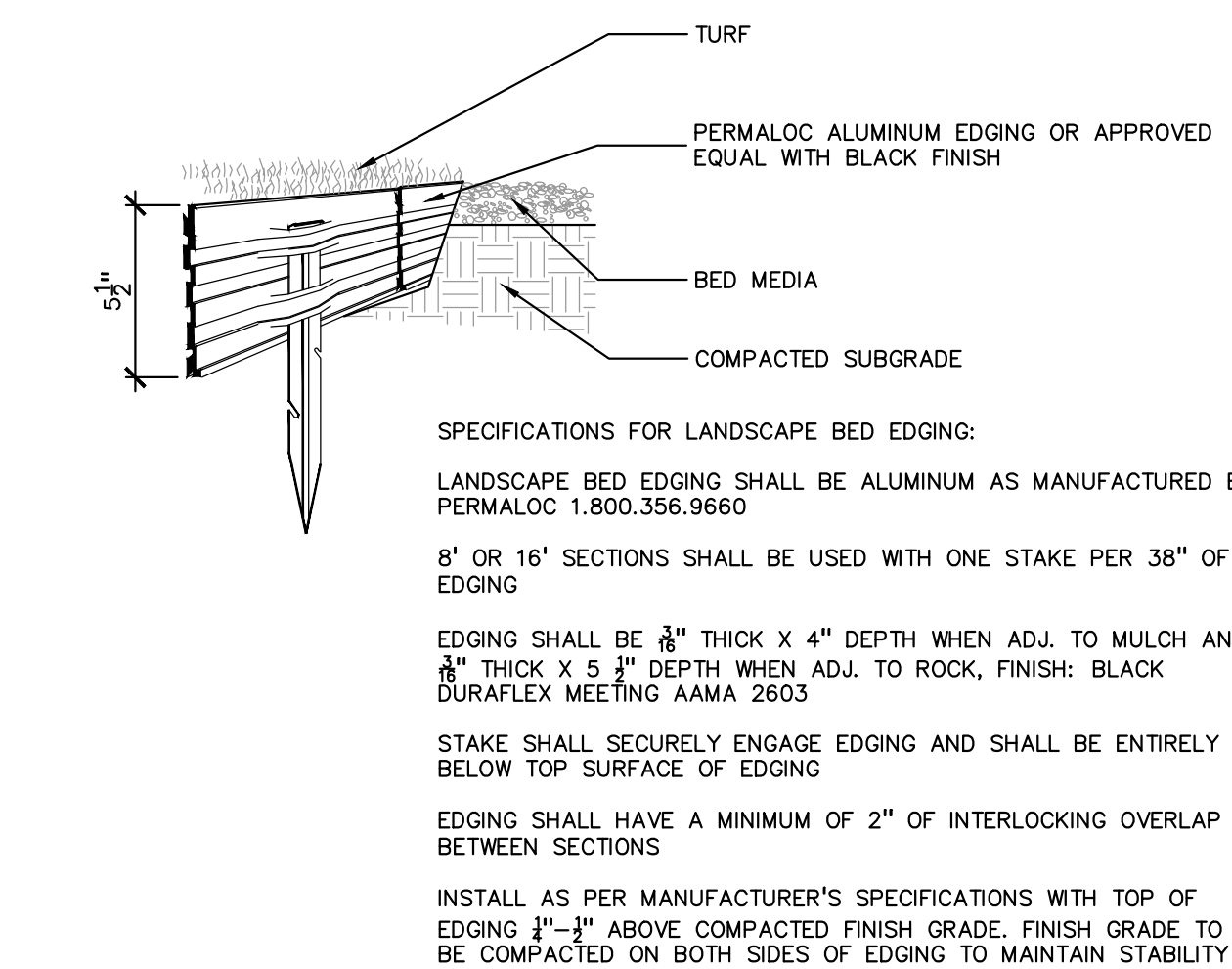
peaplanet.com/PROJECTS/2022/1309-WATTLES-APARTMENTS/04-10-AND-SCHE-22-1309.dwg PLOT DATE: 6/2/2024 BY: Janet Evans  
 Xref: IXTLBK-23-1309.dwg

**GENERAL PLANTING NOTES:**

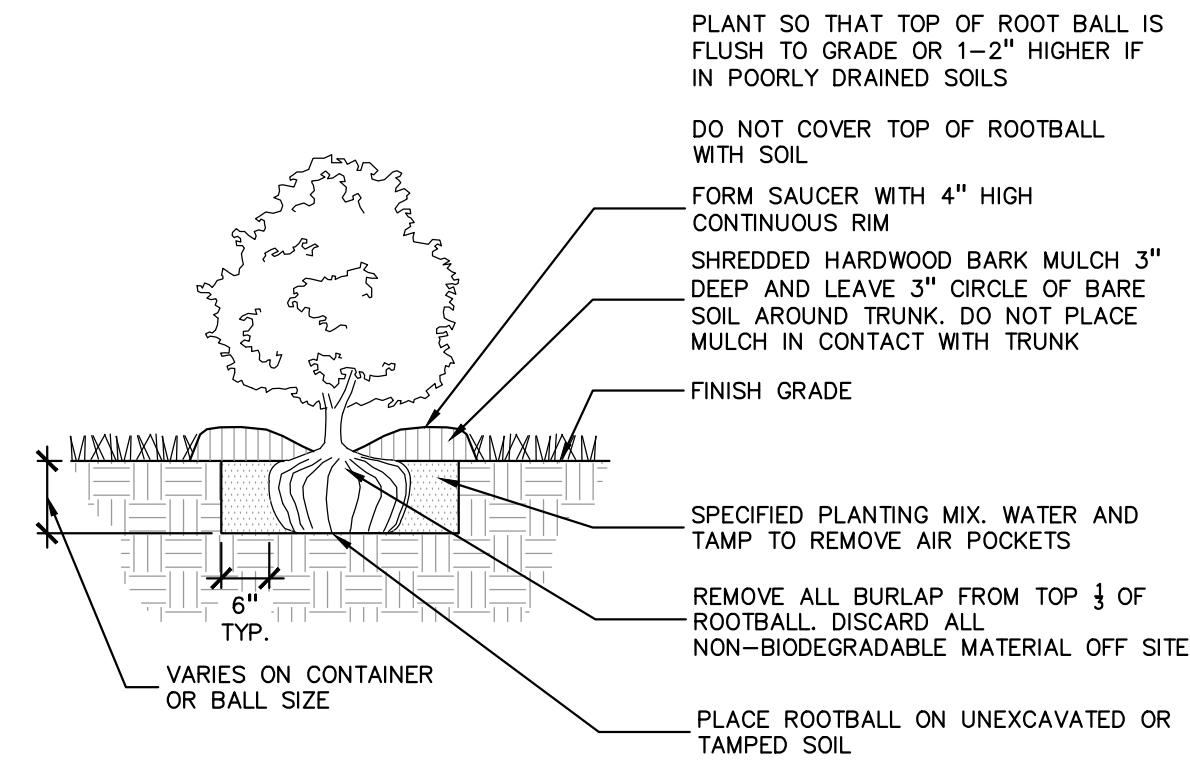
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



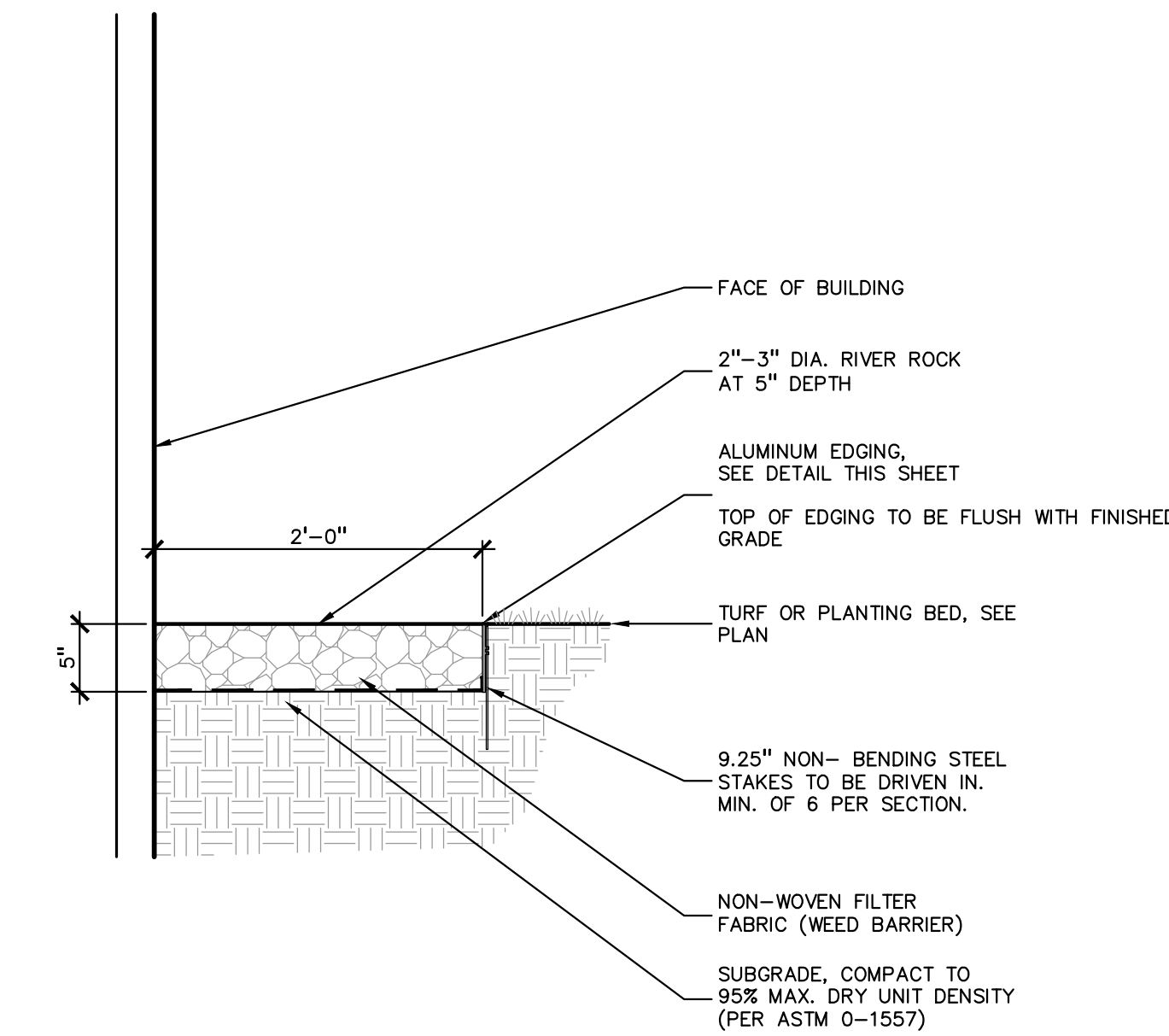
**6 STONE MAINTENANCE STRIP**  
SCALE: 1" = 1'-0"



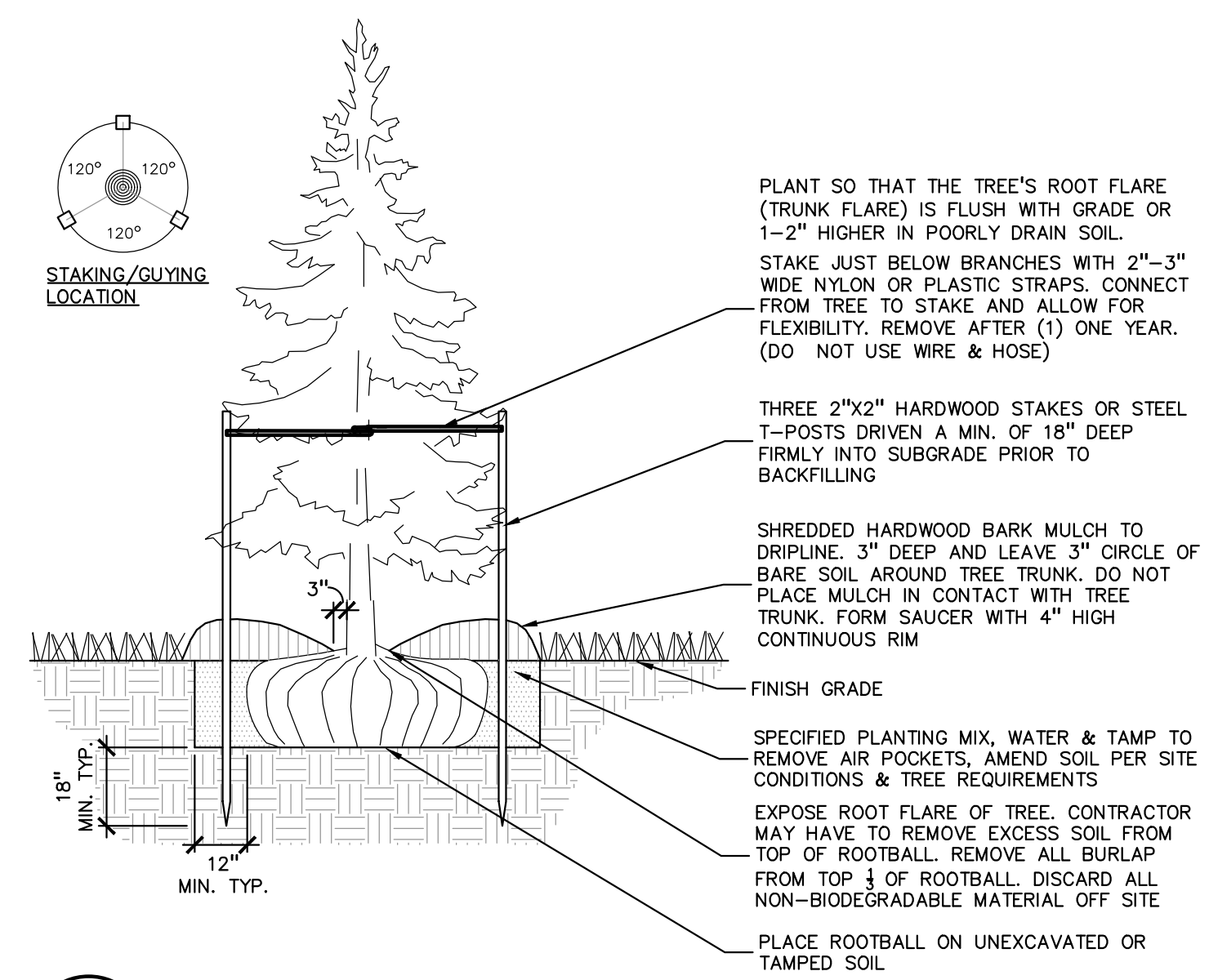
**5 ALUMINUM EDGE DETAIL**  
SCALE: 1/2" = 1'-0"



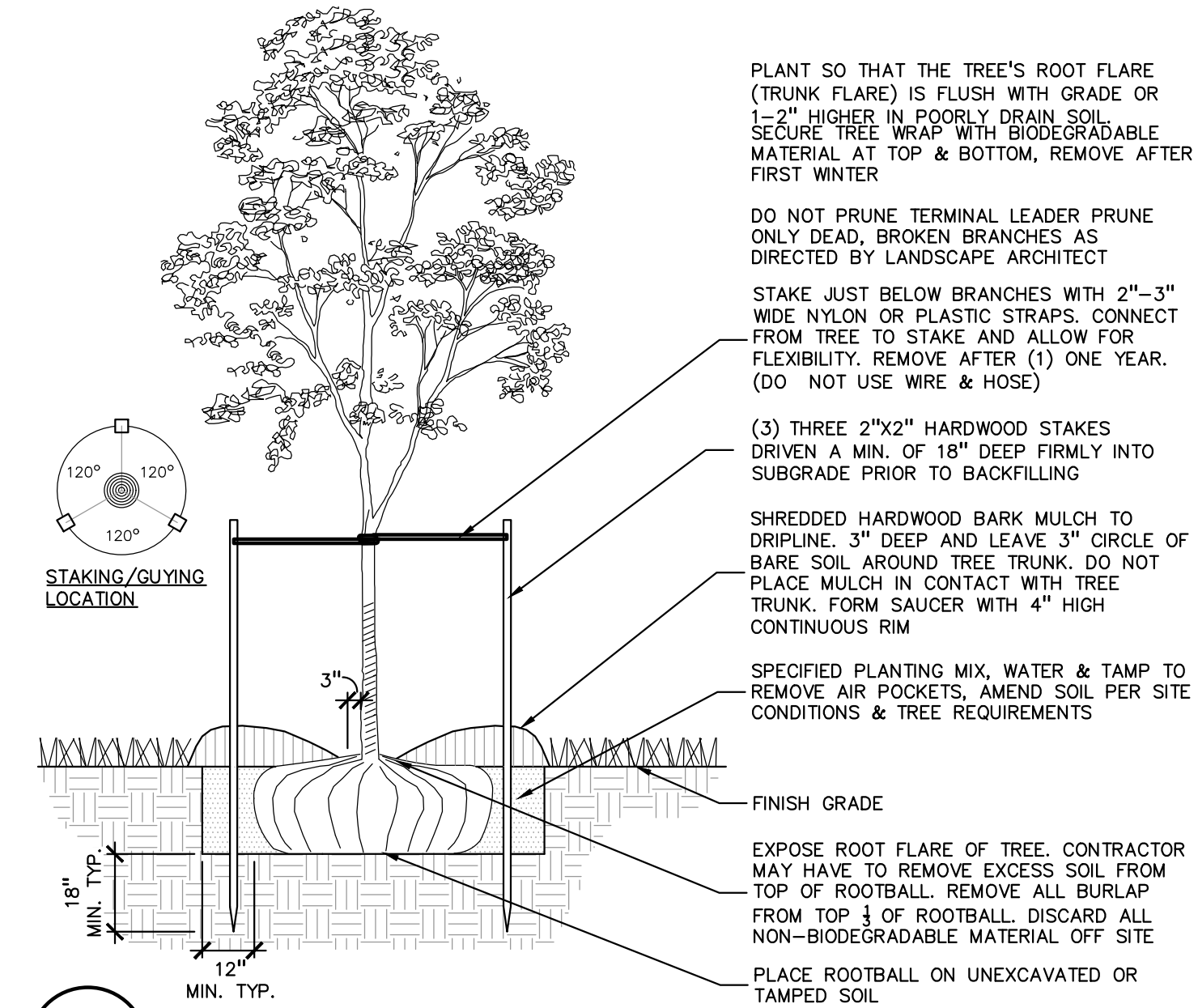
**4 SHRUB PLANTING DETAIL**  
SCALE: 1" = 2'-0"



**3 TREE PROTECTION DETAIL**  
SCALE: 1" = 3'-0"



**2 EVERGREEN TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: 1" = 3'-0"

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

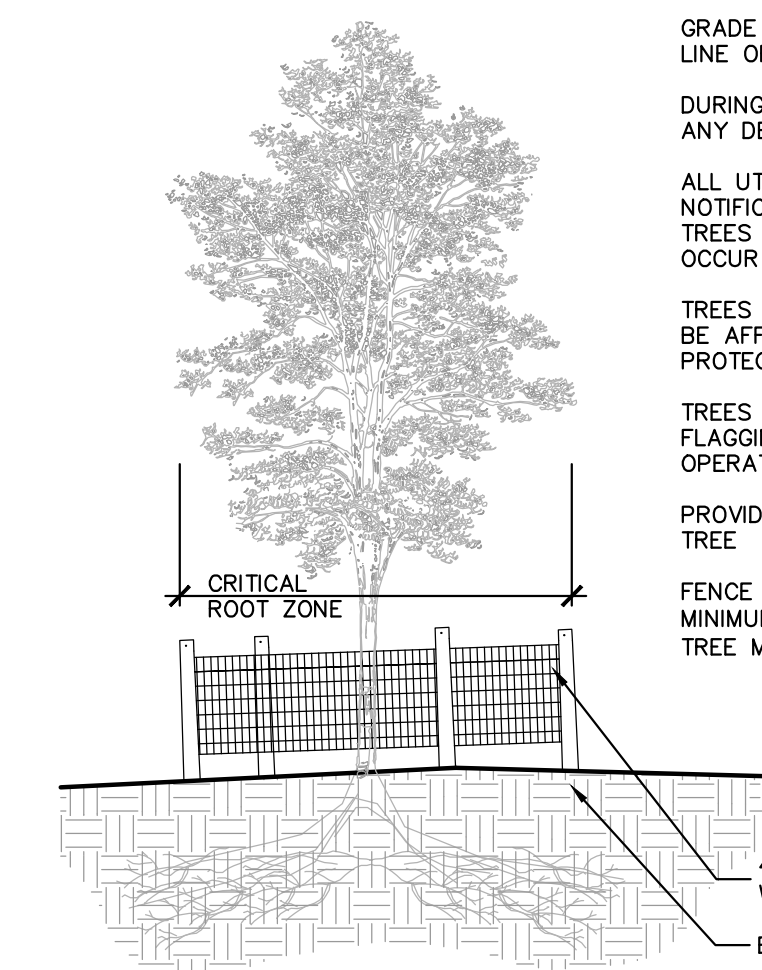
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

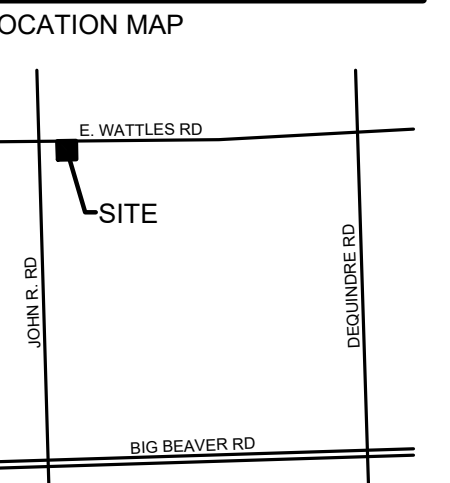
TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48068

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**LANDSCAPE DETAILS**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE

DRAWING NUMBER:

NOT FOR CONSTRUCTION

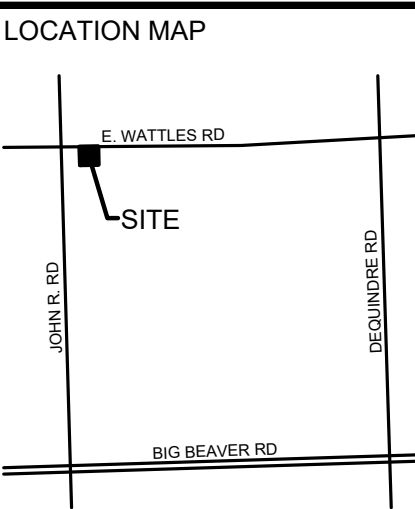
**L-2.0**



0 10 20 40  
SCALE: 1" = 20'



**CAUTION!!**  
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**ATTO CONSTRUCTION, INC.**  
2150 FRANKLIN ROAD  
BLOOMFIELD HILLS, MI 48302

PROJECT TITLE  
**WATTLES SQUARE APARTMENTS**  
E. WATTLES RD. & JOHN R. RD.  
TROY, MI 48063

REVISIONS	
CITY COMMENTS	11/15/23
SITE PLAN APPROVAL	12/5/23
CITY COMMENTS	3/6/24
CITY COMMENTS	6/3/24

ORIGINAL ISSUE DATE:  
SEPTEMBER 22, 2023

DRAWING TITLE  
**TREE PLAN**

PEA JOB NO.	22-1309
P.M.	GMB
DN.	BGG
DES.	JLE

DRAWING NUMBER:

KEY:

- = EXISTING TREE TO REMAIN
- = EXISTING TREE TO BE REMOVED
- = TREE PROTECTION FENCING



NOT FOR CONSTRUCTION

T-1.0

\\pea\new\PROJECTS\2022\2022-1309\_WATTLES\_APARTMENTS\DWG\SITE\_PLAN\T-1\_TREE\_PLAN.dwg PLOT DATE: 6/7/2024 10:11 Janet Evans



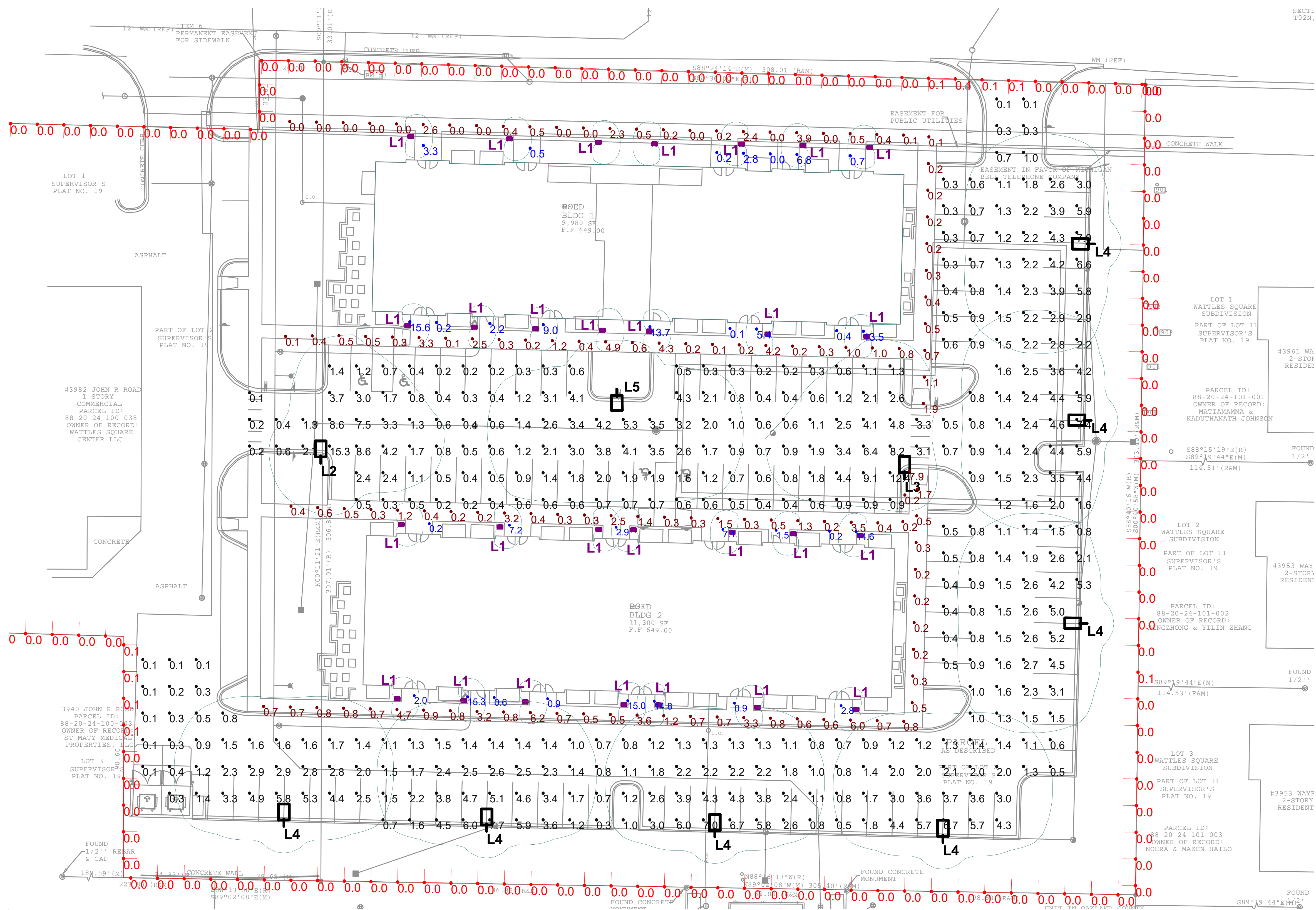
TAG	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
901	13'	Red Maple	Acer rubrum	Good		WOODLAND	S	N	-
902	17'	Austrian Pine	Pinus nigra	Poor	DL, M	WOODLAND	S	N	-
903	8"	White Pine	Pinus strobus	Fair/Poor	NC	WOODLAND	S	N	-
904	22'	Austrian Pine	Pinus nigra	Fair		LANDMARK	S	N	-
905	16'	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	S	N	-
906	3', 11"	Mulberry	Morus rubra	Poor	DL, VC (CrB)	INVASIVE	R	Y	-
907	30'	Box Elder	Acer negundo	Very Poor	Growing horizontal to the ground	INVASIVE	R	Y	-
908	13'	Box Elder	Acer negundo	Very Poor	Topped-VC (Gr)	INVASIVE	R	Y	-
909	7', 8"	Box Elder	Acer negundo	Poor	Totally VC (Gr)	INVASIVE	R	Y	-
910	22'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
911	16'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
912	11'-17'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
913	9"	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
914	10'	Cottonwood	Populus deltoides	Poor	NC, VC (Gr)	INVASIVE	R	Y	-
915	10', 16', 18'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
916	16'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
917	12'	American Elm	Ulmus americana	Poor	NC, OS	INVASIVE	R	Y	-
918	13'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
919	11'	American Elm	Ulmus americana	Fair		INVASIVE	R	Y	-
920	16'	Box Elder	Acer negundo	Poor	Totally VC (Gr)	INVASIVE	R	Y	-
921	16'-18'	Box Elder	Acer negundo	Poor	Maj, L, DL	INVASIVE	R	Y	-
922	18'-22', 24'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
923	13', 15'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
924	39'	Willow	Salix sp.	Poor	BD, BR, OS	INVASIVE	R	Y	-
925	35'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
926	20', 42'	Willow	Salix sp.	Very Poor	Maj, BD, Many DL	INVASIVE	R	Y	-
927	16'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
928	16'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
929	21'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
930	18'	Cottonwood	Populus deltoides	Poor	DL, OS, VC (P)	INVASIVE	R	Y	-
931	5'-16'	Cottonwood	Populus deltoides	Poor	6'-stem-very-poor, OS	INVASIVE	R	Y	-
932	11'-19'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
933	12'	Silver Maple	Acer saccharinum	Fair/Poor	OS	INVASIVE	R	Y	-
934	18'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
935	11'	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
936	25'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
937	25'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
938	10'-33'	Cottonwood	Populus deltoides	Poor	10'-stem-VC (P), OS, VC (P)	INVASIVE	R	Y	-
939	23'	Cottonwood	Populus deltoides	Poor	OS, VC (P)	INVASIVE	R	Y	-
940	12'	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
941	21'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
942	23'	Cottonwood	Populus deltoides	Poor	Maj, DL, OS	INVASIVE	R	Y	-
943	13'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
944	9"	Silver Maple	Acer saccharinum	Poor	NC, Vines (Gr)	INVASIVE	R	Y	-
945	16'	Cottonwood	Populus deltoides	Poor	Topped-M	INVASIVE	R	Y	-
946	6', 21"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
947	24'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
948	16'	Cottonwood	Populus deltoides	Poor	SI, L, M, OS	INVASIVE	R	Y	-
949	17'	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
950	16'	Cottonwood	Populus deltoides	Fair/Poor	L	INVASIVE	R	Y	-
951	16'	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
952	18'	Cottonwood	Populus deltoides	Fair/Poor	SI, L	INVASIVE	R	Y	-
953	16'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
954	15'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
955	9"	Red Oak	Quercus rubra	Fair		WOODLAND	R	Y	REPLACE
956	7"	Red Oak	Quercus rubra	Good		WOODLAND	R	Y	REPLACE
957	9"	Silver Maple	Acer saccharinum	Fair/Poor	Vines (Gr)	INVASIVE	R	Y	-
958	19', 21"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
959	16'	Cottonwood	Populus deltoides	Poor	NC, OS	INVASIVE	R	Y	-

960	23'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
961	11'	Silver Maple	Acer saccharinum	Fair/Poor	OS	INVASIVE	R	Y	-
962	22'	Cottonwood	Populus deltoides	Fair	Some vines (P)	INVASIVE	R	Y	-
963	20'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
964	6', 11', 13'	Box Elder	Acer negundo	Very Poor	6'-stem-dead, BD, DL	INVASIVE	R	Y	-
965	16'	Box Elder	Acer negundo	Poor	DL, L, Fungus	INVASIVE	R	Y	-
966	15'	Box Elder	Acer negundo	Very Poor	Maj, BD, DL	INVASIVE	R	Y	-
967	3', 10', 10', 12'	Box Elder	Acer negundo	Very Poor	Many DL, M	INVASIVE	R	Y	-
968	19'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
969	18'	Norway Maple	Acer platanoides	Very Poor	Maj, BD	INVASIVE	R	Y	-
970	8', 11', 13'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
971	12'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
972	10'	Cottonwood	Populus deltoides	Poor	NC, OS	INVASIVE	R	Y	-
973	11'	Cottonwood	Populus deltoides	Very Poor	DL, VC (Gr)	INVASIVE	R	Y	-
974	13'	Cottonwood	Populus deltoides	Fair/Poor	NC	INVASIVE	R	Y	-
975	11'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
976	9"	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
977	11'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
978	17'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
979	13'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
980	13'	Cottonwood	Populus deltoides	Poor	DL, L, OS	INVASIVE	R	Y	-
981	10'	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
982	11'	Box Elder	Acer negundo	Fair/Poor	Maj, DL	INVASIVE	R	Y	-
983	9"	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
984	8', 10'	Box Elder	Acer negundo	Fair/Poor	DL	INVASIVE	R	Y	-
985	14'	Box Elder	Acer negundo	Very Poor	Maj, BD, DL, L	INVASIVE	R	Y	-
986	17'	Norway Maple	Acer platanoides	Fair/Poor	Exposed roots	INVASIVE	R	Y	-
987	16'	Norway Maple	Acer platanoides	Fair/Poor	Exposed roots	INVASIVE	R	Y	-
988	28'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
989	7'	Red Oak	Quercus rubra	Good		WOODLAND	R	Y	REPLACE
990	26'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
991	12'	Bur Oak	Quercus macrocarpa	Fair		WOODLAND	R	Y	REPLACE
992	20'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
993	23'	Cottonwood	Populus deltoides	Fair/Poor	DL	INVASIVE	R	Y	-
994	12'	Mulberry	Morus rubra	Poor	OS, Vines (Gr)	INVASIVE	R	Y	-
995	26'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
996	19'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
997	21'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
998	15'	Cottonwood	Populus deltoides	Poor	L, OS, Vines (Gr)	INVASIVE	R	Y	-
999	16'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
1000	17'	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
1001	16'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1002	16'	Cottonwood	Populus deltoides	Fair/Poor	OS	INVASIVE	R	Y	-
1003	13'	Cottonwood	Populus deltoides	Poor	DL, OS	INVASIVE	R	Y	-
1004	7'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
1005	18'	Cottonwood	Populus deltoides	Poor	Maj, DL, NC	INVASIVE	R	Y	-
1006	22'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1007	19'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1008	18'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1009	16'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1010	10'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
1011	23'	Cottonwood	Populus deltoides	Dead		INVASIVE	R	Y	-
1012	7', 9'	Silver Maple	Acer saccharinum	Fair		INVASIVE	R	Y	-
1013	15'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1014	25'	Cottonwood	Populus deltoides	Poor	Many DL	INVASIVE	R	Y	-
1015	21'	Cottonwood	Populus deltoides	Poor	M, OS	INVASIVE	R	Y	-
1016	16'	Cottonwood	Populus deltoides	Fair/Poor	DL	INVASIVE	R	Y	-
1017	16', 16', 18'	Cottonwood	Populus deltoides	Poor	(1)-16'-stem-dead, DL, NC	INVASIVE	R	Y	-
1018	16', 18', 26'	Cottonwood	Populus deltoides	Poor	26'-stem-dead	INVASIVE	R	Y	-
1019	14'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1020	17'	Cottonwood	Populus deltoides	Fair/Poor	L	INVASIVE	R	Y	-
1021	10', 12', 16'	Cottonwood	Populus deltoides	Very Poor	10'-stem-dead, L, NC	INVASIVE	R	Y	-
1022	16', 22', 28'	Willow	Salix sp.	Very Poor	16'-stem-dead, Many DL	INVASIVE	R	Y	-
1023	25'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1024	14'	Cottonwood	Populus deltoides	Poor	L, NC	INVASIVE	R	Y	-
1025	12', 19'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1026	20'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1027	24'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1028	16'	Cottonwood	Populus deltoides	Poor	DL, NC	INVASIVE	R	Y	-
1029	28'	Cottonwood	Populus deltoides	Poor	Maj, DL, SI, L, OS	INVASIVE	R	Y	-
1030	32'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1031	13'	Cottonwood	Populus deltoides	Poor	SI, L, M, NC	INVASIVE	R	Y	-
1032	17'	Cottonwood	Populus deltoides	Poor	Maj, DL, OS	INVASIVE	R	Y	-
1033	32'	Cottonwood	Populus deltoides	Very Poor	(3) Maj, DL, OS	INVASIVE	R	Y	-
1034	18'	Siberian Elm	Ulmus pumila	Very Poor	Maj, BD, Many DL	INVASIVE	R	Y	-
1035	10', 12'	Box Elder	Acer negundo	Poor	DL, L	INVASIVE	R	Y	-
1036	8', 11'	Box Elder	Acer negundo	Poor	DL, M, SS	INVASIVE	R	Y	-
1037	13', 16', 18'	Box Elder	Acer negundo	Very Poor	Maj, BD, DL, L	INVASIVE	R	Y	-
1038	16'	Norway Maple	Acer platanoides	Fair		INVASIVE	R	Y	-
1039	14'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1040	6'	Cottonwood	Populus deltoides	Fair/Poor	BD	INVASIVE	R	Y	-
1041	18'	Cottonwood	Populus deltoides	Fair		INVASIVE	R	Y	-
1042	16'	Austrian Pine	Pinus nigra	Fair		WOODLAND	R	Y	REPLACE
1043	18'	Austrian Pine	Pinus nigra	Fair		LANDMARK	R	Y	REPLACE
1044	20'	Norway Spruce	Picea abies	Good		LANDMARK	R	Y	REPLACE
1045	23'	Norway Spruce	Picea abies	Good		LANDMARK	R	Y	REPLACE
1046	13'	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1047	15'	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1048	3', 5', 6', 7', 9'	Amur Maple	Acer ginnala	Very Poor	Maj, BD, DL	INVASIVE	R	Y	-
1049	24'	Austrian Pine	Pinus nigra	Fair		LANDMARK	R	Y	REPLACE
1050	8"	Spruce	Picea sp.	Very Poor	Central leader-poor, OS	WOODLAND	R	Y	-
1051	12"	Spruce	Picea sp.	Fair		WOODLAND	R	Y	REPLACE
1052	10"	Spruce	Picea sp.	Fair		WOODLAND	R	Y	REPLACE
1053	10"	Spruce	Picea sp.	Very Poor	Central leader-poor, BD, OS	WOODLAND	R	Y	-
1054	11"	Spruce	Picea sp.	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1055	15'	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	R	Y	REPLACE
1056	10'	Austrian Pine	Pinus nigra	Fair/Poor	DL	WOODLAND	R	Y	REPLACE

**TREE INVENTORY/PRESERVATION CALCULATIONS**

**WOODLAND TREES**  
**WOODLAND TREES REMOVED:** 12 (REPLACE AT 50% OF REMOVED DBH)  
 137" DBH x 0.5 = 69" REPLACEMENT  
**WOODLAND TREES SAVED:** 0 (CREDIT OF 2X DBH)  
 " DBH x 2 = " CREDIT  
 68.5 - 0 = 68.5  
**69" DBH REQUIRED FOR WOODLAND REPLACEMENT**

**LANDMARK TREES**  
**LANDMARK TREES REMOVED:** 4 (REPLACE AT 100% OF REMOVED DBH)  
 85" DBH x 1 = 85" REPLACEMENT  
**LANDMARK TRE**



Scale: 1 inch = 20 Ft.

Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
	28	L1	0.900	LUMIERE 303-B1-LEDB1-3500-UNV-T4-DIM10	8.4	653	3
	1	L2	0.900	MCGRAW EDISON GALN-SA2C-735-U-SLR	108	11352	15
	1	L3	0.900	MCGRAW EDISON GALN-SA2C-735-U-SLL	108	11352	15
	7	L4	0.900	MCGRAW EDISON GALN-SA2C-735-U-SL4-HSS	108	10833	15
	1	L5	0.900	MCGRAW EDISON GALN-SA2C-735-U-T4W	108	13180	15

Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Building A Entrances	Fc	4.65	15.6	0.0	N.A.	N.A.
Building A Sidewalks	Fc	0.80	4.9	0.0	N.A.	N.A.
Building B Entrances	Fc	5.73	15.3	0.2	76.50	28.65
Building B Sidewalks	Fc	1.23	7.9	0.2	39.50	6.15
Parking Lot and Drives	Fc	2.06	15.3	0.1	153.00	20.60
Property Line	Fc	0.01	0.1	0.0	N.A.	N.A.

PROPERTY LINE CALCULATION POINTS ARE TAKEN AT 5'-0" A.F.G. VERTICALLY.

CALCULATION POINTS FOR PARKING LOT, SIDEWALKS AND ENTRANCES ARE TAKEN AT GRADE HORIZONTALLY.

**NOTES:**

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.

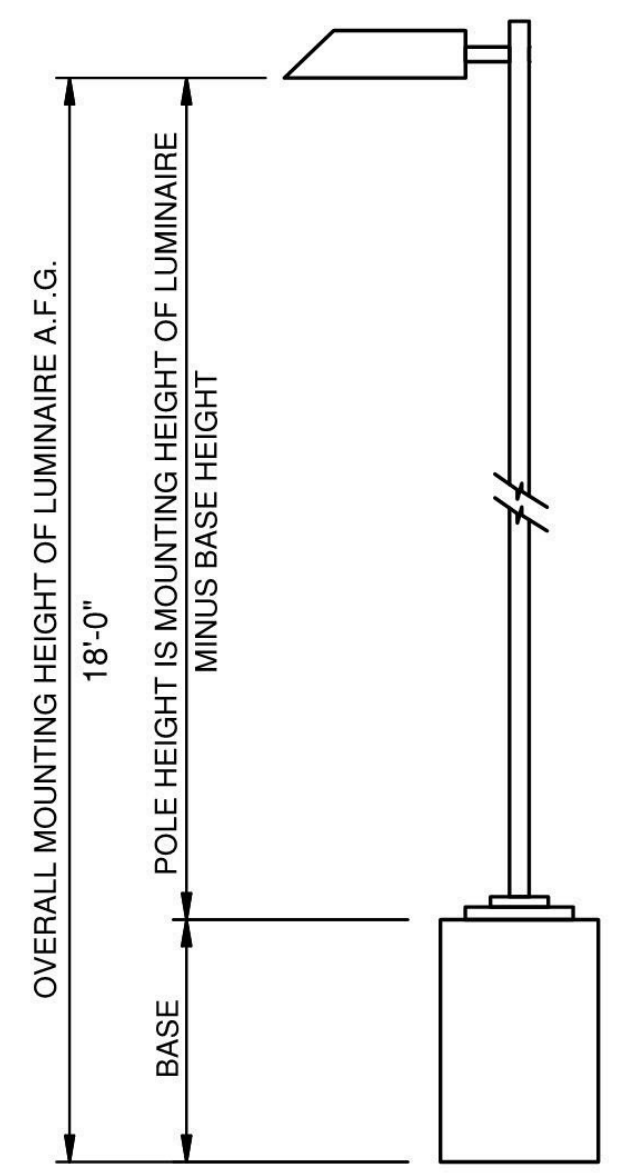
LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LEDS AND OTHER VARIABLE FIELD CONDITIONS.

MOUNTING HEIGHTS INDICATED ARE FROM GRADE TO BOTTOM OF LUMINAIRE LENS OR FROM FLOOR TO BOTTOM OF LUMINAIRE LENS, UNLESS OTHERWISE NOTED.

CLARUS DOES NOT ACT AS THE ELECTRICAL, CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS AND APPLICABLE CODE COMPLIANCE. CLARUS IS NOT LIABLE FOR ANY CODE COMPLIANCE DISCREPANCY.

LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT OF RECORD IS RESPONSIBLE TO REVIEW FOR CODE COMPLIANCE, INCLUDING AND NOT LIMITED TO - NFPA 101 LIFE SAFETY CODE, MICHIGAN ENERGY CODE, MICHIGAN BUILDING CODE AND/OR IECC CODE, LIGHTING QUALITY COMPLIANCE AND LOCAL LIGHTING ORDINANCES.

FOR SITE PLAN PHOTOMETRICS, THE USE OF ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.



**Project:** WATTLES APARTMENTS | **Catalog #:** | **Type:** L2, L3, L4, L5

**Produced by:** | **Notes:** | **Date:**

**McGraw-Edison GALN Galleon II**  
Area / Site Luminaire

**Typical Applications:**  
Outdoor - Parking Lots - Walkways - Roadways - Building Areas

**Interactive Menu:**  
• Ordering Information  
• Mounting Details  
• Optical Distributions  
• Product Specifications  
• Energy and Performance Data  
• Control Options

**Product Certifications:**  
UL, ENEC, CE, PSE, SAA, CCC, CB, VDE, TUV, BSI, IEC, RoHS, REACH

**Resources:**  
• WaveLux Lite  
• WaveLux

**Quick Facts:**  
• Lumen packages range from 3,300 - 73,500 (33W - 552W)  
• 16 optical distributions  
• Efficacy up to 159 lumens per watt

**Connected Systems:**  
• WaveLux Lite  
• WaveLux

**Dimensional Details:**  
Standard Arm

Number of Luminaires	Width (ft)	Mounting Length (ft)	Weight (lbs. Unladen or 20' max)	EMA Lumens (Unladen or 20' max)
14	16'	22'	29 lbs	0.55
54	22'	22'	39 lbs	0.55
78	22'	28 1/2'	48 lbs	1.1

**COOPER** Lighting Solutions | **PROVISION** Page 1 | August 2021 (07/20)

**Project:** WATTLES APARTMENTS | **Catalog #:** | **Type:** L1

**Produced by:** | **Notes:** | **Date:**

**Lumiere EON 303-B1-LEDB1**  
Bollard

**Typical Applications:**  
Hospitality - Commercial Landscape - Outdoor Area/Site - Residential - Architectural

**Interactive Menu:**  
• Order Information  
• Product Specifications  
• Lumen Maintenance  
• Product Warranty

**Product Certification:**  
UL, ENEC, CE, PSE, SAA, CCC, CB, VDE, TUV, BSI, IEC, RoHS, REACH

**Product Features:**  
• Top Product Features  
• Full Cut Off Downlight: 12", 24", 36" or 42" height  
• 2700K, 3000K or 3500 or 4000K Color Temperature and Amber (585-595nm)  
• Type II, Type IV or Type V Optics with clear glass sealed lens  
• Patented AccuLED Optics™ System  
• Universal Input LED Driver Included (120 - 277V, 50/60 Hz)  
• ELV or 0-10 Dimming

**Dimensions:**

**COOPER** Lighting Solutions | **PROVISION** Page 1 | August 2021 (07/20)

**From:** [Fabrice Smieliauskas](#)  
**To:** [Planning](#)  
**Subject:** comments on Wattles Square Apartments proposal  
**Date:** Tuesday, April 23, 2024 11:47:24 AM

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You don't often get email from fab.smieliauskas@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Planning Commission,

As you consider the proposal in front of you tonight, a few comments:

I fully support a rental, residential only project here as permitted under the current NN zoning, as serving an important need for a more affordable housing rent/price point in the city.

Please do not reject this on the grounds that the "style" of garden apartments does not suit your architectural tastes. **You are not the style police -- this is not your own home.** Allow the market to decide what is an attractive style for renters, which may include a value/aesthetic tradeoff that renters are willing to make to save a couple of hundred dollars on rent.

I like the repurposing of part of the vacant Rite-Aid as a community center! I have a hard time believing that the owners will be able to find another pharmacy to replace the Rite-Aid, at a time of retrenchment in the pharmacy sector. The project plan showing that the corner facing retail space will remain a pharmacy may be misleading - another use there is likely to emerge. Nonetheless, repurposing of existing buildings -- like the office-to-residential conversions occurring in our city - reduces the carbon emissions associated with new development and is environmentally sound. Applicant should receive credit for this.

Fabrice Smieliauskas

**From:** [Doriscell Drake](#)  
**To:** [Planning](#)  
**Subject:** Opposition to Proposed Apartment Complex - Zoned NN:B  
**Date:** Tuesday, May 28, 2024 4:26:08 PM

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You don't often get email from doriscell.drake@youngrembrandts.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern.

I am a resident of The Enclave Condominiums in Troy. I strongly oppose the building of an apartment complex in our neighborhood. It is my opinion that the existence of an apartment building would negatively impact property value as well as stabilization of our beautiful neighborhood.

Please advise if you need additional information regarding my opposition.

*Doriscell Drake*  
2047 Applewood Drive  
Troy, MI 48085

**From:** [Laura Wilkins](#)  
**To:** [Planning](#)  
**Subject:** Wattles Square Apartment Complex  
**Date:** Friday, June 7, 2024 12:13:32 AM

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You don't often get email from leduc.laura.24@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Troy Planning Commission Members,

My name is Laura Wilkins and I reside in the Wattle Square Neighborhood. I am writing to you because of my strong opposition to the development of the Wattles Square Apartment Complex.

I moved into this subdivision with my husband almost ten years ago. We recently renovated our home and welcomed our two children into our family. We made the decision to stay in our current home and renovate because we absolutely love this city. We love how diverse it is, the fantastic schools, and most importantly, we love our neighbors. I often joke around to my friends that our neighborhood reminds me of an old movie where everyone knows each other and always stops to say hello. It's a neighborhood that I am extremely excited to see my children grow up in.

When I found out the news about the apartment complex, my first thought was how will this change our surrounding neighborhoods, especially our neighborhood? We are completely open to building our community and allowing others the opportunity to be able to enjoy what this great city has to offer. However, I would like it to be done in a manner that continues to build on the beauty of our surrounding neighborhoods. We took the time to research what the neighborhood nodes should consist of, and this project simply does not meet the standards that were put into the nodes plans. The neighborhood nodes were created to help build the community and bring others together. I want to know how a closed off, modern apartment complex, helps the surrounding neighborhoods and makes the community stronger?

So here's my list of questions that I have for you, that I am begging that you consider when making your final decision on this project.

- Take a moment to look at the designs of this project, and think to yourself, does this truly match the character of the surrounding neighborhoods? Many of these homes were built in the 80s, so is it a good look to throw in an apartment building that looks like a shopping strip mall? **According to the neighborhood nodes, the development should share common characteristics with the surrounding area and should NOT be so extreme that it overpowers the surrounding residential areas.**



- There are multiple homes who will have a parking lot in their backyard. Is that a great way to meet new neighbors by watching them get in and out of their cars while hanging out in your backyard enjoying some time with your family? Would you want this in your yard? Even if you put a fence up, once again, how is that drawing in the surrounding communities? How does that respect the adjacent neighborhoods?
- The developer mentioned that there will be green spaces, but I want to quote what he said at the May 28th meeting. "There will be green spaces for the residents to use." He made mention of a community center that the "residents" will be able to use. A grill that the "residents" can use. I would like to add that this "community center" that he mentioned is the storage room of an existing hair salon that has been abandoned for ten years and will only have maybe two forms of exercise equipment for 54 units. **According to the neighborhood node district, the developments are supposed to take on a social role, and be a "go to" kind of place for everyone.** How does closing off the surrounding neighbors, and not providing amenities to the surrounding neighborhoods provide this as a way to build the community? Where is the common green space area for everyone, to make it a "go to" place? I could see some potential if they were going to make the commercial area a place to gather, such as a coffee shop or places to eat, but instead, they plan on leaving a super aged abandoned Rite Aid in hopes that someone will lease it. Again, how does that bring the community together?

Finally, I am an elementary teacher, so I tend to provide a lot of visuals for my students. **Sometimes it can be an eye opener when you see something for yourself. I highly encourage you to get your own visual. I encourage you to try to go Southbound on John R during peak traffic hours (morning commute/5:00 pm).** I already struggle to get out of our subdivision, so I will be honest, I use the neighborhood behind me to get out because of how backed up the left hand turn lane gets at Wattles and John R. Can you picture how congested that left lane will get once there are 100+ cars added into the area trying to leave for work?

In conclusion, I completely understand the need for multifamily housing and allowing others the opportunity to seek Troy as their home, but I strongly believe that this land could be developed into something that has greater potential and respects the surrounding neighborhoods.. The city shouldn't settle for something that is being thrown together and not respecting the intent of the neighborhood nodes.

Thank you so much for your time and consideration.  
Laura Wilkins

**From:** [chris touma](#)  
**To:** [Planning](#)  
**Subject:** Subject: Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)  
**Date:** Tuesday, June 11, 2024 9:31:49 PM

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Dear Members of the Troy City Planning Commission,

I am writing as a concerned resident to express my strong opposition to the planned construction of an apartment complex near my home. I urge the Planning Commission to seriously reconsider this project.

Here are my primary concerns:

1. **\*\*Traffic Congestion and Safety:\*\*** The proposed apartment complex will significantly increase traffic in our area. The local roads, especially at the intersection of John R Road and Wattles, are not designed to handle such an influx. This will pose safety risks to residents, particularly children who walk or bike to school and parks. The likelihood of accidents will also increase, endangering both residents and commuters.
2. **\*\*Privacy and Safety:\*\*** The close proximity of the proposed buildings raises significant privacy and safety issues. The increased density and height of the apartments could lead to a loss of privacy, as residents may have direct views into our homes and yards.
3. **\*\*Environmental Concerns:\*\*** The proposed development site includes green spaces and mature trees that are vital to the ecological health and aesthetic appeal of our neighborhood. Construction would likely lead to the loss of

these green areas, negatively impacting local wildlife and the overall environment.

4. **\*\*Community Character and Quality of Life:\*\*** Our neighborhood is defined by its single-family homes and a close-knit community atmosphere. The introduction of a large apartment complex is inconsistent with this character and could disrupt the sense of community that we value.

5. **\*\*Strain on Infrastructure and Services:\*\*** The addition of numerous new residents could strain existing infrastructure and public services, including water, sewage, and emergency services. There is concern that the current infrastructure may not support such a significant increase in population, leading to reduced service quality and longer emergency response times.

While I support responsible development within Troy, I believe this project is not suitable for the location adjacent to our neighborhood. I respectfully request that the Planning Commission reconsider the approval of this project.

Sincerely,

Chris Touma

**From:** [paul leitheiser](#)  
**To:** [Planning](#)  
**Subject:** 54 units proposed at Wattles and John R  
**Date:** Tuesday, June 11, 2024 5:52:49 PM

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I oppose the current plan to stuffing 54 units into an Area that is 1/8 the size of my adjoining subdivision "Wattles Square" with less occupancy. I am not opposed to a more reasonable approach - less units with garages and a townhouse look or traditional houses.

Specifically I oppose current approach for these reasons

1. No garages - theft, noise and light pollution
2. No setback from Wattles - will look like strip mall
3. Garden style first floor - unit split between upstairs and basement - no senior would be interested in that (also all basements leak)
4. Flat roof - not pitch like rest of housing in area
5. Negative Impact of increased traffic
6. Increased crime from a transient population

Paul Leitheiser  
3897 Wayfarer Dr  
Troy, Mich. 48083

Pleitheiser1@att.net

[Sent from AT&T Yahoo Mail for iPhone](#)

**From:** [COLLEEN HELMICK](#)  
**To:** [Planning](#)  
**Cc:** [maleonard50@gmail.com](mailto:maleonard50@gmail.com); Paul Leonard  
**Subject:** Constructing Apartments Wattles/John R  
**Date:** Saturday, June 22, 2024 11:36:08 AM

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Troy Planning Commission:

As residents of the Mt Vernon Estates subdivision, we are totally opposed to the plan to build apartments on the corner of Wattles and John R. The plan is to build 54 apartments, two 3 story buildings with 108 parking spaces, on a small 2.8 acre lot. The residents who live in the area were not made aware of this plan and have major concerns. Making this a dense residential corner, it will have a negative impact on the surrounding neighborhoods' property values, schools, traffic, and safety. It is an unsightly design, which will be sandwiched between two well designed residential neighborhoods. The nearby homeowners will be looking at a massive unsightly parking lot with no garages, trash dumpsters, and two functional buildings. There is no room for a natural fire break, and embers can travel a short distance to adjacent subdivisions. Traffic will be impossible with drivers making left turns in and out of the complex. Even if no left turn signs are installed, it won't be adhered to or enforced. It is difficult enough on that corner with Athen's High School so close.

Troy has recently built new apartments that are crammed in on most corners:

Square Lk/Dequindre  
Wattles/Livernois  
Big Beaver/John R  
Livernois/Square Lk  
Long Lk next to Ace Hardware  
Currently building a large complex on Long Lk between Livernois & Rochester.

All these developments are functional complexes at best. They look unsightly, create traffic congestion, and are a negative reflection on the city. We also understand the Kelly Service building will be turned into flats, as well as, other commercial office buildings on Big Beaver. This begs the question as to why so many multi family dwellings are needed. However, the rendering of the Kelly Service building included some green space unlike all the other apartment complexes. Since the corner of Wattles/John R is a small space, why not have a small amount of condos be built around a cul-de-sac that is less dense, has greenery with landscaping, and is more appealing.

Instead of the old City of Troy motto being "The city tomorrow today," it should read "The city of unsightly apartments." The surveys conducted in recent years have shown residents want more green spaces in the city. Why do you not represent this view point. Maybe it is time to elect city officials who listen to those that they are suppose to represent.

Sincerely,

Colleen Helmick  
Michelle Leonard  
Paul Leonard

**From:** [Pete Wilkins](#)  
**To:** [Planning](#)  
**Subject:** May 28th meeting follow-up  
**Date:** Wednesday, May 29, 2024 10:27:08 PM  
**Attachments:** [image.png](#)  
[image.png](#)  
[Petition Cover Letter.pdf](#)

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You don't often get email from [pete.wilkins.umich@gmail.com](mailto:pete.wilkins.umich@gmail.com). [Learn why this is important](#)

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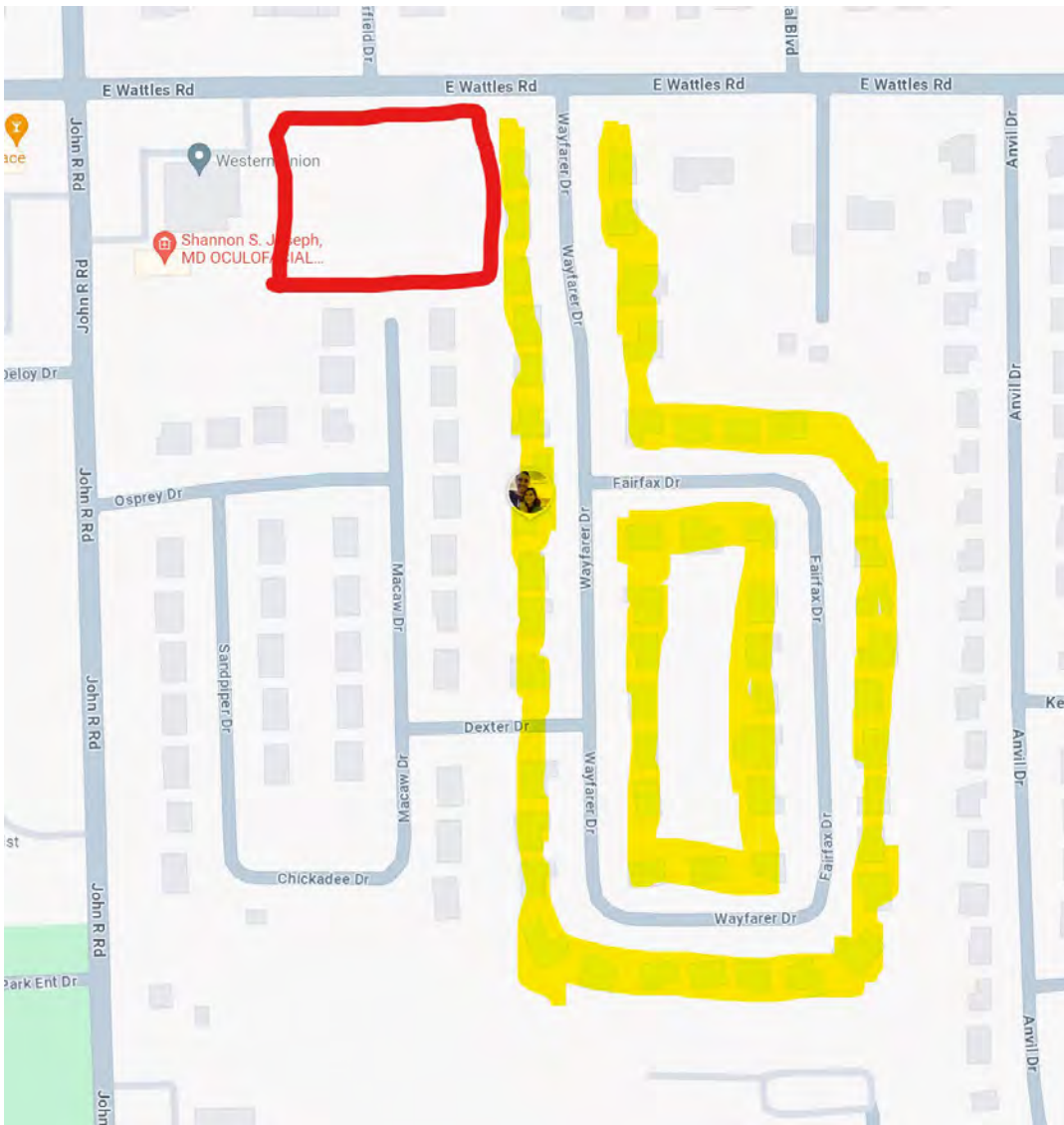
Hello Planning Council members,

My name is Pete Wilkins. I was the first to speak at last night's meeting regarding opposition to the proposed Wattles Square Apartments.

First, let me say thank you for giving me and my neighbor's the opportunity to speak last night. I've attached a copy of the cover letter that I handed to council member Marianna Perakis after speaking.

Also, I want to express that people's statements made in that meeting are their own. The points presented in this document is what was shared when we asked for signatures from the neighborhood. The use of the word "transient" should not be taken negatively, but only as it is defined in the dictionary, "lasting only a short time; existing briefly; temporary." I want to be clear that the statements made in this document are not discriminatory against renters but merely pointing out the role each plays in a community. Ownership means commitment whereas renting means involvement. A good parallel is marriage vs. dating.

References to safety in this document are referring to the high density of people driving in and out of such a small area. There is nothing really within walking distance, so these 100+ vehicles will be coming and going constantly. We worry about the safety of drivers and pedestrians, especially our children. To put it in perspective, the entire neighboring Wattles Square subdivision is 54 households, and we are proposing to squeeze that many households into such a small plot of land.



Speaking now for just myself, not on behalf of the residents who signed the petition, I'd like to offer a view of what I believe "good" looks like and what better matches the intent of the Neighborhood Node zoning ordinance.

I put this together rather quickly using satellite imagery of existing developments in the area.



Something like this

- Offers a good mix of building variation
- Promotes the improvement of the existing commercial space
- Lowers the density
- Allows for safe Southbound egress
- Offers good transitions to surrounding neighborhoods
- Respects privacy of abutting neighbors
- Offers attractive public space
- Preserves mature trees

A. Multifamily residential housing (taken from The Enclave across Wattles) with a tree buffer separating neighboring residents.

B. Higher density rental housing (taken from The Phoenix apartments at Big Beaver and John R).

C. The existing commercial building which could be rebuilt to offer more attractive windowed shops/restaurants with the option to add more rental units above.

D. Preserved mature greenspace with some public amenities like a pavilion and playground that could be shared by both existing and new members to the community.

We can do better than what is proposed and we can/should work together to realize the vision of what the Neighborhood Nodes were created for.



Thank you for time and consideration,  
Pete Wilkins  
3905 Wayfarer Dr.

**From:** [Chandru Boopalam](#)  
**To:** [Planning](#)  
**Subject:** Comments/Concerns  
**Date:** Tuesday, May 28, 2024 6:27:31 PM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

**To:** Planning Commission - City of Troy

**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)

Dear Members of Troy City Planning Commission,

I hope this letter finds you well. I am writing to express my concerns regarding the proposed development of new apartments adjacent to our neighborhood. I, along with many of our fellow neighborhood residents, have reservations about the potential impact this development could have on our community regarding privacy, safety and other areas.

I kindly request the planning commission board for a formal hearing to express my concerns.

Thank you for your attention to this urgent matter and look forward to a quick response.

Sincerely,

C.Boopalam  
3894 Sandpiper Dr  
Troy, MI 48083

**From:** [drlemu.misc@gmail.com](mailto:drlemu.misc@gmail.com)  
**To:** [Planning](#)  
**Subject:** RE: Apartment Complex Planned for Wattles at John R  
**Date:** Tuesday, May 28, 2024 7:22:51 PM

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You don't often get email from drlemu.misc@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Greetings,

I have just become aware of planned apartment complex at Wattles and John R. I live directly across from the proposed complex (the Enclave of Troy) and would be very concerned about traffic (with such high resident density for small area) and the detrimental effect of a large Apartment complex in an established area of single-family dwellings/condos. A traffic signal would be needed at our exit (Summerfield Dr) onto Wattles – and this is a large pickup spot for school children. Please stick to the original plans of homes/condos for this site (much reduced traffic), apartments do not fit/enhance the area in anyway. Please vote AGAINST this proposal.

Thank you,  
David Lemieux  
2051 Applewood Dr

**From:** [Kelly Martin](#)  
**To:** [Planning](#)  
**Subject:** Kelly Martin - resident on Fairfax, Wattles Square  
**Date:** Tuesday, May 28, 2024 4:35:36 PM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Planning Commission:

I regret I cannot be there in person tonight, but I would like to email my thoughts to you regarding the Neighborhood Node at Wattles and John R. I've looked over the packet on the city of Troy website and I'm very much against this development. Not against the Nodes in general, but this one does not fit the criteria in any way.

Definition from the Troy Website: **Neighborhood nodes are major intersections with shopping, housing, and services for nearby neighborhoods.**

There is nothing in the plans of developing shopping, services, and social meeting areas within the intersection. **This is a plan for a developer to simply build apartments.** As a matter of fact, there's a plaza that sits right in front of the development that sits empty.

In addition, our traffic is already heavy trying to attempt a left out of the neighborhood, I would love to see a traffic study conducted on John R as well as Wattles, as we could have another complex built just north of Kroger.

Appreciate your time,  
Kelly Martin

**From:** [Leonard Stesney](#)  
**To:** [Planning](#)  
**Subject:** Apartment complex at Wattles and John Road  
**Date:** Monday, May 27, 2024 8:42:38 PM

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You don't often get email from leonardstesney@yahoo.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

We oppose the proposed complex at Wattles and John R. There is so much traffic during the morning and afternoon that it makes it very difficult to leave the Mt Vernon sub. We are also concerned about the developers interest in the empty rite aide bldg.  
Leonard and Cheryl Stesney 4089 Colonial Blvd 2492406284

[Sent from Yahoo Mail for iPh](#)

**From:** [Estates of Willowbrook HOA](#)  
**To:** [Planning](#)  
**Subject:** Concerns Over "Wattles Square Apartments" Proposal  
**Date:** Monday, May 27, 2024 6:25:32 PM  
**Attachments:** [Letter to City of Troy Planning Commisison.pdf](#)  
[signatures.pdf](#)

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You don't often get email from ewbhoa2020@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello there,

Some of us represented on the open agenda on 05/14 expressing our concerns regarding the proposed Wattles Square Apartments South side of Wattles and east of John R (PIN 88-20-24-100-039).

Please find the attached formal submission of concerns/issues w.r.t the proposal and the signatures of all the residents of the community who unanimously reject the proposal. Please provide us an opportunity to discuss this and call for public hearing on this matter before it is too late.

Thank you for your attention to this matter

Estates of Willowbrook HOA

From: [JS Sharland](#)  
To: [Planning](#)  
Subject: Proposed Apartment Complex at Wattles & John R  
Date: Friday, May 24, 2024 6:44:46 PM

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You don't often get email from jssharrland001@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Commissioners.....

My wife & I have lived @ 3921 Wayfarer Drive for the past 35 years. We survived (under protest) your decision to allow Mondrian Properties to literally 'clear cut' the wooded lots between John R and Wayfarer Drive and construct a 'Site Condo Development' (the Estates of Willowbrook) featuring 3000 ft<sup>2</sup> homes that are 30 feet apart with 40 foot backyards, one of which abuts my property. That said, they are well built, higher end properties that will ultimately enhance the value of our home....so we took one for the team.

(note: we're also enduring significantly more traffic on Wayfarer Drive as you approved providing access to Wayfarer Drive from Macaw Drive in the Estates of Willowbrook development. FYI...most EoW residents cut thru the Wattle Square Sub rather than go thru the traffic light on Wattles & John R)

You are now considering approval of a plan to (again) clear cut a small wooded parcel very near my home and shoehorn a 54 unit apartment complex between Wattles Square Sub and the recently closed RITE AID. The notion that this site/property is zoned NN:B and/or the developer could argue that this proposed complex meets/exceeds any of the rather lofty *Neighborhood Nodes District* zoning goals delineated in the *2008 City of Troy Master Plan* (e.g. serve the basic needs of the community, acts as a 21st century village center, protect & cultivate a high quality of life, will not visually overpower transitional or residential areas etc.etc) is self-serving rhetoric of the highest order. It simply doesn't. Further, it will negatively impact the current/future value(s) of the adjoining properties in both the Wattles Square and Estates of Willowbrook Subs.

**PLEASE REJECT THIS PROPOSED DEVELOPMENT!**

In closing, I have lived half of my life in my current home here in Troy. It's a great city. Our City leadership has been outstanding thru the years. I support the City and our leadership's vision(s) for our future.

**That said, IF the Planning Commission feels compelled to accept/approve this proposal, I will (grudgingly..LoL) support your decision with one caveat that I feel BETTER SERVES our citizenry & Troy's future:**

**Please mandate that the proposed development be apartments for SENIORS ONLY (as in 55+).**

**At present, there is woefully inadequate access to housing in Troy for this growing, voting and tax paying social demographic (aka Baby Boomers like us!)**

As always.....thanks in advance for your support and consideration.

James & Susan Sharland  
3921 Wayfarer Drive,  
Troy, MI 48083  
email: [jssharland001@gmail.com](mailto:jssharland001@gmail.com)



**From:** [Brenda Lewis](#)  
**To:** [Planning](#)  
**Subject:** Proposed apartment complex, Wattles and John R Rd  
**Date:** Monday, May 27, 2024 5:12:40 PM

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[You don't often get email from [brenda.lewis97@yahoo.com](mailto:brenda.lewis97@yahoo.com). Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

CAUTION: This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear planning department,

I live in Troy at the Enclave of Troy at Wattles and John R.

I've been informed through people in my immediate neighborhood that two buildings with a total of 54 apartments may be built in the area of the former Rite Aid at Wattles and John R.

I can't imagine that many residences in such a small space. The traffic would be pretty horrendous if it achieved full occupancy. The traffic is already very heavy on John R and people like me with the back of our condo next to John R hear heavy, noisy traffic all day long. I already avoid sitting on my deck during morning and evening rush-hour because of the fumes and noise. If I sit out there with friends during that time, we have to shout to make ourselves heard!

Please consider how squeezing so many people in such a small space will negatively affect the quality of life in that area of Troy. I'm extremely disappointed to hear what might happen here and I plan to continue to do everything I can to stop it from negatively changing our little neighborhood.

Thank you for listening and for your service on the planning commission. Please consider my thoughts on this matter.

Sincerely, Brenda Lewis

Sent from my iPhone

**From:** [Fred Przybysz](#)  
**To:** [Planning](#)  
**Subject:** Wattles and John R proposed development  
**Date:** Friday, May 24, 2024 8:50:56 PM

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You don't often get email from przybyszfred@gmail.com. [Learn why this is important](#)

**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear planning commission,

My name is Fred Przybysz and I would like to express my opinion on a proposed development at Wattles and John R.

I believe the proposed building of 54 apartment units on just a little over 2 acres is totally inappropriate. Originally there was a proposal to build 6 family single homes on this parcel. Going from 6 family homes to 54 apartment units will only cause overcrowding, noise, and egress problems.

When I moved to Troy 35 years ago it was claimed to be the place for families to move to. It seems we have gotten away from that scenario in recent years.

This property could definitely have single family homes built upon.

Companies like Mondrian have certainly shown that capability.

I urge you to vote no on this proposal.

Furthermore, my neighbors and I will be attending the commission meeting on Tuesday, May 28.

Sincerely,

Fred Przybysz

3842 Wayfarer Dr, Troy, MI 48083

**From:** [Yelder-Beard, Karen](#)  
**To:** [Planning](#)  
**Subject:** Proposed apartment complex at Wattles and John R  
**Date:** Tuesday, May 28, 2024 10:54:19 AM  
**Attachments:** [Outlook-ji5ahazt.png](#)

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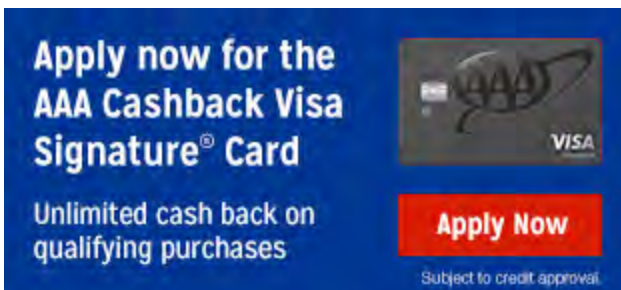
Troy Planning Committee<

I am expressing my opposition to the proposed apartment complex at Wattles and John R. Among many concerns, the development does not respect the adjacent neighborhoods or protect and cultivate a high quality of life in Troy. I am also very concerned about traffic congestion, privacy and safety of our community.

I thank you for your consideration.

*Karen Beard*  
**Agency Owner**

**Karen Yelder-Beard Insurance Agency**  
**901 E Auburn Rd**  
**Rochester Hills, mi 48307**  
**248-853-7005**  
**kgbeard@acg.aaa.com**



Apply now for the  
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Unlimited cash back on  
qualifying purchases

**Apply Now**

Subject to credit approval.

The advertisement features a dark blue background with white and red text. On the right side, there is an image of a AAA Cashback Visa Signature Card. The card is dark with the AAA logo and the Visa logo. Below the card is a red button with the text 'Apply Now' in white. At the bottom of the advertisement, there is a small line of text: 'Subject to credit approval.'

## [MI No-Fault Reform Information](#)

Note: Coverage cannot be bound or altered via email.

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**From:** [Krystal Abiaad](#)  
**To:** [Planning](#)  
**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)  
**Date:** Friday, June 21, 2024 11:28:47 PM

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[You don't often get email from krysabiaad@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

CAUTION: This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Planning Commission,

I hope this message finds you well. I am writing to express my deep concern and strong opposition to the proposed development of a new apartment complex behind my home on Wattles Road. This project, if approved, will have significant negative impacts on the local community and environment, which I believe have not been fully considered.

Firstly, the removal of the green space and mature trees that have been a part of this area for many years is deeply troubling. These trees provide essential shade and privacy, contributing to the quality of life and natural beauty of our neighborhood. Their destruction would not only diminish the aesthetic and environmental value of our community but also impact the local wildlife that depends on this habitat.

Secondly, Wattles Road is already a heavily congested one-lane road in each direction. Introducing a large apartment complex will exacerbate the traffic situation, leading to severe congestion and potential safety hazards for both residents and commuters. The existing infrastructure is not equipped to handle the increased traffic volume that this development will inevitably bring.

Moreover, the privacy of the adjacent neighborhoods is at serious risk. The proposed development would lead to a significant invasion of privacy for the current residents, disrupting the peaceful and secluded nature of our community. The planning commission's decision appears to overlook the adverse effects on the surrounding neighborhoods, focusing solely on the immediate benefits of the development.

In light of these concerns, I urge the planning commission to reconsider the approval of this apartment complex. It is crucial to take into account the long-term impacts on traffic, privacy, and environmental sustainability. I respectfully request that alternative solutions be explored that would better serve the interests of the entire community without compromising our quality of life.

Thank you for your attention to this matter. I look forward to your response and hope that our concerns will be given the consideration they deserve.

Sincerely,

Krystal Touma  
2026 Osprey Dr  
Troy, MI 48083



ESTATES OF WILLOWBROOK SUBDIVISION OWNERS' ASSOCIATION (EWB)

2008 OSPREY

TROY MI 48083

**To:** Planning Commission - City of Troy

**Subject:** Concerns regarding the proposal of Wattles Square Apartments, South side of Wattles and east of John R (PIN 88-20-24-100-039)

Dear Members of Troy City Planning Commission,

We are writing on behalf of the Estates of Willowbrook Homeowners Association to express our collective opposition to the proposed construction of an apartment complex adjacent to our subdivision. Our community, consisting of 28 homes, has serious concerns regarding this development, and we urge the City Council/ City Planning Commission to reconsider the approval of this project.

Our primary concerns are as follows:

**Traffic Congestion and Safety:** The introduction of a high-density apartment complex will significantly increase traffic in our area. The roads surrounding the Estates of Willowbrook, particularly the intersection of John R Road and Wattles, are not designed to handle the additional volume of vehicles. This increase in traffic poses a safety risk to our residents, especially children

who walk or bike to the nearby schools and parks. Additionally, the higher traffic volume increases the likelihood of accidents, which could endanger both residents and commuters.

**Impact on Property Values:** The construction of an apartment complex adjacent to our subdivision could negatively affect property values. Our residents have invested significantly in their homes, and the presence of an apartment complex may deter potential buyers who prefer a quieter, low-density neighborhood.

**Privacy and Safety:** The proximity of the proposed apartment complex to our homes raises significant privacy and safety concerns. The increased density and the height of the apartment buildings could lead to a loss of privacy for our residents, as apartment dwellers may have direct lines of sight into our homes and yards. Moreover, the influx of a large number of new residents, some of whom may not be familiar with our community, could potentially increase the risk of crime and other safety issues. Maintaining the privacy and security of our neighborhood is paramount for our residents. Additionally, the safety of our children is a major concern, as the increased population and traffic could pose greater risks to their well-being while playing outside or commuting to school.

**Environmental Concerns:** The proposed development site is home to several green spaces and mature trees that contribute to the ecological health and aesthetic appeal of our community. The construction of the apartment complex would likely result in the loss of these green spaces, negatively impacting local wildlife and the overall environment.

**Community Character and Quality of Life:** Our neighborhood is characterized by its single-family homes and close-knit community atmosphere. The introduction of a large apartment complex is inconsistent with the existing character of our neighborhood and could disrupt the sense of community that our residents value highly

**Potential Strain on Infrastructure and Services:** The addition of a large number of new residents may strain the existing infrastructure and public services, including water, sewage, and emergency services. There is concern that our current infrastructure may not be equipped to support such a significant increase in population, which could lead to reduced service quality and increased response times for emergency services.

We understand the need for housing development and support responsible growth within Troy. However, we believe that this particular project is not suitable for the proposed location adjacent to the Estates of Willowbrook.

We appreciate your attention to our concerns and hope that the Planning Commission/City Council will take them into account when making a decision on this matter. We are willing to engage in further discussions and provide any additional information that may be required.

As stakeholders in our community, it is vital that our voices are heard, and our concerns are taken into account during the decision-making process. We request the Planning Commission/City Council board for a formal hearing to express our concerns.

Thank you for your time and consideration.

Sincerely,

**ESTATE OF WILLOWBROOK OWNERS ASSOCIATION**

[ewbhoa2020@gmail.com](mailto:ewbhoa2020@gmail.com)

Address	Name	Signature
2018 Osprey Drive	Toni Martinovski	Toni Martinovski
2026 Osprey Drive	KHYS TAL TOUMA	KHYS TAL TOUMA
2034 Osprey Drive	DAVID A. HOPCROFT	DAVID A. HOPCROFT
3923 Macaw Drive	VINOD R NATLA	VINOD R NATLA
3931 Macaw Drive	Mahesh Patil	Mahesh Patil
3939 Macaw Drive	HUMBERTO GONZALEZ	HUMBERTO GONZALEZ
3938 Macaw Drive	RACHEL WU	RACHEL WU
3930 Macaw Drive	Anuratha Battula	NA
3922 Macaw Drive	ESTHER QUAN	ESTHER QUAN
3914 Macaw Drive	KRISHNA GUDUGUNTA	KRISHNA GUDUGUNTA
3906 Macaw Drive	Arun Parthasarathy	Arun Parthasarathy
3898 Macaw Drive	MANJUNATH CHIKKANNA	MANJUNATH CHIKKANNA
3890 Macaw Drive	Lei Zhang	Lei Zhang
3879 Macaw Drive	Keerthi Grandhapaneni	Keerthi Grandhapaneni



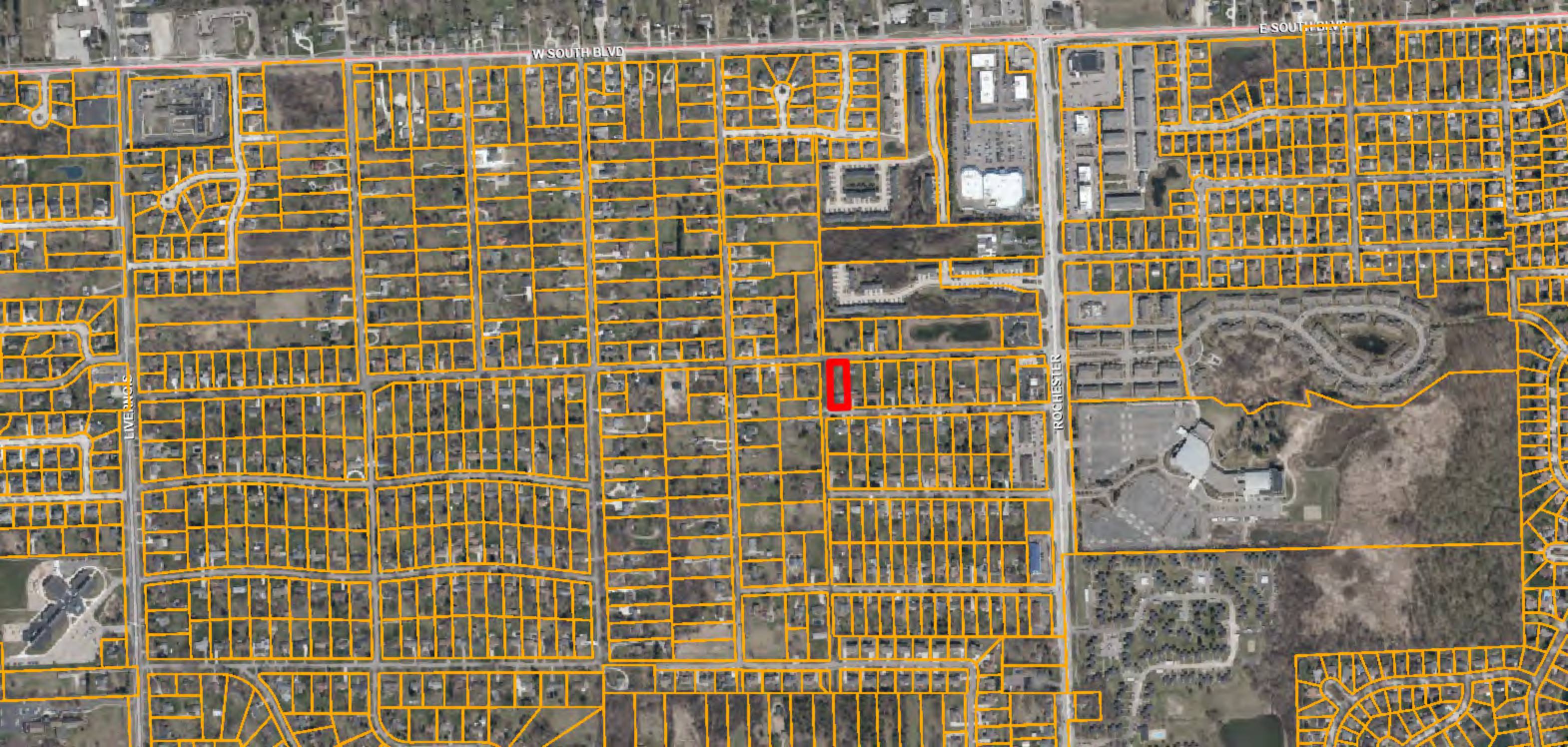
Address	Name	Signature
3887 Macaw Drive	Gautham Seshadri	Gautham
3895 Macaw Drive	MANISH CHANDRA	Manish
3903 Macaw Drive	Maheshwar Kashamolla	Maheshwar
3911 Macaw Drive	RAJAGOPALAN DURAIRAJAN	Rajagan
3910 Sandpiper Drive	Carlos Ramirez	Carlos
3902 Sandpiper Drive	Saleem, Bilal Riaz, Sara	Saleem
3894 Sandpiper Drive	Chandrashekar Boopalam	Chandrashekar
3886 Sandpiper Drive	RAVI BHAMIDIPATI	Ravi
3878 Sandpiper Drive	Tejas Varunjikar	Tejas
3877 Sandpiper Drive	Kalpana Pandey	Kalpana
3885 Sandpiper Drive	Thiago Podolsky	Thiago
3893 Sandpiper Drive	Anthony HAMANE	Anthony
3901 Sandpiper Drive	Mohit Wadhwa	Mohit
3909 Sandpiper Drive		

Address	Name	Signature
2018 Osprey Drive	Toni martinovski	Toni Martin
2026 Osprey Drive	Chris Toumu	Chris Toumu
2034 Osprey Drive	KARIN L. HOPCROFT	Karin Hopcroft
3923 Macaw Drive	SRIVIDYA BELLIDIGA	Sridya
3931 Macaw Drive	S.R. Bann Sharanamma Bann	S.R. Bann
3939 Macaw Drive		
3938 Macaw Drive	Jing B zheng	Jing B zheng
3930 Macaw Drive	HARIBABU BATTULA A	B. Haribabu
3922 Macaw Drive	SONNY QUAN	Sonny Quan
3914 Macaw Drive	SUSHMA GUDUGUNTLA	Sushma Guduguntla
3906 Macaw Drive	ManasaIday	Manasa Id
3898 Macaw Drive	Kavya Chalaih	Kavya Chalaih
3890 Macaw Drive	Brendan Pan.	Brendan Pan
3879 Macaw Drive	Sandeep Puligadda	Sandeep

Address	Name	Signature
3887 Macaw Drive	Vidhya	
3895 Macaw Drive	Manisha Sharan	Manisha
3903 Macaw Drive	Kiranmaye Ahluwalia	Kiran
3911 Macaw Drive	SANDHURI KESAVA	Sandhuri
3910 Sandpiper Drive		
3902 Sandpiper Drive	Zaria Saleem	Zaria
3894 Sandpiper Drive	Vasudha Boopalan	Vasudha B
3886 Sandpiper Drive	Udaya Bhamidipati	Udaya
3878 Sandpiper Drive	Aditi Andurkar	Aditi A.
3877 Sandpiper Drive	AMIT PANDEY	Amit Pandey
3885 Sandpiper Drive	FABIDA Podolsky	Fabida
3893 Sandpiper Drive	NATALIE DEEB	Natalie Deeb
3901 Sandpiper Drive	Gurnoor Kaur	Gurnoor Kaur
3909 Sandpiper Drive		

C. 801 Hannah, Ollie Apahidean - A variance request to allow a proposed home addition be set back 10 feet from the front (west) property line, where the Zoning Ordinance requires a 40 foot set back.

ZONING ORDINANCE SECTION: 4.06 C R-1B Zoning district



W SOUTH BLVD

E SOUTH BLVD

LIVE OAKS

ROCHESTER



774

SANDALWOOD

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(RT)

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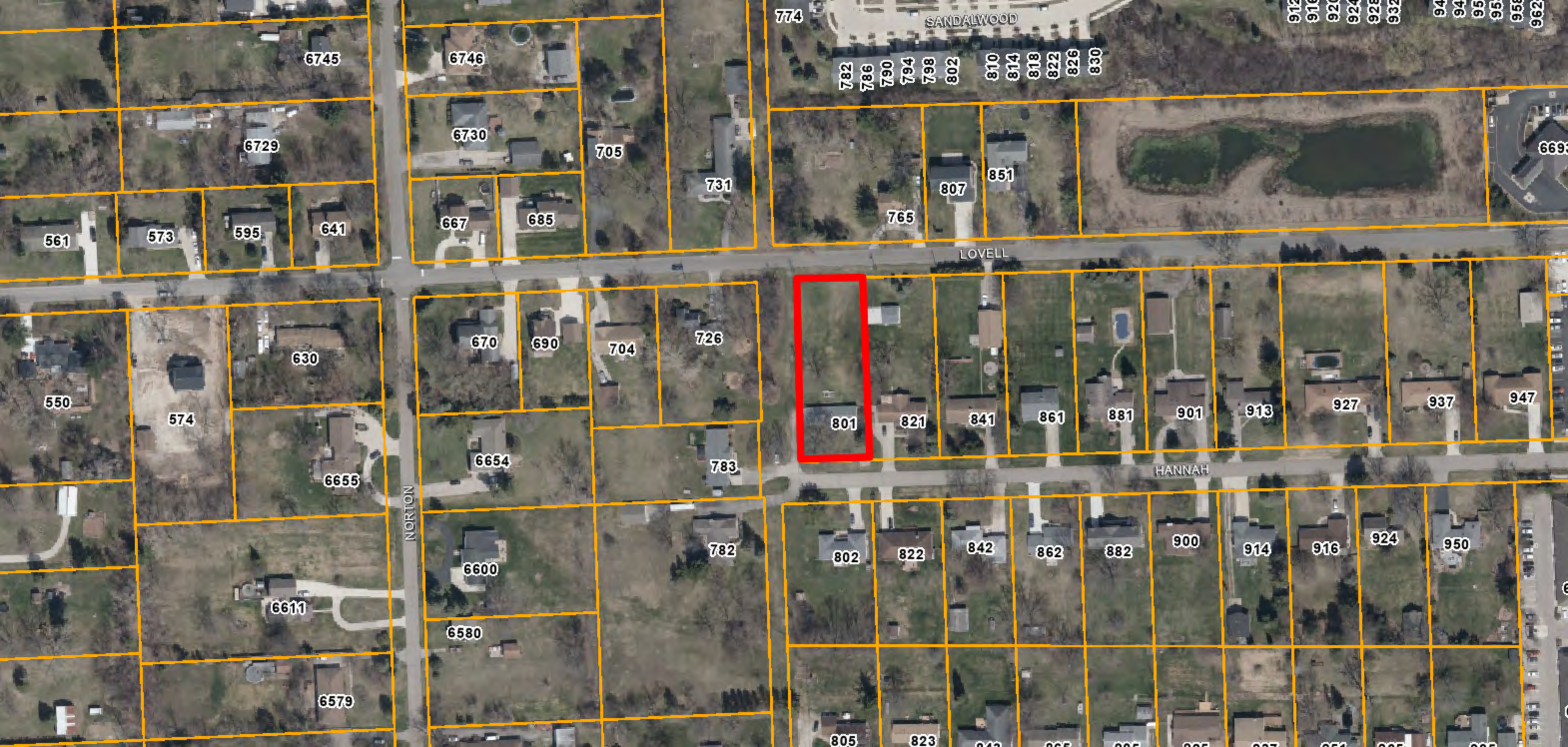
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HANNAH

NORTON

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CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 801 Hannah Drive
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-03-276-001
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: \_\_\_\_\_
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
5. APPLICANT:  
NAME Ollie Apahidean  
COMPANY \_\_\_\_\_  
ADDRESS 2223 Tucker Drive  
CITY Troy STATE MI ZIP 48085  
PHONE \_\_\_\_\_  
E-MAIL \_\_\_\_\_  
AFFILIATION TO THE PROPERTY OWNER: Owner





# Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME Same as above

COMPANY \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

TELEPHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Ollie Apahidean (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE [Signature] DATE 10/09/2024

PRINT NAME: Ollie Apahidean

PROPERTY OWNER SIGNATURE [Signature] DATE 10/09/2024

PRINT NAME: Ollie Apahidean

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

Dear ZBA Members,

My name is Ollie Apahidean. I'm the applicant for the variance request for the property at 801 Hannah. I live in Troy. My family has lived in Troy for over 30 years.

I'd like to first put into context some history of this subdivision. When Clark Estates was first platted back in 1953, my property was the only one, out of 72 lots, that had road frontage on three platted roads. Hannah to the south, the 25' wide right of way on the west side from Bassett & Smith Flowing Acres Subdivision and Lovell on the North. When the original 30 feet wide easement was changed to right-of-way, the west property line of Lot 65 was moved 30 feet to the east. Today Lot 65 still exists as a lot with three road frontages with a non-confirming house that has a 10 feet front yard setback instead of the 40 feet required by the zoning ordinance. I spoke with the Troy Building department regarding this existing non-conformity. I asked them if they would issue me a permit if I ever wanted to make any improvements to the house in the future, like a back porch or an addition. They said no building permit would ever be issued unless I first obtain a variance from the ZBA for a non-conforming structure. The undue hardship of this non-conformity was created because the property line was moved 30 feet to the east. This non-conformity exists only for my property in the entire subdivision. Section 14.01 of the Zoning Ordinance encourages property owners to bring non-conforming structures into compliance with the Zoning Ordinance. There are only two ways to do this without a variance. One way is to demolish the house and start over. This is not a feasible option. The more simple and logical solution would have been to restore the right-of-way back to an easement, the way it was originally platted.

I presented a right-of-way vacation request to the Planning Commission on July 9, 2024. The purpose of that request was to restore the right-of-way back to an easement the way the lot was originally platted. If that request would have been granted, I would not be submitting this application for a variance. The Planning Commission recommended to the City Council to deny the street vacation request. On 9/16/2024, The City Council denied the simple solution of a street vacation and recommended I come before the ZBA and get a variance for the setback.

The variance request is for the front yard setback on the west side of the property along the right-of-way that runs north-south between Hannah and Lovell. The Zoning ordinance requires this setback to

be 40 feet. The existing house is setback only 10 feet from the property line. The request is for a variance of 30 feet for the setback on the west side of the house.

Practical Difficulty

- A.) There are multiple exceptional characteristics about this property for which the variance is sought. The first exceptional characteristic is that this property is the only one in the subdivision with three lot frontages. The second exceptional characteristic is that it is adjacent to City right-of-way on the west side that was an easement in the past. The third exceptional characteristic is that the front yard setback on the west side used to be 40 feet but now is only 10 feet because the original easement was changed to right-of-way.
- B.) ) The characteristics which make compliance with dimensional requirements difficult is related to the premises for which the variance is sought, not some other location.
- C.) The characteristics which make compliance with the dimensional requirements are not of a personal nature.
- D.) The characteristics which make compliance with dimensional requirements difficult were created by the City of Troy and a previous owner. I am requesting an exception from this specific practical difficulty because of the unique circumstance surrounding the history of this property.
- E.) The proposed variance will not be harmful or alter the essential character of the area. The existing structure is already 10 feet from the property line and any future improvements to the property will also be a minimum of 10 feet from the property line. Any improvements to the property will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

I respectfully request approval of the variance application in order to be granted the right by the City to make improvements to the property just as all other residential property owners in Troy have.

Regards,

Ollie Apahidean

# MAP 1

South Blvd.

Rochester Rd.

801 Hannah

Hannah Ave.



# MAP 2

E. Lovell Dr.

801 Hannah

Hannah Ave.

De Etta St.



AUG 1953

COPY

37001

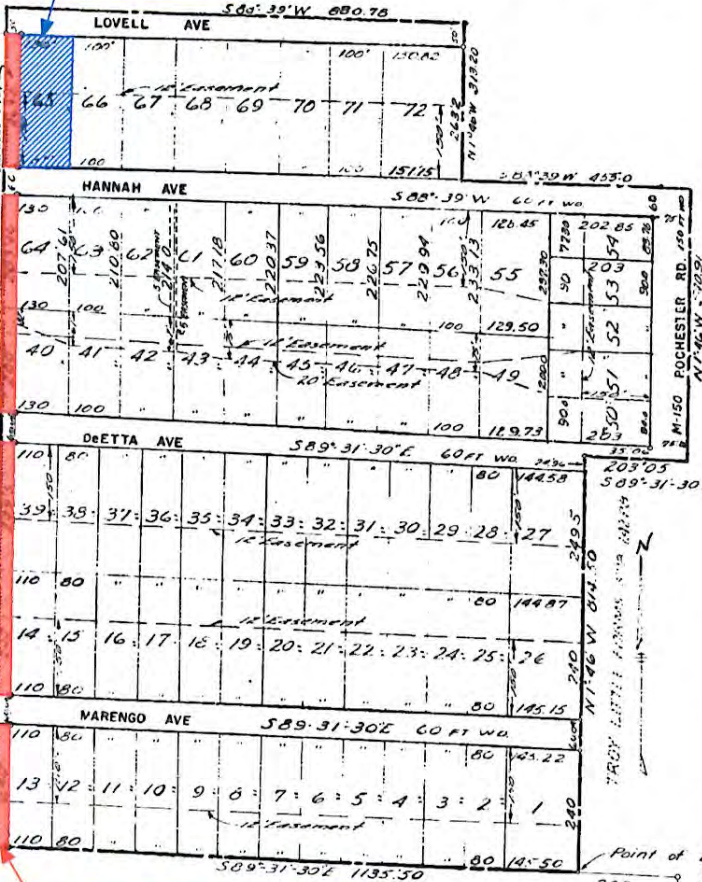
# DWG1

## "CLARK ESTATES"

Part of NE 1/4 Sec. 3, T.2N.R.11E.  
Troy Twp., Oakland Co., Mich.

Note Monuments on West Line of this Plat are on Easement Line

801 Hannah



30' wide Easement (Oberlin St.)

NOTE: ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

Walter J. Lehner & Sons  
Civil Engineering & Surveying  
Mt. Clemens, Michigan.

### DEDICATION

KNOW ALL MEN BY THESE PRESENTS, That we Llewellyn Clark and Hannah Clark, his wife, as proprietors have caused the land embraced in the annexed plat to be surveyed, laid out and platted, to be known as "Clark Estates" part of Northeast 1/4 Sec. 3, T. 2N., R. 11E. Troy Township, Oakland Co., Michigan and that the streets as shown on said plat are hereby dedicated to the use of the public,

Signed and Sealed in Presence of:

<u>Walter J. Lehner</u>	<u>Llewellyn Clark</u>
<u>Elizabeth Lorenz</u>	<u>Hannah Clark</u>

STATE OF MICHIGAN,  
COUNTY OF OAKLAND) ss.

On this \_\_\_\_\_ day of \_\_\_\_\_ 1953, before me, A Notary Public in and for said county, personally came the above named Llewellyn Clark and Hannah Clark, his wife, known to me to be the persons who executed the above dedication, and acknowledged the same to be their free act and deed.

Notary Public, in and for Was. A. Harrington  
Oakland County, Michigan.

My Commission expires \_\_\_\_\_

### CERTIFICATE OF MUNICIPAL APPROVAL

This plat was approved by the Township Board of the Township of Troy at a meeting held July 17-1953

Clifton J. Dunsell  
Chairman, Troy Township Clerk

### DESCRIPTION

The land embraced in the annexed plat of "Clark Estates" part of N. E. 1/4 Sec. 3, T. 2N., R. 11E. Troy Twp., Oakland Co., Michigan is described as follows:

Commencing at a point 163.0 feet N. 1°46'W. and 203.0 feet N. 89° 31' 30"W. of the East Quarter Post of said Section 3 and thence extending N. 1° 46'W. 814.50 feet; thence S. 89° 31' 30"E. 203.05 feet; thence N. 1° 46'W. 540.91 feet; thence S. 89° 39'W. 455.0 feet; thence N. 1° 46'W. 115.2 feet; thence S. 88° 39'W. 880.78 feet; thence S. 1° 42' E. 1626.24 feet; thence S. 89° 31' 30"E. 1135.50 feet to a point of beginning.

### SURVEYOR'S CERTIFICATE

I hereby certify that the plat hereon delineated is a correct one and that permanent metal monuments consisting of bars not less than one-half inch in diameter and 48 inches in length, encased in a concrete cylinder at least 4 inches in diameter and 48 inches in depth have been placed at points marked thus (O) as thereon shown at all angles in the boundaries of the land platted, at all the intersections of the lines of streets and at the intersections of the lines of streets with the boundaries of the plat as shown on said plat.

File J. Bridges  
Registered Land Surveyor,  
No. 5779

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 1953

Walter J. Lehner  
Surveyor

Walter J. Lehner  
Surveyor

### CERTIFICATE AS TO STATE TRUNK LINE OR FEDERAL AID ROADS

We hereby certify that said plat appears to include land located on a state trunk line or federal aid road.

Walter J. Lehner  
Register of Deeds-Orrin McQuaid  
County Board of Auditors:

By: R. Y. Moore

By: J. C. Austin

APPROVED  
Charles H. ...  
CLARENCE H. ...

SALE OF LAND

By: \_\_\_\_\_

Date: \_\_\_\_\_

I hereby certify that this plat is a true and correct copy of the map as filed in the office of the Register of Deeds for the County of Oakland, Michigan.

Walter J. Lehner  
Surveyor

DWG2

# Existing Conditions in 2024 (R.O.W. & Easements)



Clark Estates ( Platted in 1958)

Bassett & Smith Flowing Springs Acres ( Platted in 1925)

City Right of Way (R.O.W.)

City Right of Way (R.O.W.)

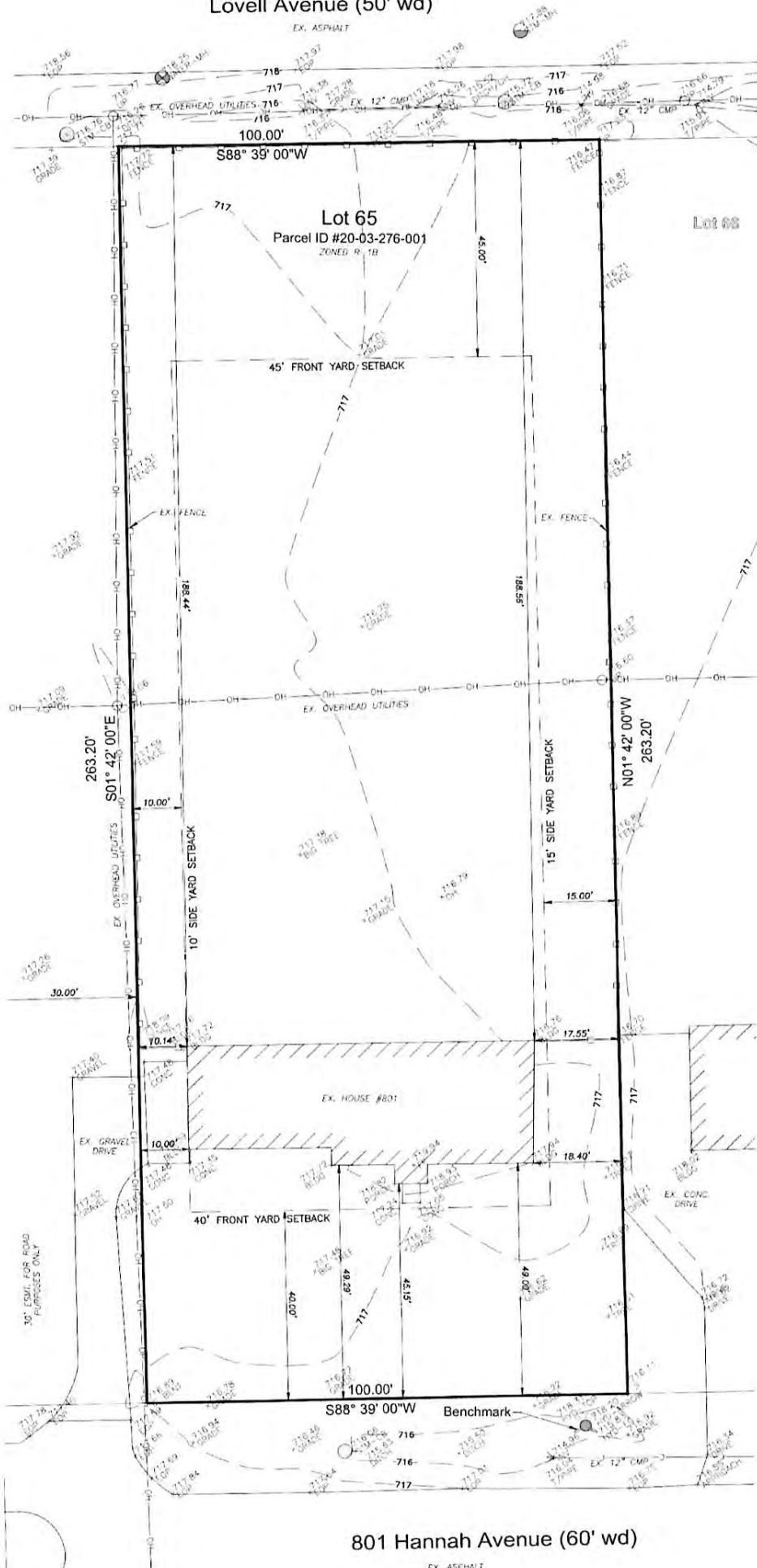
Easement





Lovell Avenue (50' wd)

EX. ASPHALT

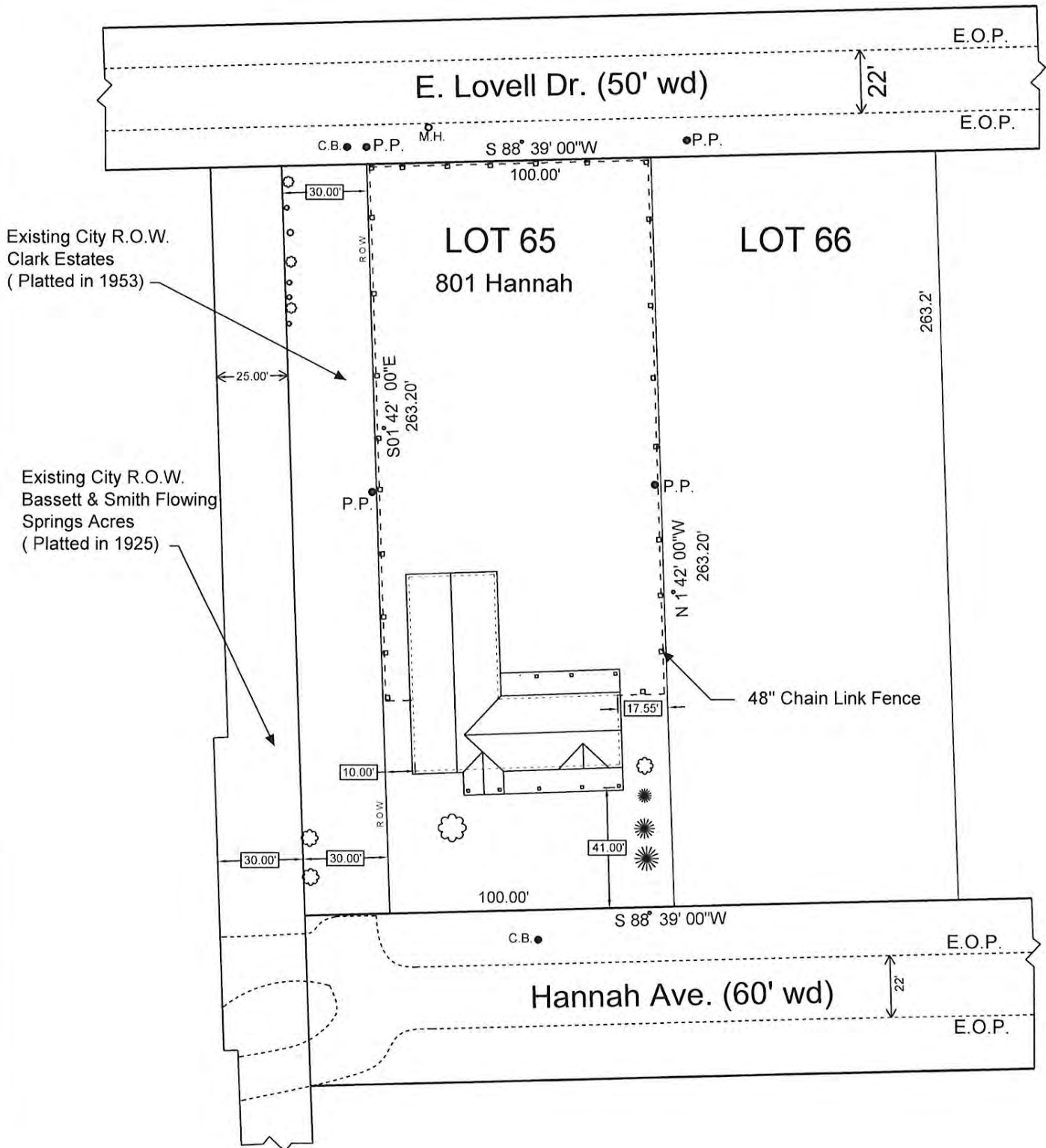


801 Hannah Avenue (60' wd)

EX. ASPHALT

# 801 Hannah Drive Troy, MI

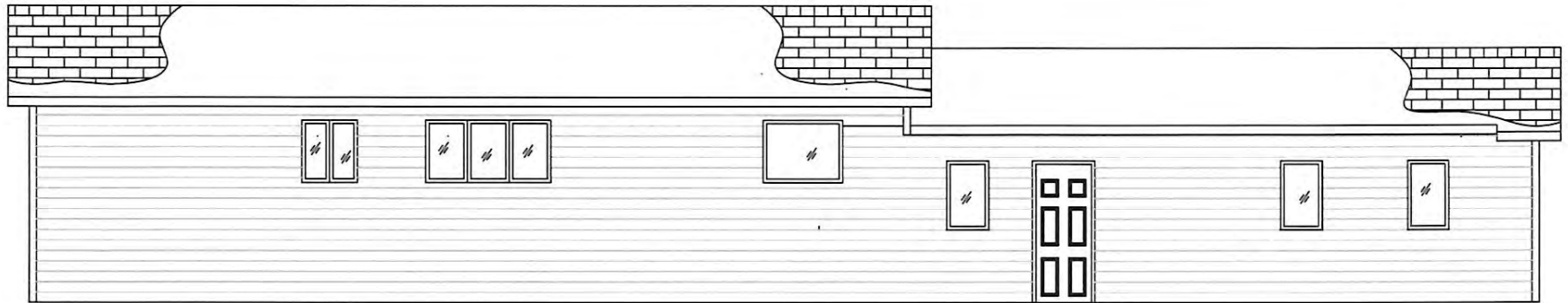
## ZBA Variance Request



Property Address:	801 Hannah Drive Troy, MI 48085	Date: 10/09/2024	 N
P.I.N.	88-20-03-276-001	DWG: Proposed Add.	

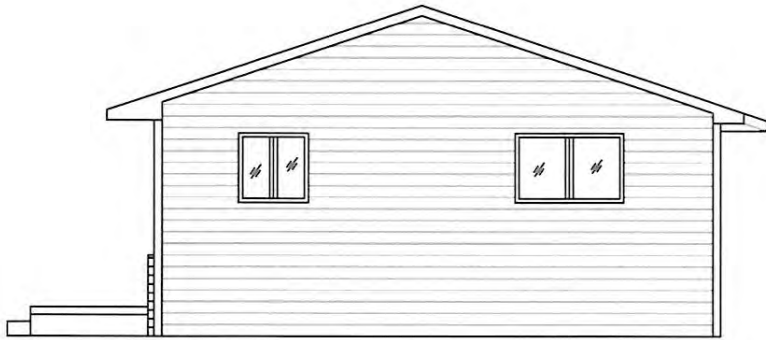


## South Elevation



## North Elevation

Property Address:	801 Hannah Drive Troy, MI 48085	Date: 10/09/2024
P.I.N.	88-20-03-276-001	DWG: Ex. house

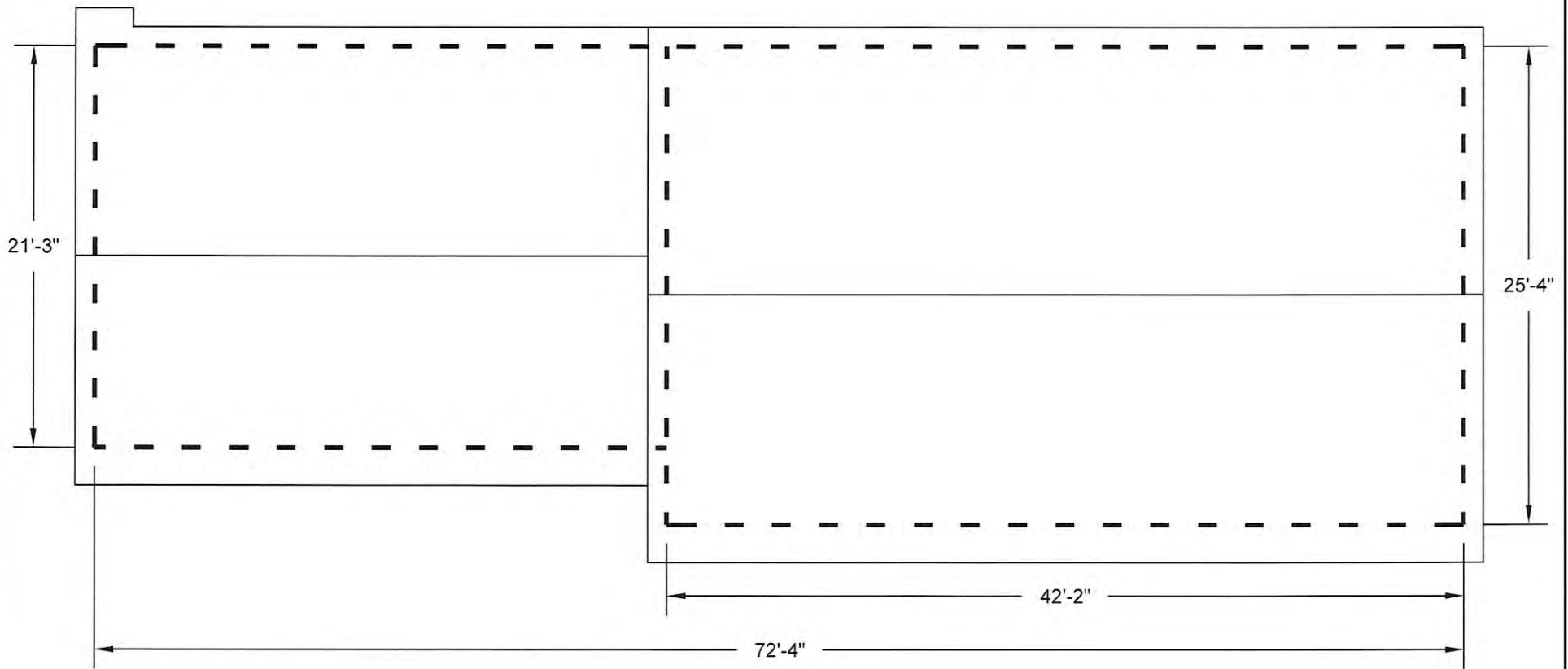


**East Elevation**



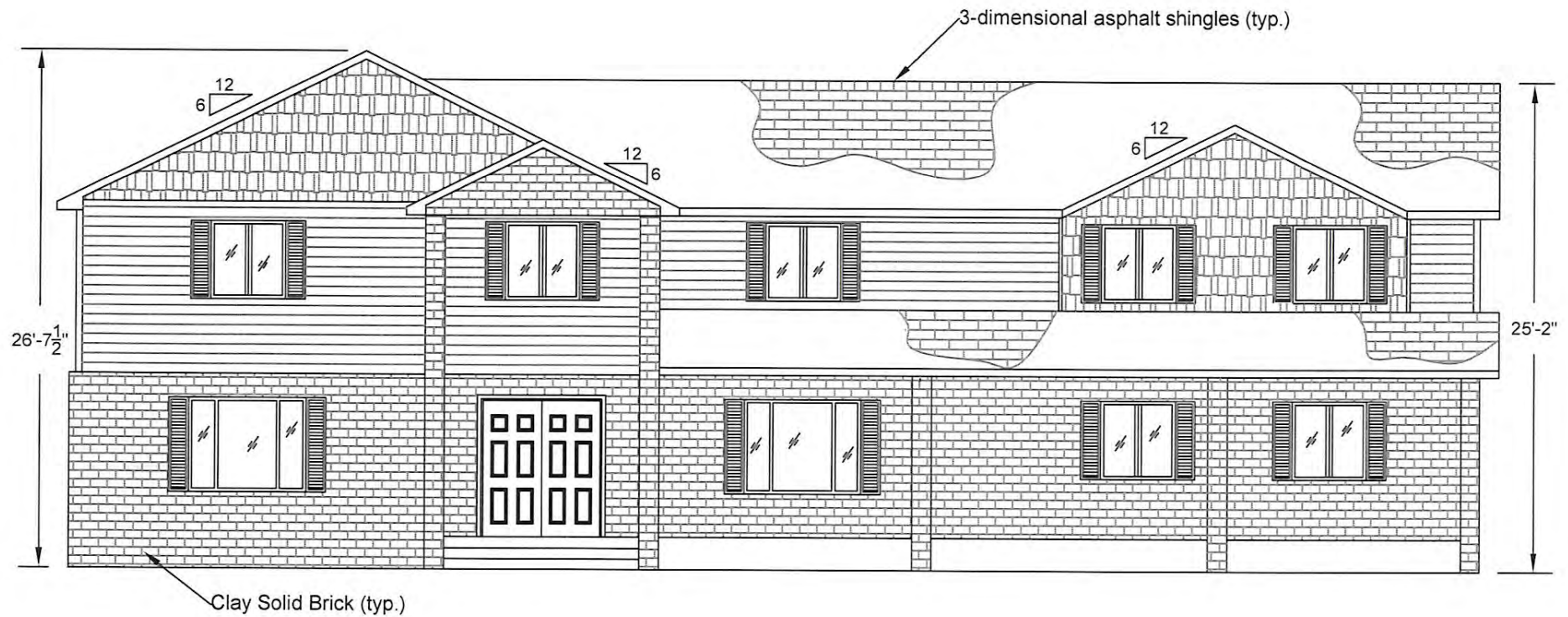
**West Elevation**

Property Address:	801 Hannah Drive Troy, MI 48085	Date: 10/09/2024
P.I.N.	88-20-03-276-001	DWG: Ex. house



## Existing Roof Plan

Property Address:	801 Hannah Drive Troy, MI 48085	Date: 10/09/2024
P.I.N.	88-20-03-276-001	DWG: Ex. house



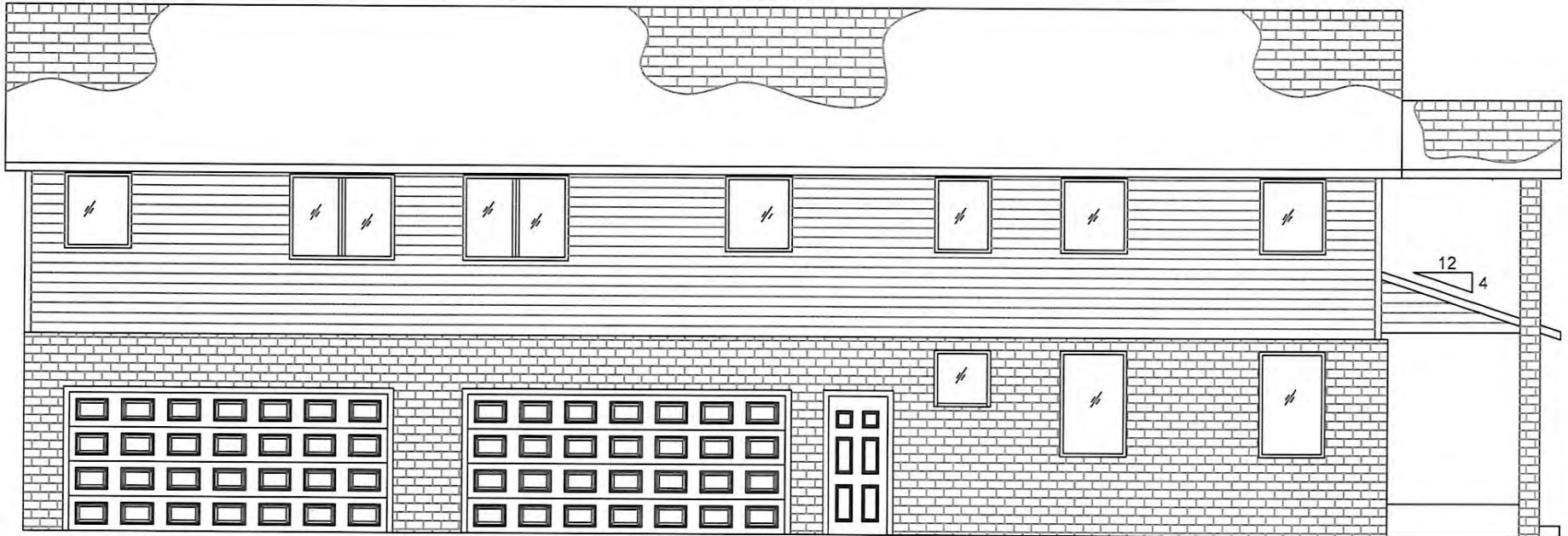
## South Elevation

Property Address:	801 Hannah Drive Troy, MI 48085	Date: 10/09/2024
P.I.N.	88-20-03-276-001	DWG: Proposed Add.



## North Elevation

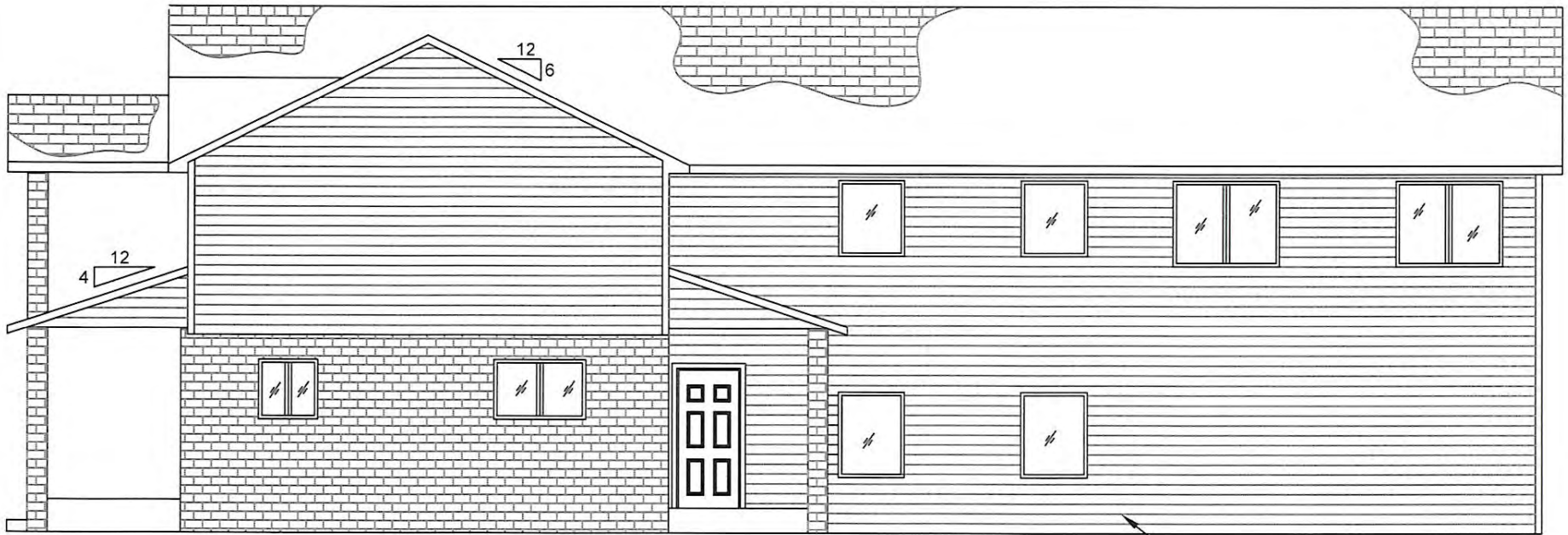
Property Address:	801 Hannah Drive Troy, MI 48085	Date: 10/09/2024
P.I.N.	88-20-03-276-001	DWG: Proposed Add.



## West Elevation

Property Address:	801 Hannah Drive Troy, MI 48085	Date: 10/09/2024
P.I.N.	88-20-03-276-001	DWG: Proposed Add.





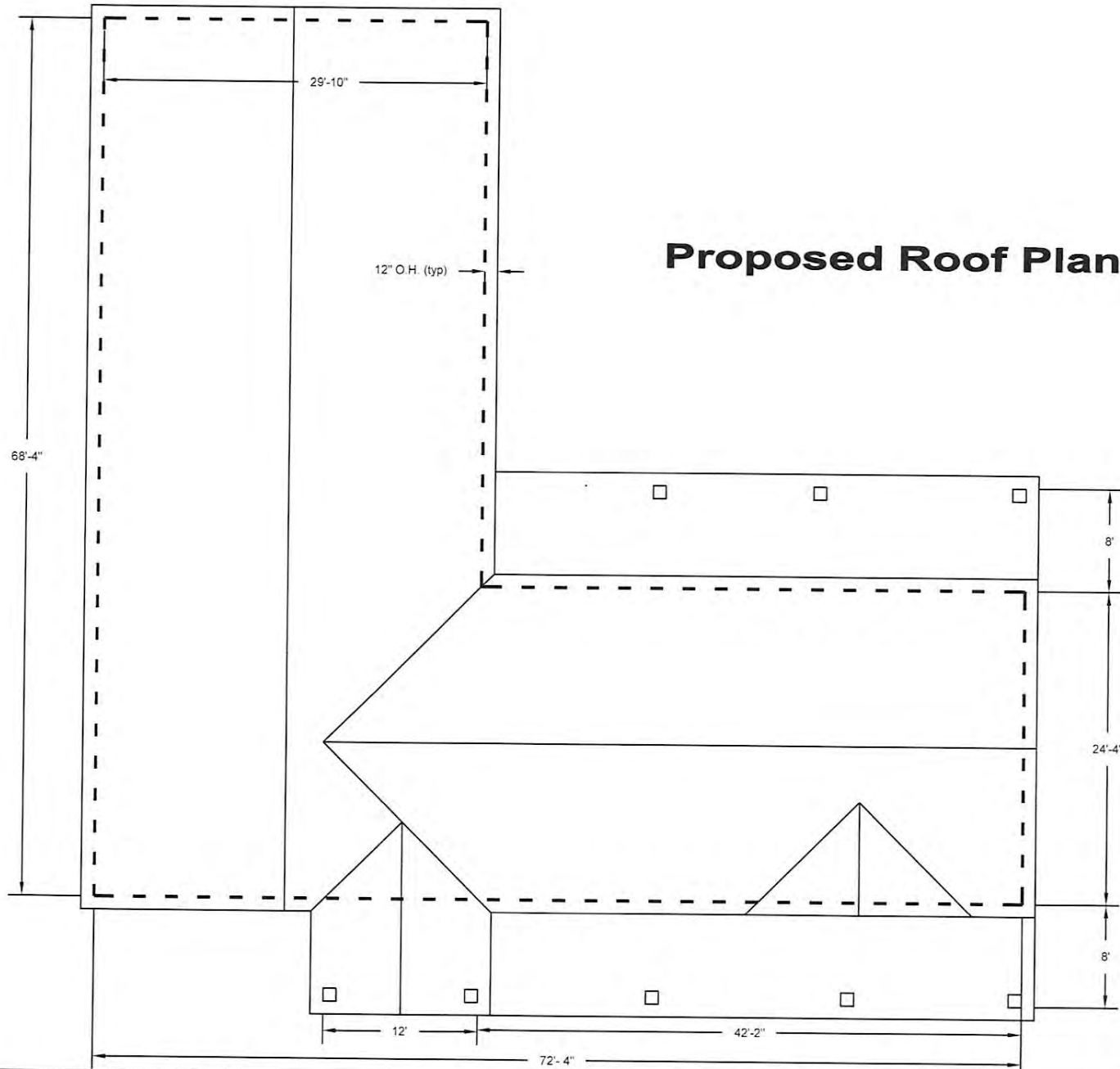
## East Elevation

Property Address: 801 Hannah Drive Troy, MI 48085

Date: 10/09/2024

P.I.N. 88-20-03-276-001

DWG: Propose Add.



Property Address:	801 Hannah Drive Troy, MI 48085	Date: 10/09/2024
P.I.N.	88-20-03-276-001	DWG: Proposed Add.

**THE FOLLOWING 3 PAGES ARE PROVIDED BY THE TROY  
PLANNING DEPARTMENT**

Rev. David Ryu from Troy Hope Ministry of the Korean Methodist Church of Detroit performed the Invocation. The Pledge of Allegiance to the Flag was given.

**A. CALL TO ORDER:**

A Regular Meeting of the Troy City Council was held on Monday, September 16, 2024, at City Hall, 500 W. Big Beaver Rd. Mayor Baker called the meeting to order at 7:33 PM.

**B. ROLL CALL:**

- a) Mayor Ethan Baker
- Theresa Brooks
- Rebecca A. Chamberlain-Creanga
- Hirak Chanda
- Mark Gunn
- David Hamilton
- Ellen Hodorek

**C. CERTIFICATES OF RECOGNITION AND SPECIAL PRESENTATIONS:**

**C-1** No Certificates of Recognition and Special Presentations

**D. CARRYOVER ITEMS:**

**D-1** No Carryover Items

**E. PUBLIC HEARINGS:**

**E-1** Street Vacation Request (SV JPLN 2024-0002) – Request to Vacate a Portion of Right of Way, Approximately 30-feet Wide by 263.2-feet Long, West of Rochester, Between Lovell and Hannah, Abutting 801 Hannah (PIN 88-20-03-276-001), Platted as Part of Clark Estates Subdivision, in Section 3 (Introduced by: Brent Savidant, Community Development Director)

The Mayor opened the Public Hearing. The Mayor closed the Public Hearing after receiving Public Comment from:

Mike Karloff	Commented in opposition to the request
Ollie Apahidean- Petitioner	Presented reasons to approve the request
Adriana Apahidean	Commented in support to the request
Darius Dynkowski	Commented on behalf of the Petitioner in support of the request
Alyson Sloan	Commented in opposition to the request
John Terenzi	Commented in opposition to the request
Sara Terenzi	Commented in opposition to the request
Joey Colby	Commented in support of the request

**Resolution B**

Resolution #2024-09-109

Moved by Hamilton

Seconded by Brooks

WHEREAS, A request has been received for the vacation of an unconstructed portion of right of way, approximately 30-feet wide by 263.2-feet long, abutting 801 Hannah, Platted as an Easement as part of Clark Estates Subdivision, in Section 3; and,

WHEREAS, Planning Commission held a public hearing on July 9, 2024 and passed a resolution recommending denial of the requested street vacation; and,

WHEREAS, City Staff supports the recommendation of Planning Commission; and,

WHEREAS, The City finds there is no benefit to vacating the right of way; and,

WHEREAS, The City finds a preference to maintain utilities within a right of way; and,

WHEREAS, The City finds that the right of way was specifically acquired for a watermain that was subsequently constructed; and,

WHEREAS, The City finds it is in City’s best interest to retain an intact right of way between Lovell and Quill Creek;

NOW, THEREFORE, BE IT RESOLVED, That Troy City Council **CONCURS** with the recommendations of City Staff and the Planning Commission and **DENIES** the street vacation request.

Yes: All-7  
No: None

**MOTION CARRIED**

**F. PUBLIC COMMENT FOR ITEMS ON THE AGENDA FROM TROY RESIDENTS AND BUSINESSES:**

There was a consensus of City Council to move all speakers from all Public Comment sections to Section F Public Comment in order to resolve confusion and make sure all relevant speakers can comment before items are called.

Ashok Baddi	Commented in support of granting a liquor license to Paradise, or other minority-owned business
Srinath Zickey	Commented in support of granting a liquor license to Paradise
Achille DiNello	Commented in support of granting a liquor license to Renee’s Pizza
Heechul Lee	Commented in support of granting a liquor license to Kazuko Sushi

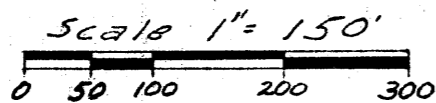
Clark Estates

30

# "CLARK ESTATES"

## Part of N.E. 1/4 Sec. 3, T.2N.R.11E. Troy Twp., Oakland Co., Mich.

Note: Monuments on West Line of Sub Placed on Easement Line.



NOTE: ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

Walter J. Lehner & Sons  
Civil Engineering & Surveying  
Mt. Clemens, Michigan

### DEDICATION

KNOW ALL MEN BY THESE PRESENTS, That we Llewellyn Clark and Hannah Clark, his wife, as proprietors have caused the land embraced in the annexed plat to be surveyed, laid out and platted, to be known as "Clark Estates" part of Northeast 1/4 Sec. 3, T. 2N., R. 11E. Troy Township, Oakland Co., Michigan and that the streets as shown on said plat are hereby dedicated to the use of the public.

Signed and Sealed in Presence of:

Max A. Hartwig  
Max A. Hartwig  
Elizabeth Lovell  
Elizabeth Lovell

Llewellyn Clark  
Llewellyn Clark  
Hannah Clark  
Hannah Clark

STATE OF MICHIGAN, )  
COUNTY OF OAKLAND) ss.

On this 6th day of August, 1953, before me, A Notary Public in and for said county, personally came the above named Llewellyn Clark and Hannah Clark, his wife, known to me to be the persons who executed the above dedication, and acknowledged the same to be their free act and deed.

Max A. Hartwig  
Notary Public, in and for Max A. Oakland County, Michigan. Hartwig

My Commission expires July 15, 1954

### CERTIFICATE OF MUNICIPAL APPROVAL

This plat was approved by the Township Board of the Township of Troy at a meeting held July 13-1953

Clifton Truesdell  
Clifton Truesdell Township Clerk

### DESCRIPTION

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I hereby certify that the plat hereon delineated is a correct one and that permanent metal monuments consisting of bars not less than one-half inch in diameter and 48 inches in length, encased in a concrete cylinder at least 4 inches in diameter and 48 inches in depth have been placed at points marked thus (O) as thereon shown at all angles in the boundaries of the land platted, at all the intersections of the lines of streets and at the intersections of the lines of streets with the boundaries of the plat as shown on said plat.

Fitz J. Bridges  
Fitz J. Bridges,  
Registered Land Surveyor,  
No. 5779

APPROVED THIS 6th DAY OF August, A.D. 1953

Board of County Road Commissioners of the County of Oakland, State of Michigan

Lee O. Brooks  
LEE O. BROOKS  
Robert O. Felt  
ROBERT O. FELT  
Sol D. Lomerson  
SOL D. LOMERSON

Approved by Oakland County Plat Board, pursuant to Act 172 of P.A. of 1929, as amended, this 14th day of August, 1953  
REGISTER OF DEEDS  
By Orrin McQuaid  
Orrin McQuaid  
COUNTY BOARD OF AUDITORS  
By R. Y. Moore  
R. Y. Moore  
By J. C. Austin  
J. C. Austin  
By R. E. Lilly  
R. E. Lilly

### OAKLAND COUNTY TREASURER'S CERTIFICATE

No. CR 1222 Pontiac, Mich. Aug 10 1953  
I HEREBY CERTIFY that there are no TAX LIENS or TILES held by the State or any individual against the within description, and all TAXES on same are paid to the office of the Treasurer of this instrument, as appears by the records in this office except as stated.

### CERTIFICATE AS TO STATE TRUNK LINE OR FEDERAL AID ROADS:

We hereby certify that said plat appears to include land located on a state trunk line or federal aid road.

Orrin McQuaid  
Register of Deeds-Orrin McQuaid

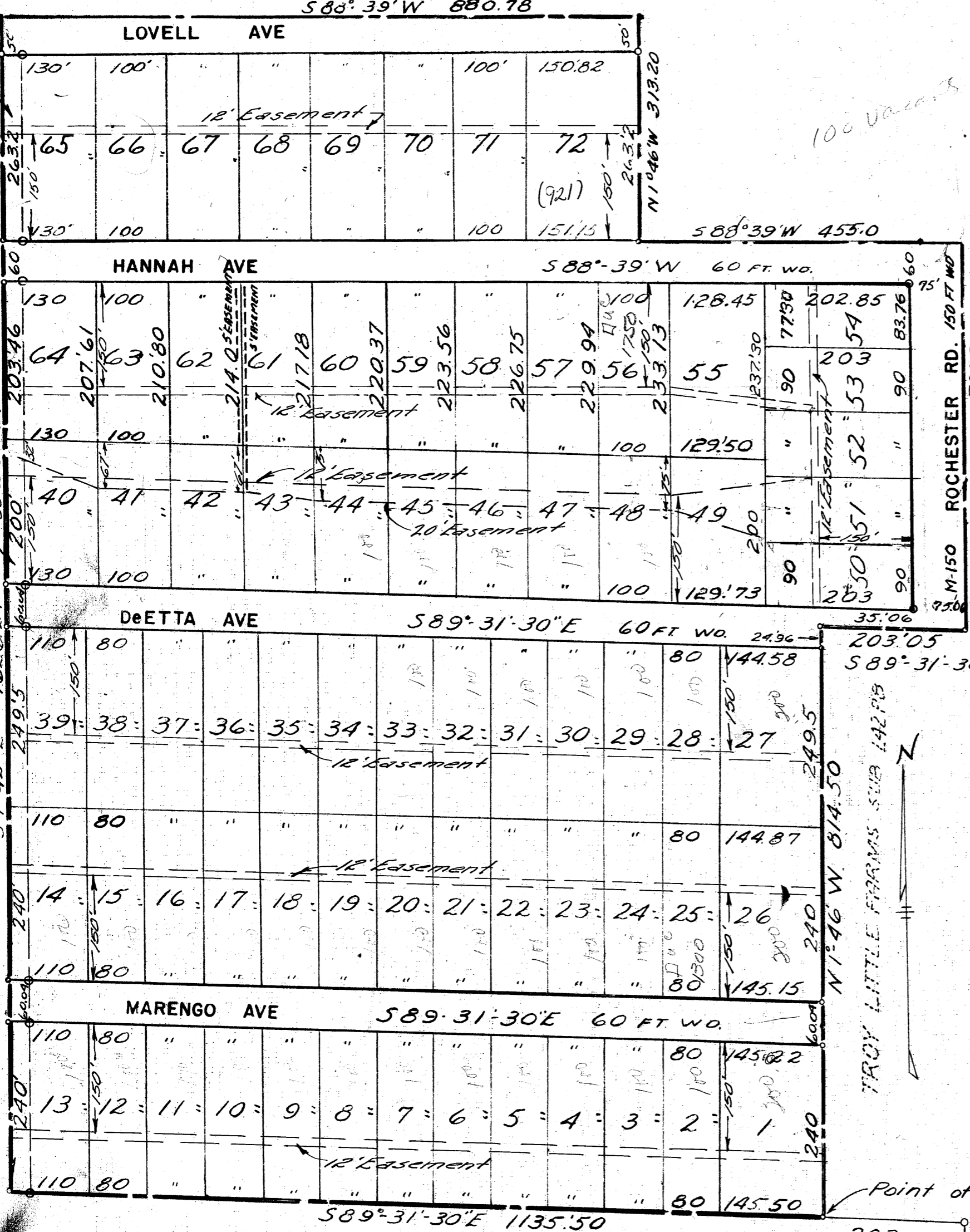
County Board of Auditors:

By: R. Y. Moore  
By: J. C. Austin

APPROVED  
Charles M. Ziegler  
CHARLES M. ZIEGLER  
STATE HIGHWAY COMMISSIONER

COPY  
Register's Office  
Oakland County, ss.  
Plat of Clark Estates  
Troy Twp.  
was Recorded this 26th day of August, A.D., 1953 at 11:00 o'clock  
A.M. in Liber 69 of Plats  
on Page 9  
Rola Parkin  
Register of Deeds

I hereby certify that this copy is a true copy of the map or plat forwarded the Register of Deeds for recording.  
Date August 19, 1953  
Filed in Auditor General's Dept.  
Date August 27, 1953  
Examined and Approved  
Date August 19, 1953  
John B. Austin  
AUDITOR GENERAL  
Walter J. Lehner & Sons  
PLAT ENGINEER



**CITY OF TROY MICHIGAN**  
**PUBLIC NOTICE**  
**ZONING BOARD OF APPEALS**

The City of Troy Zoning Board of Appeals has scheduled hold meetings each month at 7:00 p.m. in the Council Chamber at Troy City Hall, 500 W. Big Beaver Road, Troy, Michigan, 48084, (248) 524-3364, on the following dates:

**2025 ZONING BOARD OF APPEALS MEETING DATES**

January 21	July 15
February 18	August 19
March 18	September 16
April 15	October 21
May 20	November 18
June 17	December 16

All meetings are open to the public.

This notice is hereby posted as required by Section 4 of the Open Meetings Act, (MCLA 15.261 et seq.).

---

Paul Evans, Zoning and Compliance Specialist

Posted:

**NOTICE:** Persons with disabilities needing accommodations for effective participation in this meeting should contact the Planning Department at 248-524-3364 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations