



# **TRAFFIC COMMITTEE AGENDA**

**February 19, 2025 – 7:30 P.M.**

**Lower Level Conference Room – Troy City Hall – 500 West Big Beaver**

1. Roll Call
2. Approval of Minutes – November 20, 2024 Traffic Committee

## **PUBLIC HEARINGS**

3. Request for Sidewalk Waiver – 403 Starr (Sidwell # 88-20-27-178-009)
4. Request for Sidewalk Waiver – 50 Lesdale (Sidwell # 88-20-03-152-027)
5. Request for Sidewalk Waiver – 886 Trombley (Sidwell # 88-20-22-401-102)

## **REGULAR BUSINESS**

6. Request for Traffic Control – Wattles & Gatwick
7. Public Comment
8. Other Business
9. Adjourn

### **Copy to:**

Traffic Committee Members; Sgt. Brian Warzecha, Police Department; , Michael Koehler, Fire Department

## TRAFFIC COMMITTEE

### MESSAGE TO VISITORS, DELEGATIONS AND CITIZENS

The Traffic Committee is composed of seven Troy citizens who have volunteered their time to the City to be involved in traffic and safety concerns. The stated role of this Committee is:

- a. To give first hearing to citizens' requests and obtain their input.
- b. To make recommendations to the City Council based on technical considerations, traffic surveys, established standards, and evaluation of citizen input.
- c. To identify hazardous locations and recommend improvements to reduce the potential for traffic crashes.

Final decisions on sidewalk waivers will be made by the Committee at this meeting.

The recommendations and conclusions arrived at on regular items this evening will be forwarded to the City Council for their final action. Any citizen can discuss these recommendations before City Council. The items discussed at the Traffic Committee meeting will be placed on the City Council Agenda by the City Manager. The earliest date these items might be considered by City Council would normally be 10 days to 2 weeks from the Traffic Committee meeting. If you are interested, you may wish to contact the City Manager's Office in order to determine when a particular item is on the Agenda.

Persons wishing to speak before this Committee should attempt to hold their remarks to no more than 5 minutes. Please try to keep your remarks relevant to the subject at hand. Please speak only when recognized by the Chair. These comments are made to keep this meeting moving along. Anyone wishing to be heard will be heard; we are here to listen and help in solving or resolving your particular concerns.

## 2. Approval of Minutes – November 20, 2024 Traffic Committee

### PUBLIC HEARING

### 3. Request for Sidewalk Waiver – 403 Starr (Sidwell # 88-20-27-178-009)

Evan Carpenter, the Builder, requests a sidewalk waiver for the sidewalk at 403 Starr (Sidwell # 88-20-27-178-009). The Builder states:

- a. *There are no other sidewalks in the subdivision. This would be the only sidewalk, and the property on both sides and across the street has no sidewalks. A sidewalk would literally be a sidewalk to nowhere.*

The Department of Public Works (DPW) recommends approving the waiver request and not requiring the installation of sidewalks " due to the lack of sidewalks on the surrounding parcels and the open drainage ditches of the area," subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.

### SUGGESTED RESOLUTIONS:

1. WHEREAS, City of Troy Ordinances, Chapter 34, allows the Traffic Committee to grant waivers of the City of Troy Design Standards for Sidewalks upon a demonstration of necessity; and

WHEREAS, Evan Carpenter has requested a waiver of the requirement to construct a sidewalk based on the lack of sidewalks on surrounding parcels; and

WHEREAS, the Traffic Committee has determined the following:

- a. A waiver will not impair the public health, safety or general welfare of the inhabitants of the City and will not unreasonably diminish or impair established property values within the surrounding area, and
- b. A strict application of the requirements to construct a sidewalk would result in practical difficulties to, or undue hardship upon, the owners, and
- c. The construction of a new sidewalk would lead nowhere and connect to no other walk, thus not serving the purpose of a pedestrian travel-way.

NOW THEREFORE, BE IT RESOLVED, that the Traffic Committee **GRANTS** a waiver of the sidewalk requirement for 403 Starr (Sidwell # 88-20-27-178-009) contingent upon the receipt of a cash deposit commensurate with the cost of sidewalk construction.

#### 4. Request for Sidewalk Waiver – 50 Lesdale (Sidwell # 88-20-03-152-027)

Edvin Godo, Homeowner, requests a sidewalk waiver for the sidewalk at 50 Lesdale (Sidwell # 88-20-03-152-027). The homeowner states:

- a. *There are no other sidewalks in the subdivision. This would be the only sidewalk, and the property on both sides and across the street has no sidewalks. A sidewalk would literally be a sidewalk to nowhere.*

The Department of Public Works (DPW) recommends approving the waiver request and not requiring the installation of sidewalks " due to the lack of sidewalks on the surrounding parcels and the open drainage ditches of the area," subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.

#### SUGGESTED RESOLUTIONS:

1. WHEREAS, City of Troy Ordinances, Chapter 34, allows the Traffic Committee to grant waivers of the City of Troy Design Standards for Sidewalks upon a demonstration of necessity; and

WHEREAS, Edvin Godo has requested a waiver of the requirement to construct a sidewalk based on the lack of sidewalks on surrounding parcels; and

WHEREAS, the Traffic Committee has determined the following:

- a. A waiver will not impair the public health, safety, or general welfare of the inhabitants of the City and will not unreasonably diminish or impair established property values within the surrounding area, and
- b. A strict application of the requirements to construct a sidewalk would result in practical difficulties to, or undue hardship upon, the owners, and
- c. The construction of a new sidewalk would lead nowhere and connect to no other walk, thus not serving the purpose of a pedestrian travel-way.

NOW THEREFORE, BE IT RESOLVED, that the Traffic Committee **GRANTS** a waiver of the sidewalk requirement for 50 Lesdale (Sidwell # 88-20-03-152-027) contingent upon the receipt of a cash deposit commensurate with the cost of sidewalk construction.



## 5. Request for Sidewalk Waiver – 886 Trombley (Sidwell # 88-20-22-401-102)

Florian Libert, Homeowner requests a sidewalk waiver for the sidewalk at 886 Trombley (Sidwell # 88-20-22-401-102). The homeowner states:

- a. *There are no other sidewalks in the subdivision. This would be the only sidewalk, and the property on both sides, as well as across the street, has no sidewalks. A sidewalk would literally be a sidewalk to nowhere.*

The Department of Public Works (DPW) recommends approving the waiver request and not requiring the installation of sidewalks " due to the lack of sidewalk on the surrounding parcels and the open drainage ditches of the area," subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.

### **SUGGESTED RESOLUTIONS:**

1. WHEREAS, City of Troy Ordinances, Chapter 34, allows the Traffic Committee to grant waivers of the City of Troy Design Standards for Sidewalks upon a demonstration of necessity; and

WHEREAS, Florian Libert has requested a waiver of the requirement to construct a sidewalk based on the lack of sidewalks on surrounding parcels; and

WHEREAS, the Traffic Committee has determined the following:

- a. A waiver will not impair the public health, safety, or general welfare of the inhabitants of the City and will not unreasonably diminish or impair established property values within the surrounding area, and
- b. A strict application of the requirements to construct a sidewalk would result in practical difficulties to, or undue hardship upon, the owners, and
- c. The construction of a new sidewalk would lead nowhere and connect to no other walk, thus not serving the purpose of a pedestrian travel-way.

NOW THEREFORE, BE IT RESOLVED, that the Traffic Committee **GRANTS** a waiver of the sidewalk requirement for 886 Trombley (Sidwell # 88-20-22-401-102) contingent upon the receipt of a cash deposit commensurate with the cost of sidewalk construction.

## **REGULAR BUSINESS**

### **6. Request for Traffic Control – Wattles and Gatwick**

John Stankrauff, on behalf of the residents of Edenderry Subdivisions, requests a “DO NOT BLOCK INTERSECTION” sign at Gatwick Drive and Wattles Road.

During peak traffic hours, eastbound traffic backs up on Wattles Road at Rochester Road through the Gatwick Drive intersection, making ingress/egress from Gatwick difficult. There is an existing traffic signal at Wattles and Rochester Road, and during peak hours, traffic may back up to and beyond Gatwick Drive, making turns difficult.

The Troy Police Department was consulted regarding this request and confirmed that this is a valid concern. They would not object to posting a DO NOT BLOCK INTERSECTION sign at this location. However, they caution that during peak hours, officers are busy with higher-priority calls and that enforcement would be difficult. They also caution that the sign and pavement marking can give drivers a false sense of security entering and exiting Gatwick.

### **SUGGESTED RESOLUTION:**

- a. RESOLVED, that a DO NOT BLOCK INTERSECTION sign be **APPROVED** for installation on eastbound Wattles Road at Gatwick Drive.
- b. RESOLVED, that **NO CHANGE** be made at the intersection of Wattles Road and Gatwick Drive.

### **7. Public Comment**

### **8. Other Business**

### **9. Adjourn**



City of Troy  
Mr. Kurt Bovensiep  
Public Works Director  
4693 Rochester Road  
Troy, MI 48098

Mr. Bovensiep,

I am/we are the owner(s) of the property at: **403 Starr**

Lot number: **116**

Subdivision Name: **Greenough Heights**

Sidewell Number **88-20-27-17B-009**

I/we would like to request a sidewalk variance for the following reasons:

We are currently in the process of constructing a new single-family home at 403 Starr. This home is situated on the NE corner of Starr and Kirkton. The portion of Kirkton that runs north from Starr is a dead-end rd. that runs only the length of out lot. I am asking for a variance to omit the sidewalk on this portion of Kirkton for the following reasons:

- 1) Since the portion of Kirkton north of Starr is a very short dead end there is no reason, a pedestrian would be traveling to or from this section of roadway.

See attached plan/sketch.

Evan Carpenter,  
Centurion Building Company  
P: (248) 990-5273  
E: [Evan@CenturionBuildingCo.com](mailto:Evan@CenturionBuildingCo.com)

1042 Livernois  
Troy, MI 48083

A handwritten signature in black ink, appearing to read "Evan Carpenter".



DEPARTMENT OF PUBLIC WORKS  
4693 Rochester Road  
Troy, MI 48085  
troymi.gov

January 15, 2025

TO: The City of Troy Traffic Committee

FROM: Kurt Bovensiep, Public Works Director  
Mike Verstraete, Streets and Drains Operations Manager

SUBJECT: Request for Waiver of Sidewalk Requirement  
Sidwell Number 88-20-27-178-009

Per the attached waiver form, Centurion Building Company, Evan Carpenter is requesting a waiver for the sidewalk on the property located at 403 Starr, Sidwell Number 88-20-27-178-009, part of Greenough Heights subdivision.

Chapter 34 City of Troy Sidewalks and Driveway Approaches Ordinance # 34-07 requires, all owners of lots and premises abutting dedicated streets open to the public shall be required to construct sidewalks and driveway approaches at the time of construction of any new buildings or structures, or additions to buildings or structures, or at the time a nonconforming use changes to a permitted use in the Zoning District. No occupancy permit shall be issued until such time as the owners of said property have complied with the requirements of this provision provided only that the Director of Building and Zoning may extend the time for completion of the required sidewalks and driveway approaches in accordance with established procedure.

City of Troy Sidewalks and Driveway Approaches Ordinance # 34.07.01 also requires that a sidewalk be installed in conjunction with the development of a parcel due to a recent lot split, combination of parcels or a re-platting.

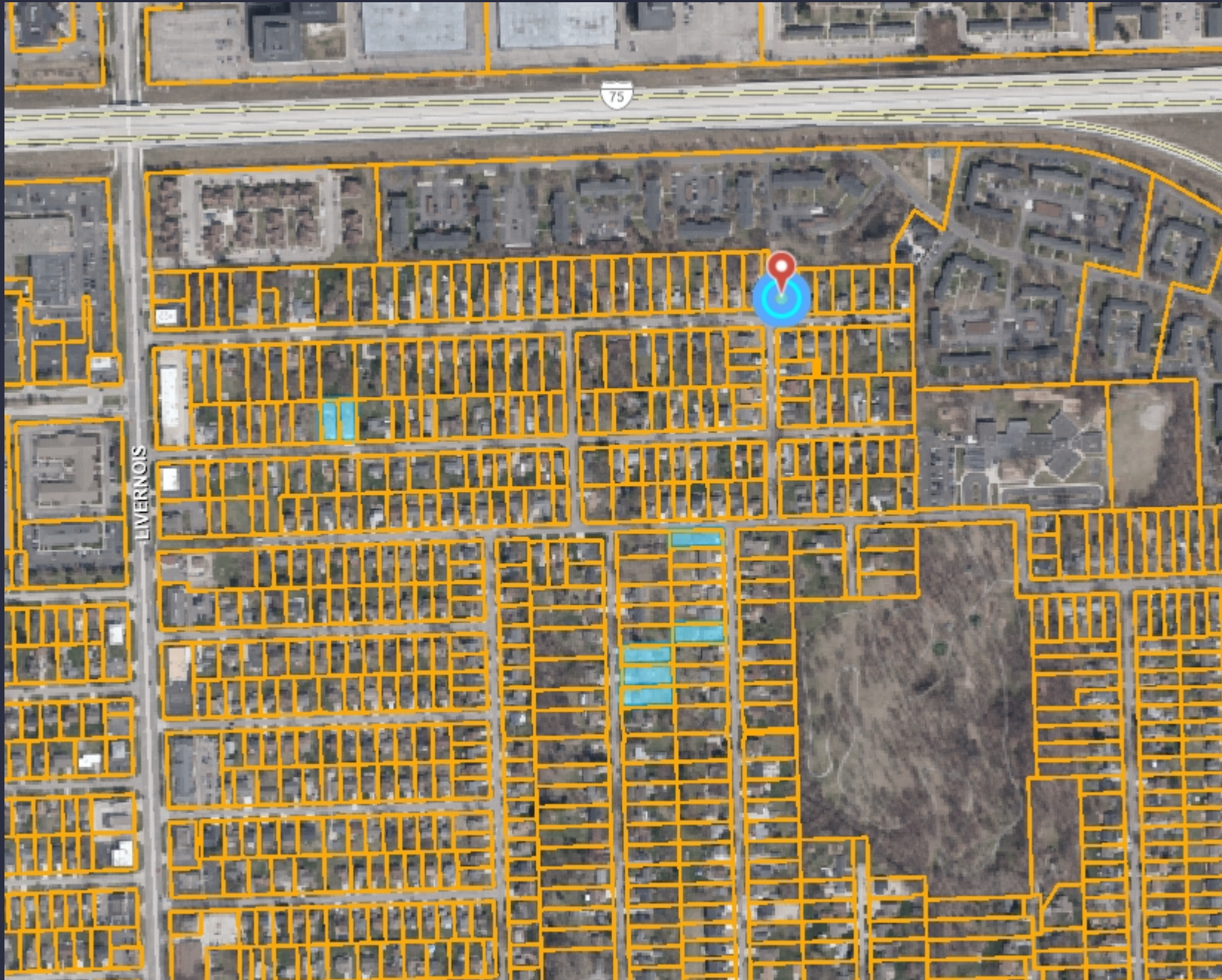
Please be advised that there is currently no sidewalk running to the North or South of 403 Starr on the Westside, or across the street.

Due to the lack of sidewalks on the surrounding parcels and the open drainage ditches of the area, we recommend that the sidewalk not be installed on the West side of the property to the North and South at 403 Starr, as per ordinance #34.07. Sidewalks to the East and West will be installed on the South side of the property. If the sidewalk requirements were to be waived, we recommend the approval be subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.



Legend:

- Tax Parcel
- Sidewalk Waiver



Notes:  
403 Starr



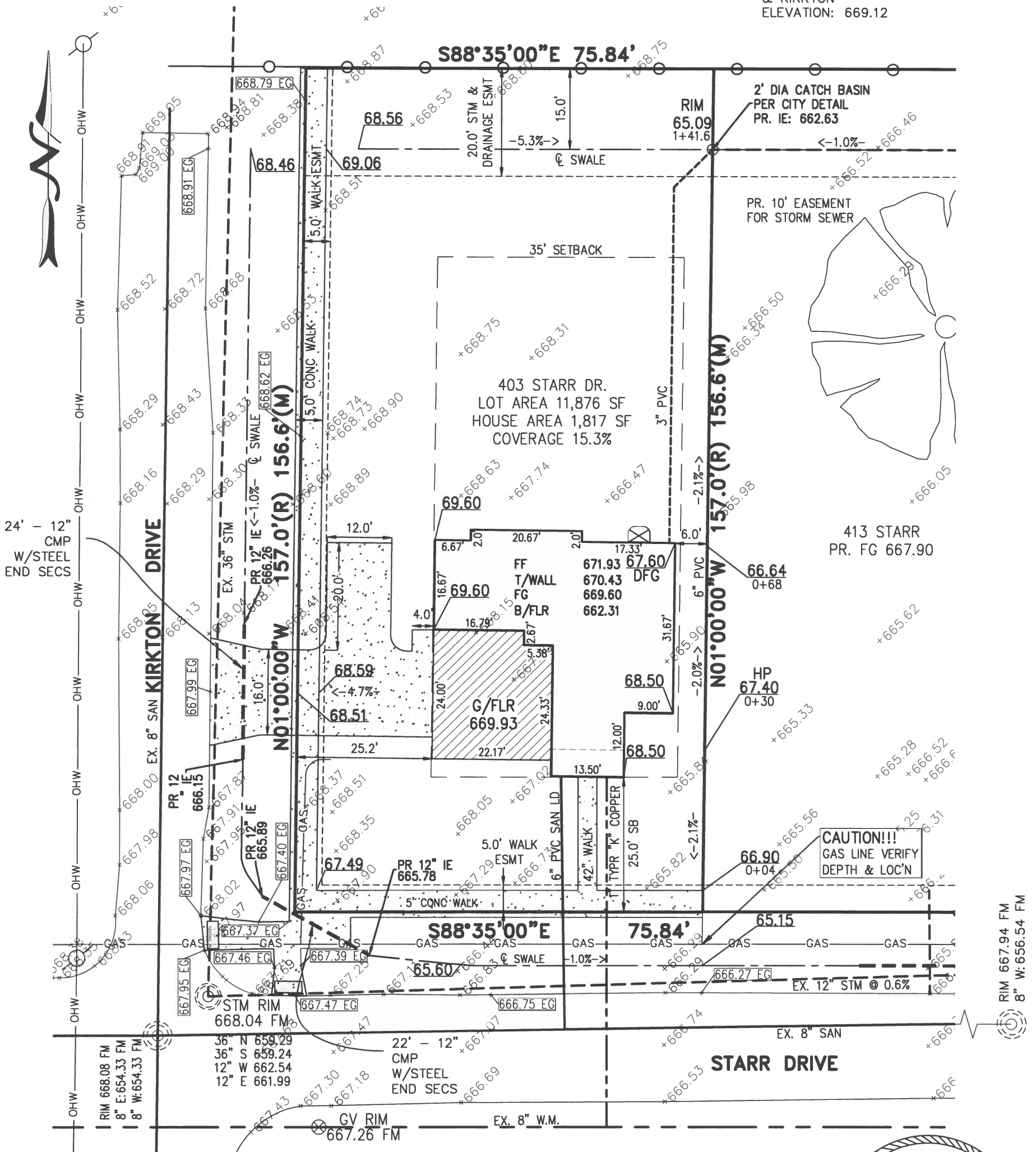


# PLOT PLAN

**PROPERTY DESCRIPTION:**

403 STARR DRIVE  
 LOT 116 EXCEPT THE EAST 42.0 FEET OF "GREENOUGH HEIGHTS SUBDIVISION", CITY OF TROY, OAKLAND COUNTY, MICHIGAN.

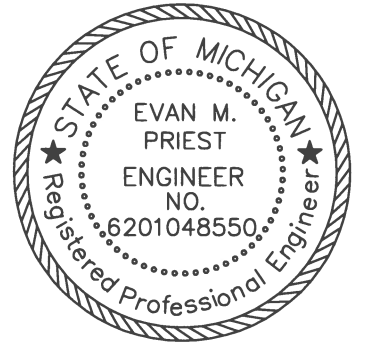
**BENCHMARK:**  
 HYDRANT ARROW  
 S.W. CORNER OF STARR  
 & KIRKTON  
 ELEVATION: 669.12



**LEGEND:**

- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- OVERHEAD WIRE
- GAS LINE
- UNEXCAVATED
- PROP. GRADE

**\*APPROVED\***  
 AS NOTED:  
 CITY OF TROY LAND SURVEYOR  
 DATE: 07/18/2024



P.P. DATE: 05-28-2024* G.C. DATE:	SCALE: 1" = 20'	SURVEY NO.: 2022.30 - 403
PREPARED FOR: CENTURION BUILDING COMPANY ATTN: EVAN CARPENTER 508 DARBEE COURT CLAWSON, MI 48107 ecarpenter86@gmail.com		REVISIONS: *07-08-24 PER CITY *07-11-24 PER CITY ENGINEERS & SURVEYORS <b>MLP</b> AND ASSOCIATES, INC. 40655 KOPPERNICK ROAD CANTON, MICHIGAN 48187 PHONE (734) 459-8560 FAX (734) 459-2585 By: Registered Professional Engineer

 CENTURY 21 ELEMENTAL  
E  
Custom Home  
Build to Suit  
(833) 277-4736  
Elementalhomes.com











City of Troy  
Mr. Kurt Bovensiep  
Public Works Director  
4693 Rochester Road  
Troy, MI 48098

Mr. Bovensiep,

I am/we are the owner(s) of the property at (vacant land, no address has been assigned yet)

Lot number 88-20-03-152-027,

Subdivision Name Part of Lot 23 "Troyhurst",

Sidewell Number \_\_\_\_\_,

I/we would like to request a sidewalk variance for the following reasons:

Permission to wave sidewalk requirements on the new house to be build on Lesdale Dr since the vacant lot is part of a neighborhood that does not feature sidewalks on existing homes on either side of Lesdale Dr. See Exhibit-A attached for more details.

See attached plan/sketch.

I/We can be contacted at 248.434.7816  
Phone Number

edvin.godo@godotek.com  
Email Address

Edvin Godo  
Name

880 Benjamin Dr  
Address

Troy, MI 48098  
City, State, Zip



Edvin Godo  
Signature



DEPARTMENT OF PUBLIC WORKS  
4693 Rochester Road  
Troy, MI 48085  
troymi.gov

October 23, 2024

TO: The City of Troy Traffic Committee

FROM: Kurt Bovensiep, Public Works Director   
Mike Verstraete, Streets and Drains Operations Manager 

SUBJECT: Request for Waiver of Sidewalk Requirement  
Sidwell 88-20-03-152-027

Per the attached waiver form, Homeowners Edwin Godo is requesting a waiver for the sidewalk located at Lot 23 Lesdale Dr, Sidwell 88-20-03-152-027. Subdivision Troyhurst.

Chapter 34 City of Troy Sidewalks and Driveway Approaches Ordinance # 34-07 requires, all owners of lots and premises abutting dedicated streets open to the public shall be required to construct sidewalks and driveway approaches at the time of construction of any new buildings or structures, or additions to buildings or structures, or at the time a nonconforming use changes to a permitted use in the Zoning District. No occupancy permit shall be issued until such time as the owners of said property have complied with the requirements of this provision provided only that the Director of Building and Zoning may extend the time for completion of the required sidewalks and driveway approaches in accordance with established procedure.

City of Troy Sidewalks and Driveway Approaches Ordinance # 34.07.01 also requires that a sidewalk be installed in conjunction with the development of a parcel due to a recent lot split, combination of parcels or a re-platting.



Please be advised that there is currently not a sidewalk to the East and West of Lot 23 Lesdale Dr or across the street to the North.

Due to the lack of sidewalk on the surrounding parcels and the open drainage ditches of the area, we recommend that the sidewalk not be installed at Lot 23 Lesdale Dr, Sidwell 88-20-03-152-027, as per ordinance #34.07. If the sidewalk requirements were to be waived, we recommend the approval be subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.



# GIS Online

### Legend:

-  Tax Parcel
-  Sidewalk Waiver



Notes:  
50 Lesdale

Map Scale: 1=673  
Created: February 6, 2025

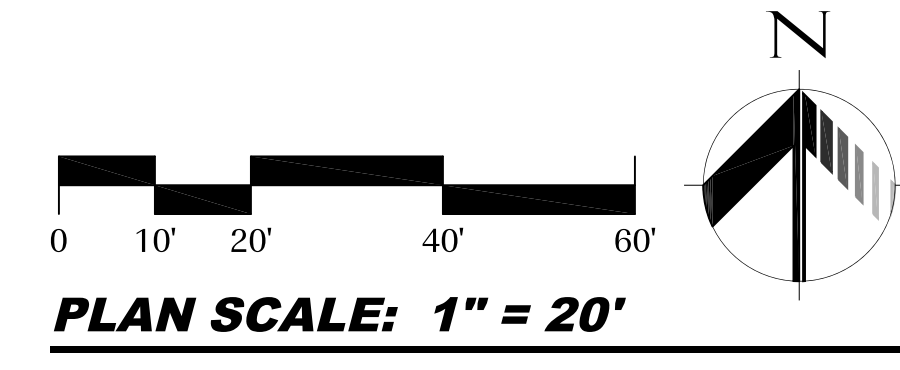


Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



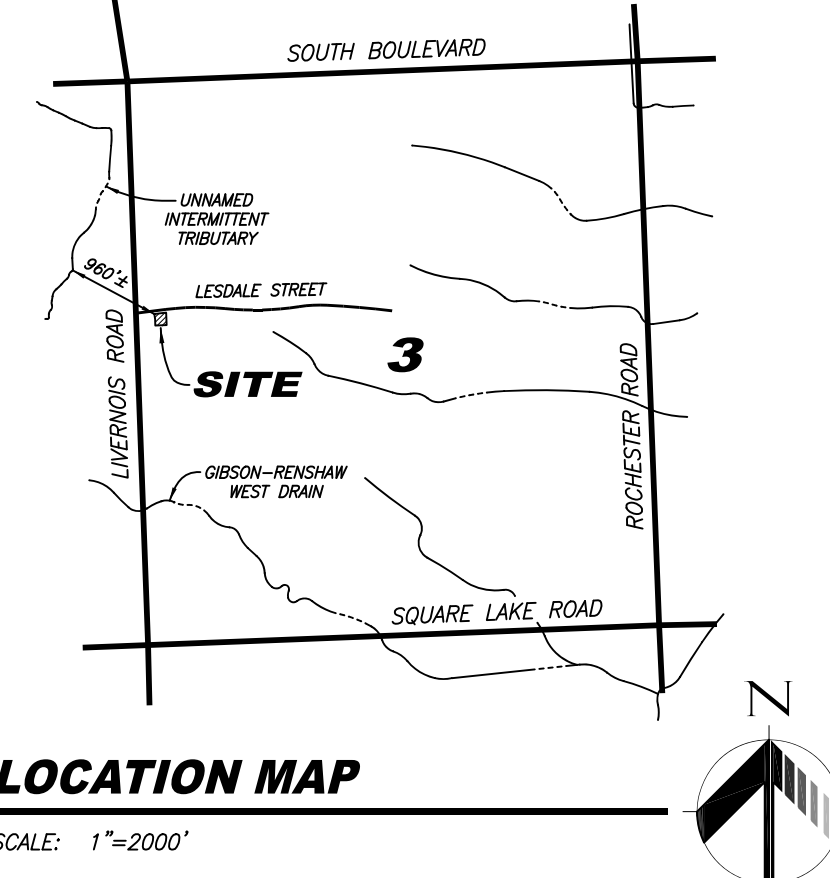
**LEGEND**

	EXISTING GRADE		PROPOSED GRADE
	EXISTING CONTOURS, 1' INTERVAL		AS-BUILT GRADE
	EXISTING ASPHALT PAVEMENT TO REMAIN		DIRECTION OF SURFACE DRAINAGE
	EXISTING CONCRETE PAVEMENT		SILT FENCE & LIMITS OF EARTH DISTURBANCE
	EXISTING GRAVEL AREAS TO REMAIN		PROPOSED PAVEMENT AREAS



**PROPERTY DESCRIPTION**

PART OF LOT 23, "TROYHURST", A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 3, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 75 OF PLATS, PAGES 33 AND 34 OF OAKLAND COUNTY RECORDS, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 23; THENCE ALONG THE NORTH LINE OF SAID LOT 23 NORTH 83 DEGREES 54 MINUTES 06 SECONDS EAST 128.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE NORTH 83 DEGREES 54 MINUTES 06 SECONDS EAST (RECORDED AS NORTH 83 DEGREES 57 MINUTES 00 SECONDS EAST) 122.93 FEET TO THE SOUTHWEST CORNER OF SAID LOT 23; THENCE ALONG THE SOUTH LINE OF SAID LOT 23 SOUTH 01 DEGREES 06 MINUTES 47 SECONDS EAST (RECORDED AS SOUTH 01 DEGREES 07 MINUTES 10 SECONDS EAST) 131.57 FEET TO THE SOUTHWEST CORNER OF SAID LOT 23; THENCE ALONG THE SOUTH LINE OF SAID LOT 23 SOUTH 88 DEGREES 52 MINUTES 02 SECONDS WEST (RECORDED AS 88 DEGREES 52 MINUTES 52 SECONDS WEST) 117.72 FEET; THENCE NORTH 01 DEGREES 07 MINUTES 10 SECONDS WEST 66.60 FEET; THENCE NORTH 06 DEGREES 05 MINUTES 54 SECONDS WEST 54.53 FEET TO THE POINT OF BEGINNING.



Note: If Sidewalk Committee determines that sidewalk is required, the grading plan will need to be updated to show sidewalk along with proposed grades.

NOTE: THE APPLICANT SHALL APPLY FOR A WAIVER FOR THE SIDEWALK ALONG LESDALE STREET.

**CITY BENCHMARK**  
ELEVATION = 773.24 (NAVD 88 DATUM)  
ARROW ON THE TOP OF HYDRANT #3-154 LOCATED AT THE SOUTHEAST CORNER OF LIVERNOIS ROAD AND LESDALE DRIVE.

**LIVERNOIS ROAD**  
120' WIDE RIGHT OF WAY  
ASPHALT PAVEMENT

**LESDALE STREET**  
60' WIDE RIGHT OF WAY  
ASPHALT PAVEMENT

**PT. OF LOT 23**  
PARCEL NO. 20-03-152-026

**LOT 24**  
PARCEL NO. 20-03-152-002

**LOT 27**  
PARCEL NO. 20-03-152-005

**SOILS** (FROM COUNTY SOIL SURVEY MAP)  
"shbu0b" - SHEBEON-URBAN LAND COMPLEX, 0 TO 4 PERCENT SLOPES.

- SOIL EROSION NOTES**
- LIMITS OF EARTH DISTURBANCE WILL BE CONTAINED ON SITE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM THE PROPOSED HOUSE.
  - EXISTING DOMINANT LAND FEATURES ARE VACANT SINGLE FAMILY RESIDENTIAL LOT WITH LAWN.
  - SOIL EROSION CONTROL MEASURES WILL BE MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT BY THE BUILDER.
  - SEED & MULCH OR SOG SHALL BE PROVIDED ON ALL DISTURBED AREAS AS PERMANENT VEGETATIVE RESTORATION.

- SEQUENCE OF CONSTRUCTION**
- INSTALL ALL SOIL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. ALL SOIL EROSION MEASURES ARE TO BE INSTALLED PRIOR TO ANY GROUND BREAKING OR EARTH MOVEMENT.
  - DEMOLISH AND REMOVE ALL EXISTING STRUCTURES, PAVEMENTS, AND TREES INDICATED ON THE PLAN FOR REMOVAL.
  - BEGIN HOUSE CONSTRUCTION.
  - INSTALL UTILITY LEADS AND UNDERGROUND UTILITIES.
  - FINISH HOUSE CONSTRUCTION, INSTALL DRIVEWAY, AND ESTABLISH FINISH GRADE INCLUDING YARD SWALES.
  - RIGHT-OF-WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.
  - ALL SWALES GREATER THAN 1:5 AND 10' AROUND STORM SEWER STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.
  - AFTER PERMANENT EARTH STABILIZATION IS COMPLETED, REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES. NO PERMANENT SOIL EROSION MEASURES (ASIDE FROM FINAL VEGETATIVE STABILIZATION) APPLIES TO THIS PARCEL.

**NOTE**  
REFER TO SHEET TO THE STANDARD CITY OF TROY SOIL EROSION DETAIL SHEET FOR SOIL EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS.

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE											
	2024			2025								
	OCT.	NOV.	DEC.	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.
A SOIL EROSION CONTROL MEASURES												
B HOUSE CONSTRUCTION												
C DRIVEWAY & SIDEWALK CONSTRUCTION												
D FINAL GRADING												
E PERMANENT VEGETATIVE RESTORATION												

NOTE: THIS TIMING AND SEQUENCE CHART IS TO BE VERIFIED BY THE BUILDER PRIOR TO SUBMITTAL FOR SOIL EROSION PERMITTING.

**SITE CRITERIA**

- PARCEL SUMMARY:**
  - ADDRESS: VACANT, LESDALE STREET
  - PARCEL ID NO.: 20-03-152-027
  - EXISTING ZONING: R-1B
  - AREA OF SITE: 15,158 S.F. (0.348 ACRE)
  - AREA OF HOUSE FOOTPRINT: 2,379 S.F.
  - LOT COVERAGE ALLOWED: 30%
  - LOT COVERAGE PROPOSED: 15.7%
  - TOTAL AREA OF EARTH DISTURBANCE: 0.35 ACRE
  - DISTANCE TO NEAREST WATER BODY: APPROX. 960 FEET TO AN UNNAMED INTERMITTENT TRIBUTARY TO THE NORTHEAST (REFER TO LOCATION MAP).
- SETBACK SUMMARY:**
  - FRONT (TO R.O.W. LINE): 40'
  - REAR: 45'
  - SIDE: 10' MIN., 25' TOTAL

**FLOOD NOTE**  
SUBJECT PROPERTY IS LOCATED WITHIN ZONE X. AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE (500-YEAR) FLOOD PLAN AS PER FLOOD INSURANCE RATE MAP NUMBER 26125C0532F, DATED SEPTEMBER 29, 2006, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**BENCHMARK**  
CITY OF TROY BENCHMARK, BM1932  
ELEVATION = 773.24 (NAVD 88 DATUM)  
ARROW ON THE TOP OF HYDRANT #3-154 LOCATED AT THE SOUTHEAST CORNER OF LIVERNOIS ROAD AND LESDALE DRIVE.

- NOTES**
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES AND CONTACT "MISS DIG" PRIOR TO START OF CONSTRUCTION.
  - ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY, COUNTY, AND STATE.
  - THE CONTRACTOR SHALL VERIFY HOUSE DIMENSIONS & FINISH FLOOR ELEVATIONS WITH FINAL APPROVED BUILDING CONSTRUCTION DRAWINGS PRIOR TO THE START OF CONSTRUCTION.
  - THE BUILDER AND/OR OWNER SHALL REVIEW PLOT PLAN WITH SUBDIVISION ASSOCIATION PRIOR TO THE START OF CONSTRUCTION, IF APPLICABLE.

**CONTRACTOR'S NOTE**  
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

**3 WORKING DAYS CALL MISS DIG**  
1-800-482-7171  
(TOLL FREE) for the location of underground utilities.

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

REVISIONS: 10/17/24 REUSED PER CITY ENGINEER.

CLIENT: MLE DYON CODO, CODO HOMES, LLC, 880 BURNHAM DRIVE, TROY, MI 48068 (248) 434-7816

PLANNING: NATHAN PAUL ROBINSON, License No. 6201047469

DATE: 10/8/24

JOB NO: 19-055

DRAWN BY: N.P.R.

SEAL: STATE OF MICHIGAN PROFESSIONAL ENGINEER

**HORIZON ENGINEERING LLC**

CIVIL ENGINEERING, SITE PLANNING & LAND DEVELOPMENT CONSULTING  
P.O. Box 182158, Shelby Township, Michigan 48318  
Phone 586-653-8097

PROJECT: Part of Lot 23 "Troyhurst" VACANT, LESDALE STREET PARCEL 20-03-152-027 PART OF THE NW 1/4 OF SECTION 3, T.2N, R.11E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PLANNING: N.P.R.

**PLOT PLAN**

SHEET: 1 OF 1

MUNICIPAL REVIEW NUMBERS:

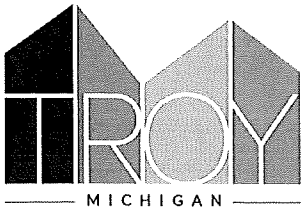














DEPARTMENT OF PUBLIC WORKS  
4693 Rochester Road  
Troy, MI 48085  
troymi.gov

December 9, 2024

TO: The City of Troy Traffic Committee

FROM: Kurt Bovensiepe, Public Works Director   
Mike Verstraete, Streets and Drains Operations Manager 

SUBJECT: Request for Waiver of Sidewalk Requirement  
Sidwell 88-20-22-401-102

Per the attached waiver form, Homeowner Florian Libert requested a waiver for the sidewalk at 886 Trombley Sidwell 88-20-22-401-102. Acreage parcel, part of Supervisor Plat NO. 6 Subdivision.

Chapter 34 City of Troy Sidewalks and Driveway Approaches Ordinance # 34-07 requires all owners of lots and premises abutting dedicated streets open to the public shall be required to construct sidewalks and driveway approaches at the time of construction of any new buildings or structures, or additions to buildings or structures, or at the time a nonconforming use changes to a permitted use in the Zoning District. No occupancy permit shall be issued until such time as the owners of said property have complied with the requirements of this provision provided only that the Director of Building and Zoning may extend the time for completion of the required sidewalks and driveway approaches in accordance with established procedure.

City of Troy Sidewalks and Driveway Approaches Ordinance # 34.07.01 also requires that a sidewalk be installed in conjunction with the development of a parcel due to a recent lot split, combination of parcels, or a re-platting.

Please be advised that there is currently no sidewalk to the East or West of 886 Trombley or across the street.



Due to the lack of sidewalks on the surrounding parcels and the open drainage ditches of the area, we recommend that the sidewalk not be installed at 886 Trombley, as per ordinance #34.07. If the sidewalk requirements were to be waived, we recommend the approval be subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.

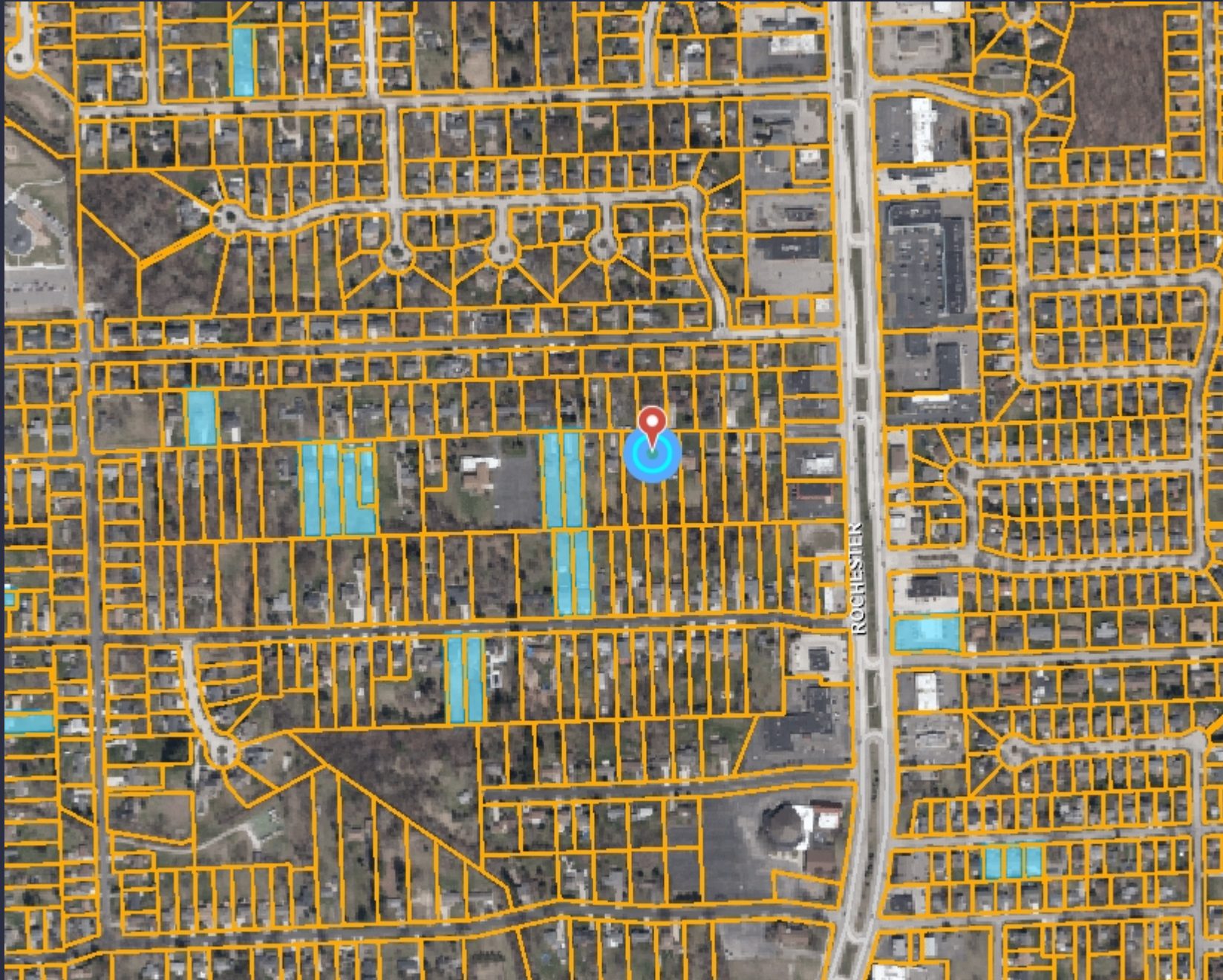




# GIS Online

### Legend:

-  Tax Parcel
-  Sidewalk Waiver



### Notes:

886 Trombley

Map Scale: 1=673

Created: February 6, 2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



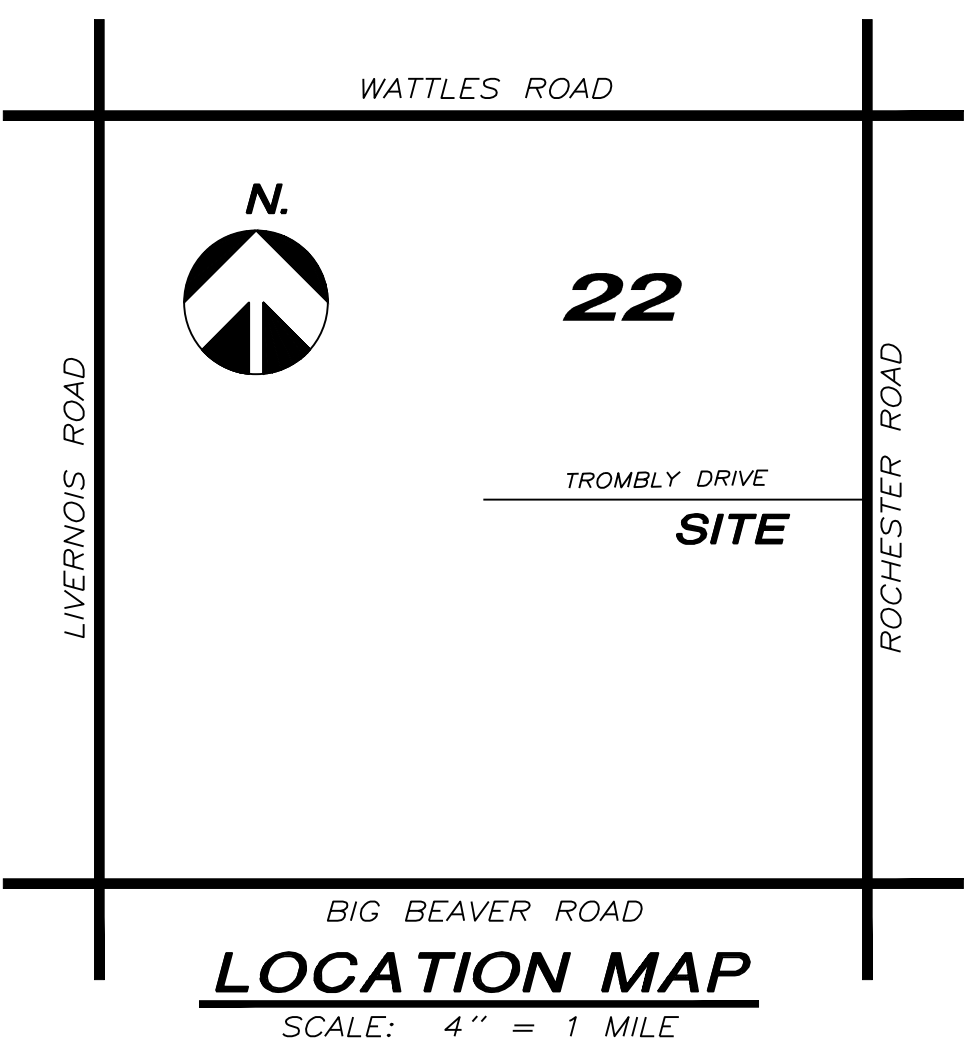
**PLOT PLAN**  
PART OF LOT 33  
SUPERVISOR'S PLAT No. 6  
PART OF THE S.E. 1/4 SECTION 22  
T.2N., R.11E., CITY OF TROY  
OAKLAND COUNTY, MICHIGAN

DATE: 11-27-23  
JOB NO.: 231009-10967  
DATE: 11-27-23  
SCALE: 1"=20'  
DRAWN BY: CV  
CHECKED BY: CV  
SHEET 1 OF 1  
FID. BK.

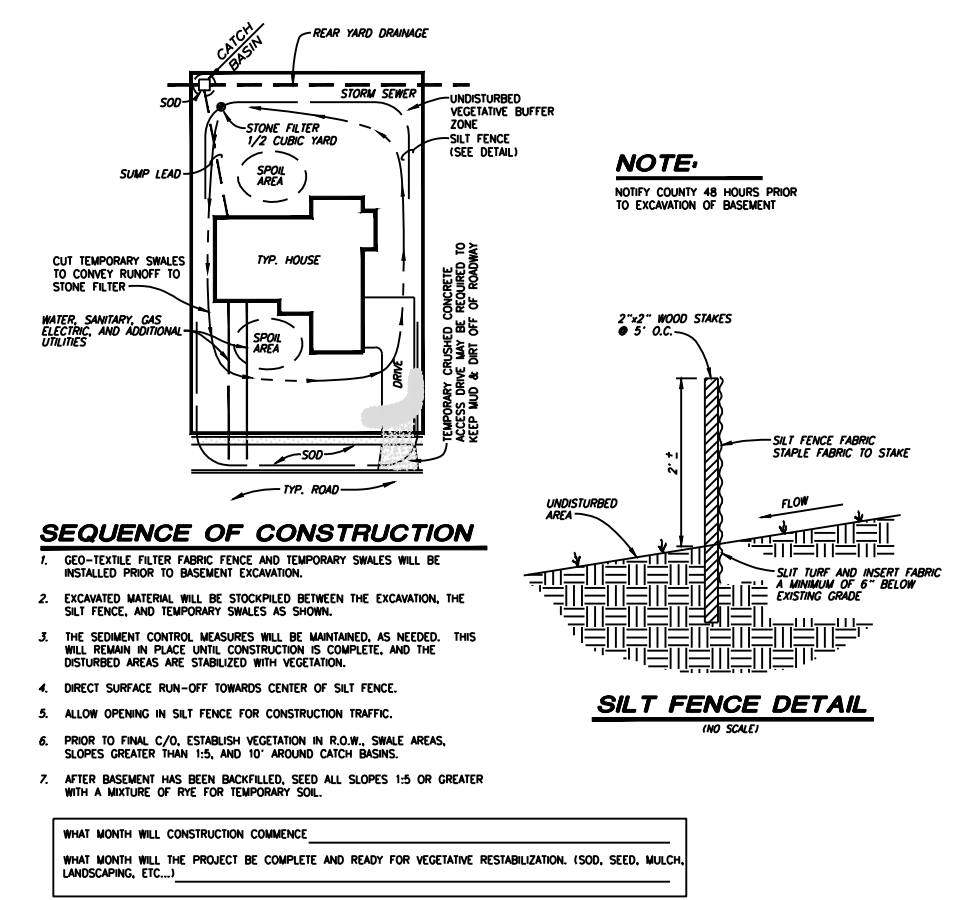
**FLORIAN LIBERT**  
2094 OAK CREST ROAD  
STERLING HEIGHTS, MI 48310  
586-604-9715



PHONE: 586-731-8030  
**URBAN LAND CONSULTANTS**  
PLANNERS LAND SURVEYORS  
8800 23 MILE ROAD  
SHELBY TWP., MI 48316-4516



**NORTH**  
  
**SCALE: 1"=20'**  
**BENCHMARK**  
1. CUT NAIL IN W. FACE U-POLE  
ON E. PROPERTY LINE  
ELEVATION=666.05  
DATUM=NAVD88  
**PARCEL ID**  
20-22-401-102  
**ZONED: R-1E**



**SOIL EROSION DETAILS**  
(NO SCALE)  
**NOTE:** REFER TO CITY OF TROY STANDARD SOIL EROSION DETAILS FOR APPLICABLE PROCEDURES  
**NOTE:** THE CONTRACTOR IS REQUIRED TO INSPECT THE EROSION MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAINSTORM

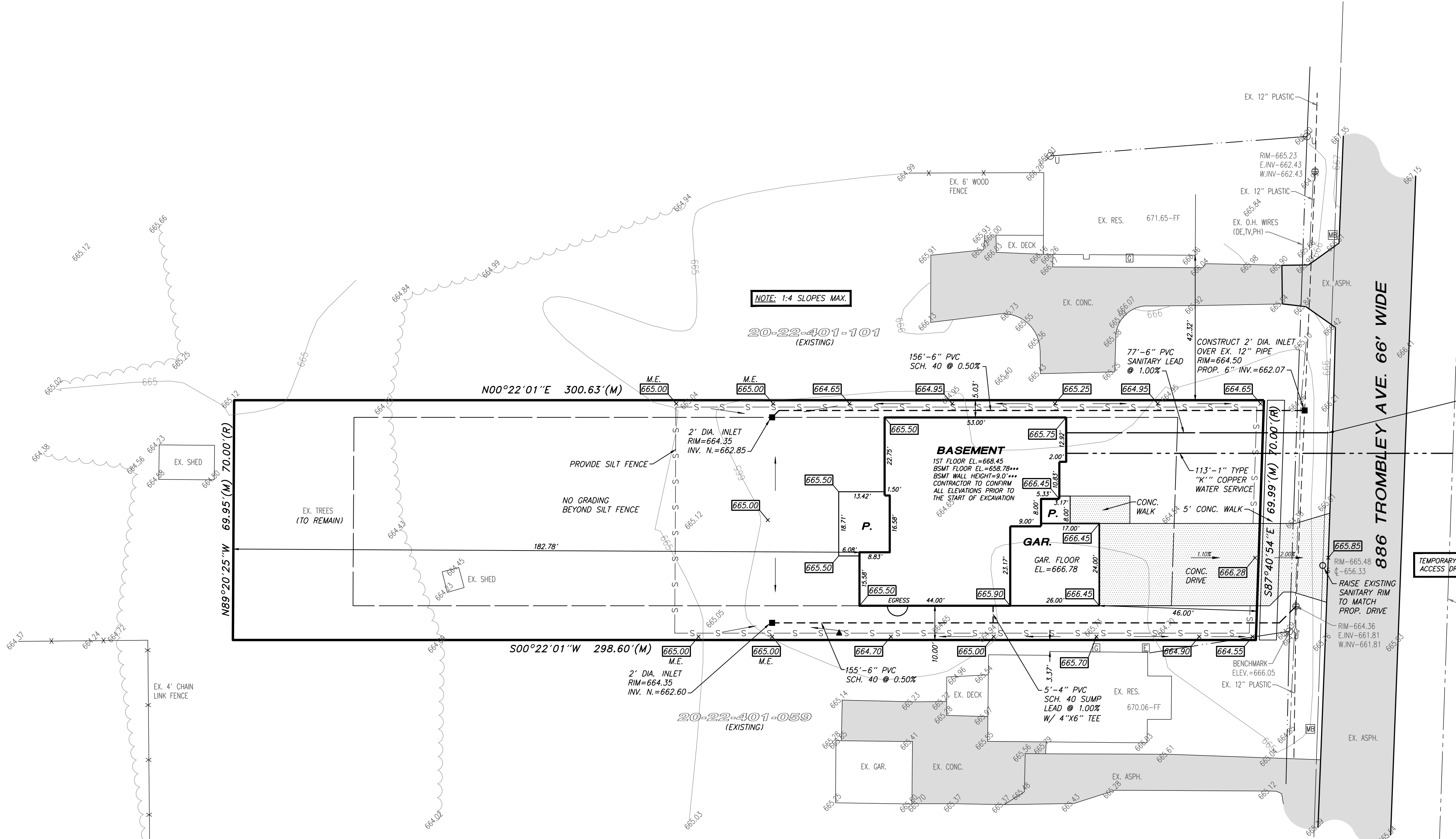
**PROPERTY DESCRIPTION**  
The east 70 feet of Lot 33, "Supervisor's Plat No. 6", of part of the South 1/2 of the North 1/2 & of the North 1/2 of the Southeast 1/4 of Section 22, T.2N., R.11E., Troy Township (Now City of Troy), Oakland County, Michigan according to the plat as recorded in Liber 45 of plots on Page 23 of the Oakland County Records.

**LEGEND**

	EXISTING CONTOURS
	EXISTING GRADE
	AS-BUILT GRADE
	PROPOSED GRADE
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED SILT FENCE

**TOPOGRAPHY LEGEND**

	WATER MAIN
	STORM SEWER
	SANITARY SEWER
	EASEMENT
	EX. U.G. ELEC.
	EX. U.G. WIRES
	EX. U.G. TELE.
	EX. U.G. GAS
	ROUND CATCH BASIN
	SQUARE CATCH BASIN
	UTILITY MANHOLE
	STORM MANHOLE
	END OF PIPE
	SANITARY MANHOLE
	CLEAN-OUT
	MANHOLE
	HYDRANT
	GATE VALVE WELL
	WATER VALVE
	WATER BOX
	VALVE
	LIGHT POLE
	AIR CONDITIONER
	MAIL BOX
	FENCE POST
	DOWN SPOUT
	SOLE BORING
	ELEC. TRANS. PAD
	UTILITY POLE
	GUY ANCHOR
	SIGN POST
	SPRINKLER HEAD
	GAS METER
	TELEPHONE RISER
	ELECTRICAL RISER
	CABLE TV RISER
	FINISHED FLOOR
	GARAGE FLOOR
	BASEMENT FLOOR
	CONC. CONCRETE
	SET. MAG. MAIL
	SET IRON BAR
	FOUND IRON BAR
	FOUND C. MONUMENT



**NOTE:** VERIFY EXACT LOCATION & DEPTH OF SAN. SEWER PRIOR TO START OF WORK

**NOTE:** NEW C.B. CONSTRUCTION & CONNECTIONS REQUIRES A RIGHT OF WAY PERMIT FROM THE ENGINEERING DEPARTMENT.

**NOTE:** OWNER TO APPLY FOR SIDEWALK WAIVER

**MINIMUM SETBACKS**  
HOUSE IS LOCATED AT MINIMUM SETBACKS. URBAN LAND CONSULTANTS HIGHLY RECOMMENDS 0.50' BUFFER AT ALL SETBACKS.  
URBAN LAND CONSULTANTS RECOMMENDS ALL FOUNDATIONS PROPOSED WITHOUT SETBACK BUFFER TO HAVE FOUNDATION WALLS FINISHED TO THE FOOTING.

**\*APPROVED\***  
AS NOTED:  
CITY OF TROY LAND SURVEYOR  
DATE: 01/16/2024

**GRADING NOTE**  
1.) ALL PROPOSED GRADING SHALL BE CONTAINED WITHIN THE PROPERTY LINES OF THIS LOT, AND SHALL NOT ENCRoACH UPON ANY ADJACENT PROPERTIES.  
2.) SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED AROUND THE ENTIRE PERIMETER OF SOIL DISRUPTION PER THE COUNTY  
**NOTE:** SIDEYARD DRAINAGE SHALL NOT DRAIN ONTO ADJACENT LOT(S). (TYPICAL)

**ATTENTION BUILDERS/CONTRACTORS**  
1. THIS DRAWING IS NOT INTENDED TO REPRESENT A BOUNDARY OR LOT SURVEY, AND SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES OR LOCATE IMPROVEMENTS.  
2. U.L.C. ASSUMES NO RESPONSIBILITY FOR THE GIVEN BUILDING DIMENSIONS. DIMENSIONS MUST BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.  
3. THIS PLAN SHALL NOT BE USED TO SET FOUNDATIONS. ARCHITECTURAL PLANS MUST BE USED FOR CONSTRUCTION OF FOUNDATION.  
4. UPON ACCEPTANCE AND SUBMITAL OF THIS PLAN FOR PERMITS, THE OWNER/BUILDER ACKNOWLEDGES HE HAS REVIEWED THE PLAN, AND THAT IT MEETS THE ESTABLISHED REQUIREMENTS.  
5. APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL CODES AND ORDINANCES THAT SHALL APPLY.

6. SETBACKS SHOWN ON THIS DRAWING HAVE BEEN OBTAINED FROM THE MUNICIPALITY. ANY DEED OR SPECIAL RESTRICTIONS - (i.e. SUBDIVISION RESTRICTIONS, HOUSE SIZE, BUILDING LOCATION, etc.) MUST BE SUPPLIED TO U.L.C. IN WRITING WHEN PLOT PLAN IS ORDERED. U.L.C. WILL NOT BE RESPONSIBLE FOR INTERPRETING SUBDIVISION RESTRICTIONS.  
7. U.L.C. RECOMMENDS A .50' EXTRA ALLOWANCE TO ALL MINIMUM SETBACKS, WHERE THE OWNER / BUILDER DOES NOT FOLLOW THIS RECOMMENDATION, THE OWNER / BUILDER AGREES TO HOLD U.L.C. HARMLESS FOR STRUCTURE ENCROACHMENT (S) INTO THE MINIMUM SETBACK.  
8. UTILITY LEAD LOCATIONS AS SHOWN ARE APPROXIMATE. AS-BUILT LOCATIONS MUST BE OBTAINED FROM THE LOCAL MUNICIPALITY.

**NOTE:**  
\*\*\*CONTRACTOR TO CONFIRM BASEMENT WALL HEIGHT, FIRST FLOOR ELEVATION AND BASEMENT FLOOR ELEVATION PRIOR TO THE START OF CONSTRUCTION!!!

**URBAN LAND CONSULTANTS WILL SET HIGH GRADE/BRICKLEDGE CONTRACTOR TO USE GRADE SET ON SITE.**

**3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG**  
1-800-482-7171  
(TOLL FREE) for the location of underground utilities  
  
Contractor Note: The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

**CAUTION**  
CONTRACTOR TO VERIFY GROUND WATER PRIOR TO CONSTRUCTION.  
U.L.C. RECOMMENDS SOIL ANALYSIS TO BE PERFORMED BY A PROFESSIONAL.  
CONTRACTOR TO MONITOR EXCAVATION FOR SOIL/GROUND WATER CONDITIONS.







A regular meeting of the Troy Traffic Committee was held Wednesday, November 20, 2024 in the Lower Level Conference Room at Troy City Hall. Pete Ziegenfelder called the meeting to order at 7:30 p.m.

**1. Roll Call**

Present: Dale Christiansen  
Cindy Nurak  
Justin Rose  
Al Petrulis  
Abi Swaminathan (Late for first vote)  
Pete Ziegenfelder

Absent: Shama Kenkre

Also present: G. Scott Finlay, City Engineer  
Merissa Clark, Administrative Assistant  
Deputy Fire Chief, Michael Koehler  
Sgt. Brian Warzecha, Police Department

**2. Minutes – September 18, 2024 Traffic Committee**

Resolution # 2024-11-18  
Moved by Rose  
Seconded by Nurak

RESOLVED, that the Traffic Committee approve the September 18, 2024 minutes with one correction on page 2.

Yes: Christiansen, Nurak, Rose, Petrulis, Ziegenfelder  
No: None  
Absent: Kenkre, Swaminathan (not present for this vote)

**MOTION CARRIED**

**PUBLIC HEARINGS**

**3. Request for Sidewalk Waiver – 2107 Chancery (Sidwell # 88-20-01-107-015)**

Zachary Morey, homeowner requests a sidewalk waiver for the sidewalk at 2107 Chancery (Sidwell # 88-20-01-107-015). The homeowner states:

- a. *There are no other sidewalks in the subdivision. This would be the only sidewalk and property on both sides as well as across the street have no sidewalks. A sidewalk would literally be a sidewalk to nowhere.*

The Department of Public Works (DPW) recommends approving the waiver request and not requiring the installation of sidewalk “*Due to the lack of sidewalk on the surrounding parcels and the open drainage ditches of the area*”, subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.

Zachary Morey the owner at 2107 Chancery introduced himself, and explained that no other homes in the subdivision have sidewalks, the sidewalks would not be connected to anything. He stated that he doesn’t agree with the waiver fee being paid or what it is even for.

Pete Ziegenfelder explained the City’s Ordinance and the Sidewalk Waiver process, and that the deposit is going to be used for the sidewalks that will be installed in the future.

A neighbor asked Zachary if he wanted sidewalk, he explained he did not want sidewalk installed. The neighbor misunderstood the sidewalk waiver request and thought the city wanted the entire subdivision to install sidewalks.

Cindy Nurak asked when the ordinance was put into place.

Scott Finlay wasn’t sure on the exact date, and would let her know at the next meeting.

No further discussion was had.

Resolution # 2024-11-19

Moved by Rose

Seconded by Christiansen

Yes: Christiansen, Nurak, Rose, Petrulis, Swaminathan, Ziegenfelder

No: None

Absent: Kenkre

WHEREAS, City of Troy Ordinances, Chapter 34, allows the Traffic Committee to grant waivers of the City of Troy Design Standards for Sidewalks upon a demonstration of necessity; and

WHEREAS, Zachary Morey, homeowner of 2107 Chancery has requested a waiver of the requirement to construct sidewalk based on lack of sidewalk on surrounding parcels; and

WHEREAS, the Traffic Committee has determined the following:

- a. A waiver will not impair the public health, safety or general welfare of the inhabitants of the City and will not unreasonably diminish or impair established property values within the surrounding area, and
- b. A strict application of the requirements to construct a sidewalk would result in practical difficulties to, or undue hardship upon, the owners, and
- c. The construction of a new sidewalk would lead nowhere and connect to no other walk, and thus will not serve the purpose of a pedestrian travel-way.

NOW THEREFORE, BE IT RESOLVED, that the Traffic Committee **GRANTS** a waiver of the sidewalk requirement for 2107 Chancery (Sidwell # 88-20-01-107-015) contingent upon receipt of a cash deposit, commensurate with the cost of sidewalk construction.

**REGULAR BUSINESS**

**5. Request for Traffic Control – Hurst St. at Donaldson Rd.**

Bretagne Whitford of 263 Booth Rd. requests that the intersection of Hurst St. and Donaldson Rd. be reviewed for purposes of traffic control on Hurst St at the intersection. She states: At Hurst and Donaldson, there is only a stop sign in one direction and the crossing intersection doesn't stop. All the neighboring intersections have stop signs so this one is an outlier. It causes confusions with drivers, riders and pedestrians. There is also a giant bush that obstructs the view of oncoming traffic and makes it difficult to proceed. Summer weather is just beginning and my children have told me they almost got hit twice in that intersection, so I'd like to request that this intersection be a four way stop like all of the other intersections in the area.

Bretagne had the following to say about the intersection study: I respectfully disagree with your recommendation on several points, particularly regarding the lack of a speed test on the road. The absence of that data doesn't allow justification for my point that my son nearly got hit twice at that intersection by a speeding vehicle, and it is well-known to us in that neighborhood that vehicles often speed down this stretch. The report does suggest that the safest approach would be to install a four-way stop. I'd like to expand on that recommendation, especially in light of recent changes to the traffic patterns in the area. I have included the relevant section of the report below, with my comments following:

"The safe approach speed calculations suggested STOP-control would be appropriate for the Hurst Street approaches. However, the roadway network in this portion of Troy is set up with a more traditional grid system. With the grid system, it is recommended to alternate traffic control at adjacent intersections. At the intersections to the north and south of the study intersection, the eastbound and westbound approaches are under stop control. This means for the study intersection of Hurst Street at Donaldson Road, that the northbound and southbound approaches of Donaldson Road should be under stop control in order to alternate traffic control."

This alternating stop method may have been relevant in the past, but it is no longer true for the neighborhood. In the last four years, several intersections in the area have had stop signs installed, and this intersection at Donaldson is now the only one without a four-way stop. As a result, it has become an outlier. Given these updates and the noted speeding issue, I believe a four-way stop is the safest and most consistent solution for both local residents and drivers unfamiliar with the area. It would prevent the inconsistent traffic control currently in place and greatly enhance safety, especially for all the kids in the neighborhood.

Bretagne Whitford of 263 Booth Rd stated that initially the subdivision did not have all the signage that it has now, she had come to the Traffic Committee in the past to make a request for a different intersection. She explained that her son was the corner of Hurst and Donaldson and was almost hit on two occasions. She believes it would make more sense to have a 4-



way stop installed at this intersection since this is the only intersection in the area without one and it may cause confusion for drivers.

Marty Hart agreed, and understands her concerns.

Dale Christiansen stated he drove down those streets and it was a race track. No sidewalk in the subdivision and it looks like it's just asking for trouble.

Justin Rose pointed out that drivers would likely use other streets to avoid stop signs, and he doesn't typically like going against traffic studies but he does think this is smart.

Cindy Nurak pointed out that the safe stop speed was very slow and thinks the sign should be installed, or the bushed at the corner needs to be removed.

Resolution # 2024-11-20

Moved by Rose

Seconded by Petrusis

RESOLVED, that the Hurst St. Approach at Donaldson Rd. be modified from UNCONTROLLED, to STOP CONTROLLED.

Yes: Christiansen, Kenkre, Nurak, Rose, Petrusis, Ziegenfelder

No: None

Absent: Swaminathan

**MOTION CARRIED**

**6. Request for No Parking Zone Extension – Capri Dr.**

Roger O'Toole of 5357 Capri Dr requests that the NO PARKING ZONE be extended around the entire circle so emergency vehicles can access without issue.

Paul Krajewski lives at 5351 Capri, he is unclear on what problem this would solve. The area has very little parking as is, and thinks the court parking is safer than parking on the curve. He does not think this is the right decision.

Roger O'Toole explained that the reason for his request was a few months ago he had to call EMS, and they were unable to get to his driveway. Roger explained his neighbor has 4 cars and a trailer that parking in the street is a convince for him but a safety concern for him. Roger O'Toole doesn't think parking spaces should be prioritized over his issues, his driveway is constantly being blocked. Stated that the health & safety should be prioritized over the convenience of parking on the street. He added that one of the neighbor's cars was parked there since August and was just moved recently.

Paul Krajewski addressed Mr. O'Toole and asked him to come talk to him and apologized for causing any issues.



Deputy Fire Chief, Michael Koehler stated that he does see an issue with trucks getting in and out, and added that it would be difficult.

Mr. O'Toole stated a fire truck was unable to get a truck into Capri in the past due to illegal parking on Capri.

Justin Rose asked Scott Finlay if he had any history since there was No Parking on all the cul-de-sacs and that it was unclear if it's an issue for trucks or ambulances.

Scott Finlay had no history and added that this would not meet today's standard.

Pete Ziegenfelder that in the past we have removed parking and added it back after.

Dale Christiansen asked if the no parking could be extended near the driveway opposed to the whole cul-de-sac.

Justin Rose asked if one spot would help or if no parking all together would be best.

Deputy Fire Chief, Michael Koehler explained no cars would be best, but that access to the fire hydrant would be his biggest concern.

Sgt. Brian Warzecha addressed the illegal parking situation and stated that he can have the Police Department address it next time it happens.

Paul Krajewski explained that parking is only 48 hours at a time.

Sgt. Brian Warzecha explained that the police do try to call tow trucks for illegal parking and asked Scott Finlay what the distance would/should be for this area. He added he doesn't think it would be better one way or the other.

Justin Rose agreed with Dale Christiansen thinking that extending it partially for a car length would that would help with ambulances.

Pete Ziegenfelder is in favor of no parking.

Dale Christiansen made a motion to extend the current no parking for 1 vehicle length to be determined by DPW.

Justin Rose seconded this.

Cindy Nurak asked if extending the no parking would even help with an ambulance getting to the area.

Justin Rose explained they could back in and exit the driveway easier.

Moved by Christiansen  
Seconded by Rose

RESOLVED, that the No Parking Zone Extension on Capri Drive be **APPROVED** to extend the No Parking Zone 25-30 feet northeast of the driveway at 5357 Capri Drive.

Yes: Christiansen, Kenkre, Nurak, Rose, Petrulis, Ziegenfelder  
No: None  
Absent: Swaminathan

**7. 2025 Traffic Committee Meeting Schedule**

According to the City of Troy Traffic Committee By-Laws, Article IV – Meetings:

*“Regular meetings will be held on the third Wednesday of each month at 7:30 p.m. at the Troy City Hall, 500 West Big Beaver Road, Troy, Michigan.”*

There are no other by-laws or procedures that establish the actual dates of the meetings, but an annual calendar of meetings is published by the City so meeting dates need to be set for this purpose.

Resolution # 2024-11-22  
Moved by Nurak  
Seconded by Rose

RESOLVED, that the Traffic Committee SHALL HOLD Regular Meetings in 2025 according to the following schedule at 7:30 PM:

- Wednesday, January 15
- Wednesday, February 19
- Wednesday, March 19
- Wednesday, April 16
- Wednesday, May 21
- Wednesday, June 18
- Wednesday, July 16
- August – NO MEETING
- Wednesday, September 17
- Wednesday, October 15
- Wednesday, November 19
- December – NO MEETING

**7. Public Comment**

A Resident that lives near Chancery asked a question about the sidewalk deposit, and if there is a way for the homeowner to get the deposit back.

Pete Ziegenfelder explained that it will be used for sidewalk installed in the future.

**8. Other Business**

No other business.

**9. Adjourn**

The meeting adjourned at 8:17 PM.

\_\_\_\_\_  
Pete Ziegenfelder -Chairperson

\_\_\_\_\_  
G. Scott Finlay, City Engineer/Traffic Engineer



City of Troy  
Mr. Kurt Bovensiep  
Public Works Director  
4693 Rochester Road  
Troy, MI 48098

Mr. Bovensiep,

I am/we are the owner(s) of the property at: **403 Starr**

Lot number: **116**

Subdivision Name: **Greenough Heights**

Sidewell Number **88-20-27-17B-009**

I/we would like to request a sidewalk variance for the following reasons:

We are currently in the process of constructing a new single-family home at 403 Starr. This home is situated on the NE corner of Starr and Kirkton. The portion of Kirkton that runs north from Starr is a dead-end rd. that runs only the length of out lot. I am asking for a variance to omit the sidewalk on this portion of Kirkton for the following reasons:

- 1) Since the portion of Kirkton north of Starr is a very short dead end there is no reason, a pedestrian would be traveling to or from this section of roadway.

See attached plan/sketch.

Evan Carpenter,  
Centurion Building Company  
P: (248) 990-5273  
E: [Evan@CenturionBuildingCo.com](mailto:Evan@CenturionBuildingCo.com)

1042 Livernois  
Troy, MI 48083

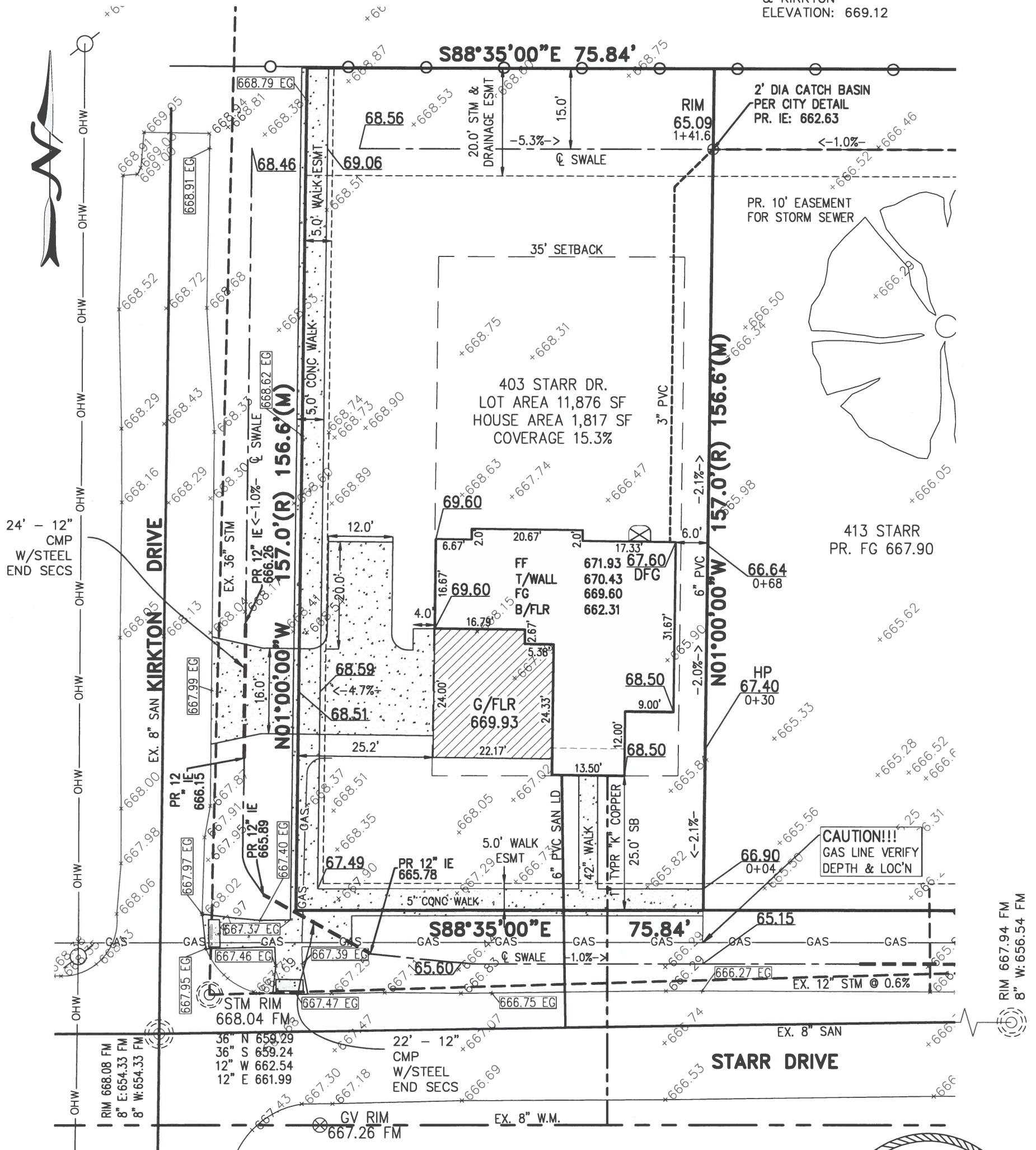
A handwritten signature in black ink, appearing to read "Evan Carpenter".

# PLOT PLAN

**PROPERTY DESCRIPTION:**

403 STARR DRIVE  
 LOT 116 EXCEPT THE EAST 42.0 FEET OF "GREENOUGH HEIGHTS SUBDIVISION", CITY OF TROY, OAKLAND COUNTY, MICHIGAN.

**BENCHMARK:**  
 HYDRANT ARROW  
 S.W. CORNER OF STARR  
 & KIRKTON  
 ELEVATION: 669.12



**LEGEND:**

STORM SEWER	---
SANITARY SEWER	---
WATER MAIN	---
OVERHEAD WIRE	— OHW —
GAS LINE	— GAS —
UNEXCAVATED	▨
PROP. GRADE	00.00

**\*APPROVED\***  
 AS NOTED:  
 CITY OF TROY LAND SURVEYOR  
 DATE: 07/18/2024



P.P. DATE: 05-28-2024* G.C. DATE:	SCALE: 1" = 20'	SURVEY NO.: 2022.30 - 403
PREPARED FOR: <b>CENTURION BUILDING COMPANY</b> ATTN: EVAN CARPENTER 508 DARBEE COURT CLAWSON, MI 48107 ecarpenter86@gmail.com		REVISIONS: *07-08-24 PER CITY *07-11-24 PER CITY
ENGINEERS & SURVEYORS <b>MLP</b> AND ASSOCIATES, INC.		40655 KOPPERNICK ROAD CANTON, MICHIGAN 48187 PHONE (734) 459-8560 FAX (734) 459-2585
By:		Registered Professional Engineer





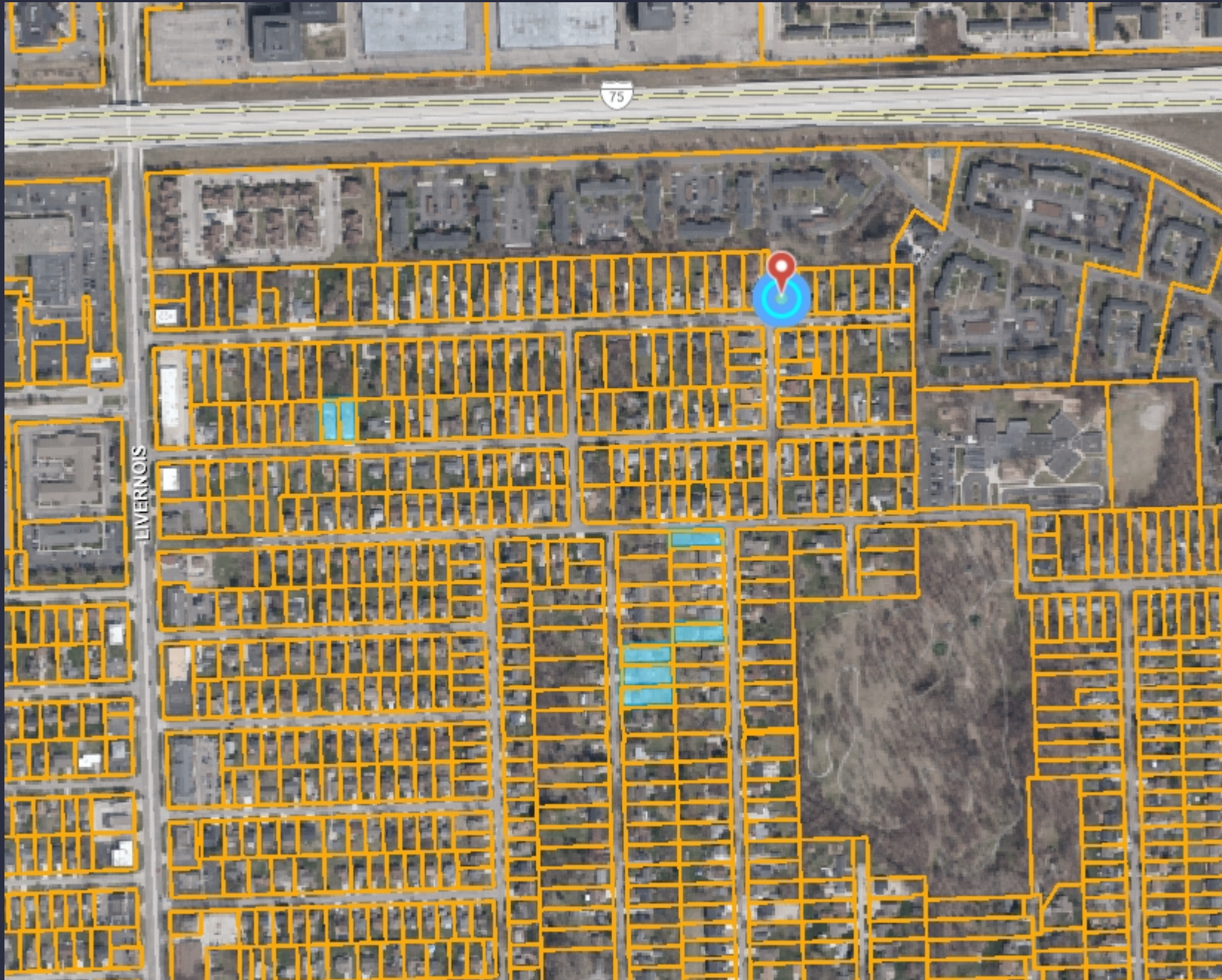


STOP



Legend:

- Tax Parcel
- Sidewalk Waiver



Notes:  
403 Starr





CENTURION ELEMENTARY  
E  
Custom Home  
Build to Suit  
(833) 277-4736  
ElementaryHomes.com



City of Troy  
Mr. Kurt Bovensiep  
Public Works Director  
4693 Rochester Road  
Troy, MI 48098

Mr. Bovensiep,

I am/we are the owner(s) of the property at (vacant land, no address has been assigned yet)

Lot number 88-20-03-152-027,

Subdivision Name Part of Lot 23 "Troyhurst",

Sidewell Number \_\_\_\_\_,

I/we would like to request a sidewalk variance for the following reasons:

Permission to wave sidewalk requirements on the new house to be build on Lesdale Dr since the vacant lot is part of a neighborhood that does not feature sidewalks on existing homes on either side of Lesdale Dr. See Exhibit-A attached for more details.

See attached plan/sketch.

I/We can be contacted at 248.434.7816  
Phone Number

edvin.godo@godotek.com  
Email Address

Edvin Godo  
Name

880 Benjamin Dr  
Address

Troy, MI 48098  
City, State, Zip



*Edvin Godo*  
Signature



DEPARTMENT OF PUBLIC WORKS  
4693 Rochester Road  
Troy, MI 48085  
troymi.gov

October 23, 2024

TO: The City of Troy Traffic Committee

FROM: Kurt Bovensiep, Public Works Director   
Mike Verstraete, Streets and Drains Operations Manager 

SUBJECT: Request for Waiver of Sidewalk Requirement  
Sidwell 88-20-03-152-027

Per the attached waiver form, Homeowners Edwin Godo is requesting a waiver for the sidewalk located at Lot 23 Lesdale Dr, Sidwell 88-20-03-152-027. Subdivision Troyhurst.

Chapter 34 City of Troy Sidewalks and Driveway Approaches Ordinance # 34-07 requires, all owners of lots and premises abutting dedicated streets open to the public shall be required to construct sidewalks and driveway approaches at the time of construction of any new buildings or structures, or additions to buildings or structures, or at the time a nonconforming use changes to a permitted use in the Zoning District. No occupancy permit shall be issued until such time as the owners of said property have complied with the requirements of this provision provided only that the Director of Building and Zoning may extend the time for completion of the required sidewalks and driveway approaches in accordance with established procedure.

City of Troy Sidewalks and Driveway Approaches Ordinance # 34.07.01 also requires that a sidewalk be installed in conjunction with the development of a parcel due to a recent lot split, combination of parcels or a re-platting.

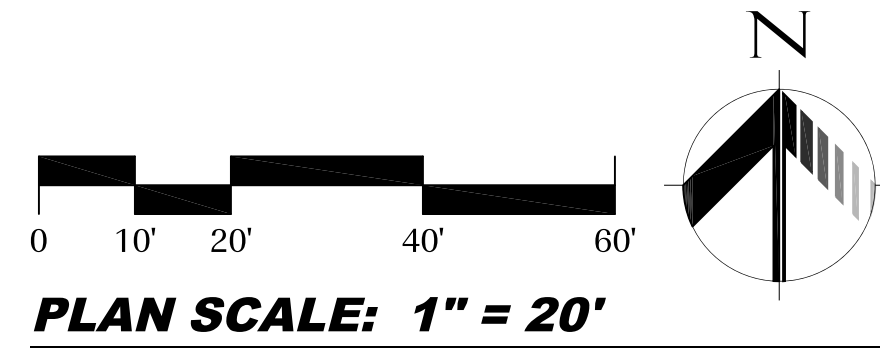
Please be advised that there is currently not a sidewalk to the East and West of Lot 23 Lesdale Dr or across the street to the North.

Due to the lack of sidewalk on the surrounding parcels and the open drainage ditches of the area, we recommend that the sidewalk not be installed at Lot 23 Lesdale Dr, Sidwell 88-20-03-152-027, as per ordinance #34.07. If the sidewalk requirements were to be waived, we recommend the approval be subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.



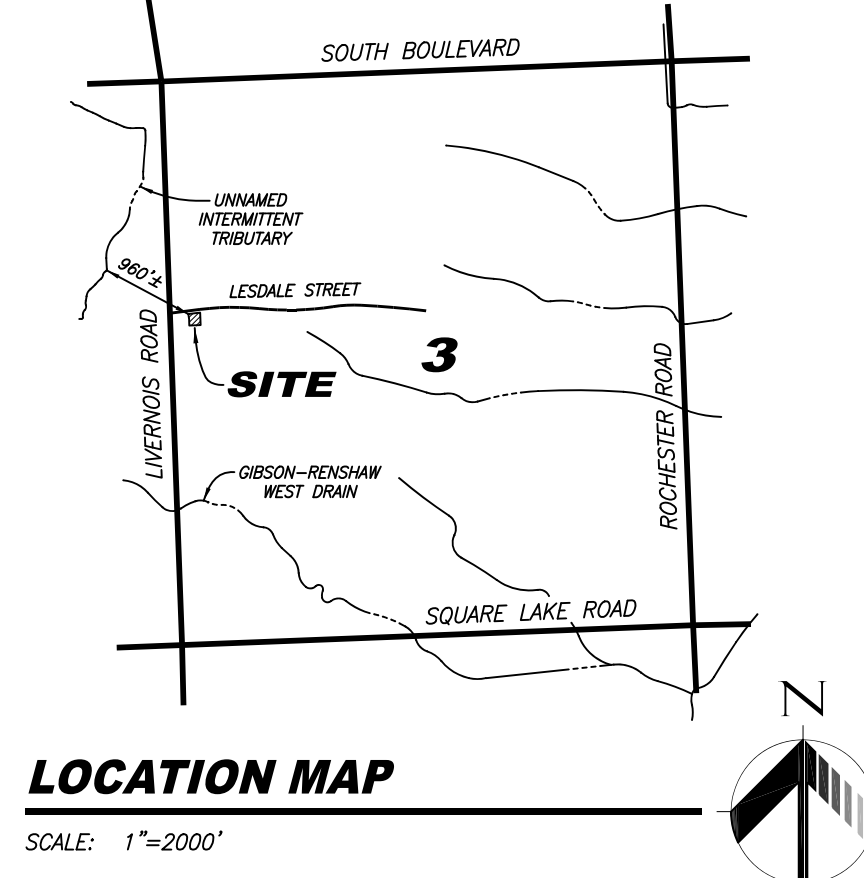
**LEGEND**

	EXISTING GRADE		PROPOSED GRADE
	EXISTING CONTOURS, 1' INTERVAL		AS-BUILT GRADE
	EXISTING ASPHALT PAVEMENT TO REMAIN		DIRECTION OF SURFACE DRAINAGE
	EXISTING CONCRETE PAVEMENT		SILT FENCE & LIMITS OF EARTH DISTURBANCE
	EXISTING GRAVEL AREAS TO REMAIN		PROPOSED PAVEMENT AREAS



**PROPERTY DESCRIPTION**

PART OF LOT 23, "TROYHURST", A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 3, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 75 OF PLATS, PAGES 33 AND 34 OF OAKLAND COUNTY RECORDS, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 23; THENCE ALONG THE NORTH LINE OF SAID LOT 23 NORTH 83 DEGREES 54 MINUTES 06 SECONDS EAST 128.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE NORTH 83 DEGREES 54 MINUTES 06 SECONDS EAST (RECORDED AS NORTH 83 DEGREES 57 MINUTES 00 SECONDS EAST) 122.93 FEET TO THE SOUTHWEST CORNER OF SAID LOT 23; THENCE ALONG THE SOUTH LINE OF SAID LOT 23 SOUTH 01 DEGREES 06 MINUTES 47 SECONDS EAST (RECORDED AS SOUTH 01 DEGREES 07 MINUTES 10 SECONDS EAST) 131.57 FEET TO THE SOUTHWEST CORNER OF SAID LOT 23; THENCE ALONG THE SOUTH LINE OF SAID LOT 23 SOUTH 88 DEGREES 52 MINUTES 02 SECONDS WEST (RECORDED AS 88 DEGREES 52 MINUTES 52 SECONDS WEST) 117.72 FEET; THENCE NORTH 01 DEGREES 07 MINUTES 10 SECONDS WEST 66.60 FEET; THENCE NORTH 06 DEGREES 05 MINUTES 54 SECONDS WEST 54.53 FEET TO THE POINT OF BEGINNING.



**Note: If Sidewalk Committee determines that sidewalk is required, the grading plan will need to be updated to show sidewalk along with proposed grades.**

NOTE: THE APPLICANT SHALL APPLY FOR A WAIVER FOR THE SIDEWALK ALONG LESDALE STREET.

**CITY BENCHMARK**  
ELEVATION = 773.24 (NAVD 88 DATUM)  
ARROW ON THE TOP OF HYDRANT #3-154 LOCATED AT THE SOUTHEAST CORNER OF LIVERNOIS ROAD AND LESDALE DRIVE.

**LIVERNOIS ROAD**  
120' WIDE RIGHT OF WAY  
ASPHALT PAVEMENT

**LESDALE STREET**  
60' WIDE RIGHT OF WAY  
ASPHALT PAVEMENT

**PT. OF LOT 23**  
PARCEL NO. 20-03-152-026

**PT. OF LOT 23**  
PARCEL NO. 20-03-152-027

**LOT 27**  
PARCEL NO. 20-03-152-005

**SOILS** (FROM COUNTY SOIL SURVEY MAP)

"Shbuob" - SHEBEON-URBAN LAND COMPLEX, 0 TO 4 PERCENT SLOPES.

**SOIL EROSION NOTES**

- LIMITS OF EARTH DISTURBANCE WILL BE CONTAINED ON SITE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM THE PROPOSED HOUSE.
- EXISTING DOMINANT LAND FEATURES ARE VACANT SINGLE FAMILY RESIDENTIAL LOT WITH LAWN.
- SOIL EROSION CONTROL MEASURES WILL BE MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT BY THE BUILDER.
- SEED & MULCH OR SOG SHALL BE PROVIDED ON ALL DISTURBED AREAS AS PERMANENT VEGETATIVE RESTORATION.

**SEQUENCE OF CONSTRUCTION**

- INSTALL ALL SOIL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. ALL SOIL EROSION MEASURES ARE TO BE INSTALLED PRIOR TO ANY GROUND BREAKING OR EARTH MOVEMENT.
- DEMOLISH AND REMOVE ALL EXISTING STRUCTURES, PAVEMENTS, AND TREES INDICATED ON THE PLAN FOR REMOVAL.
- BEGIN HOUSE CONSTRUCTION.
- INSTALL UTILITY LEADS AND UNDERGROUND UTILITIES.
- FINISH HOUSE CONSTRUCTION, INSTALL DRIVEWAY, AND ESTABLISH FINISH GRADE INCLUDING YARD SWALES.
- RIGHT-OF-WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.
- ALL SWALES GREATER THAN 1:5 AND 10' AROUND STORM SEWER STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.
- AFTER PERMANENT EARTH STABILIZATION IS COMPLETED, REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES. NO PERMANENT SOIL EROSION MEASURES (ASIDE FROM FINAL VEGETATIVE STABILIZATION) APPLIES TO THIS PARCEL.

**NOTE**  
REFER TO SHEET TO THE STANDARD CITY OF TROY SOIL EROSION DETAIL SHEET FOR SOIL EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS.

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE											
	2024			2025								
	OCT.	NOV.	DEC.	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.
A SOIL EROSION CONTROL MEASURES	X	X	X									
B HOUSE CONSTRUCTION				X	X	X	X	X	X	X	X	X
C DRIVEWAY & SIDEWALK CONSTRUCTION												X
D FINAL GRADING												X
E PERMANENT VEGETATIVE RESTORATION												X

NOTE: THIS TIMING AND SEQUENCE CHART IS TO BE VERIFIED BY THE BUILDER PRIOR TO SUBMITTAL FOR SOIL EROSION PERMITTING.

**SITE CRITERIA**

- PARCEL SUMMARY:**  
ADDRESS: VACANT, LESDALE STREET  
PARCEL ID NO.: 20-03-152-027  
EXISTING ZONING: R-1B  
AREA OF SITE: 15,158 S.F. (0.348 ACRE)  
AREA OF HOUSE FOOTPRINT: 2,379 S.F.  
LOT COVERAGE ALLOWED: 30%  
LOT COVERAGE PROPOSED: 15.7%  
TOTAL AREA OF EARTH DISTURBANCE: 0.35 ACRE  
DISTANCE TO NEAREST WATER BODY: APPROX. 960 FEET TO AN UNNAMED INTERMITTENT TRIBUTARY TO THE NORTHEAST (REFER TO LOCATION MAP).
- SETBACK SUMMARY:**  
FRONT (TO R.O.W. LINE): 40'  
REAR: 45'  
SIDE: 10' MIN., 25' TOTAL

**FLOOD NOTE**

SUBJECT PROPERTY IS LOCATED WITHIN ZONE X. AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE (500-YEAR) FLOOD PLAN AS PER FLOOD INSURANCE RATE MAP NUMBER 26125C0532F, DATED SEPTEMBER 29, 2006, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**BENCHMARK**

CITY OF TROY BENCHMARK, BM1932  
ELEVATION = 773.24 (NAVD 88 DATUM)  
ARROW ON THE TOP OF HYDRANT #3-154 LOCATED AT THE SOUTHEAST CORNER OF LIVERNOIS ROAD AND LESDALE DRIVE.

**NOTES**

- THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES AND CONTACT "MISS DIG" PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY, COUNTY, AND STATE.
- THE CONTRACTOR SHALL VERIFY HOUSE DIMENSIONS & FINISH FLOOR ELEVATIONS WITH FINAL APPROVED BUILDING CONSTRUCTION DRAWINGS PRIOR TO THE START OF CONSTRUCTION.
- THE BUILDER AND/OR OWNER SHALL REVIEW PLOT PLAN WITH SUBDIVISION ASSOCIATION PRIOR TO THE START OF CONSTRUCTION, IF APPLICABLE.

**CONTRACTOR'S NOTE**

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

**3 WORKING DAYS CALL MISS DIG**  
1-800-482-7171  
(TOLL FREE) for the location of underground utilities.

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

REVISIONS: 10/17/24 REUSED PER CITY ENGINEER.

CLIENT: MLE DYON CODO  
CODO HOMES, LLC  
880 BURNHAM DRIVE  
TROY, MI 48068  
(248) 434-7816

JOB NO: 19-055  
DATE: 10/8/24  
DRAWN BY: N.P.R.

SEAL: STATE OF MICHIGAN  
NATHAN PAUL ROBINSON  
Licenses No. 6201047469  
REGISTERED PROFESSIONAL ENGINEER

**HORIZON ENGINEERING LLC**  
CIVIL ENGINEERING, SITE PLANNING & LAND DEVELOPMENT CONSULTING  
P.O. Box 182158, Shelby Township, Michigan 48318  
Phone 586-653-8097

PROJECT: Part of Lot 23 "Troyhurst"  
VACANT, LESDALE STREET  
PARCEL 20-03-152-027  
PART OF THE NW 1/4 OF SECTION 3, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PLANNING: **PLOT PLAN**



SHEET: 1 OF 1  
MUNICIPAL REVIEW NUMBERS:

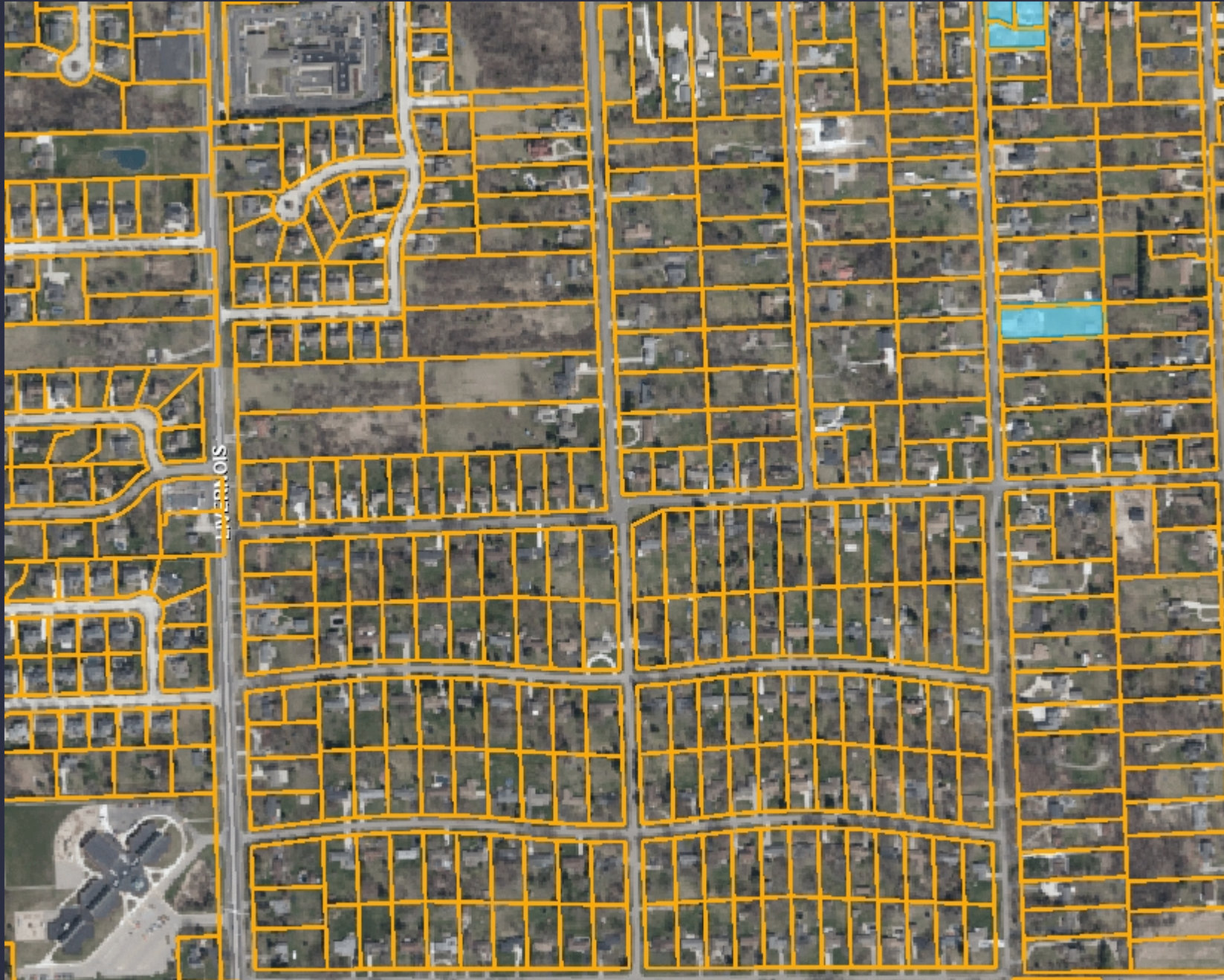




# GIS Online

### Legend:

-  Tax Parcel
-  Sidewalk Waiver



Notes:  
50 Lesdale

Map Scale: 1=673  
Created: February 6, 2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.









City of Troy  
Mr. Kurt Bovensiep  
Public Works Director  
4693 Rochester Road  
Troy, MI 48098



Mr. Bovensiep,

I am/we are the owner(s) of the property at 886 TROMBLEY

Lot number 33

Subdivision Name \_\_\_\_\_

Sidewell Number \_\_\_\_\_

PARCEL ID : 20-22-401-102

I/we would like to request a sidewalk variance for the following reasons:

ON THE STREET IT IS NO SIDEWALK.  
AND I AM APPLYING FOR SIDEWALK WAIVER.

See attached plan/sketch.

I/We can be contacted at 586-6049715  
Phone Number

flibert@icloud.com  
Email Address

FLORIAN LIBERT  
Name

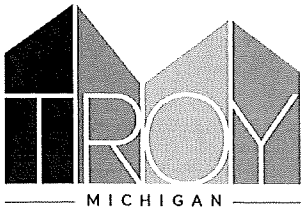
FLIBERT@ICLOUD.COM

886 TROMBLEY  
Address

TROY MI, 48083  
City, State, Zip

Florian Libert  
Signature







DEPARTMENT OF PUBLIC WORKS  
4693 Rochester Road  
Troy, MI 48085  
troymi.gov

December 9, 2024

TO: The City of Troy Traffic Committee

FROM: Kurt Bovensiepe, Public Works Director   
Mike Verstraete, Streets and Drains Operations Manager 

SUBJECT: Request for Waiver of Sidewalk Requirement  
Sidwell 88-20-22-401-102

Per the attached waiver form, Homeowner Florian Libert requested a waiver for the sidewalk at 886 Trombley Sidwell 88-20-22-401-102. Acreage parcel, part of Supervisor Plat NO. 6 Subdivision.

Chapter 34 City of Troy Sidewalks and Driveway Approaches Ordinance # 34-07 requires all owners of lots and premises abutting dedicated streets open to the public shall be required to construct sidewalks and driveway approaches at the time of construction of any new buildings or structures, or additions to buildings or structures, or at the time a nonconforming use changes to a permitted use in the Zoning District. No occupancy permit shall be issued until such time as the owners of said property have complied with the requirements of this provision provided only that the Director of Building and Zoning may extend the time for completion of the required sidewalks and driveway approaches in accordance with established procedure.

City of Troy Sidewalks and Driveway Approaches Ordinance # 34.07.01 also requires that a sidewalk be installed in conjunction with the development of a parcel due to a recent lot split, combination of parcels, or a re-platting.

Please be advised that there is currently no sidewalk to the East or West of 886 Trombley or across the street.

Due to the lack of sidewalks on the surrounding parcels and the open drainage ditches of the area, we recommend that the sidewalk not be installed at 886 Trombley, as per ordinance #34.07. If the sidewalk requirements were to be waived, we recommend the approval be subject to the submission of a cash deposit for future construction to assure consent and participation in any future sidewalk installation.

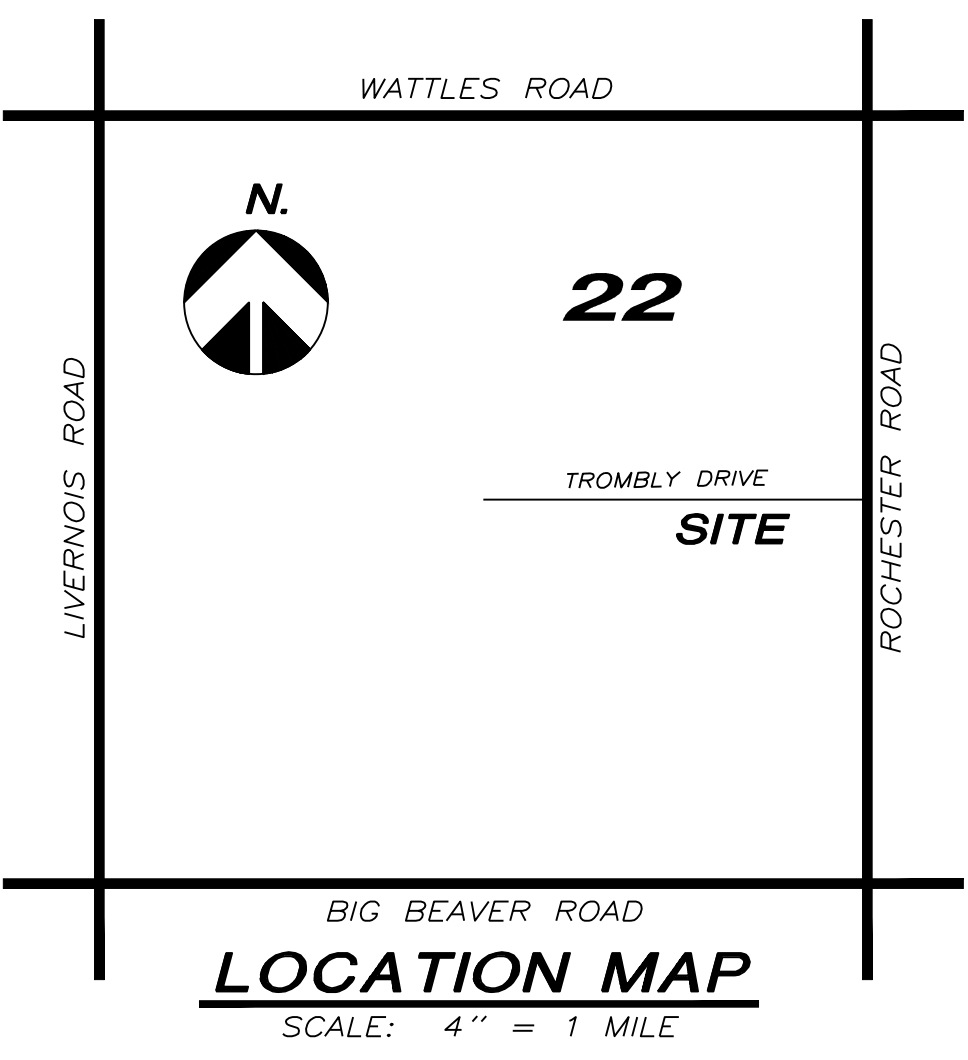
**PLOT PLAN**  
PART OF LOT 33  
SUPERVISOR'S PLAT No. 6  
PART OF THE S.E. 1/4 SECTION 22  
T.2N., R.11E., CITY OF TROY  
OAKLAND COUNTY, MICHIGAN

DATE: 11-27-23  
JOB NO.: 231009-10967  
DATE: 11-27-23  
SCALE: 1"=20'  
DRAWN BY: CV  
CHECKED BY: CV  
SHEET 1 OF 1  
FID. BK.

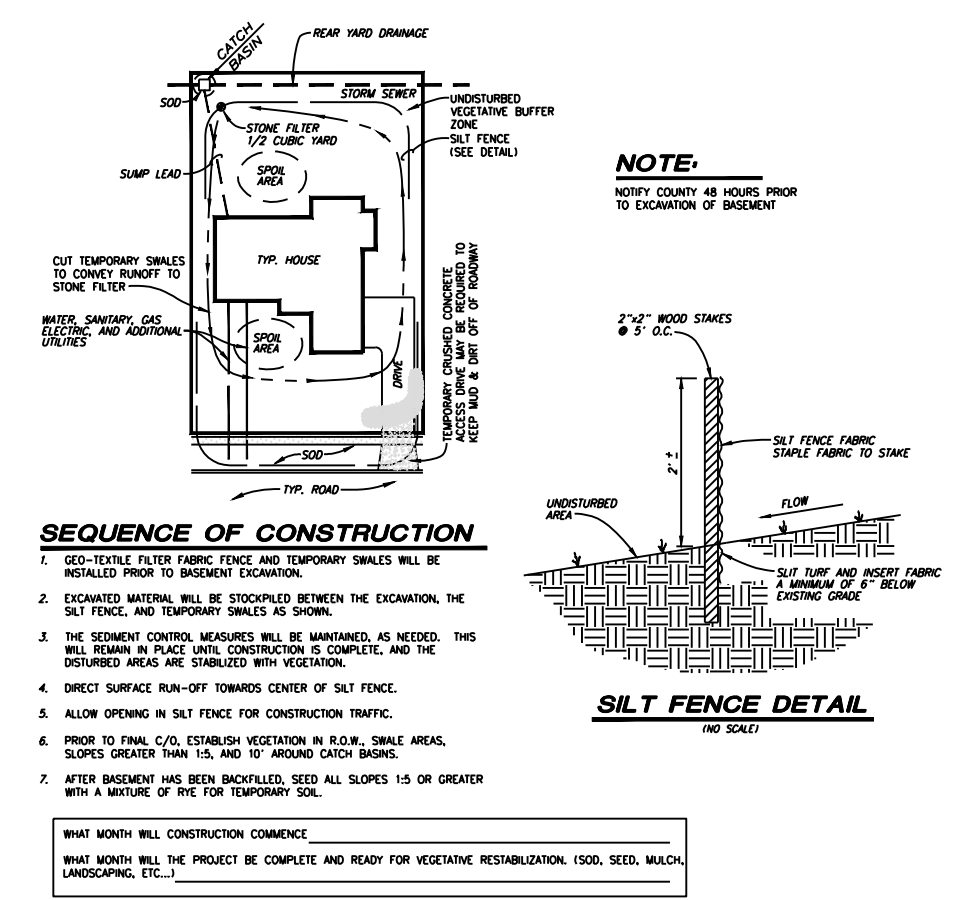
**FLORIAN LIBERT**  
2094 OAK CREST ROAD  
STERLING HEIGHTS, MI 48310  
586-604-9715



PHONE: 586-731-8030  
**URBAN LAND CONSULTANTS**  
PLANNERS LAND SURVEYORS  
8800 23 MILE ROAD  
SHELBY TWP., MI 48316-4516



**NORTH**  
  
**SCALE: 1"=20'**  
**BENCHMARK**  
1. CUT NAIL IN W. FACE U-POLE  
ON E. PROPERTY LINE  
ELEVATION=666.05  
DATUM=NAVD88  
**PARCEL ID**  
20-22-401-102  
**ZONED: R-1E**



**SOIL EROSION DETAILS**  
(NO SCALE)  
**NOTE:**  
REFER TO CITY OF TROY  
STANDARD SOIL EROSION DETAILS  
FOR APPLICABLE PROCEDURES  
**NOTE:**  
THE CONTRACTOR IS REQUIRED TO  
INSPECT THE EROSION MEASURES ON  
A WEEKLY BASIS AND AFTER EVERY  
RAINSTORM

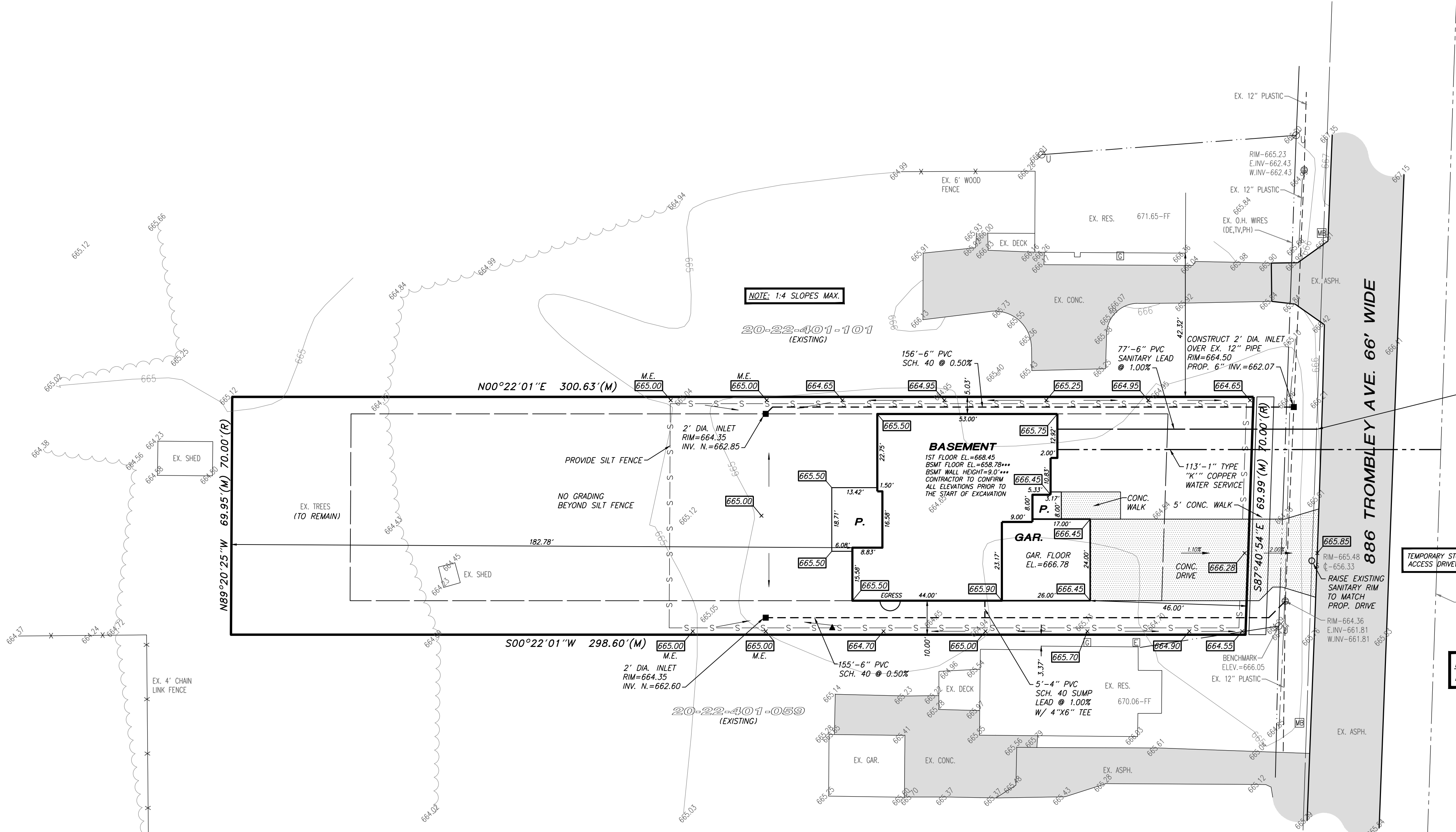
**PROPERTY DESCRIPTION**  
The east 70 feet of Lot 33, "Supervisor's Plat No. 6", of part of the South 1/2 of the North 1/2 & of the North 1/2 of the Southeast 1/4 of Section 22, T.2N., R.11E., Troy Township (Now City of Troy), Oakland County, Michigan according to the plat as recorded in Liber 45 of plots on Page 23 of the Oakland County Records.

**LEGEND**

	EXISTING CONTOURS
	EXISTING GRADE
	AS-BUILT GRADE
	PROPOSED GRADE
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED SILT FENCE

**TOPOGRAPHY LEGEND**

	WATER MAIN
	STORM SEWER
	SANITARY SEWER
	EASEMENT
	EX. U.G. ELEC.
	EX. U.G. WIRES
	EX. U.G. TELE.
	EX. U.G. GAS
	ROUND CATCH BASIN
	SQUARE CATCH BASIN
	UTILITY MANHOLE
	STORM MANHOLE
	END OF PIPE
	SANITARY MANHOLE
	CLEAN-OUT
	MANHOLE
	HYDRANT
	GATE VALVE WELL
	WATER VALVE
	WATER BOX
	VALVE
	LIGHT POLE
	AIR CONDITIONER
	MAIL BOX
	FENCE POST
	DOWN SPOUT
	SOLE BORING
	ELEC. TRANS. PAD
	UTILITY POLE
	GUY ANCHOR
	SIGN POST
	SPRINKLER HEAD
	GAS METER
	TELEPHONE RISER
	ELECTRICAL RISER
	CABLE TV RISER
	FINISHED FLOOR
	GARAGE FLOOR
	BASEMENT FLOOR
	CONC. CONCRETE
	SET. MAG. MAIL
	SET IRON BAR
	FOUND IRON BAR
	FOUND. C. MONUMENT



**NOTE:** VERIFY EXACT LOCATION & DEPTH OF SAN. SEWER PRIOR TO START OF WORK

**NOTE:** NEW C.B. CONSTRUCTION & CONNECTIONS REQUIRES A RIGHT OF WAY PERMIT FROM THE ENGINEERING DEPARTMENT.

**NOTE:** OWNER TO APPLY FOR SIDEWALK WAIVER

**MINIMUM SETBACKS**  
HOUSE IS LOCATED AT MINIMUM SETBACKS. URBAN LAND CONSULTANTS HIGHLY RECOMMENDS 0.50' BUFFER AT ALL SETBACKS.  
URBAN LAND CONSULTANTS RECOMMENDS ALL FOUNDATIONS PROPOSED WITHOUT SETBACK BUFFER TO HAVE FOUNDATION WALLS FINISHED TO THE FOOTING.

**\*APPROVED\***  
AS NOTED:  
CITY OF TROY LAND SURVEYOR  
DATE: 01/16/2024

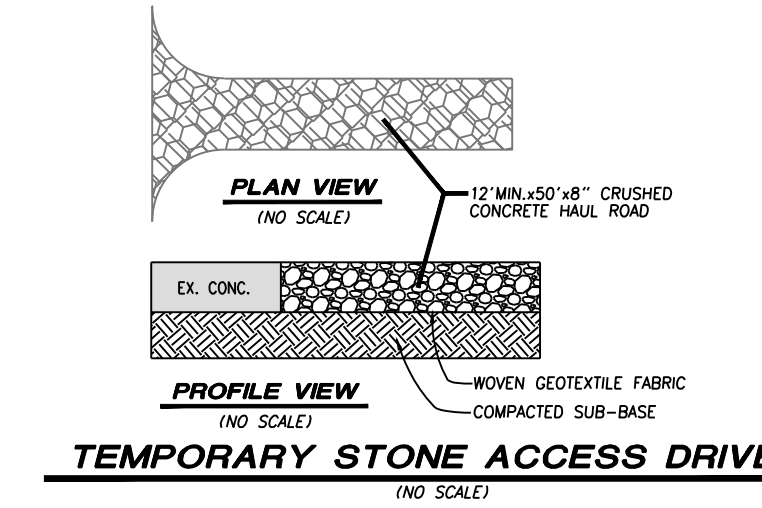
**GRADING NOTE**  
1.) ALL PROPOSED GRADING SHALL BE CONTAINED WITHIN THE PROPERTY LINES OF THIS LOT, AND SHALL NOT ENCRoACH UPON ANY ADJACENT PROPERTIES.  
2.) SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED AROUND THE ENTIRE PERIMETER OF SOIL DISRUPTION PER THE COUNTY  
**NOTE:** SIDEYARD DRAINAGE SHALL NOT DRAIN ONTO ADJACENT LOT(S). (TYPICAL)

**ATTENTION BUILDERS/CONTRACTORS**  
1. THIS DRAWING IS NOT INTENDED TO REPRESENT A BOUNDARY OR LOT SURVEY, AND SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES OR LOCATE IMPROVEMENTS.  
2. U.L.C. ASSUMES NO RESPONSIBILITY FOR THE GIVEN BUILDING DIMENSIONS. DIMENSIONS MUST BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.  
3. THIS PLAN SHALL NOT BE USED TO SET FOUNDATIONS. ARCHITECTURAL PLANS MUST BE USED FOR CONSTRUCTION OF FOUNDATION.  
4. UPON ACCEPTANCE AND SUBMITAL OF THIS PLAN FOR PERMITS, THE OWNER/BUILDER ACKNOWLEDGES HE HAS REVIEWED THE PLAN, AND THAT IT MEETS THE ESTABLISHED REQUIREMENTS.  
5. APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL CODES AND ORDINANCES THAT SHALL APPLY.

6. SETBACKS SHOWN ON THIS DRAWING HAVE BEEN OBTAINED FROM THE MUNICIPALITY. ANY DEED OR SPECIAL RESTRICTIONS - (i.e. SUBDIVISION RESTRICTIONS, HOUSE SIZE, BUILDING LOCATION, etc.) MUST BE SUPPLIED TO U.L.C. IN WRITING WHEN PLOT PLAN IS ORDERED. U.L.C. WILL NOT BE RESPONSIBLE FOR INTERPRETING SUBDIVISION RESTRICTIONS.  
7. U.L.C. RECOMMENDS A .50' EXTRA ALLOWANCE TO ALL MINIMUM SETBACKS, WHERE THE OWNER / BUILDER DOES NOT FOLLOW THIS RECOMMENDATION, THE OWNER / BUILDER AGREES TO HOLD U.L.C. HARMLESS FOR STRUCTURE ENCROACHMENT (S) INTO THE MINIMUM SETBACK.  
8. UTILITY LEAD LOCATIONS AS SHOWN ARE APPROXIMATE. AS-BUILT LOCATIONS MUST BE OBTAINED FROM THE LOCAL MUNICIPALITY.

**NOTE:**  
\*\*\*CONTRACTOR TO CONFIRM BASEMENT WALL HEIGHT, FIRST FLOOR ELEVATION AND BASEMENT FLOOR ELEVATION PRIOR TO THE START OF CONSTRUCTION!!!

**URBAN LAND CONSULTANTS WILL SET HIGH GRADE/BRICKLEDGE CONTRACTOR TO USE GRADE SET ON SITE.**



**3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG**  
1-800-482-7171  
(TOLL FREE) for the location of underground utilities

**CAUTION**  
CONTRACTOR TO VERIFY GROUND WATER PRIOR TO CONSTRUCTION.  
U.L.C. RECOMMENDS SOIL ANALYSIS TO BE PERFORMED BY A PROFESSIONAL.  
CONTRACTOR TO MONITOR EXCAVATION FOR SOIL/GROUND WATER CONDITIONS.



**Contractor Note:**  
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

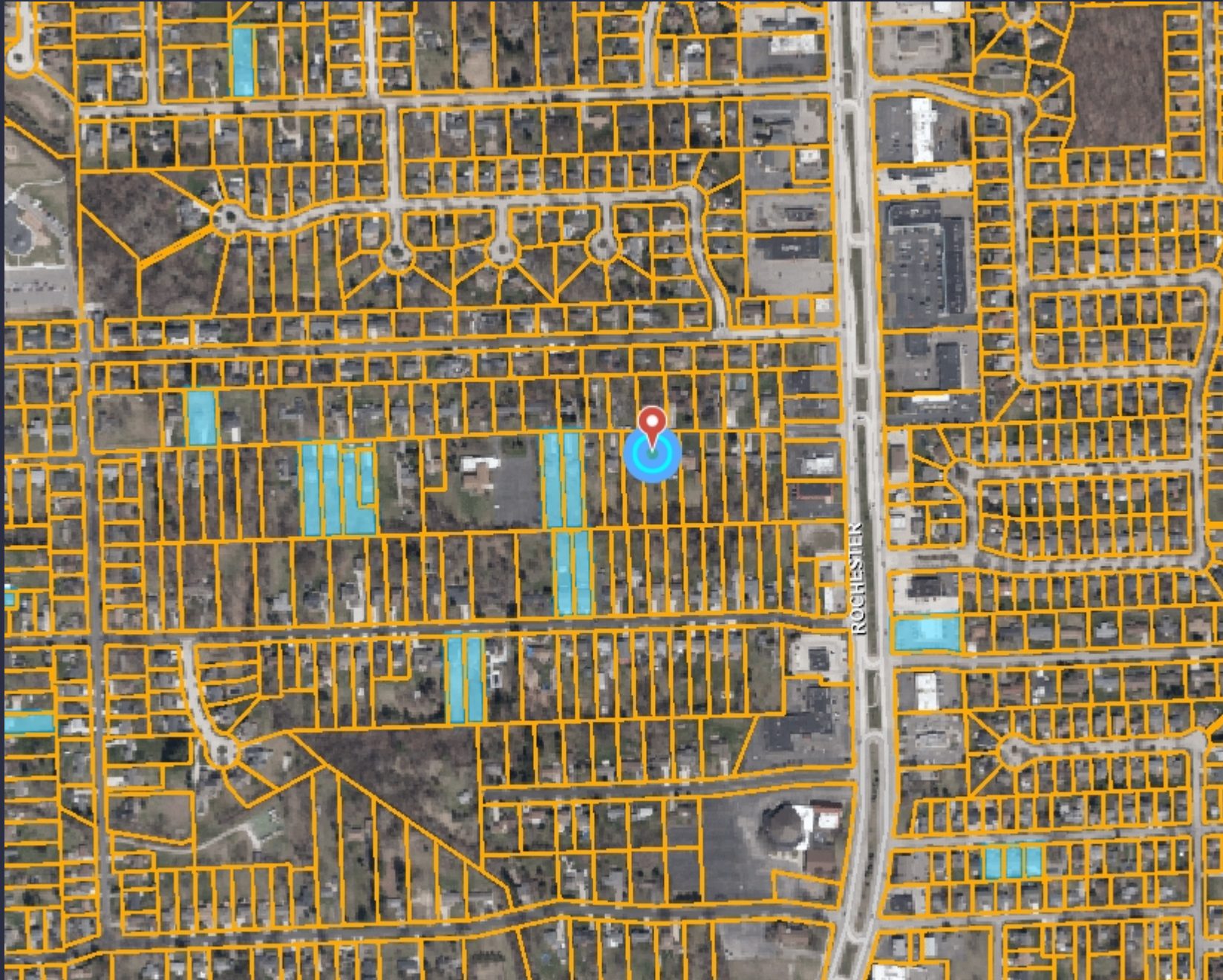




# GIS Online

### Legend:

-  Tax Parcel
-  Sidewalk Waiver



### Notes:

886 Trombley

Map Scale: 1=673

Created: February 6, 2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.









500 West Big Beaver  
Troy, MI 48084  
troymi.gov

## **TRAFFIC COMMITTEE REPORT**

February 6, 2025

TO: Traffic Committee

FROM: G. Scott Finlay, Deputy City Engineer/ Traffic Engineer

SUBJECT: Request for DO NOT BLOCK INTERSECTION Sign  
Wattles Road at Gatwick Drive

### **Background:**

John Stankrauff, on behalf of the residents of Edenderry Subdivisions, requests a “DO NOT BLOCK INTERSECTION” sign at Gatwick Drive and Wattles Road.

During peak traffic hours, eastbound traffic backs up on Wattles Road at Rochester Road through the Gatwick Drive intersection, making ingress/egress from Gatwick difficult. There is an existing traffic signal at Wattles and Rochester Road, and during peak hours, traffic may back up to and beyond Gatwick Drive, making turns difficult.

The Michigan Manual of Uniform Traffic Control Devices (MMUTCD) contains no warrants for using DO NOT BLOCK INTERSECTION signs and markings. Their use is considered a “may” condition, though you should not mark the pavement without a sign. A sign is required, and pavement markings are optional.

The Troy Police Department was consulted regarding this request and confirmed that this is a valid concern. They would not object to posting a DO NOT BLOCK INTERSECTION sign at this location. However, they caution that during peak hours, officers are busy with higher-priority calls and that enforcement would be difficult. They also caution that the sign and pavement marking can give drivers a false sense of security entering and exiting Gatwick.