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**PLANNING COMMISSION
MEETING AGENDA
REGULAR MEETING**

Marianna Perakis, Chair, Lakshmi Malalahalli, Vice Chair
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,
Dave Lambert and John J. Tagle

March 11, 2025

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – February 25, 2025
4. PUBLIC COMMENT – For Items Not on the Agenda

PRELIMINARY SITE PLAN REVIEW

5. PRELIMINARY SITE PLAN REVIEW (SP JPLN2025-0004) – Proposed Zenith Retail and Multifamily Apartments, Northwest corner of Wattles and Dequindre (PIN 88-20-13-478-024 & 88-20-13-478-025), Section 13, Currently Zoned NN (Neighborhood Node “E”) District

OTHER ITEMS

6. PUBLIC COMMENT – For Items on the Agenda
7. PLANNING COMMISSION COMMENT
8. ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:02 p.m. on February 25, 2025, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure for tonight’s meeting.

1. ROLL CALL

Present:

- Carlton M. Faison
- Tyler Fox
- Michael W. Hutson
- Tom Krent
- David Lambert
- Lakshmi Malalahalli
- Marianna Perakis
- John J. Tagle

Absent:

- Toby Buechner

Also Present:

- Ben Carlisle, Carlisle Wortman & Associates
- R. Brent Savidant, Community Development Director
- Julie Quinlan Dufrane, Assistant City Attorney
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2025-02-013

Moved by: Faison

Support by: Fox

RESOLVED, To approve the agenda as prepared.

Yes: All present (8)

Absent: Buechner

MOTION CARRIED

3. APPROVAL OF MINUTES – February 11, 2025

Resolution # PC-2025-02-014

Moved by: Lambert

Support by: Faison

RESOLVED, To approve the minutes of February 11, 2025 Regular meeting as submitted.

Yes: Faison, Hutson, Krent, Lambert, Malalahalli, Perakis, Tagle
 Abstain: Fox
 Absent: Buechner

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

SPECIAL USE APPROVAL

5. PUBLIC HEARING – SPECIAL USE APPLICATION (SU JPLN2024-0031) – Proposed Barbat Troy Vehicle Fueling/Multi Use Station, Southeast corner of Crooks Road and South Boulevard (1981 South Boulevard, PIN 88-20-04-100-059), Section 4, Currently Zoned NN (Neighborhood Node “U”) District

Mr. Carlisle reviewed the Special Use and Preliminary Site Plan application for the Barbat Troy Vehicle Fueling/Multi Use Station. He asked the Planning Commission members to keep in mind the vision of the Master Plan for the Neighborhood Node “U” zoning district in its consideration of the application.

Mr. Carlisle asked the Planning Commission to consider the applicant’s request for relief of the required setback along Crooks Road to accommodate the outdoor patio, a parking deviation from the required number of parking spaces, and an exception for decorative light fixtures. He addressed the south (facing Crooks Road) and north (facing South Boulevard) elevations and asked the applicant to consider flipping the elevations so the more engaging façade faces South Boulevard, or to make both facades the same. Mr. Carlisle asked the applicant to provide more details on the buildout of the restaurant and the projected timeline.

Mr. Carlisle asked the Planning Commission in its deliberation to consider compliance with Section 5.06 (Neighborhood Nodes Districts), Section 9.02.D (Special Use Standards), Section 8.06 (Site Plan Review Design Standards) and Section 6.28 (Vehicular Fueling/Multi Use Stations) of the Zoning Ordinance.

Mr. Carlisle said any approval of the application should be subject to the conditions as cited in his report dated February 13, 2025.

Mr. Savidant acknowledged the Planning Department received a signed petition and two emails after the agenda packet was distributed, copies of which were provided to the members prior to the beginning of the meeting. Mr. Savidant announced the emails were from Fabrice Smieliauskas and Farid and Karima Jindo.

Present were Eric Williams of Stonefield Engineering, Project Architect John Abro, and Duane and Scott Barbat of the Barbat Organization.

Mr. Williams clarified there are four (4) EV charging stations proposed on site. He addressed the request for an increased front setback along Crooks Road. Mr. Williams articulated how the application meets the Special Use Standards. He said the development would generate passerby traffic resulting in an insignificant impact.

Mr. Abro addressed the setback along Crooks Road, orientation of the patio, canopy details, and the north and south elevations. He said they would enhance the north elevation in a similar fashion to the south elevation.

Duane Barbat shared a brief history of their company. He said they would gladly incorporate a Troy gateway sign. Mr. Barbat addressed the latest trend for a state-of-the-art fueling station, convenience store and restaurant. He indicated the existing vacant building could potentially be repurposed by an auto parts supplier should this application not get approval.

Scott Barbat addressed operations of the fueling center and restaurant. He said the restaurant would be constructed and opened at the same time as the fueling center. Mr. Barbat shared their affiliation with the *Shell* brand and *Saroki's Pizza* restaurant.

Some comments during discussion related to the following:

- Calculation of parking spaces overall, as relates to EV charging stations, restaurant, fueling and convenience store.
- Gateway signage.
- Number of EV charging stations; underground conduits for future EV stations.
- Gateway signage.
- Traffic volume and potential impact.
- Timeline of restaurant opening.
- Impact on existing service stations in area.
- Screening between the patio and Crooks Road.
- Improvements to enhance the corner entrance; masonry wall, landscaping.
- *Shell* brand color scheme.
- Enhancement of South Boulevard and Crooks Road elevations.
- Hours of operation.
 - Fueling center/convenience store (applicant prefers 24/7).
 - Restaurant 10 a.m. to 10 or 11 p.m.
- Delivery trucks; days/times, turning radiuses.
- Adjacent retail center; visibility, site access, parking.

Mr. Fox expressed his opposition to autocentric uses at the gateway to the City.

PUBLIC HEARING OPENED

- Melinda Pace, 1977 W. South Boulevard (adjacent retail center, Billy Sims BBQ); expressed concern with the visibility of the retail center, parking overflow.
- Farid (Jay) Jindo, 5772 Springbrook; expressed concern with impact on neighboring businesses, traffic and potential sale of property to different user.
- Marcia Bossenberger, 369 Ottawa; said there is no need for another gas station, questioned building not being re-purposed, likes concept and design.
- Eric Rabin, 801-803 W. Big Beaver; addressed challenges of demolishing existing vacant buildings and bringing in future development.
- Jiovani Odeesh, 3814 Rhoten, Sterling Heights (family owns service station at 3980 Crooks Road); said there is no need for another fueling station, likes concept and design.
- Stephen Sadlier, 300 Scone; said there is no need for another fueling station, expressed concern with selling alcohol, effect on neighboring businesses, said location would be an asset for EV owners.
- Arson Koka, 3765 Jennings; expressed support, welcomes an addition of a valued business in the City.
- Edmond Marena, 1969 W. South Boulevard (adjacent retail business owner); expressed concern with visibility of retail center, shared access and overflow parking.
- Anersi Koka, 3765 Jennings; expressed support, likes design, safe area and EV charging stations.
- Kelly (no last name), 1804 Eldridge; expressed support, feels business would attract the younger generation, familiar with Barbat developments.
- Albana Koka, 3765 Jennings; expressed support, likes concept and design.

PUBLIC HEARING CLOSED**Resolution # PC-2025-02-015**

Moved by: Krent

Support by: Lambert

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Barbat Troy Vehicle Fueling/Multi Use Station, Southeast corner of Crooks Road and South Boulevard (1981 South Boulevard), Section 4, Currently Zoned NN (Neighborhood Node) District, be **postponed**, so that the developer can review and revise their plan from the feedback received from the Planning Commission, and those items are:

1. Address gateway signage that applicant agrees to incorporate in the development.
2. Indicate the turning radiuses for various delivery trucks on the site.
3. Provide a good illustration of the finished gas pump canopy.
4. Provide revised elevations for the north (South Boulevard) and west (Crooks Road) frontages.
5. Provide some type of screening between Crooks Road and the dining patio that would be aesthetically pleasing.
6. Show the locations of the future EV charging stations.

7. Provide specifications of the EV charging stations; output levels, amperage.
8. Provide details on the decorative light fixtures.
9. Ensure canopy materials match the design of the main building.
10. Acknowledge the fueling center and restaurant will be constructed and opened at the same time.

Discussion on the motion on the floor.

There was discussion on:

- Potential reuse of the existing building.
- Gateway signage; seek direction from administration on uniformity of signage.
- Clarification on Section 9.03 Special Use Standards; impact on overall environment.
- Renderings to show perspective of different elements of development from street view.

Vote on the motion on the floor.

Yes: Faison, Fox, Krent, Lambert, Malalahalli, Perakis, Tagle
 No: Hutson
 Absent: Buechner

MOTION CARRIED

Chair Perakis called for a recess at 9:17 p.m. The meeting was reconvened at 9:24 p.m.

CONDITIONAL REZONING

6. PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (JPCR2025-001) – Proposed Village of Hastings, East side of Livernois, North of Square Lake, PIN 88-20-03-301-088, -023, -024, -025 and 88-20-03-351-004, Section 3, Presently Zoned NN (Neighborhood Node “Q”) and R-1B (One Family Residential) Zoning Districts

Mr. Carlisle reviewed the Conditional Rezoning application for the Village of Hastings. He referenced the applicant’s previously approved development of 14 residential units on the southern end of the parcels and a previously Planned Unit Development (PUD) application that the City Council denied. Mr. Carlisle said the applicant is voluntarily offering eight conditions with approval of the application, as cited in the Planning Consultant report dated February 17, 2025.

Mr. Carlisle addressed the number of proposed units, the one ranch-style home abutting Livernois that must comply with the required RT zoning setback and the City standard that requires a bypass lane on the west side of Livernois (a County road) within the right of way. Mr. Carlisle said the application is missing some elevations, colored renderings, a three dimensional (3D) model of the plan and a photometric plan.

Mr. Carlisle asked the Planning Commission in its deliberation to consider compliance with the Master Plan, the Conditional Rezoning Standards (Section 16.04.C.3) and Site Plan Review Design Standards (Section 8.06).

Mr. Carlisle said any approval of the application should be subject to the three conditions as cited in his report dated February 17, 2025.

Ms. Dufrane said the applicant's submission of a Conditional Rezoning application is a more appropriate avenue to develop the properties than the previously submitted PUD application.

City Traffic Consultant Stephen Dearing of OHM Advisors addressed the design consideration of either a bypass lane or a center left turn lane on Livernois under the jurisdiction of the RCOC (Road Commission of Oakland County).

Mr. Savidant said the City engineering standards would be considered at the time of the Final Site Plan approval process. He said the traffic design consideration by RCOC is not within the Planning Commission purview.

Gary Abitheira addressed the reduction of units, mix of housing styles, preservation of the existing homes, trash removal, photometric plan, open space, price point of homes and turnarounds for emergency vehicles and delivery trucks. He distributed to the Board members pictures of the elevations that were missing from the agenda packet. Mr. Abitheira said he does not own the two properties to the east of the application under consideration this evening.

Some comments during discussion related to the following:

- EVA (emergency vehicle access) located off Square Lake.
- Email received by the Planning Department with concerns the applicant will extend development to the east.
- Consideration by the applicant to soften the starkness, massiveness of the duplex facades.

PUBLIC HEARING OPENED

- Jeff Williams, 159 Telford; spoke of the Telford HOA concerns the applicant will extend development to the east.
- Ann Coleman 6091 Livernois; expressed concerns with traffic impact on Livernois and proposed bypass lane.
- Nanette Gearhart, 6197 Livernois; expressed concerns with traffic impact on Livernois and proposed bypass lane, encouraged access off Square Lake, preservation of existing homes.
- Leasa William, 159 Telford; addressed landscape screening, elevations, architectural features of existing homes, aesthetics of duplex buildings.
- John Malott, 72 Telford; thanked applicant for the recent improvements, addressed housing mix, landscape screening, preservation of existing homes, encouraged access off Square Lake.

- Mary Rettig, 6860 Westaway; addressed duplex building aesthetics, encouraged access off Square Lake.
- Marcia Bossenberger, 369 Ottawa; addressed architectural features of housing, lighting at entrance, safety of school children.
- Deborah Louzecky, 6327 Donaldson; addressed proposed bypass lane, Livernois right of way, encouraged access off Square Lake, thanked applicant for reducing density and offering more ranch style homes.

PUBLIC HEARING CLOSED

Ms. Dufrane asked the applicant to flush out what is meant by the preservation of the existing homes and include those particulars in the Conditional Rezoning Agreement.

Ms. Dufrane stated the Planning Commission is only to consider in its deliberation the properties within the application.

Mr. Savidant said the proposed access off Livernois meets City standards and a traffic study reveals no significant traffic impact. He noted the 30 foot access off Square Lake does not meet City standards.

Resolution # PC-2025-02- (no support)

Moved by: Fox

Seconded by:

RESOLVED, That the Planning Commission hereby recommends that the NN and R-1B to RT Conditional Rezoning Request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the East side of Livernois and North of Square Lake (PIN 88-20-03-301-088, -023, -024, -025 and 88-20-03-351-004), within Section 3, being approximately 5 acres in size, be **granted**, for the following reasons:

1. The request complies with the Master Plan.
2. The rezoning would permit greater flexibility in use and development of the property.
3. The conditions offered by the applicant reasonably protect the adjacent properties.
4. The rezoning would be compatible with surrounding zoning and land use.
5. The site can be adequately served with municipal water and sewer.

BE IT FURTHER RESOLVED, That the Planning Commission recommends the following site plan design considerations:

1. Provide a photometric plan.

MOTION FAILED

Resolution # PC-2025-02-016

Moved by: Fox
 Seconded by: Krent

RESOLVED, That the Planning Commission hereby recommends that the NN and R-1B to RT Conditional Rezoning Request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the East side of Livernois and North of Square Lake (PIN 88-20-03-301-088, -023, -024, -025 and 88-20-03-351-004), within Section 3, being approximately 5 acres in size, be **postponed**, subject to the following clarifications provided by the applicant:

1. Clarification on voluntary offer to preserve existing three homes; define preservation, provide timeline and perpetuity of preservation.
2. Provide a photometric plan.
3. Resubmit colored renderings.
4. Consideration to provide a Conditional Rezoning Agreement for review by the City Attorney.

Discussion on the motion on the floor.

Discussion related to the preservation of the three existing homes.

Mr. Abitheira was thanked for his consideration in coming back to the Board with a plan that appears to be more satisfactory to the neighboring properties.

Vote on the motion on the floor.

Yes: All present (8)
 Absent: Buechner

MOTION CARRIED

Mr. Abitheira approached the Board to question how the RT zoning district might relate to the preservation of the existing homes. He asked the Board’s consideration to expedite the approval process due to an impending expiration deadline and limited extensions on the townhome project.

Mr. Abitheira asked the record to reflect he would not develop and/or purchase the properties to the east with the understanding that the Telford HOA would support the Conditional Rezoning application when considered by the City Council. He said he would encourage the RCOG to provide a bypass and/or left hand turn lane for this project.

OTHER ITEMS

7. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

There were general comments among the members.

Ms. Dufrane informed the Board of a recent court case.

9. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 10:52 p.m.

Respectfully submitted,

Marianna J. Perakis, Chair

Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2025/2025 02 25 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2025/2025%2002%2025%20Draft.docx)

ITEM #5

DATE: March 5, 2025

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (SP JPLN2025-0004) – Proposed Zenith Retail and Multifamily Apartments, Northwest corner of Wattles and Dequindre (PIN 88-20-13-478-024 & 88-20-13-478-025), Section 13, Currently Zoned NN (Neighborhood Node “E”) District

The petitioner Dream Home Estates submitted the above referenced Preliminary Site Plan application for Zenith Retail and Multifamily Apartments. The project includes a two-story building with six retail units on the first floor and six apartments on the second floor. The Planning Commission is authorized to approve Preliminary Site Plans.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Preliminary Site Plan

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (SP JPLN2025-0004) – Proposed Zenith Retail and Multifamily Apartments, Northwest corner of Wattles and Dequindre (PIN 88-20-13-478-024 & 88-20-13-478-025), Section 13, Currently Zoned NN (Neighborhood Node “E”) District

Resolution # PC-2025-03-

Moved by:

Support by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Zenith Retail and Multifamily Apartments, Northwest corner of Wattles and Dequindre (PIN 88-20-13-478-024 & 88-20-13-478-025), Section 13, approximately 0.7 acres in size, Currently Zoned NN “E”, be (granted, subject to the following conditions):

1. Bring landscape screening along the north property line into compliance.
2. Revise plans to correct discrepancy between Sheets C-1 and LP-1, where bicycle parking and landscaping are shown in the same location. In doing so, ensure that bicycle parking and parking lot landscaping requirements remain fulfilled.
3. Verify the location of mechanical equipment.
4. Clarify whether “wood” will be natural wood or wood composite.
5. Provide transparency calculations that measure transparency between two and eight feet above the first floor elevation.
6. Elevation and floor plan drawings to be sealed by Michigan licensed Architect
7. Provide 3D color renderings showing site context.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

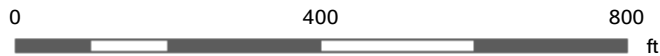
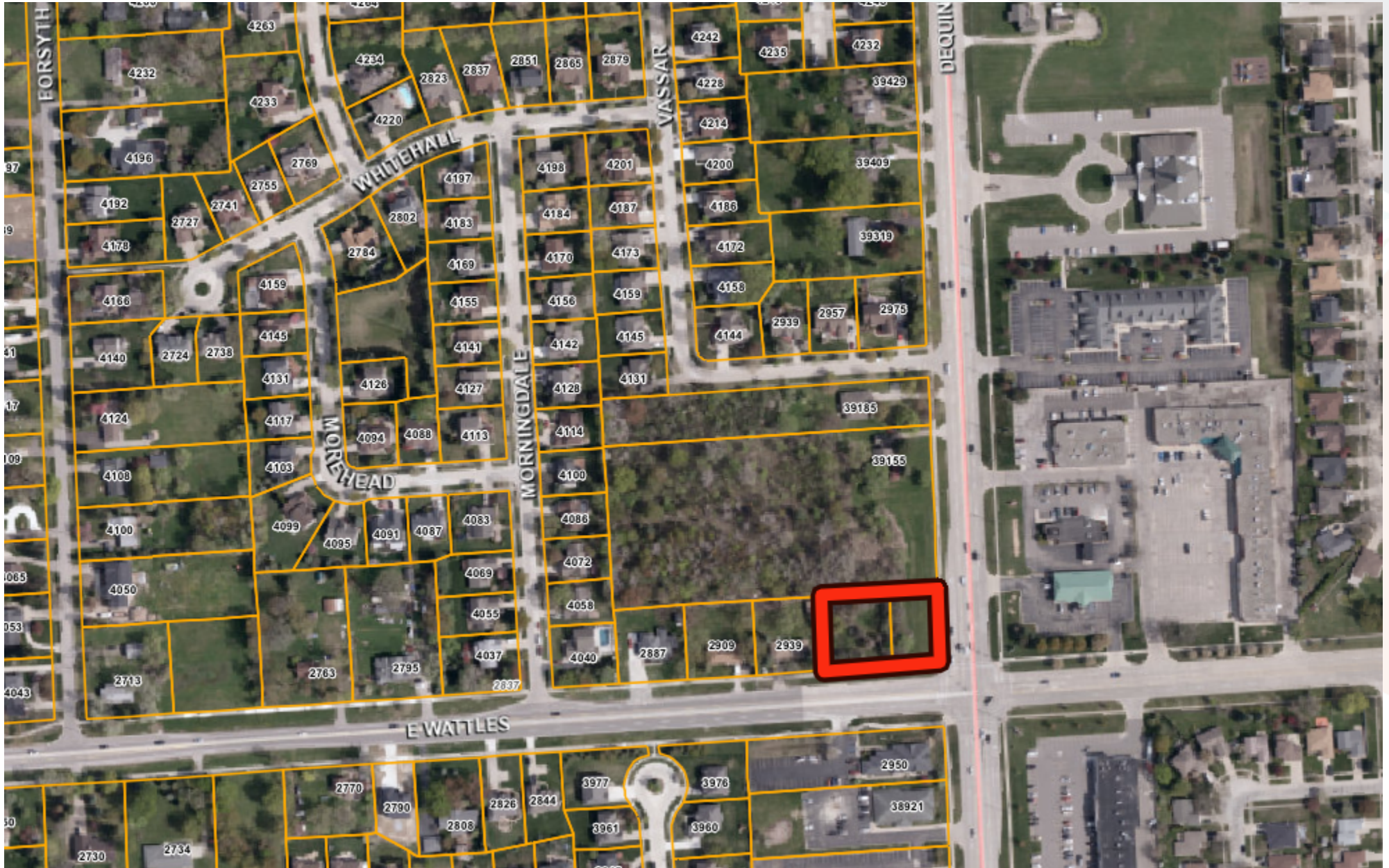
No:

Absent:

MOTION CARRIED



GIS Online



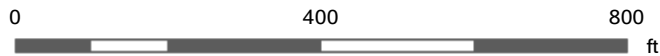
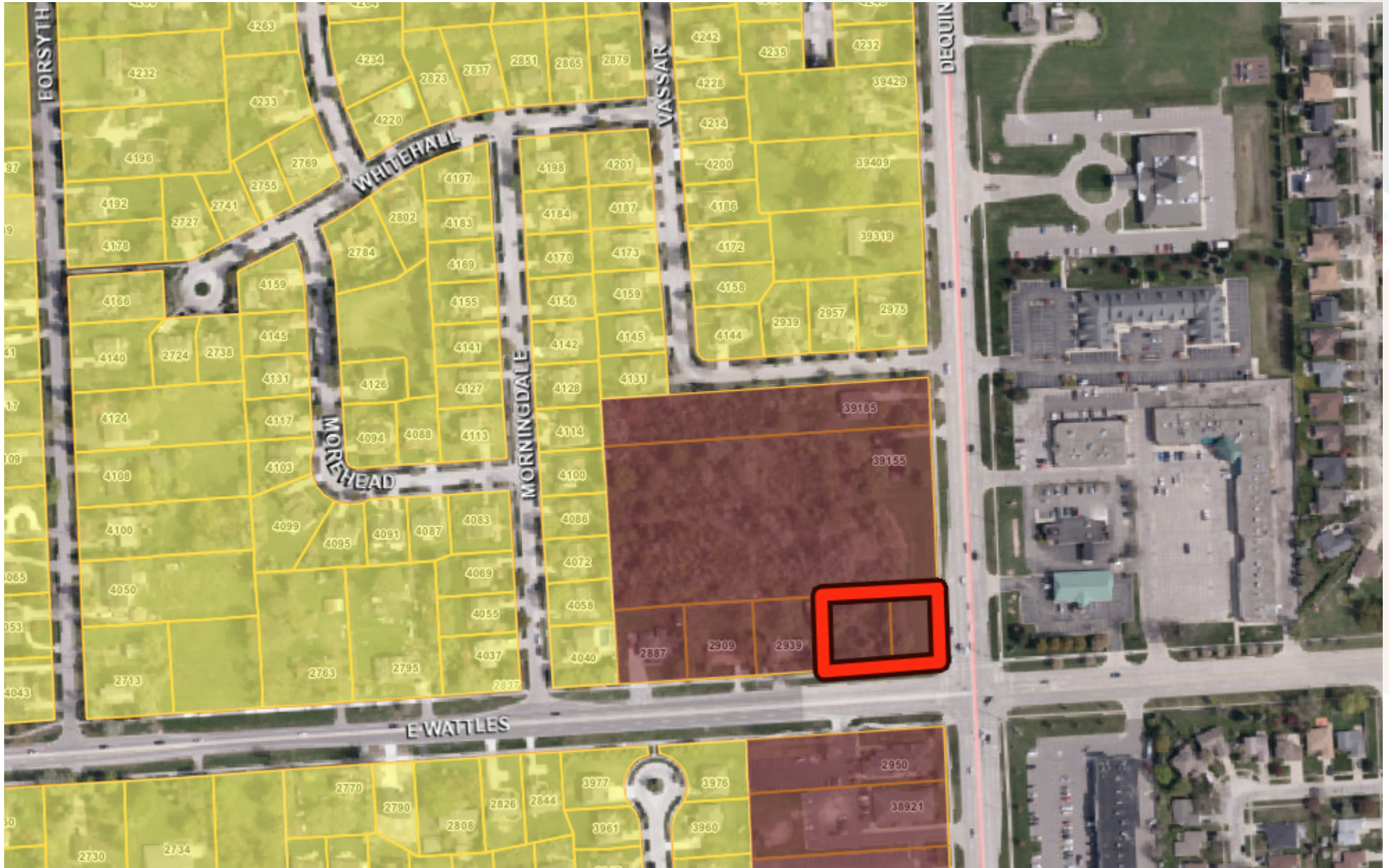
Print Date: 3/5/2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



GIS Online



Print Date: 3/5/2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: January 29, 2025
March 4, 2025

Preliminary Site Plan For City of Troy, Michigan

Applicant: Zack Hanna from Dream Home Estates

Project Name: Zenith Mixed Use

Plan Date: February 24, 2025

Location: NW Corner of Wattles and Dequindre

Zoning: NN, Neighborhood Node "E"

Action Requested: Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

An application has been submitted for a mixed-use development at the NW corner of Wattles and Dequindre Roads. The project includes a two-story development with six (6) retail units on the first floor and six (6) apartment units on the second floor. The site is approximately 0.7 acres and currently undeveloped.

The subject site is zoned NN, Neighborhood Node. Small, multi-tenant mixed use is permitted at this site. While current zoning dedicates this Node as Neighborhood Node "E," the 2040 Master Plan aims to reclassify this Node as Neighborhood Node "D."

Location of Subject Site:



Size of Subject Site:

The subject site is approximately 0.7 acres.

Proposed Use of Subject Site:

Mixed use, including six (6) retail storefronts and six (6) apartment units.

Current Use of Subject Site:

The property is currently undeveloped.

Current Zoning:

NN, Neighborhood Node "E", Site Type B, Street Type A.

Surrounding Property Details:

Direction	Zoning	Use
North	NN, Neighborhood Node	Largely undeveloped with one single-family home
South	NN, Neighborhood Node	Comfort Family Dentistry Pediatric Cardiology Asthma & Allergy Specialists
East	N/A	City of Sterling Heights
West	NN, Neighborhood Node	Single-family home

MASTER PLAN

The existing Neighborhood Node “E” has been renamed to Neighborhood Node “D” in the 2040 Master Plan. The vision for this node is described as follows:

The north side of the node should be removed and reclassified to residential use which may include single-family, cluster, low-scaled multiple family, or assisted living to provide creative housing options in the area. South side should continue to focus on office uses. However, limited commercial and service uses designed to complement the main focus of the area as an office node may also be permissible. (p. 91)

NATURAL RESOURCES

Topography: The site is relatively flat with minor elevation changes.

Wetlands/Floodplain: A wetland delineation report was prepared by StreamsideEco on December 10, 2024. In their report, StreamsideEco identified one (1) wetland in the site’s northwest corner. StreamsideEco expressed their professional opinion that the wetland on site is not regulated by EGLE. The wetland is less than five (5) acres, is not contiguous to an inland lake, pond or stream, and there is no evidence of surface water connection to an inland lake, pond, or stream.

Woodlands: A tree inventory provided on Sheet LP-1 identifies four (4) existing trees on site. All trees are either invasive species or in poor condition. No tree replacement is required.

Items to be Addressed: None.

SITE ARRANGEMENT

The applicant proposes a 2-story mixed-use building, including six (6) retail units on the first floor and six (6) apartment units on the second floor. The building is proposed near the intersection of Wattles and Dequindre (southeast corner of the site), with parking located to the north and west. Curb cuts for vehicular access are proposed on both Wattles and Dequindre. Colored renderings

indicate that the facade designs will be mirrored (north and south; east and west), allowing patrons to access the retail units from the main roads or from the parking area. The second story apartments can be entered from the north and east side of the building.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

The proposed development is regulated by the standards of Building Form B:

	Required/Allowed	Provided	Compliance
Front (south/Wattles)	0 min/60 feet max	10 feet	Complies
Front (east/Dequindre)	0 min/60 feet max	10 feet	Complies
Side (west)	N/A (building may be placed up to the property line, but is not required to be)	Approx. 75 feet	Complies
Rear (north)	30 feet	Approx. 70 feet	Complies
Height	2 stories/24 feet min 6 stories/72 feet max	36 feet 9 inches	Complies
Maximum Lot Area Covered by Buildings (combined lots)	N/A	N/A	Complies

Please note that the site does not abut a one-family residentially zoned parcel, hence the 30-foot maximum height provision as set forth in section 5.06.E.3.c does not apply

Items to be Addressed: None.

SITE ACCESS AND CIRCULATION

Vehicular Access:

There are two (2) vehicular points of access: one (1) off Wattles and one (1) off Dequindre. Two-way traffic is utilized throughout the site. Site access is being reviewed by the City’s Engineering and Fire Departments. Their comments are provided under separate cover.

Pedestrian Circulation:

A 7-foot wide sidewalk wraps around the mixed-use building and connects to the existing sidewalk system along Wattles and Dequindre Roads. Crosswalks and ramps are provided where vehicular access interrupts the sidewalk connection along each road.

Items to be Addressed: None.

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided	Complies
<u>Multiple-family Residential:</u> 1 space per each efficiency unit 2 spaces per each dwelling unit <u>Retail:</u> 1 space per 250 SF of gross floor area	6 units*2 = 12 spaces 7,205 SF/250 = 29 spaces 41 spaces total	44 spaces	Complies
Barrier Free	2 spaces	2 spaces	Complies
Bicycle	2 spaces	Unclear	See Comment Below
Dimensions	19 feet length 9.5 feet width 24 feet aisle width	17 feet length 9.5 feet width 24 feet aisle width	Complies (with overhang)

Bicycle Parking:

Sheet C-1 shows that three (3) bicycle stalls will be provided on a concrete pad near the northwest corner of the building. However, this contradicts information provided on the landscape plan. In the same location, the landscape plan on Sheet LP-1 shows this area covered with grasses, eight (8) shrubs, and two (2) trees.

Items to be Addressed: *Revise plans to correct discrepancy between Sheets C-1 and LP-1, where bicycle parking and landscaping are shown in the same location.*

LANDSCAPING

A landscape plan was provided on Sheet LP-1. Landscaping standards are regulated by Section 13.02:

	Required	Provided	Complies
<p><u>Greenbelt:</u> The greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.</p>	<p>Wattles: 220 LF/30 = 8 trees</p> <p>Dequindre: 140 LF/30 = 5 trees</p>	<p>Wattles: 9 trees</p> <p>Dequindre: 6 trees</p>	Complies
<p><u>Site Landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material. Up to twenty-five percent (25%) of the required landscape area may be brick, stone, pavers, or other public plaza elements, but shall not include any parking area or required sidewalks.</p>	20%	22.9%	Complies
<p><u>Screening Between Uses:</u> Alternative #2: 1 large evergreen tree per 10 lineal feet and/or wall</p> <p>OR</p> <p>Alternative #3: 1 large evergreen tree per 10 lineal feet + 1 narrow evergreen tree per 5 lineal feet and/or wall</p>	<p>North: 219.08/10 = 22 trees</p> <p>West: 140.45 ft/10 = 14 trees</p>	<p>North: 19 trees</p> <p>West: 14 trees</p>	Does Not Comply
<p><u>Parking Lot Trees:</u> 1 tree per 8 spaces.</p>	44 spaces/8 = 6 trees	Unclear	See Comment Below

Screening Between Uses:

The applicant has chosen Alternative #2 for landscape screening along the north and west property lines. However, screening to the north is deficient by three (3) trees. We recommend that compliant landscape screening be a condition of approval.

Parking Lot Trees:

The landscape plan indicates that parking lot landscaping requirements have been met. However, as previously mentioned, there is a discrepancy between the landscape plan and site plan. Where two (2) parking lot trees are proposed on Sheet LP-1, a concrete pad with bicycle parking is shown on Sheet C-1. We ask the applicant to revise plans so that these sheets match and all parking and landscaping requirements are fulfilled.

Stormwater Management:

Underground detention is proposed at the site's southwest corner. We refer to the City Engineer for further review of stormwater management.

Trash Enclosure:

A dumpster is shown at the northwest corner of the site. The trash enclosure will be six (6) feet in height and constructed of "poured concrete brick pattern" with a textured finish.

Mechanical Equipment:

The proposed location of mechanical equipment is unclear. Notes on Sheet LP-1 indicate that mechanical equipment will be located outdoors and properly screened. Yet, no mechanical equipment is shown on the site plan on Sheet C-1. In addition, there is an unnamed sheet that shows mechanical equipment on the roof. We recommend that the applicant verifying the location of all mechanical equipment should be a condition of approval.

Items to be Addressed: 1). Increase landscape screening along the north property line; 2). Revise plans to correct discrepancy between Sheets C-1 and LP-1, where bicycle parking and landscaping are shown in the same location; and 3). Verify the location of mechanical equipment.

LIGHTING

A photometric plan has been provided. The applicant proposes the use of three (3) pole lights and five (5) wall-mounted lights. All lighting levels and fixtures comply with ordinance standards.

Items to be Addressed: None.

FLOOR PLANS AND ELEVATIONS

Elevation and floor plan drawings were not sealed by a Michigan licensed Architect.

Floor Plans:

As mentioned, the applicant proposes a 2-story building with six (6) retail units on the first floor and six (6) apartment units on the second floor.

Retail

The retail units are aligned side by side, with the four (4) units in the center measuring approximately 984 square feet each. The retail units located on either end of the building are slightly larger than the rest, measuring 1,130 and 1,113 square feet, respectively.

Apartments

- Unit #1:
 - Two (2) bedrooms, three (3) restrooms; full kitchen, living and dining areas.
 - Approximately 1,525 square feet.
- Unit #3:
 - Two (2) bedrooms, two (2) restrooms; full kitchen, living and dining areas.
 - Approximately 1,203 square feet.
- Units #2, 4, and 5:
 - Two (2) bedrooms, two (2) restrooms; full kitchen and living areas.
 - Approximately 922 square feet each.
- Unit #6:
 - One (1) bedroom, one (1) restroom; full kitchen and living areas.
 - Approximately 592 square feet.

Access

Staircases are located on either end of the building. Two (2) elevators are shown on the building's west side.

Elevations:

The building features a flat-roof design with an overall height of 36 feet 9 inches. A rendered elevation drawing was provided however 3D color renderings showing site context were not provided.

Building Materials:

Primary building materials include aluminum cladding, wood, and glass. Exterior colors are shown as black, brown, and orange. We ask the applicant to clarify whether the "wood" refers to natural wood or some type of wood composite.

Transparency:

It appears that transparency requirements have been met; however, minor revisions to the calculations are needed. The applicant has used the full area of each façade to measure transparency, but transparency is measured only between two and eight feet above the first floor elevation. We recommend that the applicant providing accurate transparency calculations should be a condition of approval.

Items to be Addressed: 1.) Elevation and floor plan drawings to be sealed by Michigan licensed Architect; 2.) Clarify whether wood will be natural wood or wood composite; and 3.) Provide transparency calculations that measure transparency between two and eight feet above the first floor elevation; 4.) Provide 3D color renderings showing site context.

SITE PLAN REVIEW STANDARDS

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
 - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
 - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
 - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*

2. *Development shall incorporate the recognized best architectural building design practices.*
 - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
 - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
 - c. *Develop buildings with creativity that includes balanced compositions and forms.*
 - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
 - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
 - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*

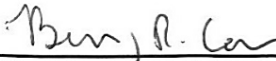
3. *Enhance the character, environment and safety for pedestrians and motorists.*
 - a. *Provide elements that define the street and the pedestrian realm.*
 - b. *Create a connection between the public right of way and ground floor activities.*
 - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
 - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
 - e. *Improve safety for pedestrians through site design measures.*

SUMMARY

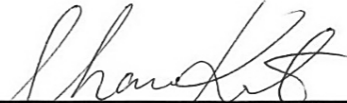
We recommend that the Planning Commission review the project. If the Planning Commission approves the preliminary site plan, we recommend the following conditions of approval:

1. *Bring landscape screening along the north property line into compliance.*
2. *Revise plans to correct discrepancy between Sheets C-1 and LP-1, where bicycle parking and landscaping are shown in the same location. In doing so, ensure that bicycle parking and parking lot landscaping requirements remain fulfilled.*
3. *Verify the location of mechanical equipment.*
4. *Clarify whether "wood" will be natural wood or wood composite.*
5. *Provide transparency calculations that measure transparency between two and eight feet above the first floor elevation.*
6. *Elevation and floor plan drawings to be sealed by Michigan licensed Architect*
7. *Provide 3D color renderings showing site context.*

Sincerely,

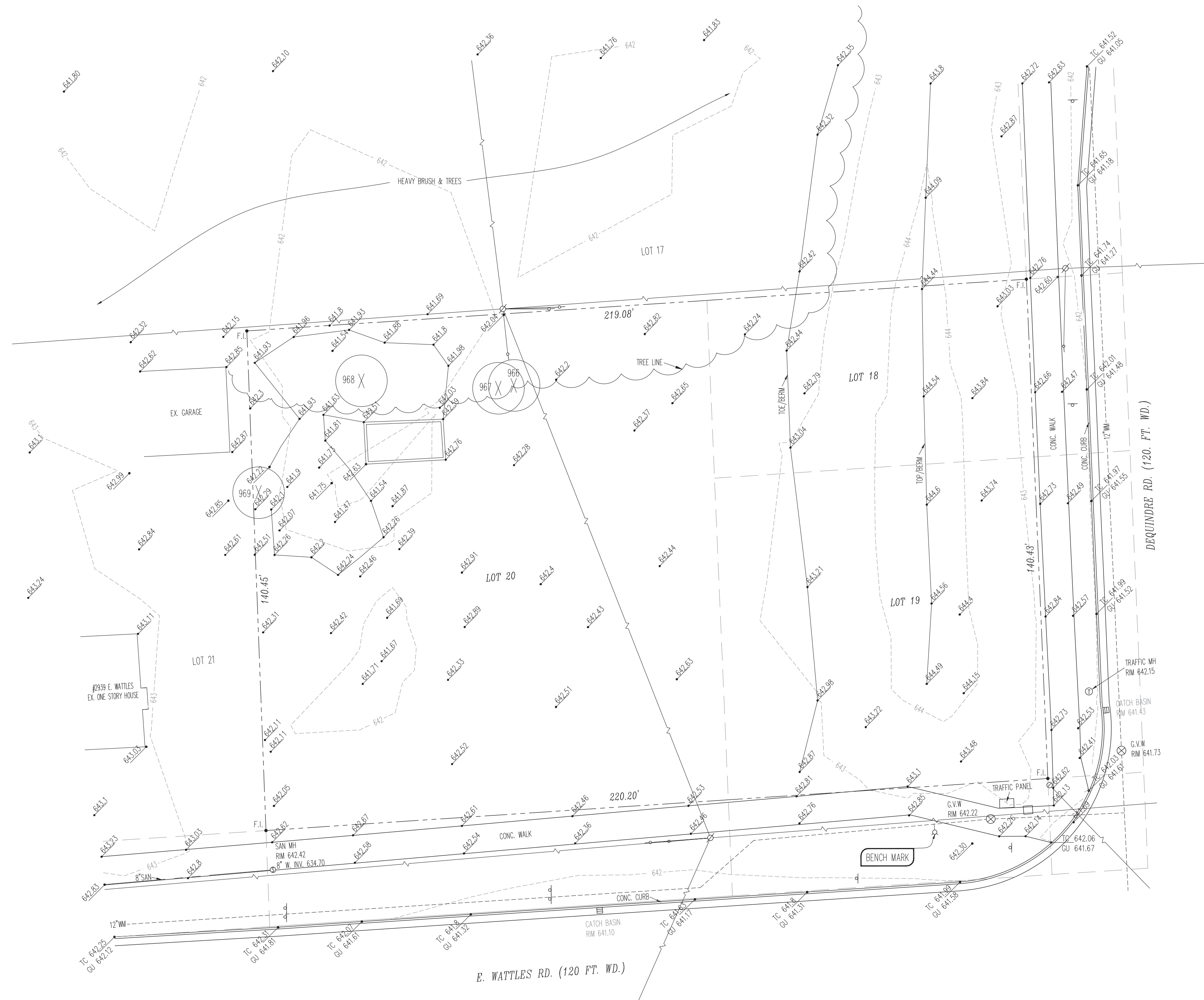
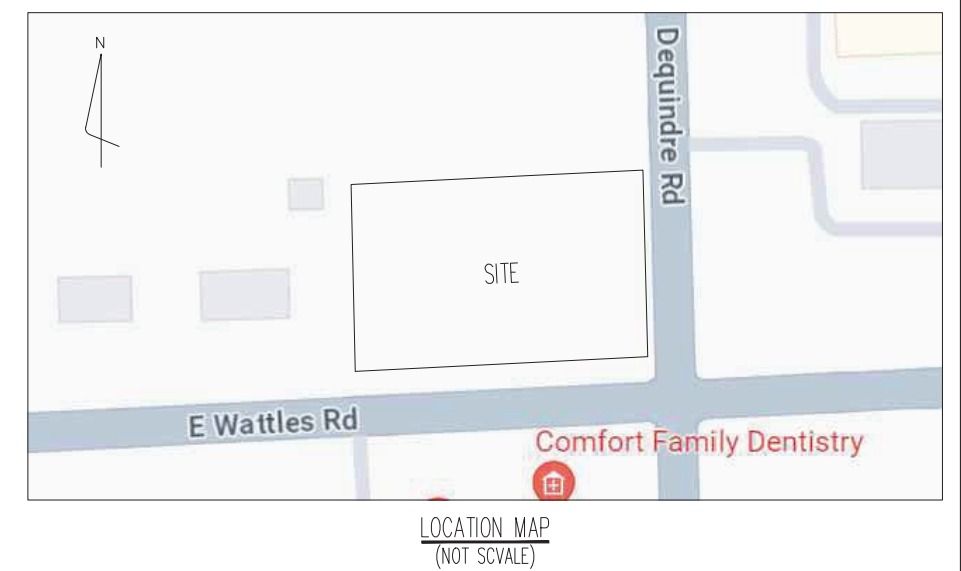


CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
President



CARLISLE/WORTMAN ASSOC., INC.
Shana Kot
Community Planner

SCALE 1" = 20'



Tree Inventory prepared by:
Evan LEBER
Certified Arborist, TRAQ
MI-4446A

Northwest Corner of Dequindre and Wattles
PIN: 20-13-478-025

Tree #	Botanical Name	Common Name	DBH	Condition	Comments	Landmark
969	<i>Pyrus calleryana</i>	Bradford Pear	7.7	Fair	two leads	
968	<i>Ulmus americana</i>	American Elm	7	Poor		
967	<i>Acer saccharinum</i>	Silver Maple	12	Good		
966	<i>Acer saccharinum</i>	Silver Maple	17.5	Good		

BENCH MARK
ARROW ON FIRE HYDRANT
ELEVATION= 644.70 (NAVD88)

PROPERTY DESCRIPTION

PARCEL 1
LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, MORE FULLY DESCRIBED AS:
LOT 20, EXCEPT THE SOUTH 27 FEET, SUPERVISOR'S PLAT OF FORSYTH ACRES, TOWN 2 NORTH, RANGE 11 EAST,
ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 13, PAGE 55 OF PLATS, OAKLAND COUNTY REGISTER OF DEEDS.

PARCEL 2
LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, MORE FULLY DESCRIBED AS:
LOTS 18 AND 19, EXCEPT THE EAST 27 FEET ABUTTING DEQUINDRE RD AND SOUTHERN 27 FEET ABUTTING WATTLES ROAD
SUPERVISOR'S PLAT OF FORSYTH ACRES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 13, PAGE 55 OF PLATS,
OAKLAND COUNTY RECORDS.

EXISTING	PROPOSED	LEGEND

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE WE CAN NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN.



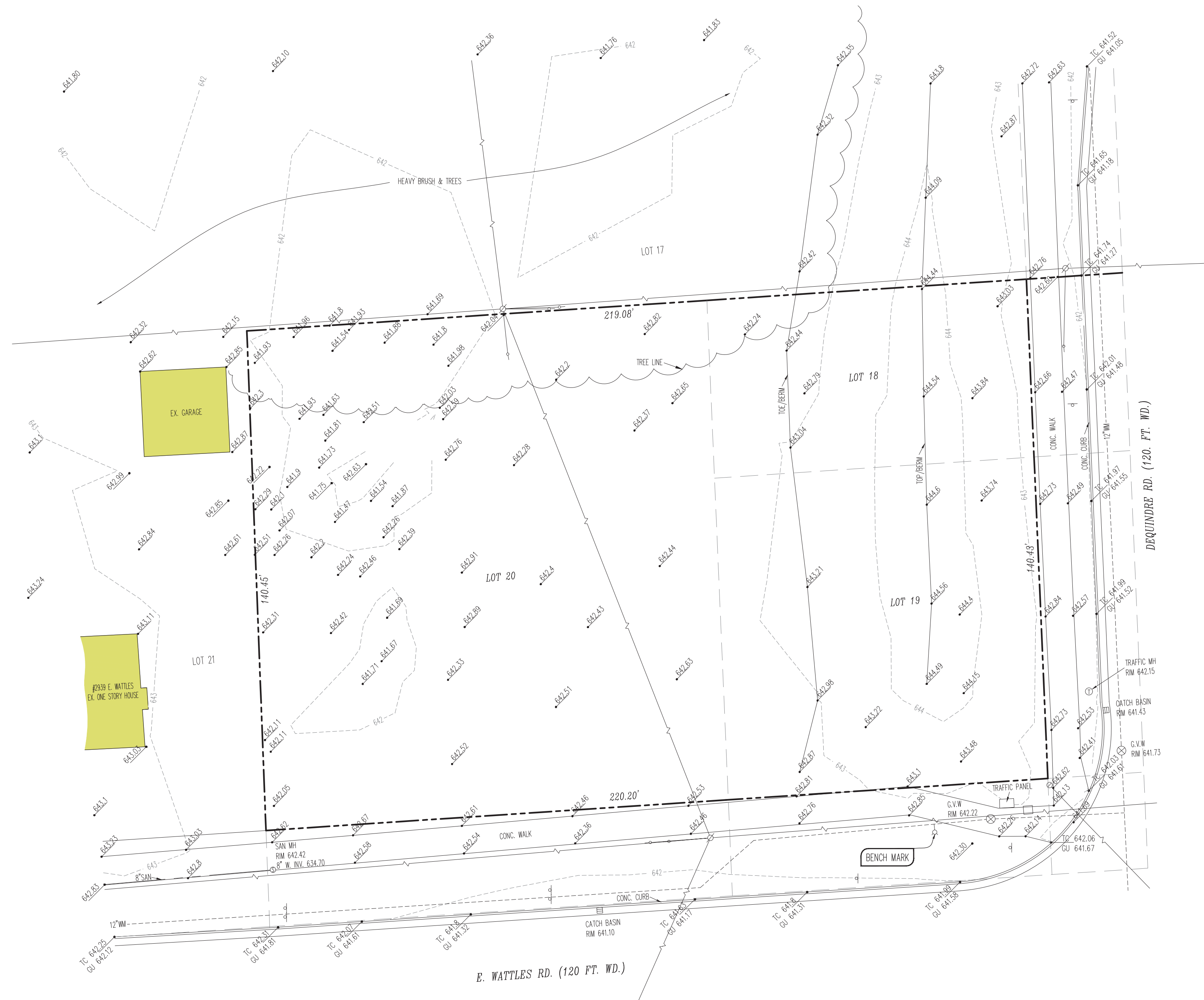
SURVEY TECH.
LAND SURVEYING CIVIL ENGINEERING
3253 LYNHURST CT., OAKLAND TWP., MI 48306
TEL (248) 652-8113

PROPERTY, TOPOGRAPHIC & TREE SURVEY

PROPRIETOR: SARA FAMILY, LLC

SCALE: 1"=20'	DATE: 07-03-2024	JOB #: 24121	SHEET: S-1
DRAWN BY: M.M.F.	CHECKED BY: D.R.	APPROVED BY:	

SCALE 1" = 20'



BENCH MARK
ARROW ON FIRE HYDRANT
ELEVATION= 644.70 (NAVD88)

PROPERTY DESCRIPTION

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3253 LYNHURST CT., OAKLAND TWP., MI 48306
TEL (248) 652-8113

PROPERTY & TOPOGRAPHIC SURVEY

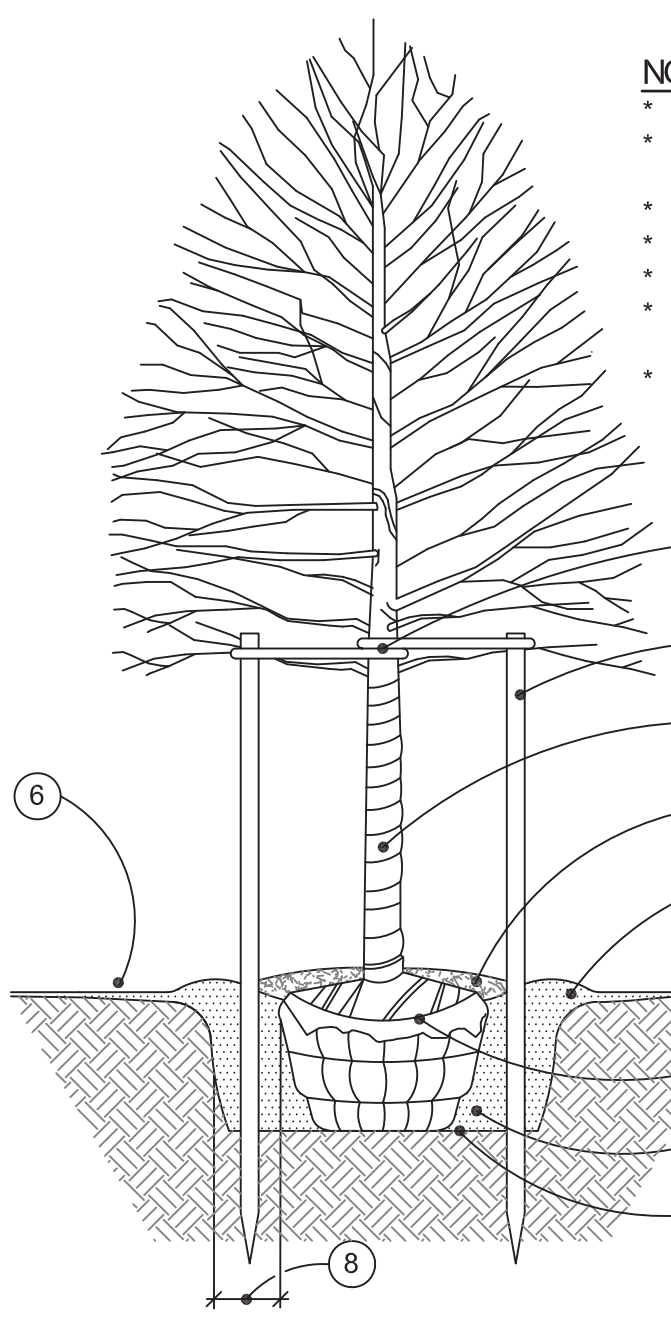
PROPRIETOR: SARA FAMILY, LLC

SCALE: 1"=20'	DATE: 07-03-2024	JOB # : 24121	SHEET:
DRAWN BY: M.M.F.	CHECKED BY: D.R.	APPROVED BY:	

LANDSCAPE DEVELOPMENT NOTES:

PLANTING

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Troy, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Planting beds are to be mulched with shredded bark mulch to a minimum depth of four inches (4"). Black colored shredded hardwood bark mulch to be installed for planting beds and trees.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. DO NOT apply tree paint to freshly cut wounds.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All new lawn areas shall be seeded with a Grade A Kentucky Blue Grass blend over four inches (4") of topsoil. Prepare the bed according to Note 16 below for conversion of concrete to landscape area. Existing lawn in generally good condition but with bare, sparse, or weedy areas must be renovated by filling in low areas, raking, overseeding, and top dressing all sparse and bare spots and continuing with a weed and feed program.
- All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
- Conversion of all asphalt and concrete areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of eighteen inches to thirty inches (18"-30") depending on the depth of the sub base and dispose of off site; b. Call the City for an inspection prior to backfilling; c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
- Edging, if specified, shall consist of Perma-Loc Aluminum edging or approved equivalent.



PLANTING DETAILS

MATERIAL

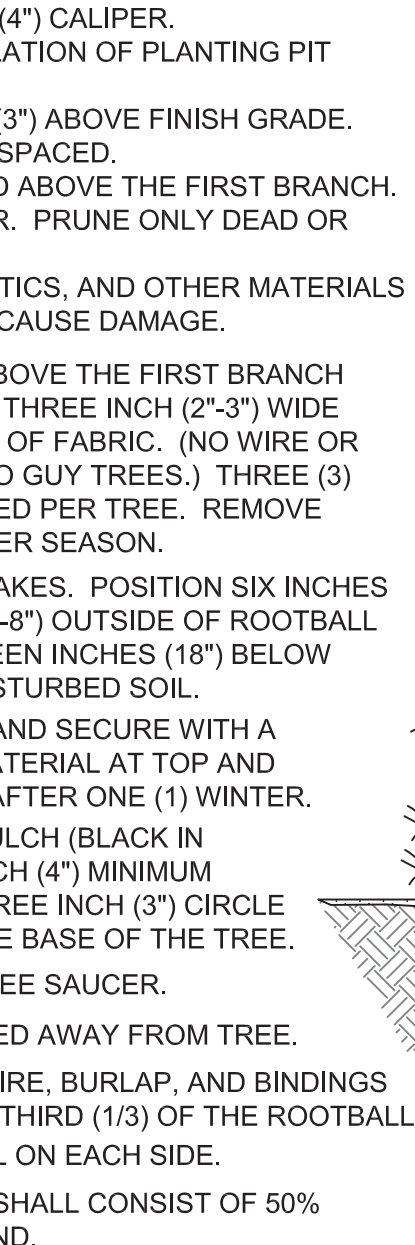
- Required landscape material shall satisfy the criteria of the American Association of Nurserymen Standards for Nursery Stock and be: a. Nursery grown; b. State Department of Agriculture inspected; c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched according to the details provided; and e. Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, stones, broken concrete, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Chewing Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- Cobblestone mulch to consist of two inch to five inch (2" - 6") cobbles eight inches (8") deep with geotextile fabric beneath.
- Proposed perennials shall be full, well-rooted plants.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

GENERAL

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- All landscape areas with plant material including parking lot islands shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- All written dimensions override scale dimensions on the plans.
- Report all changes, substitutions, or deletions to the Owner's representative.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.

MAINTENANCE OF GENERAL LANDSCAPE AREAS

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.



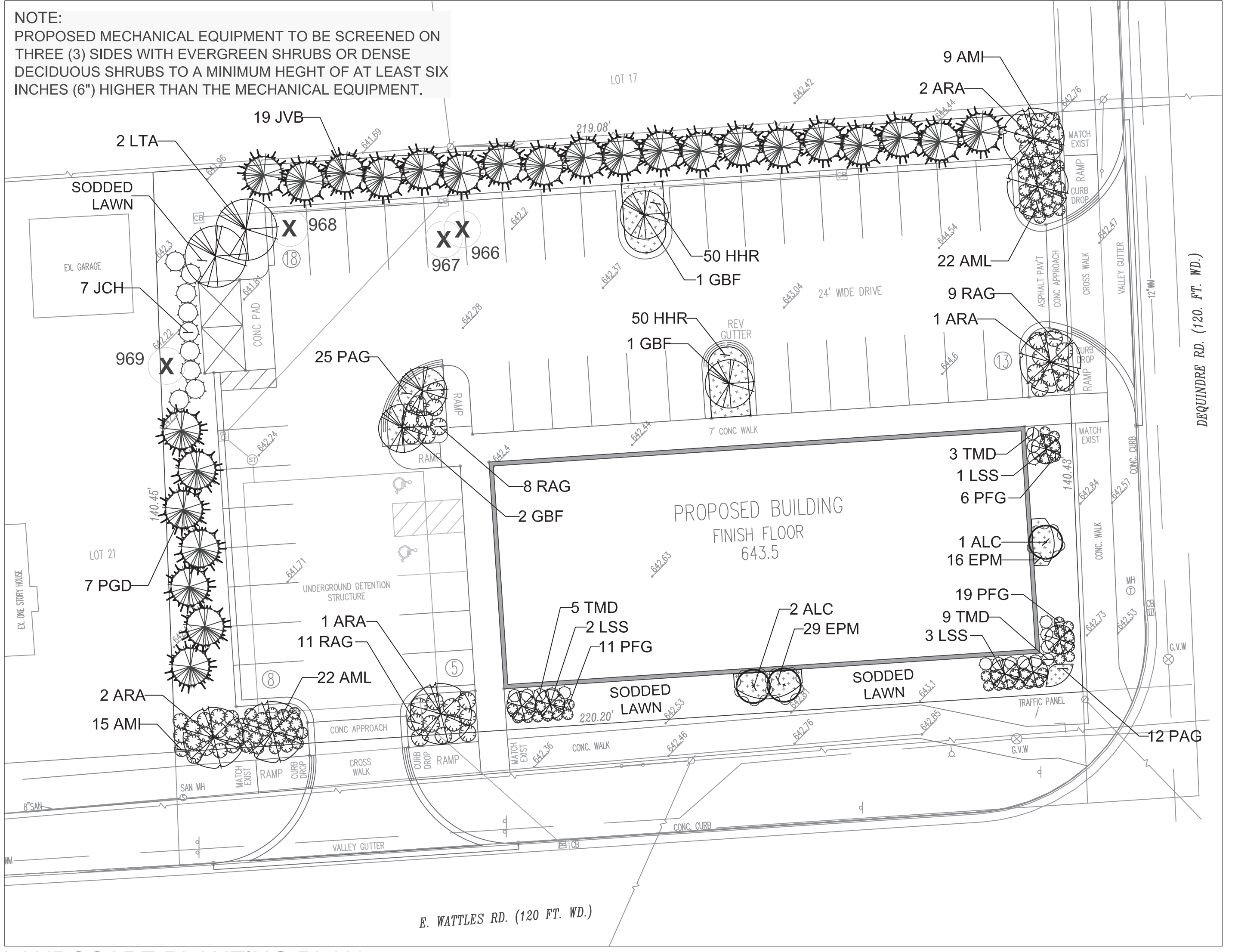
EVERGREEN TREE

PLANT LIST

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE
GREENBELT PLANTINGS			
Dequindre Road			
ALC	1 <i>Amelanchier laevis</i> 'Cumulus'	Cumulus Allegheny Serviceberry	2" cal. B&B
ARA	3 <i>Acer rubrum</i> 'Armstrong Gold'	Armstrong Gold Red Maple	2-1/2" cal. B&B
LSS	2 <i>Liquidambar styraciflua</i>	Slender Silhouette	American Sweetgum
PFG	14 <i>Potentilla fruticosa</i> 'Goldfinger'	Goldfinger Shrub Cinquefoil	2-1/2" cal. B&B
TMD	6 <i>Taxus x media</i> 'Densiformis'	Densiformis Spreading Yew	24" ht. B&B
EPM	16 <i>Echinacea purpurea</i> 'Magnus'	Magnus Purple Coneflower	1 gal. pot, 24" o.c.
East Wattles Road			
ALC	2 <i>Amelanchier laevis</i> 'Cumulus'	Cumulus Allegheny Serviceberry	2" cal. B&B
ARA	3 <i>Acer rubrum</i> 'Armstrong Gold'	Armstrong Gold Red Maple	2-1/2" cal. B&B
LSS	4 <i>Liquidambar styraciflua</i>	Slender Silhouette	American Sweetgum
PFG	22 <i>Potentilla fruticosa</i> 'Goldfinger'	Goldfinger Shrub Cinquefoil	2-1/2" cal. B&B
TMD	11 <i>Taxus x media</i> 'Densiformis'	Densiformis Spreading Yew	24" ht. B&B
EPM	29 <i>Echinacea purpurea</i> 'Magnus'	Magnus Purple Coneflower	1 gal. pot, 24" o.c.
PAG	12 <i>Pennisetum alopecuroides</i>	Ginger Love	1 gal. pot, 30" o.c.
PARKING LOT PLANTINGS			
GBF	4 <i>Ginkgo biloba</i> 'Fastigiata'	Fastigiate Maidenhair Tree	2-1/2" cal. B&B
LTA	2 <i>Liriodendron tulipifera</i> 'Arnold'	Arnold Tuliptree	2-1/2" cal. B&B
RAG	8 <i>Rhus aromatica</i> 'Gro-low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
HHR	100 <i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 30" o.c.
PAG	25 <i>Pennisetum alopecuroides</i>	Ginger Love	1 gal. pot, 30" o.c.
PERIMETER PARKING LOT PLANTINGS			
AMI	24 <i>Aronia melanocarpa</i> 'Iroquois Beauty'	Iroquois Beauty Chokeberry	24" ht., 3 gal. pot
AML	44 <i>Aronia melanocarpa</i>	Low Scape Mound	Black Chokeberry
RAG	20 <i>Rhus aromatica</i> 'Gro-low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
PLANTINGS FOR SCREENING			
JCH	7 <i>Juniperus chinensis</i> 'Hetz Columnaris'	Hetz Columnaris Upr. Juniper	5' ht. B&B
JVB	19 <i>Juniperus virginiana</i> 'Burkii'	Burkii Redcedar	7' ht. B&B
PGD	7 <i>Picea glauca</i> 'Densata'	Black Hills White Spruce	7' ht. B&B

LANDSCAPE CALCULATIONS:

GREENBELT
Dequindre Road (140.43 I.f.)
* One (1) deciduous tree / 30 I.f. = 4.68 = 5 trees
East Wattles Road (220.20 I.f.)
* One (1) deciduous tree / 30 I.f. = 7.34 = 8 trees
PARKING LOT LANDSCAPING (44 spaces)
* One (1) deciduous tree for every eight (8) parking spaces equals 5.5 trees equals 6 trees
PERIMETER PARKING LOT LANDSCAPING
* Continuous landscape planting that does not exceed three feet (3') in height along the perimeter of the road right-of-way
SITE LANDSCAPING (Site area: 30,870.37 sq. ft.)
* 30,870.37 sq. ft. x .20 equals 6,174 sq. ft.
* Site landscaping area provided equals 7,080 sq. ft.
SCREENING
* One (1) large evergreen for each ten (10) In. ft.
TREE REPLACEMENT
* Zero (0) replacement trees required



scale: 1" = 20'

TREE INVENTORY LIST

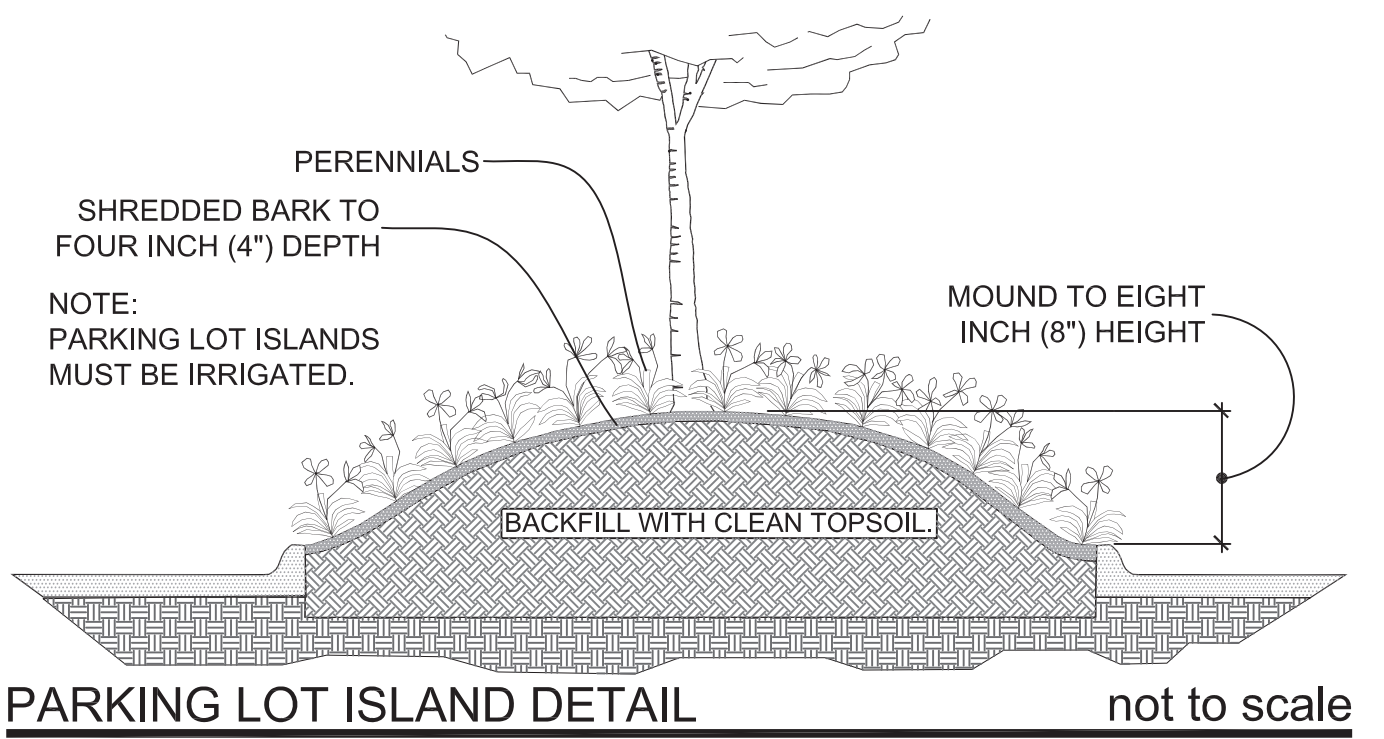
TAG #	SIZE (dbh)	BOTANICAL NAME	COMMON NAME	CONDITION	ACTION
966	7", 7"	<i>Pyrus calleryana</i>	Callery Pear	Fair	Remove*
967	7"	<i>Ulmus americana</i>	American Elm	Poor	Remove*
968	12"	<i>Acer saccharinum</i>	Silver Maple	Good	Remove*
969	17.5"	<i>Acer saccharinum</i>	Silver Maple	Good	Remove*

Remove*: Existing tree to be removed with replacement not required due to poor, very poor, or dead condition or undesirable species.

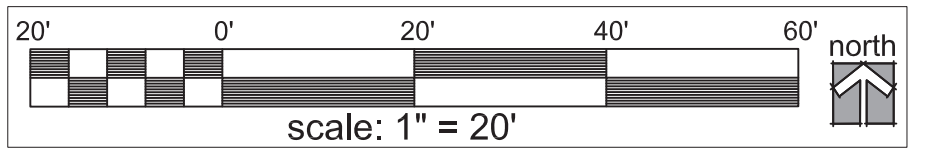
GENERAL NOTES FOR ALL PLANTINGS:

- DO NOT CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.
- SHREDDED BARK MULCH AT THREE INCH (3") MINIMUM DEPTH. MULCH SHALL BE BLACK IN COLOR.
- FORM A SAUCER WITH MULCH AND SOIL AROUND SHRUB BED.
- CUT AND REMOVE BURLAP AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- EXCAVATE PLANTING BED AND BACK-FILL WITH PREPARED PLANTING MIX.
- UNDISTURBED SUBGRADE.
- LAWN.
- SCARIFY SUBGRADE.
- SEE PLANT LIST FOR SPACING DISTANCE.
- SHREDDED HARDWOOD BARK MULCH (BLACK IN COLOR) AT TWO INCH (2") MINIMUM DEPTH. SEE SPECIFIC NOTE FOR BIORETENTION ALTERNATIVE.
- 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH.
- UNDISTURBED SUBGRADE.
- PLANTING MIX TO CONSIST OF EQUAL PARTS OF SAND, LEAF COMPOST, AND NATIVE SOIL.
- LAWN.

not to scale



not to scale



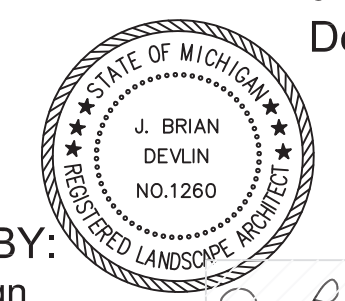
date: December 26, 2024
revised:
02-19-2025 Revise for City review letter dated January 29, 2025.

LANDSCAPE PLAN FOR: Survey Tech, L.L.C.
3253 Lynhurst
Oakland Township,
Michigan 48306
(248) 670 6556

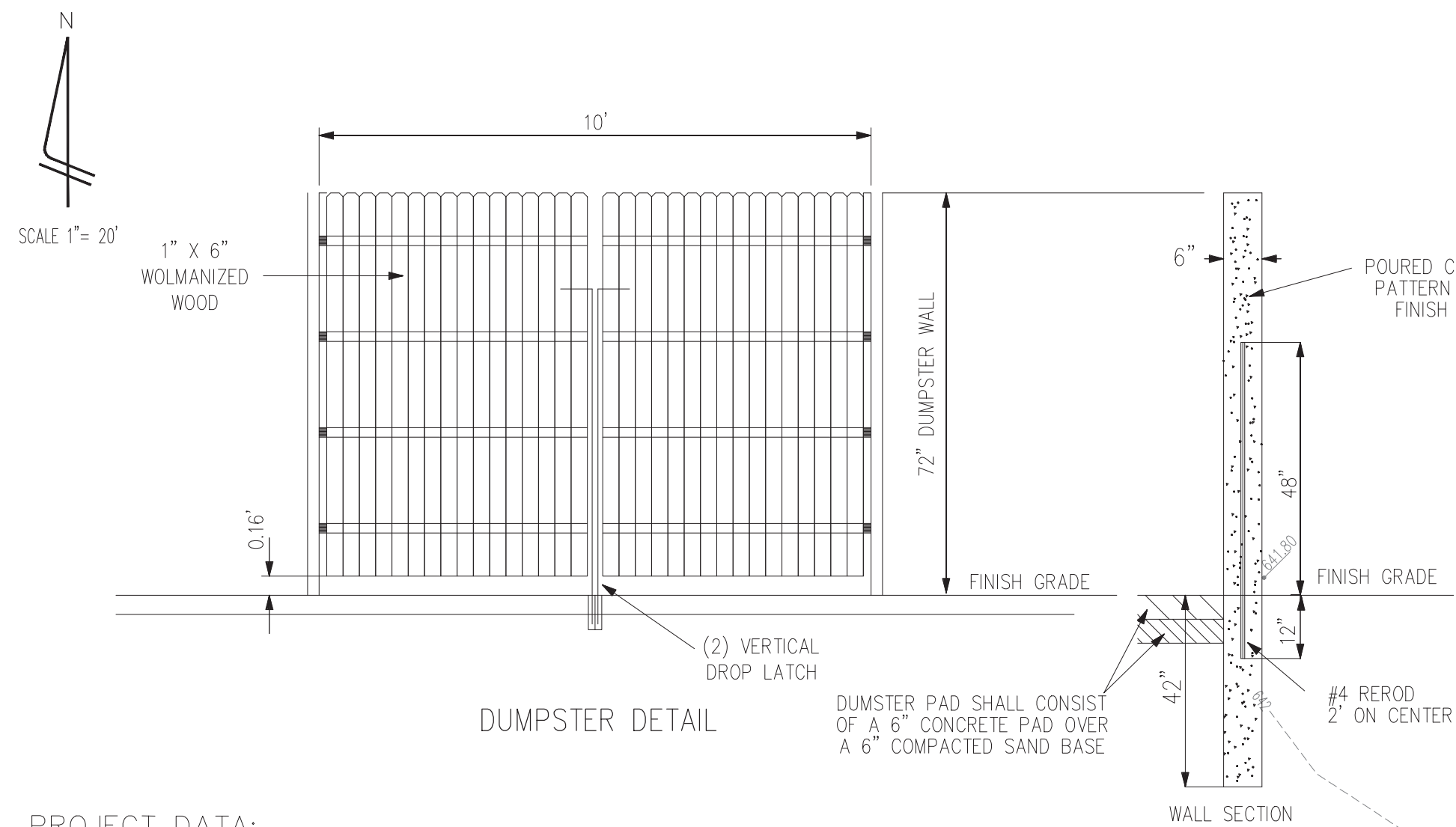
PROJECT LOCATION: Proposed Retail Building
Northwest Corner of
Dequindre Road &
E. Wattles Road
Troy, Michigan

LANDSCAPE PLAN BY: Nagy Devlin Land Design
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634-9208

LP - 1: LANDSCAPE PLANTING PLAN
* Base data provided by Survey Tech.



J. Brian Devlin
AUTOCAD SIGNATURE
ORIGINAL IN BLUE



PROJECT DATA:
 ZONING NN NEIGHBORHOOD NODES
 LOT SIZE 30,870.36 SQ. FT. OR 0.70 AC.
 USE GROUP(S)
 CONSTRUCTION TYPE 2B: UN SPRINKLERS (SEPARATED)

BUILDING REQUIREMENTS:
 HEIGHT MINIMUM -1 STORY -14FT
 MAXIMUM -3 STORY -45FT

PROPOSED -2 STORY +/- 30FT (GROUND STORY 14FT)

LOT AREA = 30,870.36 SQ.FT.

BUILDING AREA = 7205.0 SQ. FT.

SIDEWALK AREA = 1,900.00 SQ.FT.

DUMPSTER AREA = 200 SQ.FT.

ROADS/PARKING AREAS = 16,506 SQ.FT.

TOTAL 26,937 SQ. FT.

AREA COVERAGE WITH BUILDINGS:
 7205.0*100/30,870.36 = 23.3%

IMPERVIOUS SURFACE PERCENTAGE:
 23,620*100/30,870.36 = 76.5%

BUILDING SQUARE FOOTAGE

8,33.00 SQ. FT. @ MAIN LEVEL
 9,190.00 SF GROSS MAIN FLOOR
 7205 (BLDG.)- 292 (STAIRS)- 316 (ENTRANCE)- 290 (UTILITY)=6,307 SQ. FT.
 6,307 SQ. FT. GROSS RESIDENTIAL AREA
 12,614.00 SQ. FT. TOTAL BLDG. SQ. FOOTAGE

PARKING REQUIREMENTS

M-MERCANTILE @ MAIN LEVEL
 1 PARKING SPACE FOR EACH 250 SQ.FT. OF FLOOR AREA REQUIRED
 -RETAIL SITE PARKING SPACES SIZE: 9.5 FEET X17 FEET

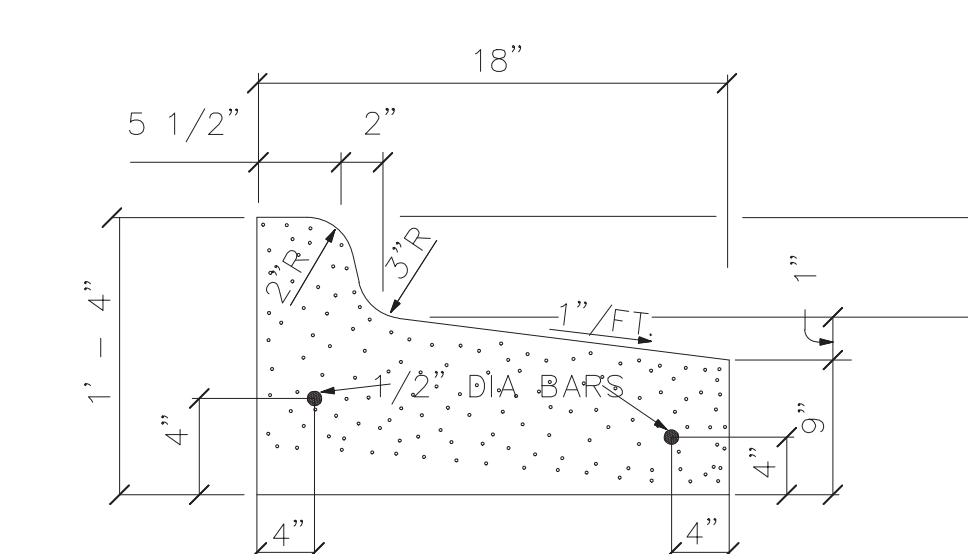
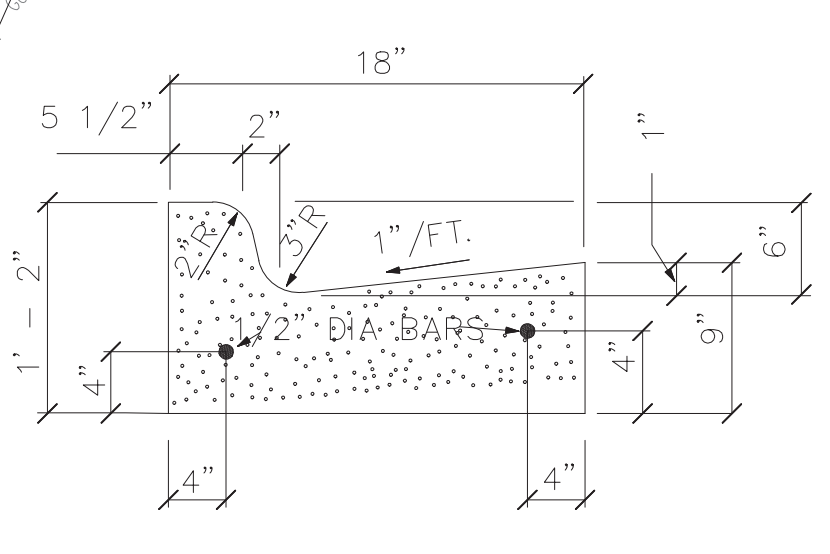
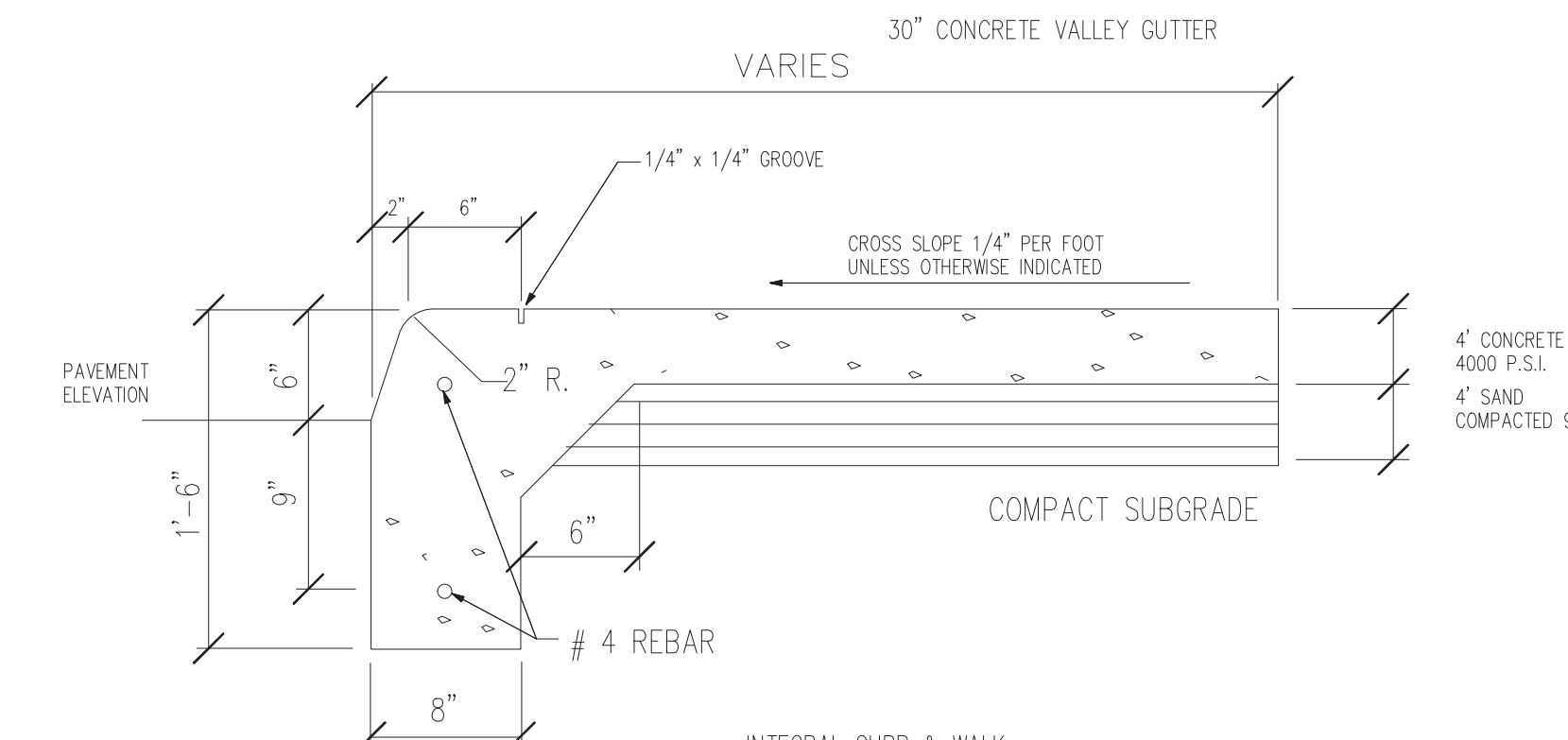
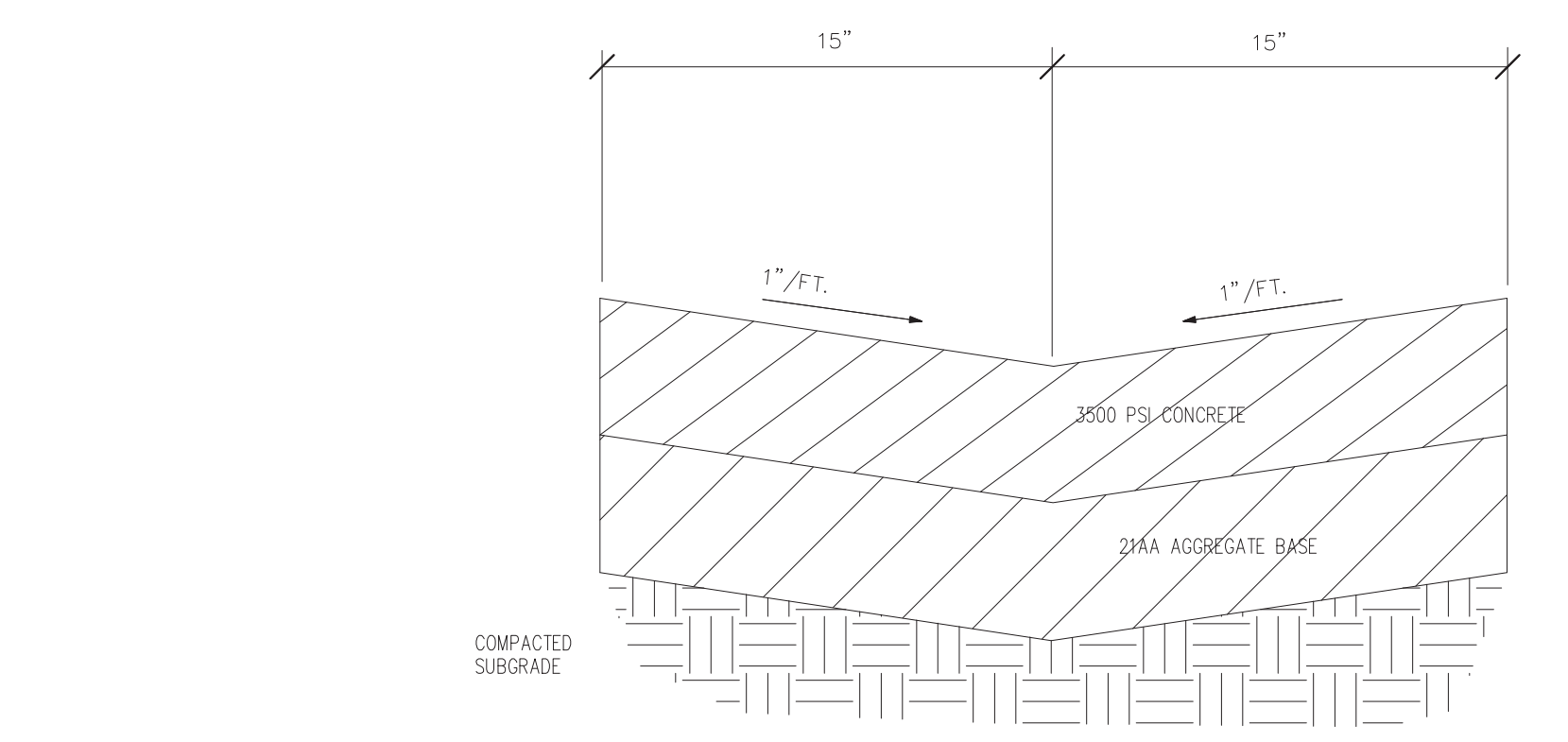
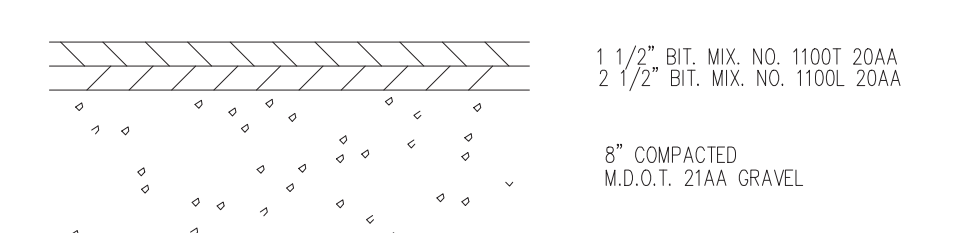
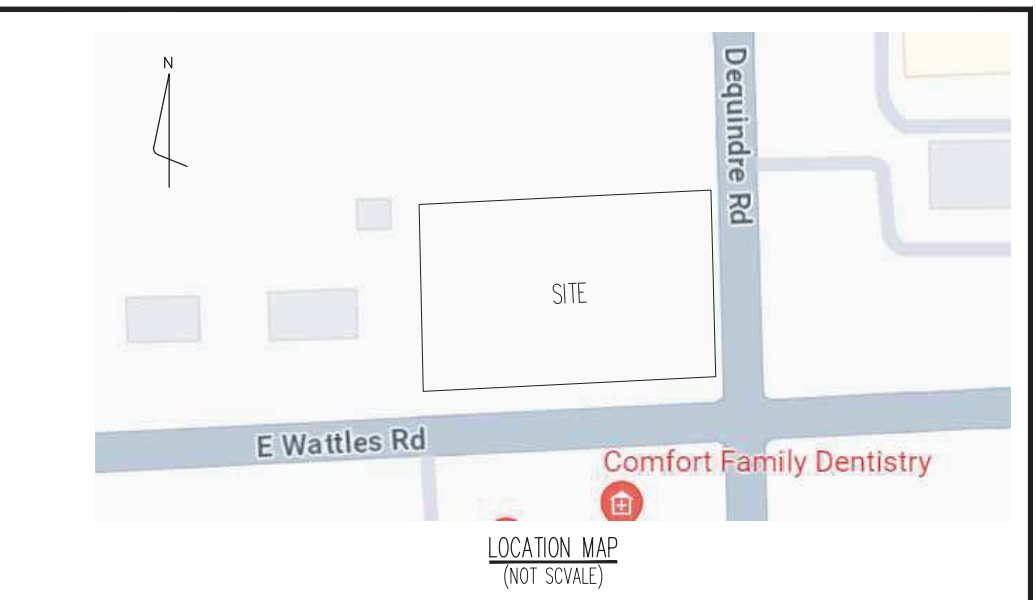
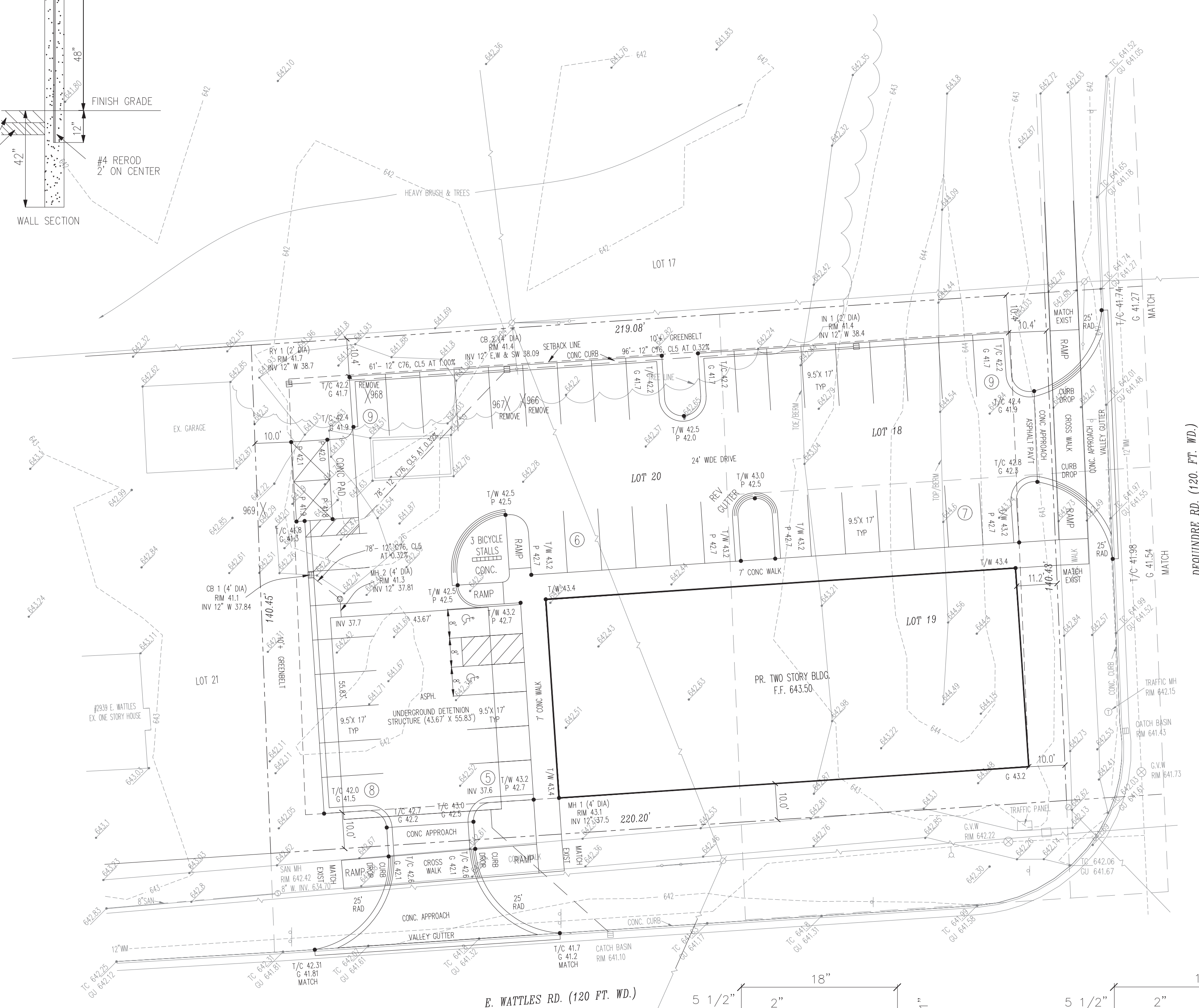
7205 SQ. FT. GROSS RETAIL
 7205/300/250 SQ. FT.= 6307/250=26

RM 6 APARTMENT UNITS 2ND LEVEL
 2 PARKING SPACE FOR EACH APARTMENT= 12

TOTAL PARKING REQUIRED= 26+12 =38
 TOTAL PARKING PROVIDED= 44

LANDSCAPE REQUIREMENTS:
 15% OF LOT AREA
 LOT AREA=30,870.36 SQ. FT
 15X30,870.36= 463,055.40
 463,055.40/100= 4630.55 SQ. FT. REQUIRED
 5,270 SQ. FT. PROVIDED.

EXISTING	PROPOSED	LEGEND
		AIR PUMP
		WATER SHUT OFF
		TELEPHONE RISER
		AIR CONDITION
		SEWER CLEAN OUT
		GAS METER
		GAS VALVE /GAS MARKER
		MANHOLE
		CATCH BASIN
		GATE VALVE IN WELL (G.V.W)
		FIRE HYDRANT
		STORM MANHOLE (ST. MH.)
		SIGNAL POLE
		UTILITY POLE
		UTILITY POLE W/ LAMP EXTENSION
		SIGNAL POLE WELL
		ELECTRIC RISER OR METER
		CATHODIC PROTECTION
		GUY WIRE
		TRANSFORMER
		TOP OF WALK ELEVATION
		TOP OF PAVEMENT ELEVATION
		TOP OF WALK ELEVATION
		TOP OF CURB ELEVATION
		GUTTER ELEVATION
		VENT PIPE
		FILLER CAP
		C.P. TEST
		MONITOR WELL
		CATHODIC PROTECTION
		GUY WIRE
		TRANSFORMER
		TOP OF WALK ELEVATION
		TOP OF PAVEMENT ELEVATION
		TOP OF WALK ELEVATION
		TOP OF CURB ELEVATION
		GUTTER ELEVATION
		FLOW
		LIGHT POLE
		TRAFFIC SIGNAL
		D.E. MANHOLE
		TRAFFIC MANHOLE
		SPOT ELEVATION
		SECTION CORNER
		FOUND IRON
		FOUND MONUMENT
		FOUND P.K. NAIL
		SET IRON
		S.P.K. CHS "X"
		SET P.K. NAIL
		CHISELED "X"
		CONCRETE



Tree Inventory prepared by:
 Evan Little
 Certified Arborist, TRAQ
 MI-4466A

**Northwest Corner of Dequindre and Wattles
 PIN: 20-13-478-025**

Tree #	Botanical Name	Common Name	DBH	Condition	Comments	Landmark
969	<i>Pyrus calleryana</i>	Bradford Pear	7.7	Fair	two leads	
REMOVE 968	<i>Ulmus americana</i>	American Elm	7	Poor		
REMOVE 967	<i>Acer saccharinum</i>	Silver Maple	12	Good		
REMOVE 966	<i>Acer saccharinum</i>	Silver Maple	17.5	Good		

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE WE CAN NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN.



PROPERTY DESCRIPTION
 PARCEL 1
 LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, MORE FULLY DESCRIBED AS: LOT 20, EXCEPT THE SOUTH 27 FEET, SUPERVISOR'S PLAT OF FORSYTH ACRES, TOWN 2 NORTH, RANGE 11 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 13, PAGE 55 OF PLATS, OAKLAND COUNTY REGISTER OF DEEDS.
 PARCEL 2
 LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, MORE FULLY DESCRIBED AS: LOTS 18 AND 19, EXCEPT THE EAST 27 FEET ABUTTING DEQUINDRE RD AND SOUTHERN 27 FEET ABUTTING WATTLES ROAD *SUPERVISOR'S PLAT OF FORSYTH ACRES*, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 13, PAGE 55 OF PLATS, OAKLAND COUNTY RECORDS.

SURVEY TECH.
 LAND SURVEYING CIVIL ENGINEERING
 3253 LYNHURST CT., OAKLAND TWP., MI 48306
 TEL (248) 652-8113

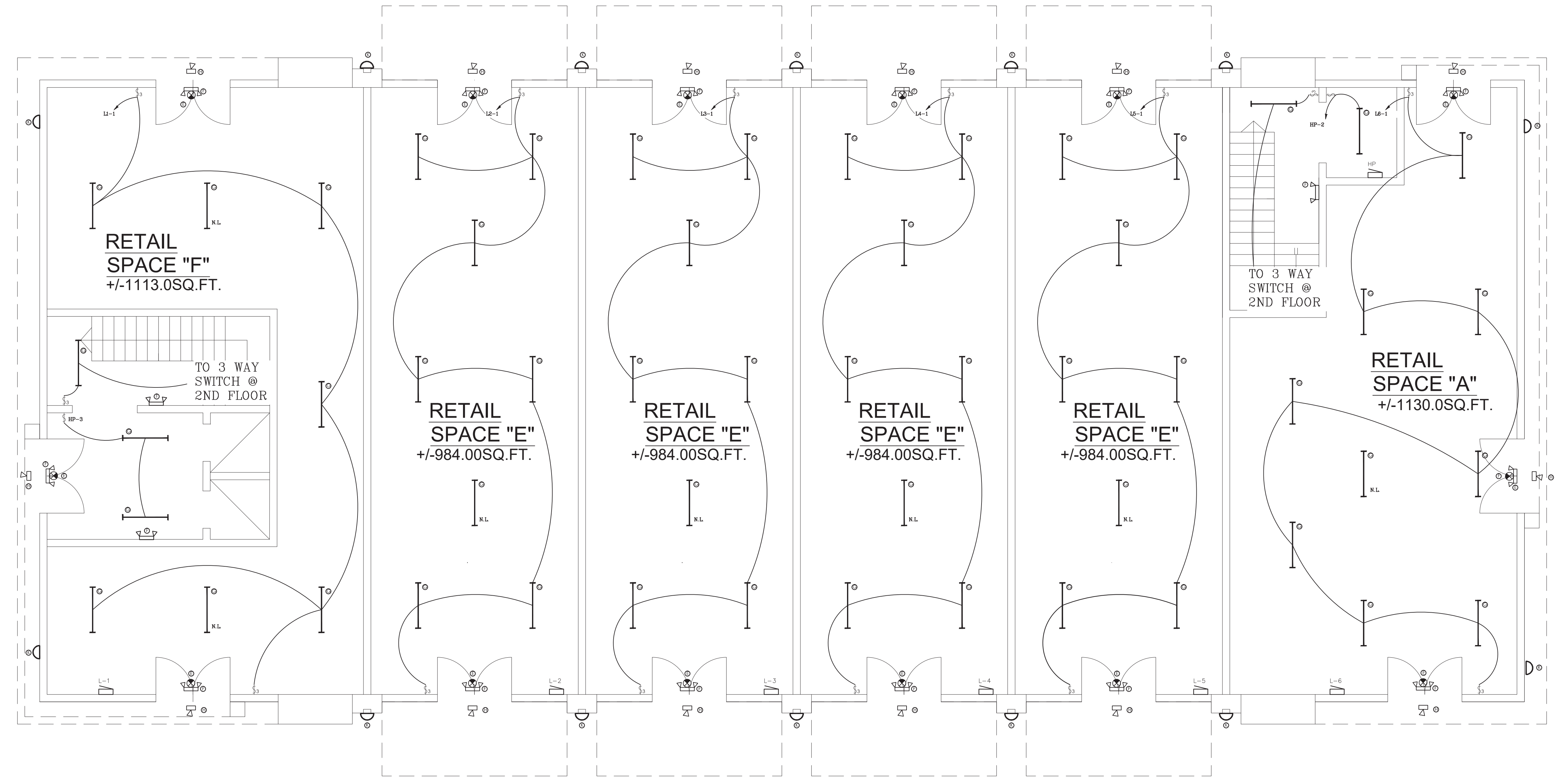
SITE PLAN

PROPRIETOR: SARA FAMILY, LLC

SCALE: 1"=20'	DATE: 12-09-2024	JOB #: 24121	SHEET: C-1
DRAWN BY: M.M.F.	CHECKED BY: D.R.	APPROVED BY:	
REVISED: 02-18-2025 PER REVIEW			

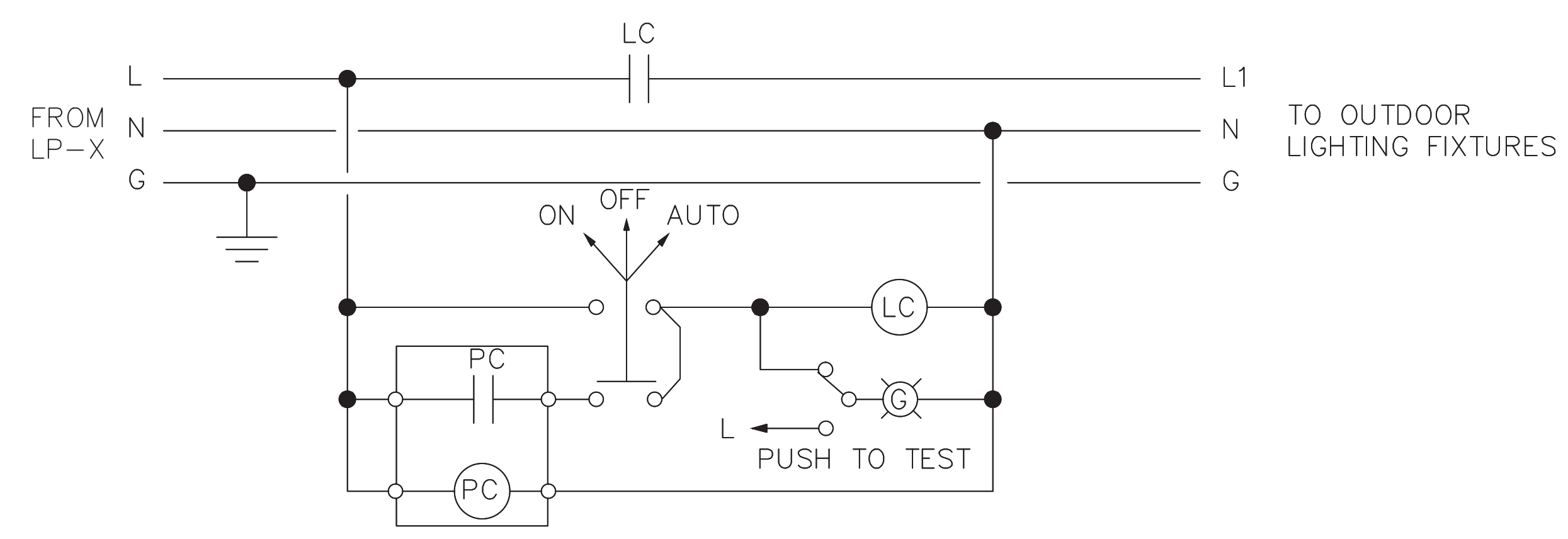


Lawrence J. Gambrell



NORTH
PROPOSED 1ST FLOOR ELECTRICAL LIGHTING PLAN
SCALE: 3/16"=1'-0"

IN DOOR LIGHTING FIXTURE SCHEDULE					
TYPE	DESCRIPTION	MANUFACTURERS & CAT. NO.	MOUNTING	VOLT	WATTS PER FIXTURE
○ A	ROUND 6" CEILING RECESSED LED LIGHT FIXTURE.	BY OWNER	CEILING	120	14
⊕ B	LED BATH ROOM VANITY LIGHT FIXTURE	BY OWNER	WALL	120	17
⊕ D	1LIGHT MINI PENDANT BRUSHED NICKEL FINISH WITH PERFORATED METAL SHADE	BY OWNER	CEILING	120	36
⊗ E	EXIST SIGN WITH EMERGENCY LIGHT	BY OWNER	CEILING	120	13
⌚ F	EMERGENCY LIGHTING FIXR	BY OWNER	WALL	120	32
— G	4' LONG CEILING SUSPENDED LED LIGHT FIXTURE	BY OWNER	CEILING	120	32
⊕ H	LED OUT DOOR AUTO ON/OFF LIGHT	BY OWNER	WALL	120	32
⊕ K	LED OUT DOOR LIGHT FIXTURE	BY OWNER	WALL	120	24



TYPICAL OUTDOOR LIGHTING CONTROL SCHEMATIC DIAGRAM

SHEET: PROJECT:

1ST FLOOR ELECTRICAL LIGHTING PLAN
NEW BUILDING AT 17 MILE & DEQUINDRE CITY OF TROY, MI

SCALE: AS NOTED

ISSUE DATES

XXXX
XXXX
XXXX
XXXX
XXXX
XXXX
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XXXX
XXXX

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DRAWN BY: xx
CHECKED BY: xx
DRAWING NO.

E-01



Lawrence J. Gabriel

SHEET: PROJECT:

2ND FLOOR ELECTRICAL LIGHTING
NEW BUILDING AT 17 MILE & DEQUINDRE CITY OF TROY, MI

SCALE: AS NOTED

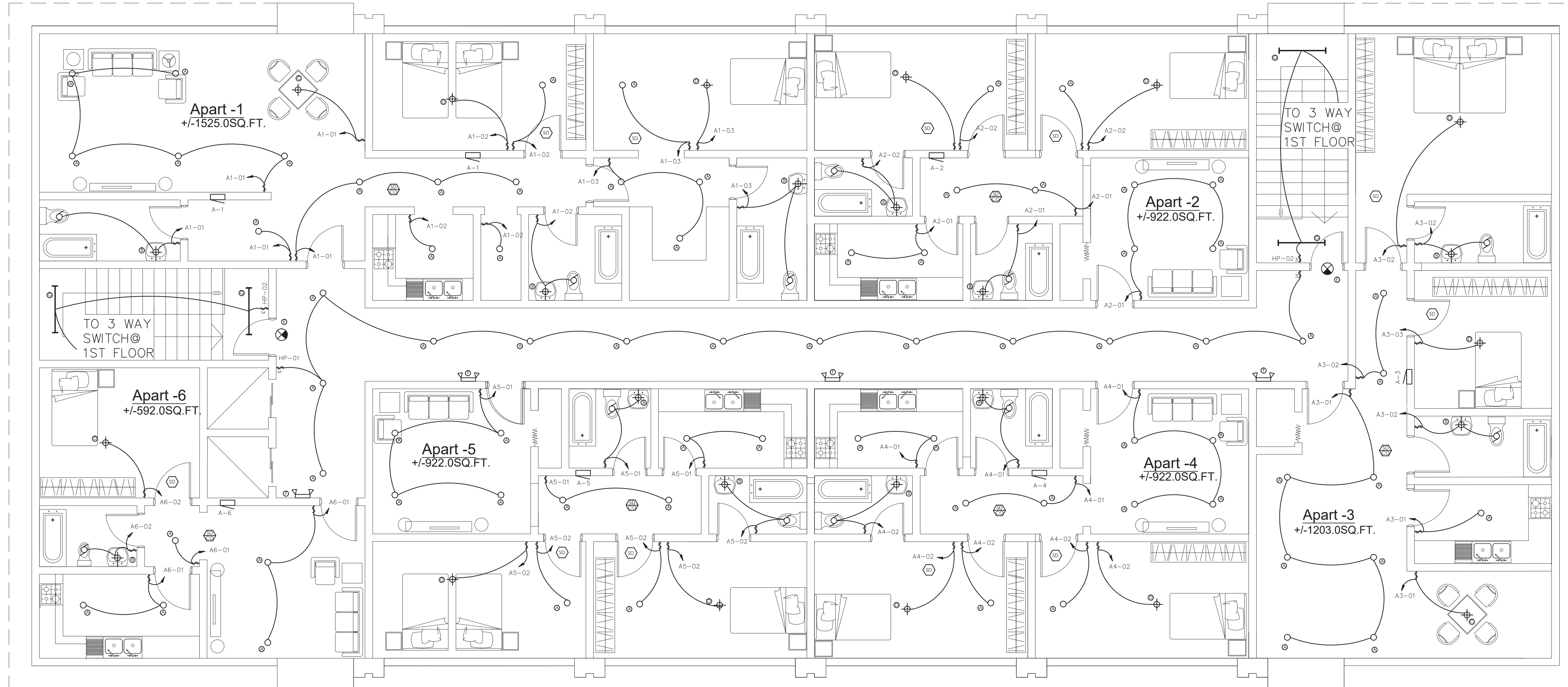
ISSUE DATES

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DRAWN BY: xx
CHECKED BY: xx
DRAWING NO.

E-02



NORTH
PROPOSED 2ND FLOOR ELECTRICAL LIGHTING PLAN
SCALE: 3/16"=1'-0"

IN DOOR LIGHTING FIXTURE SCHEDULE					
TYPE	DESCRIPTION	MANUFACTURERS & CAT. NO.	MOUNTING	VOLT	WATTS PER FIXTURE
○ A	ROUND 6" CEILING RECESSED LED LIGHT FIXTURE.	BY OWNER	CEILING	120	14
⊕ B	LED BATH ROOM VANITY LIGHT FIXTURE	BY OWNER	WALL	120	17
⊕ D	1LIGHT MINI PENDANT BRUSHED NICKEL FINISH WITH PERFORATED METAL SHADE	BY OWNER	CEILING	120	36
⊗ E	EXIST SIGN WITH EMERGENCY LIGHT	BY OWNER	CEILING	120	13
⌂ F	EMERGENCY LIGHTING FIXR	BY OWNER	WALL	120	32
┌ c	4' LONG CEILING SUSPENDED LED LIGHT FIXTURE	BY OWNER	CEILING	120	32
⊔ H	LED OUT DOOR AUTO ON/OFF LIGHT	BY OWNER	WALL	120	32
⊔ K	LED OUT DOOR LIGHT FIXTURE	BY OWNER	WALL	120	24

PROJECT:
Dequindre & 17Mile Rd

LOCATION:

RZ
ENGINEERING
LLC

5640 VICTORIA DR.
WEST BLOOMFIELD,
MI 48322
P: (248) 915-1600
zackhanna@rztmail.com

DRAWN BY:
RP
DESIGNED BY:
ZACK
APPROVED BY:
ZACK

SUBMITTAL:

REVISIONS:

PROJECT NO.:

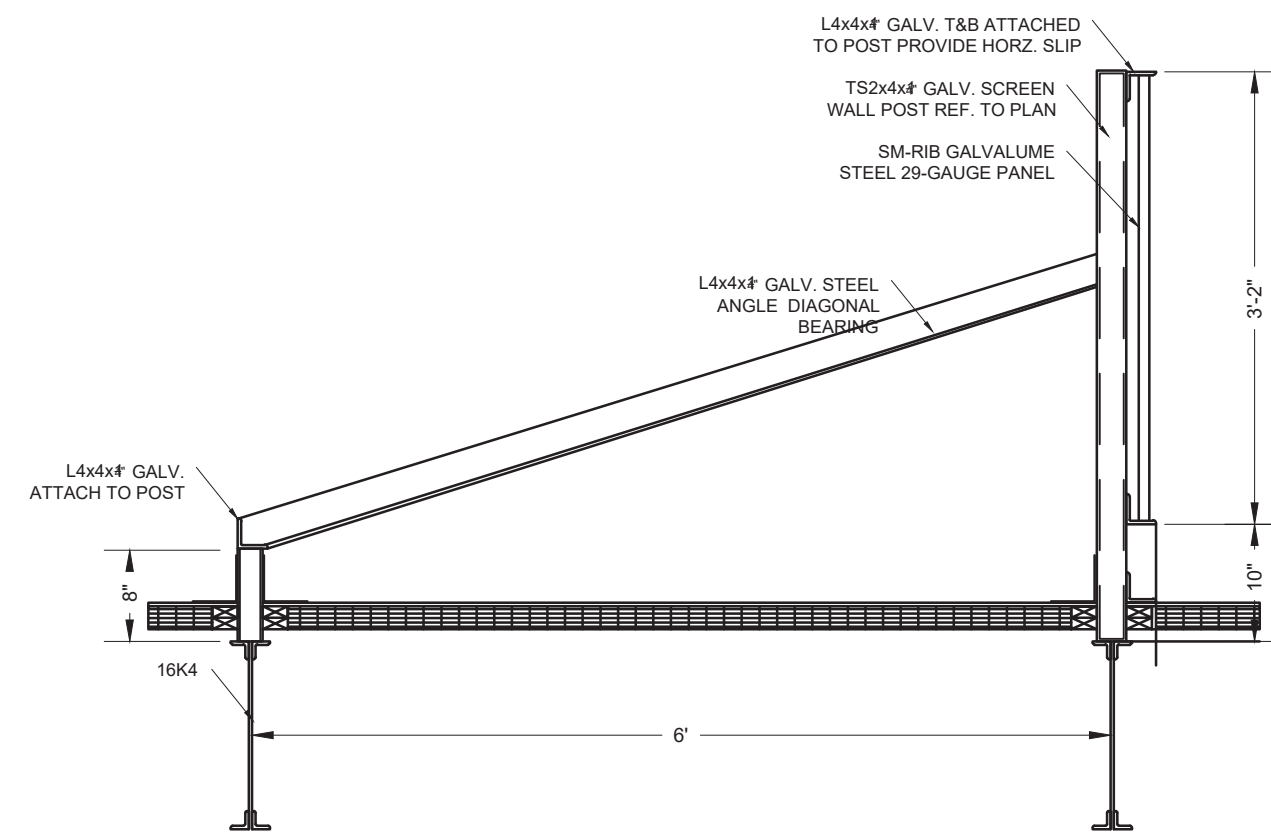
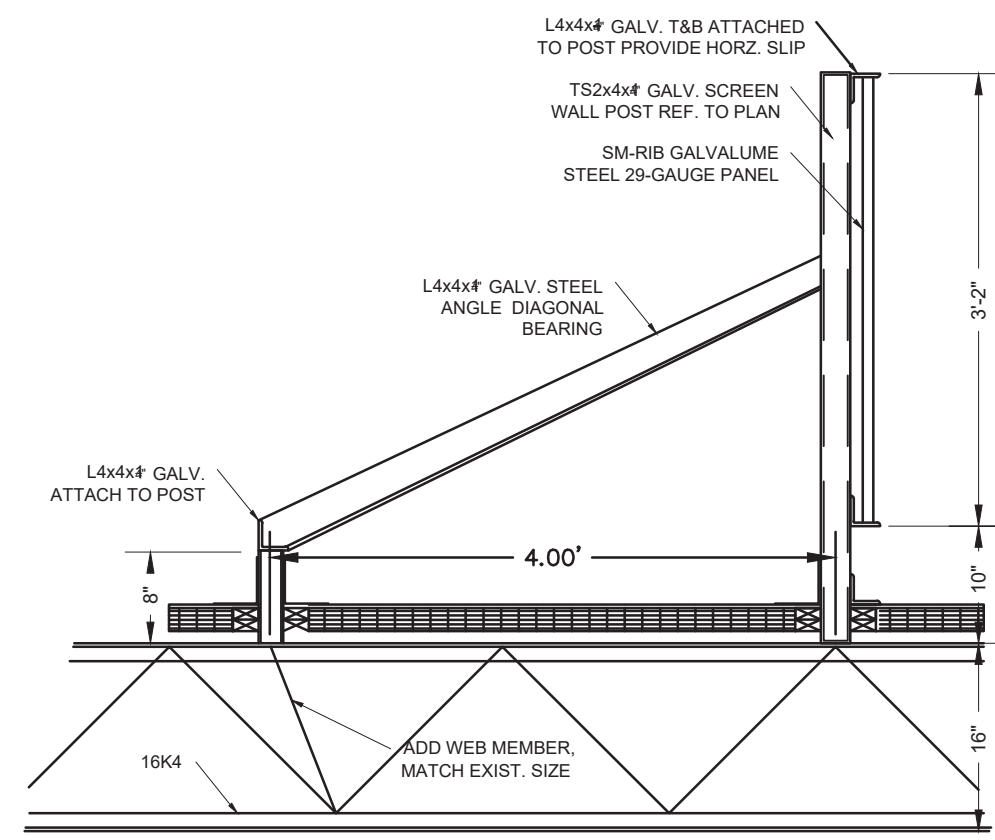
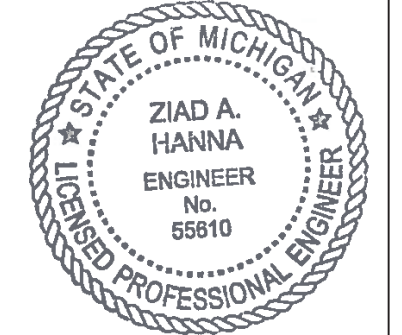
DATE:
07/02/2025

SCALE:
3/32" = 1'-0"
3/4" = 1'-0"

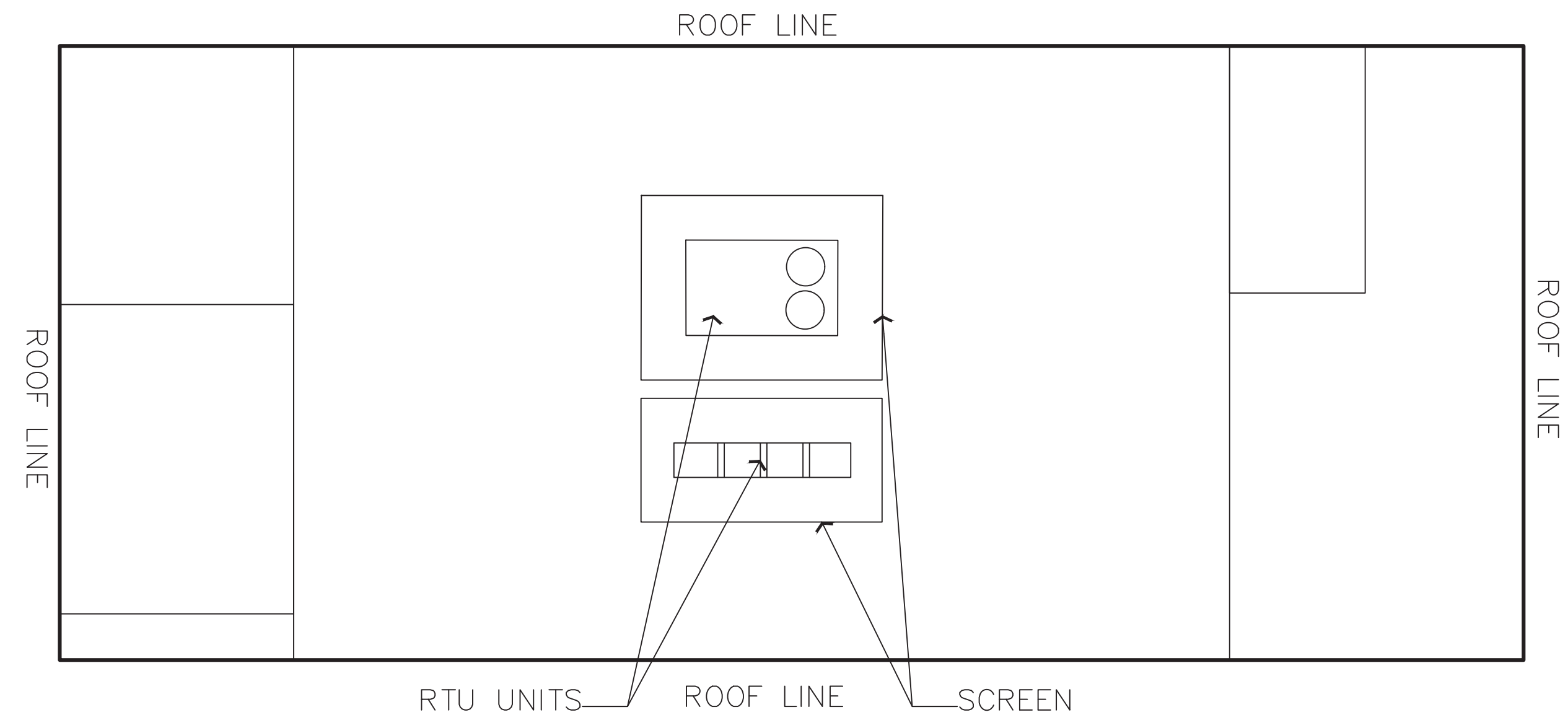
SHEET TITLE
ROOF SCREEN
AND DETAILS

SHEET NO

SEAL

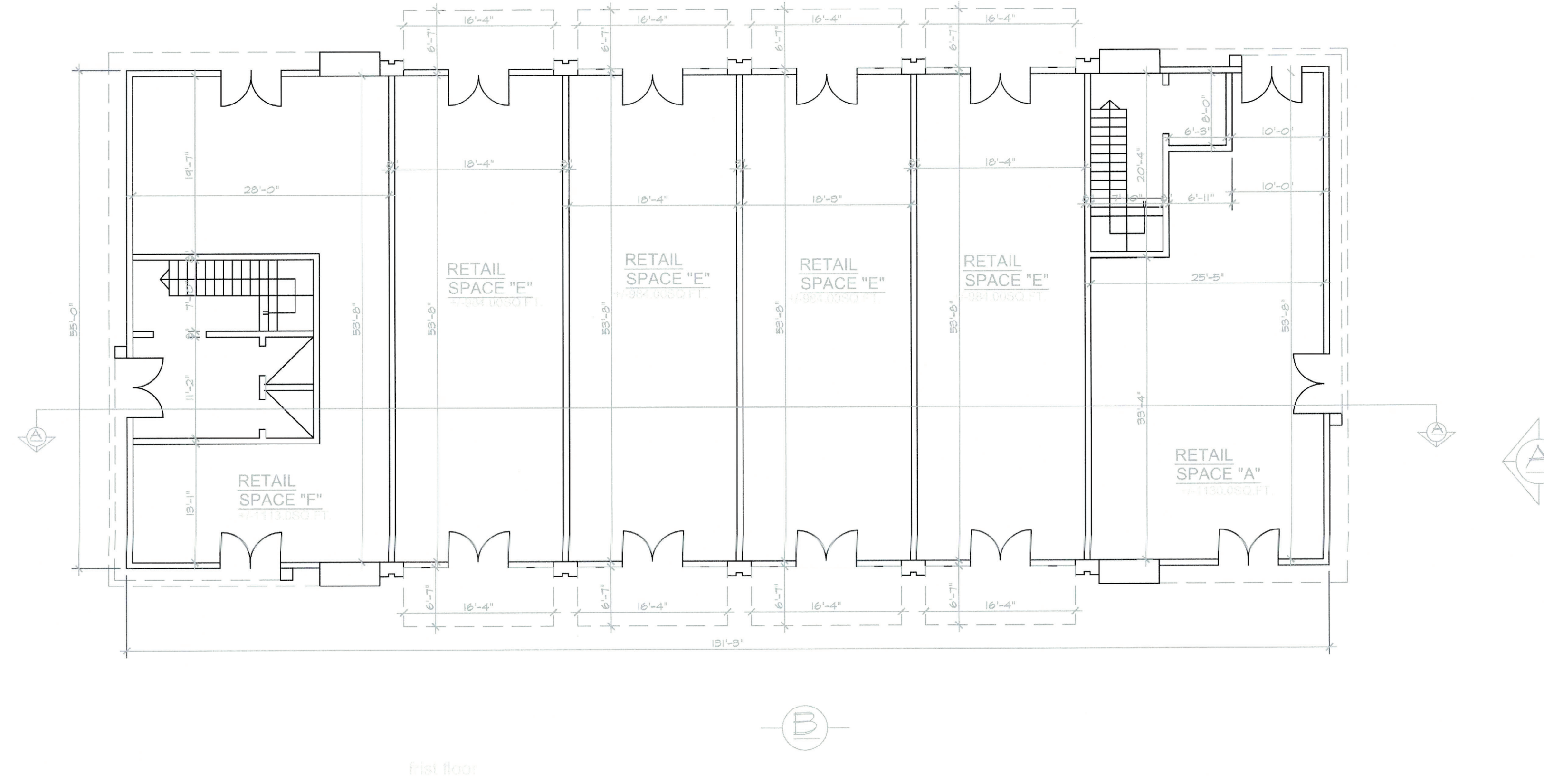


SCREEN DETAILS
SCALE: 3/4"=1'-0"

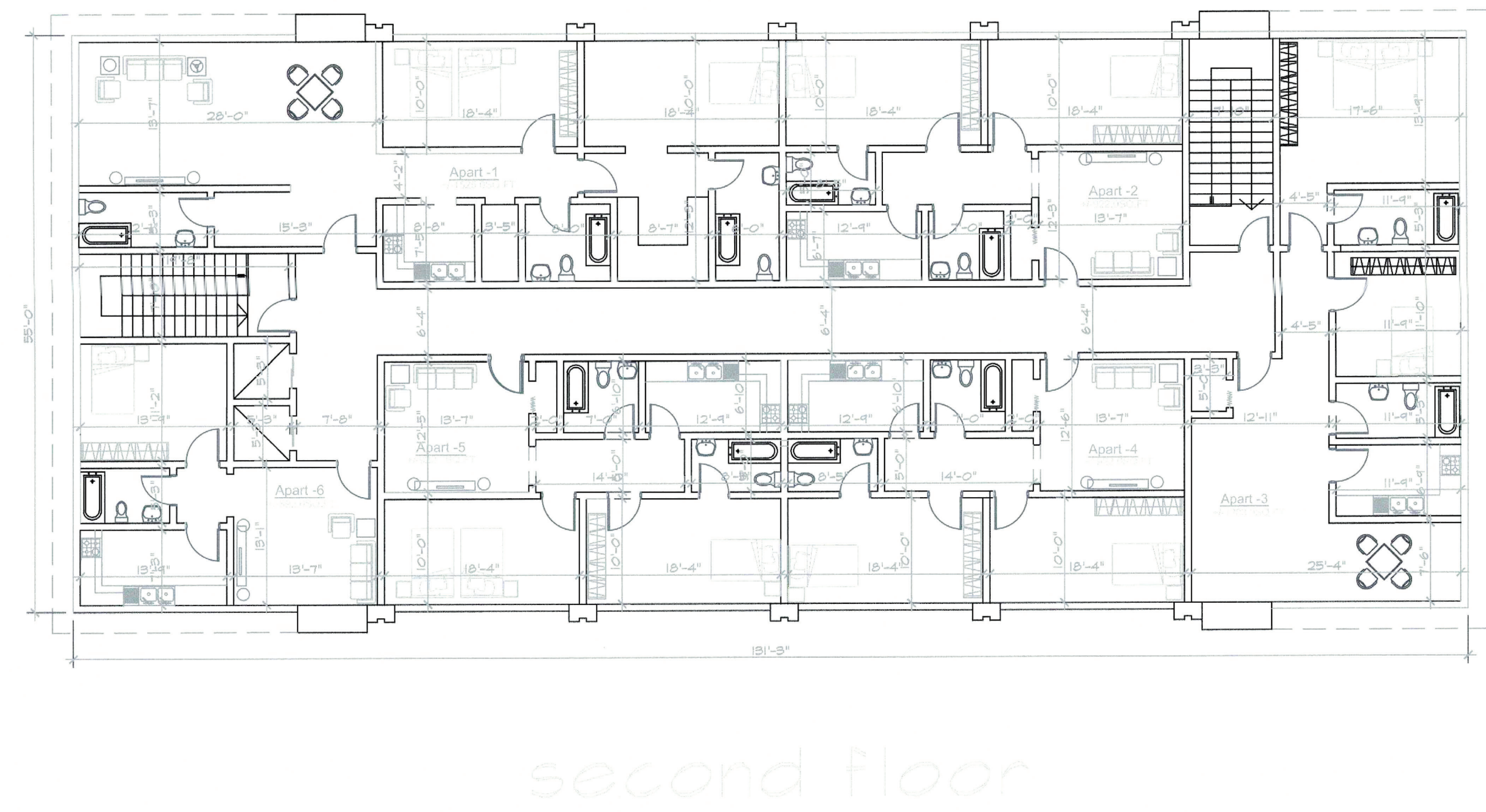


NORTH
ROOF DEVICES SCREENING
SCALE: 1"=20'-0"

BUILDING INFORMATION:
 ZONING B-4 GENERAL BUSINESS DISTRICT
 CONSTRUCTION TYPE IIB NON-SPRINKLED
 USE GROUP
 MIXED USE:



First floor



second floor

PROJECT

LOCATION

RZ
ENGINEERING
LLC

540 VICTORIA
WEST BLOOMFIELD
MI 48322

PHONE: 248-448-1100
 SACHA@RZENGINEERING.COM

DRAWN BY:
RZ

DESIGNED BY:
2023

APPROVED BY:
2023

SUBMITTAL

REVISIONS

PROJECT NO.

DATE

SCALE

AS SHOWN

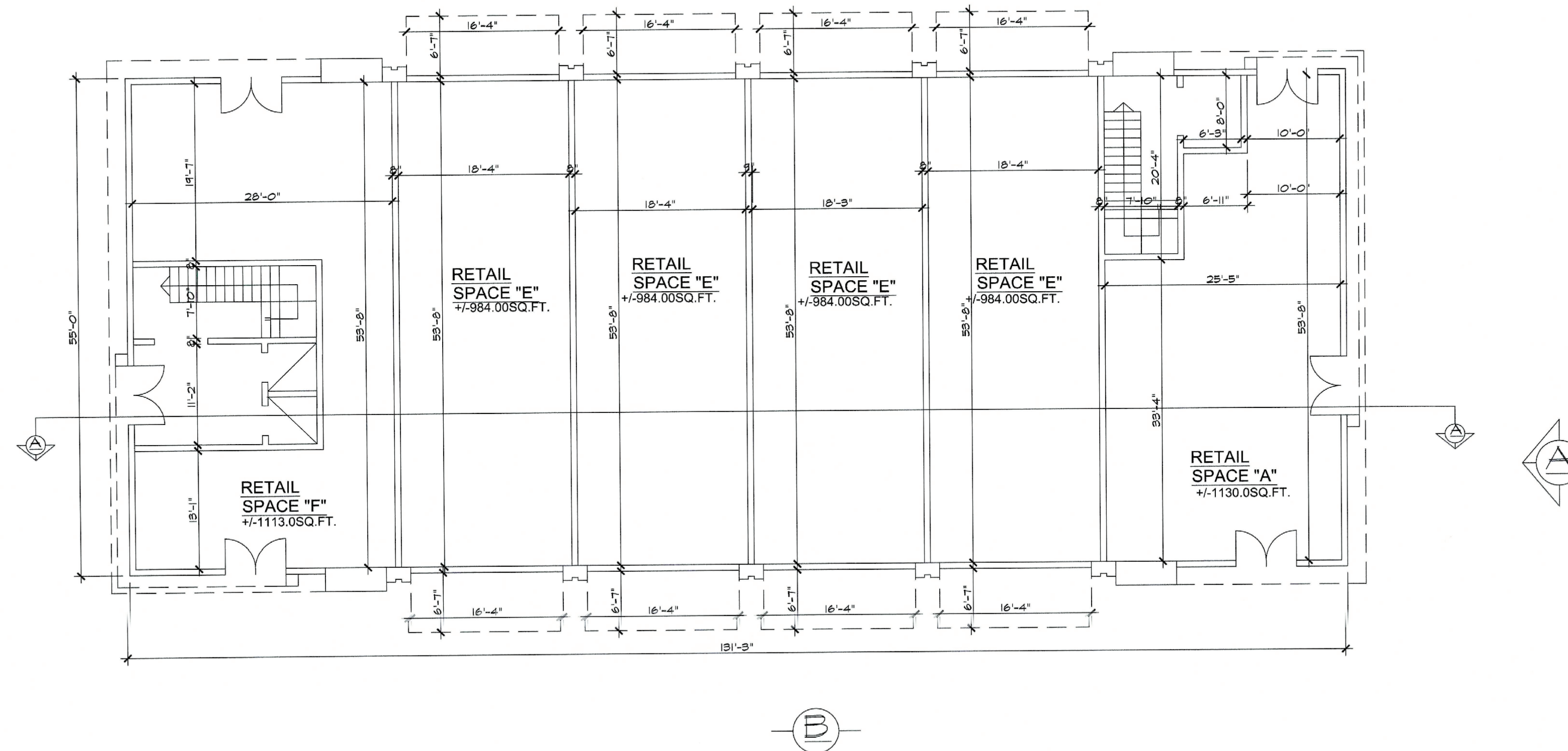
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SHEET NO.

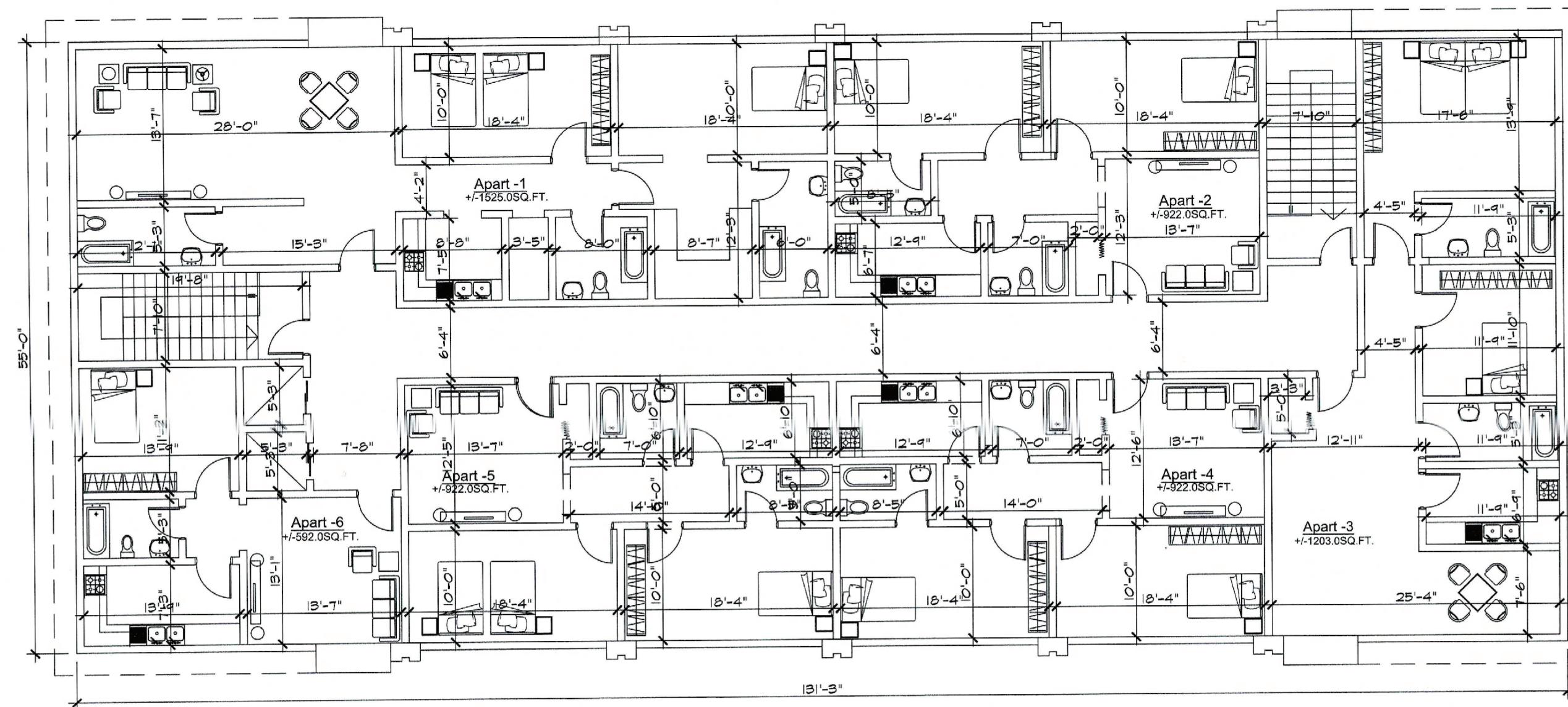
SEAL



BUILDING INFORMATION:
 ZONING B-4 GENERAL BUSINESS DISTRICT
 CONSTRUCTION TYPE IIB NON-SPRINKLED
 USE GROUP
 MIXED USE:



frist floor



second floor

PROJECT:

LOCATION:

RZ
 ENGINEERING
 LLC

5640 VICTORIA DR.,
 WEST BLOOMFIELD,
 MI-48322

P:(248)915-1600
 zachanna@hotmail.com

DRAWN BY:

R.H.

DESIGNED BY:

ZACK

APPROVED BY:

ZACK

SUBMITTAL:

REVISIONS:

PROJECT NO.:

DATE:

SCALE

AS SHOWN

SHEET TITLE

SHEET NO

SEAL





ZENITH DEVELOPMENT
EXTERIOR PHOTOMETRIC PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
BK
Date
02/17/2025
Scale
Not to Scale
Drawing No.
#25-39601



Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
□	A	3	Lithonia Lighting	DSX1 LED P3 40K 80CRI BLC3 EGS	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control External Glare Shield	8511	0.9	102.17
○	B	5	Indy	LC6S 13LM 35K MVOLT W G4 80CRI ZT BAF BL	INDY 6" DIA. 1-LED 1300LM, 35K 80 CRI, GEN4 CYLINDER LENS/LITE W/ BLACK MULTI-GROOVE BAFFLE (BL) AND FROSTED CONVEX GLASS LENS	487	0.9	11.74

D-Series Size 1 LED Area Luminaire

Specifications

EPA: 0.69 ft
Length: 32.11"
Width: 14.24"
Height 1: 7.88"
Height 2: 12.22"
Weight: 14.56 lbs

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

• Lamp package suitable for ceiling heights ranging from 8' to over 30'
• Efficiencies up to 124 lm/w
• Superior quality white LED light output using Osram Best Chip technology
• Patented Hyperbolic Reflector (U.S. Patent No. 7,530,227 B2)
• Low 100% UGR of zero for fixtures aimed at roads with a cutoff equal to or less than 60deg per CEI 112 1995 Document Glass in Interior Lighting

PRODUCT SPECIFICATIONS

Active™ - Ready Product: Select model of the Luminaire product line deliverable color and connectivity to the physical location based options. For more information please refer to www.gasserbush.com/Active.

OPTICS

Hyperbolic Reflector: Patented hyperbolic shape U.S. Patent No. 7,530,227 B2, optimized for omnidirectional LED sources, improves beam efficiency while reducing lamp exposure and unwanted light distribution.

Hyperbolic Glass Lens: Computer optimized profile with frosted convex lens **diffuses** the core provides uniform distribution with no strobing.

White or Black Anodized Deep Polycarbonate Diffuser: Diffuses light with a uniform distribution with no strobing.

Wavelength Conversion: Computer optimized lens with integral wall with kicker and light guide to ensure precise uniform distribution with no strobing.

ELECTRICAL

LED Light Engine: Compact light source delivers uniform distribution without flickering, enabling excellent beam control • 2500K (5000K, white, 2500K) • 90, 90 & 97 CRI • Light engine ready directly to field use and easily replaceable.

Power Factor: Corrected power factor with integral wall with kicker and light guide to ensure precise uniform distribution with no strobing.

LED Driver: From 30W to 250W

Dimmer: Compatible with 0-10V protocol standard • Optional drivers available for use with other dimmer technologies, 2-wire dimmer, DMX, or DALI • For a full list of compatible dimmers, see www.gasserbush.com

Energy Star: Rated for 60,000 hours or 70% Lifetime maintenance

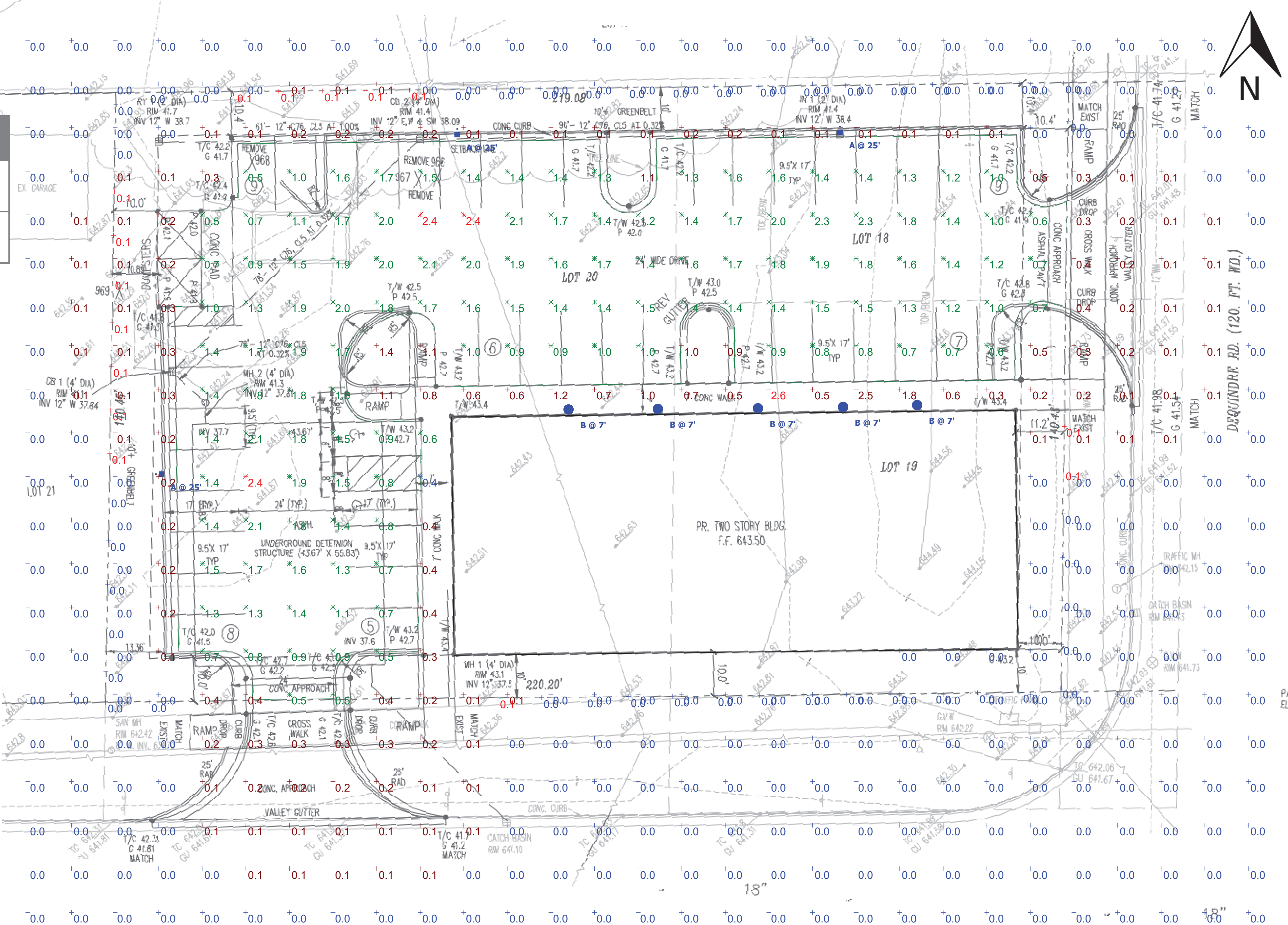
Emergency Backup Power (Optional): Provides a minimum of 600 (90) or 1200 (97) minutes of backup operation of 70% runtime • Recharge required, field installed • 88 option in CEC Title 20 compliant

ORDERING INFORMATION **Color Options** **Example Includes** **Finish** **Mounting**

Series	Color	Color Temperature	CRI	Beam Spread	Mounting	Finish
DSX1	White	4000K	80	100°	Surface Mount	White
DSX1	White	4000K	80	100°	Pendant Mount	White
DSX1	White	4000K	80	100°	Wall Mount	White
DSX1	White	4000K	80	100°	Cable Mount	White

ORDERING INFORMATION **Color Options** **Example Includes** **Finish** **Mounting**

Series	Color	Color Temperature	CRI	Beam Spread	Mounting	Finish
DSX1	White	4000K	80	100°	Surface Mount	White
DSX1	White	4000K	80	100°	Pendant Mount	White
DSX1	White	4000K	80	100°	Wall Mount	White
DSX1	White	4000K	80	100°	Cable Mount	White



Plan View
Scale - 1" = 14ft

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE & 5' AT PROPERTY LINE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

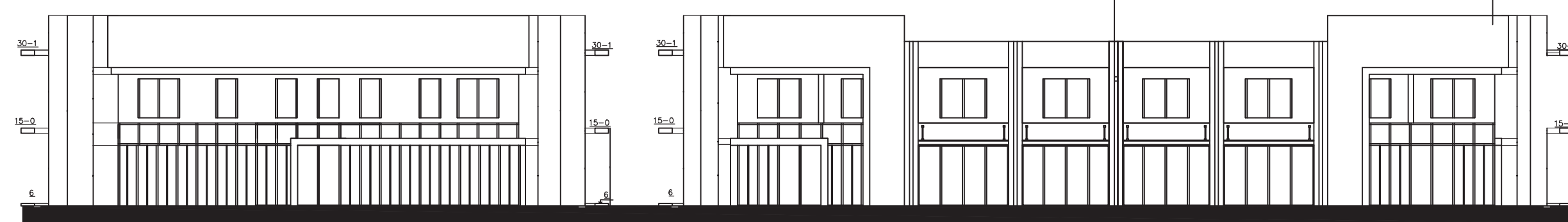
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.4 fc	2.6 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	X	1.4 fc	2.4 fc	0.4 fc	6.0:1	3.5:1
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

BUILDING INFORMATION:
 ZONING B-4 GENERAL BUSINESS DISTRICT
 CONSTRUCTION TYPE IIB NON-SPRINKLED
 USE GROUP
 MIXED USE:
 B- BUSINESS
 M- MERCHANT RETAIL
 SITE AREA
 7200 FT2
 NO ADDITION REQUIRED
 NO CHANGE ON SITE

Calcs:
 Wall Area=1712 sq ft
 Window Area=1190 sq ft
 Glazing ratio=69%

Calcs:
 Wall Area=3200 sq ft
 Window Area=1660 sq ft
 Glazing ratio=51%



elevation A

elevation B

DEFERRED SUBMITTAL
 NO DEFERRED SUBMITTAL
 OCCUPANCY OF TOTAL BUILDING:
 NO CHANGES TO EXISTING BUILDING
 OCCUPANCY
 APPLICABLE CODES
 XXXX
 OWNER INFORMATION
 SRN PROPERTY INVESTMENT

Calcs:
 Wall Area=3200 sq ft
 Window Area=1660 sq ft
 Glazing ratio=51%

Calcs:
 Wall Area=1712 sq ft
 Window Area=1190 sq ft
 Glazing ratio=69%



elevation C

elevation D

PROJECT:

LOCATION:

RZ
 ENGINEERING
 LLC
 2485 VICTORIA DR.
 WEST BLOOMFIELD
 MI 48322
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REVISIONS:

PROJECT NO.:

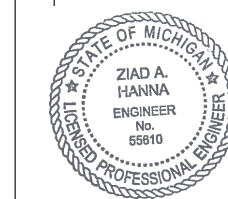
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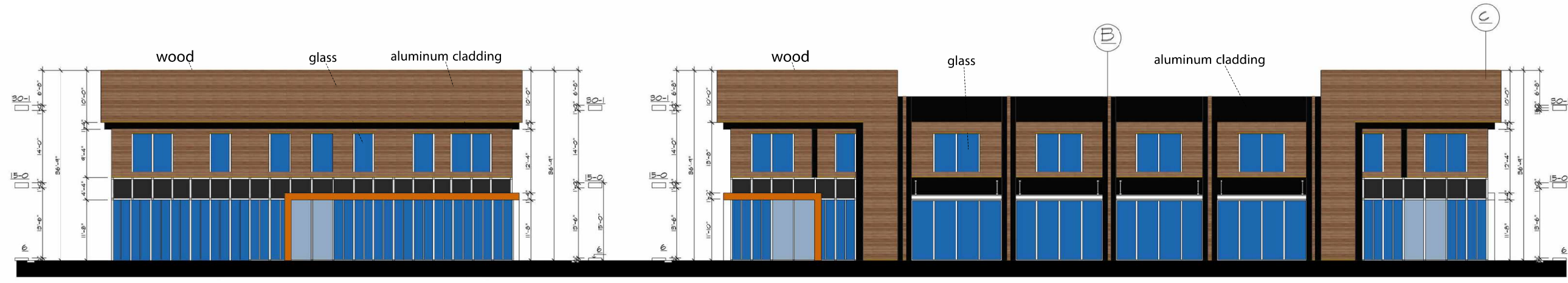
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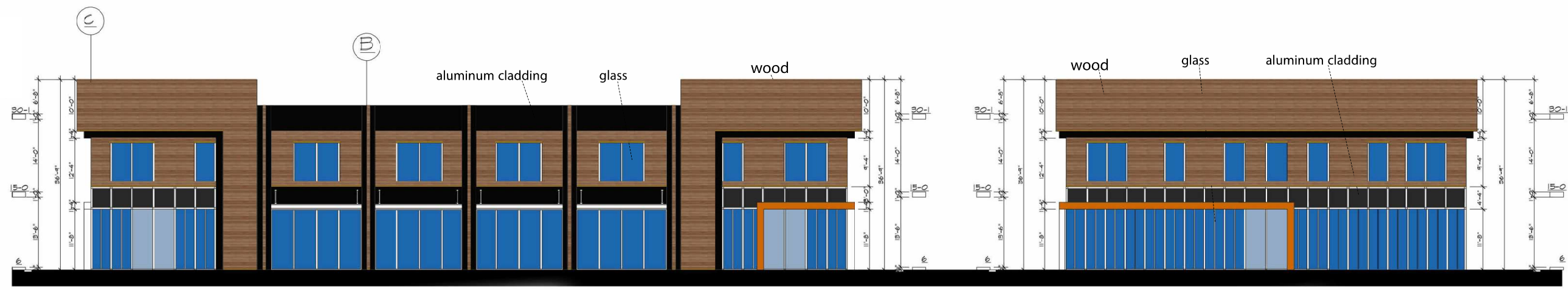
SEAL:





West elevation

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south elevation

Est elevation

PROJECT:

LOCATION:

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DRAWN BY:
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DESIGNED BY:
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APPROVED BY
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SUBMITTAL:

REVISIONS:

PROJECT NO.:
DATE:
SCALE
AS SHOWN
SHEET TITLE

SHEET NO

SEAL

WETLAND DELINEATION

Property Located in Section 12, T2N, R11E, Troy Michigan, Oakland County,
Michigan.

Prepared By:



StreamsideEco

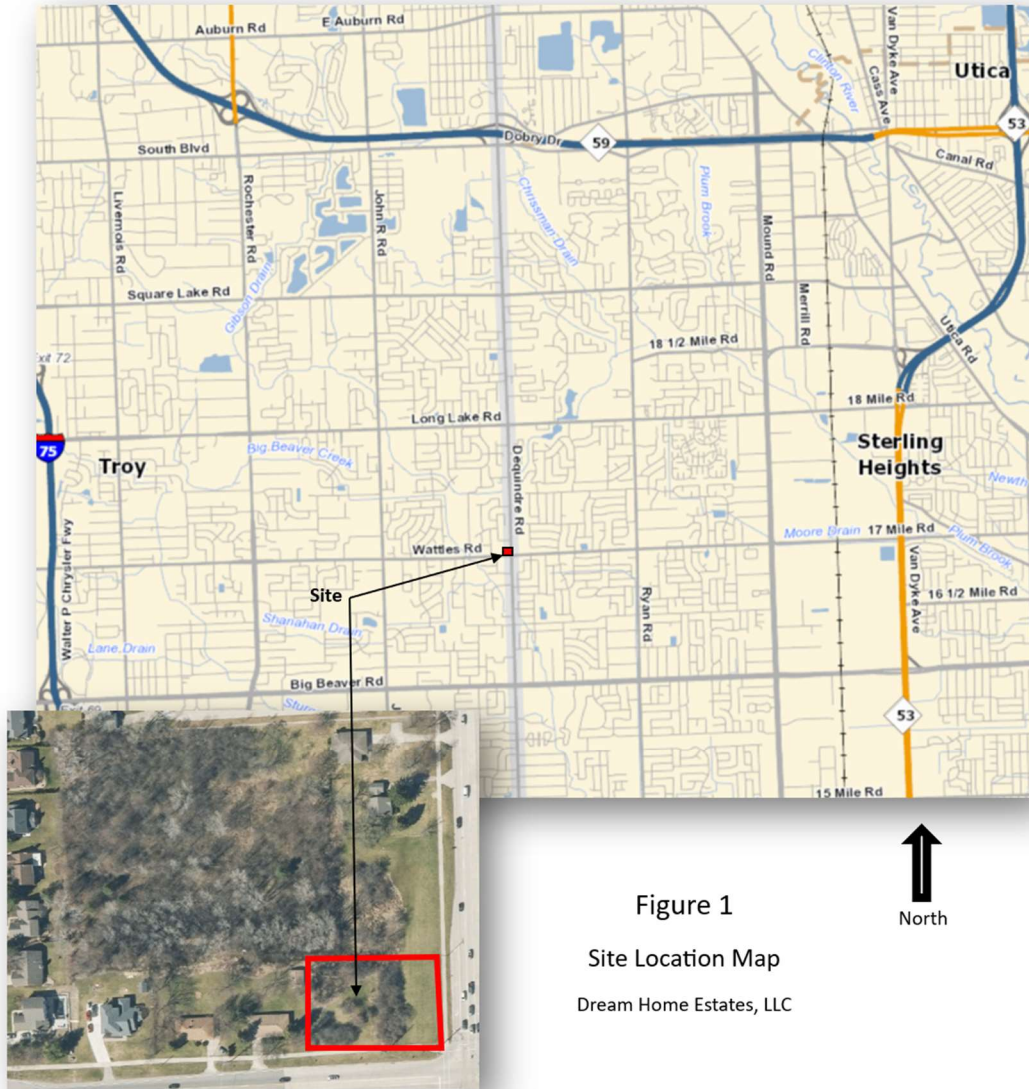
Prepared For:



December 10, 2024

Introduction

StreamsideEco, LLC (SECO) conducted a wetland delineation within property located near the northwest corner of the intersection of Wattles and Dequindre Roads, in the City of Troy, Oakland County, Michigan (**Figure 1**). The delineation was performed at the request of Mr. Zack Hanna of Dream Home Estates, LLC. The purpose of this work was to identify the extent, location and regulatory status of wetlands within the property.



Methods

On December 9, 2024, SECO conducted a wetland review and delineation pursuant to statutory language and Rules of Part 303, Wetland Protection, of the Natural Resources and Environmental Protection Act (NREPA), 1994 P.A. 451, as amended. As required, specific methodology followed that set forth in the

1987 U.S. Army Corps of Engineers Wetland Delineation Manual including the Northcentral and Northeast Regional Supplement. The wetland/upland interface was flagged in the field with survey ribbon and sequentially lettered and numbered. We recommend the wetland boundary be surveyed by a licensed surveyor if required. Although the delineation was conducted outside the growing season, the wetland/upland interface was well vegetated and visible, and soils were readable accessible.

Results and Discussion

One wetland was delineated using flag numbers/letter A1 – A16 (**Figure 2**). The wetland does continue off site to the north and west however, it is our opinion that the wetlands are not regulated under Part 303 of NREPA (See Wetland Regulation Section).



Figure 2
Wetland Delineation Map
Dream Home Estates, LLC



The wetland consists of forested wetland with wet meadow openings dominated by reed canary grass (*Phalaris arundinacea*) and Purple loostrife (*Lythrum salicaria*). Evidence of hydrology was visible on site including water-stained leaves, hummocked ground surface, and bare soil patches. Soils within the wetland were gleyed (10YR 5/1) with mottling (10YR 5/6) while upland soils were distinctly brighter (10YR 6/3) and mixed with what appears to be historic fill.



Plant species noted near the upland/wetland interface are listed below. Department of Environment, Great Lakes and Energy (EGLE) wetland data sheets can be made available upon request.

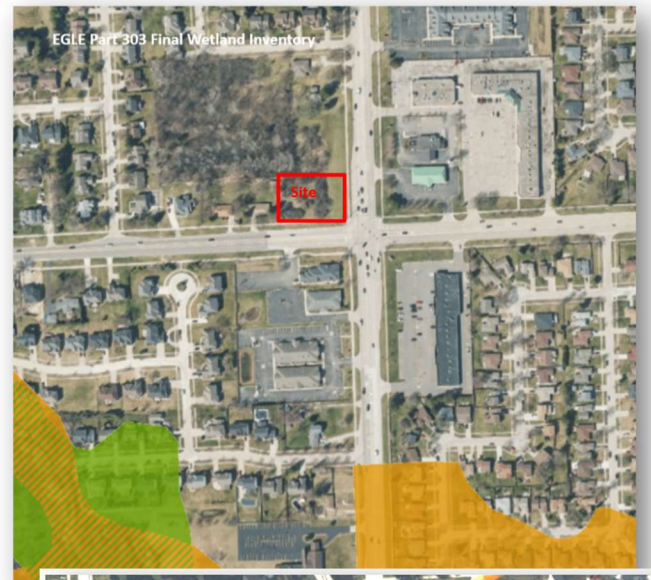


	Scientific Name	Common Name	Wet Rating
Wetland Side of Boundary	<i>Acer saccharinum</i>	Silver Maple	FACW
	<i>Apocynum cannabinum</i>	Indian Hemp	FAC
	<i>Bidens frondosa</i>	Beggartick	FACW
	<i>Cornus amomum</i>	Silky Dogwood	FACW
	<i>Cornus racemosa</i>	Gray Dogwood	FAC
	<i>Cornus sericea</i>	Red Osier Dogwood	FACW
	<i>Fraxinus pennsylvanica</i>	Green Ash	FACW
	<i>Lythrum salicaria</i>	Purple Loostrife	OBL
	<i>Phalaris arundinacea</i>	Reed Canarygrass	FACW
	<i>Populus deltoides</i>	Eastern Cottonwood	FAC
	<i>Quercus bicolor</i>	Swamp White Oak	FACW
	<i>Rhamnus cathartica</i>	Common Buckthorn	FAC
	<i>Solidago gigantea</i>	Smooth Goldenrod	FACW
	<i>Ulmus americana</i>	American Elm	FACW
Upland Side of Boundary	<i>Daucus carota</i>	Queen Ann's Lace	UPL
	<i>Elymus repens</i>	Quack Grass	FACU
	NA	Turf Grass	NA
	<i>Rhamnus cathartica</i>	Common Buckthorn	FAC
	<i>Rosa multiflora</i>	Multiflora Rose	FACU
	<i>Solidago altissima</i>	Canada Goldenrod	FACU
	<i>Taraxacum officinale</i>	Dandelion	FACU
<i>Trifolium pratense</i>	Red Clover	FACU	

Wetland Regulation

Wetlands in Michigan are regulated by EGLE under Part 303 of NREPA if they are greater than five acres in size. Wetlands are also regulated by the state, regardless of size, if they are: contiguous to, within 500 feet of, or have a surface water connection to an inland lake, stream, or pond or; are within 1,000 feet of a Great Lake or Great Lake Connecting Waters. Based on our review, it is our opinion that wetland delineated is not regulated by the State because it is less than 5 acres in size and is not contiguous to an inland lake, pond or stream, and there is no evidence of a surface water connection to an inland lake, pond or stream.

While not all land surrounding the site was inspected, viewing surrounding areas from public access points, inventory maps, and aerial photography were used to determine the regulatory status of the wetlands. EGLE’s Final Part 303 Wetland Inventory and the Oakland County Soil Survey do not show wetlands or wetland soils on the site. In addition, the outline of the entire forested/wet meadow undeveloped area, on and off site, was found to be less than 5 acres of land (some of which is upland). Therefore, it is our opinion the wetlands are not regulated under Part 303 of NREPA.



Numerous natural environmental factors and human induced changes may cause changes in the extent of wetland on a parcel over a period of time. The water resources identified on the property represents SECO's opinion on what EGLE would consider to be regulated wetland based on the condition of the site at the time of inspection and recent regulatory policies and attitudes.