



500 West Big Beaver  
Troy, MI 48084  
troymi.gov

248.524.3364  
planning@troymi.gov

## **PLANNING COMMISSION MEETING AGENDA REGULAR MEETING**

Marianna Perakis, Chair, Lakshmi Malalahalli, Vice Chair  
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,  
Dave Lambert and John J. Tagle

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**April 22, 2025**

**7:00 P.M.**

**Council Chambers**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – April 8, 2025
4. PUBLIC COMMENT – For Items Not on the Agenda

### **PLANNED UNIT DEVELOPMENT**

5. PUBLIC HEARING - PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

### **PRELIMINARY SITE PLAN APPROVAL**

6. PRELIMINARY SITE PLAN (JPLN2025-0009) – Proposed Bose Hub Office & Engineering, South of Big Beaver, East of Troy Center (755 W. Big Beaver; PIN 88-20-28-101-074), Section 28, Presently zoned BB (Big Beaver) Zoning District.

### **OTHER ITEMS**

7. PUBLIC COMMENT – For Items on the Agenda
8. PLANNING COMMISSION COMMENT
9. ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:01 p.m. on April 8, 2025, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure for tonight's meeting.

1. ROLL CALL

Present:

Toby Buechner  
Tyler Fox  
Michael W. Hutson  
Tom Krent  
David Lambert  
Lakshmi Malalahalli  
Marianna Perakis  
John J. Tagle

Absent:

Carlton M. Faison

Also Present:

Ben Carlisle, Carlisle Wortman & Associates  
R. Brent Savidant, Community Development Director  
Julie Quinlan Dufrane, Assistant City Attorney  
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2025-04-020**

Moved by: Fox  
Support by: Tagle

**RESOLVED**, To approve the agenda as prepared.

Yes: All present (8)  
Absent: Faison

**MOTION CARRIED**

3. APPROVAL OF MINUTES – March 11, 2025

**Resolution # PC-2025-04-021**

Moved by: Lambert  
Support by: Hutson

**RESOLVED**, To approve the minutes of March 11, 2025 Regular meeting as submitted.

Yes: All present (8)  
Absent: Faison

**MOTION CARRIED**



4. PUBLIC COMMENT – For Items Not on the Agenda

Deborah Louzecky, 6327 Donaldson; addressed Facebook group *Save Troy Corners*.

**PLANNED UNIT DEVELOPMENT**

5. PUBLIC HEARING - PLANNED UNIT DEVELOPMENT - (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 and 88-20-19-430-004), Section 19, Presently Zoned PUD (Planned Unit Development) Zoning District

Mr. Savidant said both the administration and the applicant determined it would be in the best interest to postpone the Public Hearing to the April 22, 2025 Regular meeting. He said there will be no presentation, deliberation or discussion on the item this evening.

Chair Perakis opened the Public Hearing.

**PUBLIC HEARING OPENED**

- Mary Ellen Barden, 2105 Babcock; addressed concerns with increase in foot traffic; unsightly view of dumpsters, meters and trash; noise and light pollution; inadequacy of 100-foot easement; and neglect by current owner to maintain property. She asked for a fence around the property and a beautiful view that mirrors Somerset Mall and the U of M building.

Chair Perakis closed the floor for public comment.

Chair Perakis asked the record to reflect that the administration received thirteen emails in support of the application.

**Resolution # PC-2025-04-022**

Moved by: Fox

Support by: Lambert

**RESOLVED**, That the Public Hearing for Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 and 88-20-19-430-004), Section 19, presently Zoned PUD (Planned Unit Development) Zoning District, be **POSTPONED** to April 22, 2025.

Yes: All present (8)

Absent: Faison

**MOTION CARRIED**

## **CONDITIONAL REZONING**

6. CONDITIONAL REZONING APPLICATION (JPCR2025-001) – Proposed Village of Hastings, East side of Livernois, North of Square Lake, PIN 88-20-03-301-088, -023, -024, -025 and 88-20-03-351-004, Section 3, Presently Zoned NN (Neighborhood Node “Q”) and R-1B (One Family Residential) Zoning Districts

Mr. Carlisle gave a brief review of the Conditional Rezoning application for the proposed Village of Hastings since last reviewed at the February 25, 2025 Planning Commission meeting. Mr. Carlisle asked the Board in its deliberation to consider if the application complies with the Master Plan, and if the application meets the Conditional Rezoning Standards and Site Plan Review Design Standards. Mr. Carlisle said any recommendation for approval should be subject to the design considerations as identified in his report dated April 1, 2025.

Mr. Abitheira addressed elevations, building materials and voluntary conditions upon approval. Mr. Abitheira said he plans to put the three existing homes that are currently rental homes on the market.

There was discussion on the three existing homes.

- Zoning classification of homes as relates to the application.
- Renovations; exterior improvements only, interior in good condition, home inspection.
- Sale of homes.
- Consideration by applicant to add porches.

Mr. Abitheira offered to condition approval on placing deed restrictions on the existing homes that state the homes cannot be torn down for fifteen (15) years.

Chair Perakis opened the floor for public comment.

- Jeff Williams, 159 Telford; spoke on behalf of the Telford Ridge Homeowners Association and addressed the HOA letter of support dated April 8, 2025. He asked for clarification on the brick veneer and horizontal lap siding building materials.
- Matthew Gebara, 5305 Collington; addressed housing variety, livability and walkability of proposed development.
- Deborah Louzecky, 6327 Donaldson; thanked Mr. Abitheira for collaborating with the neighbors. Ms. Louzecky addressed concerns expressed by residents on the west side of Livernois with the future widening of Livernois.
- Leasa Williams, 159 Telford; addressed traffic concerns, layout of patios on duplexes.

Chair Perakis closed the floor for public comment.

Mr. Savident said the City Engineer and City Traffic Consultant are cognizant of the neighbors' concerns with potential road improvements.

Moved by: Fox  
Support by: Malalahalli

**Resolution # PC-2025-04-**

**RESOLVED**, That the Planning Commission hereby recommends to the City Council that the NN and R-1B to RT Conditional Rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the east side of Livernois and north of Square Lake (PIN 88-20-03-301-088, -023, -024, -025 and 88-20-03-351-004), within Section 3, being approximately 5 acres in size, be **GRANTED**, subject to the following site plan design considerations:

1. Provide a Conditional Rezoning Agreement to be reviewed by the City Attorney.
2. Provide an updated photometric plan to satisfy City staff for approval.
3. As applicant voluntarily offered during this meeting, provide fifteen (15) year deed restriction(s) on existing three homes.

**Discussion on the motion on the floor.**

There was discussion on:

- Modification to Resolution to include reasons for granting approval; accepted by both maker and support of Resolution.
- Proposed landscaping; extensive as shown on plan to protect existing homes.
- Building materials; applicant confirmed brick, LPL siding, no vinyl.
- Conditions of support cited in Telford Ridge Homeowners Association communication.
- City Attorney review of Conditional Rezoning Agreement prior to the City Council consideration.
- Applicant's word not to extend development beyond subject application.

**Vote on the motion on the floor, as modified.**

**Resolution # PC-2025-04-023**

**RESOLVED**, That the Planning Commission hereby recommends to the City Council that the NN and R-1B to RT Conditional Rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the east side of Livernois and north of Square Lake (PIN 88-20-03-301-088, -023, -024, -025 and 88-20-03-351-004), within Section 3, being approximately 5 acres in size, be **GRANTED**, for the following reasons:

1. The request complies with the Master Plan.
2. The rezoning would permit greater flexibility in use and development of the property.
3. The conditions offered by the applicant reasonably protect the adjacent properties.
4. The rezoning would be compatible with surrounding zoning and land use.
5. The site can be adequately served with municipal water and sewer.

***BE IT FURTHER RESOLVED***, That the Planning Commission recommends the following site plan design considerations:

1. Provide a Conditional Rezoning Agreement to be reviewed by the City Attorney.
2. Provide an updated photometric plan to satisfy City staff for approval.
3. As applicant voluntarily offered during this meeting, provide fifteen (15) year deed restriction(s) on existing three homes.

Yes: All present (8)

Absent: Faison

**MOTION CARRIED**

**OTHER ITEMS**

7. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

There were general comments among the members.

Mr. Savidant announced there is a joint meeting of the City Council and the Planning Commission on Monday, April 28, at 6 p.m. (dinner at 5 p.m.) at the Troy Library to discuss a conceptual new Troy Library. The meeting is open to the public.

9. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 8:03 p.m.

Respectfully submitted,

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Marianna J. Perakis, Chair

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Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Planning Commission Minutes/2025/2025 04 08 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Planning%20Commission%20Minutes/2025/2025%2004%2008%20Draft.docx)

**ITEM #5**

DATE: April 17, 2025

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING - PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

The applicant Forbes Frankel Troy Ventures LLC seeks Conceptual Development Plan (CDP) approval and Preliminary Development Plan approval for Phase 1A for Somerset West Planned Unit Development (PUD). The project features a mixed-use project including up to 750 residential units, 500,000 square feet of office, 300,000 square feet of retail, a 250-room hotel and associated amenities and open space.

The project was introduced to the Planning Commission on September 10, 2024. A public hearing was originally scheduled for April 8, 2025 and postponed at the request of the applicant.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

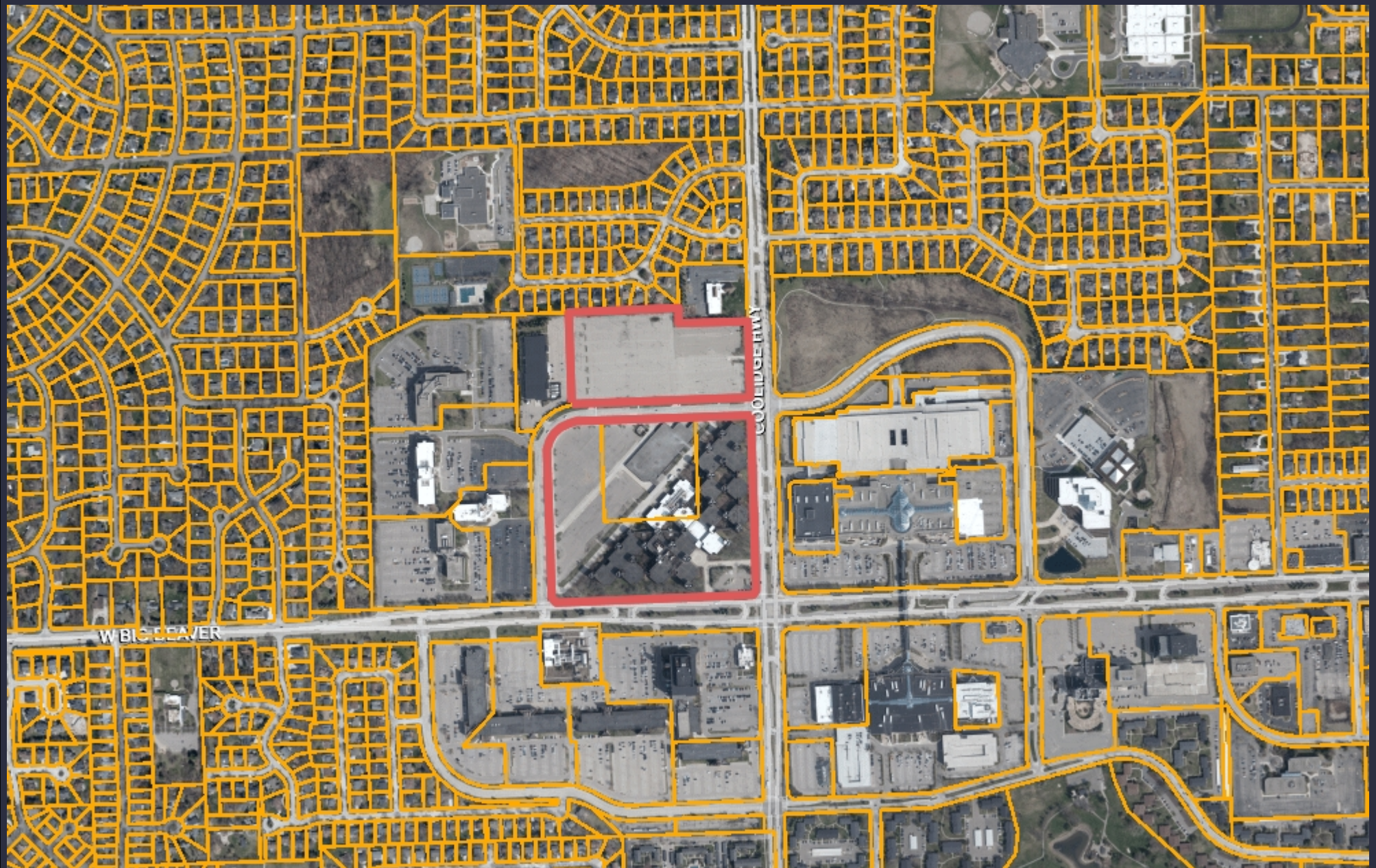
Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Concept Development Plan/Preliminary Development Plan (Phase 1A)
4. PUD Agreement (draft)
5. Public comment





# GIS Online

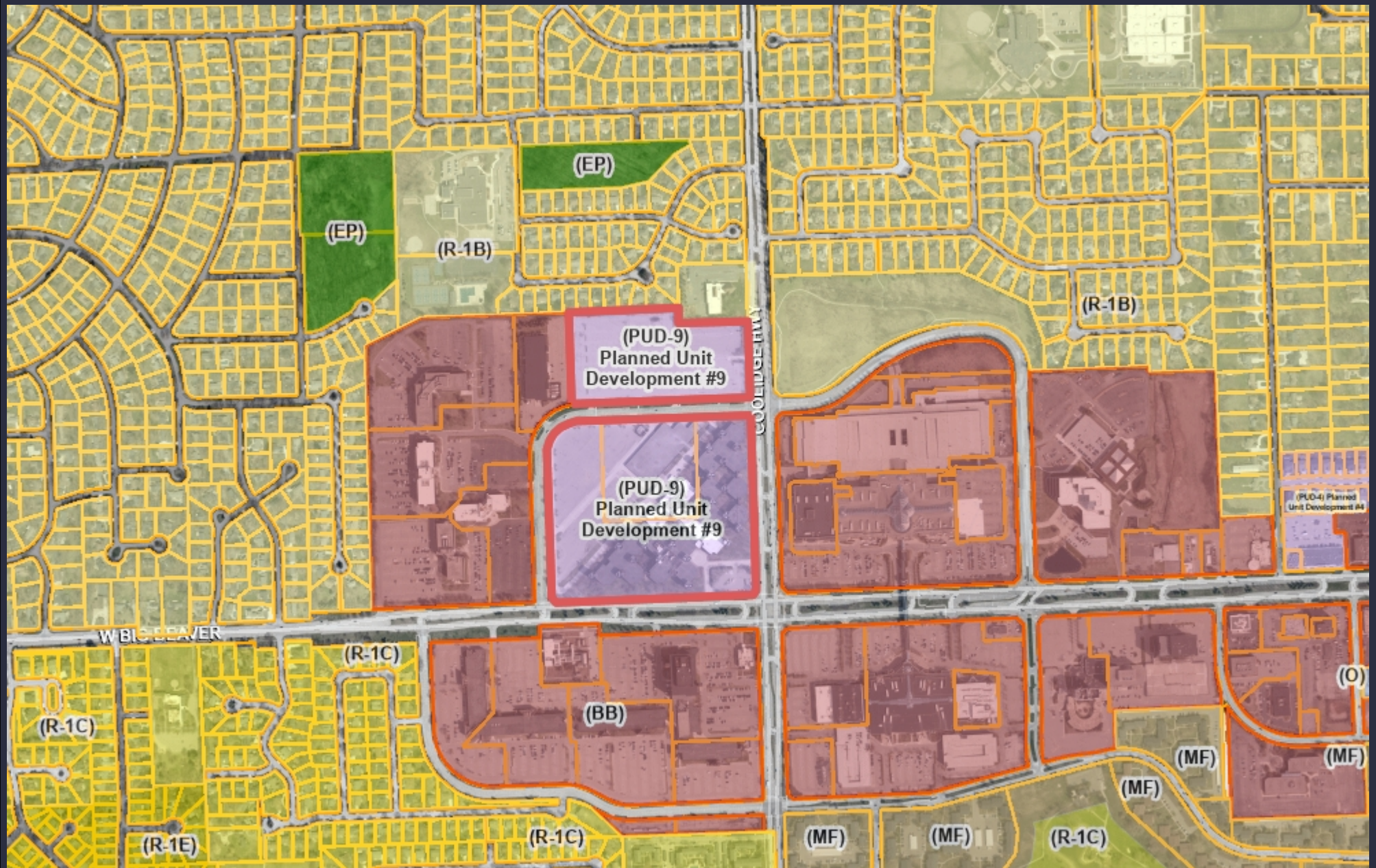


2,076 0 1,038 2,076Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.





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Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.





**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 15, 2025

**Planned Unit Development Concept Review and  
Preliminary Development Plan for Phase 1  
For  
City of Troy, Michigan**

|                          |   |
|--------------------------|---|
| <b>Project Name:</b>     | Somerset West Planned Unit Development  |
| <b>Plan Date:</b>        | March 7, 2025   |
| <b>Location:</b>         | 3100 W Big Beaver (parcels 88-20-19-476-001 & 88-20-19-430-004)   |
| <b>Current Zoning:</b>   | Planned Unit Development (PUD)  |
| <b>Action Requested:</b> | Recommendation for Planned Unit Development (PUD) Concept Plan and Preliminary Development Plan for Phase 1 |

**PROJECT AND SITE DESCRIPTION**

A Concept Development Plan (CDP) application has been submitted for the redevelopment of an existing Planned Unit Development (PUD) site. Often referred to as the “Former K-Mark Headquarters,” the subject site is located at the northwest corner of Big Beaver and Coolidge Hwy.

The proposed project, referred to as “Somerset West,” is a mixed-use development that will offer a variety of uses from the residential, commercial, and office use categories. At the center of the site will be a University of Michigan healthcare facility. The remaining portion of the site includes a mix of uses including multiple-family residential, restaurants, office space, and retail centers.

The site contains two (2) parcels on either side of Cunningham Drive. The applicant proposes to develop in a series of four (4) phases. Most of the first three (3) phases will occur south of Cunningham Drive, and the fourth phase will occur north of Cunningham Drive.

Under Michigan State Law, the University of Michigan is considered a “Constitutional Corporation.” As such, any University of Michigan owned parcel is property tax exempt, as well as exempt from any City Zoning and Building Code requirements. Since the last Planning Commission review the Constitutional Corporation has acquired additional property. However, the applicant has not clarified in the Concept Plan submittal which portions of the site will be purchased by the Constitutional Corporation and has not clarified if additional property will be sold to the Constitutional Corporation.

In addition to review of the Concept Plan, the applicant is seeking a recommendation for the Preliminary Development Plan (preliminary site plan) for Phase 1A. Phase 1A allows the applicant to grade the site, install the private roads, and underground utilities. Outside of lots/parcels designed for Constitutional Corporation use, each individual lot/parcel would come in for Preliminary Development Plan approval.

The Planning Commission is a recommending body on the Concept Development Plan and Phase 1A Preliminary Development Plan.

**Figure 1. Location of Subject Site.**



Proposed Use of Subject Parcel:  
Mixed Use Development

Current Zoning:  
Planned Unit Development (PUD)

Size of Subject Site:  
South of Cunningham: Approximately 12 acres  
North of Cunningham: Approximately 28 acres

Surrounding Property Details:

| Direction | Zoning | Use |
|-----------|--------|-----|
|-----------|--------|-----|

|       |  |   |
|-------|--|---|
| North | R-1B, One-family Residential                   | Single-family homes<br>Somerset Academy Preschool                             |
| South | BB, Big Beaver                                 | Ocean Prime Restaurant<br>Troy Place Business Center<br>The Kresge Foundation |
| East  | R-1B, One-family Residential<br>BB, Big Beaver | Undeveloped land<br>Somerset Mall   |
| West  | BB, Big Beaver                                 | Sheffield Office Park Business Center   |

## PUD PROCESS

A Planned Unit Development project is viewed as an integrated development concept. To that end, the provisions of this Article are not intended to be used as a device for avoiding the zoning requirements that would otherwise apply, but rather to allow flexibility and mixture of uses, and to improve the design, character and quality of new development. The use of a Planned Unit Development to permit variations from other requirements of this Ordinance shall only be approved when such approval results in improvements to the public health, safety and welfare in the area affected, and in accordance with the intent of this Article.

The approval of a Planned Unit Development (PUD) is a three-step process:

**Step 1-Concept Plan:** *The first step shall be application for and approval of a Concept Development Plan, which requires a legislative enactment amending the zoning district map so as to reclassify the property as a Planned Unit Development. A proposed Development Agreement shall be included and incorporated with the Concept Development Plan, to be agreed upon and approved coincident with said Plan. The Concept Development Plan and Development Agreement shall be approved by the City Council following the recommendation of the Planning Commission. Such action, if and when approved, shall confer upon the applicant approval of the Concept Development Plan and shall rezone the property to PUD in accordance with the terms and conditions of the Concept Development Plan approval.*

**Step 2- Preliminary Development Plan Approval:** *The second step of the review and approval process shall be the application for and approval of a Preliminary Development Plan (preliminary site plan) for the entire project, or for any one or more phases of the project. City Council shall have the final authority to approve and grant Preliminary Development Plan approvals, following a recommendation by the Planning Commission.*

**Step 3- Final Development Plan Approval:** *The third step of the review and approval process shall be the review and approval of a Final Development Plan (final site plan) for the entire project, or for any one or more phases of the project, and the issuance of building permits. Final Development Plans for Planned Unit Developments shall be submitted to the Zoning Administrator for administrative review, and the Zoning Administrator, with the recommendation of other appropriate City Departments, shall have final authority for approval of such Final Development Plans.*

The applicant is currently seeking a recommendation of approval for their Concept Plan and Preliminary Development Plan (preliminary site plan) for Phase 1A.

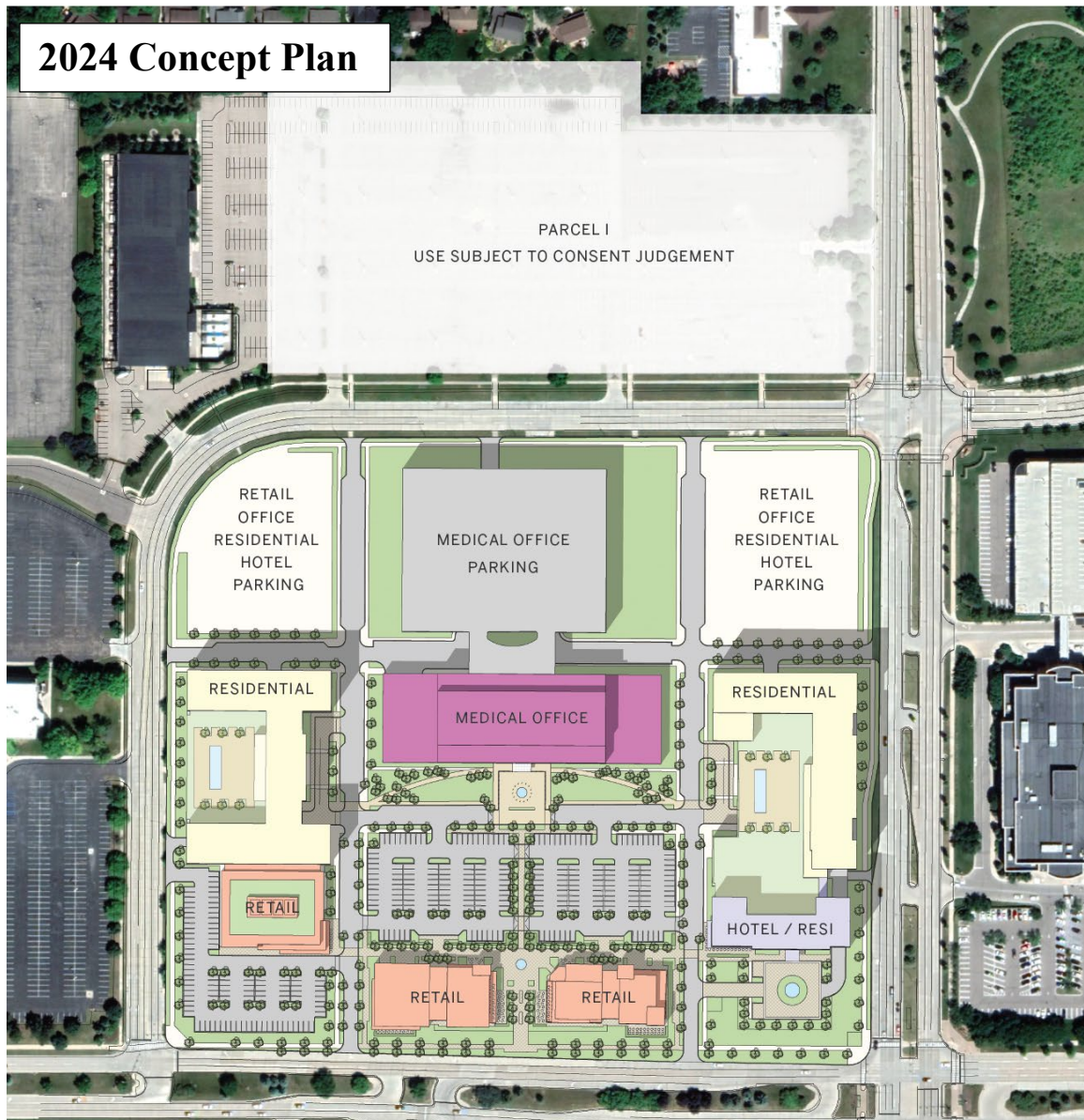
## **PUD INTENT**

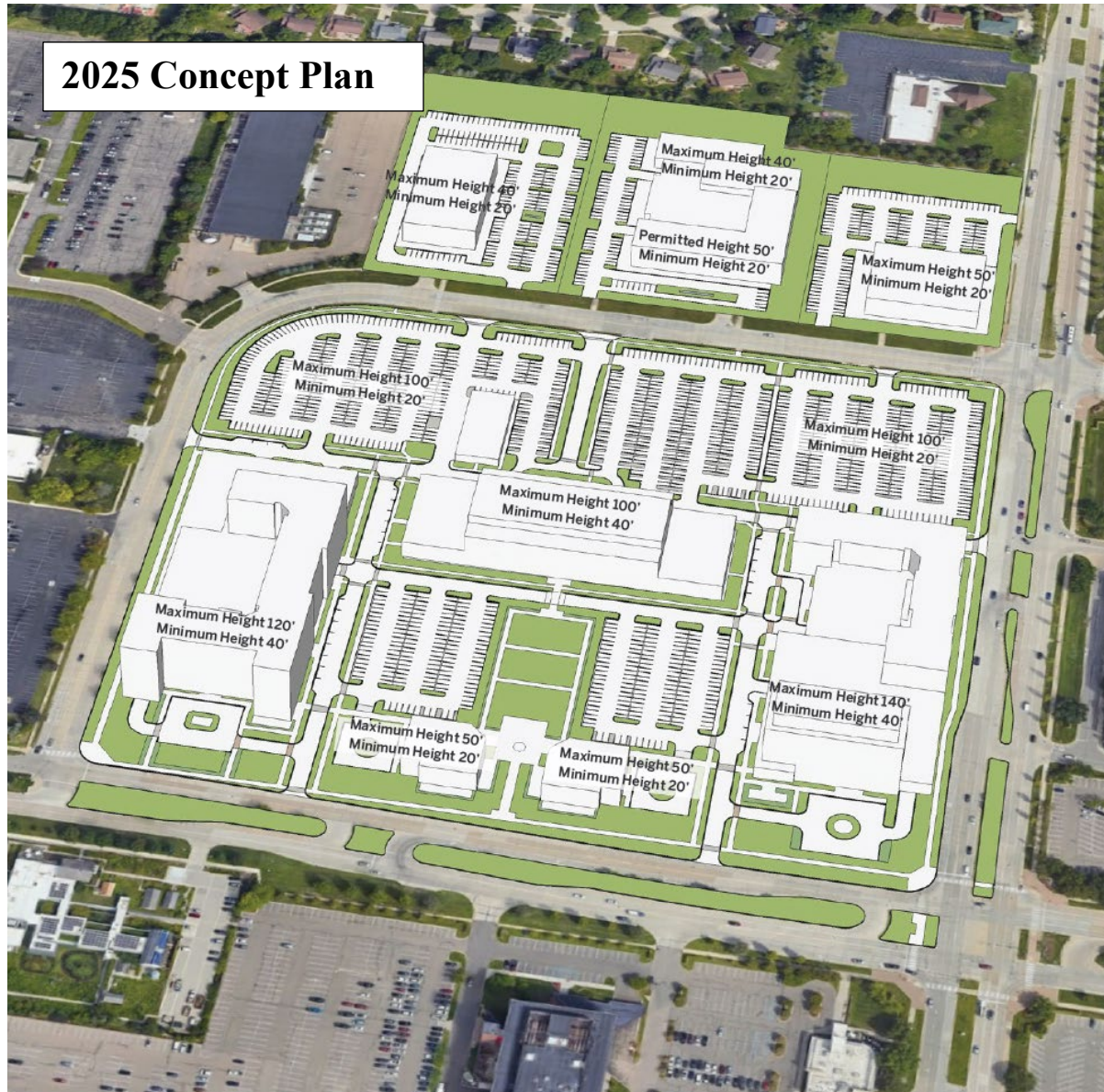
As set forth in Section 11.01, the intent of the Planned Unit Development option is to permit flexibility in the design and use of residential and non-residential land which, through the implementation of an overall development plan, when applicable to the site, will:

1. Encourage developments that will result in a long-term contribution to social, environmental and economic sustainability in the City of Troy.
2. Permit development patterns that respond to changing public and private needs.
3. Encourage flexibility in design and use that will result in a higher quality of development and a better overall project than would be accomplished under conventional zoning, and which can be accommodated without sacrificing established community values.
4. Provide for the long-term protection and/or preservation of natural resources, natural features, and/or historic and cultural resources.
5. Promote the efficient use and conservation of energy.
6. Encourage the use, redevelopment and improvement of existing sites where current ordinances do not provide adequate protection and safeguards for the site or its surrounding areas, or where current ordinances do not provide the flexibility to consider redevelopment, replacement, or adaptive re-use of existing structures and sites.
7. Provide for enhanced housing, employment, recreation, and shopping opportunities for the citizens of Troy.
8. Ensure the compatibility of design and use between various components within the PUD and with neighboring properties and uses.
9. Ensure development that is consistent with the intent of the Master Plan.



## CONCEPT PLAN





The Concept Plan includes a maximum of:

- 500,000 SF office
- 300,000 SF retail
- 250 room hotel, plus amenities
- 750 residential units

Changes to the Concept Plan since the last Planning Commission review include:

- Expanded the open green space in front of U of M Facility
- Replacement of parking deck with at-grade parking
- Replacement of mixed use buildings on northeast and northwest corner of the 28-acre portion of the development to at-grade parking



- Purchase of northwest parcel and central parcel of the 12-acre portion of development to University of Michigan.
- Reconfigured road layout to eliminate two (2) road connections to Cunningham

Based on the City's Master Plan, Big Beaver Corridor Design Study, and Zoning Ordinance, the Planning Commission should discuss if the proposed mix of uses, height, and layout meet the intent of what the City is trying to achieve on Big Beaver.

## DEVELOPMENT

### Ownership

Under Michigan State Law, the University of Michigan is considered a "Constitutional Corporation." As such, any University of Michigan owned parcel is property tax exempt, as well as exempt from any City Zoning and Building Code requirements. The PUD Ordinance references the Constitutional Corporation, however we asked the applicant to better describe the "role" of the Constitutional Corporation in the CDP. Outside the 12 acre carve-out on the Use Diagram, the Constitutional Corporation is never referenced or noted in the Concept Development Plan. We had noted in multiple conversations with the applicant that we feel there should be additional references and clarity in the CDP about the role and scope of the Constitutional Corporation, the applicant noted:

*The CDP is an exhibit to the A&R PUD Agreement which makes it a part of the A&R PUD Agreement. To understand the CDP, people are going to need to read the A&R PUD Agreement; otherwise, we would need to restate all of the provisions of the A&R PUD Agreement in the CDP because they all really apply to the CDP.*

While the CDP and PUD agreement are intent to be coordinated together, the CDP is required to stand alone from the PUD Agreement for a few key reasons:

#### 1. Clarity of Intent

A stand alone CDP clearly outlines the design vision and physical layout of the proposed development without being buried in the legal language of the PUD agreement. This helps city officials, staff, and the public more easily understand:

- What is actually being proposed
- How the project fits the goals of the Master Plan, city development policies, and PUD ordinance
- What the site will look like and function like at full-buildout



## 2. Separate Legal and Planning Functions

- The PUD Agreement is a legal contract between the developer and the City — it includes things like timelines, responsibilities, and conditions for approval.
- The CDP is a planning document — it focuses on land use, layout, circulation, open space, etc.
- Keeping them separate avoids confusion between legal obligations and design intent. Each document serves a distinct purpose and audience.

## 3. Ease of Reference and Review

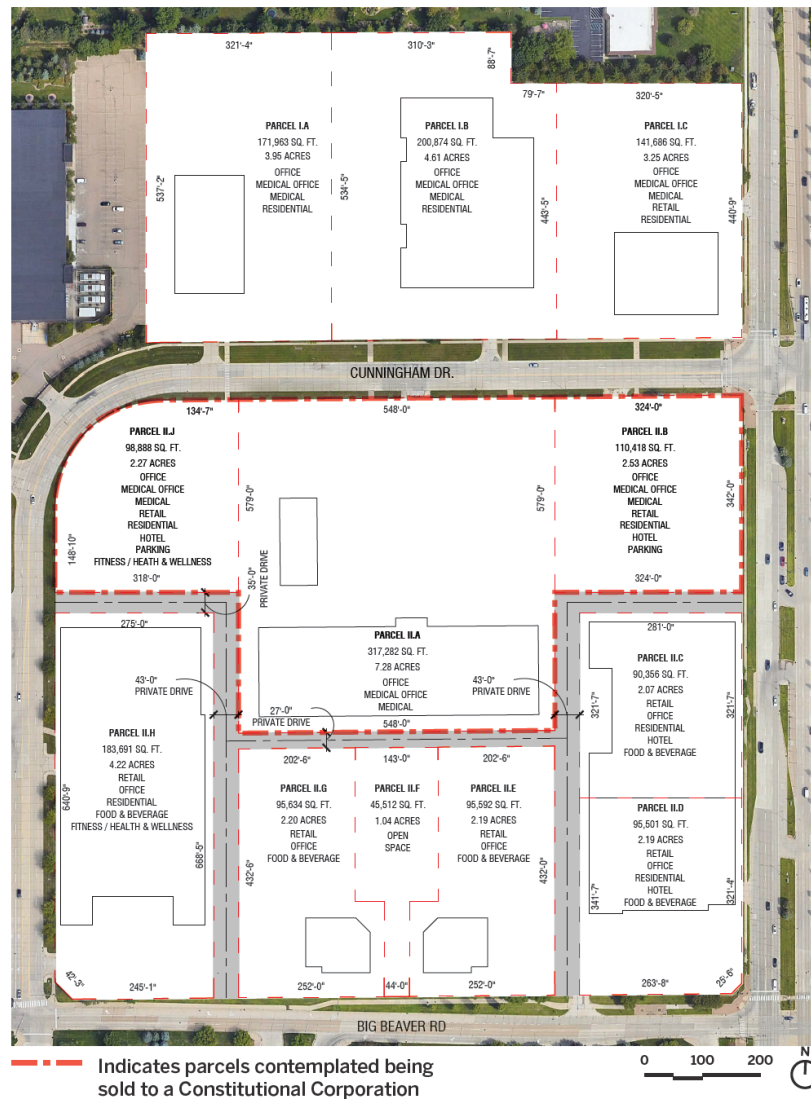
A standalone CDP:

- Makes it easier for planning staff and commissioners to evaluate the design without sorting through legal text
- Can be used during public meetings, design reviews, or future amendments without having to parse a legal agreement
- Is easier to update, interpret, or replace if minor modifications to the design are needed

Typically a PUD Agreement is not drafted until after the CDP is reviewed by the Planning Commission, and then the PUD Agreement is drafted to reflect the CDP. However, it appears that the CDP is being drafted to reflect the PUD Agreement. We understand that the inclusion of Constitutional Corporation is a unique wrinkle to both the CDP and PUD and not contemplated in the Zoning Ordinance. However, we are asking the applicant to update the CDP to accurately reflect the role and responsibility of the Constitutional Corporation, rather than having any notion of the Constitutional Corporation only reflected in the PUD Agreement.

## Use Diagram

The applicant has indicated on the Use Diagram that +/-12 south of Cunningham are “contemplated being sold to a Constitutional Corporation.”



Use Diagram

SOMERSET WEST › THE FORBES COMPANY  
ELKUS MANFREDI ARCHITECTS › MARCH 7, 2025

Though only twelve (12) acres are shown on the CDP, in the draft PUD Agreement and in conversations with the applicant they note that up to a total of +/- 19 acres may be acquired by a Constitutional Corporation, +/- 7 more acres than shown on the CDP. In early discussions with the applicant they noted that the Constitutional Corporation was looking to acquire seven (7) acres north of Cunningham Drive. However, if the seven (7) additional acres is not shown in the CDP but permitted in the PUD Agreement, the seven (7) acres could be anywhere else on the site including parcels that front on Big Beaver. In order for the Planning Commission to properly

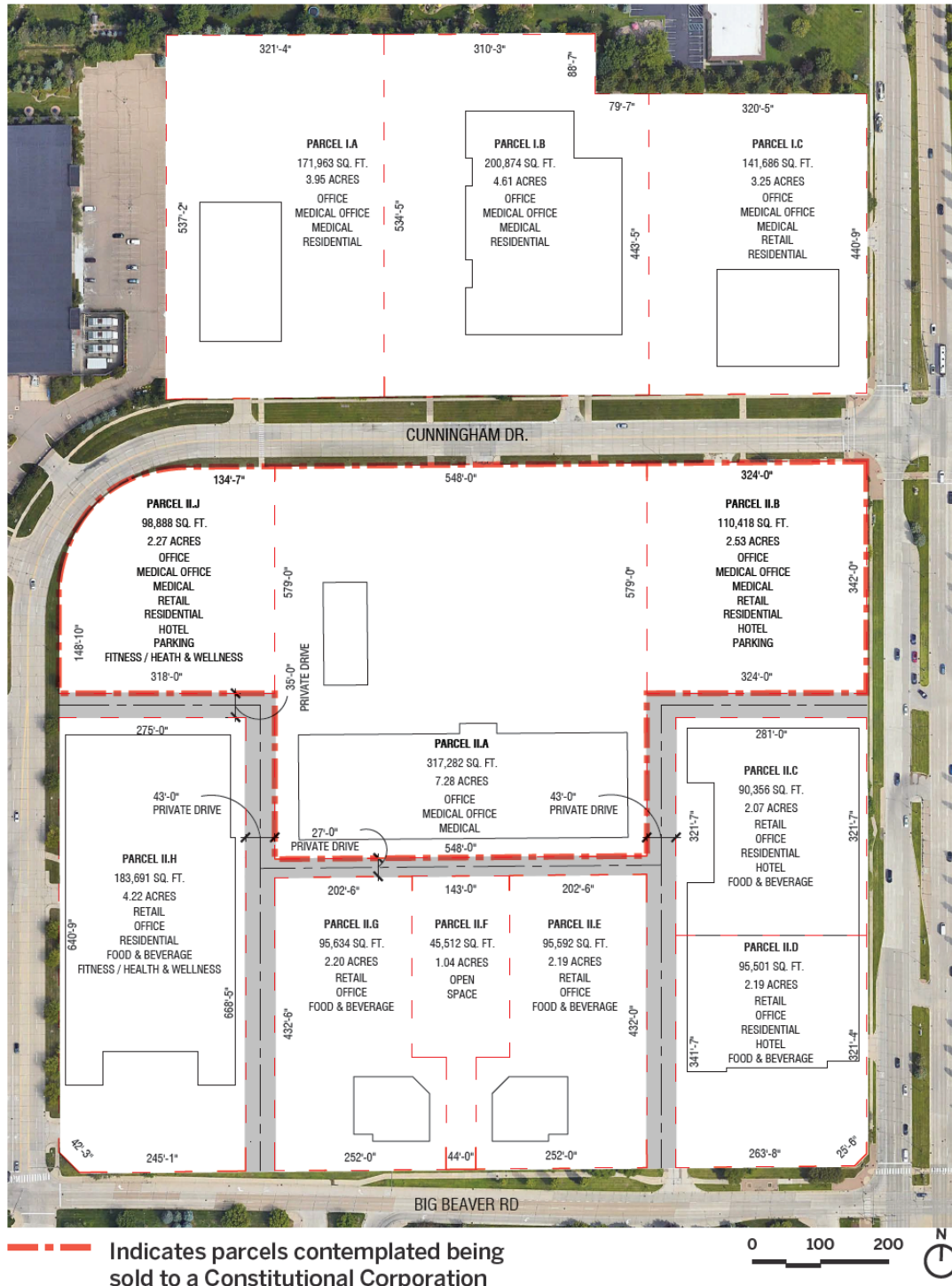
evaluate the CDP, the applicant should clarify in the CDP what portions of the total site that the Constitutional Corporation is acquiring or planning to acquire. We think the addition of a Constitutional Corporation as an anchor to the site is valuable to both the city of Troy, residents, and southeast Michigan; however, we are only seeking clarification to better understand and evaluate the CDP as a whole.

Somerset West PUD provides a variety of uses both horizontally and vertically. The applicant refers to the PUD as a “community park setting with pedestrian access surrounded by medical treatment facility and office, retail shops, offices, restaurants, fitness center, hotel and residences of varying types.”

The 500,000 SF office, 300,000 SF retail, 250 room hotel, and 750 residential units, is categorized into the following detailed use list:

- Multifamily buildings (condominiums apartments)
- Townhomes, lofts and single-family
- Live work units
- Senior housing (independent, assisted-living, or nursing/congregate care)
- General, professional, medical treatment facility, ambulatory care center with multiple medical specialties, and medical offices (including, but not limited to clinics, laboratories, and offices for similar professions, including veterinarians)
- Research facility
- Financial institutions, such as banks or credit unions, drive through windows are permitted at one facility
- Hotel
- General and specialty retail, including but not limited to:
  - Professional convenience services such as salons, spas, retail dry cleaners, repair shops
  - Sales of hard and soft goods and other merchandise such as apparel, crafts, electronics, gifts, hardware, home furnishing, appliances, medical supplies, toys, pharmaceuticals (limited to 20,000 SF per floor)
  - Food stores such as grocery store and specialty or gourmet markets, bakery, flower shops, nursery, delis, coffee shops, cafes, etc.
- Full service restaurants, bars, breweries, and distilleries
- Restaurants- takeout, coffee, shops, ice cream shoppes, deli, or café (drive-through windows not permitted)
- Entertainment uses- cinemas, live theaters, performing arts center, indoor recreation, billiard halls, and dance studios
- Publicly owned and operated facility, including post office, libraries, museums, government offices, meeting facilities, and recreation facilities
- Schools, including university and trade schools
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient

Furthermore as demonstrated on the Use Plan, each parcel was designated with a list of allowable uses:



## Use Diagram

SOMERSET WEST › THE FORBES COMPANY  
ELKUS MANFREDI ARCHITECTS › MARCH 7, 2025

We asked the applicant to clarify if the square footage “used” by the Constitutional Corporation counts towards the maximum square footage allowances set forth in the PUD. The applicant clarified that the Constitutional Corporation square footage is included in the maximum square footage. In the PUD agreement, the City and the applicant will need to establish a mechanism to track the square footage allocation to the Constitutional Corporation to ensure that maximum square footages aren’t exceeded.

### **Layout/Height**

The applicant proposes:

- 40-120 foot tall building at southwest corner
- 40-120 foot tall building at southwest corner
- Two (2) 20-50 foot tall buildings fronting big beaver
- 20-50 foot tall building on northeast corner of development adjacent to Coolidge.
- The remaining portion of the site, which we understand to be future purchased by a Constitutional Corporation, shows a concept layout and height plan. However, these are shown for conceptual purposes only as they have stated that they are exempt from the PUD.

In conversations with the applicant they note that the Constitutional Corporation has future plans to develop the parking lot portion of their site. We have asked them to provide that drawing for conceptual review for the Planning Commission to better understand how the site will be developed at full-built out. The applicant has not provided the requested information.

Based on the City’s Master Plan, Big Beaver Corridor Design Study, and Zoning Ordinance, the Planning Commission should discuss if the proposed mix of uses, height, and layout meet the intent of what the City is trying to achieve on Big Beaver?

Items for Planning Commission consideration:

1. Is the total amount of surface parking acceptable?
2. Are the two car-drop-off areas between Big Beaver and the two large mixed use buildings acceptable and good design?





3. Are the overall site amenities sufficient?
4. Are there additional design/landscaping/public art features that should be added along Big Beaver? For example the Pavilions included a gateway design feature along Big Beaver.
5. Should additional buffering/landscaping be considered between the sites north of Cunningham and the residential neighborhood to the north?

## Phasing

The applicant proposes to have the development occur in four (4) phases. Phases are illustrated in the image below. The applicant has provided a general idea of what types of development can

be expected in each area:

- **Phase 1A:**  
*Construction of private, internal roads.*
- **Phase 1B:**  
*These areas may include office, medical, medical office, retail, residential, food & beverage, fitness, and/or health & wellness uses. A 1.04 acre parcel near the center of the site is dedicated to open space.*
- **Phase 2:** *This area may include office, retail, residential, hotel, and food & beverage.*
- **Future Phase:**  
*These areas (north of Cunningham Dr) may include office, medical, medical office, and/or residential uses.*



## Phasing Diagram

SOMERSET WEST › THE FORBES COMPANY  
ELKUS MANFREDI ARCHITECTS › MARCH 7, 2025

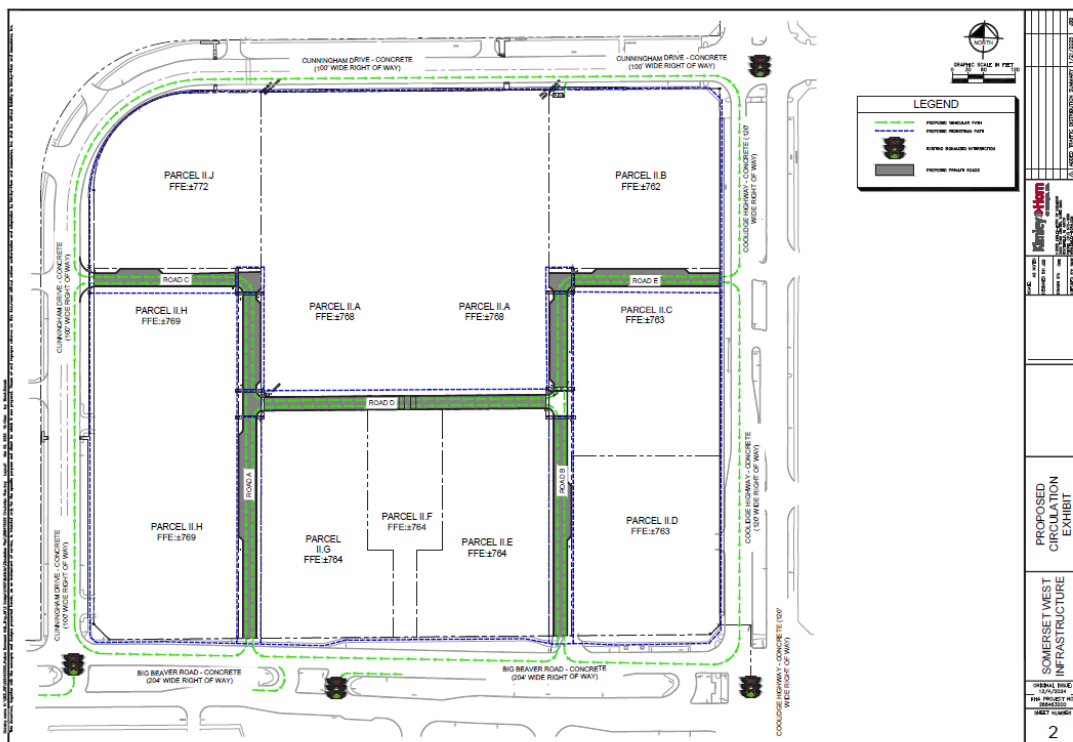
We have asked the applicant to clarify what “future phase” means. Their response: *If “Future Phase” was removed and is no longer referenced, what needs to be addressed with respect to the phrase “Future Phase”? I am not sure how the Planning Commission can raise a question about a phrase that isn’t referenced in the CDP.*

We are not sure what the applicant’s response means. Again, we think the addition of a Constitutional Corporation as an anchor to the site is valuable to both the city of Troy, residents, and southeast Michigan; however, we are only seeking clarification of phasing better understand and evaluate the CDP as a whole.

## TRAFFIC IMPACT STUDY

An initial review of site circulation has been conducted by Kimley-Horn. The firm states that approximately 80% of site-generated traffic is expected to approach the site via Big Beaver, and approximately 20% of traffic is expected to approach the site via Coolidge. These assumptions are based on a review of surrounding land uses, prevailing traffic volumes/patterns, characteristics of the street system, and the ease with which motorists can travel over various sections of that system. Moreover, the firm states that “the internal site circulation plan provides connectivity between uses, promotes pedestrian activity, and emphasizes a park environment for residents, employees, and visitors to visit multiple uses in a single trip.”

### Site Circulation.



The traffic study and parking study is provided under a separate cover.

## PUD AGREEMENT

The applicant has submitted a PUD Agreement, which is being reviewed by the City Attorneys office.

## STANDARDS

When reviewing the PUD, the Planning Commission shall consider the following standards as set forth in Section 11.03:

1. *A mixture of land uses that would otherwise not be permitted without the use of the PUD provided that other objectives of this Article are also met.*
2. *A public improvement or public facility (e.g. recreational, transportation, safety and security) which will enhance, add to or replace those provided by public entities, thereby furthering the public health, safety and welfare.*
3. *A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be infeasible or unlikely to be achieved absent these regulations.*
4. *Long-term protection and preservation of natural resources, natural features, and historic and cultural resources, of a significant quantity and/or quality in need of protection or preservation, and which would otherwise be unfeasible or unlikely to be achieved absent these regulations.*
5. *A compatible mixture of open space, landscaped areas, and/or pedestrian amenities.*
6. *Appropriate land use transitions between the PUD and surrounding properties.*
7. *Design features and techniques, such as green building and low impact design, which will promote and encourage energy conservation and sustainable development.*
8. *Innovative and creative site and building designs, solutions and materials.*
9. *The desirable qualities of a dynamic urban environment that is compact, designed to human scale, and exhibits contextual integration of buildings and city spaces.*
10. *The PUD will reasonably mitigate impacts to the transportation system and enhance non-motorized facilities and amenities.*
11. *For the appropriate assembly, use, redevelopment, replacement and/or improvement of existing sites that are occupied by obsolete uses and/or structures.*
12. *A complementary variety of housing types that is in harmony with adjacent uses.*
13. *A reduction of the impact of a non-conformity or removal of an obsolete building or structure.*
14. *A development consistent with and meeting the intent of this Article, which will promote the intent of the Master Plan or the intent of any applicable corridor or sub-area plans. If conditions have changed since the Plan, or any applicable corridor or sub-area plans were adopted, the uses shall be consistent with recent development trends in the area.*
15. *Includes all necessary information and specifications with respect to structures, heights, setbacks, density, parking, circulation, landscaping, amenities and other design and layout features, exhibiting a due regard for the relationship of the development to the surrounding properties and uses thereon, as well as to the relationship between the various elements within the proposed*



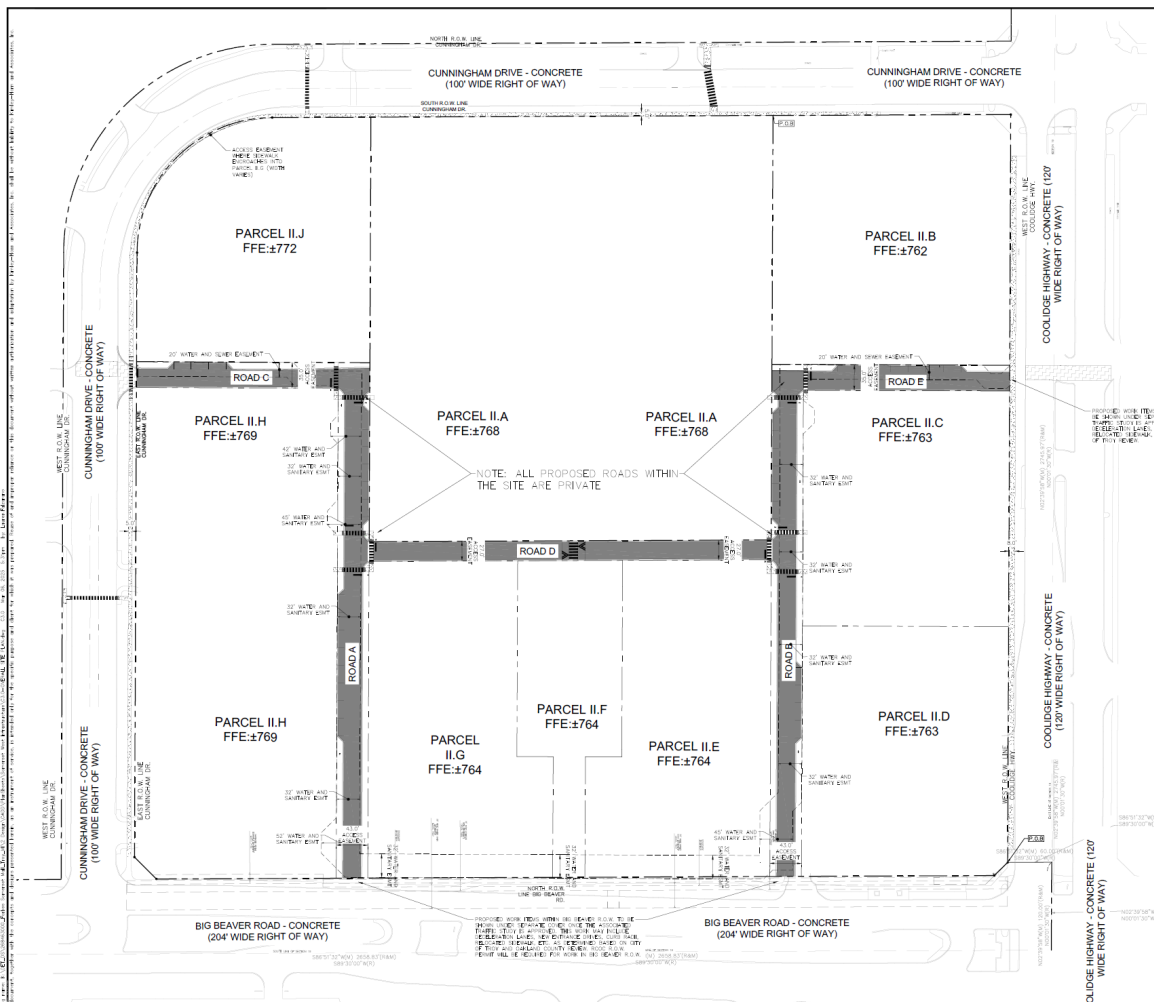
*Planned Unit Development. In determining whether these relationships have been appropriately addressed, consideration shall be given to the following:*

- i. The bulk, placement, and materials of construction of the proposed structures and other site improvements.*
  - ii. The location and screening of vehicular circulation and parking areas in relation to surrounding properties and the other elements of the development.*
  - iii. The location and screening of outdoor storage, loading areas, outdoor activity or work areas, and mechanical equipment.*
  - iv. The hours of operation of the proposed uses.*
  - v. The location, amount, type and intensity of landscaping, and other site amenities.*
- 16. Parking shall be provided in order to properly serve the total range of uses within the Planned Unit Development. The sharing of parking among the various uses within a Planned Unit Development may be permitted. The applicant shall provide justification to the satisfaction of the City that the shared parking proposed is sufficient for the development and will not impair the functioning of the development, and will not have a negative effect on traffic flow within the development and/or on properties adjacent to the development.*
- 17. Innovative methods of stormwater management that enhance water quality shall be considered in the design of the stormwater system.*
- 18. The proposed Planned Unit Development shall be in compliance with all applicable Federal, State and local laws and ordinances, and shall coordinate with existing public facilities.*

***Items to be Addressed:*** *Planning Commission should review the application considering the standards.*

## PHASE 1 PRELIMINARY SITE PLAN

In addition to the Concept Development Plan, the applicant is seeking Preliminary Development Plan (preliminary site plan) approval for Phase 1A. Phase 1A includes road layout and utility installation.



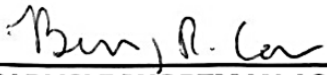
Approval of the Preliminary Development Plan (preliminary site plan) for Phase 1A would allow the applicant to grade the site, install the private roads, and underground utilities. Outside of lots/parcels designed for Constitutional Corporation use, each individual lot/parcel would come in for Preliminary Development Plan approval. The Planning Commission is a recommending body on the Preliminary Development Plan.

In discussions with the Oakland County Road Commission (OCRC), OCRC notes that the western most access point off Big Beaver will require both the closure of the adjacent Big Beaver cross-over and improvements to the light at Big Beaver and Cunningham. The applicant has not shown the closed cross-over on the preliminary site plan.

## SUMMARY

The Planning Commission should hold a public hearing, consider public testimony, and discuss the following items with the applicant:

1. Does the proposed mix of uses, height, and proposed layout meet the intent of what the City is trying to achieve on Big Beaver?
  - a. Is the total amount of surface parking acceptable
  - b. Are the two car-drop-off areas between Big Beaver and the two large mixed use buildings acceptable and good design?
  - c. Are the overall site amenities sufficient?
  - d. Are there additional design/landscaping/public art features that should be added along Big Beaver? For example the Pavilions included a gateway design feature along Big Beaver.
  - e. Should additional buffering/landscaping be considered between the sites north of Cunningham and the residential neighborhood to the north?
2. Again, we think the addition of a Constitutional Corporation as an anchor to the site is valuable to both the city of Troy, residents, and southeast Michigan; however, we are only seeking clarification of phasing better understand and evaluate the CDP as a whole:
  - a. The applicant should clarify which portions of the development are being acquired or planned to be acquired a Constitutional Corporation
  - b. The applicant should clarify if they are proposing to sell any additional portion of the development to a Constitutional Corporation.
  - c. The applicant should clarify what future phase means.
3. Does the CDP meet the PUD Standards set forth in Section 11.03?

  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, AICP, LEED AP**  
**President**

**CITY OF TROY  
PLANNED UNIT DEVELOPMENT  
CONCEPT DEVELOPMENT PLAN (CDP) APPLICATION  
AND APPLICATION TO AMEND THE ZONING DISTRICT MAP**

**CITY OF TROY PLANNING DEPARTMENT**  
500 W. BIG BEAVER  
TROY, MICHIGAN 48084  
PHONE: 248-524-3364  
E-MAIL: [planning@troymi.gov](mailto:planning@troymi.gov)



CONCEPT DEVELOPMENT PLAN FEE  
**\$3,000.00**

ESCROW FEE  
**\$5,000.00**

PRIOR TO THE SUBMISSION OF AN APPLICATION FOR APPROVAL OF A PLANNED UNIT DEVELOPMENT, THE APPLICANT SHALL HOLD A PRE-APPLICATION MEETING WITH THE PLANNING DEPARTMENT OF THE CITY AND ANY CITY STAFF AND OUTSIDE CONSULTANTS AS DEEMED APPROPRIATE BY THE CITY.

DATE OF PRE-APPLICATION MEETING: \_\_\_\_\_ *1/26/18*

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

1. NAME OF THE PROPOSED DEVELOPMENT: Somerset West

2. LOCATION OF THE SUBJECT PROPERTY: 3100 Big Beaver, Troy Michigan 48084

3. ZONING CLASSIFICATION(S) OF THE SUBJECT PROPERTY: Planned Unit Development Subject to the terms of the Planned Unit Development agreement, dated October 17, 2007 and recorded with the Oakland County, Michigan Register of Deeds on October 26, 2007 at Liber 39703 in Page 493

4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-19-476-002, 88-20-19-476-003 and 88-20-19-430-004

| 5. APPLICANT:   | PROPERTY OWNER:   |
|---|---|
| NAME _____  | NAME _____  |
| COMPANY <u>Forbes Frankel Troy Ventures LLC</u>         | COMPANY <u>Forbes Frankel Troy Ventures LLC</u>         |
| ADDRESS <u>100 Galleria Officentre, Suite 427</u>       | ADDRESS <u>100 Galleria Officentre, Suite 427</u>       |
| CITY <u>Southfield</u> STATE <u>MI</u> ZIP <u>48034</u> | CITY <u>Southfield</u> STATE <u>MI</u> ZIP <u>48034</u> |
| TELEPHONE <u>248-827-4600</u>                           | TELEPHONE <u>248-827-4600</u>                           |
| E-MAIL <u>nforbes@theforbescompany.com</u>              | E-MAIL <u>nforbes@theforbescompany.com</u>              |

6. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:  
The Applicant and the Property Owner are the same entity.

7. ATTACHED HERETO IS A SIGNED STATEMENT BY THE APPLICANT INDICATING THE APPLICANT HAS THE AUTHORITY TO EXECUTE A BINDING AGREEMENT COVERING ALL PARCELS IN THE PROPOSED P.U.D.

8. SIGNATURE OF APPLICANT See Attached DATE \_\_\_\_\_

9. SIGNATURE OF PROPERTY OWNER *[Signature]* DATE 2/25/25

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PLANNED UNIT DEVELOPMENT.


## Notarial Certificate

(State of Michigan)  
( ) ss  
(County of Oakland)

On this 25th day of FEBRUARY, 20 25, personally  
appeared before me:

NATHAN FORBES

Known [☐ or produced identification] to me to be the individual who executed the  
foregoing document and acknowledged the same as a free act and deed for uses and  
purposes therein expressed.

  
Notary Public

Brenda Walton  
Notary Public – State of Michigan  
Oakland County  
My Commission Expires: October 1, 2029  
Acting in the county of OAKLAND,

# **PLANNED UNIT DEVELOPMENT CONCEPT DEVELOPMENT PLAN (CDP) PRE-APPLICATION MEETING CHECKLIST**

THE APPLICANT SHALL PROVIDE A MINIMUM OF THREE (3) COPIES OF THE FOLLOWING ITEMS, PLUS ONE (1) CD CONTAINING AN ELECTRONIC VERSION OF THE APPLICATION, TO THE PLANNING DEPARTMENT AT OR BEFORE THE PRE-APPLICATION MEETING. SEE SECTION 11.06(A).

- ☒ A SKETCH PLAN OF THE PROPOSED PLANNED UNIT DEVELOPMENT
- ☒ LEGAL DESCRIPTION OF THE PROPERTY, SCALE DRAWING AND THE TOTAL NUMBER OF ACRES IN THE PROJECT
- ☒ TOPOGRAPHICAL MAP OF THE PROJECT SITE
- ☒ A STATEMENT OF ALL PROPOSED USES IN THE PROJECT
- ☒ THE KNOWN DEVIATIONS SOUGHT FROM THE ORDINANCE REGULATIONS OTHERWISE APPLICABLE
- ☒ THE NUMBER OF ACRES TO BE PRESERVED AS OPEN OR RECREATIONAL SPACE AND THE INTENDED USES OF SUCH SPACE
- ☒ ALL KNOWN NATURAL RESOURCES, NATURAL FEATURES, HISTORIC RESOURCES AND HISTORIC FEATURES; WHICH ARE TO BE PRESERVED
- ☒ A LISTING AND SPECIFICATION OF ALL SITE DEVELOPMENT CONSTRAINTS



## PLANNED UNIT DEVELOPMENT CONCEPT DEVELOPMENT PLAN (CDP) CHECKLIST

THE FOLLOWING INFORMATION AND MATERIALS ARE NECESSARY FOR SUBMISSION. FOR A DETAILED DESCRIPTION OF REQUIRED ITEMS, SEE SECTION 11.06(C) OF THE ZONING ORDINANCE.

- ☒ REQUIRED FEE
- ☒ ONE (1) CD CONTAINING AN ELECTRONIC VERSION OF THE APPLICATION AND ONE (1) COPY OF THE DRAFT DEVELOPMENT AGREEMENT (PDF Format)

The application shall include **TWO (2) hard copies of the following information and materials, which shall be in a plan format together with a narrative explanation.**

- ☒ Date(s) and location of all meetings with representatives of adjoining neighborhoods, minutes and attendance record(s) of such meeting(s). [3/6/2025 at Somerset Collection North](#)
- ☒ Certified boundary survey including legal description of the property, scale drawing and the total number of acres in the project.
- ☒ *Development concept:* A summary explanation of the development concept shall describe the project and explain how the project will meet the intent of the PUD option as set forth in Section 11.01 and the criteria for consideration as a PUD as set forth in Section 11.03 hereof, as those sections reasonably apply to the site.
- ☒ *Density:* The maximum density of the overall project and the maximum density for each proposed use and phase.
- ☒ *Road system:* A general description of the road system and circulation pattern; the location of roads, entrances, exits and pedestrian walkways; a statement whether roads are intended to be public or private. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicle traffic congestion particularly as it pertains to the improvements along major roads.
- ☒ *Utilities:* A general description and location of both on-site and off-site utilities including proposed water, sanitary sewer, storm sewer systems and utility lines; a general indication of the size and location of stormwater detention and retention ponds, and a map and text showing off-site utilities, existing and proposed, which will provide services to the project.
- ☒ *Open space/common areas:* A general description of proposed open space and common areas; the total area of open space; the total area of open space in each proposed phase; the proposed uses of open space and common areas.
- ☒ *Uses:* A list of all proposed uses; the location, type and land area to be devoted to each use, both overall and in each phase; a demonstration that all of the proposed uses are permitted under this Article.
- ☒ *Development guidelines:* A plan of the site organization, including typical setback and lot dimensions; the minimum lot sizes for each use; typical minimum and maximum building height and size; massing models; conceptual building design; and the general character and arrangement of parking; fencing; lighting; berming; and building materials.
- ☒ *Parking and Traffic:* A study of the parking requirements and needs; a traffic impact study and analysis.
- ☒ *Landscaping:* A general landscaping plan; a landscape plan for entrances; a landscape plan for overall property perimeters; any theme/streetscape design; any proposed irrigation.
- ☒ *Natural resources and features:* Floodway/floodplain locations and elevations; wetlands and watercourses; woodlands; location and description of other natural resources and natural features.

**PLANNED UNIT DEVELOPMENT  
CONCEPT DEVELOPMENT PLAN (CDP) CHECKLIST  
(page 2)**

- ☒ *Phasing information:* The approximate location, area and boundaries of each phase; the proposed sequence of development, including phasing areas and improvements; and the projected timing for commencement and completion of each phase.
- ☒ *Public services and facilities:* A description of the anticipated demand to be generated by the development for public sewer, water, off-site roads, schools, solid waste disposal, off-site drainage, police and fire; a description of the sufficiency of each service and facility to accommodate such demands; the anticipated means by which any insufficient services and facilities will be addressed and provided.
- ☒ *Historical resources and structures:* Their location, description and proposed preservation plan.
- ☒ *Site topography.*
- ☒ *Signage:* General character and location of entrance and internal road system signage; project identification signage; and temporary or permanent signage proposed for any other locations.
- ☒ *Amenities.*
- ☒ *Zoning classification:* Existing zoning classifications on and surrounding the site.
- ☒ *Specification of deviations:* A specification of all deviations proposed from the regulations which would otherwise be applicable to the underlying zoning and to the proposed uses, which are proposed and sought for any phase or component of the Planned Unit Development; the safeguards, features and/or planning mechanisms proposed to achieve the objectives intended to be accomplished by any regulation from which a deviation is being sought.
- ☒ *Community impact statement:* A community impact statement, which shall provide an assessment of the developmental, ecological, social, economic and physical impacts of the project on the natural environmental and physical improvements on and surrounding the development site. Information required for compliance with other ordinance provisions need not be duplicated in the community impact statement.

**ALL HARD COPY DRAWINGS SHALL BE FOLDED, STAPLED, SEALED AND SIGNED  
BY A STATE OF MICHIGAN PROFESSIONAL ENGINEER, REGISTERED ARCHITECT,  
REGISTERED LANDSCAPE ARCHITECT, OR PROFESSIONAL COMMUNITY PLANNER**

**PLANNING COMMISSION AGENDAS ARE ELECTRONIC**



## **Project Vision**

Somerset Collection West is intended to build on the rich heritage of the Somerset Collection and the Big Beaver Corridor.

With a strong sense of place and a mix of uses, Somerset West will be a unique destination for the local community, and the region.

A distinctive environment that focuses on walkability, open space, connectivity, and beautiful landscaping will highlight a blend of architecture consistent with the Somerset aesthetic.

Somerset West will be a regional destination supported by all aspects of good planning, unique architecture, open space, and sustainability to attract year-round activity and living.

## **Executive Summary**

Somerset Collection West will be a destination for the local and regional communities alike. A mix of uses, including a world-class medical facility, highly amenitized residential living, food and beverage options and support services, will highlight the parcel of land formerly known as the Kmart Headquarters.

A carefully blended mix of medical office, residential, hospitality, service retail, food and beverage and health & wellness, will be a source of pride for local residents and the broader community.

This exemplary development promises to build on the rich history of the Somerset Collection and will certainly provide a stimulus to the Big Beaver Corridor. An increased tax base and a wide range of job opportunities, living options combined with the re-birth of an obsolete property will highlight the continuation of the development of the Big Beaver Corridor.

Somerset West will provide the City of Troy an unparalleled development that will include:

- Walkability for local residents and year-round community activities.
- Open space for residents, employees, and the community to enjoy.
- A mix of uses will highlight a generous amount of green space.
- Somerset West will be a catalyst for future investments and set a benchmark for further development along the Big Beaver Corridor.

Somerset West is designed to take advantage of its premier location by building a mix of uses in a highly intended active blend of open space connecting all its uses at urban/suburban scale.

## **Amenities**

A world-class healthcare facility developed by University Michigan Medicine, which is their first endeavor into Oakland County. University of Michigan Medicine currently does not have a facility east of I-275, this facility will service Oakland County and save patients countless hours of not having to travel to and from Ann Arbor. It will also provide much needed employment opportunities for highly educated and a highly skilled workforce. The site will be a walkable live, work, and play community with a generous park and open spaces. The park will have unlimited programming opportunities and over an acre of green space, it will serve as a meeting place for many. The site will have world class landscape design, contemporary street and pedestrian lighting and public seating. Residential components will complement the medical facility and consist of several opportunities of best in class rental units and for sale units. Best in class dining will complement the Somerset Collection to the east with outdoor dining opportunities and generous sidewalks to contribute to a world class develop.

## Land Use

Somerset West PUD provides a wide variety of uses arranged horizontally and vertically to ensure compatibility with the PUD and the adjacent neighbors. A community park setting with pedestrian access surrounded by medical treatment facility and office, retail shops, offices, restaurants, fitness center, hotel, and residences of varying types. Uses shall be located in appropriate locations on the site, per the Use Diagram.

### Permitted Use

#### Office Uses (Up to 500,000 square feet)

- General, professional, medical treatment facility, ambulatory care center with multiple medical specialties, and medical offices (including, but not limited to clinics, laboratories, and offices for similar professions, including veterinarians)
- Research facility.
- Financial institutions, such as banks or credit unions, drive through windows are permitted at one facility.
- Publicly owned and operated facility, including post office, libraries, museums, community and meeting, government offices, meeting, facilities, and recreation facilities.
- Schools, including university and trade schools.
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient.

#### Retail Uses (Up to 300,000 square feet)

- General and specialty retail, including, but not limited to the following:
- Professional convenience services such as salons, spas, retail dry cleaners, repair shops.
- Sales of hard and soft goods and other merchandise such as apparel, crafts, electronics, gifts, hardware, home furnishing, appliances, medical supplies, toys, pharmaceuticals, limited to 20,000 SF per floor.
- Food Stores such as grocery store and specialty or gourmet markets, bakery, flowers shops, shops, nursery, delis, coffee shops, cafés, etc.
- Full-service restaurants, bars, breweries, and distilleries.
- Restaurants – takeout, coffee, shops, ice cream shops, deli, or café (drive-through windows are not permitted)
- Entertainment uses – cinemas, live theaters, performing arts center, indoor recreation, billiard halls, and dance studios.
- Accessory structures and uses customarily incidental to the listed uses, and otherwise compatible with a pedestrian orientation environment, such as temporary and permanent outdoor pavilions, plazas, outdoor seating, outdoor performance stages, kiosk, sales stands, mobile sales cards, outdoor café, seating, food trucks, to be approved administratively.
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient.

#### Residential Uses (Up to 750 units)

- Multifamily Buildings (Condominiums Apartments)
- Townhomes, lofts and single family
- Live work units
- Senior housing (independent, assisted-living or nursing/congregate care)
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient.

#### Hotel Uses (Up to 250 rooms)

- Hotel
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient.

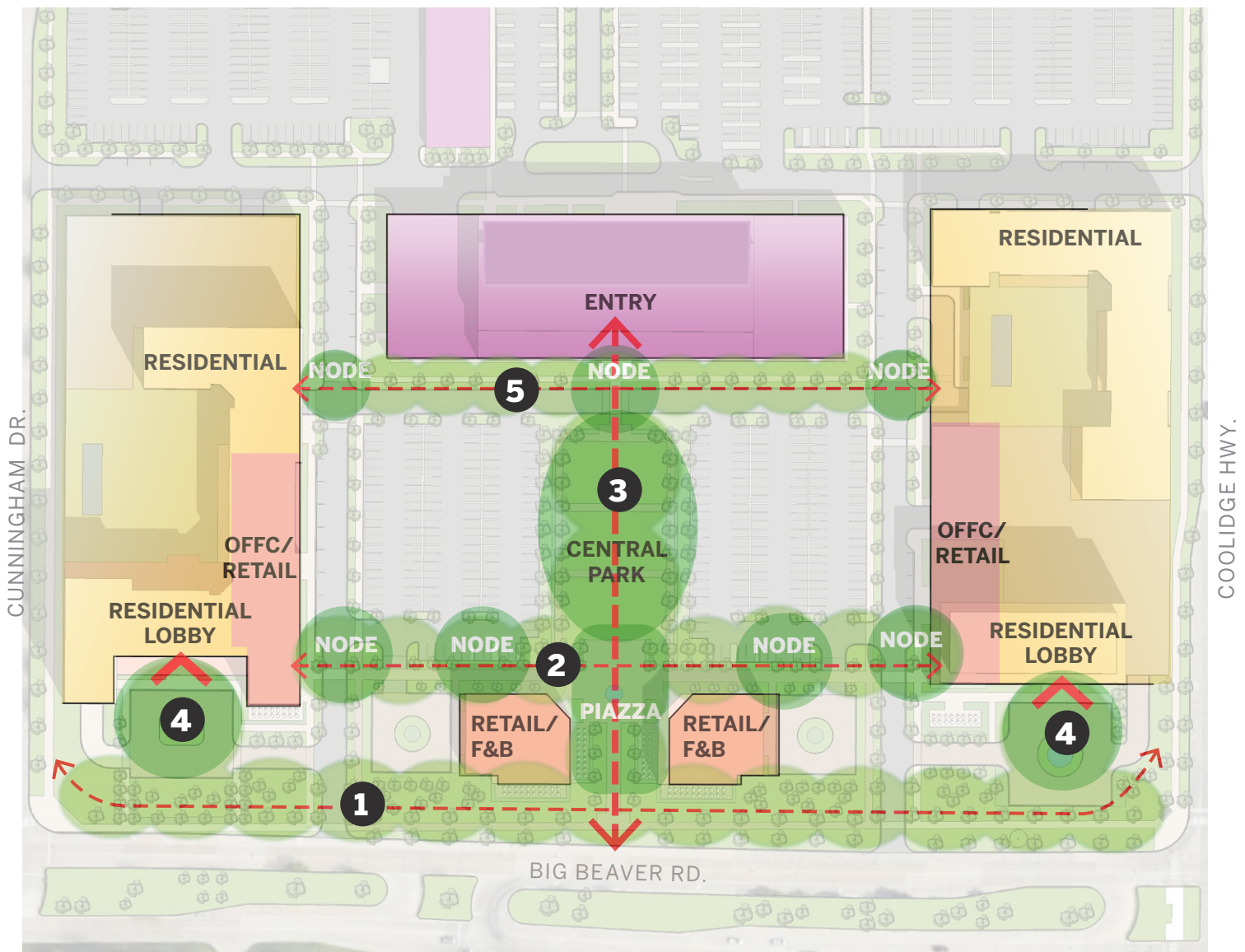
## Public Benefit and Public Impact Statement

The Somerset West PUD will offer a best in class healthcare facility by University Michigan Medicine, which is currently not available in Oakland county. The public benefit of a medical facility by the University of Michigan is unmeasurable and will have a positive impact on the health and well-being of hundreds of thousands City of Troy and Oakland County residences. Not to mention the removal of a blighted 975,000 square foot building, parking structure and surface lots. The development will provide increased tax revenue for The City of Troy, Oakland County and The State of Michigan. This development will provide a one of a kind live, work, and play environment not currently found in southeastern Michigan, with best in class for rent apartments, best in class for sale condominium units and best in class dining options.

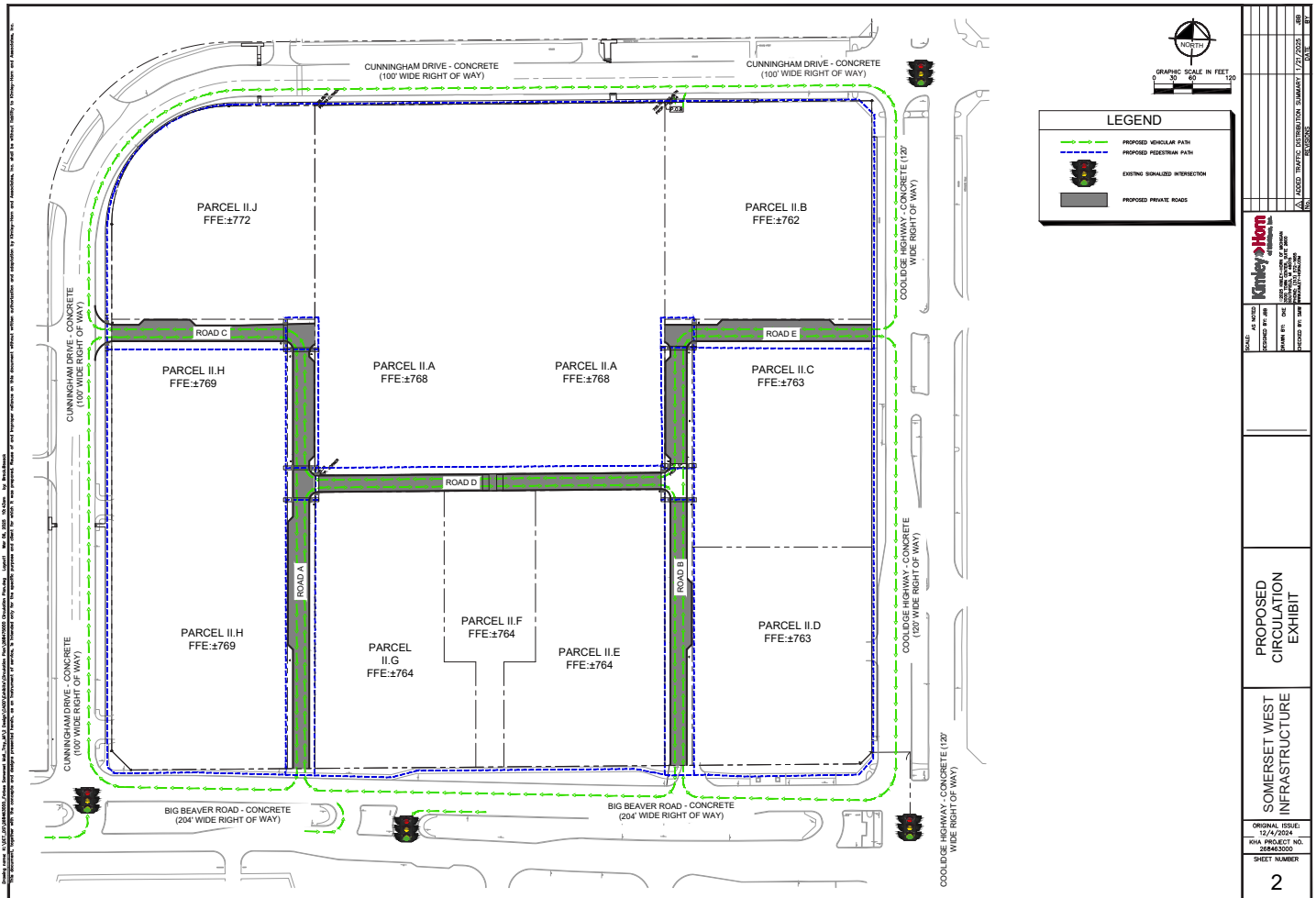
## Design and Place Making

The design ideas of the master plan will focus on creating vibrant “nodes” of activity with an identifiable character. The development allows both residents and guest to meet several daily needs, emphasizing walkability and connectivity.

1. Big Beaver Landscape Corridor
2. Promenade / Restaurant Row – East-West connection with intermediate landscaped nodes and center piazza
3. Central Park / Pedestrian Spine – North-South connection from piazza through central park to university of Michigan medical facility entry
4. Landscaped Drop Off Zones – Residential Drop Off Zones set back from Big Beaver Road
5. Residential Walk – University of Michigan medical facility entry court and east-west residential connector

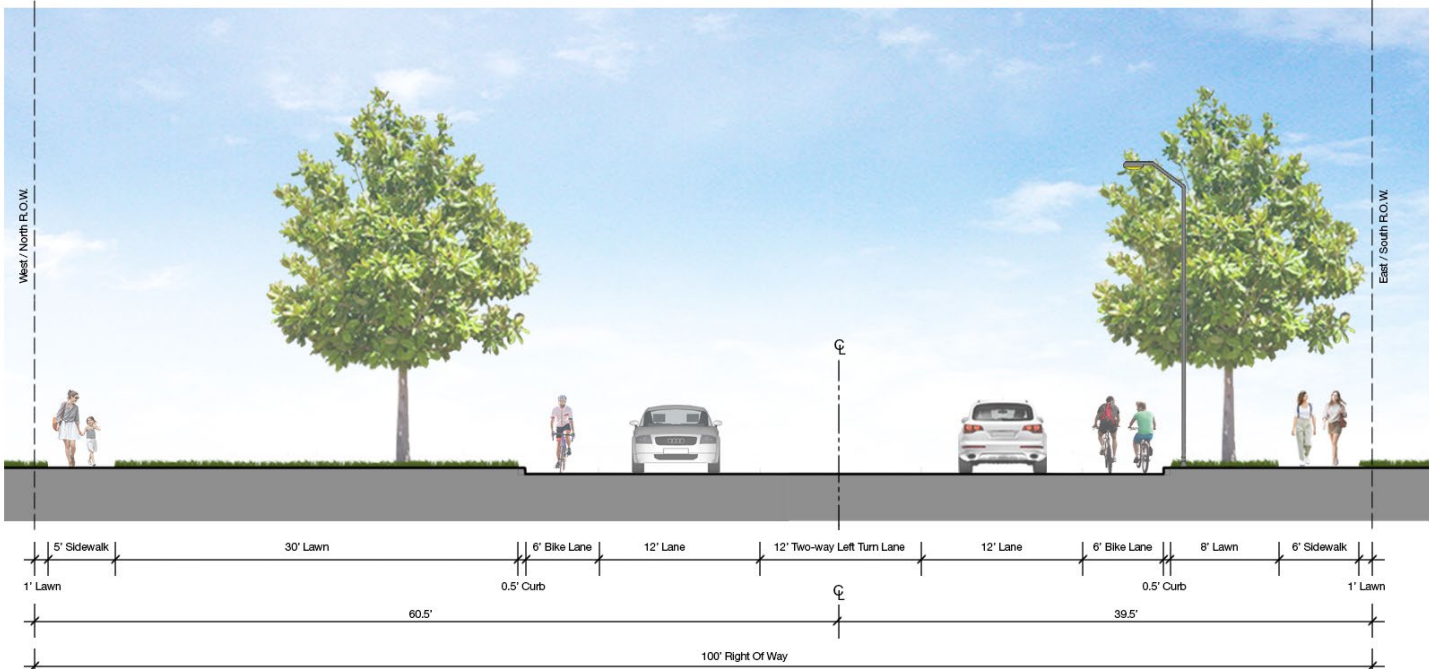
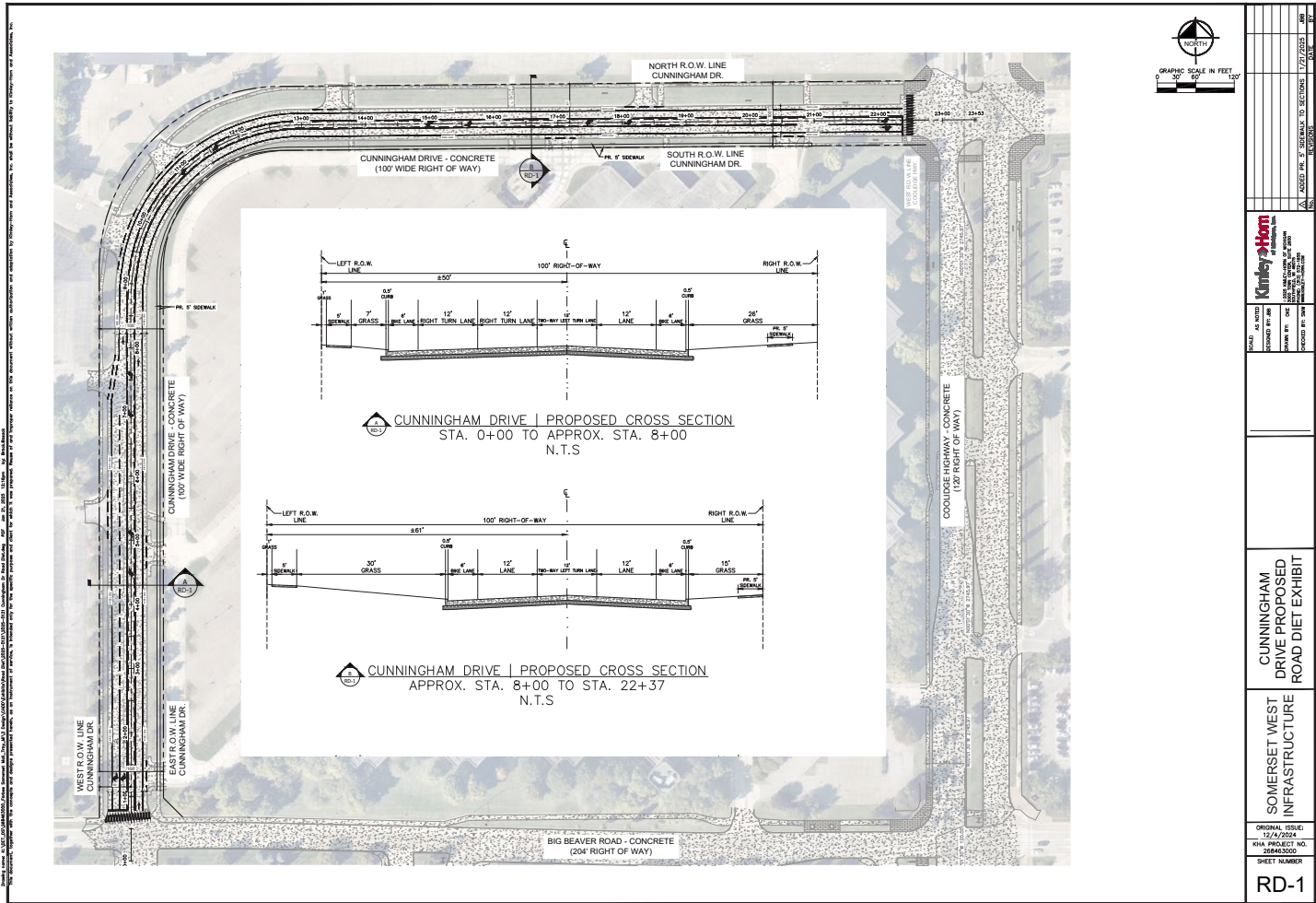


Site-generated traffic is expected to predominantly (80%) approach the site via the Big Beaver corridor. Approximately 20% of site-generated traffic is expected to approach the site via Coolidge Highway. The distribution assumptions are based on a review of surrounding land uses, prevailing traffic volumes/patterns, characteristics of the street system, and the ease with which motorists can travel over various sections of that system. The internal site circulation plan provides connectivity between uses, promotes pedestrian activity, and emphasizes a park environment for residents, employees, and visitors to visit multiple uses in a single trip.

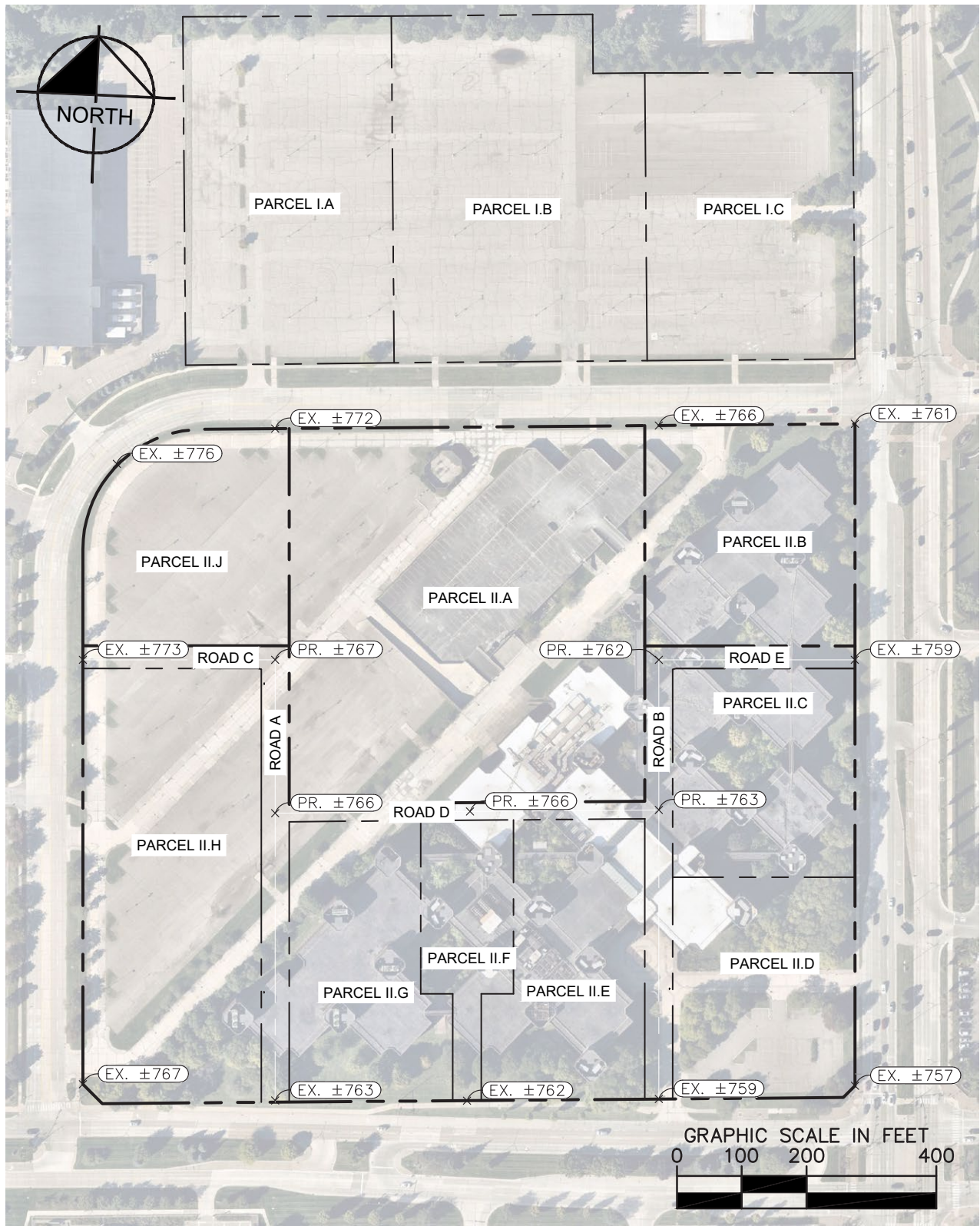




Cunningham Drive Proposed Cross Section



Cross Section B (Above)



SHEET  
NUMBER

1

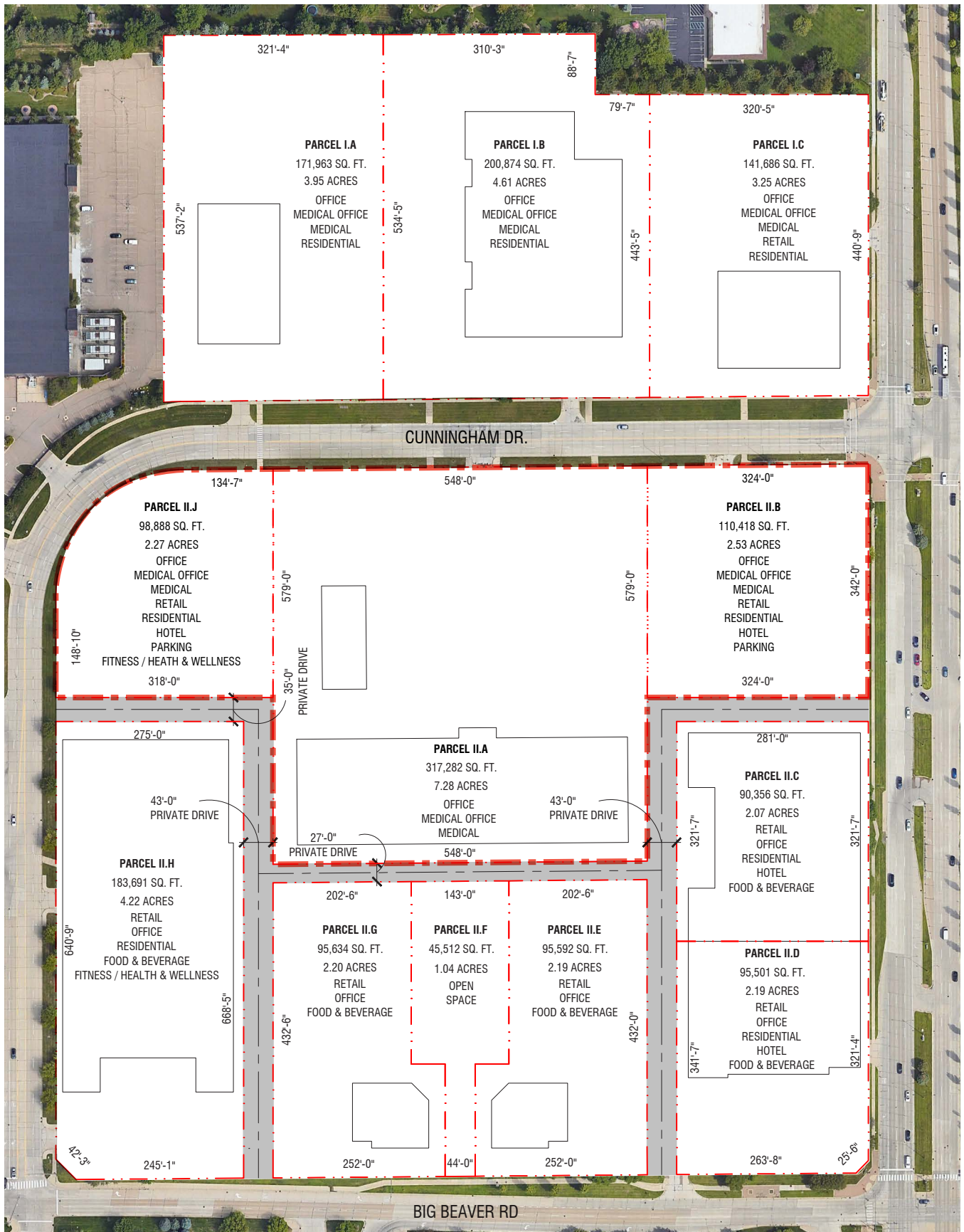
## PUD TOPOGRAPHIC PLAN

SOMERSET WEST

**Kimley»Horn**

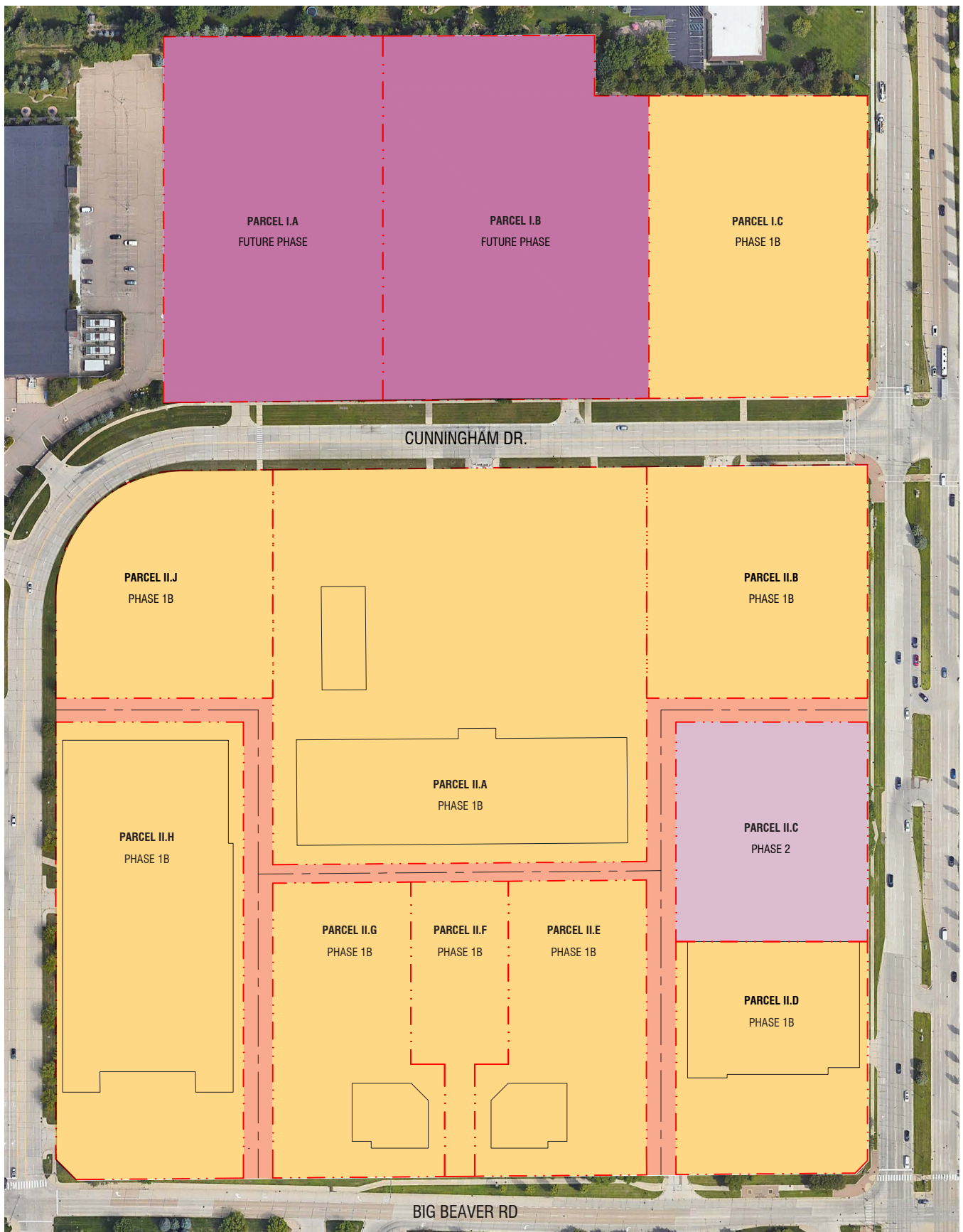
© 2025 KIMLEY-HORN OF MICHIGAN  
3000 TOWN CENTER, SUITE 2600, SOUTHFIELD, MI 48075  
PHONE: 313-572-1560  
WWW.KIMLEY-HORN.COM





--- Indicates parcels contemplated being sold to a Constitutional Corporation

0 100 200 N



Phase 1A (Applicant seeks concurrent PDP Approval for Phase 1A with CDP Approval)

Phase 1B

Phase 2

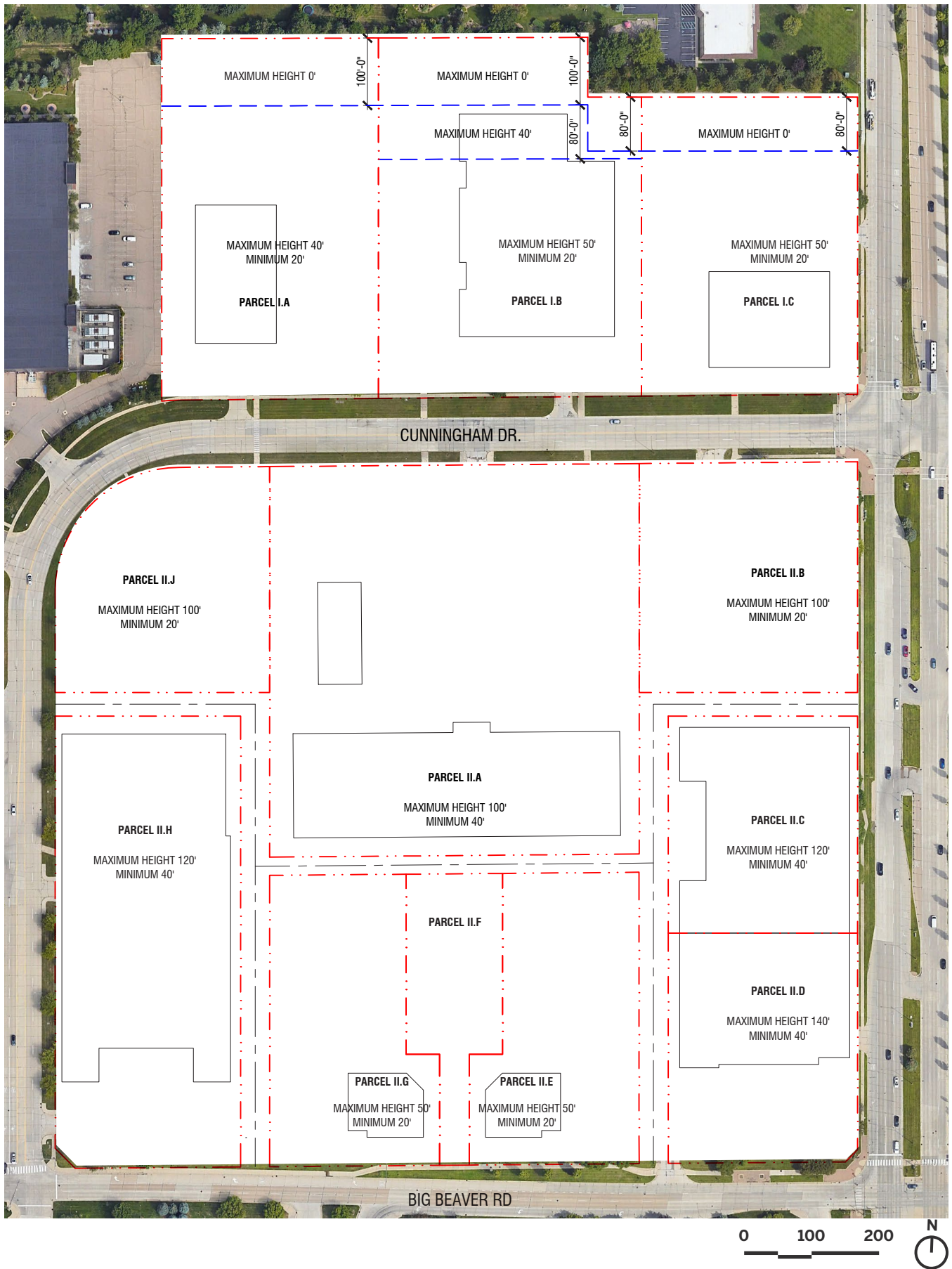
Future Phase

0 100 200

N

# Phasing Diagram





# Height Diagram

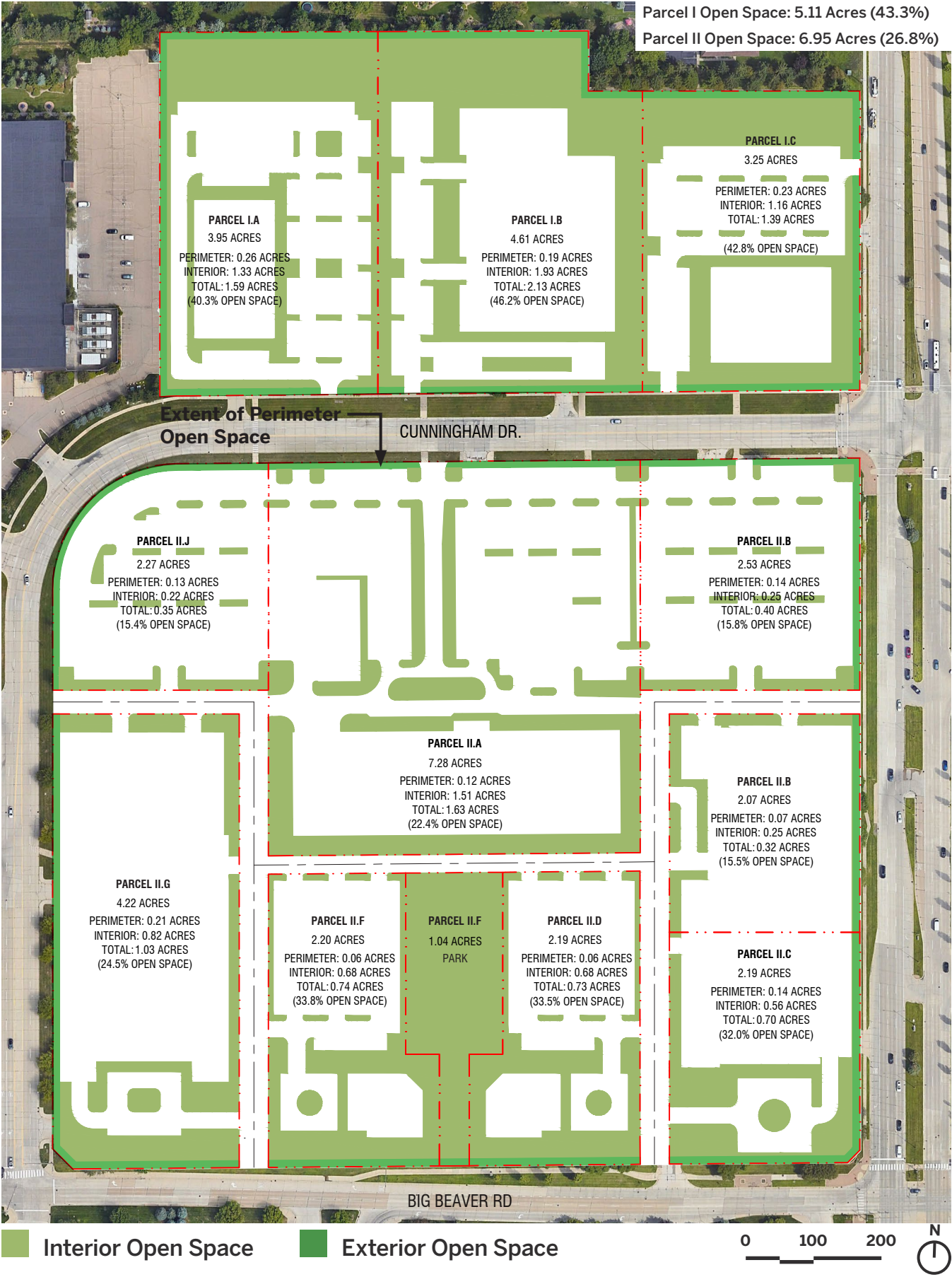




## 3D Height Diagram



Open Space elements will be provided throughout the entire site. Open Space will exceed the minimum 15% requirement of the Big Beaver Zoning District





1. Masonry  
(Red Brick)



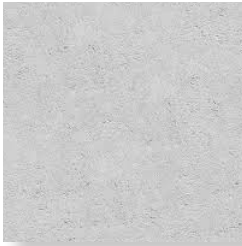
2. Masonry  
(Brown Brick)



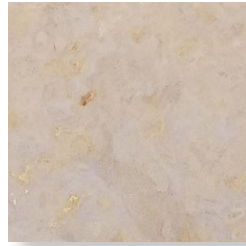
3. Masonry  
(Charcoal Brick)



4. Masonry  
(White Brick)



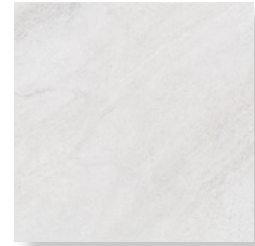
5. Cast-In-Place or  
Precast Concrete  
(Light Gray)



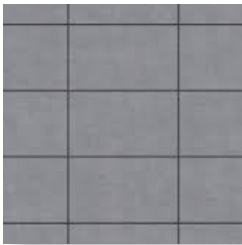
6. Stone  
(Cream)



7. Stone  
(Light Gray)



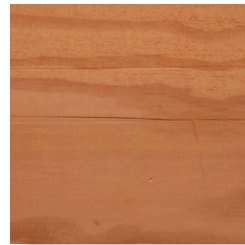
8. Stone  
(Off White)



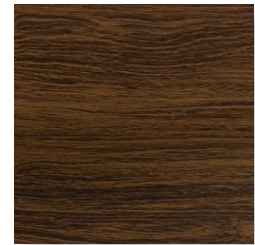
9. Metal  
(Gray)



10. Metal  
(Dark Gray)



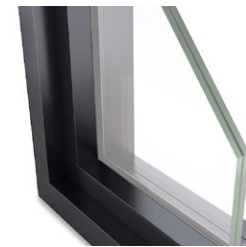
11. Wood  
(Light Brown)



12. Wood  
(Brown)

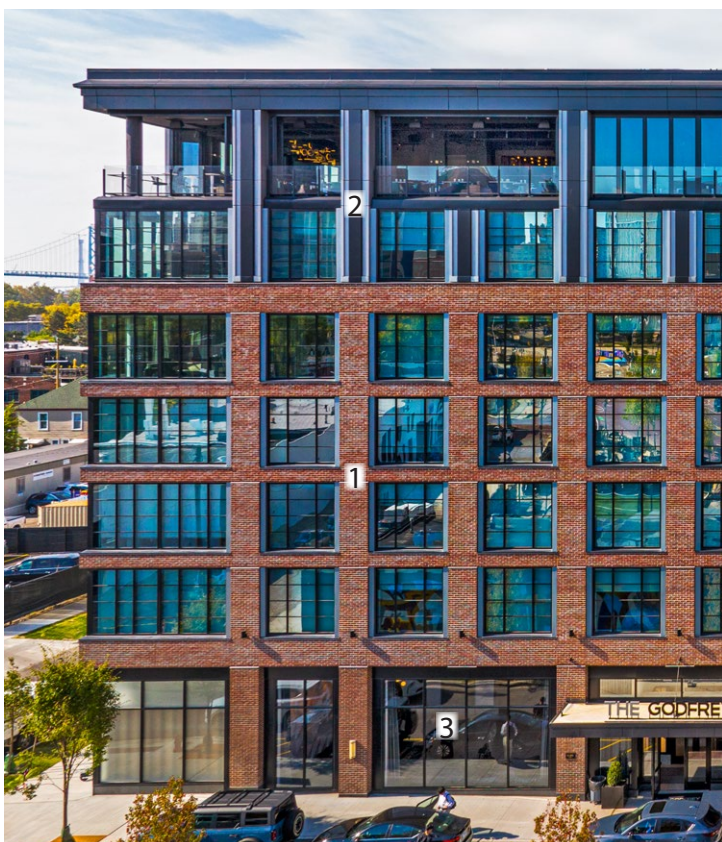


13. Fiber  
Cemente



14. Glass





## Architectural Characteristics and Materials

The general architectural character will reflect the fine qualities and traditions in the City of Troy and neighboring communities. Each structure will have its own identifying architecture that will work in harmony with buildings throughout the PUD to provide a cohesive and pleasant visual appearance. Building façade characteristics will offer a high degree of three dimensionality; scale and proportions suitable for each use; shade and shadow; and textures found in best-in-class architecture.

Building architecture to comply with the Big Beaver Corridor standards, however the City Council based on recommendations from the Planning Commission may waive certain requirements in lieu of good architectural design and quality materials.

### Note Key:



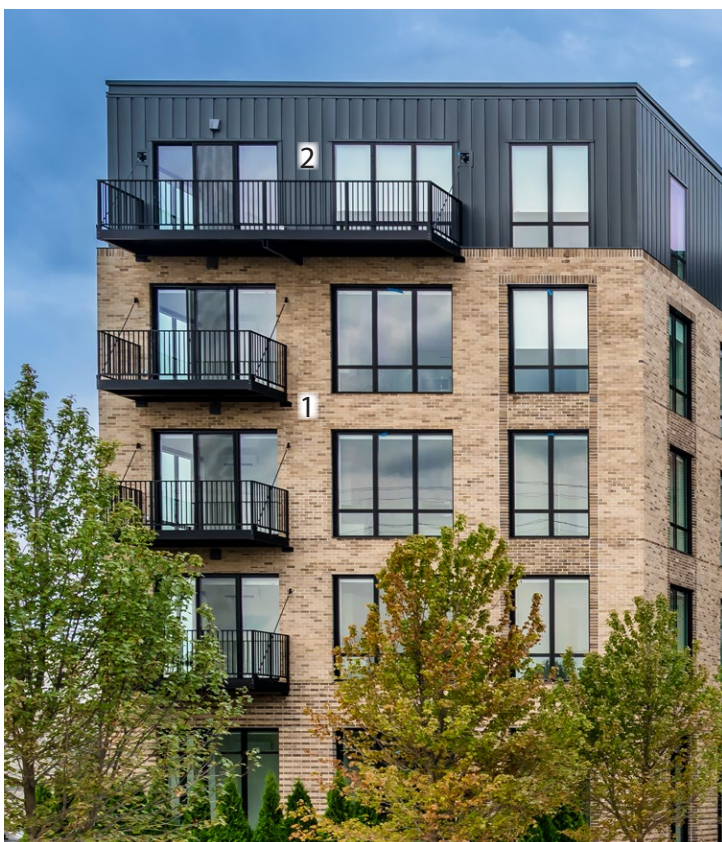
1. Masonry



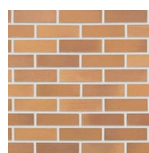
2. Metal



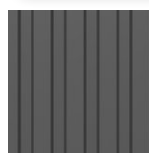
3. Glass



### Note Key:



1. Masonry



2. Metal





Note Key:



1. Metal



2. Fiber Cement



3. Glass



Note Key:



1. Masonry



2. Glass





Note Key:



1. Metal



2. Wood



3. Glass



Note Key:



1. Metal



2. Glass

# Architectural Characteristics





Note Key:



1. Masonry



2. Wood



3. Glass



Note Key:



1. Precast  
Concrete



2. Glass





Aerial Looking Northwest



Aerial Looking North

# Overall Views





Aerial Looking North



Pedestrian Spine Looking North

# Center Pedestrian Spine Views





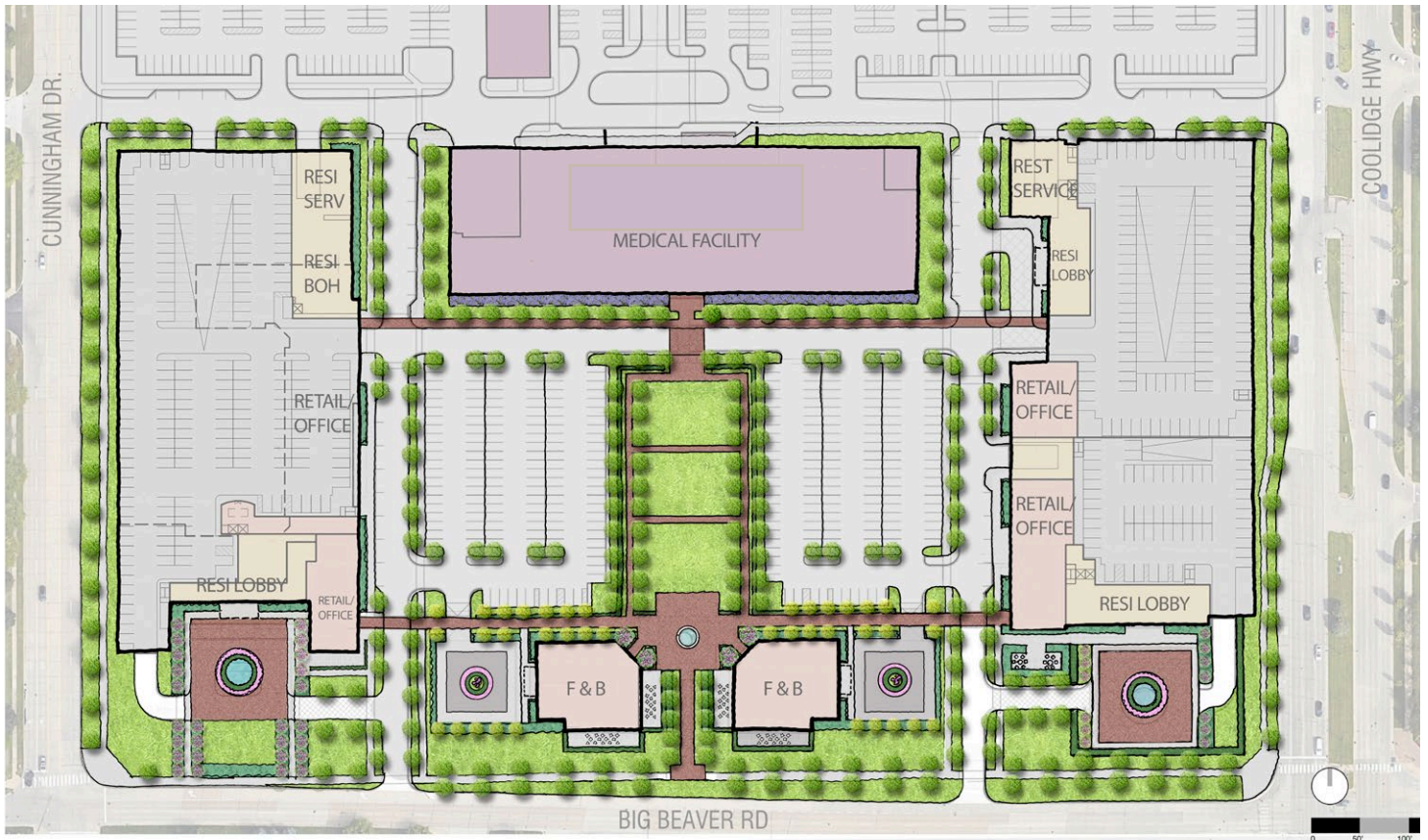
Piazza Looking Northeast



Piazza Looking Southwest

# Piazza Views





## Landscape Design Aesthetic

The general landscape design aesthetic throughout the site will be one that is cohesive, unifies the site and complements the architecture. A mix of deciduous shade and ornamental trees, evergreen trees, shrubs, perennials, annuals, and groundcovers will be utilized to provide an organizing framework with seasonal interest throughout the site.





## Plant Material

Evergreen and/or deciduous hedges will be incorporated to screen potentially objectionable views into parking lots and service areas and help define pedestrian / vehicular zones. Various plant types will be included to complement the character of the buildings. The landscape will include plant materials that are hardy to the Midwest region, utilizing native plants where appropriate. Planting materials will be specified to help conserve water.

Tree and shrub sizes will meet or exceed the minimum city standards. The size, quantity and spacing will be appropriate for the location in the initial placement and its projected appearance at maturity.





## Open Park Space

A central open park space will be provided within the development to provide opportunities for residents, business employees, and visitors as well as the general public to enjoy a moment of respite during the day or experience a multitude of programmed or non-programmed activities during the evenings and /or weekends. The large, central, open park area will allow for flexibility in programming and usage of the park. The park will consist of appropriately scaled pedestrian walkways, lighting and trees for shade and scale. A hedge will line the outside perimeter of the park to help define the edges between pedestrian and vehicular zones as well as screen views into the adjoining parking lots. Both intimate as well as more interactive seating opportunities will also be incorporated throughout the park.





## Site Furnishings

Pedestrian scaled site furnishings will be located strategically throughout the site and align with other elements along the streets and within the park. Seating will be durable, comfortable, attractive, anchored, and easy to maintain. A variety of bench types, low seat walls or other seating types will be provided in public and common spaces. Trash receptacles will be conveniently located near benches and other activity nodes, but not immediately adjacent to seating. Trash receptacles, bike racks and other potential site amenities will be of similar product family or style and will be complementary with the street lighting.

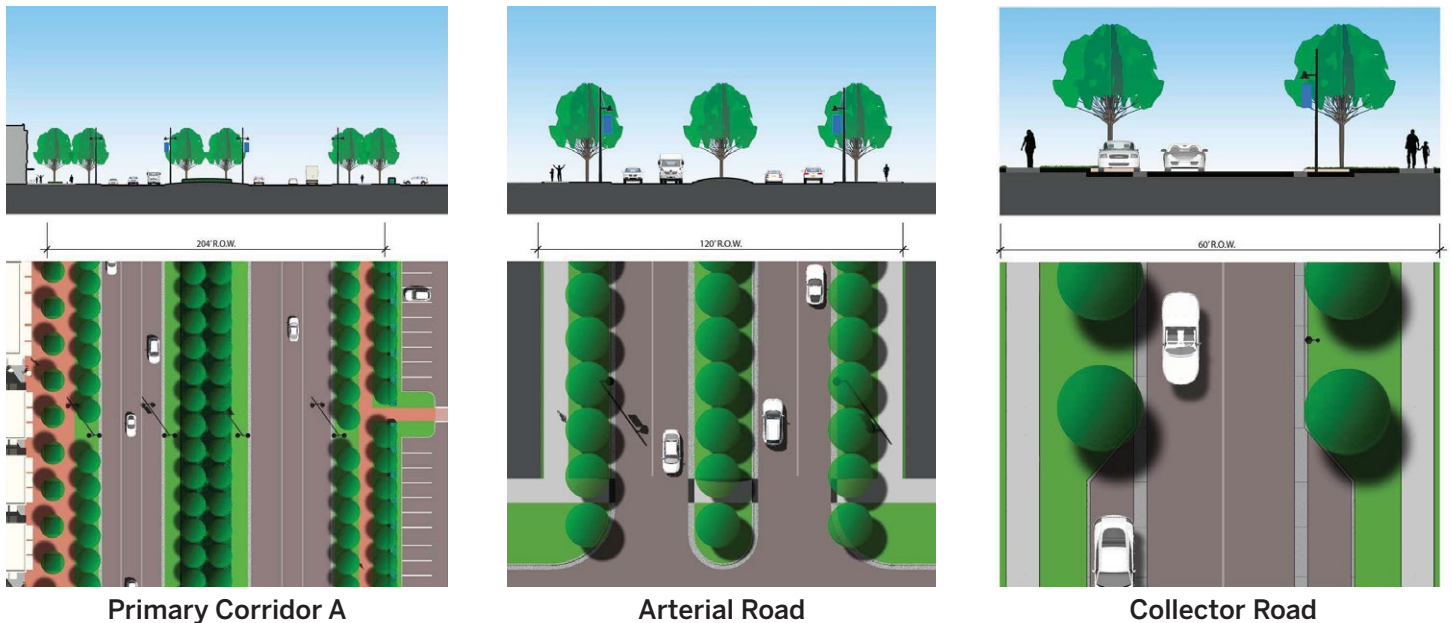




## Greenbelts

Greenbelt landscape will be provided along Big Beaver Rd., Coolidge Highway, and Cunningham Drive per city ordinance. These greenbelts will be developed to follow the intent of The Big Beaver Design Guidelines and provide visual relief and interest for the development.

- Big Beaver (Primary Corridor A - 204' ROW)- A double row of large shade trees will line both sides of the widened sidewalk along the north side of Big Beaver to help create a unified aesthetic along Big Beaver, toward transforming the road into a world-class blvd.
- Coolidge Highway (Arterial Road – 120' ROW) – A single row of large, shade trees to help buffer, soften and scale down the buildings and parking deck will line Coolidge Highway. Shrub plantings will be installed along the base of the buildings and parking deck to soften and present a more pedestrian scale feel along the roadway and sidewalk.
- Cunningham Drive (Collector Road – 60' ROW) – A single row of large, shade trees to help buffer, soften and scale down the buildings and parking deck will line Cunningham Drive. Shrub plantings will be installed along the base of the buildings and parking deck to soften and present a more pedestrian scale feel along the roadway and sidewalk.



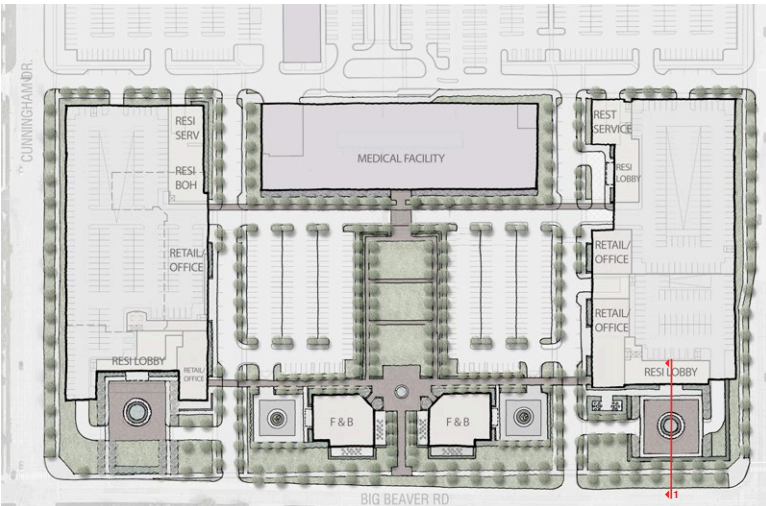
All greenbelts will include appropriately scaled sidewalks, landscaping, lighting, and street amenities consistent with the Big Beaver Design guidelines.

Thoughtful consideration will be used in addressing the views into the site from the major intersections and roadways. Key views into the site will occur at the intersections of Coolidge Highway and Big Beaver Rd. as well as Cunningham Dr. and Big Beaver Rd. to help connect the residential developments to the surrounding community. A purposeful opening in the landscape will also occur mid-block along Big Beaver Rd. to allow for visual and pedestrian connections deep into the site and up to the proposed U of M medical facility.



**Note Key:**

1. Double Row of Shade Trees in Lawn Along Big Beaver Road
2. 8' Wide Concrete Sidewalk
3. Center Island Landscape - Mix of Evergreen, Deciduous, and Ornamental Plants
4. Low Evergreen Hedge to Screen Parking Areas
5. Shade Trees Along Entry Drive Aisle Beyond
6. Ornamental Building Foundation Plantings



Key Map

**General Note:**

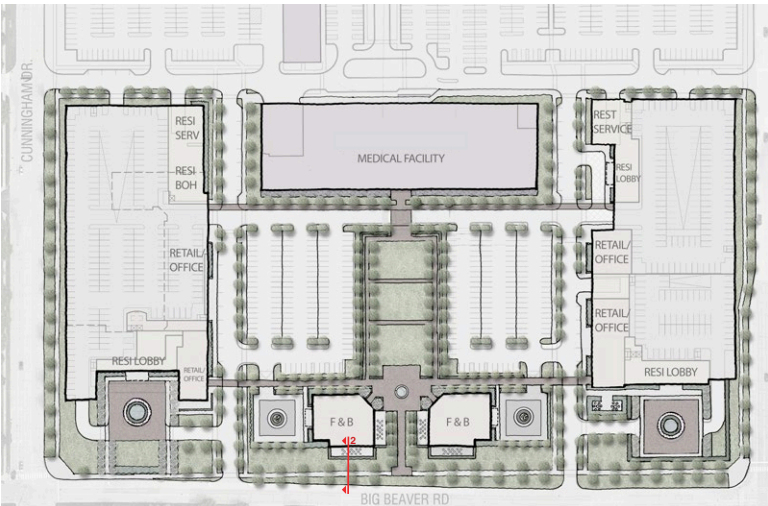
All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

**Section 1**  
**Residential Auto Court | Big Beaver Rd.**



**Note Key:**

- 1. Double Row of Shade Trees in Lawn
- 2. 8' Wide Concrete Sidewalk
- 3. Evergreen / Deciduous Hedge with Ornamental Foreground Plantings
- 4. Outdoor Seating / Dining
- 5. Restaurant



Key Map

**General Note:**

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

**Section 2**  
**Restaurant Terrace | Big Beaver Rd.**



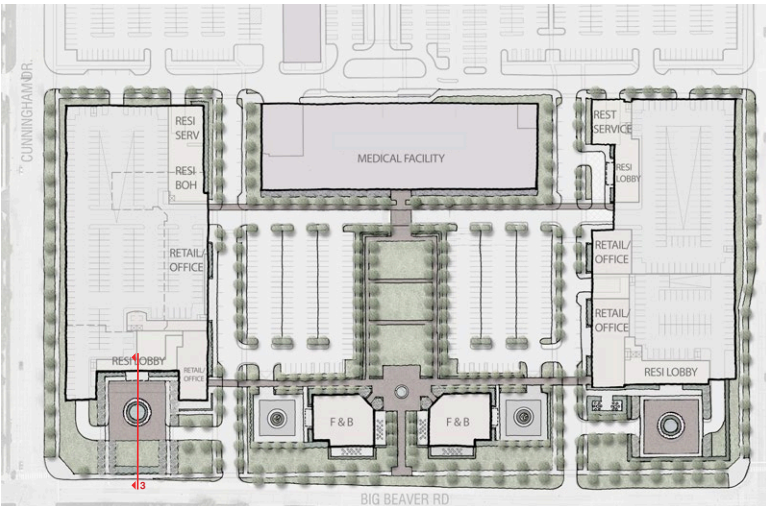


**Note Key:**

- 1. Shade Trees Beyond
- 2. 8' Wide Concrete Sidewalk
- 3. Evergreen / Deciduous Hedge with Ornamental Foreground Plantings
- 4. Ornamental Foundation Plantings
- 5. Center Island Landscape - Mix of Evergreen, Deciduous, and Ornamental Plants

**Residential / Restaurant Drop-off Zones**

All drop off zones will be landscaped to provide a welcoming environment. Ornamental trees, shrubs, perennials, annuals, and groundcovers will be incorporated to provide scale and seasonal interest.



Key Map

**General Note:**

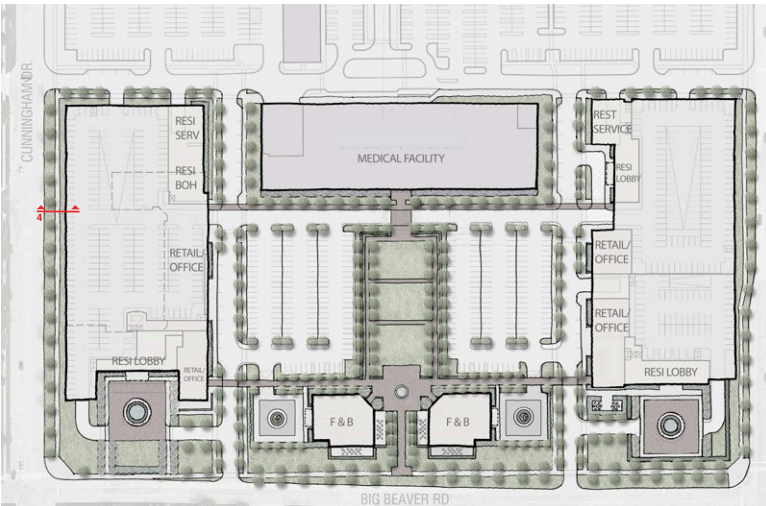
All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines





**Note Key:**

- 1. Single Row of Large Shade Trees in Lawn
- 2. Minimum 5' Wide Concrete Sidewalk
- 3. 6' Wide Bike Lane
- 4. Foundation Plantings
- 5. Existing Street Lighting



Key Map

**General Note:**

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



**Note Key:**

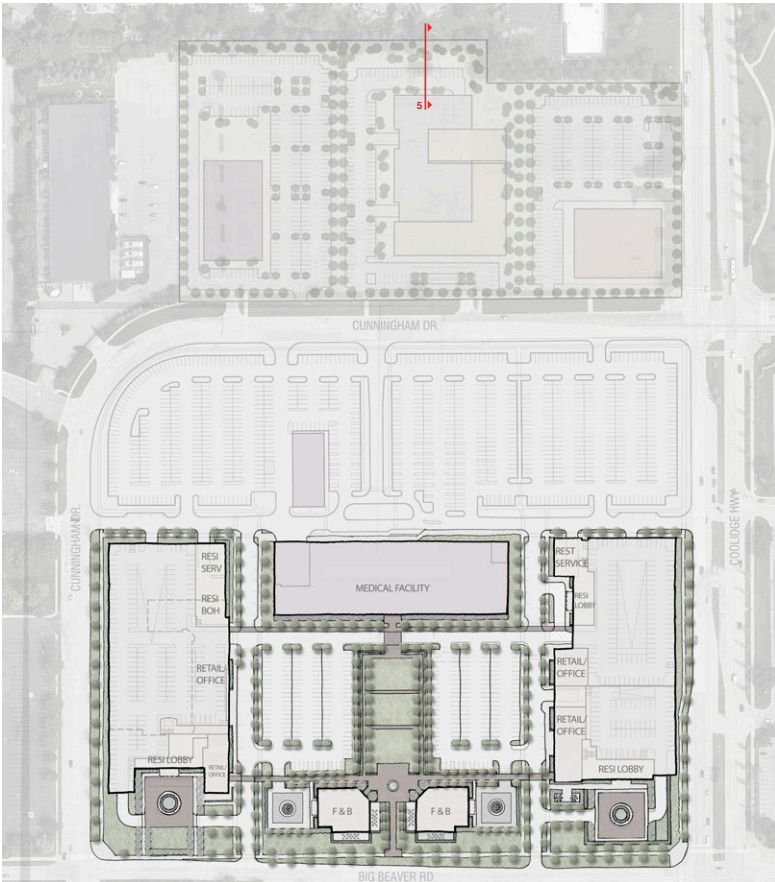
- 1. Mix of Existing Deciduous and Evergreen Trees on Berm
- 2. Mix of Shade and Understory Trees in Lawn
- 3. Future Building and Foundation Plantings

**General Note:**

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

**Northern Buffer Zone**

Currently the site has a landscaped berm on the north end of the site adjacent to the residential neighborhood. The berm will be maintained, and additional plantings will be added, if required, in accordance with the current zoning ordinance. A 100-foot set back from the property line to the face of any proposed buildings will be implemented relative to residential houses. A 40-foot set back from the property line to the building face of any proposed buildings will be implemented relative to the existing church.

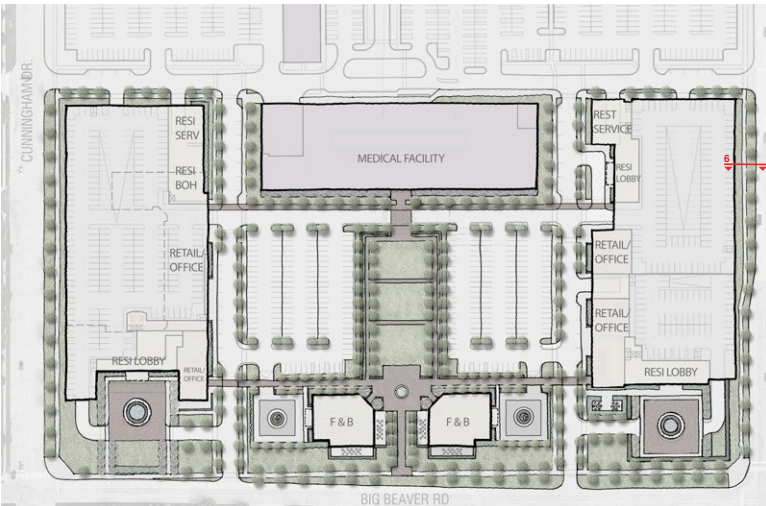






**Note Key:**

- 1. Single Row of Large Shade Trees in Lawn
- 2. 8' Wide Concrete Sidewalk
- 3. Foundation Plantings



Key Map

**General Note:**

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



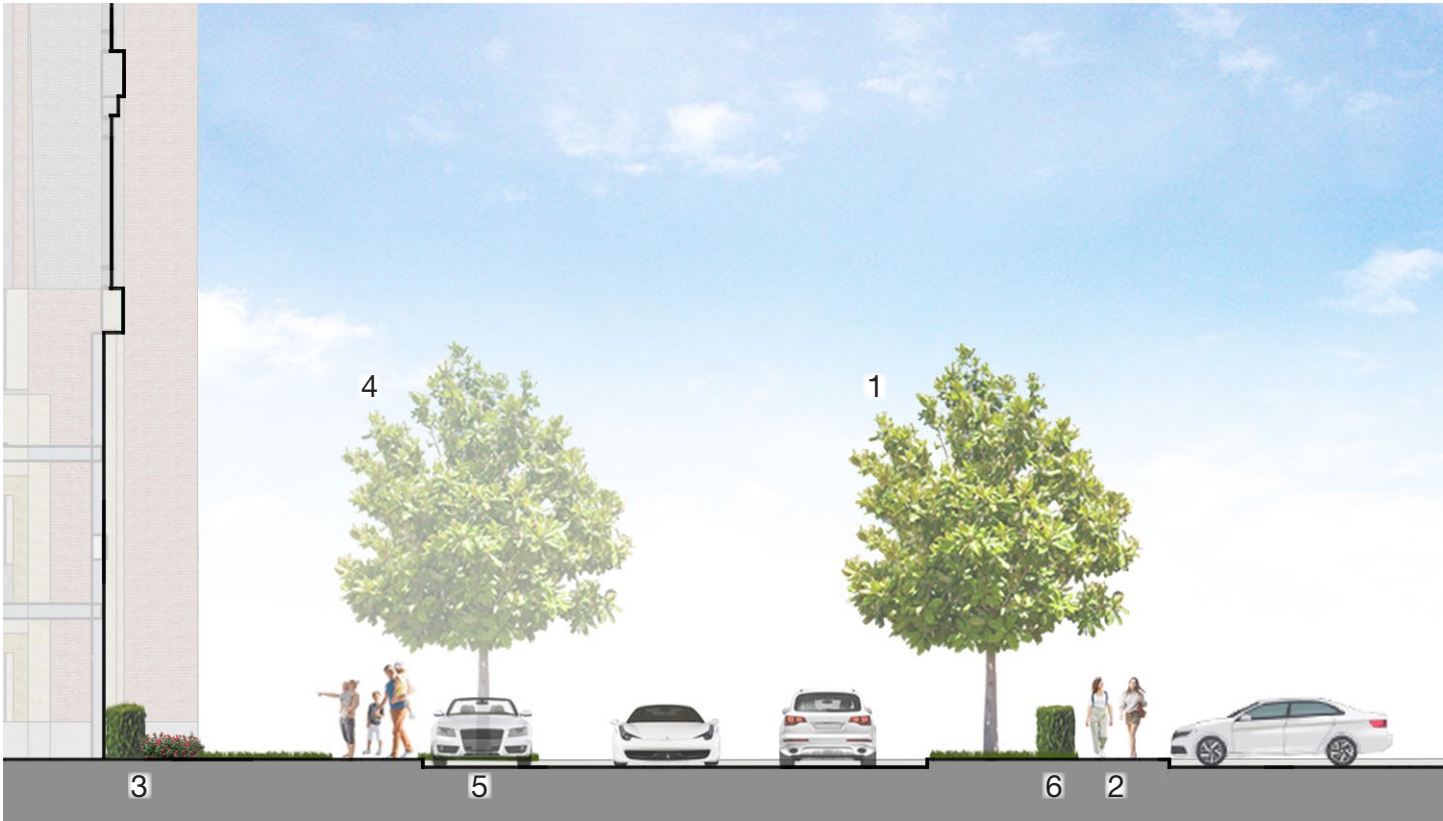


## Interior Streetscapes

The development's interior streetscape will integrate trees, site furnishings and pedestrian scaled street lighting to create a unified design. Street trees and plantings will be used in locations to provide scale and unify pedestrian areas. Sidewalks will be a generous eight feet wide with street trees planted in lawn buffer zones adjacent to the street to separate pedestrians from vehicular traffic. In locations where parallel parking occurs, sidewalks will abut the parking areas to allow for clear access in and out of vehicles.

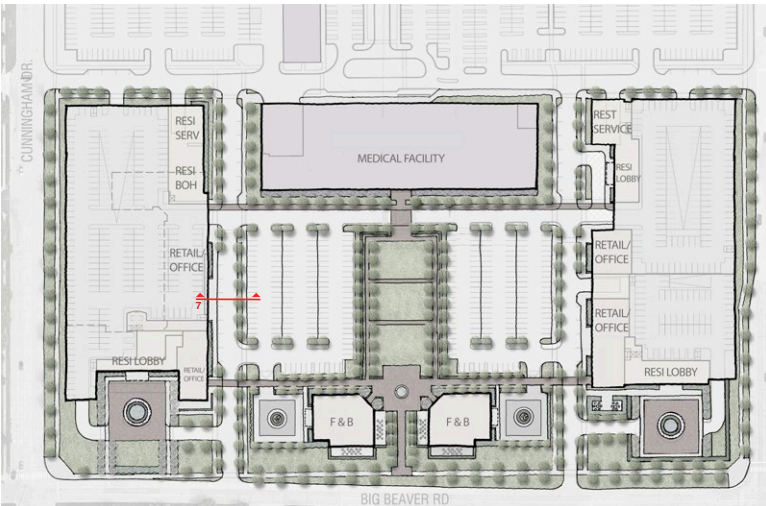






**Note Key:**

- 1. Single Row of Large Shade Trees in Lawn
- 2. Minimum 6' Wide Concrete Sidewalk
- 3. Ornamental Foundation Plantings
- 4. Street Trees Beyond
- 5. Parallel Parking
- 6. Evergreen Hedge to Screen Parking



Key Map

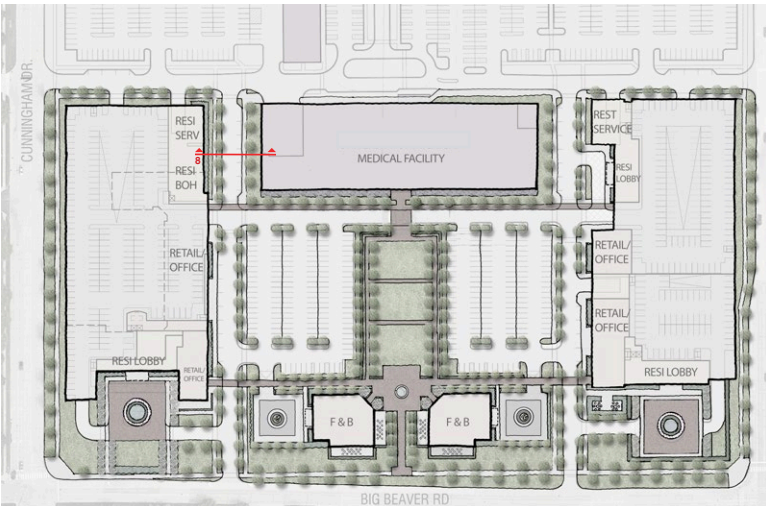
**General Note:**

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



**Note Key:**

- 1. Single Row of Large Shade Trees in Lawn
- 2. Minimum 6' Wide Concrete Sidewalk
- 3. Ornamental Foundation Plantings
- 4. Street Tree Beyond
- 5. Parallel Parking
- 6. University of Michigan Medical Facility



Key Map

**General Note:**

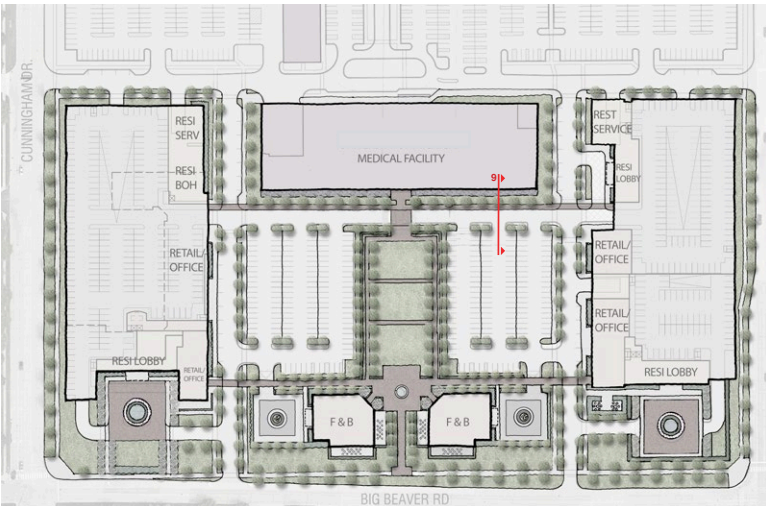
All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines





**Note Key:**

1. Single Row of Large Shade Trees in Lawn
2. Minimum 6' Wide Concrete Sidewalk
3. University of Michigan Medical Facility
4. Ornamental Foundation Plantings
5. Large Shade Trees and Lawn in Parking Lot Islands
6. Street Trees Beyond
7. Parking Lot



Key Map

**General Note:**

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



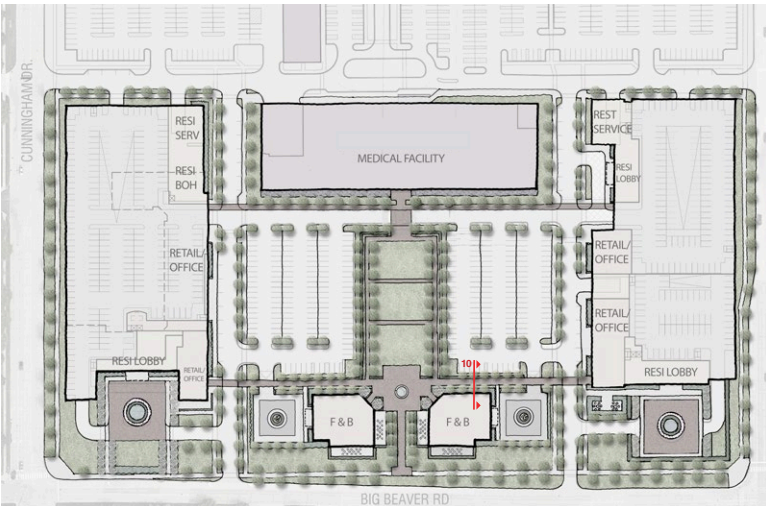


**Note Key:**

- 1. Double Row of Shade Tree
- 2. Specialty Sidewalk Paving Along Promenade
- 3. Evergreen Hedge to Screen Parking
- 4. Ornamental Foundation Plantings
- 5. Pedestrian Lighting
- 6. Seating Along Promenade
- 7. Restaurant

**Sidewalk and Specialty Paving**

Sidewalk paving throughout the development will incorporate typical medium broom finished concrete. Key intersection crosswalks, the promenade, plaza, and residential building entrances will consist of a variety of specialty paving materials, ranging from exposed aggregate concrete to clay brick or precast concrete pavers. Varying patterns and materials will help distinguish pedestrian passageways and gathering spaces to create interest, emphasize entries and differentiate use areas.



Key Map

**General Note:**

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

**Section 10**  
**East/West Pedestrian Promenade**

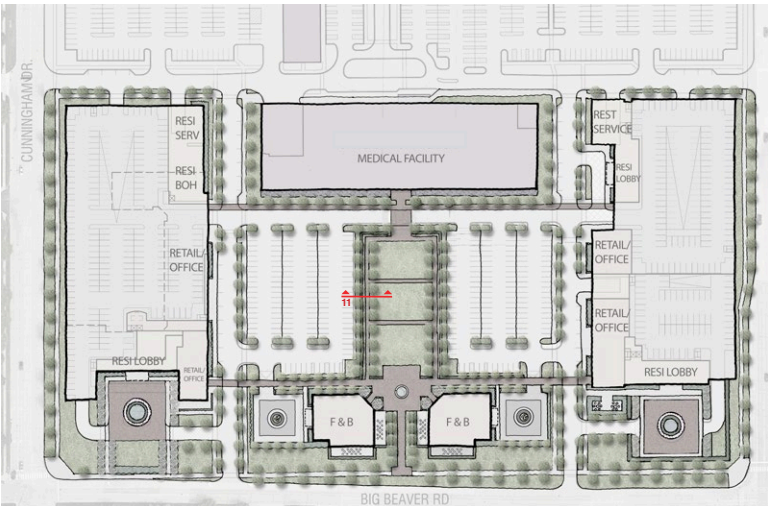


**Note Key:**

- 1. Double Row of Large Shade Trees in Lawn
- 2. Minimum 6' Wide Sidewalk
- 3. Evergreen Hedge to Screen Parking
- 4. Open Lawn Park Space

**Parking Lot Landscaping**

The parking lots will be screened from surrounding perimeter streets to the largest extent possible, to create a more pedestrian focused atmosphere. Moderate height evergreen or deciduous shrub hedges will be implemented for this purpose. Perimeter streets as well as interior parking lot islands will be landscaped with lawns, landscape bed plantings, and trees.



Key Map

**General Note:**

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



**CITY OF TROY  
PLANNED UNIT DEVELOPMENT  
PRELIMINARY DEVELOPMENT PLAN (PDP) APPLICATION**

**CITY OF TROY PLANNING DEPARTMENT**  
500 W. BIG BEAVER  
TROY, MICHIGAN 48084  
248-524-3364  
FAX: 248-524-3382  
E-MAIL: [planning@troymi.gov](mailto:planning@troymi.gov)



PRELIMINARY DEVELOPMENT PLAN FEE  
**\$1,500.00**  
  
ESCROW FEE  
**\$5,000.00**

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE PLANNED UNIT DEVELOPMENT PRELIMINARY DEVELOPMENT PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEES, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

1. NAME OF THE PROPOSED DEVELOPMENT: Phase 1A- Somerset West Infrastructure
2. LOCATION OF THE SUBJECT PROPERTY: 3100 W. Big Beaver, Troy, Michigan 48084
3. DATE OF CONCEPT DEVELOPMENT PLAN APPROVAL BY CITY COUNCIL: Owner seeks concurrent approval of Phase 1A with CDP Approval
4. DESCRIPTION OF PROJECT PHASE: Underground utilities, storm detention, roadways and curbs
5. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-19-476-002 and 88-20-19-476-003

- |  |  |
|--|--|
| 6. APPLICANT:<br>NAME <u>Nathan Forbes</u><br>COMPANY <u>Forbes Frankel Troy Ventures LLC</u><br>ADDRESS <u>100 Galleria Officentre, Suite 427</u><br>CITY <u>Southfield</u> STATE <u>MI</u> ZIP <u>48034</u><br>TELEPHONE <u>248-827-4600</u><br>E-MAIL <u>nforbes@theforbescompany.com</u> | PROPERTY OWNER;<br>NAME <u>Nathan Forbes</u><br>COMPANY <u>Forbes Frankel Troy Ventures LLC</u><br>ADDRESS <u>100 Galleria Officentre, Suite 427</u><br>CITY <u>Southfield</u> STATE <u>MI</u> ZIP <u>48034</u><br>TELEPHONE <u>248-827-4600</u><br>E-MAIL <u>nforbes@theforbescompany.com</u> |
|--|--|

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:  
\_\_\_\_\_

8. SIGNATURE OF APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

9. SIGNATURE OF PROPERTY OWNER Nathan Forbes DATE 2/25/25

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES THE PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PLANNED UNIT DEVELOPMENT PRELIMINARY DEVELOPMENT PLAN APPROVAL.



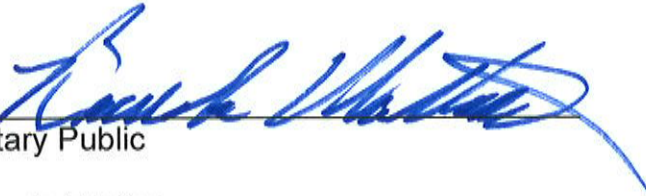
## Notarial Certificate

(State of Michigan)  
( ) ss  
(County of Oakland)

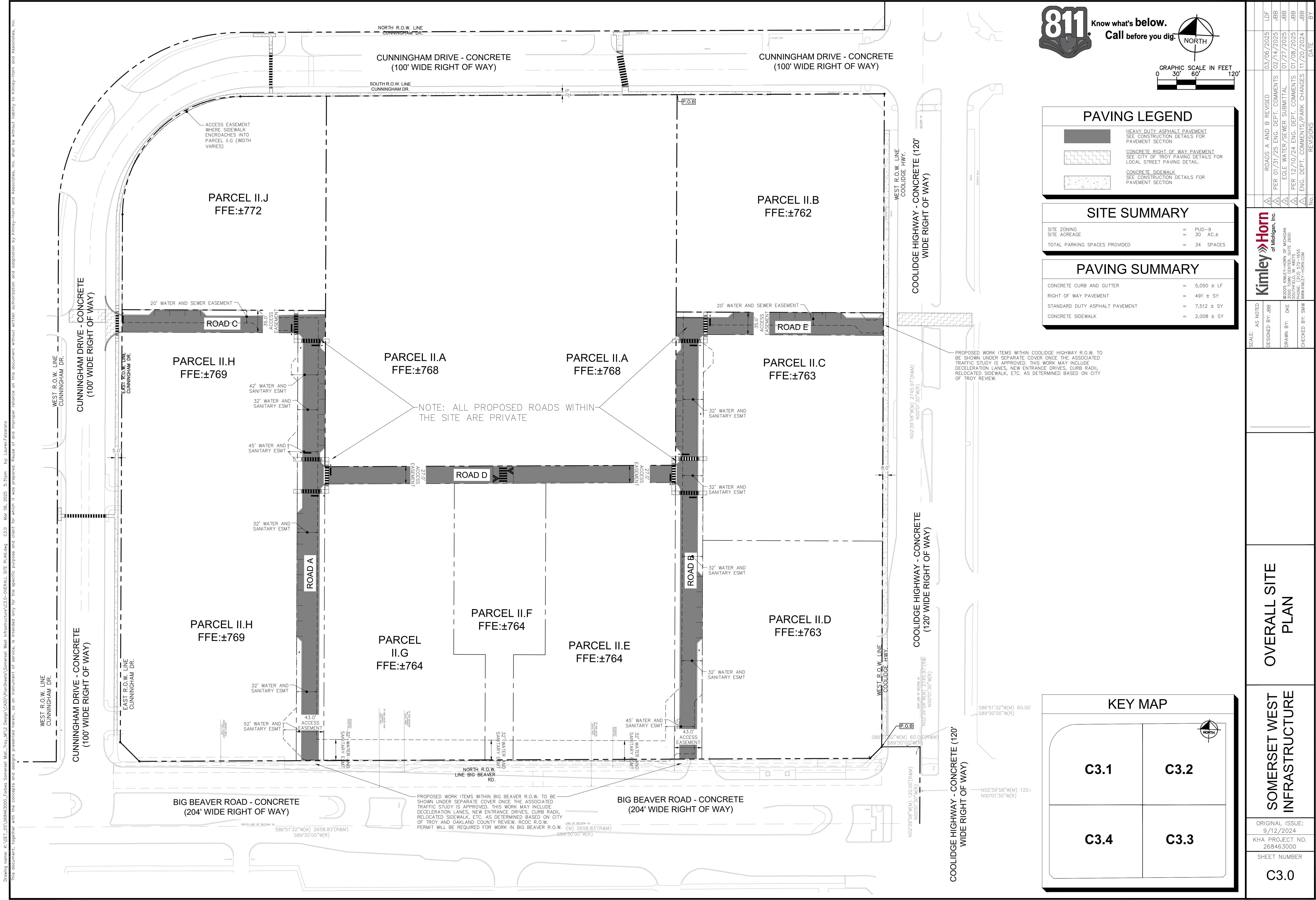
On this 25th day of FEBRUARY, 20 25, personally  
appeared before me:

NATHAN FORBES

Known [☐ or produced identification] to me to be the individual who executed the  
foregoing document and acknowledged the same as a free act and deed for uses and  
purposes therein expressed.

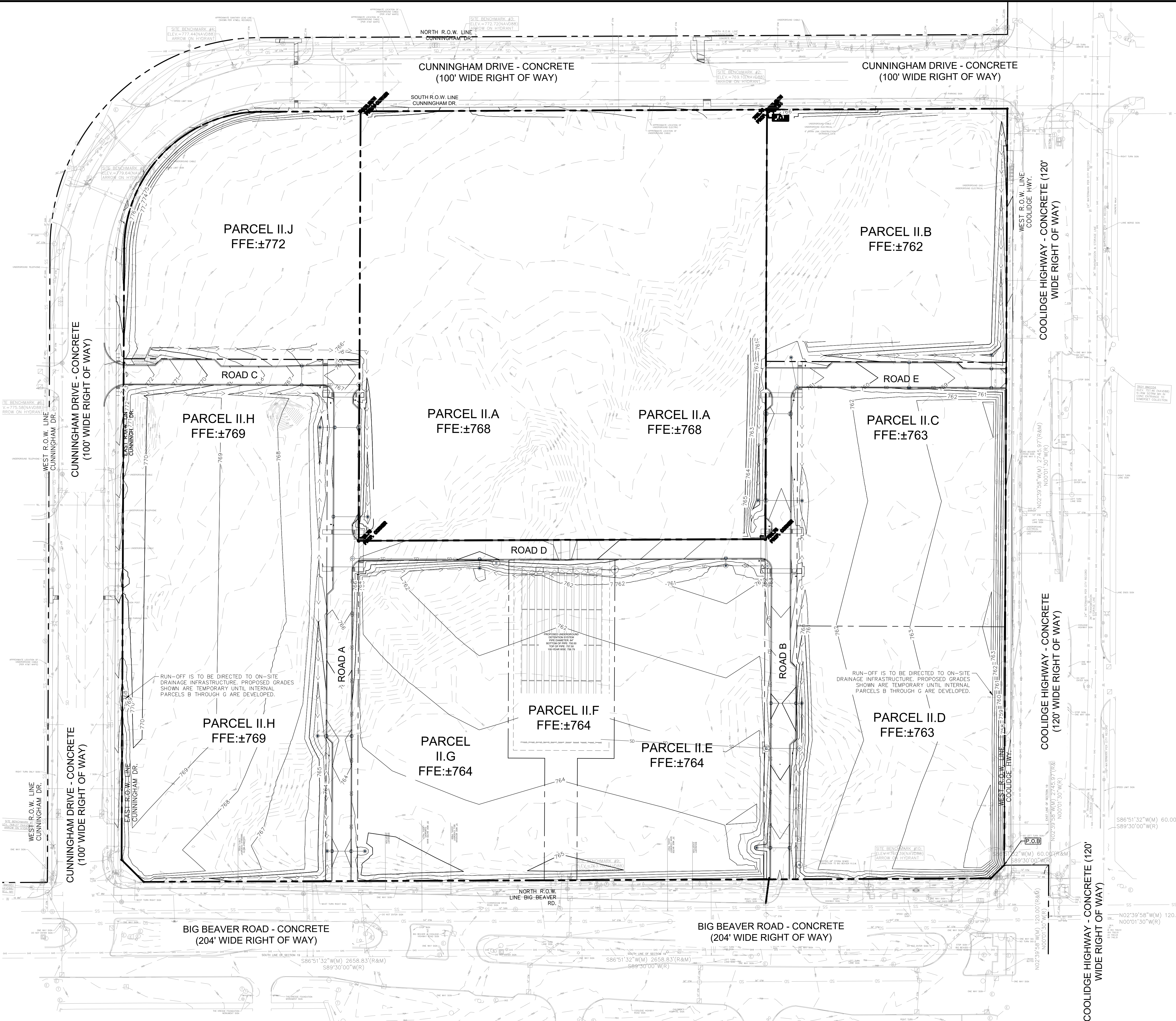
  
Notary Public

Brenda Walton  
Notary Public – State of Michigan  
Oakland County  
My Commission Expires: October 1, 2029  
Acting in the county of OAKLAND.





Drawing name: K:\DEI\DES\268463000\_Forest Somerset West Infrastructure\C5.0-OVERALL GRADING AND DRAINAGE PLAN.dwg C5.0 Mar 06, 2025 5:46pm by: LaurenFatorano  
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.





Know what's below.  
Call before you dig.



GRAPHIC SCALE IN FEET  
0 30' 60' 120'

### GRADING LEGEND

|  |   |
|--|---|
|  | FINISHED GRADE SPOT ELEVATION               |
|  | TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION |
|  | FLOW LINE SPOT ELEVATION                    |
|  | MATCH EXISTING SPOT ELEVATION               |
|  | RIM ELEVATION                               |
|  | STRUCTURE ID & RIM ELEVATION                |
|  | STRUCTURE ID & INVERT ELEVATION             |
|  | PROPOSED CONTOUR                            |
|  | RIIDGE LINE                                 |
|  | SLOPE AND FLOW DIRECTION                    |
|  | PROPOSED SWALE                              |
|  | PROPOSED STORM SEWER                        |
|  | PROPOSED STORM STRUCTURES                   |
|  | PROPOSED SANITARY MANHOLE                   |
|  | PROPOSED STORM/SANITARY CLEANOUT            |
|  | PROPOSED WATER STRUCTURES                   |

### BENCHMARKS

SITE BENCHMARKS:  
(LOCATIONS SHOWN ON SURVEY)

SBM #1 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 140 FEET WEST OF COOLIDGE ROAD WEST ROW.  
ELEVATION=767.31 (NAVD88)

SBM #2 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 400 FEET WEST OF COOLIDGE ROAD WEST ROW.  
ELEVATION=769.10 (NAVD88)

SBM #3 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 750 FEET WEST OF COOLIDGE ROAD WEST ROW.  
ELEVATION=772.72 (NAVD88)

SBM #4 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 1050 FEET WEST OF COOLIDGE ROAD WEST ROW.  
ELEVATION=777.44 (NAVD88)

SBM #5 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 1360 FEET WEST OF COOLIDGE ROAD WEST ROW.  
ELEVATION=779.64 (NAVD88)

SBM #6 ARROW ON HYDRANT, WEST ROW OF CUNNINGHAM DRIVE & 650 FEET NORTH OF BIG BEAVER ROAD NORTH ROW.  
ELEVATION=775.58 (NAVD88)

SBM #7 ARROW ON HYDRANT, WEST ROW OF CUNNINGHAM DRIVE & 50 FEET NORTH OF BIG BEAVER ROAD NORTH ROW.  
ELEVATION=768.27 (NAVD88)

SBM #8 ARROW ON HYDRANT, NORTH ROW OF BIG BEAVER ROAD & 250 FEET EAST OF CUNNINGHAM DRIVE EAST ROW.  
ELEVATION=763.70 (NAVD88)

SBM #9 ARROW ON HYDRANT, NORTH ROW OF BIG BEAVER ROAD & 185 FEET WEST OF COOLIDGE HIGHWAY WEST ROW.  
ELEVATION=760.39 (NAVD88)

TROY BM0334 ARROW N-RIM STORM MH IN CONC ENTRANCE TO SOMERSET COLLECTION  
ELEVATION=757.47 (NAVD88)

TROY BM0951 N-RIM BELL MH, CORNER OF BIG BEAVER ROAD & CUNNINGHAM  
ELEVATION=760.39 (NAVD88)

AS NOTED  
DESIGNED BY: JBB  
DRAWN BY: OKE  
CHECKED BY: SMW

SCALE:  
DESIGNED BY: JBB  
DRAWN BY: OKE  
CHECKED BY: SMW

ROADS A AND B REVISED 03/06/2025  
PER 01/31/25 ENG. DEPT. COMMENTS 02/14/2025 JBB  
EGLE WATER/SEWER SUBMITTAL 01/27/2025 JBB  
PER 12/10/24 ENG. DEPT. COMMENTS 01/08/2025 JBB  
ENG. DEPT. COMMENTS/PARK CHANGES 11/20/2024 JBB  
REVISIONS: DATE BY

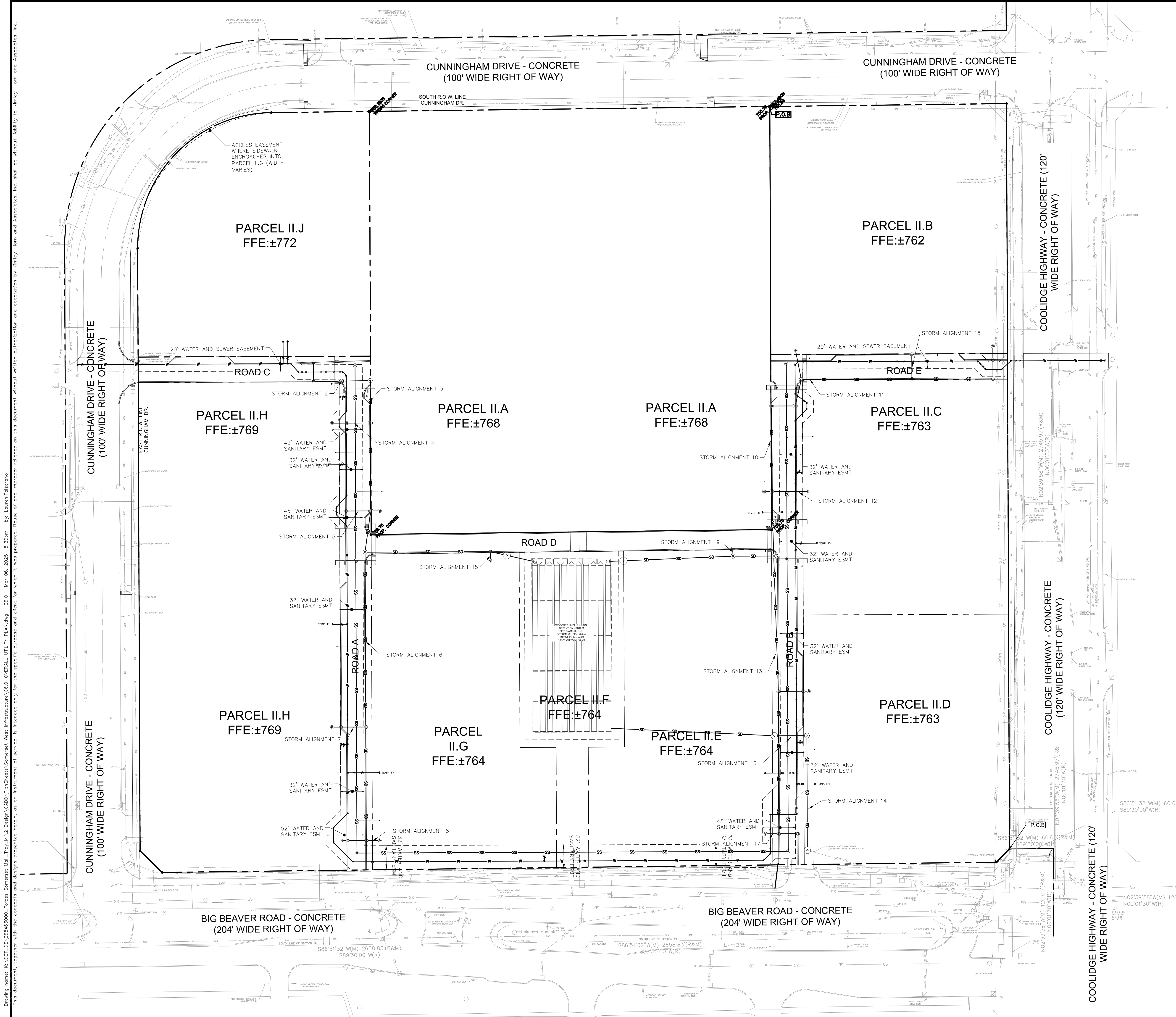
Kimley-Horn  
of Michigan, Inc.  
2500 TOWN CENTER SUITE 200  
SOUTHFIELD, MI 48075  
(313) 271-2000  
WWW.KIMLEY-HORN.COM


OVERALL GRADING  
AND DRAINAGE  
PLAN

SOMERSET WEST  
INFRASTRUCTURE

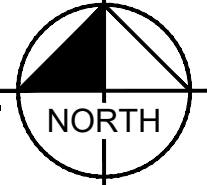
ORIGINAL ISSUE:  
9/12/2024  
KHA PROJECT NO.  
268463000  
SHEET NUMBER  
C5.0








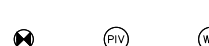
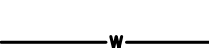


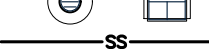


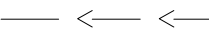


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GRAPHIC SCALE IN FEET  
0 30' 60' 120'

UTILITY LEGEND



PROPOSED SWALE  
PROPOSED STORM SEWER LINE  
STRUCTURE ID  
PROPOSED STORM STRUCTURES  
PROPOSED SANITARY SEWER LINE  
PROPOSED SANITARY LATERAL LINE  
PROPOSED SANITARY MANHOLE  
PROPOSED STORM/SANITARY CLEANOUT  
PROPOSED WATER LINE  
PROPOSED WATER VALVE BOX, PIV, METER  
FIRE HYDRANT, FIRE DEPT. CONN. & VAULT  
PROPOSED WATER BENDS & TEE

BASIS OF DESIGN

| Parcel  | Site Use                  | Area (SF)<br>(if applicable) | Number of Employees,<br>Residence, Units,<br>etc.<br>(if applicable) | Unit type         | REU rate<br>per    | REUs  |
|---|---------------------------|------------------------------|--|-------------------|--------------------|-------|
| Parcel II.A   | Industrial (Chemical)     | 230,000                      | -  | 0.01 per 1,000 SF | -                  | 43.7  |
| Parcel II.B   | Industrial                | -                            | 250  | rooms             | 0.01 per room      | 2.5   |
| Parcel II.C   | Hotel-Family              | -                            | 300  | residences        | 0.01 per residence | 3.0   |
| Parcel II.D   | Hotel                     | 5,900                        | -  | 0.01 per 1,000 SF | -                  | 0.9   |
| Parcel II.E   | Hotel-Family              | -                            | 50   | residences        | 0.01 per residence | 0.5   |
| Parcel II.F   | Restaurant (conventional) | 9,000                        | -  | 0.01 per 1,000 SF | -                  | 0.6   |
| Parcel II.G   | Restaurant (conventional) | 16,000                       | -  | 0.01 per 1,000 SF | -                  | 0.6   |
| Parcel II.H   | Restaurant (conventional) | n/a                          | -  | 0.01 per 1,000 SF | -                  | 0.6   |
| Parcel II.I   | Hotel-Family              | 15,000                       | 271  | residences        | 0.01 per residence | 13.2  |
| Parcel II.J   | Hotel                     | 15,000                       | -  | 0.01 per 1,000 SF | -                  | 2.4   |
| Parcel II.K   | Medical Office            | 150,000                      | -  | 0.01 per 1,000 SF | -                  | 28.1  |
| Total   |                           |                              |  |                   |                    | 491.5 |
| Note: REU Rate (rounded up to nearest whole number) |                           |                              |  |                   |                    | 492   |

Sanitary Sewer Basis of Design per Site-wide REU

REU for the site = 492 REUs

Assuming use per person = 3.5 people

Sanitary flows per REU = 100 gal/day/person

Average daily flow = 172,200 gal/day

0.172 MGD

0.266 cfs

P = population served = 1,722 people

number of people per REU \* site REU = 1.72 thousands of people

Peaking factor (18 + P^0.5) / (14 + P^0.5) = 3.6 times average daily flow

per CERF 16th edition eq. 38.1

where P is in thousands of people

Maximum daily flow using Peaking Factor = 626,019 gal/day

0.626 MGD

0.97 cfs

Capacity of 8" PVC pipe at 0.60% out from Str. 51 = 1.0 cfs

Water Main Basis of Design per Site-wide REU

REU for the site = 492 REUs

Assuming use per person = 3.5 people

Water use per REU = 100 gal/day/person

Average daily flow, ADF = 172,200 gal/day

0.172 MGD

0.266 cfs

Peaking factor = ADF\*2 = 2

Maximum daily flow = 0.344 MGD

0.533 cfs

BASIS OF DESIGN

THE ABOVE DESIGN CALCULATIONS UTILIZE THE UNIT FACTOR METHOD, WHERE 1 RESIDENTIAL EQUIVALENT UNIT IS EQUAL TO 3.5 PEOPLE. AT 100 GALLONS PER PERSON PER DAY, UNIT ASSIGNMENTS WERE ASSUMED BASED ON OAKLAND COUNTY'S SCHEDULE OF UNIT ASSIGNMENT FACTORS.

GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

AS NOTED

DESIGNED BY: JBB

DRAWN BY: OKE

CHECKED BY: SMW

ROADS A AND B REVISED

PER 01/31/25 ENG. DEPT. COMMENTS

EGLE WATER/SEWER SUBMITTAL

PER 12/10/24 ENG. DEPT. COMMENTS

ENG. DEPT. COMMENTS/PARK CHANGES

03/06/2025

02/14/2025

01/27/2025

01/08/2025

11/20/2024

DATE

BY

REVISIONS

Kimley-Horn

of Michigan, Inc.

3500 W. CENTER STREET, SUITE 200

SOUTHFIELD, MI 48075

WWW.KIMLEY-HORN.COM

OVERALL UTILITY

SOMERSET WEST

INFRASTRUCTURE

PLAN

ORIGINAL ISSUE:

9/12/2024

KHA PROJECT NO.

268463000

SHEET NUMBER

C6.0

**AMENDED AND RESTATED**  
**PLANNED UNIT DEVELOPMENT AGREEMENT**

*Between*

**FORBES/FRANKEL TROY VENTURES LLC,**  
a Michigan limited liability company

*and*

**THE CITY OF TROY,**  
a Michigan municipal corporation

When recorded return to:

CITY OF TROY  
CITY CLERK  
500 W. BIG BEAVER ROAD  
TROY, MI 48084



**AMENDED AND RESTATED**  
**PLANNED UNIT DEVELOPMENT AGREEMENT**

This Amended and Restated Planned Unit Development Agreement (this “Agreement”) is made the \_\_\_\_ day of \_\_\_\_\_, 2025 (the “Effective Date”), by and between FORBES/FRANKEL TROY VENTURES LLC, a Michigan limited liability company (“Owner”), whose address is 100 Galleria Officentre, Suite 427, Southfield, Michigan 48034, and the CITY OF TROY, a Michigan municipal corporation (the “City”), whose address is 500 West Big Beaver Road, Troy, Michigan 48084.

**RECITALS**

A. Diamond Troy JV LLC, a Delaware limited liability company (“Diamond”), and the City entered into that certain Planned Unit Development Agreement, dated October 17, 2007 and recorded with the Oakland County, Michigan Register of Deeds on October 26, 2007 at Liber 39703, Page 493 (the “Original PUD Agreement”), with respect to certain real property described on **Exhibit A** attached hereto (the “Original PUD Property”).

B. The Original PUD Property consisted of approximately 40 acres on two (2) parcels of property, commonly known as Parcel I which was approximately 12 acres and Parcel II which was approximately 28 acres (the “Original Parcel II”).

C. The Original PUD Property was previously used for office purposes, as the former Kmart World Headquarters, which was originally constructed between approximately 1972 and 1976, together with related accessory site improvements, including roads, parking areas, landscaping, sidewalks and signage.

D. The former Kmart World Headquarters was closed and vacated by the Kmart Corporation (now known as Sears Holdings Management Corporation), and was recently demolished by Owner.

E. On December 29, 2009, Diamond conveyed the entire Original PUD Property (Parcel I and Parcel II) to Owner by that certain Covenant Deed by Diamond to Owner which was recorded on January 26, 2010 in Liber 41795 at Page 206 with the Oakland County, Michigan Register of Deeds.

F. Diamond intended to develop the Original PUD Property in accordance with The Concept Development Plan for The Pavilions of Troy that was approved by the City Council on October 15, 2007 (the “Original CDP”) and the Conceptual Plan that was part of the Original CDP which was approved by the City and included in The Pavilions of Troy CDP Book (the “Original Conceptual Plan”).

G. Owner does not desire to develop the PUD Property in accordance with the Original CDP or the Original Conceptual Plan.

H. The City and Owner desire to terminate the Original CDP and the Original Conceptual Plan.

I. On April 29, 2024, Owner submitted to the City a Planned Unit Development Concept Development Plan (CDP) Application and Application to Amend the Zoning District Map in order to amend the Original PUD Agreement (the “Application”). The Application included an amended concept development plan for the development of the Original PUD Property, as generally shown on **Exhibit B** attached hereto (the “Amended Concept Development Plan” or the “Amended CDP”), and a Preliminary Development Plan



(as defined below) for Phase I of the development of the PUD Property which includes infrastructure and roads which is attached hereto as **Exhibit C** (the “Infrastructure PDP”).

J. On May 10, 2024, the Original Parcel II was subdivided and split into two (2) parcels, resulting in (i) the creation of a new parcel of property, containing approximately 7.28 acres, which has a separate tax parcel identification number of 20-19-476-003 and is shown on the Amended CDP as Parcel II.A (“Parcel II.A”) and (ii) the remaining portion of the Original Parcel II comprising Parcel II.B, Parcel II.C, Parcel II.D, Parcel II.E, Parcel II.F, Parcel II.G, Parcel II.H and Parcel II.J, each as shown on the Amended CDP, and retaining its existing tax parcel identification number of 88-20-19-476-002 (the “Remaining Parent Parcel”).

K. [On \_\_\_\_\_, 2025, a portion of the Remaining Parent Parcel was further subdivided to create two (2) additional parcels of property as shown on the Amended CDP as Parcel II.B and Parcel II.J which subdivided parcels were consolidated with and became a part of Parcel II.A, resulting in Parcel II.A containing approximately 12.089 acres in total.]<sup>1</sup>

L. As of the date hereof, Owner is the fee simple owner of the entire Original PUD Property which currently consists of approximately 40 acres in total including Parcel I which is approximately 12 acres, the Remaining Parent Parcel which is the remaining portion of the Original Parcel II and currently consists of approximately 15.911 acres (the “Modified Remaining Parent Parcel”) and Parcel II.A which currently consists of approximately 12.089

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<sup>1</sup> NTD: This is a placeholder to address the contemplated additional splits of the Remaining Parent Parcel. After the subdivision of the Remaining Parent Parcel, it is intended that the 2 additional newly created parcels will be consolidated with the existing approximately 7.28 acre parcel as shown on the Amended CDP and this will be completed prior to the City Council meeting.

acres<sup>2</sup> as shown on the Amended CDP and on Exhibit F attached hereto (collectively, the “PUD Property”).<sup>3</sup>

M. On March 6, 2025, Owner held an informal meeting with representatives of the adjoining neighborhoods to the PUD Property at the Somerset North community room, soliciting their comments to the Amended Concept Development Plan and the Infrastructure PDP in accordance with Section 11.06(B) of Troy’s Zoning Ordinance (as defined below).

N. In accordance with Chapter 39, Article 11, Section 11.06 of Troy’s Zoning Ordinance that is in effect as of the Effective Date (collectively, “Troy’s Zoning Ordinance”), Owner attended several pre-application meetings with the Planning Department of the City, together with the staff and outside consultants, prior to submitting the Amended Concept Development Plan and the Infrastructure PDP to the Planning Commission.

O. The City and Owner have sought and received extensive review, counsel and advice from their respective representatives, staff, officials, attorneys and consultants.

P. Pursuant to Section 11.06(B) of Troy’s Zoning Ordinance, and after review of the Amended Concept Development Plan and the Infrastructure PDP, the Planning Commission held a public hearing on \_\_\_\_\_, 2025 with respect to the Amended Concept Development Plan, the Infrastructure PDP and this Agreement where the Planning

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<sup>2</sup> NTD: Parcel II.A will either be approximately 7.28 acres which is the current parcel or approximately 12 acres which will be the consolidated parcel with the 2 additional parcels that are contemplated to be subdivided as shown on the Amended CDP or we will otherwise need to reference 5 parcels in total if the 2 new parcels are not consolidated with the existing 7.28 acre parcel.

<sup>3</sup> NTD: We may need to reference the 2 additional parcels separately if the 2 additional parcels are not consolidated with Parcel II.A prior to the City Council meeting.



Commission recommended to the City Council (as defined below) the approval of the Amended Concept Development Plan, the Infrastructure PDP and this Agreement as provided in the Planning Commission Minutes and Resolution, dated \_\_\_\_\_, 2025, which are attached hereto as **Exhibit D**.

Q. The City Council received and reviewed the Planning Commission recommendation and held a public hearing on \_\_\_\_\_, 2025, with proper notice, to consider the Amended Concept Development Plan, the Infrastructure PDP and this Agreement.

R. On \_\_\_\_\_, 2025, after review of the Amended Concept Development Plan, the Infrastructure PDP and this Agreement and the full consideration of the Planning Commission recommendation, the City Council approved the Amended Concept Development Plan, the Infrastructure PDP and this Agreement. A copy of the City Council Resolution No. \_\_\_\_\_ is attached hereto as **Exhibit E**.

S. The City and Owner desire to amend and restate the Original PUD Agreement in its entirety in order to provide for the development of a mix of uses on the PUD Property as generally shown on the Amended Concept Development Plan and in accordance with the terms set forth herein.

T. All references to ordinance sections in this Agreement, unless otherwise stated, are to Troy's Zoning Ordinance.

NOW, THEREFORE, the City and Owner, in consideration of mutual covenants of, and benefits derived by each of the Parties to this Agreement, agree to amend and restate the Original PUD Agreement as follows:

## **I. DEFINITIONS**

The following definitions shall apply to this Agreement, all defined terms used in this Agreement shall have the definitions described in this Article I:

“Agreement” shall mean this Amended and Restated Planned Unit Development Agreement, together with all attached exhibits, which are incorporated herein by reference, and any amendments thereto.

“Application” has the meaning set forth in Recital I.

“Amended Concept Development Plan” or “Amended CDP” has the meaning set forth in Recital I.

“City” shall mean the City of Troy, a Michigan municipal corporation.

“City Council” shall mean the City of Troy City Council.

“Consent Judgment” shall mean that certain Consent Judgment pertaining only to Parcel I, dated May 9, 1973, entered by the Oakland County, Michigan Circuit Court (the “Court”) pursuant to the agreement of Sheffield Development Company, a Michigan Co-Partnership, as Plaintiff, and the City of Troy, a Michigan municipal corporation, as Defendant, Oakland County Circuit Court Civil Action No. 70-69246, as amended by that Order Amending Judgment, dated November 22, 1977, entered by the Court, as further amended by that Stipulation to Modify Judgment and Order, dated September 25, 1980, entered by the Court, as further amended by that Third Order Amending Judgment, dated November 4, 1992, entered by the Court (Successor Plaintiff substituted: The Prudential Insurance Company of America, a New Jersey corporation), as further amended by that Consent Fourth Order Amending Judgment, dated December 10, 1998, entered by the Court



(Successor Plaintiffs substituted: WHC-SIX Real Estate Limited Partnership, a Delaware limited partnership, and Kmart corporation, a Michigan corporation), as further amended by that Fifth Order Amending Consent Judgment, dated November 28, 2006, entered by the Court (Successor Plaintiffs substituted: Diamond Troy JV LLC, a Delaware limited liability company, GM Equities LLC, a Michigan limited liability company, Kmart Corporation, a Michigan corporation, and Sheffield Office II, L.L.C., a Delaware limited liability company), as further amended by that Sixth Order Amending Consent Judgment, dated January 7, 2013, entered by the Court (Successor Plaintiffs substituted: Sears Holdings Management Corporation, a Delaware corporation, Owner and Sheffield Owner, LLC, a Delaware limited liability company).

“Declaration” shall mean a Declaration of Easements, Covenants, Conditions and Restrictions by Owner which may be recorded by Owner against the PUD Property subsequent to the Effective Date. In the event of any conflict between the Declaration and the terms of this Agreement, the terms of this Agreement shall control.

“Development Standards” shall mean, collectively, the City of Troy Development Standards, Details and Specifications for the engineering, design and construction of public improvements and private improvements within the City which are set forth in Troy’s Zoning Ordinance and are in effect as of the Effective Date. Subject to any deviations permitted under this Agreement or Troy’s Zoning Ordinance, the development of the PUD Property under this Agreement shall be consistent with the Development Standards that are in effect as of the Effective Date and the development of the PUD Property will not be subject to any modifications, changes or amendments to such Development Standards from

and after the Effective Date unless Owner agrees in writing to such modifications, changes or amendments.

“Effective Date” has the meaning set forth in the preamble.

“Final Development Plan” and/or “FDP” shall mean one or more Final Development Plans, as defined in Section 11.08 of Troy’s Zoning Ordinance, that are submitted by Owner for all or any portion of the PUD Property.

“Infrastructure Improvements” shall mean the sanitary sewer, storm sewer, water system, and other utility improvements to be installed by Owner within the PUD Property, if any, which the City acknowledges may include renovations or improvements to the existing utility facilities.

“Infrastructure PDP” has the meaning set forth in Recital I.

“Master Deed” shall mean any Master Deed which may be recorded by Owner against all or any portion of the PUD Property subsequent to the Effective Date. In the event of any conflict between the Master Deed(s) and the terms of this Agreement, the terms of this Agreement shall control.

“Master Plan” shall mean the City of Troy’s Master Plan, Plan Troy 2040, as adopted and revised in accordance with the Michigan Planning Enabling Act, PA 33 of 2008.

“Original Concept Development Plan” or “Original CDP” has the meaning set forth in Recital G.

“Original Parcel II” has the meaning set forth in Recital B.

“Owner” shall mean Forbes/Frankel Troy Ventures LLC, a Michigan limited liability company, and its successors and assigns with respect to all or any portion of the PUD Property.

“Parcel I” shall mean that portion of the PUD Property consisting of approximately twelve (12) acres and identified as Parcel I on the survey attached hereto as **Exhibit F**.

“Parcel II.A” has the meaning set forth in Recital J.

“Parties” or “Parties” shall mean Owner and the City.

“Permitted Uses” shall mean the permitted uses contemplated by the Amended Concept Development Plan or any other similar or accessory uses which are permitted or approved by the City Zoning Administrator. All Permitted Uses and approved deviations set forth in this Agreement are permitted to be mixed within and throughout the PUD Property. The mix of uses within the PUD Property may occur vertically (i.e. a mix of uses existing within one or more structures) and/or horizontally (i.e. a mix of uses existing adjacent to one another on one horizontal plane and/or in one or more neighboring structures). It is acknowledged and agreed by the Parties that two or more single or multiple story structures containing a mix of uses may exist adjacent to one another.

“Planning Commission” shall mean the City of Troy Planning Commission.

“Preliminary Development Plan” and/or “PDP” shall mean one or more Preliminary Development Plans as set forth and defined in Section 11.07 of Troy’s Zoning Ordinance that is/are submitted by Owner with respect to all or any portion of the PUD Property.

“PUD Documents” shall mean, collectively:



- (i) Troy's Zoning Ordinance including the PUD Regulations.
- (ii) This Agreement.
- (iii) The Amended Concept Development Plan.
- (iv) Any and all PDP's approved by the City Council for the PUD Property.
- (v) Any and all FDP's that are administratively approved.
- (vi) Any and all amendments to the Amended Concept Development Plan which are approved by Owner and the City.
- (vii) The resolution in the official City Council minutes for the meeting at which approval is received.
- (viii) Master Plan.

"PUD Regulations" shall mean Title V of the Troy City Code, Chapter 39, Section 11.01 et. seq.

"PUD Property" has the meaning set forth in Recital L.

"Remaining Parent Parcel" has the meaning set forth in Recital J.

"Troy's Zoning Ordinance" has the meaning set forth in Recital N.

## **II. GENERAL PROVISIONS**

1. The Parties acknowledge that all of the foregoing Recitals, together with the foregoing definitions, are true and accurate and binding upon the Parties, their successors and assigns, and are incorporated in this Agreement and made a part hereof in the same manner and to the same extent as if such Recitals and/or definitions were set forth in detail at this point. All Exhibits attached hereto are made a part hereof in the same manner and to the same extent as if they were set forth in detail in this Agreement at those points in this Agreement where each such Exhibit is referenced.

2. At this time, all of the PUD Property is currently owned by Owner, and Owner has provided the City with evidence of ownership. The City acknowledges that Owner has the sole discretion to transfer (including, without limitation, the sale, lease,

conveyance, assignment, license, or other permit to use) any part or all of the PUD Property without the consent of the City, subject to the terms of Paragraph 40 of this Agreement. The provisions of this Agreement and Troy's Zoning Ordinance shall be enforceable against any successor or assign of Owner and their respective successors and assigns, subject to the terms of Paragraph 40 of this Agreement. Owner agrees to inform any purchaser or ground lessee of all or any portion of the PUD Property of the provisions of this Agreement. Following any transfer of all or any portion of the PUD Property, the transferee shall be obligated to notify the City of such transfer of ownership, in accordance with MCL 211.27(a), et. seq. As used in the preceding sentence, "transfer of ownership" is defined in MCL 211.27(a) et. seq.

3. The City, through the City Council, hereby determines that: (a) the Amended Concept Development Plan and the Infrastructure PDP complies with the requirements of the PUD Ordinance; and (b) this action to amend and restate the Original PUD Agreement is beneficial to the general health, safety and welfare of the citizens of the City.

4. The City Council hereby agrees with the recommendation of the Planning Commission that the Amended Concept Development Plan, the Infrastructure PDP and this Agreement are consistent with the intent, purpose and objectives of the City, as described in the PUD Ordinance and the several City plans for future land use.

5. The Original Conceptual Plan and the Original CDP are terminated and of no further force or effect and are null and void. The Amended Concept Development Plan, the Infrastructure PDP and this Agreement are hereby approved and Owner is hereby

granted the right, power and authority to proceed to develop the PUD Property in accordance with the Amended Concept Development Plan, this Agreement and the PUD Documents. Owner may proceed to submit one or more PDP's and FDP's in accordance with Troy's Zoning Ordinance. Each PDP shall be submitted for approval to the Planning Commission with corresponding traffic and parking studies. The scope of the traffic and parking studies shall be reviewed by the City Engineer consistent with Troy's Zoning Ordinance and this Agreement. To the extent required by applicable law, the traffic studies may also need to be reviewed and approved administratively by the Road Commission for Oakland County and the Michigan Department of Transportation.

6. In accordance with Troy's Zoning Ordinance, the City hereby permits and approves the Amended Concept Development Plan and the Infrastructure PDP including any deviations from Troy's Zoning Ordinance that are necessary or convenient to accomplish the Amended Concept Development Plan and the Infrastructure PDP.

7. Upon execution of this Agreement, all terms and conditions of this Agreement are hereby deemed to RUN WITH THE LAND in perpetuity.

8. This Agreement shall be fully binding upon all successors-in-interest, heirs and assigns of whatever kind or nature, including, without limitation, all purchasers of any kind, successors in fee, ground lessees, lessees, sublessees and assigns, regardless of the nature, type or form of such sale, conveyance, lease, assignment or any other form of transfer, conveyance or license to use. Such transfers and conveyances further include, without limitation, sale, lease or other transfer or conveyance of or license to use any condominium unit(s) or other form of land division, now known or later created, whatsoever



that may be established now or in the future on the PUD Property. The City acknowledges and agrees that Owner may freely assign any part or all of its right, title, and/or interest in and to this Agreement, and any term, covenant or condition hereof, to any other person or entity without consent of the City, subject to the terms of Paragraph 40 of this Agreement.

9. Any Declaration, Master Deed or similar document encumbering the PUD Property shall expressly reference this PUD Agreement. A copy of the Declaration and any Master Deed recorded against the PUD Property shall be provided to the City promptly after being recorded with the Oakland County, Michigan Register of Deeds.

10. Pursuant to Section 11.06 of Troy's Zoning Ordinance, this Agreement is deemed effective and in full force and effect upon the Effective Date.

11. The City shall cause this Agreement to be recorded with the Oakland County, Michigan Register of Deeds against the PUD Property. This recordation shall occur within fourteen (14) days after the Effective Date. In the event the City fails to record this Agreement within fourteen (14) days after the Effective Date, then Owner may record a fully executed original of this Agreement with the Oakland County, Michigan Register of Deeds. The party recording this Agreement shall provide the other party with a time stamped recorded copy promptly following recordation.

12. Upon the execution of the Original PUD Agreement, the PUD Property was rezoned to a Planned Unit Development District in accordance with the PUD Ordinance, and the City took all necessary steps to amend the Zoning Map to designate the PUD Property as a Planned Unit Development District. Upon the execution of this Agreement by the Parties, the PUD Property remains zoned a Planned Unit Development, and the

Original PUD Agreement is amended, restated, replaced and superseded by this Agreement in its entirety.

13. Where any term or provision of this Agreement is in conflict with the provisions of Troy's Zoning Ordinance, the Development Standards, or any other City administrative rule or regulation, the terms of this Agreement (including the Amended Concept Development Plan and the Infrastructure PDP) shall control. The PUD Regulations in effect as of the Effective Date (a copy of which is attached hereto as **Exhibit G**) will govern this Agreement, and notwithstanding anything herein to the contrary, any amendment of such existing PUD Regulations from or after the Effective Date hereof shall not govern, control or in any way affect the terms, conditions, interpretation and/or enforcement of this Agreement. All sections of Troy's Zoning Ordinance referenced in this Agreement refer to those sections of Troy's Zoning Ordinance in effect as of the Effective Date, and except for the Development Standards, Building Code, and Fire Code provisions, future amendments to such Troy's Zoning Ordinance shall not govern, control or in any way effect the terms, conditions, interpretation and/or enforcement of this Agreement. Except for the Development Standards, the Building Code and the Fire Code provisions, the Parties may, but are not obligated to, mutually and voluntarily agree to amend this Agreement in their sole respective discretion to include any amendments or subsequent updates to Troy's Zoning Ordinance and/or the PUD Regulations. Subject to the deviations set forth in this Agreement, Owner shall comply with those Development Standards, Building Code, and Fire Code provisions that are effective as of the date any given FDP approval is granted.

14. All terms, provisions and conditions of this Agreement are authorized by applicable state and federal laws and constitutions. This Agreement is valid, entered into on a voluntary basis, and represents a permissible exercise of authority by the City.

15. All requirements and conditions of this Agreement are necessary, reasonable and in compliance with Troy's Zoning Ordinance.

16. The Parties shall act in good faith (in both time and substance) whenever there is a requirement to take action or give consent under this Agreement.

17. In the event that any portion of this Agreement is invalid or unenforceable, as determined by a Court of competent jurisdiction, the remaining portions of this Agreement shall remain fully enforceable, valid and in full force and effect.

18. For purposes of providing notices required or authorized under this Agreement, such notice shall be given to the applicable Party to be notified, by personal delivery (supported by an affidavit of service) or shall be sent via a recognized national overnight delivery service, marked for and guaranteeing "next business day" delivery service, all charges prepaid, or shall be sent via certified or registered U.S. Mail, return receipt requested, with postage fully paid, and addressed as follows:

Notice to the **City**:

City of Troy  
500 West Big Beaver Road  
Troy, Michigan 48084  
Attention: City Clerk

With copy to:

City of Troy  
500 West Big Beaver Road  
Troy, Michigan 48084  
Attention: Community Development Director



With copy to: City of Troy  
500 West Big Beaver Road  
Troy, Michigan 48084  
Attention: City Attorney

Notice to **Owner**: Forbes/Frankel Troy Ventures LLC  
c/o The Forbes Company, LLC  
100 Galleria Officentre, Suite 427  
Southfield, Michigan 48034  
Attn: Nathan Forbes

With a copy to: Honigman LLP  
39400 Woodward Avenue, Suite 101  
Bloomfield Hills, Michigan 48304  
Attn: David J. Jacob, Esq.

Notice shall be effective on the date of receipt (in the case of personal delivery), or on the first business day following the deposit of such notice with the recognized national overnight delivery service or on the date of receipt in the case of certified or registered U.S. Mail. Any Party may change any of the addresses or the designated recipients of notice by following the notice procedure, as set forth above. Notice may be given by counsel for and on behalf of a Party.

19. The Agreement shall be governed and construed in accordance with the laws of the State of Michigan with venue and proper jurisdiction in the County of Oakland, State of Michigan, without regard to principles of conflict of laws.

20. This Agreement supersedes any and all prior inconsistent agreements and plans (including the Original PUD Agreement, the Original CDP and the Original Conceptual Plan), rules or administrative orders between the Parties relative to the PUD Property. Notwithstanding anything to the contrary in this Agreement, the Parties acknowledge that the Consent Judgment materially impacts Owner's ability to develop

Parcel I in accordance with the Amended Concept Development Plan. If Owner desires to amend the Consent Judgment in order to allow the development of Parcel I for any uses permitted under this Agreement which are consistent with the Amended Concept Development Plan, the City shall cooperate with Owner and agrees to execute an amendment to the Consent Judgment and/or Motion to Amend the Consent Judgment, which allows Owner to develop Parcel I for any such other uses in accordance with this Agreement and the Amended Concept Development Plan, subject to (a) the City's reasonable approval of the form of such amendment(s) and (b) the approval of and execution by all other parties to the Consent Judgment of such amendment(s). Notwithstanding the foregoing or anything contained in this Agreement to the contrary, Owner shall have the right, but not the obligation, to apply for a Preliminary Development Plan which allows Owner to develop Parcel I consistent with the terms of the Consent Judgment. The City agrees to amend the Amended CDP and this Agreement, as necessary, to allow for the office use required under the Consent Judgment on Parcel I, provided, that such amendment is otherwise consistent with the PUD Ordinance.

21. Regardless of the Master Plan (including any amendments, modifications, supplements and/or amendments and restatements thereto), other planning documents and/or zoning or other Troy Ordinance changes or amendments which may be adopted or affect the PUD Property, the Permitted Uses shall not be deemed in the future to be legal non-conforming uses, but rather shall continue to be permitted uses, subject to and in accordance with this Agreement and the Amended CDP.

22. Any amendment to this Agreement and/or any Exhibit attached hereto, must be in writing and approved as to form and substance by each of the Parties, and any such amendment or modification to this Agreement or any Exhibit shall be approved by the City Council pursuant to the procedures set forth in the PUD Regulations. Following the conveyance by Owner of any portion of the PUD Property, the successor Owner of that portion of the PUD Property shall, in accordance with the terms of this Agreement, be entitled to amend this Agreement with respect to such successor Owner's property; provided, however, such amendment shall be in compliance with any Declaration, Master Deed, deed restriction or other encumbrance that relates to the right, power and authority of such successor Owner to approve such an amendment and provided that the amendment is mutually agreeable to the City, Owner (if Owner still then owns a portion of the PUD Property), such successor Owner and all other successor Owners of the PUD Property. Further, notwithstanding anything to the contrary in this Agreement, (a) so long as Forbes/Frankel Troy Ventures LLC owns all or any part of the PUD Property, the written consent and approval of Forbes/Frankel Troy Ventures LLC shall be required to any amendment to this Agreement, and any amendment to this Agreement that is executed without Forbes/Frankel Troy Ventures LLC's written consent and approval shall be null and void and of no effect, (b) all successor Owners of Parcel I (i.e., successor Owners to Forbes/Frankel Troy Ventures LLC) will not have the right to approve, and all successor Owners of Parcel I will not be required to execute, any amendments to this Agreement or the Amended Concept Development Plan relating solely to Parcel II.A and/or the Updated Remaining Parent Parcel, (c) the Owner of Parcel II.A as of the Effective Date and all



successor Owners of Parcel II.A will have the unilateral right and authority to enter into any amendment to this Agreement and/or the Amended Concept Development Plan without the approval of any successor Owner of Parcel I or any successor Owner of the Updated Remaining Parent Parcel so long as such amendment does not increase the obligations or liabilities of the successor Owner of Parcel I under this Agreement as it relates to Parcel I or the successor Owner of the Modified Remaining Parent Parcel under this Agreement as it relates to the Modified Remaining Parent Parcel or reduce the rights of such successor Owner of Parcel I under this Agreement as it relates to Parcel I or such successor Owner of the Modified Remaining Parent Parcel under this Agreement as it relates to the Modified Remaining Parent Parcel and (d) the Owner of the Modified Remaining Parent Parcel as of the Effective Date and all successor Owners of the Modified Remaining Parent Parcel will have the unilateral right and authority to enter into any amendment to this Agreement and/or the Amended Concept Development Plan without the approval of any successor Owner of Parcel I or any successor Owner of Parcel II.A so long as such amendment does not increase the obligations or liabilities of the successor Owner of Parcel I under this Agreement as it relates to Parcel I or the successor Owner of Parcel II.A under this Agreement as it relates to Parcel II.A or reduce the rights of such successor Owner of Parcel I under this Agreement as it relates to Parcel I or such successor Owner of Parcel II.A under this Agreement as it relates to Parcel II.A. Any amendments to or modifications of this Agreement, or the Exhibits attached hereto, shall be recorded by the City with the Oakland County, Michigan Register of Deeds, following the effective date of such amendment or modification.

23. The Parties to this Agreement represent that they have read this Agreement, have reviewed it with legal counsel and understand and agree to the terms and conditions hereof.

24. Each person signing this Agreement on behalf of any Party hereby represents and warrants that he/she is a duly authorized representative and agent to that respective Party and that he/she has the full authority to bind said Party to all the covenants, warranties, representations, terms and conditions of this Agreement under all applicable local, state and federal laws and regulations.

### **III. THE CONCEPT DEVELOPMENT PLAN AND THE DEVELOPMENT OF THE PUD PROPERTY**

25. The City hereby grants Owner the right to use and develop the PUD Property as set forth in this Agreement, any provision in Troy's Zoning Ordinance, Development Standards, laws, regulations or codes notwithstanding. Specifically, Owner shall have the right, but shall not be obligated, to develop up to 300,000 square feet of retail, up to 500,000 square feet of office, up to 750 residential units and a hotel containing up to 250 guest rooms, together with ancillary amenities normally associated with a hotel use such as, without limitation, a business center, meeting rooms, restaurants/bars, pool, fitness center on Parcel I, Parcel II.A and the Modified Remaining Parent Parcel; provided, however, that no building constructed on Parcel I shall be more than four (4) stories with a building height not to exceed forty (40) feet. The foregoing densities represent the maximum densities that Owner is permitted to construct on Parcel I, Parcel II.A and the Modified Remaining Parent Parcel without the additional approval of the City Council;

provided, however, that if the square footage of retail space and/or office space and/or the number of residential units and/or hotel rooms is less than the maximum densities provided above, then at the sole election of Owner, the amount of square footage of retail space and/or office space and the number of residential units and/or hotel rooms that is less than such maximum densities may be reallocated by Owner in Owner's sole discretion to any of the other densities set forth above, provided, that any reallocation of such densities from such maximum densities satisfy the current parking requirements set forth in Troy's Zoning Ordinance as of the Effective Date unless any subsequent modifications, amendments or changes to such parking requirements are approved by Owner in Owner's sole discretion. For example and illustration purposes only, (i) the reduction in the number of hotel rooms from 250 rooms to 200 rooms would reduce the parking requirements for the PUD Property by 50 off-street parking spaces, which would allow for an additional 15,000 square feet of office or professional space, excluding medical offices, and (ii) the reduction in the square footage of retail space from 300,000 square feet to 200,000 square feet would reduce the parking requirements for the PUD Property by 400 parking spaces, which would allow for an additional 120,000 square feet of office or professional space, excluding medical offices, or an additional 200 multi-family residential dwelling units or an additional 400 efficiency dwelling units. Owner will have the right, in Owner's sole discretion, to determine the allocation of the available unused square footage, units and/or hotel rooms to the other Permitted Uses, including having the right to allocate all of the available unused square footage, units and hotel rooms to a single Permitted Use if Owner so elects in Owner's sole discretion, provided, that any such allocation (a) is subject to and shall not exceed the



maximum densities set forth above and (b) satisfies the current parking requirements set forth in Troy's Zoning Ordinance as of the Effective Date unless any subsequent modifications, amendments or changes to such parking requirements are approved by Owner in Owner's sole discretion.

In connection with the Permitted Uses, Owner agrees that any hotel initially developed on the PUD Property shall be a minimum four star hotel, as rated by AAA (or other equivalent rating and rating service).

26. The Parties acknowledge that the Amended Concept Development Plan provides a conceptual overview for the development of the PUD Property and is not intended to be comprehensive. The specific design of each PDP submittal for the PUD Property will depend upon the size, mixture of uses, configuration and/or Owner's determination of the economic and market feasibilities of such PDP submittal. Owner agrees to incorporate quality materials, workmanship, and design, as well as concepts in architectural design, amenities, pedestrian crossing, open space, and green space as generally described on **Exhibit H** attached hereto.

27. The Parties acknowledge and agree that as of the Effective Date there is no formal development schedule for the development of the PUD Property. Owner intends for the development of the PUD Property to be a multiple phase development as currently contemplated on the Amended Concept Development Plan, each of which phases shall include the associated Infrastructure Improvements within and necessary to serve each such phase. Owner is contemplating that there will be (a) no more than \_\_\_\_\_

(\_\_\_) phases of Parcel I, (b) no more than \_\_\_\_\_ (\_\_\_) phases of Parcel II.A and (c) no more than \_\_\_\_\_(\_\_\_) phases of the Modified Remaining Parent Parcel. The City acknowledges and agrees, however, that Owner shall be afforded maximum flexibility in the sequencing and phasing of the development of the PUD Property to attract investment and end users consistent with the Amended Concept Development Plan. The sequence, timing and designation of which part of the PUD Property is to be developed and, accordingly, each phase of the development of the PUD Property, and the uses to be included in the respective PDP, shall be determined by Owner, in Owner's sole discretion, but shall be subject to the terms of this Agreement. If Owner changes or modifies any phase of the development of the PUD Property after Owner previously designated the same, each such modified phase of the development must include the associated Infrastructure Improvements within and necessary to serve such phase, so that it can operate without the use of any other Infrastructure Improvements on any other portion of the PUD Property, and each such modified phase shall comply with the Development Standards and Troy's Zoning Ordinance. At any time that Owner elects in Owner's sole discretion, Owner shall be permitted to apply for all approvals relating to the construction and development of any portion or phase of the PUD Property that Owner elects in Owner's sole discretion to develop including PDP approval and FDP approval, and the City shall be obligated to promptly review and process such requests for approval when requested by Owner as provided for under the PUD Ordinance. After Owner has obtained all necessary approvals to commence construction or development of any portion or phase of the PUD Property, Owner shall be permitted, but is not required, to commence

construction and development of any such portion or phase of the PUD Property at any time that Owner elects in Owner's sole discretion, and the City shall be obligated to promptly review and process any requests relating thereto when requested by Owner as provided for under the PUD Ordinance.

28. The City recognizes that the Permitted Uses, the property lines, the boundaries of any phases, or any other attributes, characteristics or features described in or shown on the Amended Concept Development Plan and the Infrastructure PDP may need to change in light of market demand, end-user requirements, development patterns, and other factors outside of the control of Owner. Therefore, to provide Owner with maximum flexibility in design and use that will result in a higher quality of development and a better overall project than would be accomplished under conventional zoning, and which will be accommodated without sacrificing established community values, the Permitted Uses, the property lines, the boundaries of any phases, or any other attributes, characteristics or features described in or shown on the Amended Concept Development Plan and/or the Infrastructure PDP may be enlarged or reduced, at the sole discretion of Owner, so long as Owner complies with the Development Standards. The City Zoning Administrator may allow similar or accessory uses to the Permitted Uses within each development area. For purposes of this Agreement and consistent with Troy's Zoning Ordinance, the term "accessory uses" shall mean uses that are supplemental or subordinate to the principal building on a parcel of land or development area and shall be on the same parcel of land or development area as the principal building, structure or use they serve.



29. Modifications regarding the density, mix of types of buildings, number of units per buildings shall be permitted under this Agreement to allow Owner flexibility and as may be reasonably necessary to comply with the applicable Troy Ordinances, laws and regulations. Owner shall have the right, in its sole discretion, to modify interior floor plans subject to compliance with all other Troy Ordinances. Minor or ordinary course modifications to the PUD Documents resulting from engineering considerations, site conditions, or other governmental requirements may be processed and approved by the City Zoning Administrator or his or her designee whose approval will not be unreasonably withheld, delayed or conditioned, and any such approved modifications shall not require an amendment to this Agreement.

30. All improvements to be constructed by Owner on the PUD Property shall comply with all building codes, except that if there are conflicts between the building codes and the terms of this Agreement, the terms of this Agreement shall control.

31. It is understood by the Parties that any proposed PDP may deviate from some of the requirements of Troy's Zoning Ordinance. Each requested deviation from Troy's Zoning Ordinance shall be expressly identified in each such proposed PDP submittals for the PUD Property. If the City approves a PDP, then the identified deviations of Troy's Zoning Ordinance which are incorporated into the approved PDP shall also be deemed approved.

32. The Community Development Director or his or her designee may administratively approve accessory structures and/or use(s) for the PUD Property that is/are not otherwise designated on the PDP or FDP. Such accessory structures and/or uses may

include accessory structures for the outdoor sale of merchandise or food, such as a kiosk. Owner shall otherwise comply with any County or State or local regulations concerning the sale of food in any such accessory building.

33. Other than as expressly provided for in this Agreement, the City shall not require any additional land use related permits or approvals for the development of the PUD Property in accordance with this Agreement, such as site plan approval under Article 8 of Troy's Zoning Ordinance, special land use approval under Article 9 of Troy's Zoning Ordinance, or variances under Article 15 of Troy's Zoning Ordinance.

34. Owner shall construct and install improvements and/or connections tying into the municipal water and sanitary sewer systems, consistent with the applicable FDP. Such improvements shall be designed and constructed in accordance with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, approved engineering construction plans, Troy's Zoning Ordinance and all other applicable Oakland County, Michigan and State of Michigan standards, codes, regulations, ordinances and laws. Consistent with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, all water and sanitary system improvements that are so required shall be completed in connection with the construction of the buildings to be erected in the applicable phase and shall be completed, approved and dedicated to and accepted by the City, if required, to the extent necessary to service all proposed and existing facilities, structures and uses within such phase to be served thereby.

35. Owner shall, at its sole expense, construct and install storm water and retention and/or detention systems consistent with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP. Such improvements shall be designed and constructed in accordance with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, approved engineering construction plans, Troy's Zoning Ordinance and all other applicable Oakland County, Michigan and State of Michigan standards, codes, regulations, ordinances and laws. Consistent with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, all storm water and retention and/or detention system improvements that are so required shall be completed in connection with the construction of the buildings to be erected in the applicable phase and shall be completed, approved and dedicated to and accepted by the City, if required, to the extent necessary to service all proposed and existing facilities, structures and uses within such phase to be served thereby.

36. Owner shall dedicate all water mains and sanitary sewer mains within the PUD Property to the City and, in connection therewith, shall grant in the Declaration or otherwise grant to the City mutually acceptable easements for the maintenance, repair and replacement of all sanitary sewer and water lines. Following the installation of such lines, Owner's project engineer shall notify the City that such lines have been installed, and the City shall promptly inspect such lines. The City shall approve such lines so long as they have been installed in accordance with the engineering plans approved as part of the



applicable Final Development Plan. Following the City's inspection and approval of such lines, the City shall accept the dedication of such lines to the City as public improvements.

37. Except as otherwise provided by this Agreement and the FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, the Parties acknowledge and agree that Owner will have the right to develop the PUD Property in incremental phases as necessary to support the improvements contemplated by each PDP submittal including, without limitation, the installation of Infrastructure Improvements pursuant to the Infrastructure PDP, interior roadways and parking facilities. The specifics of the proposed phasing will be determined by Owner in Owner's sole discretion and identified upon submittal to the City of each Preliminary Development Plan submitted in connection with the development of the PUD Property, provided, that Owner shall not be obligated to install any infrastructure, utilities and/or parking facilities beyond that which are mutually determined necessary to support the improvements contemplated by such PDP submittal. The City acknowledges and agrees that Owner, or its successor(s), may determine that more than one PDP and FDP will be submitted to complete the development of the PUD Property. The sequence, timing and designation of which part of the PUD Property is to be developed, and the uses to be included in the respective PDP, shall be determined by Owner, in its sole discretion, but shall be subject to the terms of this Agreement and the FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP.

38. The City shall grant to Owner and its contractors and subcontractors all City permits and authorizations necessary to modify the existing utilities including electric, telephone, gas, cable television, water, storm and sanitary sewer to the PUD Property and to otherwise develop and improve the PUD Property in accordance with this Agreement and the FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, provided, that Owner has first made all requisite applications for permits, complied with the requirements for such permits, and paid all required fees. Any applications for permits from the City will be processed in the customary manner. The City will fully cooperate with Owner in connection with Owner's applications for any necessary county, state, federal or utility company approvals, permits or authorizations to the extent that such applications and/or discussions are consistent with the Concept Development Plan and this Agreement.

39. All signage for the PUD Property will comply with Title VIII, Chapter 85, known as the City of Troy Sign Ordinance that is in effect as of the Effective Date.

40. Notwithstanding anything contained in this Agreement to the contrary, the provisions of this Agreement, Troy's Zoning Ordinance and the PUD Regulations do not apply to, and are not enforceable against, a constitutional corporation as formed pursuant to, and governed by, the Constitution of Michigan of 1963 with respect only to the first [seventeen (17) acres] of the PUD Property in the aggregate that any one or more such constitutional corporations own; provided, however, that if a constitutional corporation at any one time owns more than [seventeen (17) acres] of the PUD Property in the aggregate, such constitutional corporation may, in its sole discretion, designate which portion of the

PUD Property that it owns will constitute the portion of the PUD Property that the provisions of this Agreement, the Troy Ordinances and the PUD regulations will not apply to, and will not be enforceable against, it up to but not to exceed [seventeen (17) acres] in the aggregate. For avoidance of doubt, regardless of whether a constitutional corporation owns any portion of the PUD Property, no portion of the PUD Property in excess of the first [seventeen (17) acres] that is owned by one or more constitutional corporations will be exempt from the provisions of this Agreement, Troy's Zoning Ordinance and the PUD Regulations.

41. The parcel splits depicted on the Amended Concept Development Plan are for illustrative purposes only. The parties agree and acknowledge that the Land Division Act, MCL 560.101 et seq. governs and controls the number of remaining and allotted splits for Parcel I, Parcel II.A. and the Modified Remaining Parent Parcel.

42. This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one instrument.

**[REMAINDER OF PAGE LEFT INTENTIONALLY BLANK; SIGNATURES  
APPEAR ON FOLLOWING PAGES]**



**From:** [Planning](#)  
**To:** [Brent Savidant](#)  
**Subject:** FW: Former Kmart parcel/plan  
**Date:** Friday, October 25, 2024 2:09:00 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)

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**Jackie Ferencz**  
**Office Manager |**  
**City of Troy Planning Dept**  
O: 248.524.3364



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**From:** Rhonda Hendrickson <[rmhendrickson11@gmail.com](mailto:rmhendrickson11@gmail.com)>  
**Sent:** Friday, October 25, 2024 12:30 PM  
**To:** Planning <[planning@troymi.gov](mailto:planning@troymi.gov)>  
**Subject:** Former Kmart parcel/plan

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Hello,

I am writing, knowing that you have green-lighted a plan for the former Kmart parcel that is adjacent to my neighborhood. So, as you can imagine, I have watched with interest what will eventually be done there and am excited for something finally.

In 2007, I sent a letter to Nate Forbes talking about what I felt would be wonderful for the Troy community, based on a trip I just took in Italy. He responded graciously, but of course, we all know what happened then.

I address you today, having looked at the design plan on your website. Coincidentally, I have just returned from a 30 day trip to Germany and Austria, and I come away with the same impression about what would be a community enhancement for what amounts to the last large parcel on Big Beaver that could give residents a chance for a place of gathering. Every city and small village in Europe has a piazza or platz, or square that people are drawn to gather in. It is surrounded by restaurants and cafes, fountains and beauty. It is what creates the cafe culture and connects the community there.

When I look at the plan for the site as it is today, I see 1.09 acres of open green space amidst

buildings, not including walkways. That is slightly larger than my backyard for such significant acreage. I would like to know what the design intent is for that space. For the 750 living units to walk the dog or meet? Lunch spot for office workers? What about it serves the greater community?

In Dresden Germany, the platz there was huge, with underground parking and at least 30 restaurants and cafes, and small retail shopping. It included hotels, as this plan does and was certainly a draw for both locals and visitors to gather.

I would love to see a place that draws in the community and hope that height of buildings and layout does not create a "fortress" (like the old Kmart building) that makes it feel that it is only for those on the "inside."

My husband and I have ridden our bikes to Birmingham to get that community feel more than I can say over the years. I understand the need for density=taxes, but over the many years it always felt like a promise was dangled regarding this parcel, that it would finally give Troy a "town center" residents sorely wished for and most certainly weighed in on if asked.

Perhaps I read the design plan incorrectly or it's not in finished form, if that is the case, I am interested in what the timeline is for that. No ground has been broken. And discussion could take place to see if there is a way to squeak out a more robust open space that would invite the *whole* community in, celebrate gathering and create a place that would complement the Somerset Collection by being an outdoor draw for locals and visitors alike. The weather in Europe bothered no-one. People were outside in cafes in cold or damp weather. Musicians playing to entertain and people enjoying a square that has stood since the 1300's. I would say that shows a good idea to have legs. There are lots of offices in Troy. Lots of new hotels. Many new restaurants. Is there anything stopping Troy from making this parcel unique from all those others? I look forward to your input.

Thank you,

Rhonda Hendrickson

35 year Troy resident

3833 Estates DR

248 390-7196 c

**From:** [Mehrunnisa Ahmad](#)  
**To:** [Planning](#)  
**Subject:** Somerset west redevelopment  
**Date:** Thursday, April 3, 2025 11:33:00 PM

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You don't often get email from [ahmadmehrunnisa@gmail.com](mailto:ahmadmehrunnisa@gmail.com). [Learn why this is important](#)

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Respected planning committee,

My name is Mehrunnisa Ahmad, I have been a Troy resident for the past 15 plus years. I wanted to share my thoughts with the commission on the ordinance rewrite and the Somerset West Redevelopment (formerly the Kmart Plaza).

Regarding the ordinance rewrite, there is a significant need to lower housing costs in Troy. As one of the best places to raise a family, start a business, and attend a public school district in the state and country, we must recognize why many families want to live in Troy, especially new young families. In a heavily diverse city, where 57% of the population has earned a bachelor's degree or higher, many families choose to live in Troy so their children can attend Troy schools. Many new young families want to provide their children with a strong foundation that can help them land competitive jobs. These families want to prepare their children for the future workforce, and I hope you see the value in increasing accessibility for these families who share our values.

To help increase accessibility, I encourage careful planning and design of mixed-use housing (areas or buildings where residential spaces are combined with non-residential spaces, such as retail or office spaces) and denser housing (areas with a large number of housing units per unit of land area, such as apartments and condos). Studies have shown that mixed-use and denser housing can increase property values, lower traffic congestion, attract more businesses, increase economic activity, and increase housing supply, which can ultimately lead to lower housing costs. For mixed-use housing, efforts such as the Zenith Apartments recently approved on Wattles and Dequindre should continue to be encouraged. For denser housing, developers see the interest of young families in Troy, but are restricted from benefiting from the demand for density. The ordinances should be updated to allow more density by default, especially near the Big Beaver corridor and neighborhood nodes where families can take advantage of the amenities Troy has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. I hope there is an opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the Oakland County Housing Trust Fund. The developer's willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future developers to follow suit and help Troy live to its promise as the city of tomorrow, today.

Thank you for your time and all you do on the planning commission.  
Mehrunnisa Ahmad



**From:** [Albano Cekaj](#)  
**To:** [Planning](#)  
**Subject:** Somerset west and affordable housing  
**Date:** Thursday, April 3, 2025 8:02:45 PM

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Dear Troy Planning Commission,

My name is Albano Cekaj. I have been a Troy resident for the past 25 years. I wanted to share my thoughts with the commission on the ordinance rewrite and the Somerset West Redevelopment (formerly the Kmart Plaza).

Regarding the ordinance rewrite, there is a significant need to lower housing costs in Troy. As one of the best places to raise a family, start a business, and attend a public school district in the state and country, we must recognize why many families want to live in Troy, especially new young families. In a heavily diverse city, where 57% of the population has earned a bachelor's degree or higher, many families choose to live in Troy so their children can attend Troy schools. Many new young families want to provide their children with a strong foundation that can help them land competitive jobs. These families want to prepare their children for the future workforce, and I hope you see the value in increasing accessibility for these families who share our values.

To help increase accessibility, I encourage careful planning and design of **mixed-use housing** (*areas or buildings where residential spaces are combined with non-residential spaces, such as retail or office spaces*) and **denser housing** (*areas with a large number of housing units per unit of land area, such as apartments and condos*). Studies have shown that mixed-use and denser housing can increase property values, lower traffic congestion, attract more businesses, increase economic activity, and increase housing supply, which can ultimately lead to lower housing costs. For mixed-use housing, efforts such as the Zenith Apartments recently approved on Wattles and Dequindre should continue to be encouraged. For denser housing, developers see the interest of young families in Troy, but are restricted from benefiting from the demand for density. The ordinances should be updated to allow more density by default, especially near the Big Beaver corridor and neighborhood nodes where families can take advantage of the amenities Troy has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. I hope there is an opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the **Oakland County Housing Trust Fund**. The developer's

willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future developers to follow suit and help Troy live to its promise as the city of tomorrow, today.

Thank you for your time and all you do on the planning commission.

**From:** [Mary Ellen Barden](#)  
**To:** [Planning](#)  
**Subject:** Tonight's Meeting  
**Date:** Tuesday, April 8, 2025 11:20:43 AM

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Hello,

I called and left a message. I am not sure how to file my concerns for tonight's meeting regarding the old K-Mart Headquarters site.

My concern is the increased foot traffic. In order to prevent unwanted foot traffic in the adjoining neighborhood, I believe they should put a fence around the property that matches the fence around the data center. In addition, I do not believe the 100' easement is even close to being adequate. I believe that is the reason for such a large green area on the east side of Coolidge. I am even more concerned now due to the plan being office space instead of upscale condos. I believe the industrial HVAC will create a noise issue and as such, I also suggest creating landscaping to help buffer the noise. In addition, I would want to be assured that the area be designed in such a way that we are not looking at meters, garbage dumpsters and discourages using the backspace as a place for general junk collection. Also the lighting they are planning on using is very bright. What has created even more concern, is they have been terrible neighbors neglecting the property since they have owned it. It is true recently they picked up the lot (which is already accumulating debris) but I believe that is to placate the situation as they prepare to submit a proposal to Troy. While I appreciated the job they did, it doesn't negate how they have ignored my requests in the past. The yellow lighting currently being used in the parking lot is much dimmer than the lights around Somerset. I say this because I see more light from the front of the mall than I do from the ones right in my backyard.

Thank you for your time. Please feel free to contact me with any questions.

Sincerely,

Mary Ellen Barden  
2105 Babcock Dr.  
Troy, MI 48084  
248-425-5790



**From:** [Mary Ellen Barden](#)  
**To:** [Ethan Baker](#); [Theresa Brooks](#); [Hirak Chanda](#); [Mark A Gunn](#); [David Hamilton](#); [Ellen C Hodorek](#)  
**Cc:** [Brent Savidant](#); [Planning](#)  
**Subject:** Fwd: Appointment  
**Date:** Wednesday, April 16, 2025 4:41:26 PM  
**Attachments:** [image001.png](#)  
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[image004.png](#)  
[image005.png](#)  
[image006.png](#)  
[04142025 CDP and PDP Set PUD.pdf](#)

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Dear Planning Commissioners, City Council Members and Mayor Baker,

I am writing as a long-time resident of Troy, having lived in this city since 1992 and raised my family here, to respectfully express my concerns about the proposed development near the east side of Coolidge. While I understand the importance of thoughtful development, I believe this particular project raises several issues that have not been adequately addressed.

My foremost concern is the increase in foot traffic that will inevitably impact our quiet, established neighborhood. To mitigate this, I strongly urge the Commission to require the installation of a perimeter fence around the new development that matches the existing fencing around the adjacent data center. This would help discourage unwanted foot traffic and protect the character of the neighborhood.

Furthermore, I believe the proposed 100-foot easement is insufficient. It appears the green space on the east side of Coolidge was previously established for this very reason—to act as a buffer. Given that the plan now calls for office space rather than the originally proposed upscale condominiums, this concern becomes even more pressing. Office development brings different traffic patterns, noise levels, and lighting concerns compared to residential use.

The potential for industrial HVAC equipment noise adds another layer of disruption. To address this, I recommend the incorporation of intentional landscaping to help buffer noise and maintain the tranquility of the area.

Additionally, I would ask the Commission to ensure that the design of the development considers the visual impact on neighboring homes. This includes properly concealing utility meters, dumpsters, and service areas to avoid creating an unsightly view or inviting general disarray. It's important this backspace is not treated as an afterthought, but as part of the development that must be kept clean and orderly.

Another serious issue is the brightness and type of lighting proposed. The current yellow-toned parking lot lights are far less intrusive than those planned, and much dimmer than the lighting at Somerset Mall—despite being closer to my home. Lighting design must prioritize nearby residents, particularly when it impacts backyard spaces and sleeping areas.

Lastly, I feel compelled to mention that the property's current owners have not demonstrated good neighborly conduct. The lot has been poorly maintained for years, and while some cleanup has occurred recently, I suspect this was done in anticipation of submitting the development proposal. Unfortunately, their past pattern of neglect, including a lack of

response to previous resident concerns, does not inspire confidence in future stewardship.

Our neighborhood deserves the same level of consideration shown to others. The large easement on the east side of Coolidge was clearly deemed necessary by previous Commissions and Council Members. I respectfully ask that the same thoughtful approach be applied now.

Please take our concerns seriously, and help us preserve the peaceful environment that has made this area such a wonderful place to live for decades.

----- Forwarded message -----

From: **Brent Savidant** <[SavidantB@troymi.gov](mailto:SavidantB@troymi.gov)>

Date: Tue, Apr 15, 2025 at 1:53 PM

Subject: RE: Appointment

To: Mary Ellen Barden <[mebarden1@gmail.com](mailto:mebarden1@gmail.com)>

Cc: Frank A Nastasi <[Frank.Nastasi@troymi.gov](mailto:Frank.Nastasi@troymi.gov)>

I was not brushing you off. I simply do not believe that meeting in person is necessary, since you did an excellent job of describing your concerns both in writing and verbally. The City has negotiated on behalf of the neighborhood to the north from the beginning of the process. If you believe what is proposed is inadequate you can communicate your concerns directly with Planning Commission and City Council.

The most recent CDP is attached.

Please look at Page 15. The CDP proposes a 100-foot buffer area where there will be no buildings. Keep in mind, the maximum proposed height north of Cunningham is 50 feet. This represents only half the setback distance.

Please look at page 34. This shows the proposed northern buffer of the PUD, abutting your neighborhood to the south. There is a cross-section provided showing proposed landscaping. The applicant proposes a berm with coniferous trees planted on the berm with additional rows of trees planted south of the berm. This is a robust landscape plan and is considerably higher than the standard in the Zoning Ordinance for similar projects. This seems to address your written and spoken concerns. Except for your comment that there was trash on the site, which I will communicate with the applicant.

The City Manager is copied so he is aware of our interaction.



**R. Brent Savidant, AICP**  
**Community Development Director**

**City of Troy**  
O: 248.524.3366



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**From:** Mary Ellen Barden <[mebarden1@gmail.com](mailto:mebarden1@gmail.com)>  
**Sent:** Tuesday, April 15, 2025 12:45 PM  
**To:** Brent Savidant <[SavidantB@troymi.gov](mailto:SavidantB@troymi.gov)>; Planning <[planning@troymi.gov](mailto:planning@troymi.gov)>  
**Subject:** Re: Appointment

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I wholeheartedly disagree and do not appreciate the brush off. Are any of the concerns being addressed in their plans? After speaking with the developer I am pretty sure he has no plan on changing anything unless the city of Troy requires him to. Who represents me here and fights for my interests?

On Tue, Apr 15, 2025 at 9:32 AM Brent Savidant <[SavidantB@troymi.gov](mailto:SavidantB@troymi.gov)> wrote:

Thank you for the email.

I believe I have a firm understanding of your concerns. You have communicated them clearly via email and reiterated your concerns verbally to the Planning Commission on April 8. You had the opportunity to speak with the developer directly at the neighborhood meeting they hosted. You have the opportunity to attend the Planning Commission public hearing on April 22. You have the opportunity to attend the City Council public hearing (no date set yet). Any email correspondence you provide will be shared with both boards and read by all board members. You have a voice and it will be listened to.





**R. Brent Savidant, AICP**  
**Community Development Director**

**City of Troy**  
O: 248.524.3366



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**From:** Mary Ellen Barden <[mebarden1@gmail.com](mailto:mebarden1@gmail.com)>  
**Sent:** Tuesday, April 15, 2025 6:01 AM  
**To:** Brent Savidant <[SavidantB@troymi.gov](mailto:SavidantB@troymi.gov)>; Planning <[planning@troymi.gov](mailto:planning@troymi.gov)>  
**Subject:** Appointment

Some people who received this message don't often get email from [mebarden1@gmail.com](mailto:mebarden1@gmail.com).  
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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Brian,

I would like to have a sit down meeting with you to discuss concerns regarding the land use permit for the corner of Big Beaver and Coolidge (the old K-mart site). It seems only fair to talk to us individually the same as you are talking to the developer. Having been a resident for more than 30 years, I remember how Troy steam rolled through the data center in the corner of the back lot

It might be useful for you to come here so I can show you what I'm talking about?

Looking forward to speaking with you,

Mary Ellen Barden





























**From:** [Alecia Billington](#)  
**To:** [Planning](#)  
**Subject:** Planning Commission Input  
**Date:** Thursday, April 3, 2025 9:06:38 PM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Troy Planning Commission,

My name is Alecia Billington. I have been a Troy resident for the past 7 years. I wanted to share my thoughts with the commission on the ordinance rewrite and the Somerset West Redevelopment (formerly the Kmart Plaza).

Regarding the ordinance rewrite, there is a significant need to lower housing costs in Troy. As one of the best places to raise a family, start a business, and attend a public school district in the state and country, we must recognize why many families want to live in Troy, especially new young families. In a heavily diverse city, where 57% of the population has earned a bachelor's degree or higher, many families choose to live in Troy so their children can attend Troy schools. Many new young families want to provide their children with a strong foundation that can help them land competitive jobs. These families want to prepare their children for the future workforce, and I hope you see the value in increasing accessibility for these families who share our values.

To help increase accessibility, I encourage careful planning and design of **mixed-use housing** (*areas or buildings where residential spaces are combined with non-residential spaces, such as retail or office spaces*) and **denser housing** (*areas with a large number of housing units per unit of land area, such as apartments and condos*). Studies have shown that mixed-use and denser housing can increase property values, lower traffic congestion, attract more businesses, increase economic activity, and increase housing supply, which can ultimately lead to lower housing costs. For mixed-use housing, efforts such as the Zenith Apartments recently approved on Wattles and Dequindre should continue to be encouraged. For denser housing, developers see the interest of young families in Troy, but are restricted from benefiting from the demand for density. The ordinances should be updated to allow more density by default, especially near the Big Beaver corridor and neighborhood nodes where families can take advantage of the amenities Troy has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. I hope there is an opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the **Oakland County Housing Trust Fund**. The developer's



willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future developers to follow suit and help Troy live to its promise as the city of tomorrow, today.

Thank you for your time and all you do on the planning commission.

**From:** [Deanna Katto](#)  
**To:** [Planning](#)  
**Subject:** Somerset West Redevelopment and Ordinance Rewrite - Resident Feedback  
**Date:** Thursday, April 3, 2025 6:30:19 PM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Troy Planning Commission,

I hope all is well!

My name is Deanna. I grew up in Troy and have been a resident for many years. I wanted to share my thoughts with the commission on the ordinance rewrite and the Somerset West Redevelopment (formerly the Kmart Plaza).

Regarding the ordinance rewrite, there is a significant need to lower housing costs in Troy. As one of the best places to raise a family, start a business, and attend a public school district in the state and country, we must recognize why many families want to live in Troy, especially new young families. In a heavily diverse city, where 57% of the population has earned a bachelor's degree or higher, many families choose to live in Troy so their children can attend Troy schools. Many new young families want to provide their children with a strong foundation that can help them land competitive jobs. These families want to prepare their children for the future workforce, and I hope you see the value in increasing accessibility for these families who share our values.

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Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. I hope there is an

opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the **Oakland County Housing Trust Fund**. The developer's willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future developers to follow suit and help Troy live to its promise as the city of tomorrow, today.

Thank you for your time and all you do on the planning commission!

**Best,**  
Deanna Katto  
(248) 885-3516



**From:** [Fabrice Smieliauskas](#)  
**To:** [Planning](#)  
**Subject:** comments on Somerset West Redevelopment  
**Date:** Friday, April 4, 2025 8:33:52 AM

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Dear Troy Planning Commission,

My name is Fabrice Smieliauskas. I have been a Troy resident for the past five years. I wanted to share my thoughts with the commission on the ordinance rewrite and the Somerset West Redevelopment (formerly the Kmart Plaza).

Regarding the ordinance rewrite, there is a significant need to lower housing costs in Troy. As one of the best places to raise a family, start a business, and attend a public school district in the state and country, we must recognize why many families want to live in Troy, especially new young families. In a heavily diverse city, where 57% of the population has earned a bachelor's degree or higher, many families choose to live in Troy so their children can attend Troy schools. Many new young families want to provide their children with a strong foundation that can help them land competitive jobs. These families want to prepare their children for the future workforce, and I hope you see the value in increasing accessibility for these families who share our values.

To help increase accessibility, I encourage careful planning and design of **mixed-use housing** (*areas or buildings where residential spaces are combined with non-residential spaces, such as retail or office spaces*) and **denser housing** (*areas with a large number of housing units per unit of land area, such as apartments and condos*). Studies have shown that mixed-use and denser housing can increase property values, lower traffic congestion, attract more businesses, increase economic activity, and increase housing supply, which can ultimately lead to lower housing costs. For mixed-use housing, efforts such as the Zenith Apartments recently approved on Wattles and Dequindre should continue to be encouraged. For denser housing, developers see the interest of young families in Troy, but are restricted from benefiting from the demand for density. The ordinances should be updated to allow more density by default, especially near the Big Beaver corridor and neighborhood nodes where families can take advantage of the amenities Troy has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. I hope there is an opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the **Oakland County Housing Trust Fund**. The developer's willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future developers to follow suit and help



Troy live to its promise as the city of tomorrow, today.

Thank you for your time and all you do on the planning commission. Fabrice Smieliauskas

**From:** [Joel M.](#)  
**To:** [Planning](#)  
**Subject:** Troy Planning Commission Input  
**Date:** Thursday, April 3, 2025 9:39:00 PM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Troy Planning Commission,

My name is Joel Meulenberg. I have been a Troy resident for the past 8 years. I wanted to share my thoughts with the commission on the ordinance rewrite and the Somerset West Redevelopment (formerly the Kmart Plaza).

Regarding the ordinance rewrite, there is a significant need to lower housing costs in Troy. As one of the best places to raise a family, start a business, and attend a public school district in the state and country, we must recognize why many families want to live in Troy, especially new young families. In a heavily diverse city, where 57% of the population has earned a bachelor's degree or higher, many families choose to live in Troy so their children can attend Troy schools. Many new young families want to provide their children with a strong foundation that can help them land competitive jobs. These families want to prepare their children for the future workforce, and I hope you see the value in increasing accessibility for these families who share our values.

To help increase accessibility, I encourage careful planning and design of **mixed-use housing** (*areas or buildings where residential spaces are combined with non-residential spaces, such as retail or office spaces*) and **denser housing** (*areas with a large number of housing units per unit of land area, such as apartments and condos*). Studies have shown that mixed-use and denser housing can increase property values, lower traffic congestion, attract more businesses, increase economic activity, and increase housing supply, which can ultimately lead to lower housing costs. For mixed-use housing, efforts such as the Zenith Apartments recently approved on Wattles and Dequindre should continue to be encouraged. For denser housing, developers see the interest of young families in Troy, but are restricted from benefiting from the demand for density. The ordinances should be updated to allow more density by default, especially near the Big Beaver corridor and neighborhood nodes where families can take advantage of the amenities Troy has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. I hope there is an



opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the **Oakland County Housing Trust Fund**. The developer's willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future developers to follow suit and help Troy live to its promise as the city of tomorrow, today.

Thank you for your time and all you do on the planning commission.

**From:** [Kelly](#)  
**To:** [Planning](#)  
**Date:** Friday, April 4, 2025 8:50:44 AM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name is Kelly Jones and I am a 26 year resident of Troy.

As you know, Troy's reputation as a top city for families and businesses makes it a highly desirable place to live, especially for younger families seeking quality schools.

To keep Troy accessible, we must address housing affordability.

I urge the Planning Commission to support mixed-use and higher-density housing and rezone office districts for flex or residential use. Mixed-use developments and denser housing options can create walkable neighborhoods while expanding our housing supply, focusing on young families and seniors. Given the post-COVID decline in office use, rezoning is crucial for Troy's long-term viability. Research shows these strategies can boost property values, reduce congestion, attract businesses, and stimulate economic growth—all while improving affordability.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site is exciting! I hope there is an opportunity to set aside homes that are affordable to young families and seniors.

I encourage the Planning Commission to consider mixed use and high density housing, as well as rezoning office districts for flex or residential purposes.

Thank you for your time,  
Kelly Jones



**From:** [Qudsia](#)  
**To:** [Planning](#)  
**Subject:** Ordinance Rewrite & the Somerset West Redevelopment  
**Date:** Thursday, April 3, 2025 10:55:59 PM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Troy Planning Commission,

My name is Qudsia Lone. I have been a Troy resident for the past 14 years. I wanted to share my thoughts with the commission on the ordinance rewrite and the Somerset West Redevelopment (formerly the Kmart Plaza).

Regarding the ordinance rewrite, there is a significant need to lower housing costs in Troy. As one of the best places to raise a family, start a business, and attend a public school district in the state and country, we must recognize why many families want to live in Troy, especially new young families. In a heavily diverse city, where 57% of the population has earned a bachelor's degree or higher, many families choose to live in Troy so their children can attend Troy schools. Many new young families want to provide their children with a strong foundation that can help them land competitive jobs. These families want to prepare their children for the future workforce, and I hope you see the value in increasing accessibility for these families who share our values.

To help increase accessibility, I encourage careful planning and design of **mixed-use housing** (*areas or buildings where residential spaces are combined with non-residential spaces, such as retail or office spaces*) and **denser housing** (*areas with a large number of housing units per unit of land area, such as apartments and condos*). Studies have shown that mixed-use and denser housing can increase property values, lower traffic congestion, attract more businesses, increase economic activity, and increase housing supply, which can ultimately lead to lower housing costs. For mixed-use housing, efforts such as the Zenith Apartments recently approved on Wattles and Dequindre should continue to be encouraged. For denser housing, developers see the interest of young families in Troy, but are restricted from benefiting from the demand for density. The ordinances should be updated to allow more density by default, especially near the Big Beaver corridor and neighborhood nodes where families can take advantage of the amenities Troy has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. I hope there is an opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the **Oakland County Housing Trust Fund**. The developer's

willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future developers to follow suit and help Troy live to its promise as the city of tomorrow, today.

Thank you for your time and all you do on the planning commission.

Qudsia Lone

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-----Recommendations:-----

Make a difference in the world: <http://usa.humanityfirst.org/>

For Humanity First International, go to: [www.humanityfirst.org](http://www.humanityfirst.org)

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**From:** [Mike f](#)  
**To:** [Planning](#)  
**Subject:** Ordinance Rewrite & Somerset W Redevelopment  
**Date:** Friday, April 4, 2025 9:32:11 AM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

**Dear Troy Planning Commission,**

Our names are Mike Flores & Josh Curie, and we have been residents of Troy for the past year. We're writing to share our thoughts on the future ordinance rewrite (April 22<sup>nd</sup>) and the proposed Somerset West Redevelopment (formerly the Kmart Plaza).

We believe there is a pressing need to address housing affordability in Troy. As one of the best cities in Michigan—and the country—for raising a family, starting a business, and accessing top-tier public education, it's no surprise that many families are eager to call Troy home, particularly younger families. In our diverse city, where 57% of residents hold a bachelor's degree or higher, many are drawn here by the opportunity to enroll their children in Troy's exceptional schools. These families are investing in their children's futures, hoping to provide a strong foundation that leads to success in a competitive global workforce. We should ensure Troy remains accessible to families who share these values and aspirations.

We encourage the Commission to promote **mixed-use** and **higher-density housing** as well as **rezoning office districts to flex or residential uses**. Mixed-use developments—combining residential units with retail, office, or other non-residential spaces—along with denser housing options like apartments and condos, can create vibrant, walkable neighborhoods while expanding our housing supply. Rezoning areas zoned office to flex or residential use is critical to the viability of our city given the post Covid crash in office use. Research shows that these housing models can raise property values, reduce traffic congestion, attract businesses, and stimulate local economic growth—all while helping to lower housing costs over time.

Troy has already taken steps in the right direction, approving similar projects of late. These kinds of efforts should be expanded. When it comes to higher-density housing, recently proposed projects clearly recognize the demand among young families, but current ordinances often restrict their ability to meet that demand. I urge the Commission to revise zoning to allow greater density by default—especially along the **Big Beaver corridor** and in **neighborhood nodes**, where residents can benefit from the many amenities our city has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. We hope there is an opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the **Oakland County Housing Trust Fund**. The project's willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future projects to follow suit.

Thank you for your time, and for your commitment to making Troy an inclusive, forward-thinking city for all.

Sincerely,

Mike & Josh  
Paddington Street  
248-275-3145



**Dear Troy Planning Commission,**

My name is Cheryl Webster Miller, and I have been a resident of Troy for the past 36 years. I'm writing to share my thoughts on the future ordinance rewrite (April 22<sup>nd</sup>) and the proposed Somerset West Redevelopment (formerly the Kmart Plaza).

I believe there is a pressing need to address housing affordability in Troy. As one of the best cities in Michigan—and the country—for raising a family, starting a business, and accessing top-tier public education, it's no surprise that many families are eager to call Troy home, particularly younger families. In our diverse city, where 57% of residents hold a bachelor's degree or higher, many are drawn here by the opportunity to enroll their children in Troy's exceptional schools. These families are investing in their children's futures, hoping to provide a strong foundation that leads to success in a competitive global workforce. We should ensure Troy remains accessible to families who share these values and aspirations.

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Troy has already taken steps in the right direction, approving similar projects of late. These kinds of efforts should be expanded. When it comes to higher-density housing, recently proposed projects clearly recognize the demand among young families, but current ordinances often restrict their ability to meet that demand. I urge the Commission to revise zoning to allow greater density by default—especially along the **Big Beaver corridor** and in **neighborhood nodes**, where residents can benefit from the many amenities our city has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. I hope there is an opportunity to set aside homes for both affordable and senior housing. To subsidize some of the housing costs, I hope there are efforts to encourage the developer to pursue funding from organizations such as the **Oakland County Housing Trust Fund**. The project's willingness to create a vibrant, walkable, mixed-use development should be applauded. More efforts should be made in Troy to encourage future projects to follow suit.

Thank you for your time, and for your commitment to making Troy an inclusive, forward-thinking city for all.

Sincerely,  
Cheryl Webster Miller, 113 Streamview Drive, Troy 48085

**From:** [Kristin Pingree](#)  
**To:** [Planning](#)  
**Subject:** Developing Former Kmart HQ  
**Date:** Tuesday, April 8, 2025 6:40:35 PM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Troy Planning Commission,

My name is Kristin Pingree, and I have been a Troy resident for the past 12 years. I wanted to share my thoughts with the commission on the ordinance rewrite and the Somerset West Redevelopment of the former Kmart Plaza.

To help increase housing accessibility, I encourage the planning commission to pursue the design and building of mixed-use housing and denser housing. Studies have shown that mixed-use and denser housing can increase property values, lower traffic congestion, attract more businesses, increase economic activity, and increase housing supply and increased affordability. The ordinances should be updated to allow more density by default, especially near the Big Beaver corridor where families can take advantage of the amenities Troy has to offer.

Regarding the Somerset West Redevelopment, the multifamily housing intended for the site has received excitement from many Troy residents. More efforts should be made in Troy to encourage future developers to follow suit and help Troy live to its promise as the city of tomorrow, today.

Thank you for your time and all you do on the planning commission.

Sincerely, Kristin Pingree



**From:** [Ren Nushaj](#)  
**To:** [Planning](#)  
**Subject:** Ordinance and old K-Mart site  
**Date:** Friday, April 4, 2025 8:01:59 AM

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**CAUTION:** This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning.

My name is Ren Nushaj, and I have been a resident of Troy most of my adult life. I'm writing to share my thoughts on the future ordinance rewrite (April 22<sup>nd</sup>) and the proposed Somerset West Redevelopment (formerly the Kmart Plaza).

I believe there is a pressing need to address housing affordability in Troy. As one of the best cities in Michigan—and the country—for raising a family, starting a business, and accessing top-tier public education, it's no surprise that many families are eager to call Troy home, particularly younger families. In our diverse city, where 57% of residents hold a bachelor's degree or higher, many are drawn here by the opportunity to enroll their children in Troy's exceptional schools. These families are investing in their children's futures, hoping to provide a strong foundation that leads to success in a competitive global workforce. We should ensure Troy remains accessible to families who share these values and aspirations.

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Thank you for your time, and for your commitment to making Troy an inclusive, forward-thinking city for all.

--

*Sincerely,*

**Ren Nushaj**  
Attorney at Law

---

**Troy Law Center**  
Attorneys & Counselors  
5960 Livernois Rd.  
Troy, MI 48098

Tel. (248) 649-1000  
Fax. (248) 792-3487  
[Troy Law Center.com](http://TroyLawCenter.com)

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***Our Practice:*** Municipal | Business | Criminal | Family | Real Estate | Traffic

***Municipal:*** City Attorneys and Prosecutors

***Mediation:*** Certified Family Law Mediators

***Real Estate:*** Certified Real Estate Brokers

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Confidential Communication Notice

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**ITEM #6**

DATE: April 16, 2025

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PRELIMINARY SITE PLAN (JPLN2025-0009) – Proposed Bose Hub Office & Engineering, South of Big Beaver, East of Troy Center (755 W. Big Beaver; PIN 88-20-28-101-074), Section 28, Presently zoned BB (Big Beaver) Zoning District.

The petitioner 755 Tower Associates II, LLC submitted the above referenced Preliminary Site Plan application for a new Bose Hub Office & Engineering. The two story building will be 76,369 square feet in area. The Planning Commission is authorized to approve Preliminary Site Plans.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Preliminary Site Plan



## **PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN (JPLN2025-0009) – Proposed Bose Hub Office & Engineering, South of Big Beaver, East of Troy Center (755 W. Big Beaver; PIN 88-20-28-101-074), Section 28, Presently zoned BB (Big Beaver) Zoning District.

### **Resolution # PC-2025-04-**

Moved by:

Support by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Bose Hub Office & Engineering, South of Big Beaver, East of Troy Center (755 W. Big Beaver), Section 28, approximately 4.9 acres in size, Currently Zoned BB, be (granted, subject to the following conditions):

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

Yes:

No:

Absent:

**MOTION CARRIED**



# GIS Online



## Legend

Tax Parcels

Tax Parcel



0 500 1000  
ft

Print Date: 4/16/2025

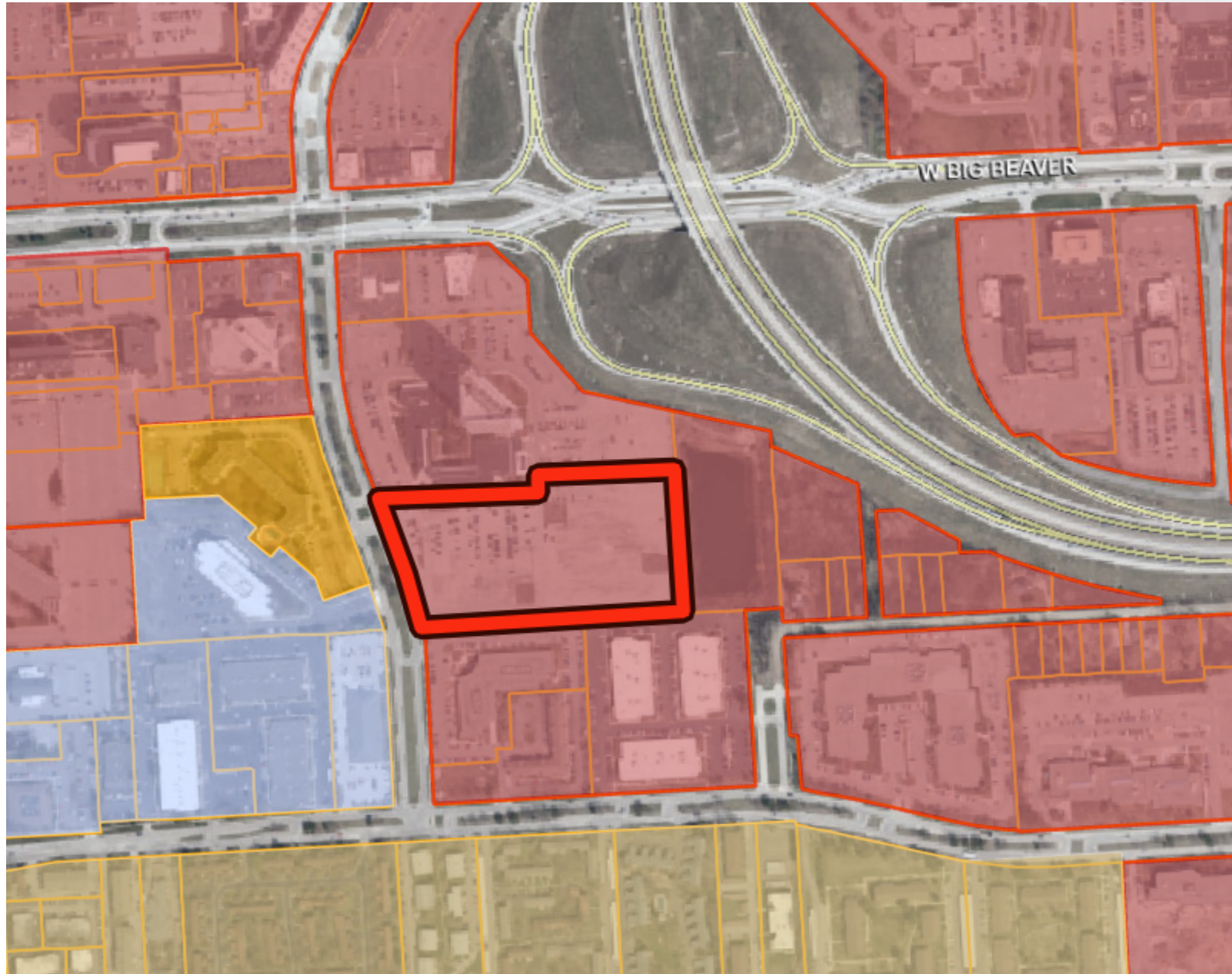


Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.





# GIS Online



## Legend

### Planning

#### Form Based Zoning

- (BB) Big Beaver Road
- (O) Office Building District
- (MF) Multi-Family Residential
- (UR) Urban Residential

### Tax Parcels

#### Tax Parcel



0 500 1000  
ft

Print Date: 4/16/2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 15, 2025

## **Preliminary Site Plan**

### **For**

## **City of Troy, Michigan**

**Applicant:** Tony Antone

**Project Name:** Bose Hub Office & Engineering

**Location:** 755 W Big Beaver Rd

**Plan Date:** Received March 24, 2025

**Zoning:** BB, Big Beaver

**Action Requested:** Preliminary Site Plan Approval

### **PROJECT AND SITE DESCRIPTION**

An application has been submitted to construct an office and engineering building for Bose Corporation on the Top of Troy (PNC) site. The proposed building is two (2) stories and measures 76,369 square feet. The building will be located behind the PNC building with visibility from I-75. Prior to construction, the applicant proposes a lot split to separate the subject site from the existing parent parcel along Troy Center Drive. Access will be provided by three (3) access points from Troy Center Drive. Please note that the applicant has shown a future building fronting on Troy Center Drive. This is for conceptual purposes only.

The site is zoned BB, Big Beaver Form Based District, Site Type A, Street Type C. Office is a permitted use.



Site Location:



Size of Subject Site:

4.9 acres (following a lot split).

Proposed Uses of Subject Site:

2-story office and engineering building.

Current Zoning:

The property is currently zoned BB, Big Beaver Form Based District, Site Type A, Street Type C.

Surrounding Property Details:

| Direction | Zoning         | Use   |
|-----------|----------------|---|
| North     | BB, Big Beaver | PNC<br>Other office uses  |
| South     | BB, Big Beaver | Secret Wardle Law Firm<br>Redwood Dental<br>Business Development Services |
| East      | BB, Big Beaver | Retention Basin/Undeveloped Land  |

|      |                                    |  |
|------|------------------------------------|--|
| West | UR, Urban Residential<br>O, Office | Troy Center Drive Business Center<br>and other office uses |
|------|------------------------------------|--|

## NATURAL FEATURES

**Topography:** The site has been graded for previous development.

**Wetlands/Floodplain:** The site contains no wetlands and is not located in a floodplain.

**Items to be Addressed:** None

## AREA, WIDTH, HEIGHT, SETBACKS

The site is regulated by dimensional standards of Building Form B:

|                                 | Required   | Provided   | Compliance |
|---------------------------------|--|--|------------|
| Front (west)<br>Building Type B | 0 feet minimum<br>60 feet max  | 60 feet  | Complies   |
| Side (north, south)             | N/A, building may be placed up to<br>property line   | North: 134 feet<br>South: 130 feet                 | Complies   |
| Rear (east)                     | 30 feet minimum  | 64 feet  | Complies   |
| Building Height                 | 2 stories, 24 feet minimum   | 2 stories, 31 feet                                 | Complies   |
| Open Space                      | 15%  | 25%  | Complies   |
| Parking Location                | Parking shall be located in any yard,<br>however, only one<br>row of parking and a maneuvering<br>lane shall be permitted in a front yard. | One (1) row of<br>parking located in<br>front yard | Complies   |

### Front Setback:

While the subject site does not directly abut any thoroughfare, frontage is considered to be on the site's west side (facing Troy Center Drive). The applicant has split the property and is proposing a setback of 60 feet where a maximum of 60 feet is permitted.

**Items to be Addressed:** None



## PARKING

|   | Required   | Provided   | Compliance |
|---|--|------------|------------|
| <u>Office or professional buildings, except medical offices:</u><br>1 space per 300 SF GFA<br><br><u>Research and Development:</u><br>1 space per each 550 SF GFA | <u>Office:</u><br>44,594 SF/300<br>= 149 spaces<br><br>+<br><br><u>Research and Development:</u><br>30,960 SF/550<br>= 57 spaces<br><br><b>206 total spaces required</b> | 218 Spaces | Complies   |
| Barrier Free  | 7 spaces   | 8 spaces   | Complies   |
| Bicycle   | 2 spaces   | 2 spaces   | Complies   |

### EV Charging:

The applicant notes that of the 218 parking spaces provided, eight (8) shall be electrical vehicle (EV) charging stations.

**Items to be Addressed: None.**

## ACCESS AND CIRCULATION

### Vehicular Access:

The subject site has three (3) indirect points of access from Troy Center Drive. From any of these access points, a driver will be required to maneuver through existing parking lots to reach the subject site.

### Pedestrian Access:

A concrete sidewalk wraps around the perimeter of the building, aside from the loading area in the southeast corner. At the opposite end, near the northwest corner of the building, an employee patio is provided along the sidewalk path.

Pedestrian connection to Troy Center Drive is provided. Crosswalks on site connect to an existing sidewalk system on the parcel to the north.

**Items to be Addressed: None.**

## LANDSCAPING

A landscape plan has been provided on Sheet L-1.0. The following table discusses the development's compliance with the landscape requirements set forth in Section 13.02.

|   | Required                   | Provided   | Compliance              |
|---|----------------------------|--|-------------------------|
| <b>Parking Lot Trees</b>  |                            |  |                         |
| 1 tree per every 8 parking spaces   | 223 spaces/8<br>= 28 trees | 33 trees, however<br>only 15 within<br>islands and 18<br>along perimeter | See Discussion<br>Below |
| <b>Overall Site Landscaping</b>   |                            |  |                         |
| A minimum of 20% of the site area shall be comprised of landscape material. | 20%                        | 25%  | Complies                |

### Parking Lot Landscaping:

In their original site plan package, the applicant had provided twenty-eight (28) parking lot trees as required by ordinance standards; however, many of those trees were located along the lot perimeter. In a review dated March 18, 2025, we asked the applicant to relocate parking lot trees to landscaped islands.

In revised site plans dated March 24, 2025, the applicant has since provided fifteen (15) parking lot trees within landscaped islands and eighteen (18) trees along the lot perimeter. The applicant has stated that there are island locations with planting hardships due to underground utilities. To lessen some of these issues, the applicant has increased the amount of parking lot trees provided from twenty-eight (28) to thirty-three (33). The Planning Commission may consider the applicant's proposal for perimeter parking lot landscaping.

### Stormwater Management:

An existing retention basin abuts the subject site to the east. We refer to the City Engineer for review of stormwater management.

### Trash Enclosure:

A dumpster is located on the east side of the building. A 6-foot tall masonry enclosure is provided.

### Mechanical Equipment:

Sheets A1.03 and A1.04 show that mechanical equipment will be located on the rooftop and screened in compliance with Section 13.04.

***Items to be Addressed:*** Planning Commission to consider the proposal for perimeter parking lot landscaping.



## PHOTOMETRICS

A photometric plan has been provided on Sheet E-SP. The applicant proposes the use of sixteen (16) pole lights and seven (7) wall-mounted lights. All lighting levels are compliant. All fixtures are downward directed at compliant height.

***Items to be Addressed: None.***

## FLOOR PLAN AND ELEVATIONS

### Floor Plans:

A general outline of the floor plan is provided on Sheets A1.01 and A1.02. The applicant proposes a two (2) story building measuring a total of 76,369 square feet. In essence, the floor plan is split to accommodate two (2) primary uses: office and engineering.

The first floor is 50,179 square feet, with 29,139 square feet dedicated to office space and 21,040 square feet dedicated as “high bay” space. The high bay area extends upwards to the ceiling, making usable space on the second floor less than the first. The second floor is 26,190 square feet and dedicated as additional office space.

### Elevations:

The new building is 2-stories, 31 feet in height. The building exterior is comprised of metal panels, ground face block, and an aluminum and glass curtainwall. Dimensional stone wraps around the bottom of the building in skirt fashion. Colored renderings show that exterior colors are black and gray with red accents.

### Transparency:

Transparency calculations have been provided on Sheet A1.03 and comply with ordinance standards.

***Items to be Addressed: None.***

## DESIGN STANDARDS AND SITE PLAN REVIEW STANDARDS

The Big Beaver Node design standards as well as Site Plan review standards provide the Planning Commission with direction when reviewing the proposed site plan and design features of this development.

### Section 5.04.E. outlines Design Standards:

1. *Building Orientation and Entrance*
2. *Ground Story Activation*
3. *Transitional Features*
4. *Site Access, Parking, and Loading*

Please see Section 5.04.E for standard details.

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
  - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
  - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
  - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
  - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
  - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
  - c. *Develop buildings with creativity that includes balanced compositions and forms.*
  - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
  - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
  - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
  - a. *Provide elements that define the street and the pedestrian realm.*
  - b. *Create a connection between the public right of way and ground floor activities.*
  - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
  - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
  - e. *Improve safety for pedestrians through site design measures.*

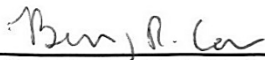


## SUMMARY

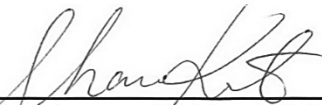
The Planning Commission should consider the following:

1. Compliance with Section 5.04.E Big Beaver Standards.
2. Compliance with Section 8.06 Site Plan Review Design Standards
3. Perimeter parking lot landscaping

Sincerely,



**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, AICP, LEED AP**  
**President**

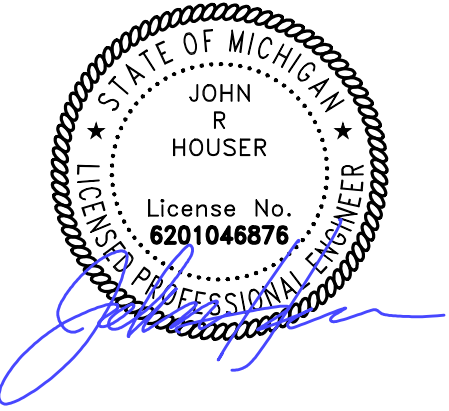


**CARLISLE/WORTMAN ASSOC., INC.**  
**Shana Kot**  
**Community Planner**

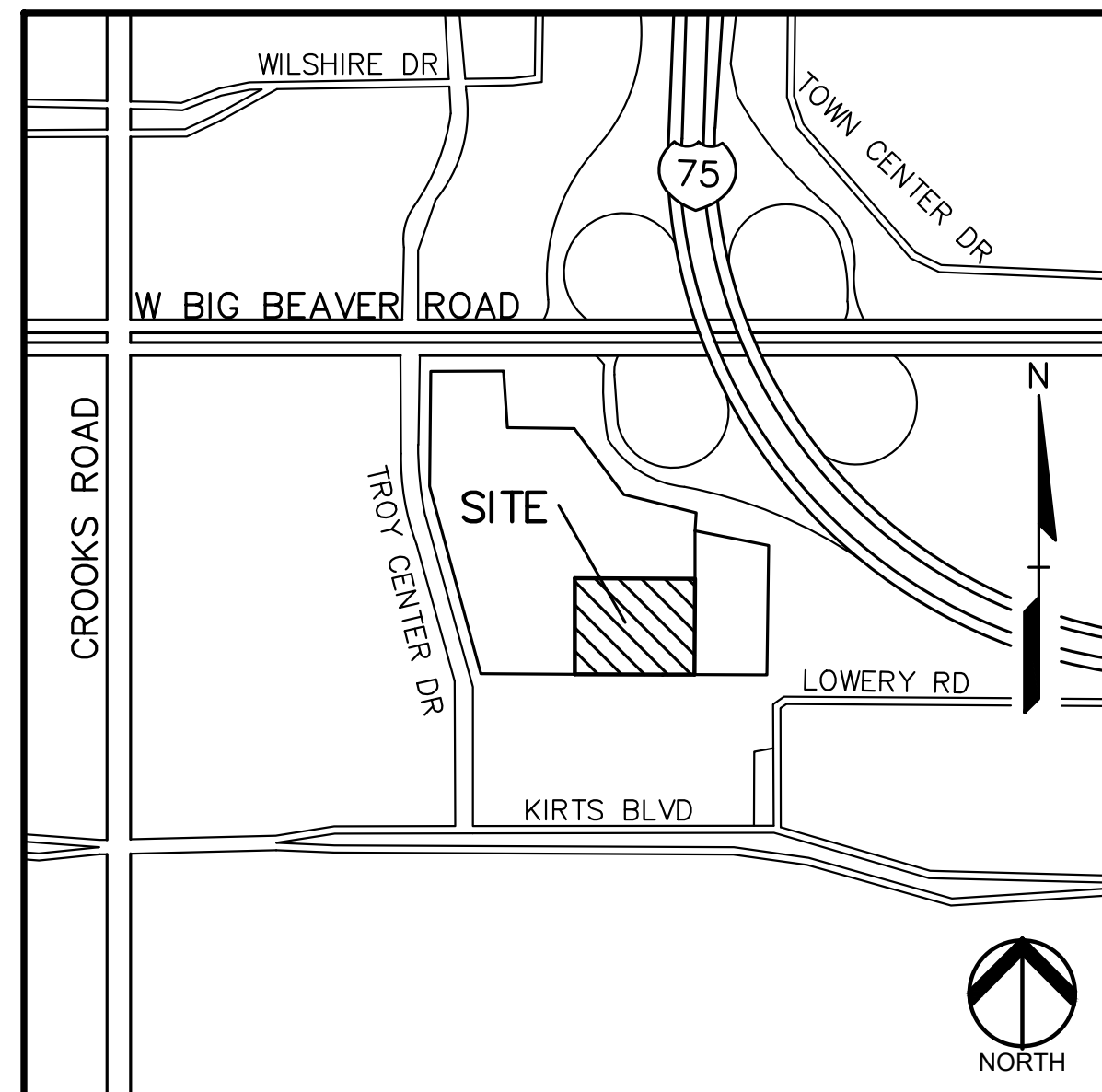
PRELIMINARY SITE PLAN

# BOSE HUB OFFICE & ENGINEERING

755 W BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MI



| PERMIT / APPROVAL SUMMARY |               |                   |
|---------------------------|---------------|-------------------|
| DATE SUBMITTED            | DATE APPROVED | PERMIT / APPROVAL |
|                           |               |                   |



LOCATION MAP  
NO SCALE

| INDEX OF DRAWINGS |                                 |
|-------------------|---------------------------------|
| NUMBER            | TITLE                           |
|                   | COVER SHEET                     |
| C-1.0             | TOPOGRAPHIC SURVEY              |
| C-3.0             | OVERALL SITE PLAN               |
| C-3.1             | PRELIMINARY SITE PLAN           |
| C-4.0             | PRELIMINARY GRADING PLAN        |
| C-6.0             | PRELIMINARY UTILITY PLAN        |
| C-9.0             | NOTES AND DETAILS               |
| L-1.0             | LANDSCAPE PLAN                  |
| L-1.1             | LANDSCAPE DETAILS               |
| E-SP              | ELECTRICAL SITE PHOTOMETRIC     |
| A1.01             | CONSTRUCTION PLAN - LEVEL 01    |
| A1.02             | CONSTRUCTION PLAN - LEVEL 02    |
| A1.03             | BUILDING ELEVATIONS             |
| A1.04             | BUILDING ELEVATIONS             |
| A1.05             | BUILDING RENDERING - ENTRY VIEW |
| A1.06             | BUILDING RENDERINGS             |

## DESIGN TEAM

| OWNER/APPLICANT/DEVELOPER  | CIVIL ENGINEER  |
|--|---|
| KOJAIAN MANAGEMENT CORPORATION<br>39400 WOODWARD AVE, SUITE 250<br>BLOOMFIELD HILLS, MI 48304<br>CONTACT: TONY ANTONE<br>PHONE: 248.644.7600<br>EMAIL: TANTONE@KOJAIAN.COM | PEA GROUP<br>1849 POND RUN<br>AUBURN HILLS, MI 48326<br>CONTACT: JOHN HOUSER, PE<br>PHONE: 248.528.7364<br>EMAIL: JHOUSER@PEAGROUP.COM        |
| ARCHITECT  | LANDSCAPE ARCHITECT   |
| GENSLER<br>ONE BEACON STREET<br>BOSTON, MASSACHUSETTS 02108<br>CONTACT: JEFF PIVORUNAS<br>PHONE: 617.619.5897<br>EMAIL: JEFF_PIVORUNAS@GENSLER.COM                         | PEA GROUP<br>7927 NEMCO WAY, STE. 115<br>BRIGHTON, MI 48116<br>CONTACT: JANET EVANS, PLA<br>PHONE: 844.813.2949<br>EMAIL: JEVANS@PEAGROUP.COM |

PEA  
GROUP

| REVISIONS               |            |
|-------------------------|------------|
| DESCRIPTION             | DATE       |
| ORIGINAL ISSUE DATE     | 8/23/2024  |
| REVISED SITE LAYOUT     | 12/13/2024 |
| REVISE SPA SET          | 2/10/2025  |
| REVISED SPA SET         | 3/24/2025  |
| REVISED CONDO UNIT LINE | 4/15/2025  |

CITY OF TROY JOB NUMBER 24.xxx.x  
NOT FOR CONSTRUCTION

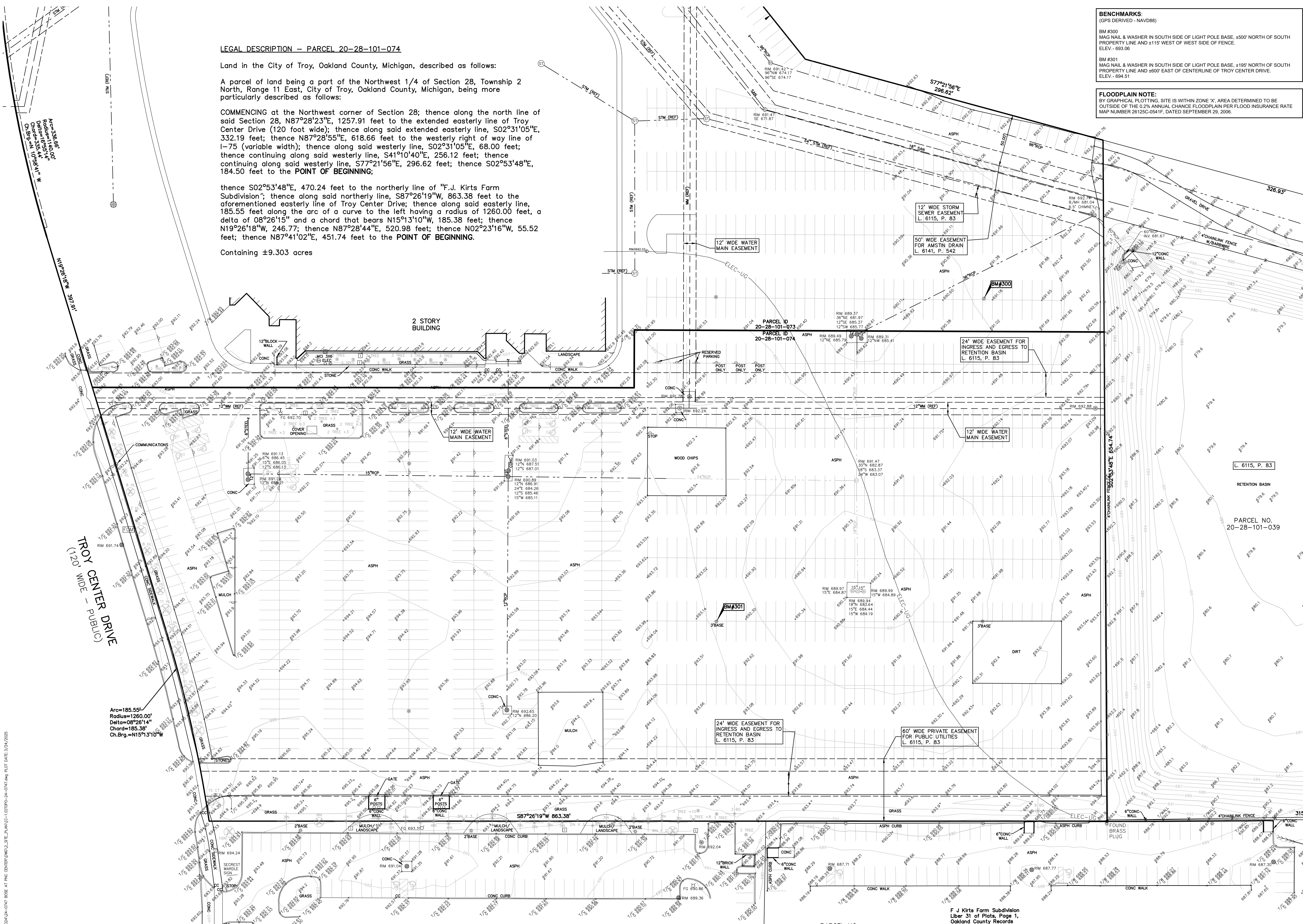


A parcel of land being a part of the Northwest 1/4 of Section 28, Township 2 North, Range 11 East, City of Troy, Oakland County, Michigan, being more particularly described as follows:

COMMENCING at the Northwest corner of Section 28; thence along the north line of said Section 28, N87°28'23"E, 1257.91 feet to the extended easterly line of Troy Center Drive (120 foot wide); thence along said extended easterly line, S02°31'05"E, 332.19 feet; thence N87°28'55"E, 618.66 feet to the westerly right of way line of I-75 (variable width); thence along said westerly line, S02°31'05"E, 68.00 feet; thence continuing along said westerly line, S41°01'40"E, 256.12 feet; thence continuing along said westerly line, S77°21'56"E, 296.62 feet; thence S02°53'48"E, 184.50 feet to the **POINT OF BEGINNING**;

thence S02°53'48"E 470.24 feet to the northerly line of "F.J. Kirts Farm Subdivision"; thence along said northerly line, S87°26'19"W, 863.38 feet to the aforementioned easterly line of Troy Center Drive; thence along said easterly line, 185.55 feet along the arc of a curve to the left having a radius of 1260.00 feet, a delta of 08°26'15" and a chord that bears N15°3'10"W, 185.38 feet; thence N19°26'18"W, 246.77 feet; thence N87°28'44"E, 520.98 feet; thence N02°23'16"W, 55.52 feet; thence N87°41'02"E, 451.74 feet to the POINT OF BEGINNING.

Containing  $\pm 9.303$  acres



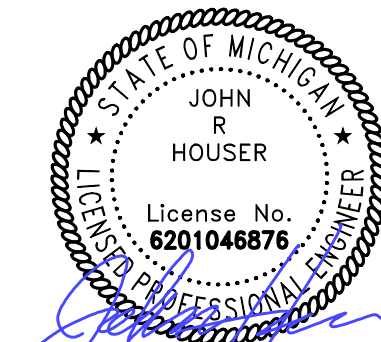
**BENCHMARKS:**  
(GPS DERIVED - NAVD88)

BM #300  
MAG NAIL & WASHER IN SOUTH SIDE OF LIGHT POLE BASE, ±500' NORTH OF SOUTH  
PROPERTY LINE AND ±115' WEST OF WEST SIDE OF FENCE.  
ELEV. - 693.06

BM #301  
MAG NAIL & WASHER IN SOUTH SIDE OF LIGHT POLE BASE, ±195' NORTH OF SOUTH  
PROPERTY LINE AND ±600' EAST OF CENTERLINE OF TROY CENTER DRIVE.  
ELEV. - 694.51

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C-0541F, DATED SEPTEMBER 29, 2006.



0 20 40

SCALE: 1" = 40'



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

**755 TOWER  
ASSOCIATES II  
LLC**

39400 WOODWARD AVE, SUITE 25  
BLOOMFIELD HILLS, MICHIGAN 48304

PROJECT TITLE

**BOSE HUB  
OFFICE &  
ENGINEERING**

755 W BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MI

| REVISIONS           |     |
|---------------------|-----|
| REVISED SITE LAYOUT | 12. |
| REVISED SPA SET     | 02. |
| REVISED SPA SET     | 03. |

ORIGINAL ISSUE DATE:

DRAWING TITLE

# TOPOGRAPHIC SURVEY

PEA JOB NO. 2024-0

P.M.

|     |    |
|-----|----|
| DN. | \$ |
|-----|----|

|      |    |
|------|----|
| DES. | \$ |
|------|----|

DRAWING NUMBER

**CITY OF TROY JOB NUMBER 24.xxx.x**  
**NOT FOR CONSTRUCTION**

# C-1.0





S:\PROJECTS\2024\24-0747 BOSE AT PNC CENTER OVERALL SITE PLAN (C-3.0) DALL-24-0747.dwg PLOT DATE: 6/11/2025  
BY: JH/JSW

PEA  
GROUP

t: 844.813.2949  
www.peagroup.com

STATE OF MICHIGAN  
JOHN R. HOUSER  
License No. 6201046876  
PROFESSIONAL ENGINEER

NORTH

0 40 80 160

SCALE: 1" = 80'

811

Know what's below.  
Call before you dig.

CAUTION!!  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

**755 TOWER ASSOCIATES II, LLC**  
39400 WOODWARD AVE, SUITE 250  
BLOOMFIELD HILLS, MICHIGAN 48304

PROJECT TITLE

**BOSE HUB OFFICE & ENGINEERING**  
755 W BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY MI

REVISIONS

|                         |          |
|-------------------------|----------|
| REVISED SITE LAYOUT     | 12.13.24 |
| REVISED SPA SET         | 02.10.25 |
| REVISED SPA SET         | 03.24.25 |
| REVISED CONDO UNIT LINE | 04.15.25 |

ORIGINAL ISSUE DATE:

AUGUST 23, 2024

DRAWING TITLE

**OVERALL SITE PLAN**

PEA JOB NO.

2024-0747

P.M.

JH

DN.

SWS

DES.

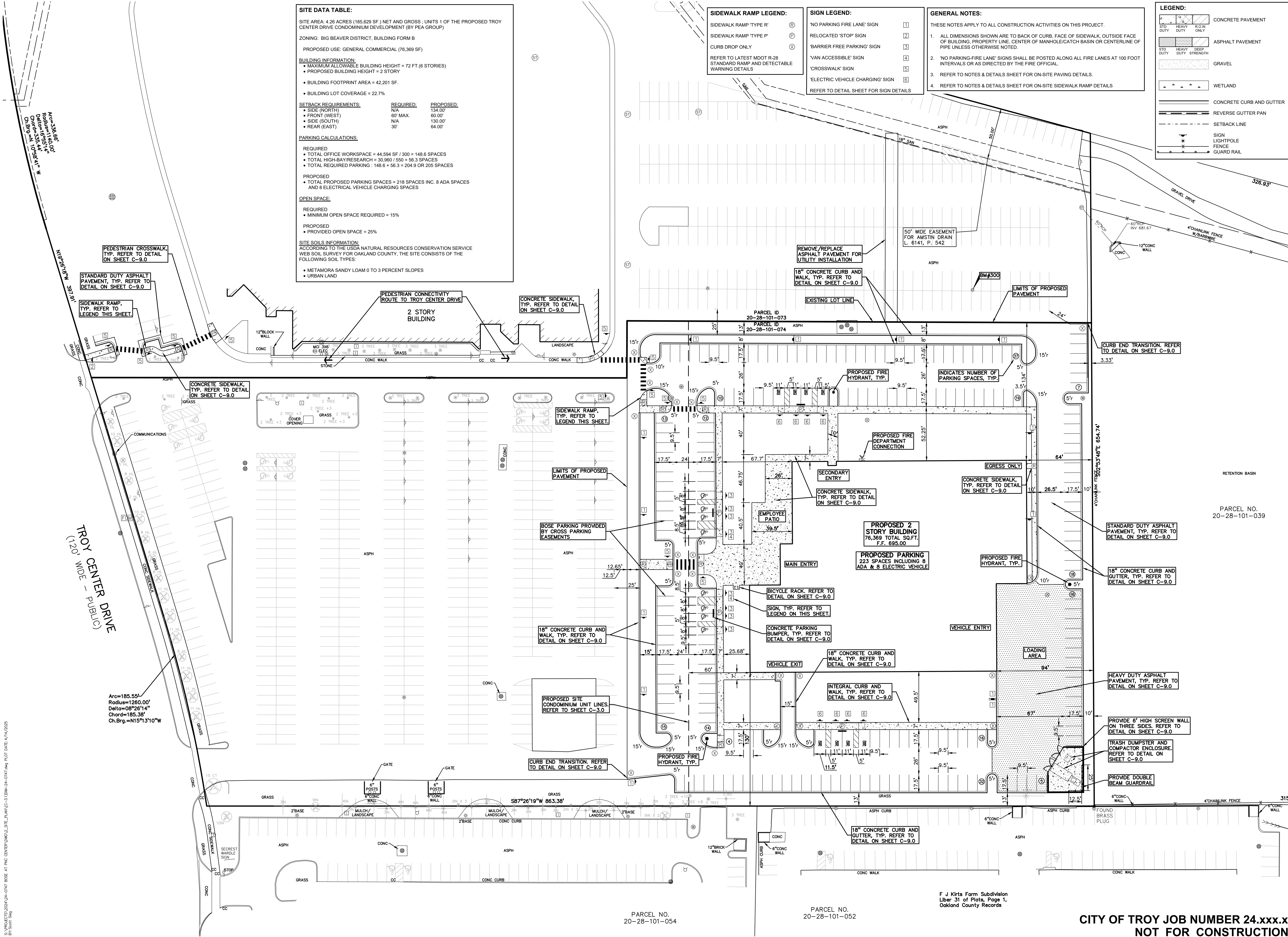
SWS

DRAWING NUMBER:

**C-3.0**

CITY OF TROY JOB NUMBER 24.xxx.x  
NOT FOR CONSTRUCTION





| SITE DATA TABLE:  |           |           |
|---|-----------|-----------|
| SITE AREA: 4.26 ACRES (185,629 SF.) NET AND GROSS: UNITS 1 OF THE PROPOSED TROY CENTER DRIVE CONDOMINIUM DEVELOPMENT (BY PEA GROUP)             |           |           |
| ZONING: BIG BEAVER DISTRICT, BUILDING FORM B  |           |           |
| PROPOSED USE: GENERAL COMMERCIAL (76,369 SF)  |           |           |
| BUILDING INFORMATION:   |           |           |
| • MAXIMUM ALLOWABLE BUILDING HEIGHT = 72 FT. (6 STORIES)  |           |           |
| • PROPOSED BUILDING HEIGHT = 2 STORY  |           |           |
| • BUILDING FOOTPRINT AREA = 42,201 SF.  |           |           |
| • BUILDING LOT COVERAGE = 22.7%   |           |           |
| SETBACK REQUIREMENTS:   |           |           |
| REQUIRED:   | REQUIRED: | PROPOSED: |
| • SIDE (NORTH)  | N/A       | 134.00'   |
| • FRONT (WEST)  | 60' MAX.  | 60.00'    |
| • SIDE (SOUTH)  | N/A       | 130.00'   |
| • REAR (EAST)   | 30'       | 64.00'    |
| PARKING CALCULATIONS:   |           |           |
| REQUIRED  |           |           |
| • TOTAL OFFICE WORKSPACE = 44,594 SF / 300 = 148.6 SPACES   |           |           |
| • TOTAL HIGH-BAY RESEARCH = 30,960 / 550 = 56.3 SPACES  |           |           |
| • TOTAL REQUIRED PARKING: 148.6 + 56.3 = 204.9 OR 205 SPACES  |           |           |
| PROPOSED  |           |           |
| • TOTAL PROPOSED PARKING SPACES = 218 SPACES INC. 8 ADA SPACES AND 8 ELECTRICAL VEHICLE CHARGING SPACES   |           |           |
| OPEN SPACE:   |           |           |
| REQUIRED  |           |           |
| • MINIMUM OPEN SPACE REQUIRED = 15%   |           |           |
| PROPOSED  |           |           |
| • PROVIDED OPEN SPACE = 25%   |           |           |
| SITE SOILS INFORMATION:   |           |           |
| ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES: |           |           |
| • METAMORA SANDY LOAM 0 TO 3 PERCENT SLOPES   |           |           |
| • URBAN LAND  |           |           |

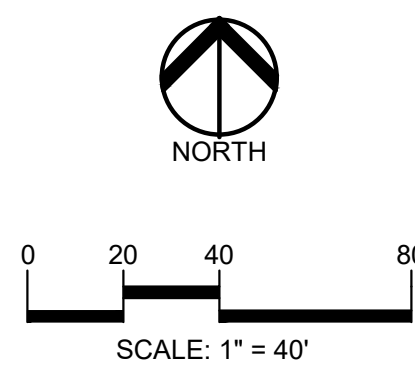
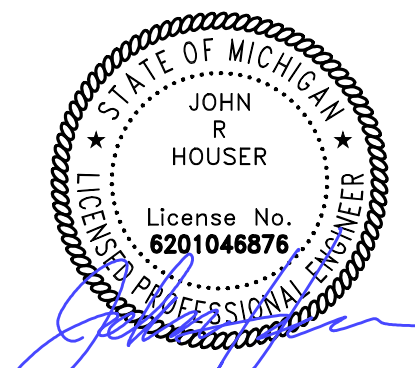
| SIDEWALK RAMP LEGEND:  |   |
|--|---|
| SIDEWALK RAMP 'TYPE R'   | Ⓡ |
| SIDEWALK RAMP 'TYPE P'   | Ⓟ |
| CURB DROP ONLY   | ⓧ |
| REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS |   |

| SIGN LEGEND:                           |   |
|--|---|
| 'NO PARKING FIRE LANE' SIGN            | ① |
| RELOCATED 'STOP' SIGN                  | ② |
| 'BARRIER FREE PARKING' SIGN            | ③ |
| 'VAN ACCESSIBLE' SIGN                  | ④ |
| 'CROSSWALK' SIGN                       | ⑤ |
| 'ELECTRIC VEHICLE CHARGING' SIGN       | ⑥ |
| REFER TO DETAIL SHEET FOR SIGN DETAILS |   |

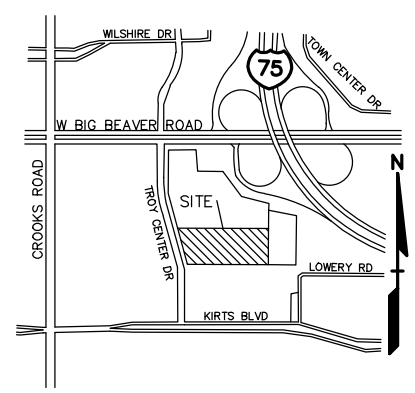
- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  2. 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
  3. REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
  4. REFER TO NOTES & DETAILS SHEET FOR ON-SITE SIDEWALK RAMP DETAILS

| LEGEND: |  |
|---------|--|
|         | CONCRETE PAVEMENT                        |
|         | ASPHALT PAVEMENT                         |
|         | GRAVEL                                   |
|         | WETLAND                                  |
|         | CONCRETE CURB AND GUTTER                 |
|         | REVERSE GUTTER PAN                       |
|         | SETBACK LINE                             |
|         | SIGN<br>LIGHTPOLE<br>FENCE<br>GUARD RAIL |

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



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CLIENT  
**755 TOWER ASSOCIATES II, LLC**  
39400 WOODWARD AVE, SUITE 250  
BLOOMFIELD HILLS, MICHIGAN 48304

PROJECT TITLE  
**BOSE HUB OFFICE & ENGINEERING**  
755 W BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY MI

| REVISIONS               |          |
|-------------------------|----------|
| REVISED SITE LAYOUT     | 12.13.24 |
| REVISED SPA SET         | 02.10.25 |
| REVISED SPA SET         | 03.24.25 |
| REVISED CONDO UNIT LINE | 04.15.25 |

ORIGINAL ISSUE DATE:  
AUGUST 23, 2024

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

|                 |           |
|-----------------|-----------|
| PEA JOB NO.     | 2024-0747 |
| P.M.            | JH        |
| DN.             | SWS       |
| DES.            | SWS       |
| DRAWING NUMBER: |           |

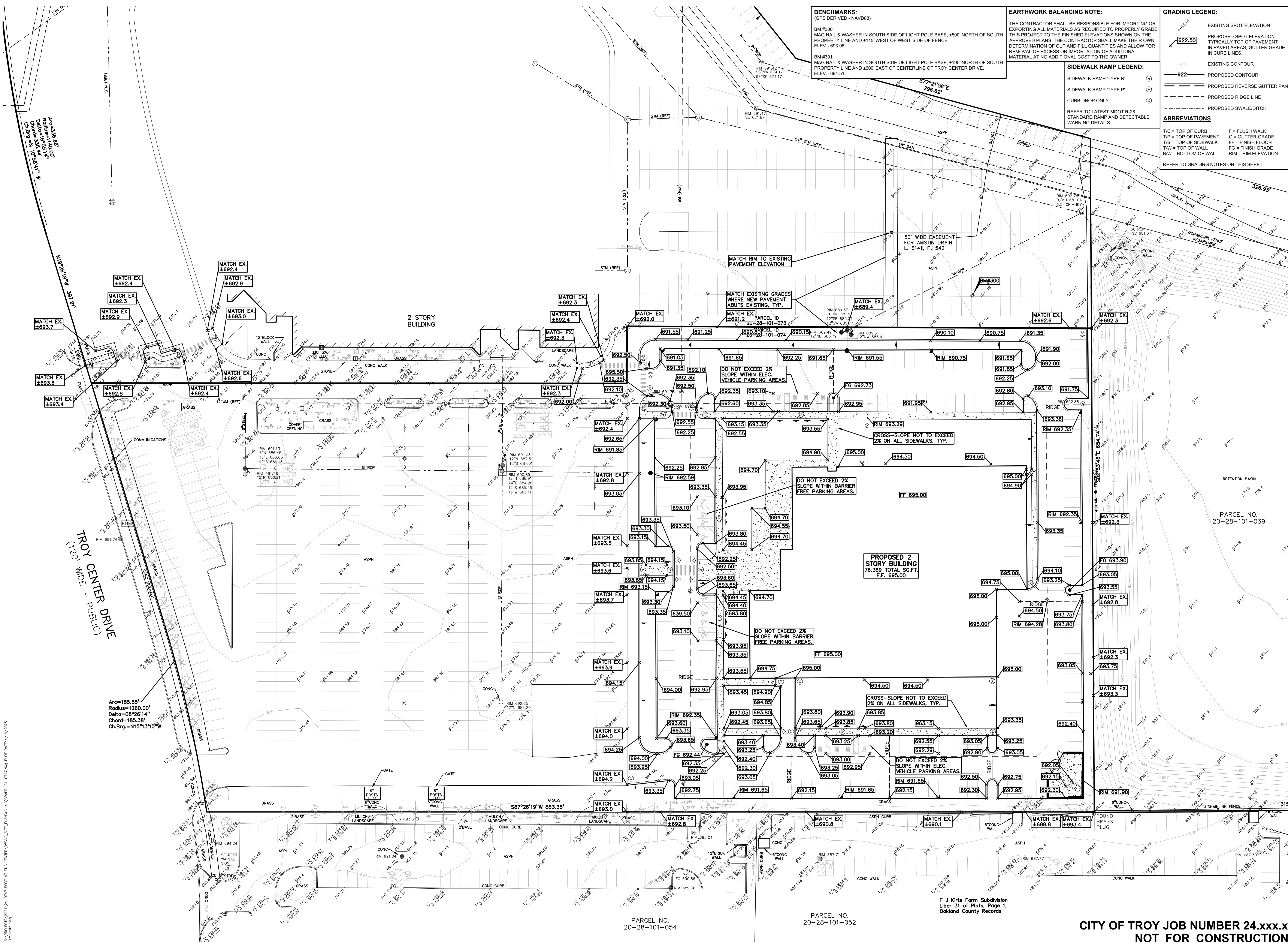
**C-3.1**

**CITY OF TROY JOB NUMBER 24.xxx.x  
NOT FOR CONSTRUCTION**

S:\PROJECTS\2024\24-0747 BOSE AT PNC CENTER\DWG\2 SITE PLAN (C-3)DWG-24-0747.dwg PLOT DATE: 7/14/2025  
BY: JKH

F J Kirts Farm Subdivision  
Liber 31 of Plots, Page 1,  
Oakland County Records





**BENCHMARKS:**  
(GPS DERIVED - NAVD88)

BM #300  
MAG NAIL & WASHER IN SOUTH SIDE OF LIGHT POLE BASE, ±500' NORTH OF SOUTH PROPERTY LINE AND ±115' WEST OF WEST SIDE OF FENCE.  
ELEV - 693.06

BM #301  
MAG NAIL & WASHER IN SOUTH SIDE OF LIGHT POLE BASE, ±195' NORTH OF SOUTH PROPERTY LINE AND ±600' EAST OF CENTERLINE OF TROY CENTER DRIVE.  
ELEV - 694.51

**EARTHWORK BALANCING NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

**SIDEWALK RAMP LEGEND:**

SIDEWALK RAMP TYPE R' (R)  
SIDEWALK RAMP TYPE P' (P)  
CURB DROP ONLY (D)  
REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**GRADING LEGEND:**

EXISTING SPOT ELEVATION  
PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.  
EXISTING CONTOUR  
PROPOSED CONTOUR  
PROPOSED REVERSE GUTTER PAN  
PROPOSED RIDGE LINE  
PROPOSED SWALE/DITCH

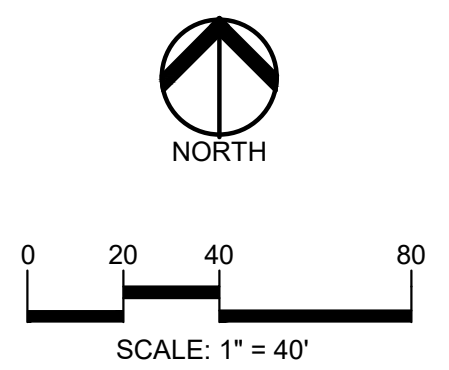
**ABBREVIATIONS**

T/C = TOP OF CURB  
T/P = TOP OF PAVEMENT  
T/S = TOP OF SIDEWALK  
T/W = TOP OF WALL  
B/W = BOTTOM OF WALL  
F = FLUSH WALK  
G = GUTTER GRADE  
FF = FINISH FLOOR  
FG = FINISH GRADE  
RIM = RIM ELEVATION

REFER TO GRADING NOTES ON THIS SHEET

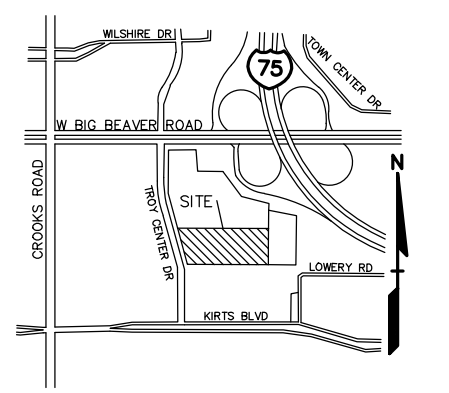
**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com

STATE OF MICHIGAN  
JOHN R. HOUSER  
License No. 6201046876



**811** Know what's below. Call before you dig.

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**CLIENT**  
**755 TOWER ASSOCIATES II, LLC**  
39400 WOODWARD AVE, SUITE 250  
BLOOMFIELD HILLS, MICHIGAN 48304

**PROJECT TITLE**  
**BOSE HUB OFFICE & ENGINEERING**  
755 W BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY MI

| REVISIONS               |          |
|-------------------------|----------|
| REVISED SITE LAYOUT     | 12.13.24 |
| REVISED SPA SET         | 02.10.25 |
| REVISED SPA SET         | 03.24.25 |
| REVISED CONDO UNIT LINE | 04.15.25 |

ORIGINAL ISSUE DATE:  
AUGUST 23, 2024

DRAWING TITLE  
**PRELIMINARY GRADING PLAN**

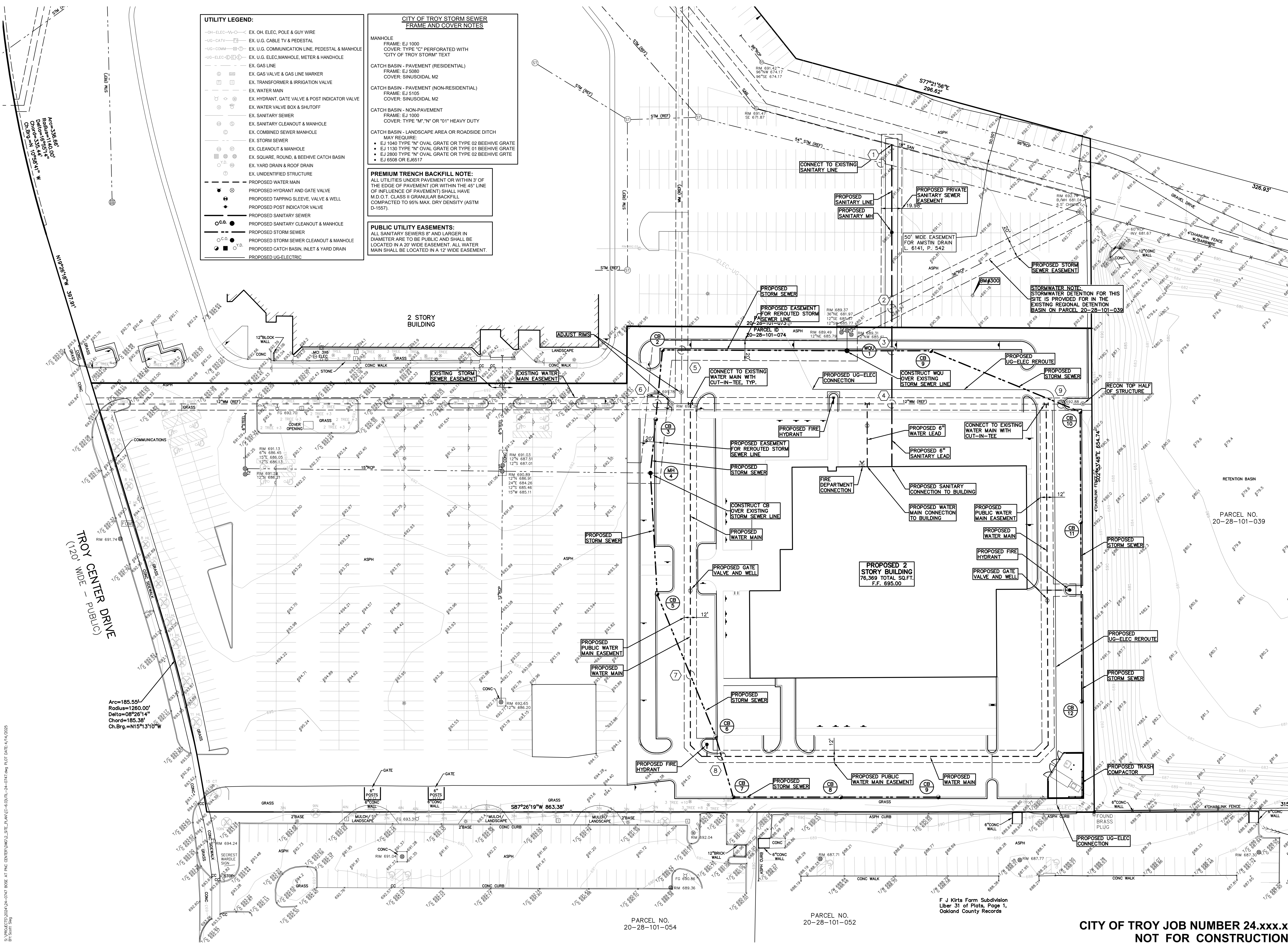
|                 |           |
|-----------------|-----------|
| PEA JOB NO.     | 2024-0747 |
| P.M.            | JH        |
| DN.             | SWS       |
| DES.            | SWS       |
| DRAWING NUMBER: |           |

**CITY OF TROY JOB NUMBER 24.xxx.x**  
**NOT FOR CONSTRUCTION**

**C-4.0**

S:\PROJECTS\2024\24-0747 BOSE AT PNC CENTER\DWG\SITE\_PLAN\C-4.0\GRADE-24-0747.dwg PLOT DATE: 4/11/2025  
01:20:01 PM





PEA GROUP

t: 844.813.2949

www.peagroup.com

STATE OF MICHIGAN

JOHN R. HOUSER

License No. 6201046876

NORTH

0 20 40 80

SCALE: 1" = 40'

811

Know what's below.

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CLIENT

755 TOWER ASSOCIATES II, LLC

39400 WOODWARD AVE, SUITE 250

BLOOMFIELD HILLS, MICHIGAN 48304

PROJECT TITLE

BOSE HUB OFFICE & ENGINEERING

755 W BIG BEAVER ROAD

CITY OF TROY, OAKLAND COUNTY MI

REVISIONS

REVISED SITE LAYOUT 12.13.24

REVISED SPA SET 02.10.25

REVISED SPA SET 03.24.25

REVISED CONDO UNIT LINE 04.15.25

ORIGINAL ISSUE DATE:

AUGUST 23, 2024

DRAWING TITLE

PRELIMINARY UTILITY PLAN

PEA JOB NO. 2024-0747

P.M. JH

DN. SWS

DES. SWS

DRAWING NUMBER:

C-6.0

CITY OF TROY JOB NUMBER 24.xxx.x

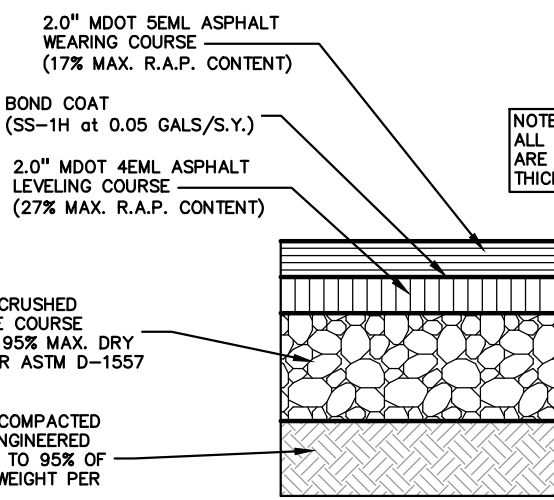
NOT FOR CONSTRUCTION

S:\PROJECTS\2024\24-0747 BOSE AT PNC CENTER\DWG\UTL\_SITE\_PLAN(C-6.0)UTL-24-0747.dwg PLOT DATE: 4/1/2025  
01:20:01 PM



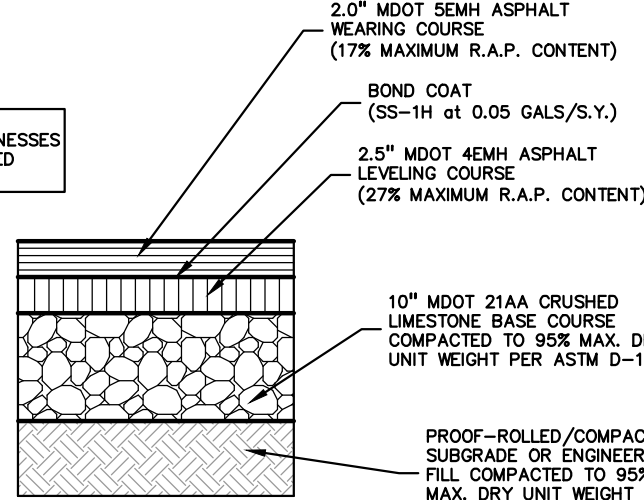
AGGREGATE BASE NOTE:  
THIS PAVEMENT SECTION DESIGN ASSUMES THE USE OF MDOT 21AA CRUSHED LESTONE BASE MATERIAL THAT MEETS THE REQUIREMENTS OF MDOT STANDARD SPECIFICATION SECTION 902 FOR AGGREGATES. IF CRUSHED CONCRETE AGGREGATE BASE IS PROPOSED IN LIEU OF THE SPECIFIED CRUSHED LESTONE MATERIAL, PEA GROUP WILL REQUIRE A MINIMUM 25% INCREASE IN BASE THICKNESS. HOWEVER, IF TESTING DOCUMENTATION IS PROVIDED TO PEA GROUP THAT SHOWS THAT THE CRUSHED CONCRETE MATERIAL MEETS ALL REQUIREMENTS OF MDOT SPECIFICATION SECTION 902, THEN THE 25% INCREASE IN THICKNESS MAY BE REEVALUATED.

ASPHALT MATERIAL NOTES:  
HOT-MIX ASPHALT MIXTURES UTILIZING RECYCLED ASPHALT PAVEMENT (RAP) MUST MEET MDOT SPECIAL PROVISION 123P(01)(C). THE BINDER GRADE FOR THIS WORK IS PG64-28. IF ASPHALT MIXES CONTAINING RAP ARE TO BE SUPPLIED FOR THIS PROJECT, THE ASPHALT BINDER MUST BE REVISED PER MDOT TIER 1 OR TIER 2 REQUIREMENTS (RAP CONTENT UP TO 27% MAXIMUM). TIER 3 MIXES ARE NOT ACCEPTABLE ON THIS PROJECT. AN ASPHALT MIX DESIGN FOR ALL SPECIFIED MIXES SHOULD BE FORWARDED TO PEA GROUP FOR REVIEW PRIOR TO CONSTRUCTION.



STANDARD DUTY ASPHALT DETAIL  
(NOT FOR USE IN THE RIGHT-OF-WAY)

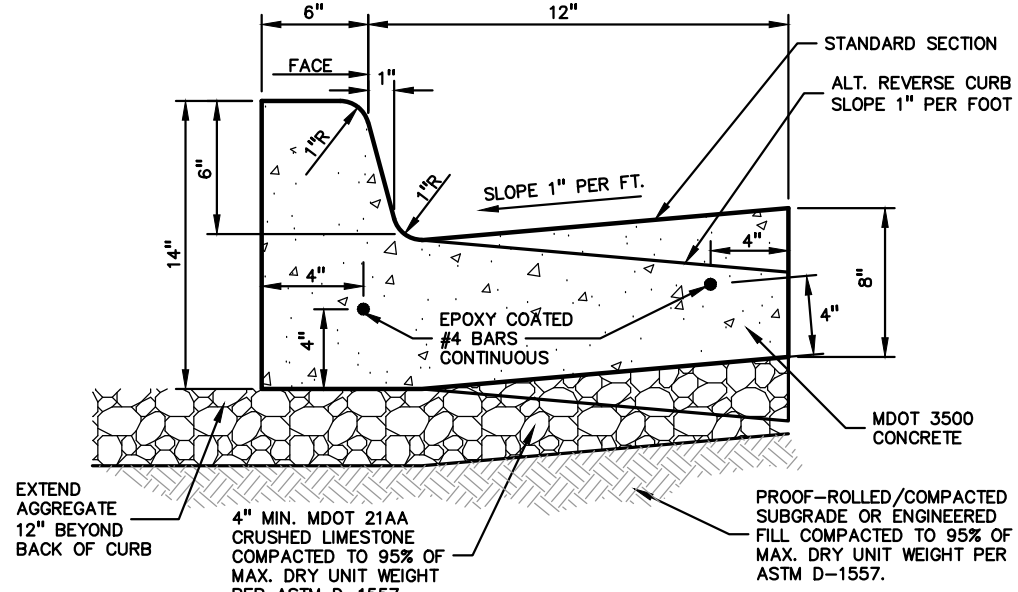
NOTE:  
ALL SPECIFIED THICKNESSES ARE FINAL COMPACTED THICKNESSES, TYP.



HEAVY DUTY ASPHALT DETAIL  
(NOT FOR USE IN THE RIGHT-OF-WAY)

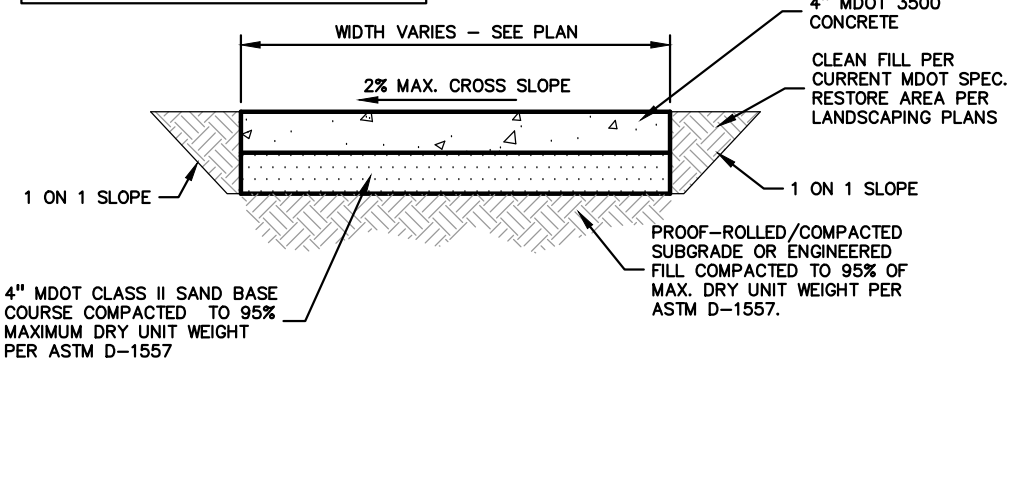
NOTE:  
ALTERNATE REVERSE CURB SECTION TO BE USED ONLY WHEN DRAINING AWAY FROM CURB. SEE PLAN FOR LOCATION.

NOTE:  
PROVIDE CONTROL JOINTS IN CURB AT 10' O.C. PROVIDE EXPANSION JOINT AND JOINT SEALANT AT END OF RADIUS RETURNING PER MDOT AND AASHTO STANDARDS. PROVIDE EXPANSION JOINTS AND JOINT SEALANT WHERE CURBS ABUT STRUCTURES.

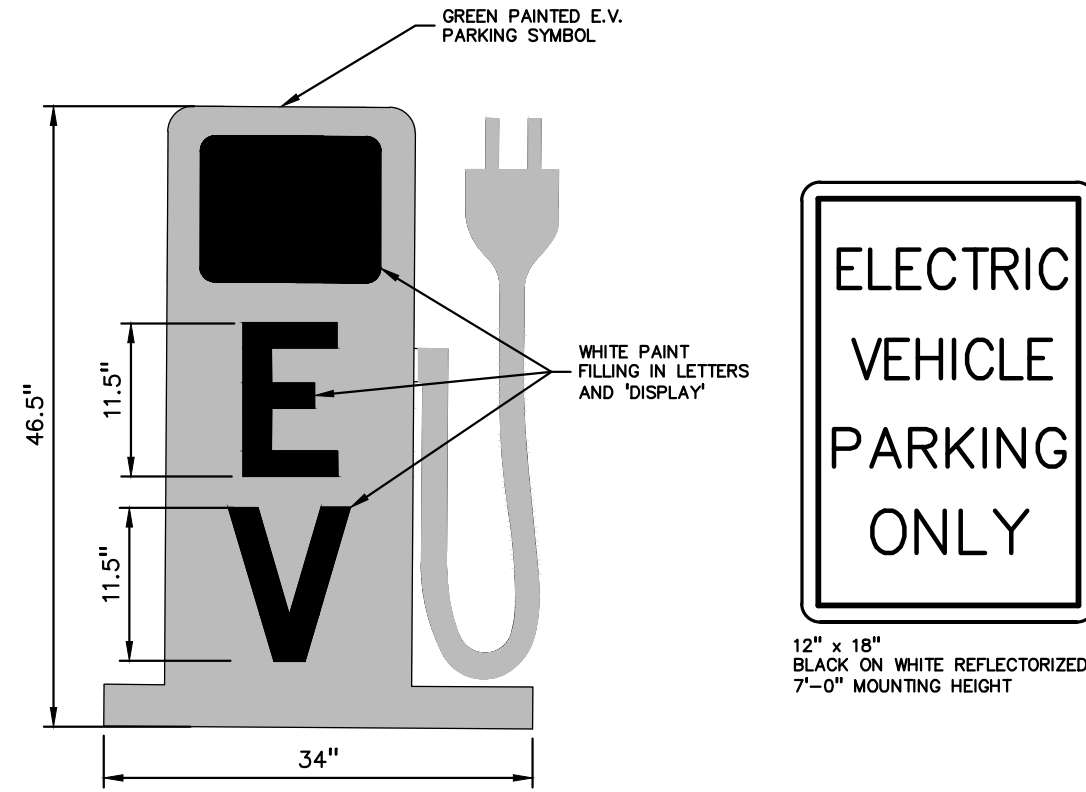


18"x6" STANDARD CONCRETE CURB AND GUTTER  
(NOT TO SCALE)

NOTE:  
CROSS-SLOPE OF SIDEWALK MUST NOT EXCEED 2.0% EXCEPT IN TRANSITION AREA MATCHING INTO EXISTING SIDEWALK.

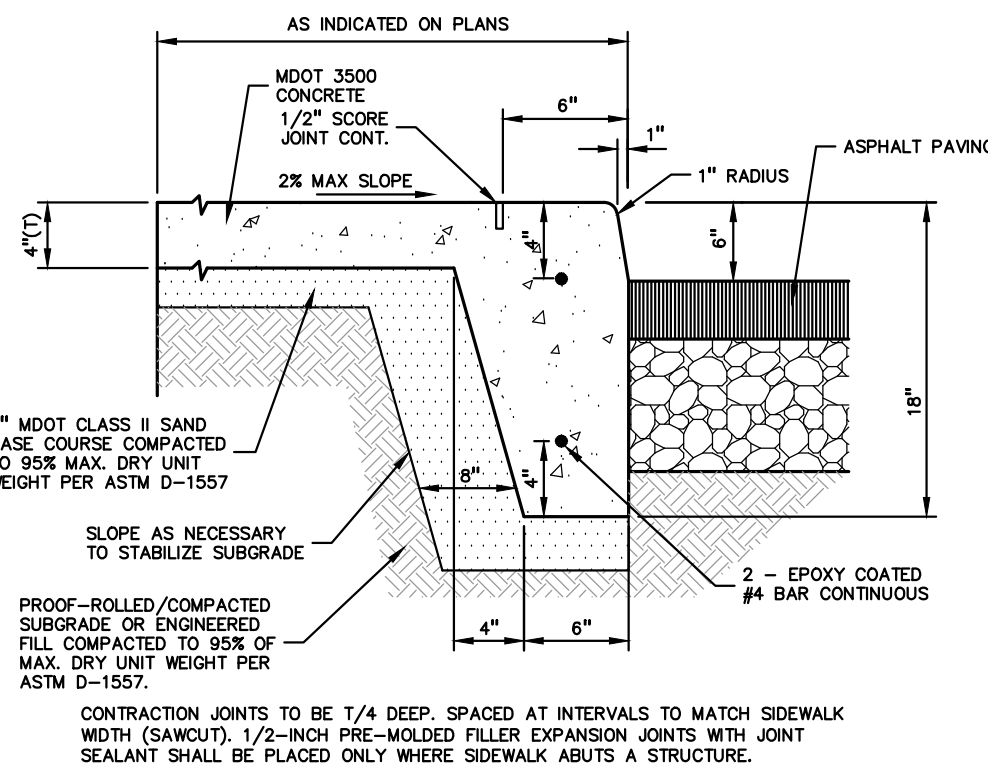


CONCRETE SIDEWALK  
(NOT TO SCALE)

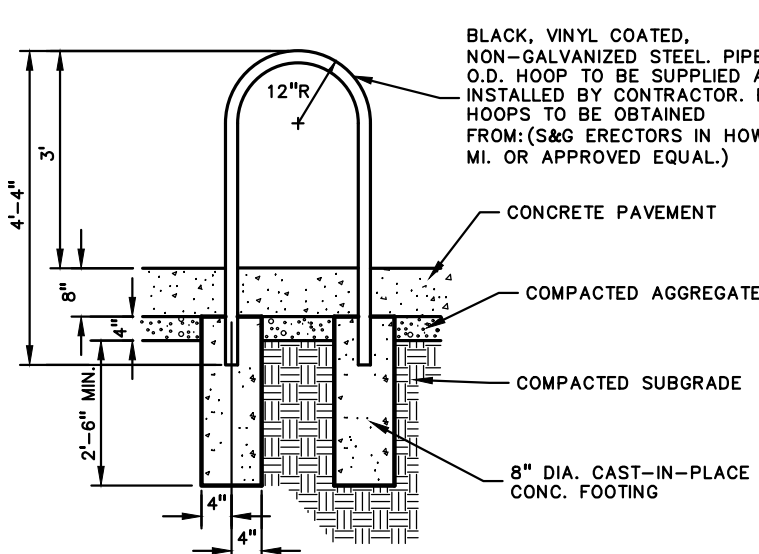


EV PARKING SYMBOL  
(NOT TO SCALE)

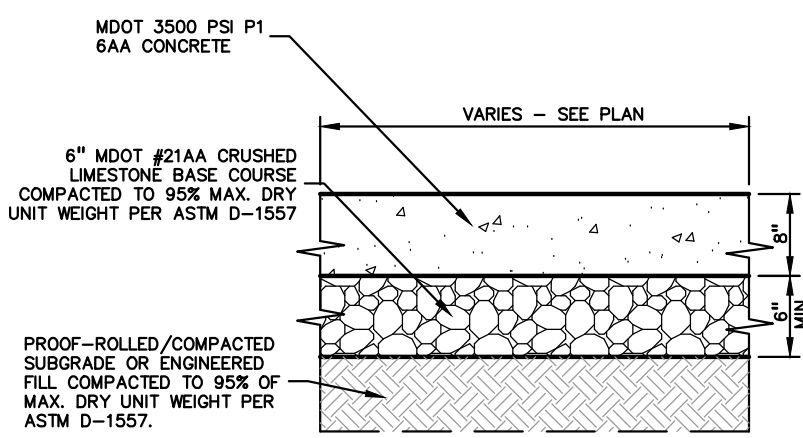
ELECTRIC VEHICLE PARKING SIGN DETAIL  
(NOT TO SCALE)



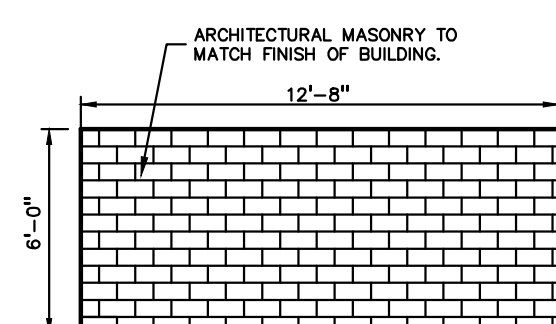
INTEGRAL CURB AND SIDEWALK  
(NOT TO SCALE)



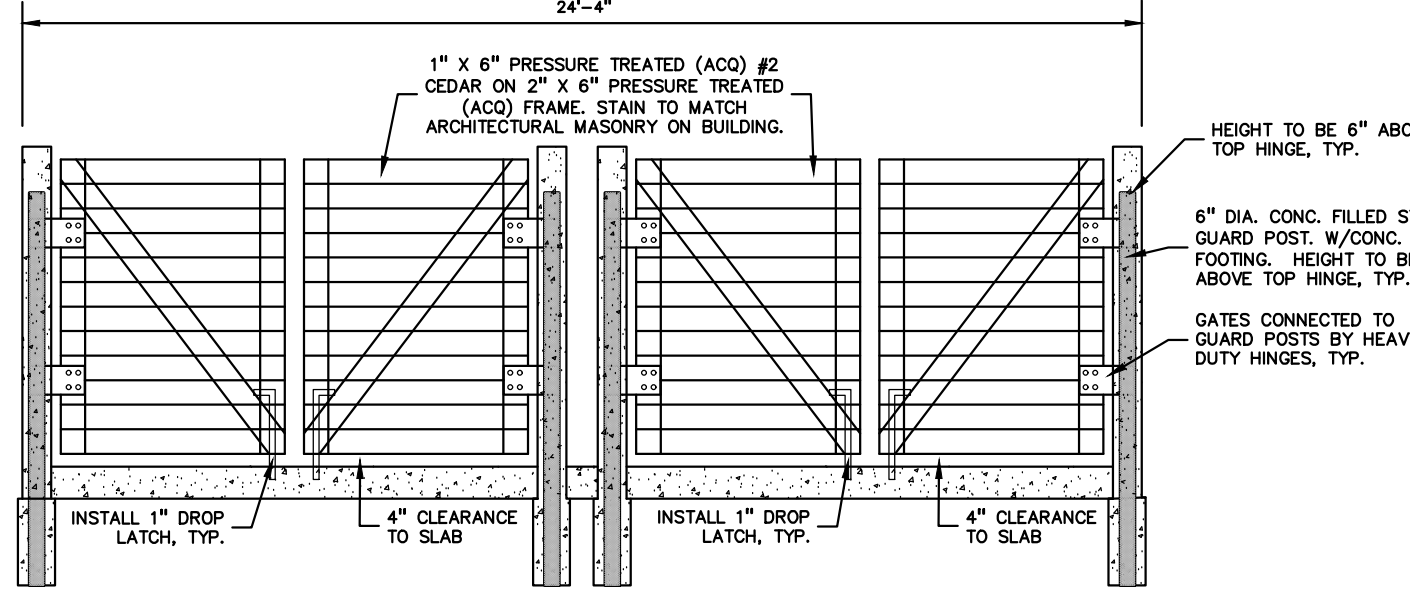
BIKE HOOP DETAIL  
(NOT TO SCALE)



HEAVY DUTY CONCRETE PAD DETAIL  
(NOT TO SCALE)



SIDE ELEVATION  
(NOT TO SCALE)



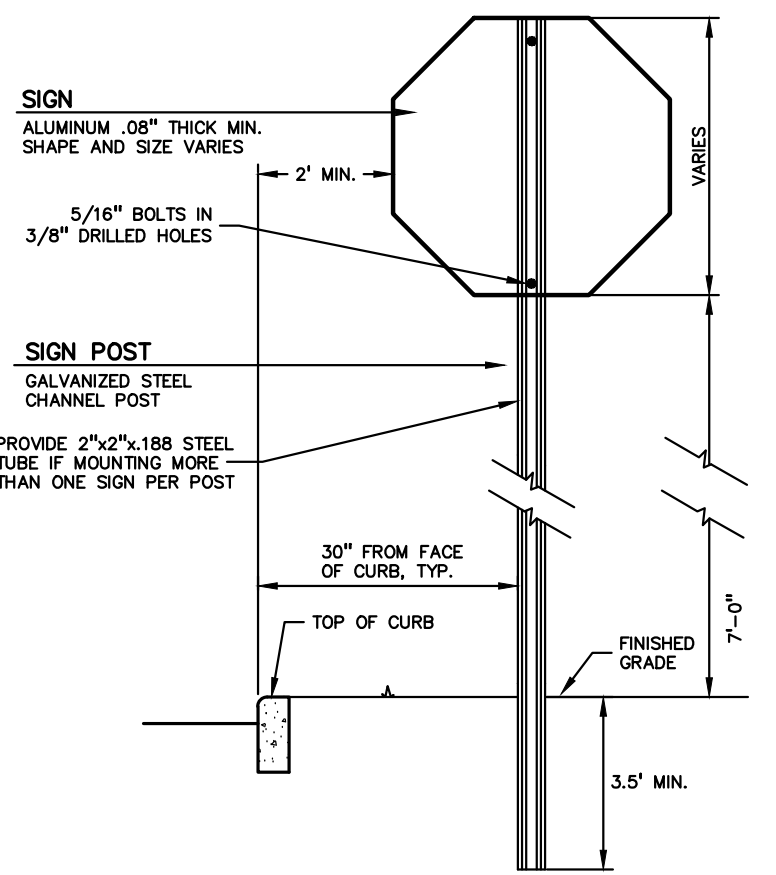
FRONT ELEVATION  
(NOT TO SCALE)



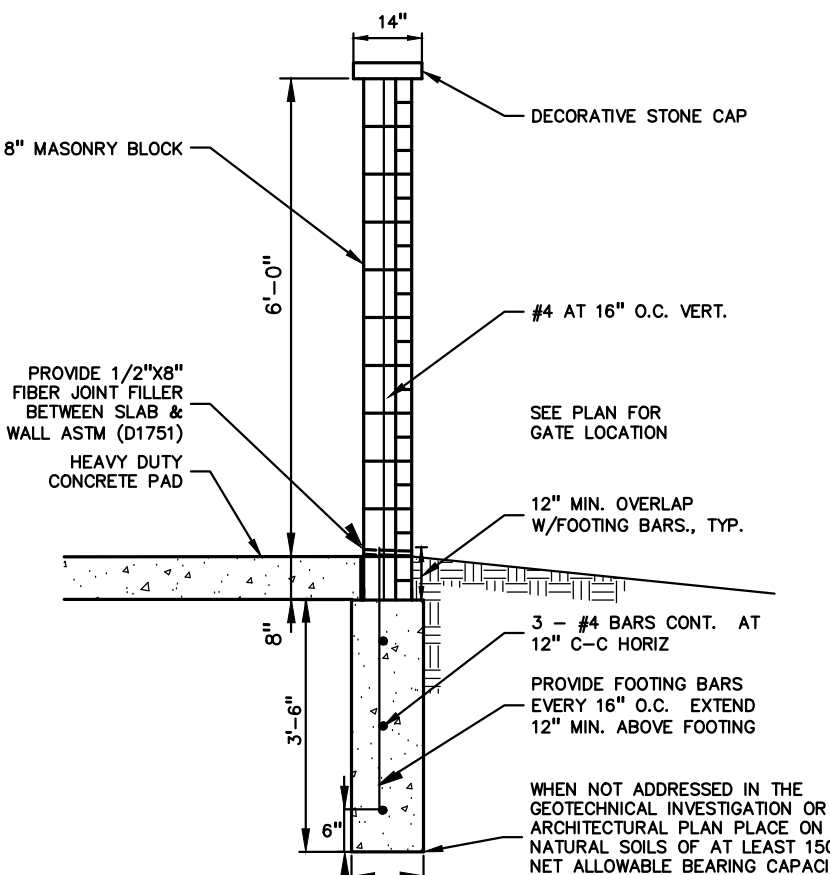
CROSSWALK SIGN DETAIL  
(NOT TO SCALE)



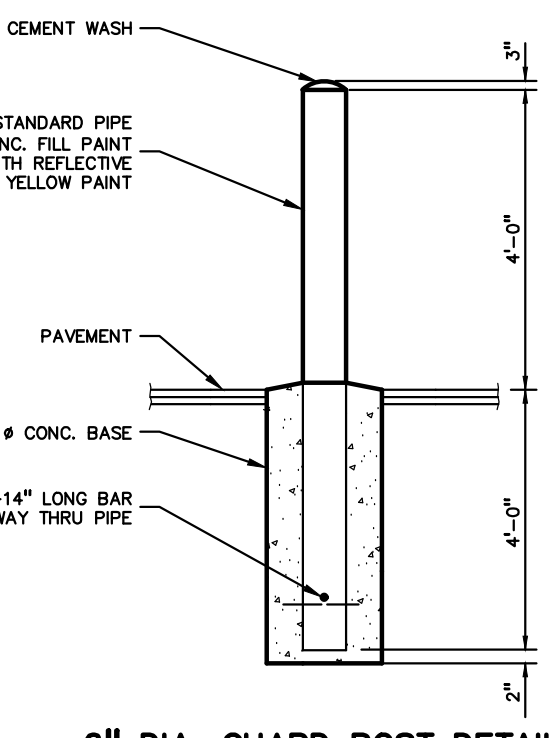
ADA & VAN ACCESSIBLE PARKING SIGN DETAIL  
(NOT TO SCALE)



SIGN AND POST INSTALLATION IN LANDSCAPED AREAS  
(NOT TO SCALE)

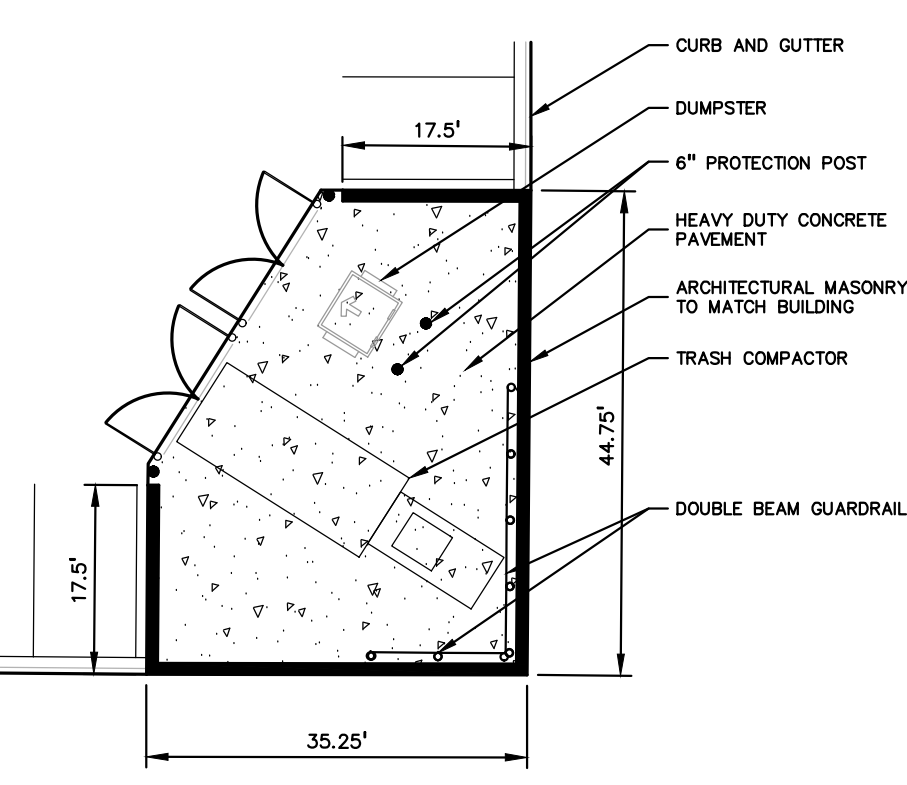


DUMPSTER ENCLOSURE WALL CROSS SECTION  
(NOT TO SCALE)

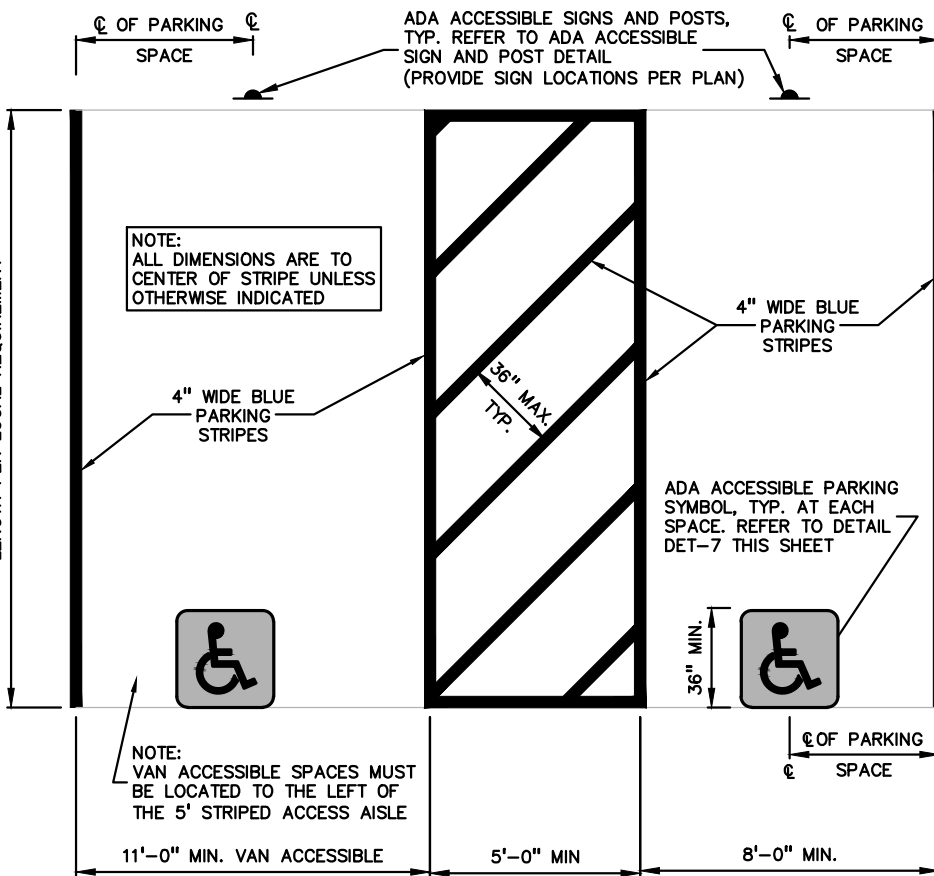


6" DIA. GUARD POST DETAIL  
(NOT TO SCALE)

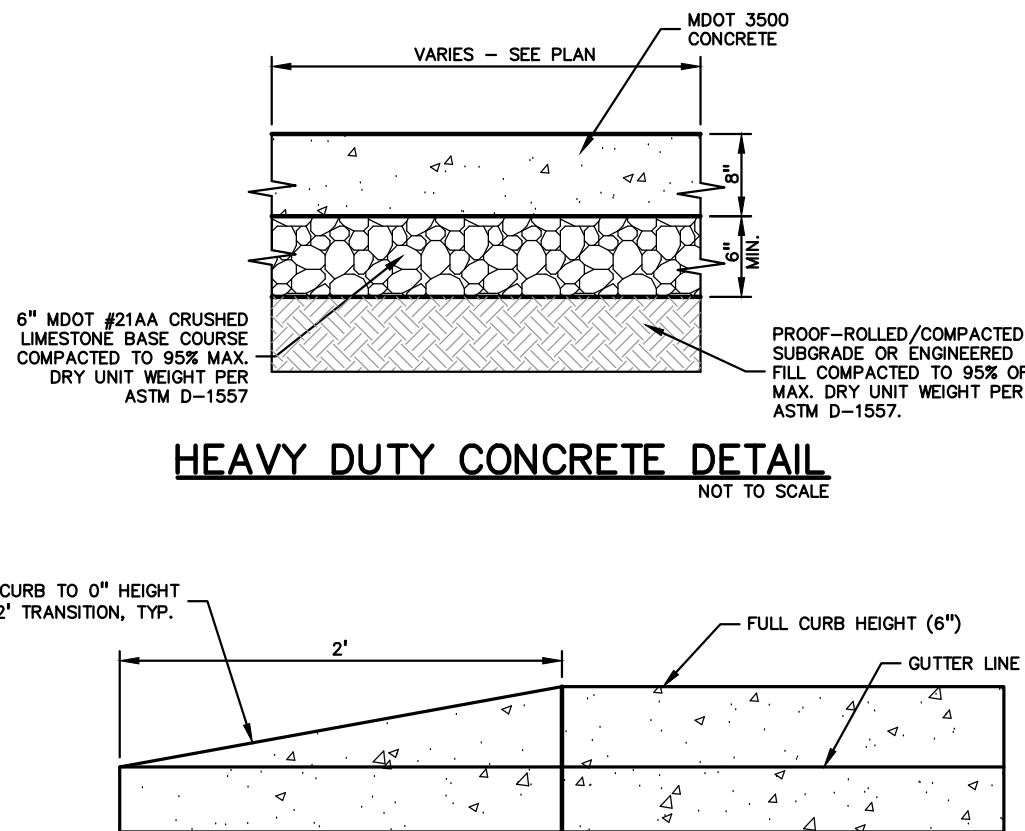
DOUBLE TRASH ENCLOSURE DETAILS  
(NOT TO SCALE)



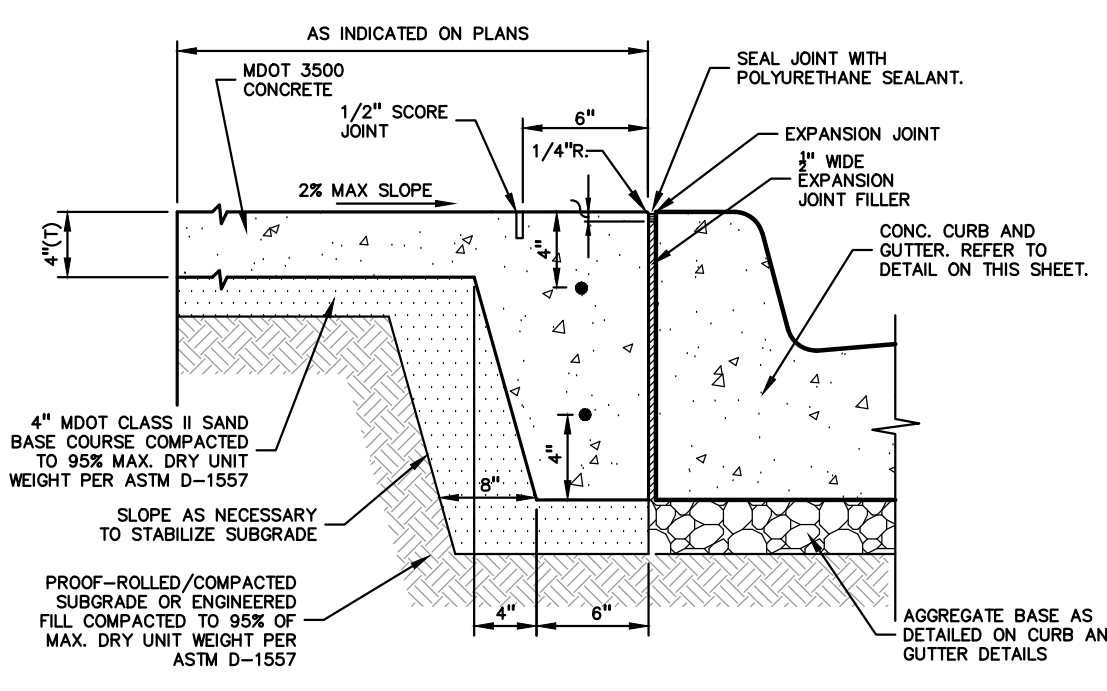
TRASH COMPACTOR/DUMPSTER PLAN  
(NOT TO SCALE)



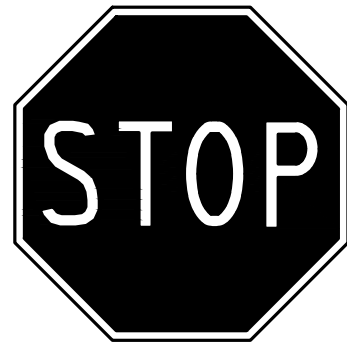
UNIVERSAL ADA ACCESSIBLE PARKING STALL DETAIL  
(NOT TO SCALE)



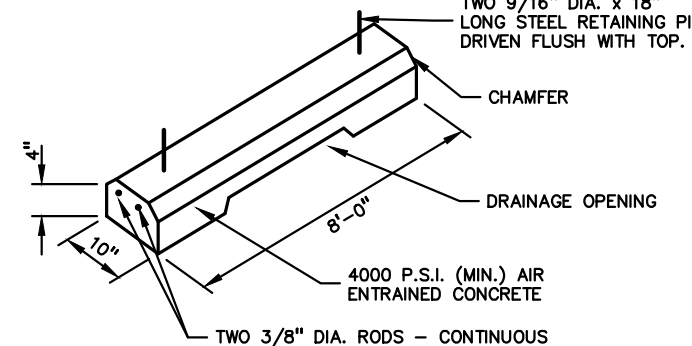
HEAVY DUTY CONCRETE DETAIL  
(NOT TO SCALE)



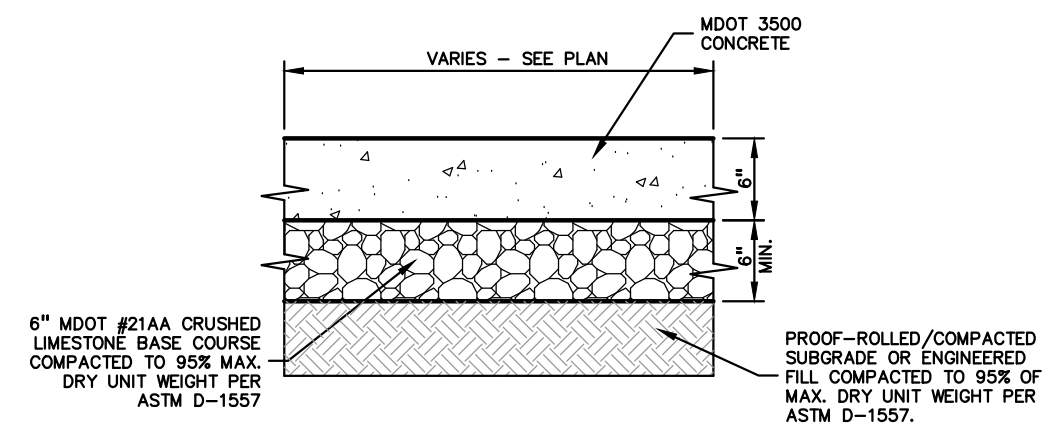
CONCRETE CURB AND GUTTER WITH SIDEWALK  
(NOT TO SCALE)



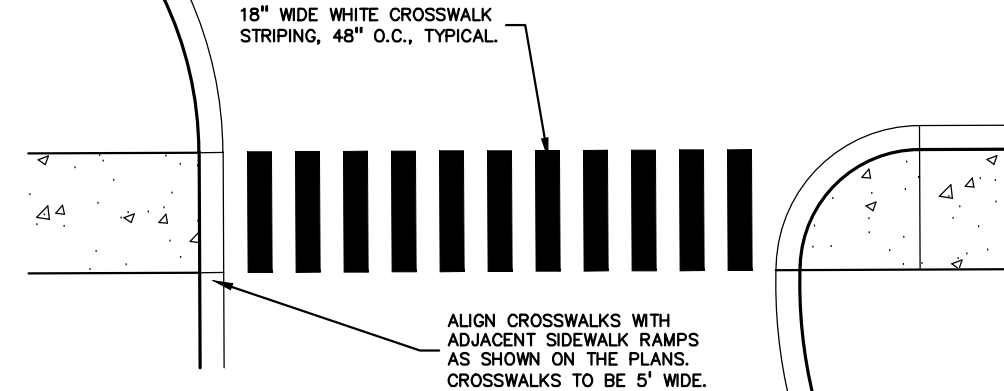
STOP SIGN DETAIL  
(NOT TO SCALE)



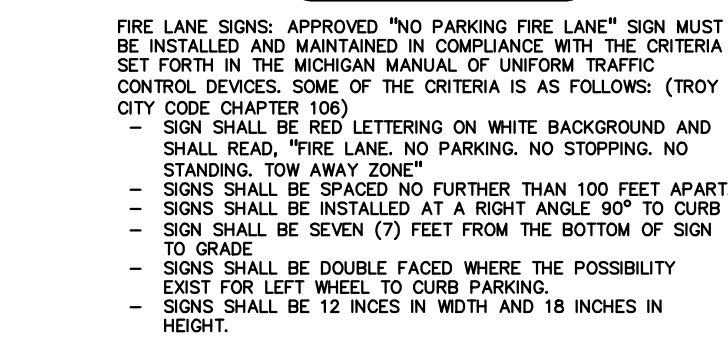
CONCRETE PARKING BUMPER AT ADA AND EV ACCESSIBLE SPACES  
(NOT TO SCALE)



STANDARD DUTY CONCRETE DETAIL  
(NOT TO SCALE)



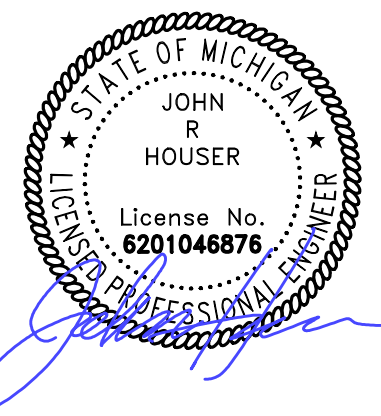
STRIPED CROSSWALK DETAIL  
(NOT TO SCALE)



CITY OF TROY FIRE LANE SIGN DETAIL  
(NOT TO SCALE)

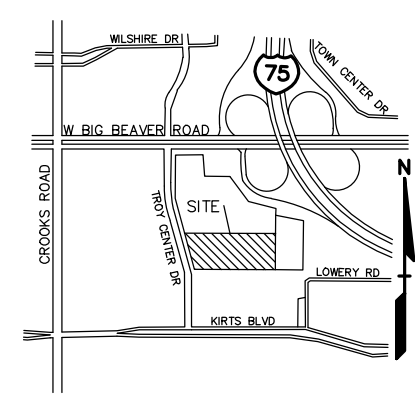
CITY OF TROY JOB NUMBER 24.xxx.x  
NOT FOR CONSTRUCTION

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www.peagroup.com



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CLIENT  
**755 TOWER ASSOCIATES II, LLC**  
39400 WOODWARD AVE, SUITE 250  
BLOOMFIELD HILLS, MICHIGAN 48304

PROJECT TITLE  
**BOSE HUB OFFICE & ENGINEERING**  
755 W BIG BEAVER ROAD  
CITY OF TROY, OKLAND COUNTY MI

| REVISIONS               |          |
|-------------------------|----------|
| REVISED SITE LAYOUT     | 12.13.24 |
| REVISED SPA SET         | 02.10.25 |
| REVISED SPA SET         | 03.24.25 |
| REVISED CONDO UNIT LINE | 04.15.25 |

ORIGINAL ISSUE DATE:  
AUGUST 23, 2024

DRAWING TITLE

**NOTES AND DETAILS**

|                 |           |
|-----------------|-----------|
| PEA JOB NO.     | 2024-0747 |
| P.M.            | JH        |
| DN.             | SWS       |
| DES.            | SWS       |
| DRAWING NUMBER: |           |

C-9.0



## PLANT SCHEDULE

| CODE                   | QTY | BOTANICAL NAME                          | COMMON NAME                    | SIZE      | CONTAINER | SPACING  | DESIGNATION | REMARKS   |
|------------------------|-----|---|--------------------------------|-----------|-----------|----------|-------------|-----------|
| <b>DECIDUOUS TREES</b> |     |   |                                |           |           |          |             |           |
| ASL2.5                 | 2   | ACER SACCHARUM 'LEGACY'                 | LEGACY SUGAR MAPLE             | 2.5" CAL. | B&B       | PER PLAN | NATIVE      | THORNLESS |
| GTS2.5                 | 7   | GLEDITSIA TRIACANTHOS INERMIS 'SUNCOLE' | SUNBURST HONEY LOCUST          | 2.5" CAL. | B&B       | PER PLAN | NATIVE      |           |
| NS2.5                  | 6   | NYSSA SYLVATICA                         | TUPELO                         | 2.5" CAL. | B&B       | PER PLAN | NATIVE      |           |
| QA2.5                  | 2   | QUERCUS ALBA                            | WHITE OAK                      | 2.5" CAL. | B&B       | PER PLAN | NATIVE      |           |
| SR2.5                  | 6   | SYRINGA RETICULATA 'IVORY SILK'         | IVORY SILK JAPANESE TREE LILAC | 2.5" CAL. | B&B       | PER PLAN | NON-NATIVE  |           |
| TA2.5                  | 10  | TILIA AMERICANA 'AMERICAN SENTRY'       | AMERICAN SENTRY LINDEN         | 2.5" CAL. | B&B       | PER PLAN | NATIVE      |           |
|                        | 33  | SUBTOTAL:                               |                                |           |           |          |             |           |

## LANDSCAPE CALCULATIONS:

PER CITY OF TROY ZONING ORDINANCE; BB-BIG BEAVER DISTRICT; USE, OFFICE

## PARKING LOT LANDSCAPING:

REQUIRED: 1 TREE / 8 PARKING SPACES AND MINIMUM 200 SF PARKING ISLAND WITH TREES INSIDE ISLAND.  
223 NEW SURFACE PARKING SPACES W/IN LIMITS OF CONST./ 8 = 28 TREES

PROVIDED: 33 PROPOSED TREES

## GENERAL SITE LANDSCAPE:

REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL( SECTION 13.02 E)

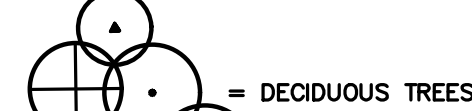
SITE AREA: 4.26 ACRES (185,629 SF.) NET AND GROSS  
20 % = 37,126 SF.

PROVIDED 46,348 SQ. FT. OF SOFT-SCAPE (LAWN & PLANT BEDS) (25% SOFT-SCAPE PROVIDED)

## NOTE:

GROUND UTILITY SCREENING:  
IF PRESENT ON SITE, SEE DETAIL SHEET L-1.1 FOR TYPICAL SCREENING METHOD.

## KEY



= DECIDUOUS TREES



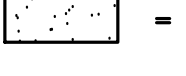
= EXISTING TREES TO REMAIN



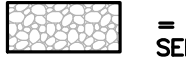
= TREE PROTECTION FENCING



= IRRIGATED SEED



= RESTORE WITH SEED LAWN



= ROCK OVER WEED FABRIC  
SEE SHEET L-1.1 FOR DETAIL

**PEA**  
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t: 844.813.2949  
www.peagroup.com



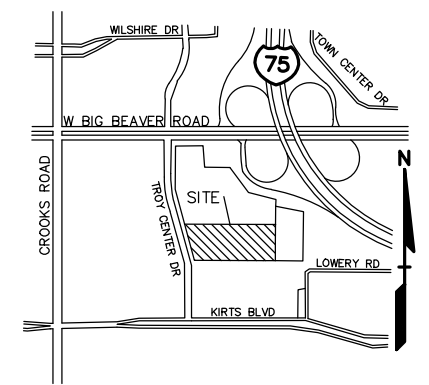
NORTH

0 20 40 80

SCALE: 1" = 40'



**CAUTION!!**  
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## CLIENT

**755 TOWER**  
**ASSOCIATES II, LLC**

39400 WOODWARD AVE, SUITE 250  
BLOOMFIELD HILLS, MICHIGAN 48304

## PROJECT TITLE

**BOSE HUB**  
**OFFICE & ENGINEERING**

755 W BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY MI

## REVISIONS

|                         |          |
|-------------------------|----------|
| REVISED SITE LAYOUT     | 12.13.24 |
| REVISED SPA SET         | 02.10.25 |
| REVISED SPA SET         | 03.24.25 |
| REVISED CONDO UNIT LINE | 04.15.25 |

ORIGINAL ISSUE DATE:  
AUGUST 23, 2024

## DRAWING TITLE

**PRELIMINARY**  
**LANDSCAPE**  
**PLAN**

PEA JOB NO. 2024-0747

P.M. JH

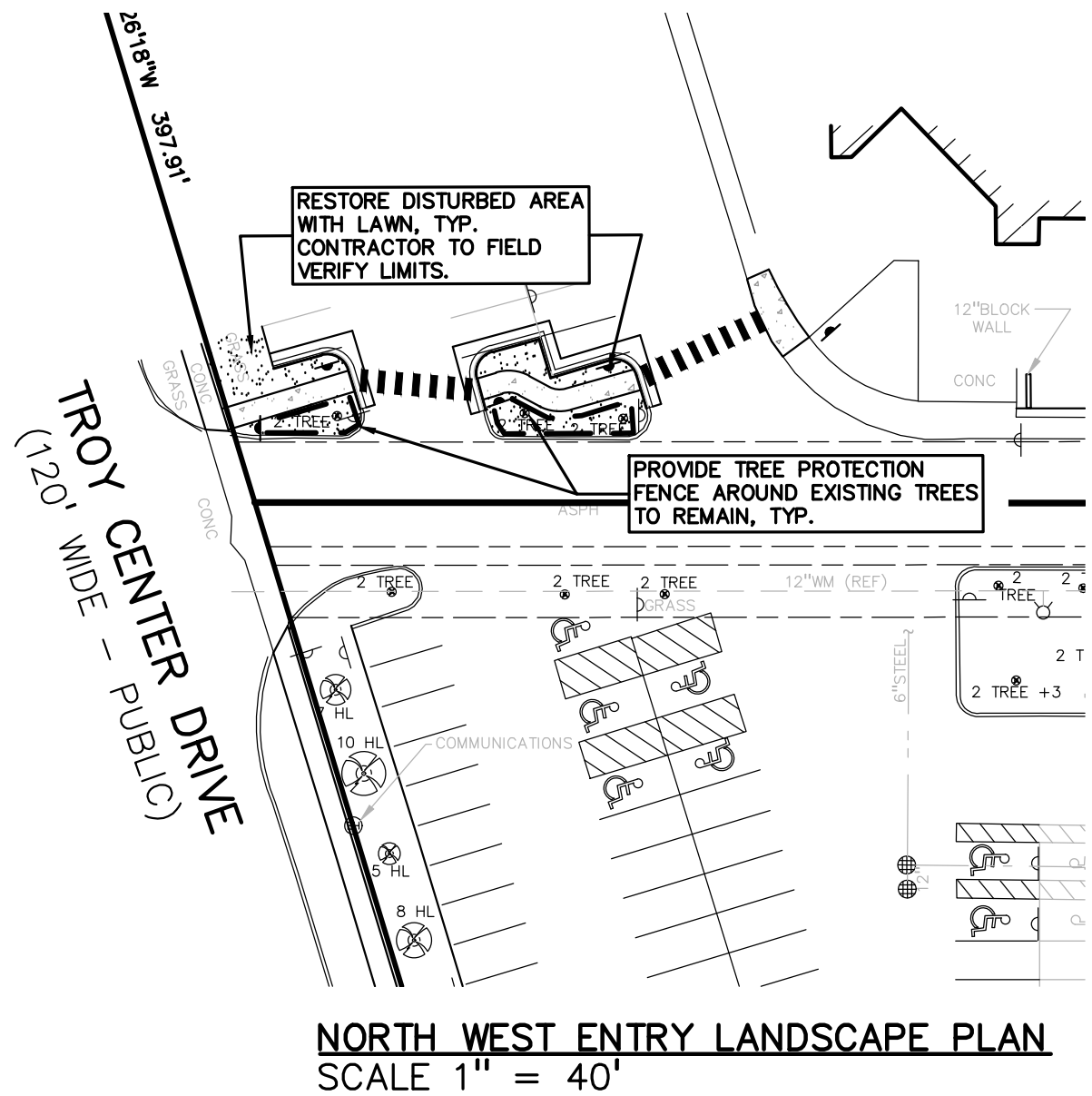
DN. CAL

DES. JLE

DRAWING NUMBER:

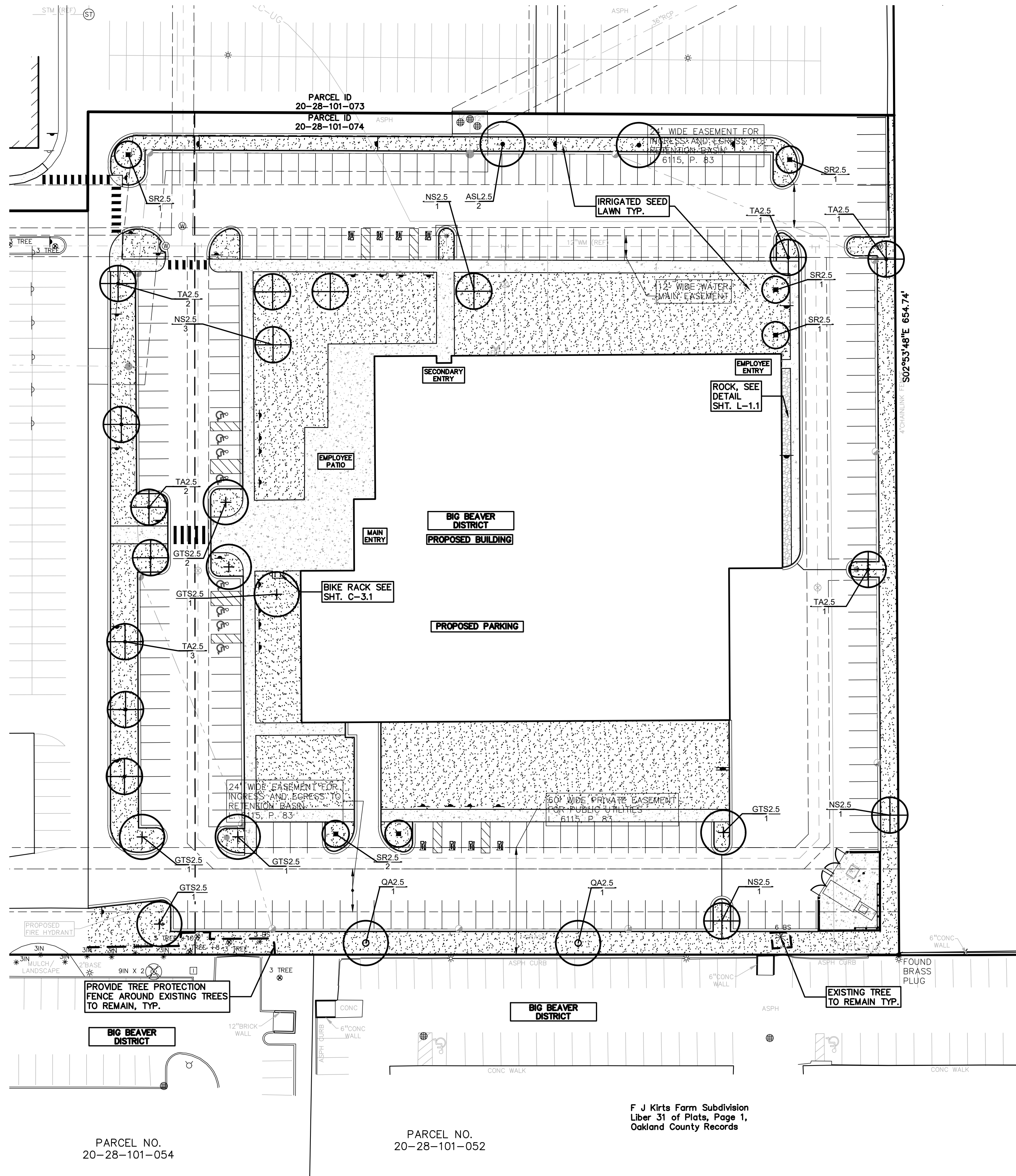
**L-1.0**

**CITY OF TROY JOB NUMBER 24.xxx.x**  
**NOT FOR CONSTRUCTION**



## NORTH WEST ENTRY LANDSCAPE PLAN

SCALE 1" = 40'



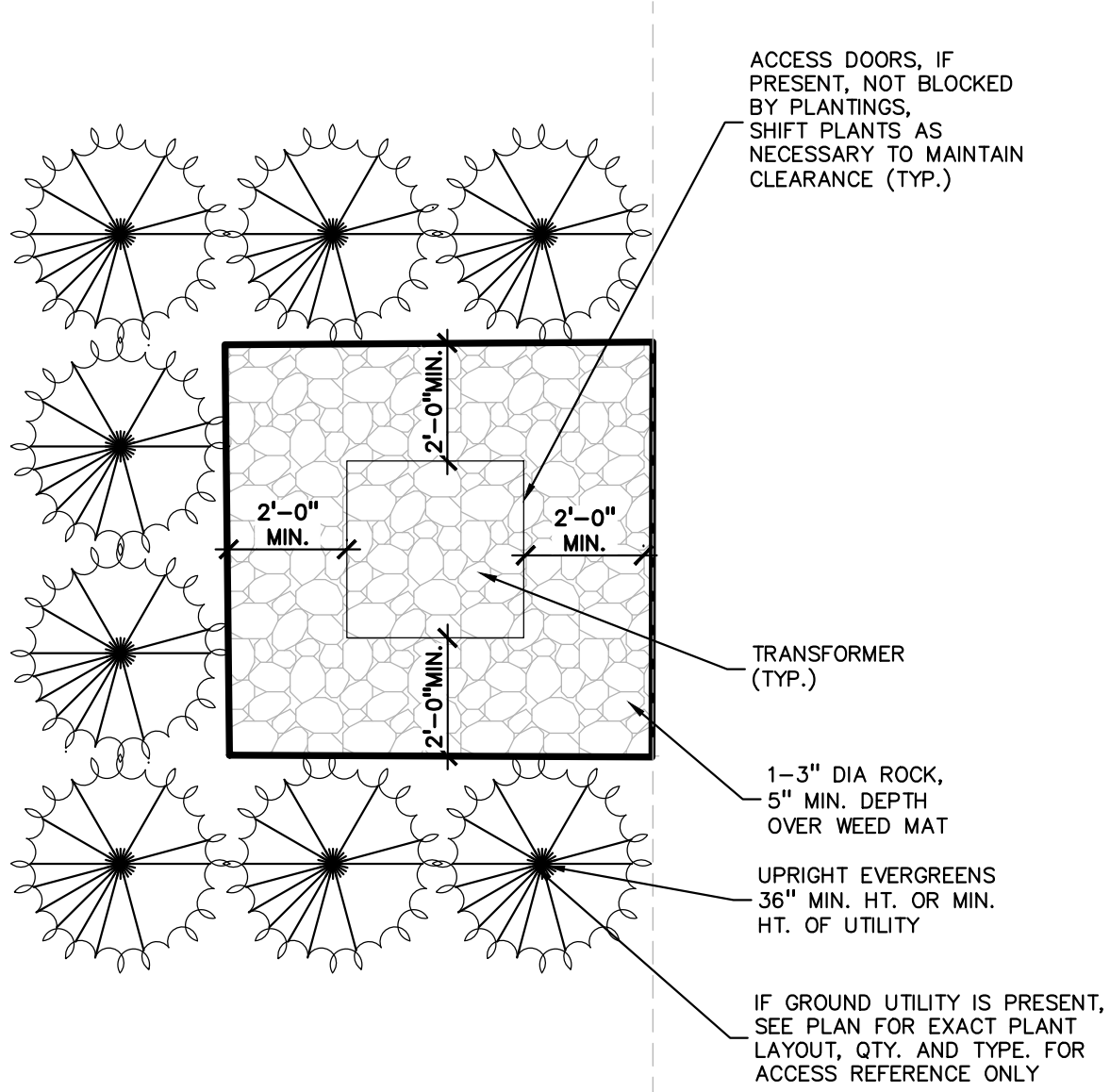
F J Kirta Farm Subdivision  
Liber 31 of Plats, Page 1,  
Oakland County Records

PARCEL NO.  
20-28-101-054

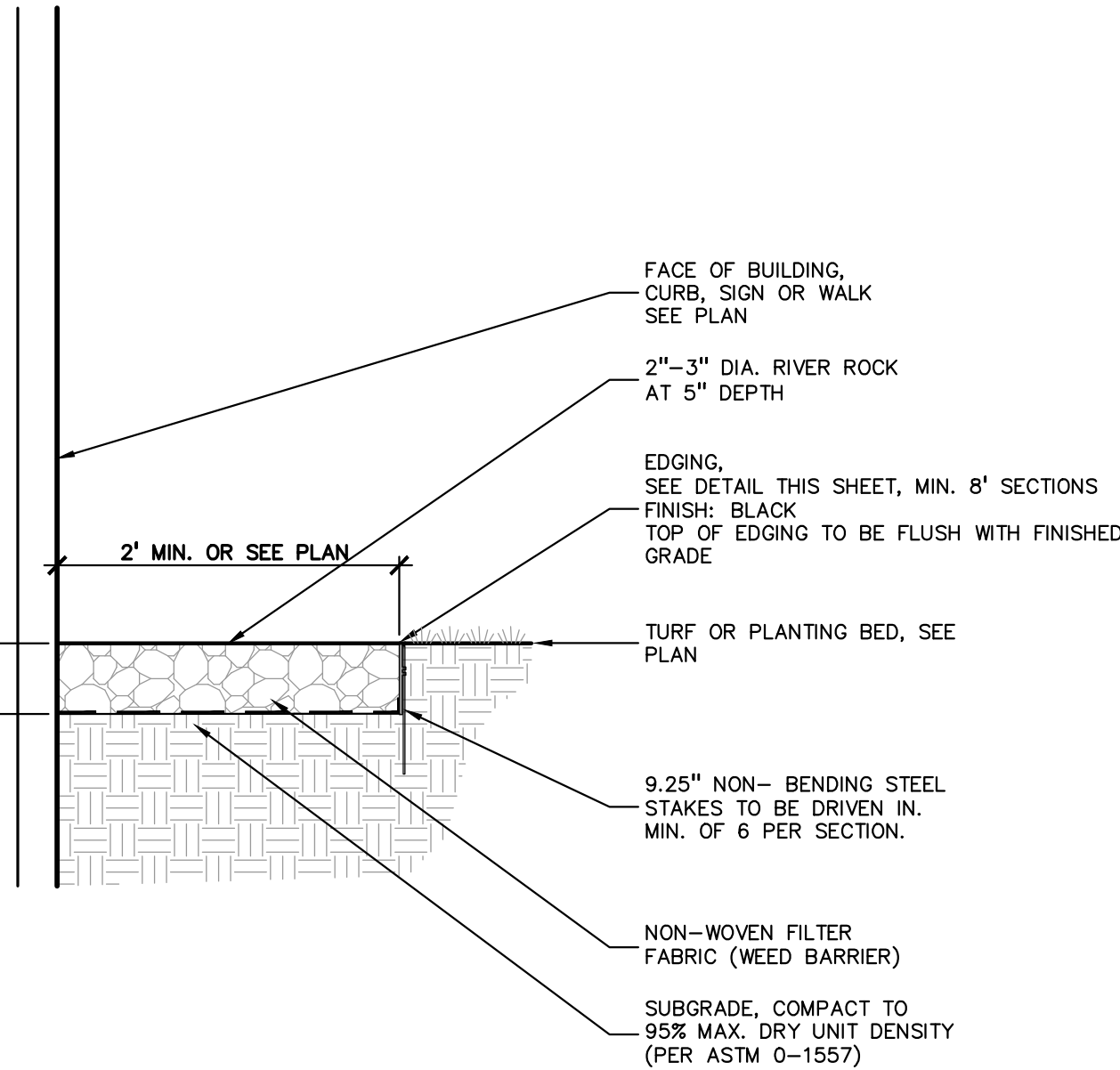
PARCEL NO.  
20-28-101-052

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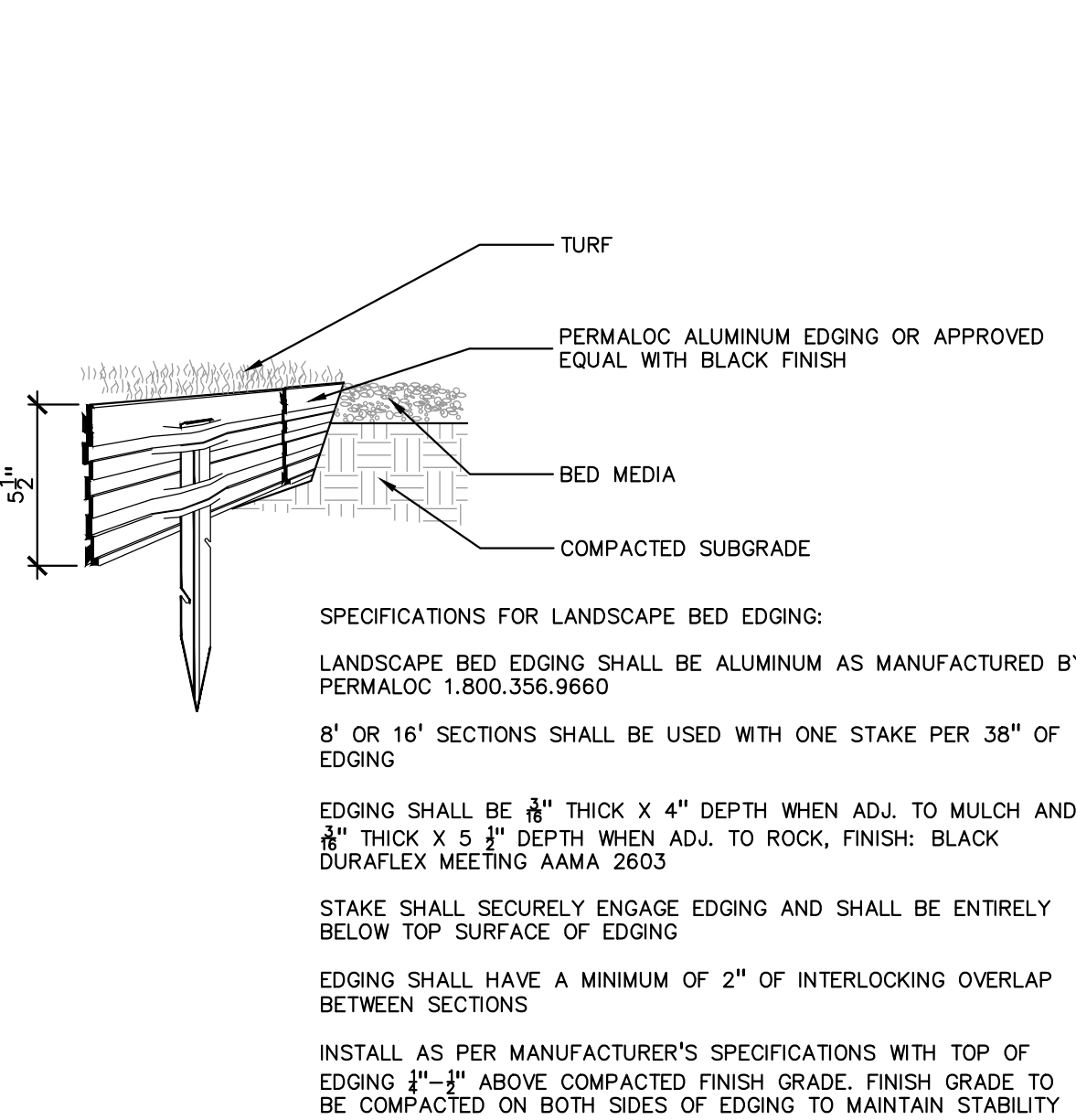
Xref .\X-TLBK-2022-1053.dwg



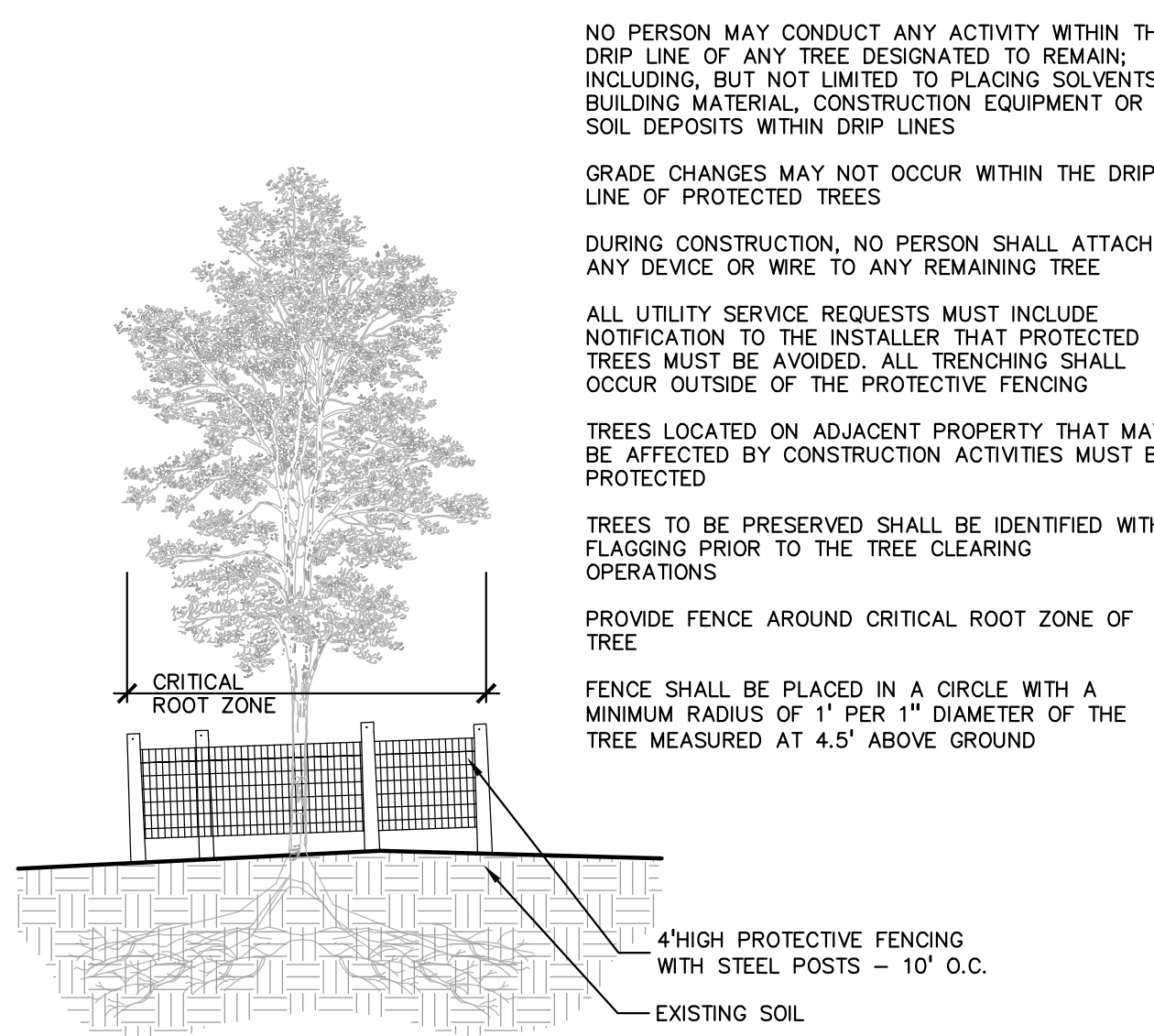
6 TRANSFORMER SCREENING DETAIL- IF PRESENT  
SCALE: 1" = 3'-0"



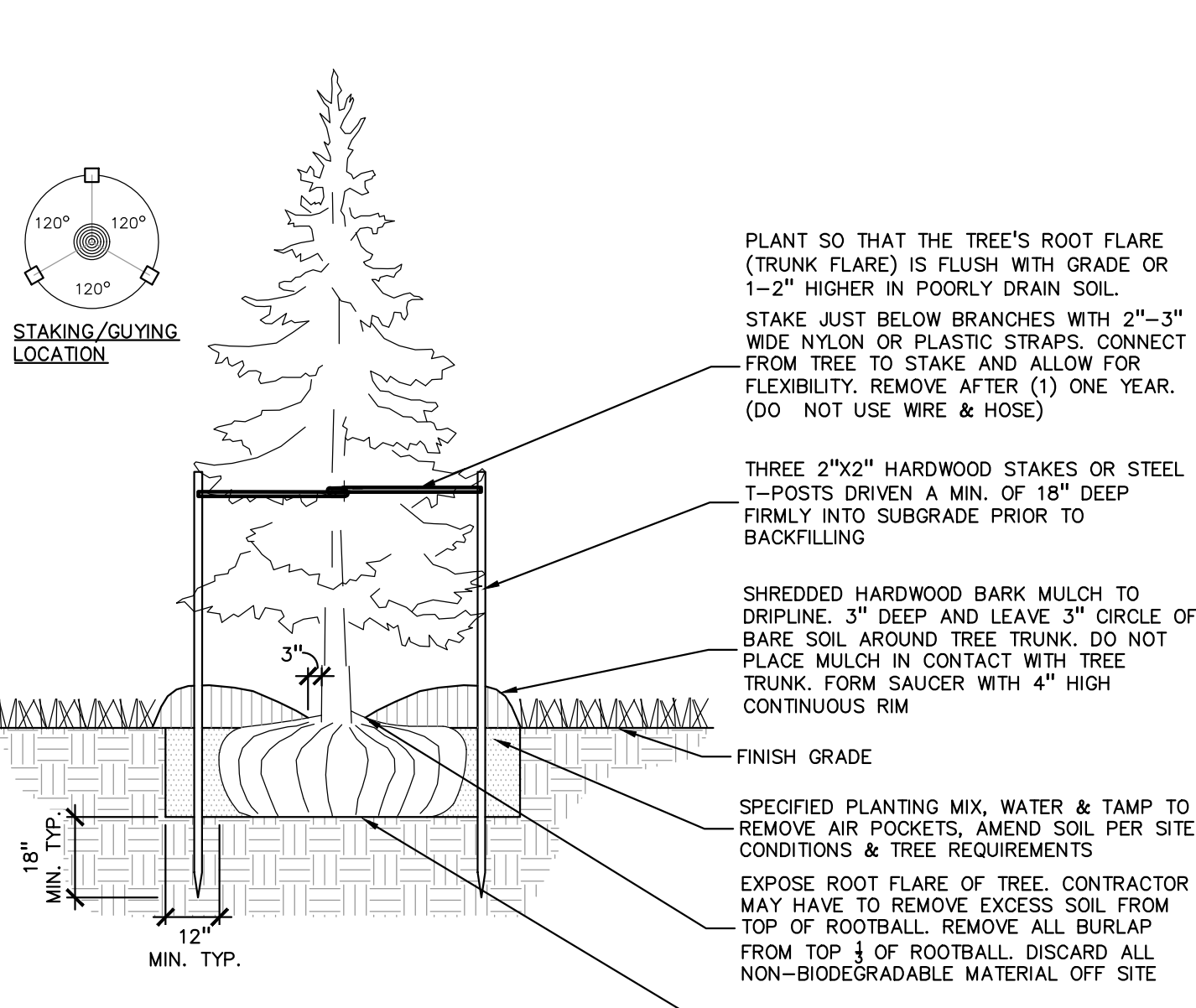
5 ROCK MAINTENANCE STRIP  
SCALE: 1" = 1'-0"



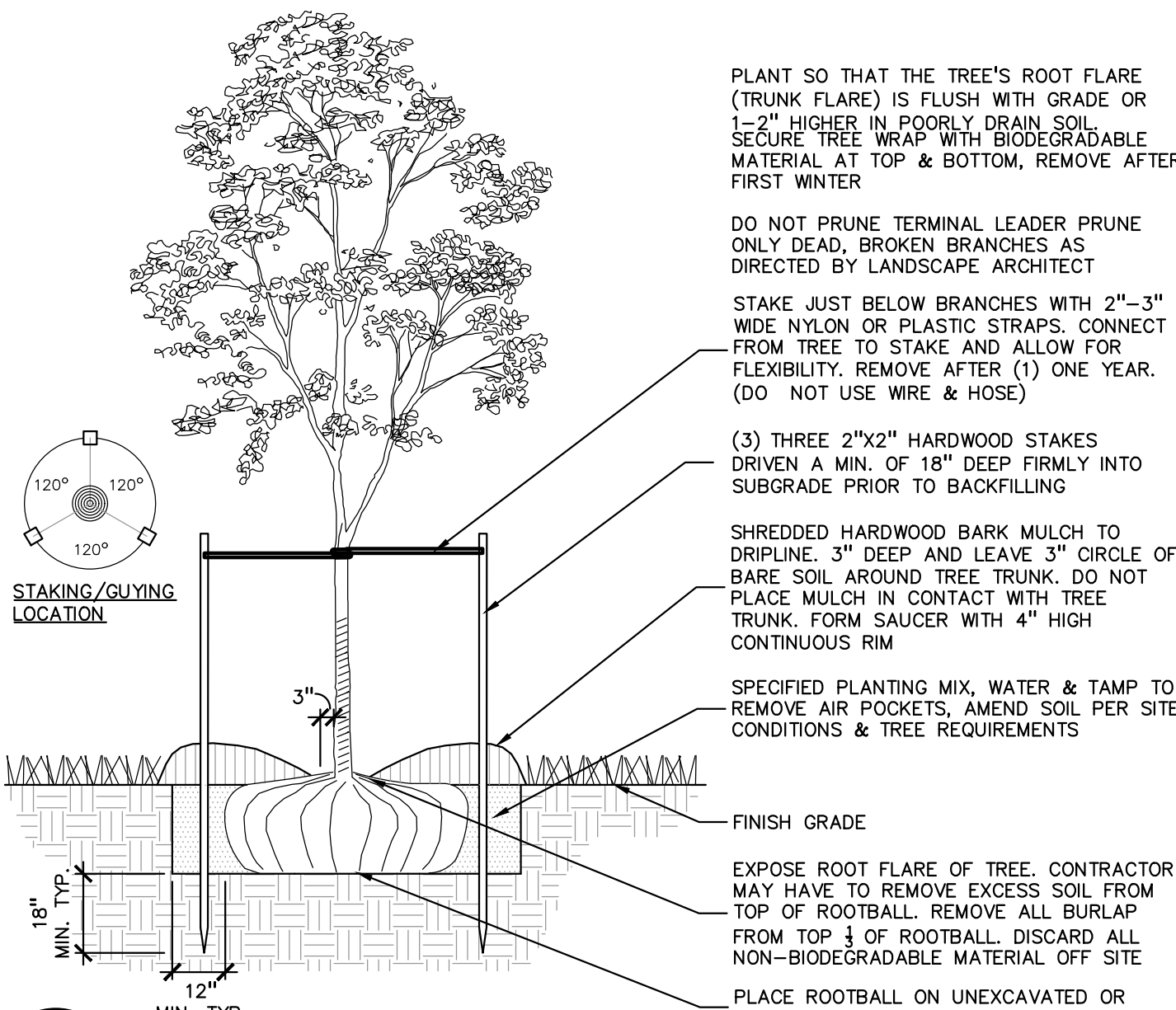
4 ALUMINUM EDGE DETAIL  
SCALE: 1/2" = 1'-0"



3 TREE PROTECTION DETAIL  
SCALE: 1" = 3'-0"



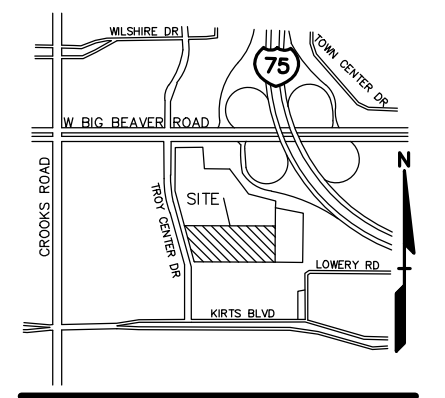
2 EVERGREEN TREE PLANTING DETAIL  
SCALE: 1" = 3'-0"



1 DECIDUOUS TREE PLANTING DETAIL  
SCALE: 1" = 3'-0"

CITY OF TROY JOB NUMBER 24.xxx.x  
NOT FOR CONSTRUCTION

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CLIENT  
**755 TOWER ASSOCIATES II, LLC**  
39400 WOODWARD AVE, SUITE 250  
BLOOMFIELD HILLS, MICHIGAN 48304

PROJECT TITLE  
**BOSE HUB OFFICE & ENGINEERING**  
755 W BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MI

| REVISIONS               |          |
|-------------------------|----------|
| REVISED SITE LAYOUT     | 12.13.24 |
| REVISED SPA SET         | 02.10.25 |
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ORIGINAL ISSUE DATE:  
AUGUST 23, 2024

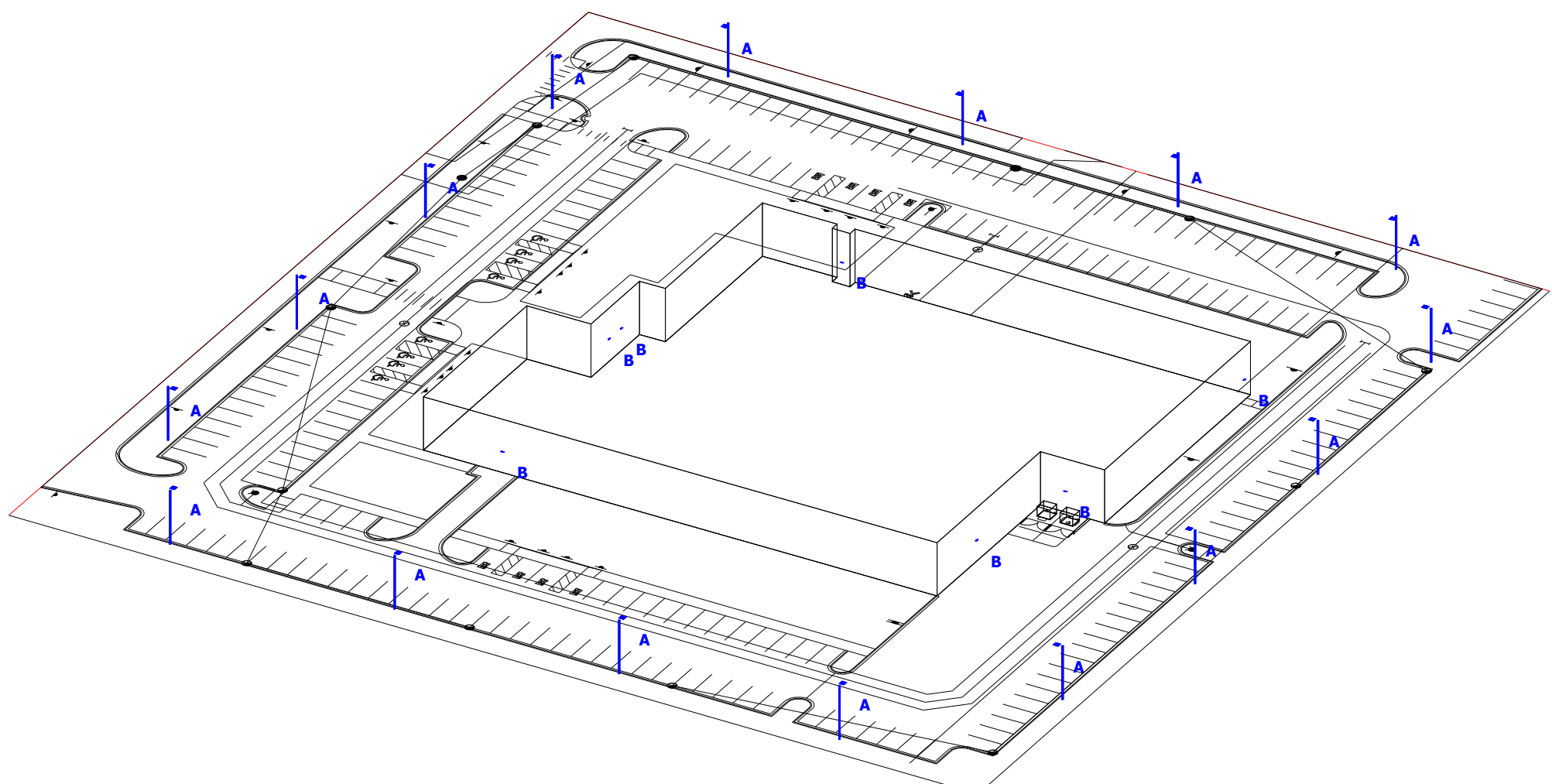
DRAWING TITLE  
**LANDSCAPE DETAILS**

|             |           |
|-------------|-----------|
| PEA JOB NO. | 2024-0747 |
| P.M.        | JH        |
| DN.         | CAL       |
| DES.        | JLE       |

DRAWING NUMBER:

L-1.1



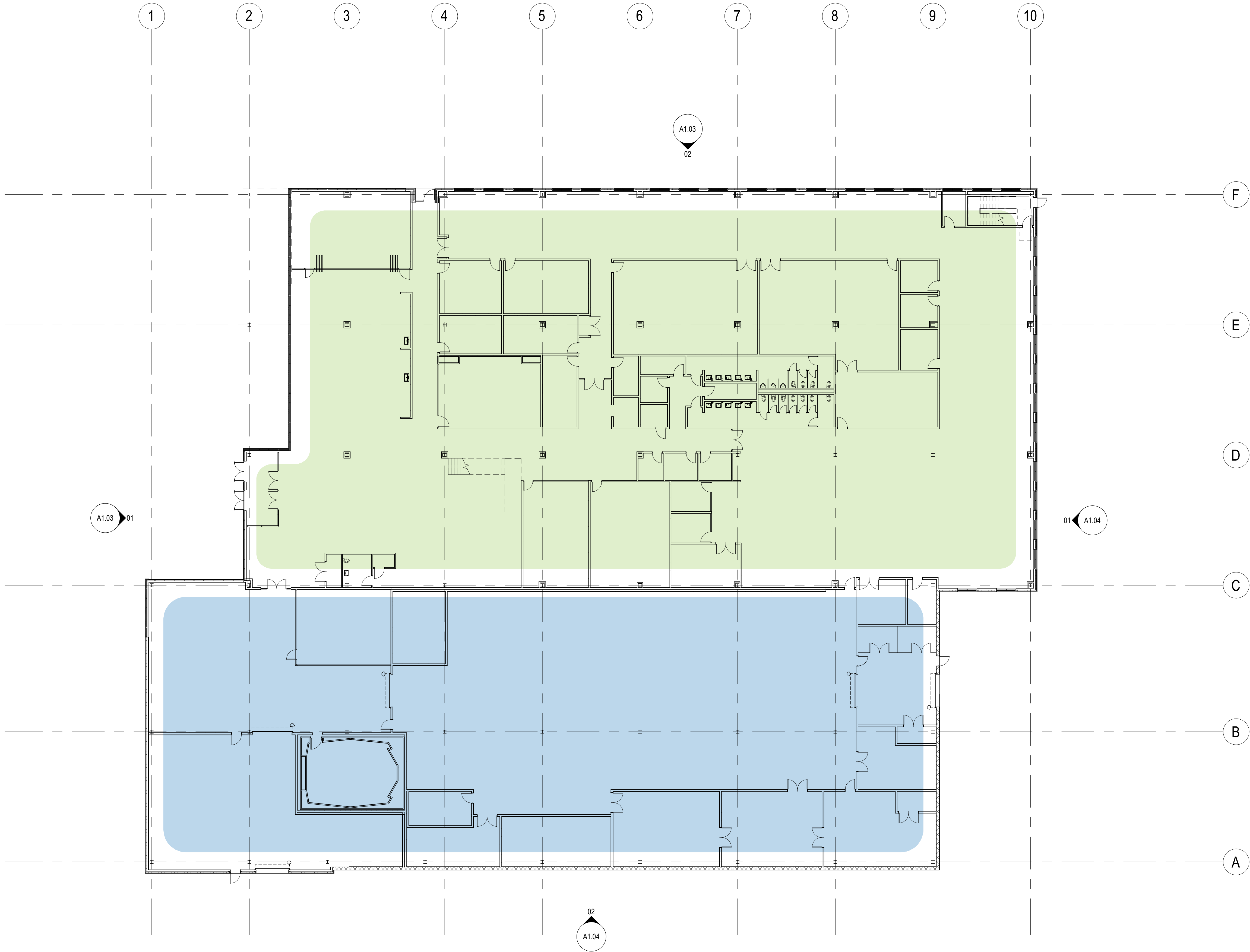
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MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

[illegible]



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|  |           | LEVEL 01  | LEVEL 02  | TOTAL     |
|--|-----------|-----------|-----------|-----------|
|  | WORKPLACE | 29,139 SF | 26,190 SF | 55,329 SF |
|  | HIGH BAY  | 21,040 SF | 0 SF      | 21,040 SF |
|  |           |           |           | 76,369 SF |

SHEET NOTES

BOSE HUB OFFICE &  
ENGINEERING

755 W. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MI

Gensler

One Beacon Street  
Third Floor  
Boston, MA 02108  
United States

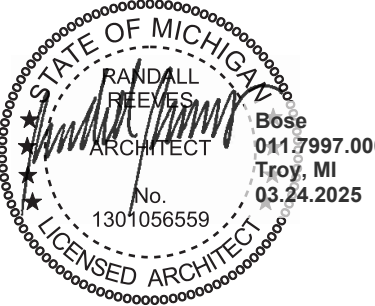
Tel 617.619.5700  
Fax 617.619.5701

| △ Date     | Description        |
|------------|--------------------|
| 02.10.2025 | SITE PLAN APPROVAL |
| 03.24.2025 | SITE PLAN APPROVAL |

NOT FOR CONSTRUCTION

GENERAL NOTES

Seal / Signature



Project Name

BOSE HUB OFFICE &  
ENGINEERING

Project Number

011.7997.000

Description

CONSTRUCTION PLAN - LEVEL 01

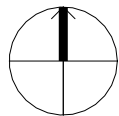
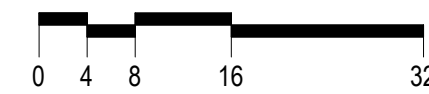
Drwn by Chkd by

MB AS

Scale

1/16" = 1'-0"

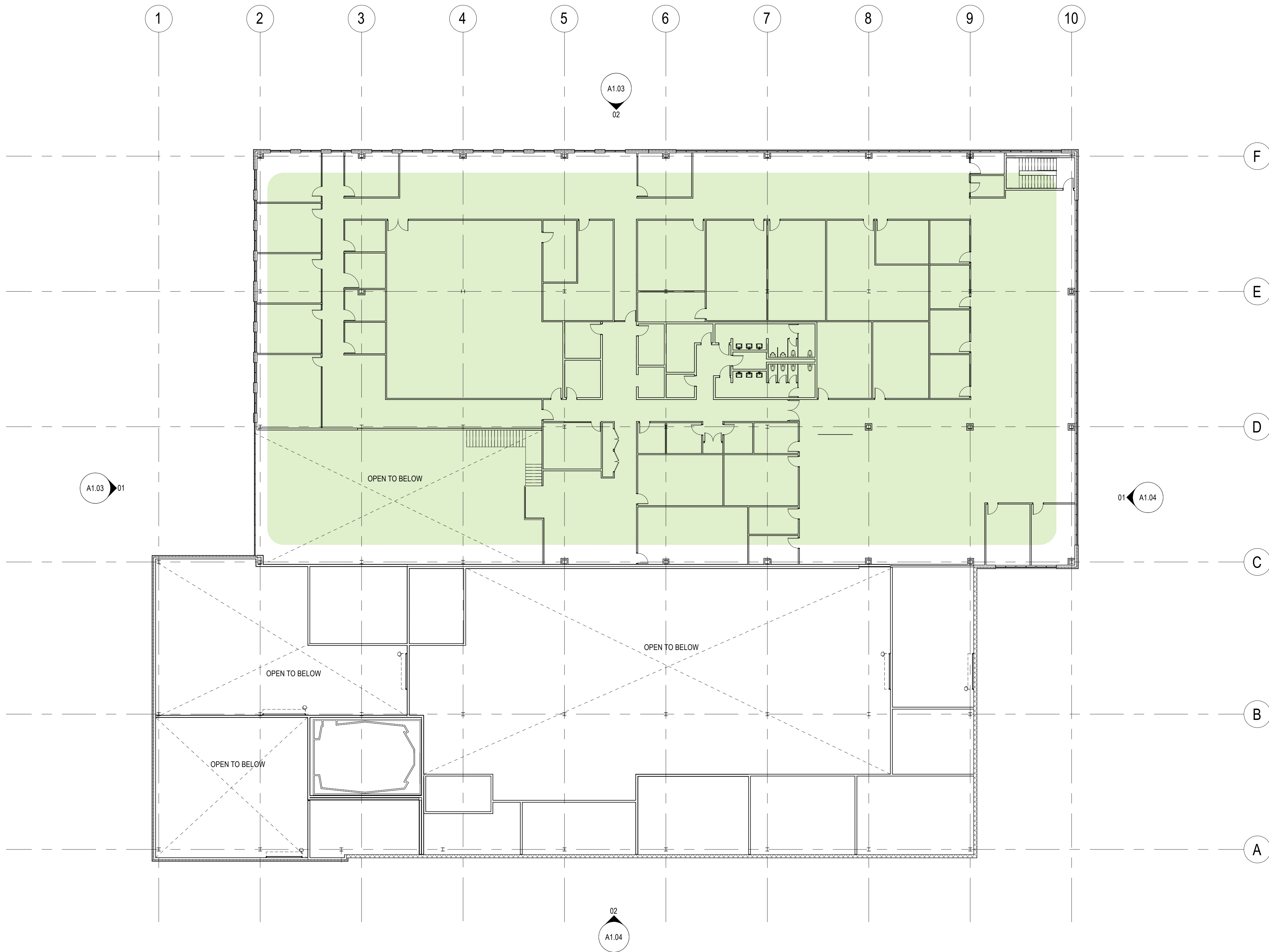
KEY PLAN



A1.01



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|             |           | LEVEL 01  | LEVEL 02  | TOTAL     |
|-------------|-----------|-----------|-----------|-----------|
| <div></div> | WORKPLACE | 29,139 SF | 26,190 SF | 55,329 SF |
| <div></div> | HIGH BAY  | 21,040 SF | 0 SF      | 21,040 SF |
|             |           |           |           | 76,369 SF |

SHEET NOTES

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Gensler

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Third Floor  
Boston, MA 02108  
United States

Tel 617.619.5700  
Fax 617.619.5701

| △ Date     | Description        |
|------------|--------------------|
| 02.10.2025 | SITE PLAN APPROVAL |
| 03.24.2025 | SITE PLAN APPROVAL |

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GENERAL NOTES

Seal / Signature



Project Name

BOSE HUB OFFICE & ENGINEERING

Project Number

011.7997.000

Description

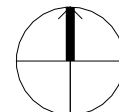
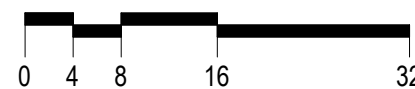
CONSTRUCTION PLAN - LEVEL 02

Drwn by Chkd by

MB AS

Scale

1/16" = 1'-0"



A1.02

755 W. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MI

One Beacon Street  
Third Floor  
Boston, MA 02108  
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Tel 617.619.5700  
Fax 617.619.5701

| △ Date     | Description        |
|------------|--------------------|
| 02.10.2025 | SITE PLAN APPROVAL |
| 03.24.2025 | SITE PLAN APPROVAL |

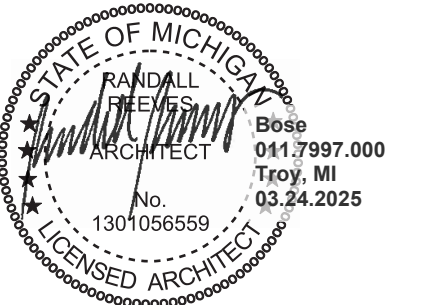
**01 ELEVATION - WEST**  
SCALE: 1" = 10'-0"



**WEST ELEVATION**

|                         |             |
|-------------------------|-------------|
| TOTAL WALL SURFACE AREA | = 1264 SQF. |
| GLAZING AREA            | = 695 SQF.  |
| TRANSPARENCY PERCENTAGE | = 54.9 %    |

SCALE: 1/16" = 1'-0"



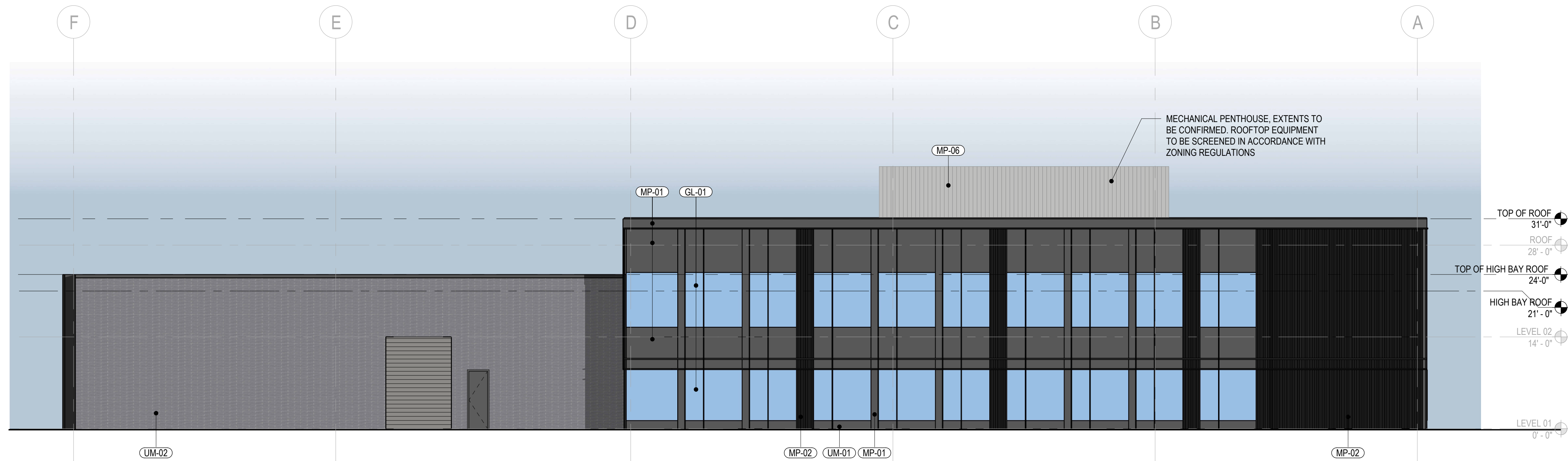
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As indicated

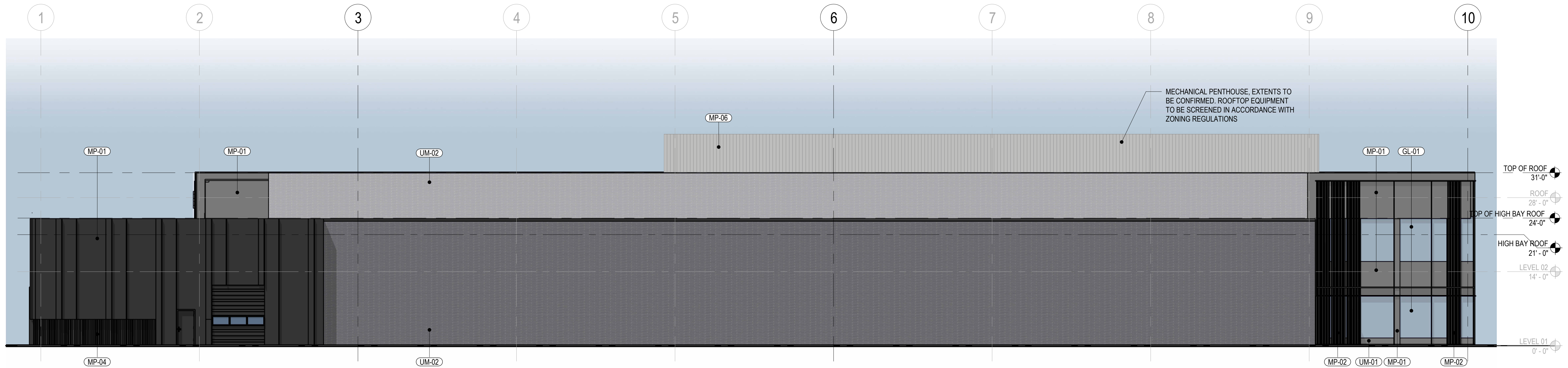
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01 ELEVATION - EAST  
SCALE: 1" = 10'-0"



02 ELEVATION - SOUTH  
SCALE: 1" = 10'-0"

- (CW-01) Aluminum and Glass Curtainwall System
- (GL-01) Insulated Glass Unit
- (GL-02) Spandrel Glass
- (MP-01) Insulated Metal Panel - Charcoal Gray
- (MP-02) Insulated Corrugated Metal Panel - Charcoal Gray
- (MP-03) Insulated Metal Panel - Light Gray
- (MP-04) Insulated Corrugated Metal Panel - Light Gray
- (MP-05) Insulated Corrugated Metal Panel - Accent Color
- (MP-06) Corrugated Metal Panel - Light Gray (Mechanical Screen)
- (UM-01) Dimensional Stone
- (UM-02) Insulated Ground Face Block

## EXTERIOR MATERIALS LEGEND

SCALE: 1/16" = 1'-0"

## BOSE HUB OFFICE & ENGINEERING

755 W. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MI

## Gensler

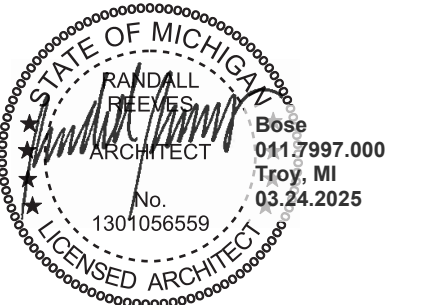
One Beacon Street  
Third Floor  
Boston, MA 02108  
United States

Tel 617.619.5700  
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|------------|--------------------|
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Project Name

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Project Number

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Description

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BUILDING ELEVATIONS

Scale

As indicated

A1.04



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1 3D VIEW - FRONT VIEW  
SCALE: 1" = 30'-0"

SHEET NOTES

FINISH NOTES

- CW-01 Aluminum and Glass Curtainwall System
- GL-01 Insulated Glass Unit
- GL-02 Spandrel Glass
- MP-01 Insulated Metal Panel - Charcoal Gray
- MP-02 Insulated Corrugated Metal Panel - Charcoal Gray
- MP-03 Insulated Metal Panel - Light Gray
- MP-04 Insulated Corrugated Metal Panel - Light Gray
- MP-05 Insulated Corrugated Metal Panel - Accent Color
- MP-06 Corrugated Metal Panel - Light Gray (Mechanical Screen)
- UM-01 Dimensional Stone
- UM-02 Insulated Ground Face Block

BOSE HUB OFFICE & ENGINEERING

755 W. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MI

Gensler

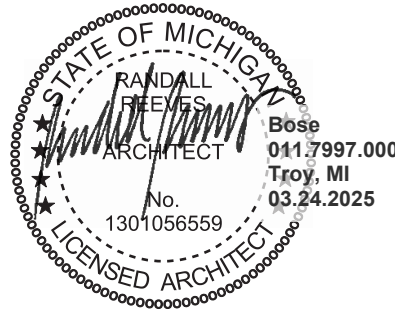
One Beacon Street  
Third Floor  
Boston, MA 02108  
United States

Tel 617.619.5700  
Fax 617.619.5701

| △ Date     | Description        |
|------------|--------------------|
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| 03.24.2025 | SITE PLAN APPROVAL |

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Seal / Signature



Project Name

BOSE HUB OFFICE & ENGINEERING

Project Number

011.7997.000

Description

BUILDING RENDERING - ENTRY VIEW

Scale

As indicated

A1.05





1 3D VIEW - NORTHWEST CORNER  
SCALE: 1" = 60'-0"



2 3D VIEW - SOUTHWEST CORNER  
SCALE: 1" = 60'-0"



3 3D VIEW - SOUTHEAST CORNER  
SCALE: 1" = 60'-0"



4 3D VIEW - NORTHEAST CORNER  
SCALE: 1" = 60'-0"

## SHEET NOTES

## FINISH NOTES

- |  |   |
|--|---|
| (CW-01) Aluminum and Glass Curtainwall System            | (MP-06) Corrugated Metal Panel - Light Gray (Mechanical Screen) |
| (GL-01) Insulated Glass Unit                             | (UM-01) Dimensional Stone                                       |
| (GL-02) Spandrel Glass                                   | (UM-02) Insulated Ground Face Block                             |
| (MP-01) Insulated Metal Panel - Charcoal Gray            |   |
| (MP-02) Insulated Corrugated Metal Panel - Charcoal Gray |   |
| (MP-03) Insulated Metal Panel - Light Gray               |   |
| (MP-04) Insulated Corrugated Metal Panel - Light Gray    |   |
| (MP-05) Insulated Corrugated Metal Panel - Accent Color  |   |

## BOSE HUB OFFICE & ENGINEERING

755 W. BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MI

## Gensler

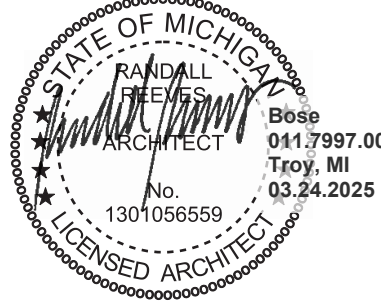
One Beacon Street  
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NOT FOR CONSTRUCTION

Seal / Signature



Project Name

BOSE HUB OFFICE & ENGINEERING

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Description

BUILDING RENDERING

Drwn by Chkd by

Scale

1" = 60'-0"

A1.06