



500 West Big Beaver
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PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

Marianna Perakis, Chair, Lakshmi Malalahalli, Vice Chair
Toby Buechner, Carlton Faison, Tyler Fox, Michael W. Hutson, Tom Krent,
Dave Lambert and John J. Tagle

May 13, 2025

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – April 22, 2025
4. PUBLIC COMMENT – For Items Not on the Agenda

PLANNED UNIT DEVELOPMENT

5. PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

CONDITIONAL REZONING

6. PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (JPCR2025-002) – Proposed Northland Enclave, West side of Corporate, North of Long Lake (5455 Corporate, PIN 88-20-08-451-004), Section 8, From O (Office) Zoning District to CB (Community Business) and MF (Multifamily) Zoning Districts

SPECIAL USE APPROVAL & PRELIMINARY SITE PLAN APPROVAL

7. SPECIAL USE APPLICATION (SU JPLN2024-0031) – Proposed Barbat Troy Vehicle Fueling/Multi Use Station, Southeast corner of Crooks Road and South Boulevard (1981 South Boulevard, PIN 88-20-04-100-059), Section 4, Currently Zoned NN (Neighborhood Node “U”) District

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations

Televised Live, Government Channel WTRY (10 WideOpenWest and 17 Comcast) Replayed Wednesdays 3:00 pm, 6:00 pm and 11:00 pm

OTHER ITEMS

8. PUBLIC COMMENT – For Items on the Agenda
9. PLANNING COMMISSION COMMENT
10. ADJOURN

Chair Perakis called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on April 22, 2025, in the Council Chamber of the Troy City Hall. Chair Perakis and Vice Chair Malalahalli presented opening remarks relative to the role of the Planning Commission and procedure for tonight's meeting.

1. ROLL CALL

Present:

Toby Buechner
Carlton M. Faison
Tom Krent
David Lambert
Lakshmi Malalahalli
Marianna Perakis
John J. Tagle
Tyler Fox

Absent:

Michael Hutson

Also Present:

Ben Carlisle, Carlisle Wortman & Associates
R. Brent Savidant, Community Development Director
Julie Quinlan Dufrane, Assistant City Attorney
Jackie Ferencz, Planning Department Office Manager

2. APPROVAL OF AGENDA

Resolution # PC-2025-04-024

Moved by: Fox
Support by: Malalahalli

RESOLVED, To approve the agenda as prepared.

Yes: All present (8)
Absent: Hutson

MOTION CARRIED

3. APPROVAL OF MINUTES – April 8, 2025

Resolution # PC-2025-04-025

Moved by: Fox
Support by: Buechner

RESOLVED, To approve the minutes of April 8, 2025 Regular meeting as submitted.

Yes: All present (8)
Absent: Hutson

MOTION CARRIED

4. PUBLIC COMMENT – For Items Not on the Agenda

There was no one present who wished to speak.

PLANNED UNIT DEVELOPMENT

5. PUBLIC HEARING - PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

Nate Forbes, of Forbes Frankel Troy Ventures LLC presented the proposed conceptual mixed-use development, Somerset West, property formerly occupied by Kmart headquarters. Mr. Forbes discussed the University of Michigan Health Facility as part of this project. Mr. Forbes addressed prior comments from September 10, 2024 Planning Commission Meeting.

Mr. Carlisle explained the Planned Unit Development (PUD) process and the Concept Development Plan (CDP) and how it applies to the Somerset West proposed conceptual mixed use development. Mr. Carlisle went on to describe the project further along with requests and clarifications requested of the applicant.

Applicant addressed questions from the Board.

Chair Perakis opened the floor for public comment. The following spoke:

- Mary Ellen Barden- 2105 Babcock Drive
- Firdevs Arikan-2187 Lancer Dr
- William Froling- 1858 Lexington

Public Hearing closed.

Resolution # PC-2025-04-026

Moved by: Fox

Support by: Lambert

RESOLVED, that Preliminary Development Plan Approval for Phase 1A of the Somerset West Planned Unit Development, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, presently Zoned PUD (Planned Unit Development) Zoning District, be **postponed** with the following conditions:

1. Specify the 17 acres that is anticipated to be purchased by a Constitutional Corporation (University of Michigan)
2. Show how the Constitutional Corporation (University of Michigan) will develop the 17 acres.
3. Remove the following from Permitted Use list: repair shop, trade school, drive thru, hardware store, appliance sales, townhomes, single family homes and nursing homes.
4. Re-examine open space south of U of M Health, increasing its size from 1 acre.
5. Provide a phasing time line for construction.
6. Specify square footage/unit minimums and maximums for residential, retail, office, and hotel uses
7. Narrow the scope of uses in Use Diagram to allow more specificity as it relates to specific sites.
8. Address PUD Standards.

Discussion on the motion on the floor.

Vote on the motion on the floor.

Yes: Fox, Tagle, Malalahalli, Lambert, Faison, Krent, Perakis
No: Buechner
Absent: Hutson

MOTION CARRIED

Chair Perakis called a recess at 9:49pm. Resumed at 9:52pm

6. PRELIMINARY SITE PLAN (JPLN2025-0009) – Proposed Bose Hub Office & Engineering, South of Big Beaver, East of Troy Center (755 W. Big Beaver; PIN 88-20-28-101-074), Section 28, Presently zoned BB (Big Beaver) Zoning District.

Mr. Carlisle reviewed the Preliminary Site Plan application for Bose Hub Office & Engineering.

Chris Kojaian with Kojaian Companies presented the project.

Courtney Catcho with Bose described the Bose Corporation and the importance of establishing in Troy.

Tony Antone, with Kojaian Management Corporation, answered questions from the Board.

Andy Kirch with Gensler described the material choices for the proposed structures relating to the project.

Resolution # PC-2025-04-027

Moved by: Krent

Support by: Fox

RESOLVED, that Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Bose Hub Office & Engineering, South of Big Beaver, East of Troy Center (755 W. Big Beaver), Section 28, approximately 4.9 acres in size, Currently Zoned BB, be **granted**.

Yes: All

Absent: Hutson

MOTION CARRIED**OTHER ITEMS**7. **PUBLIC COMMENT** – For Items on the Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

Mr. Fox reminded the public of the joint meeting with City Council and Planning Commission on April 28, 2025.

Mr. Krent stated there is a Planners Gathering April 29, 2025.

9. **ADJOURN**

The Regular meeting of the Planning Commission adjourned at 10:34 pm.

Respectfully submitted,

Marianna J. Perakis, Chair

Jackie Ferencz, Planning Department Office Manager

ITEM #5

DATE: May 8, 2025

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

The applicant Forbes Frankel Troy Ventures LLC seeks Conceptual Development Plan (CDP) approval and Preliminary Development Plan approval for Phase 1A for Somerset West Planned Unit Development (PUD). The project features a mixed-use project including up to 750 residential units, 500,000 square feet of office, 300,000 square feet of retail, a 250-room hotel and associated amenities and open space.

A public hearing was held for this item on April 22, 2025. The item was postponed by the Planning Commission, with the following conditions:

1. Specify the 17 acres that is anticipated to be purchased by a Constitutional Corporation (University of Michigan)
2. Show how the Constitutional Corporation (University of Michigan) will develop the 17 acres.
3. Remove the following from Permitted Use list: repair shop, trade school, drive thru, hardware store, appliance sales, townhomes, single family homes and nursing homes.
4. Re-examine open space south of U of M Health, increasing its size from 1 acre.
5. Provide a phasing time line for construction.
6. Specify square footage/unit minimums and maximums for residential, retail, office, and hotel uses
7. Narrow the scope of uses in Use Diagram to allow more specificity as it relates to specific sites.
8. Address PUD Standards.

The applicant has submitted a revised CDP for consideration.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Minutes from April 22, 2025 Planning Commission meeting (excerpt)
4. Concept Development Plan/Preliminary Development Plan (Phase 1A)
5. PUD Agreement (draft)
6. Public comment since April 22, 2025

PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012) – Proposed Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

Resolution # PC-2025-05-

Moved by:
Seconded by

WHEREAS, The applicant Forbes Frankel Troy Ventures LLC submitted a Conceptual Development Plan application for a Planned Unit Development, located on the northwest corner of Big Beaver and Coolidge, in Section 19, approximately 40 acres in area; and

WHEREAS, The applicant also submitted a Preliminary Development Plan application for Phase 1A of the proposed Planned Unit Development, including internal roads and utilities; and

WHEREAS, The Concept Development Plan proposes multiple phases for a mixed-use development including up to 500,000 square feet office, up to 300,000 square feet of retail, up to 750 residential units and up to 250 hotel rooms and open space public amenities; and

WHEREAS, The Concept Development Plan contemplates the development of up to 17 acres of the site by U of M Health, a constitutional corporation per the Michigan Constitution; and

WHEREAS, The Concept Development Plan will be implemented through submittal of Preliminary Development Plans for each phase of development; and

WHEREAS, Each Preliminary Development Plan will require a Planning Commission public hearing and City Council public hearing prior to approval; and

WHEREAS, The proposed Concept Development Plan meets the Standards for Approval set forth in Section 11.03.

THEREFORE BE IT RESOLVED, That the Planning Commission recommends to City Council that Concept Development Plan Approval for the proposed Somerset West Planned Unit Development be granted, subject to the following:

BE IT FINALLY RESOLVED, That the Planning Commission recommends to City Council that Preliminary Development Plan Approval for Phase 1A of the Somerset West Planned Unit Development be granted, subject to the following:

Yes:
No:
Absent:

MOTION CARRIED/FAILED



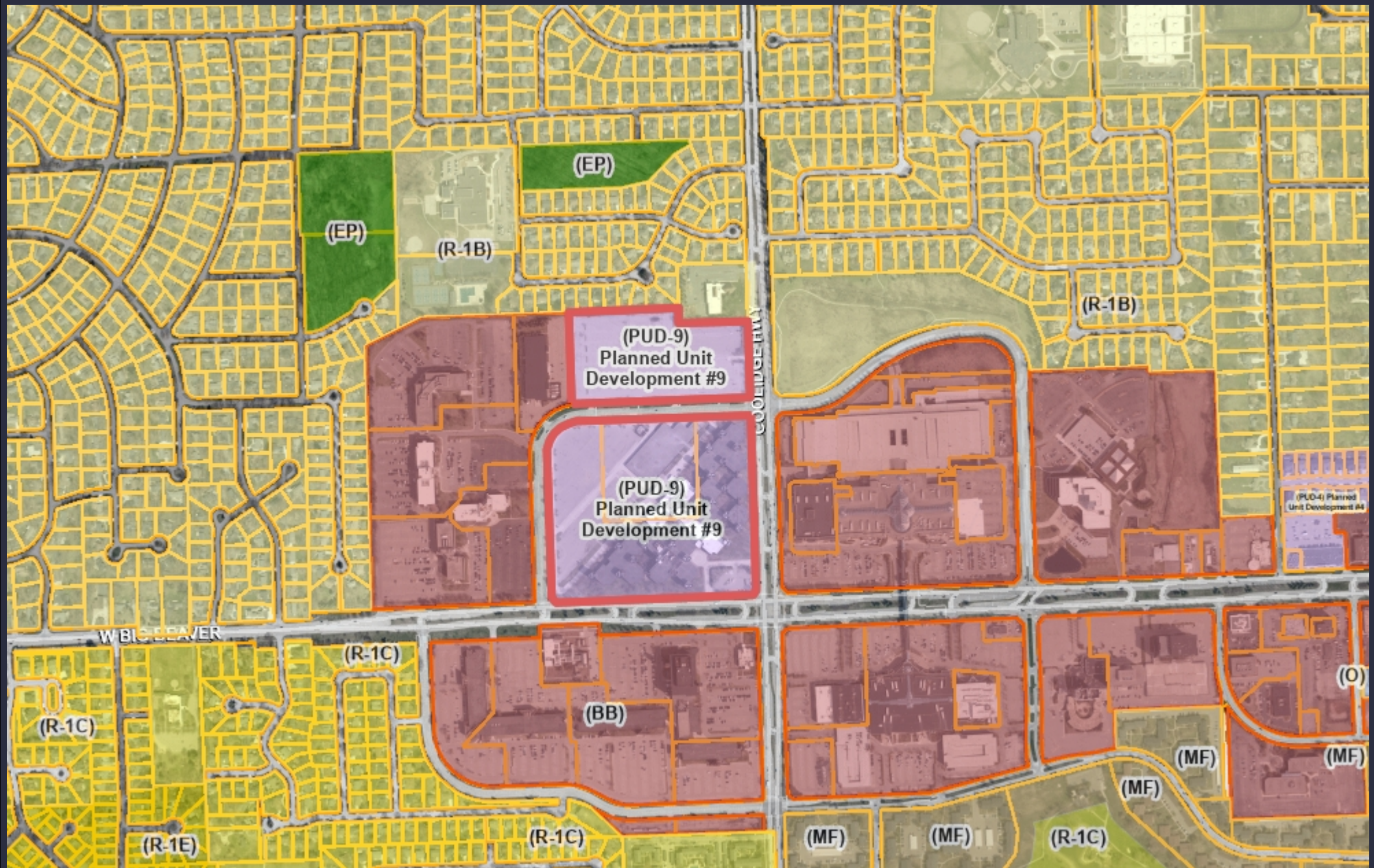
GIS Online



2,076 0 1,038 2,076Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 15, 2025
May 8, 2025

**Planned Unit Development Concept Review and
Preliminary Development Plan for Phase 1
For
City of Troy, Michigan**

Project Name:	Somerset West Planned Unit Development
Plan Date:	March 7, 2025
Location:	3100 W Big Beaver (parcels 88-20-19-476-001 & 88-20-19-430-004)
Current Zoning:	Planned Unit Development (PUD)
Action Requested:	Recommendation for Planned Unit Development (PUD) Concept Plan and Preliminary Development Plan for Phase 1

PROJECT AND SITE DESCRIPTION

A Concept Development Plan (CDP) application has been submitted for the redevelopment of an existing Planned Unit Development (PUD) site, commonly referred to as the “Former Kmart Headquarters.” The subject site is located at the northwest corner of Big Beaver Road and Coolidge Highway.

The proposed project, titled *Somerset West*, is a large-scale mixed-use development that includes a variety of residential, commercial, and office uses. At the core of the development will be a University of Michigan healthcare facility. The remaining portions of the site are proposed to include multi-family residential buildings, restaurants, retail centers, and office space.

It is important to note that under Michigan law, the University of Michigan is classified as a *Constitutional Corporation*. As such, any land owned by the University is exempt from property taxes and not subject to local zoning or building code requirements.

In addition to the Concept Development Plan, the applicant is also requesting consideration of a Preliminary Development Plan for Phase 1A. This initial phase includes grading, installation of private internal roadways, and placement of underground utilities. All future development—except for parcels owned by the Constitutional Corporation—will return for individual Preliminary Development Plan approvals prior to construction.

The Planning Commission serves as a recommending body for both the Concept Development Plan and the Phase 1A Preliminary Development Plan. The final decision will rest with the City Council.

Figure 1. Location of Subject Site.



Proposed Use of Subject Parcel:
Mixed Use Development

Current Zoning:
Planned Unit Development (PUD)

Size of Subject Site:
South of Cunningham: Approximately 12 acres
North of Cunningham: Approximately 28 acres

Surrounding Property Details:

Direction	Zoning	Use
North	R-1B, One-family Residential	Single-family homes Somerset Academy Preschool
South	BB, Big Beaver	Ocean Prime Restaurant Troy Place Business Center The Kresge Foundation
East	R-1B, One-family Residential BB, Big Beaver	Undeveloped land Somerset Mall
West	BB, Big Beaver	Sheffield Office Park Business Center

PUD PROCESS

A Planned Unit Development project is viewed as an integrated development concept. To that end, the provisions of this Article are not intended to be used as a device for avoiding the zoning requirements that would otherwise apply, but rather to allow flexibility and mixture of uses, and to improve the design, character and quality of new development. The use of a Planned Unit Development to permit variations from other requirements of this Ordinance shall only be approved when such approval results in improvements to the public health, safety and welfare in the area affected, and in accordance with the intent of this Article.

The approval of a Planned Unit Development (PUD) is a three-step process:

Step 1-Concept Plan: The first step shall be application for and approval of a Concept Development Plan, which requires a legislative enactment amending the zoning district map so as to reclassify the property as a Planned Unit Development. A proposed Development Agreement shall be included and incorporated with the Concept Development Plan, to be agreed upon and approved coincident with said Plan. The Concept Development Plan and Development Agreement shall be approved by the City Council following the recommendation of the Planning Commission. Such action, if and when approved, shall confer upon the applicant approval of the Concept Development Plan and shall rezone the property to PUD in accordance with the terms and conditions of the Concept Development Plan approval.

Step 2- Preliminary Development Plan Approval: The second step of the review and approval process shall be the application for and approval of a Preliminary Development Plan (preliminary site plan) for the entire project, or for any one or more phases of the project. City Council shall have the final authority to approve and grant Preliminary Development Plan approvals, following a recommendation by the Planning Commission.

Step 3- Final Development Plan Approval: The third step of the review and approval process shall be the review and approval of a Final Development Plan (final site plan) for the entire project, or for any one or more phases of the project, and the issuance of building permits. Final Development Plans for Planned Unit Developments shall be submitted to the Zoning Administrator for administrative review, and the Zoning Administrator, with the recommendation of other appropriate City Departments, shall have final authority for approval of such Final Development Plans.

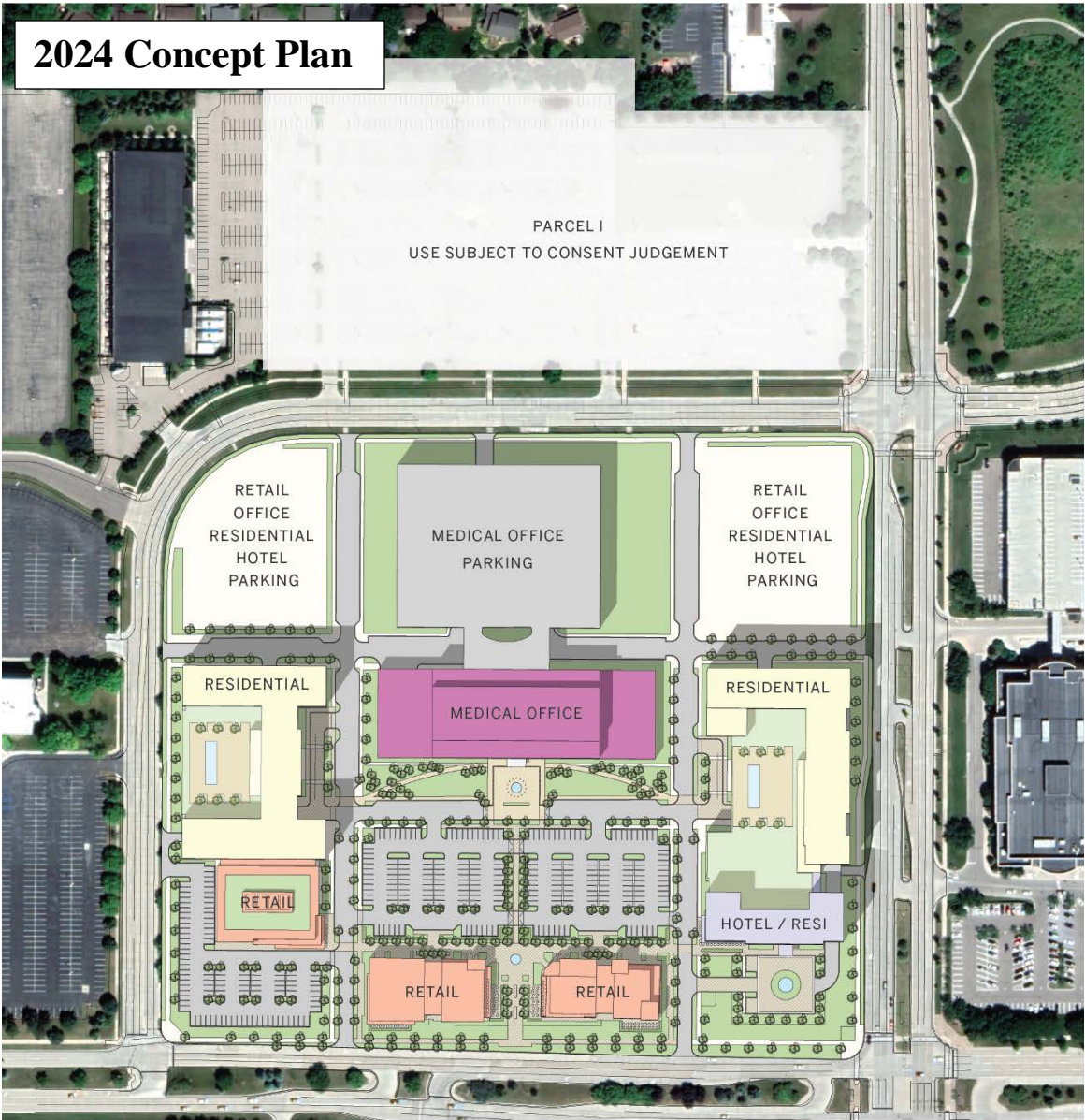
The applicant is currently seeking a recommendation of approval for their Concept Plan and Preliminary Development Plan (preliminary site plan) for Phase 1A.

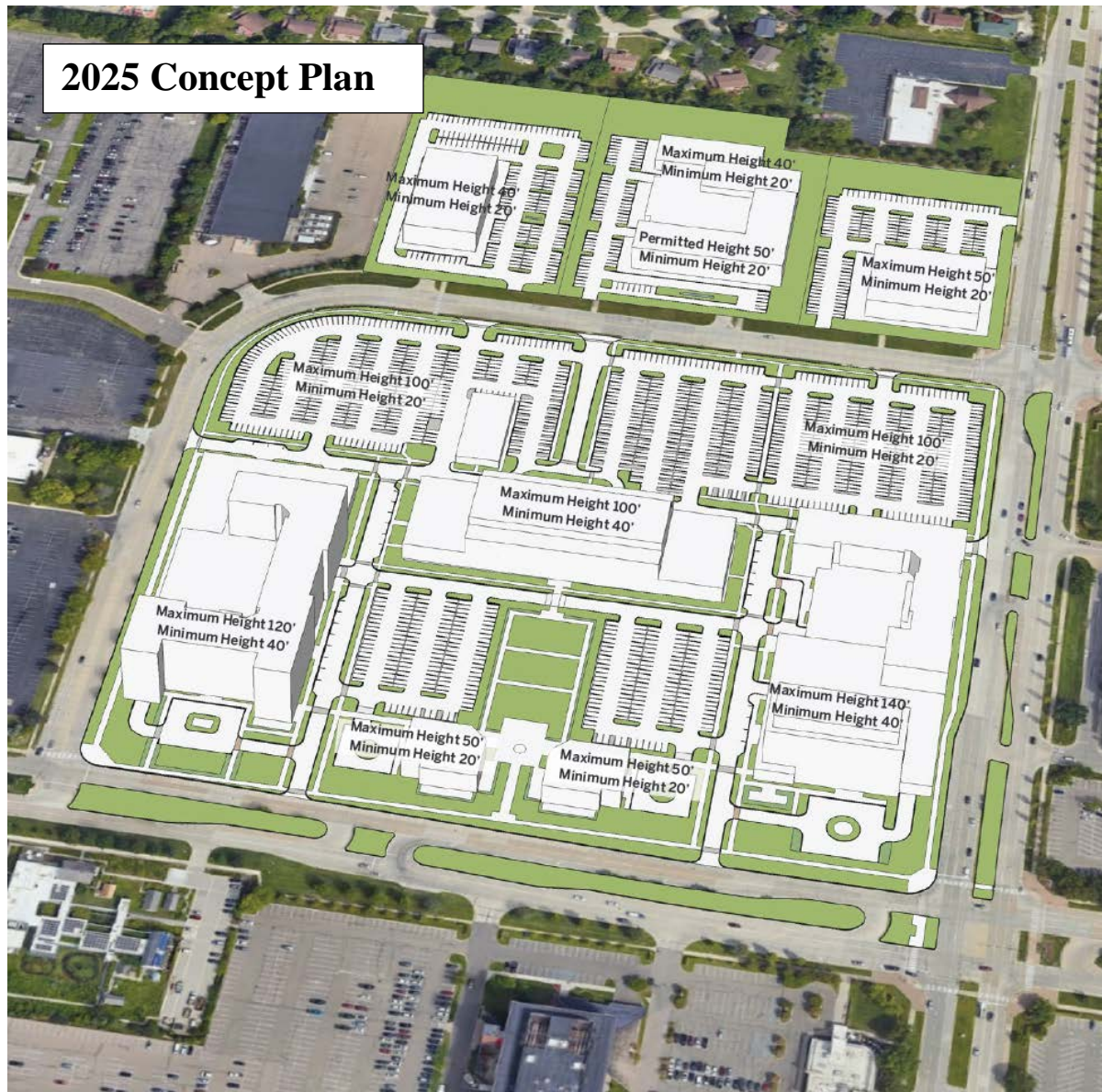
PUD INTENT

As set forth in Section 11.01, the intent of the Planned Unit Development option is to permit flexibility in the design and use of residential and non-residential land which, through the implementation of an overall development plan, when applicable to the site, will:

1. Encourage developments that will result in a long-term contribution to social, environmental and economic sustainability in the City of Troy.
2. Permit development patterns that respond to changing public and private needs.
3. Encourage flexibility in design and use that will result in a higher quality of development and a better overall project than would be accomplished under conventional zoning, and which can be accommodated without sacrificing established community values.
4. Provide for the long-term protection and/or preservation of natural resources, natural features, and/or historic and cultural resources.
5. Promote the efficient use and conservation of energy.
6. Encourage the use, redevelopment and improvement of existing sites where current ordinances do not provide adequate protection and safeguards for the site or its surrounding areas, or where current ordinances do not provide the flexibility to consider redevelopment, replacement, or adaptive re-use of existing structures and sites.
7. Provide for enhanced housing, employment, recreation, and shopping opportunities for the citizens of Troy.
8. Ensure the compatibility of design and use between various components within the PUD and with neighboring properties and uses.
9. Ensure development that is consistent with the intent of the Master Plan.

CONCEPT PLAN





The Concept Plan includes a maximum of:

- 500,000 SF office
- 300,000 SF retail
- 250 room hotel, plus amenities
- 750 residential units

Based on the City's Master Plan, Big Beaver Corridor Design Study, and Zoning Ordinance, the Planning Commission should discuss if the proposed mix of uses, height, and layout meet the intent of what the City is trying to achieve on Big Beaver.

PREVIOUS PLANNING COMMISSION REVIEW

The item was last considered by the Planning Commission on April 22, 2025. For further context, please refer to our April 17th staff review. The application was postponed to allow the applicant to address several outstanding issues. Below is a summary of each request and the applicant's response:

- 1. Specify the 17 acres that is anticipated to be purchased by a Constitutional Corporation (University of Michigan)**

CWA Response: The Use Diagram has been updated to clearly delineate the 17 acres intended for acquisition by the University of Michigan.

- 2. Show how the Constitutional Corporation (University of Michigan) will develop the 17 acres.**

CWA Response: The applicant notes that the concept images shown at the April 22, 2025 meeting is what the University intends to construct. The applicant will provide material samples at the upcoming meeting. The applicant further notes that the University does not have any future drawings or plans to demonstrate future expansion.

- 3. Remove the following from Permitted Use list: repair shop, trade school, drive thru, hardware store, appliance sales, townhomes, single family homes and nursing homes.**

CWA Response: The applicant agrees to remove trade school, repair shop, hardware store, appliance sales, and single-family residential from the permitted use list. However, they request to retain townhomes and a single drive-through use limited to a financial institution.

- 4. Re-examine open space south of U of M Health, increasing its size from 1 acre.**

CWA Response: The size of the 1-acre park remains unchanged. The applicant has submitted a narrative explaining why expansion is not proposed.

- 5. Provide a phasing timeline for construction.**

CWA Response: The updated Phasing Diagram now includes five distinct phases. However, specific timing for each phase has not been provided.

- 6. Specify square footage/unit minimums and maximums for residential, retail, office, and hotel uses**

CWA Response: The applicant notes that both the current and proposed amended PUD establish development maximums. However, due to ongoing economic uncertainty, the applicant requests that minimum development thresholds not be required at this time.

7. Narrow the scope of uses in Use Diagram to allow more specificity as it relates to specific sites.

CWA Response: The applicant has narrowed the list of permitted uses for the University of Michigan parcels; however, they have not done so for the remaining parcels. They have expressed a desire to retain maximum flexibility in allowable uses for those areas.

8. Address PUD Standards.

CWA Response: The applicant has provided a narrative that addresses their response to the PUD Standards.

The applicant has provided a written narrative that details their response to the Planning Commission conditions of postponement.

STANDARDS

When reviewing the PUD, the Planning Commission shall consider the following standards as set forth in Section 11.03:

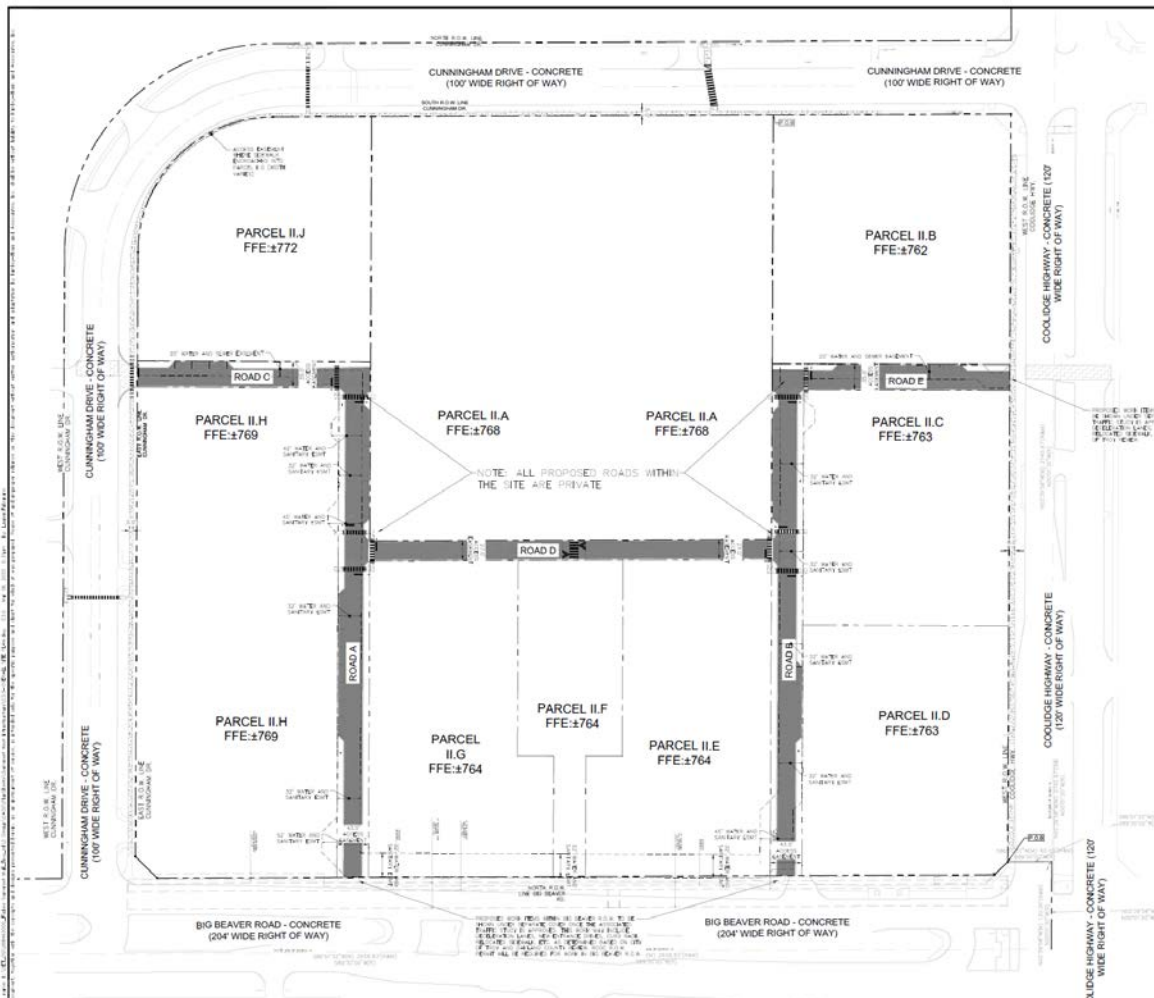
- 1. A mixture of land uses that would otherwise not be permitted without the use of the PUD provided that other objectives of this Article are also met.*
- 2. A public improvement or public facility (e.g. recreational, transportation, safety and security) which will enhance, add to or replace those provided by public entities, thereby furthering the public health, safety and welfare.*
- 3. A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be infeasible or unlikely to be achieved absent these regulations.*
- 4. Long-term protection and preservation of natural resources, natural features, and historic and cultural resources, of a significant quantity and/or quality in need of protection or preservation, and which would otherwise be unfeasible or unlikely to be achieved absent these regulations.*
- 5. A compatible mixture of open space, landscaped areas, and/or pedestrian amenities.*
- 6. Appropriate land use transitions between the PUD and surrounding properties.*
- 7. Design features and techniques, such as green building and low impact design, which will promote and encourage energy conservation and sustainable development.*
- 8. Innovative and creative site and building designs, solutions and materials.*
- 9. The desirable qualities of a dynamic urban environment that is compact, designed to human scale, and exhibits contextual integration of buildings and city spaces.*
- 10. The PUD will reasonably mitigate impacts to the transportation system and enhance non-motorized facilities and amenities.*
- 11. For the appropriate assembly, use, redevelopment, replacement and/or improvement of existing sites that are occupied by obsolete uses and/or structures.*
- 12. A complementary variety of housing types that is in harmony with adjacent uses.*
- 13. A reduction of the impact of a non-conformity or removal of an obsolete building or structure.*

14. *A development consistent with and meeting the intent of this Article, which will promote the intent of the Master Plan or the intent of any applicable corridor or sub-area plans. If conditions have changed since the Plan, or any applicable corridor or sub-area plans were adopted, the uses shall be consistent with recent development trends in the area.*
15. *Includes all necessary information and specifications with respect to structures, heights, setbacks, density, parking, circulation, landscaping, amenities and other design and layout features, exhibiting a due regard for the relationship of the development to the surrounding properties and uses thereon, as well as to the relationship between the various elements within the proposed Planned Unit Development. In determining whether these relationships have been appropriately addressed, consideration shall be given to the following:*
 - i. *The bulk, placement, and materials of construction of the proposed structures and other site improvements.*
 - ii. *The location and screening of vehicular circulation and parking areas in relation to surrounding properties and the other elements of the development.*
 - iii. *The location and screening of outdoor storage, loading areas, outdoor activity or work areas, and mechanical equipment.*
 - iv. *The hours of operation of the proposed uses.*
 - v. *The location, amount, type and intensity of landscaping, and other site amenities.*
16. *Parking shall be provided in order to properly serve the total range of uses within the Planned Unit Development. The sharing of parking among the various uses within a Planned Unit Development may be permitted. The applicant shall provide justification to the satisfaction of the City that the shared parking proposed is sufficient for the development and will not impair the functioning of the development, and will not have a negative effect on traffic flow within the development and/or on properties adjacent to the development.*
17. *Innovative methods of stormwater management that enhance water quality shall be considered in the design of the stormwater system.*
18. *The proposed Planned Unit Development shall be in compliance with all applicable Federal, State and local laws and ordinances, and shall coordinate with existing public facilities.*

Items to be Addressed: *Planning Commission should review the application considering the standards.*

PHASE 1 PRELIMINARY SITE PLAN

In addition to the Concept Development Plan, the applicant is seeking Preliminary Development Plan (preliminary site plan) approval for Phase 1A. Phase 1A includes road layout and utility installation.



Approval of the Preliminary Development Plan (preliminary site plan) for Phase 1A would allow the applicant to grade the site, install the private roads, and underground utilities. Outside of lots/parcels designed for Constitutional Corporation use, each individual lot/parcel would come in for Preliminary Development Plan approval. The Planning Commission is a recommending body on the Preliminary Development Plan.

In discussions with the Oakland County Road Commission (OCRC), OCRC notes that the western most access point off Big Beaver will require both the closure of the adjacent Big Beaver cross-

over and improvements to the light at Big Beaver and Cunningham. The applicant has not shown the closed cross-over on the preliminary site plan.

SITE PLAN REVIEW STANDARDS

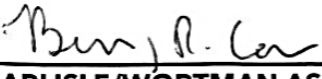
Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility with existing commercial districts and provide a transition between land uses.*
 - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
 - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
 - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
 - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*
 - b. *Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
 - c. *Develop buildings with creativity that includes balanced compositions and forms.*
 - d. *Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
 - e. *For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
 - f. *Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
3. *Enhance the character, environment and safety for pedestrians and motorists.*
 - a. *Provide elements that define the street and the pedestrian realm.*
 - b. *Create a connection between the public right of way and ground floor activities.*
 - c. *Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
 - d. *Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
 - e. *Improve safety for pedestrians through site design measures.*

Items to be Addressed: None.

SUMMARY

The Planning Commission should review the revised application and consider if the CDP meets the PUD Standards set forth in Section 11.03 and if Phase 1A meets preliminary site plan standards set forth in Section 8.06.


CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
President

PLANNED UNIT DEVELOPMENT

5. **PUBLIC HEARING - PLANNED UNIT DEVELOPMENT – (PUD021 JPLN2024-0012)** – Proposed Somerset West Concept Development Plan and Preliminary Development Plan for Phase 1A, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, Presently zoned PUD (Planned Unit Development) Zoning District.

Nate Forbes, of Forbes Frankel Troy Ventures LLC presented the proposed conceptual mixed-use development, Somerset West, property formerly occupied by Kmart headquarters. Mr. Forbes discussed the University of Michigan Health Facility as part of this project. Mr. Forbes addressed prior comments from September 10, 2024 Planning Commission Meeting.

Mr. Carlisle explained the Planned Unit Development (PUD) process and the Concept Development Plan (CDP) and how it applies to the Somerset West proposed conceptual mixed use development. Mr. Carlisle went on to describe the project further along with requests and clarifications requested of the applicant.

Applicant addressed questions from the Board.

Chair Perakis opened the floor for public comment. The following spoke:

- Mary Ellen Barden- 2105 Babcock Drive
- Firdevs Arkan-2187 Lancer Dr
- William Froling- 1858 Lexington

Public Hearing closed.

Resolution # PC-2025-04-026

Moved by: Fox

Support by: Lambert

RESOLVED, that Preliminary Development Plan Approval for Phase 1A of the Somerset West Planned Unit Development, North side of Big Beaver, West side of Coolidge (3100 W. Big Beaver; PIN 88-20-19-476-002, 88-20-19-476-003 & 88-20-19-430-004), Section 19, presently Zoned PUD (Planned Unit Development) Zoning District, be **postponed** with the following conditions:

1. Specify the 17 acres that is anticipated to be purchased by a Constitutional Corporation (University of Michigan)
2. Show how the Constitutional Corporation (University of Michigan) will develop the 17 acres.
3. Remove the following from Permitted Use list: repair shop, trade school, drive thru, hardware store, appliance sales, townhomes, single family homes and nursing homes.
4. Re-examine open space south of U of M Health, increasing its size from 1 acre.
5. Provide a phasing time line for construction.
6. Specify square footage/unit minimums and maximums for residential, retail, office, and hotel uses

7. Narrow the scope of uses in Use Diagram to allow more specificity as it relates to specific sites.

8. Address PUD Standards.

Discussion on the motion on the floor.

Vote on the motion on the floor.

Yes: Fox, Tagle, Malalahalli, Lambert, Faison, Krent, Perakis

No: Buechner

Absent: Hutson

MOTION CARRIED

Chair Perakis called a recess at 9:49pm. Resumed at 9:52pm

May 8, 2025

City of Troy Planning Commission
500 W. Big Beaver Rd
Troy, Michigan 48084

RE: CPD Application Questions – Somerset West PUD

Planning Commissioners,

Below you will find our response to what we believe to be the resolution that you voted on April 22, 2025 regarding the CPD Application for the Somerset West PUD.

- 1. Specify the 17 acres that is anticipated to be purchased by a Constitutional Corporation (University of Michigan) **This is now illustrated on the Use Plan/Diagram in the updated CDP Application.***
- 2. Show how the Constitutional Corporation (University of Michigan) will develop the 17 acres. **We confirmed with the University of Michigan that the renderings that were shown to you as part of Mr. Forbes' presentation for their building are accurate and what they are intending to build. At the next meeting we will provide some examples of the materials that they will be using. The University does not have any drawings or plans that illustrate potential future expansions of their building or uses.***
- 3. Remove the following from Permitted Use list: repair shop, trade school, drive thru, hardware store, appliance sales, townhomes, single family homes and nursing homes. **We will remove trade school from the permitted office uses although they are currently permitted under the existing PUD agreement; we will remove repair shop, hardware store and appliance sales from the permitted retail uses although they are currently permitted under the existing PUD agreement; we will remove single family and nursing homes from the permitted residential uses although they are permitted under the existing PUD Agreement. This can be found on the written uses page in the updated application. However, we have not removed townhomes as we believe this could be a good use on the northern 12 acres as a buffer between new commercial and existing single-family homes. Regarding drive-thru's, the application presented on April 22, 2025 prohibited drive-thru's for restaurants; however, the application does indicate a potential drive-thru for a bank use, which the planning department was supportive of, has minimal stacking lanes, no impact on walkability, and is permitted in the Big Beaver Zoning District.***
- 4. Re-examine open space south of U of M Health, increasing its size from 1 acre. **The revised application will not provide for any changes to the park. The required open space is 15%, we exceed that on both the northern 12-acre parcel at approximately 43% open space and approximately 26% open space on the southern 28-acre parcel. We feel that the proposed 1-acre urban park plus the east-west pedestrian spaces in an urban setting provides more than adequate green space and common areas for the development. Additionally, if we were to increase the size of the urban park, we would have to reduce the size of our parking areas abutting the park which are needed to service the buildings and potential retail/restaurant uses that front Big Beaver. We have already received concerns from potential restaurant users regarding the available parking based upon the current plan,***

so we believe any further increase in the size of the urban park will compromise our ability to develop these buildings for their potential uses.

5. Provide a phasing timeline for construction. The updated application will have an updated phasing diagram which illustrates five phases for the project.

6. Specify square footage/unit minimums and maximums for residential, retail, office, and hotel use. The application and the Amended and Restated PUD Agreement already provide maximum uses but because of the unknown economic and development climate, that the PUD Agreement is a perpetual agreement and that uses and demand for uses may change over time, we are unable to provide minimum uses. Our intent is to have a mixed use development, especially given the current economic climate. We know there was a concern raised at the last meeting about this site being developed entirely for office use. Given the current economic climate and abundance of availability of office space in Troy and other surrounding areas, we do not believe that should be a real concern.

7. Narrow the scope of uses in Use Diagram to allow more specificity as it relates to specific sites. We have removed the additional uses on the contemplated Constitutional Corporation 12-acre site on the 28-acre site but have maintained the other potential uses to maximize our ability to develop a mixed use development in the future.

8. Address PUD Standards. See comments to Section 11.3 standards for approval below:

SECTION 11.03 STANDARDS FOR APPROVAL

B. The applicant shall demonstrate that through the use of the PUD option, the development will accomplish a sufficient number of the following objectives, as are reasonably applicable to the site, providing:

1. A mixture of land uses that would otherwise not be permitted without the use of the PUD provided that other objectives of this Article are also met. *See permitted uses and use diagram on the CDP application.*

2. A public improvement or public facility (e.g. recreational, transportation, safety and security) which will enhance, add to or replace those provided by public entities, thereby furthering the public health, safety and welfare. *The addition of Michigan Medical to the City of Troy and Oakland County will provide unmeasurable health benefits to the residents of the City of Troy and the entire Oakland County area.*

3. A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be infeasible or unlikely to be achieved absent these regulations. *We intend to develop a live, work, dine, play environment with pedestrian connectivity, and a public/urban park. The project will draw visitors from the region and will provide amenities, services and housing opportunities to Troy residents.*

4. Long-term protection and preservation of natural resources, natural features, and historic and cultural resources, of a significant quantity and/or quality in need of protection or preservation, and which would otherwise be unfeasible or unlikely to be achieved absent these regulations. *We have demolished a 1,000,000 square-foot blighted, vacant and functionally obsolete office building which had approximately 14 acres of surface parking.*

5. A compatible mixture of *open space*, landscaped areas, and/or pedestrian

amenities. Our plan focuses on the central park with pedestrian connectivity east, west, north and south. The required open space is 15%, we exceed that on both the northern 12-acre parcel at approximately 43% open space and approximately 26% open space on the southern 28-acre parcel.

6. Appropriate land use transitions between the PUD and surrounding properties. Lower scale/ height of buildings and/or residential on the northern 12 acres will provide a nice transition between existing single-family homes to the north and commercial uses on the south 28 acres. The proposed setback of 100' adjacent to the existing residences and 80' setback adjacent to the church are also what is currently permitted under the existing PUD agreement.

7. Design features and techniques, such as green building and low impact design, which will promote and encourage energy conservation and sustainable development. Features will include high efficiency heating/cooling systems and glazing systems. The University of Michigan also intends to build a LEED certified building on its parcel.

8. Innovative and creative site and building designs, solutions and materials. Building designs will include shade, shadow and textural studies and sun movement studies.

9. The desirable qualities of a dynamic urban environment that is compact, designed to human scale, and exhibits contextual integration of buildings and city spaces. The central park and landscaping of the overall development will be designed to enhance the sense of place and human interactions. Areas of focus will be the central park, connectivity, walkability and outdoor dining.

10. The PUD will reasonably mitigate impacts to the transportation system and enhance non-motorized facilities and amenities. Offsite improvements will be made to both Big Beaver Road and Coolidge Highway to mitigate any concerns from the City of Troy and Oakland County traffic consultants. The entire development will encourage and provide for walkability to reduce the need for motorized vehicles, along with potential connectivity to the Somerset Collection and other surrounding developments.

11. For the appropriate assembly, use, redevelopment, replacement and/or improvement of existing sites that are occupied by obsolete uses and/or structures. We have demolished a 1,000,000SF blighted, vacant and functionally obsolete office building.

12. A complementary variety of housing types that is in harmony with adjacent uses.

Apartments, townhomes, condominiums, and senior housing are all contemplated uses.

13. A reduction of the impact of a non-conformity or removal of an obsolete building or structure. We have demolished a 1,000,000SF blighted, vacant and functionally obsolete office building.

14. A development consistent with and meeting the intent of this Article, which will promote the intent of the Master Plan or the intent of any applicable corridor or sub-area plans. If conditions have changed since the Plan, or any applicable corridor or sub-area plans were adopted, the uses shall be consistent with recent development trends in the area. We intend to develop a mixed-use development.

15. Includes all necessary information and specifications with respect to structures, heights, setbacks, density, parking, circulation, landscaping, amenities and other design and layout features, exhibiting a due regard for the relationship of the development to the surrounding properties and uses thereon, as well as to the relationship between the various elements within the proposed Planned Unit Development. In determining whether

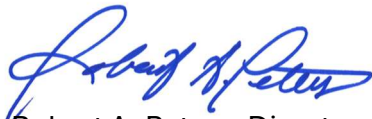
these relationships have been appropriately addressed, consideration shall be given to the following:

- a. The bulk, placement, and materials of construction of the proposed structures and other site improvements.
- b. The location and screening of vehicular circulation and parking areas in relation to surrounding properties and the other elements of the development.
- c. The location and screening of outdoor storage, loading areas, outdoor activity or work areas, and mechanical equipment.
- d. The hours of operation of the proposed uses.
- e. The location, amount, type and intensity of landscaping, and other site amenities. **Many of these items are shown in the CDP and addressed in the Amended and Restated Agreement or will otherwise be addressed as part of the preliminary development plans that will be submitted to the Planning Commission for each phase of the development.**

16. Parking shall be provided in order to properly serve the total range of uses within the Planned Unit Development. The sharing of parking among the various uses within a Planned Unit Development may be permitted. The applicant shall provide justification to the satisfaction of the City that the shared parking proposed is sufficient for the development and will not impair the functioning of the development, and will not have a negative effect on traffic flow within the development and/or on properties adjacent to the development. **The intention is for each parcel within the development to be able to self-park but if the proposed development of any phase of the development or a parcel warrants shared parking, this will be addressed as part of the preliminary development plan that will be submitted to the Planning Commission for such parcel.**

17. Innovative methods of stormwater management that enhance water quality shall be considered in the design of the stormwater system. **An underground stormwater retention system will be designed to handle all stormwater retentions required for the south 28-acre site. The north 12 acres will be serviced by a separate stormwater retention system.**

18. The proposed Planned Unit Development shall be in compliance with all applicable Federal, State and local laws and ordinances, and shall coordinate with existing public facilities. **We agree other than with respect to the parcels that will be owned by a constitutional corporation which are not subject to such laws and ordinances.**



Robert A. Peters, Director

Architectural Design and Planning

cc: Brent Savidant

**CITY OF TROY
PLANNED UNIT DEVELOPMENT
CONCEPT DEVELOPMENT PLAN (CDP) APPLICATION
AND APPLICATION TO AMEND THE ZONING DISTRICT MAP**

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
PHONE: 248-524-3364
E-MAIL: planning@troymi.gov



CONCEPT DEVELOPMENT PLAN FEE
\$3,000.00

ESCROW FEE
\$5,000.00

PRIOR TO THE SUBMISSION OF AN APPLICATION FOR APPROVAL OF A PLANNED UNIT DEVELOPMENT, THE APPLICANT SHALL HOLD A PRE-APPLICATION MEETING WITH THE PLANNING DEPARTMENT OF THE CITY AND ANY CITY STAFF AND OUTSIDE CONSULTANTS AS DEEMED APPROPRIATE BY THE CITY.

DATE OF PRE-APPLICATION MEETING: _____ *1/16/18*

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

1. NAME OF THE PROPOSED DEVELOPMENT: Somerset West

2. LOCATION OF THE SUBJECT PROPERTY: 3100 Big Beaver, Troy Michigan 48084

3. ZONING CLASSIFICATION(S) OF THE SUBJECT PROPERTY: Planned Unit Development Subject to the terms of the Planned Unit Development agreement, dated October 17, 2007 and recorded with the Oakland County, Michigan Register of Deeds on October 26, 2007 at Liber 39703 in Page 493

4. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-19-476-002, 88-20-19-476-003 and 88-20-19-430-004

5. APPLICANT:	PROPERTY OWNER:
NAME _____	NAME _____
COMPANY <u>Forbes Frankel Troy Ventures LLC</u>	COMPANY <u>Forbes Frankel Troy Ventures LLC</u>
ADDRESS <u>100 Galleria Officentre, Suite 427</u>	ADDRESS <u>100 Galleria Officentre, Suite 427</u>
CITY <u>Southfield</u> STATE <u>MI</u> ZIP <u>48034</u>	CITY <u>Southfield</u> STATE <u>MI</u> ZIP <u>48034</u>
TELEPHONE <u>248-827-4600</u>	TELEPHONE <u>248-827-4600</u>
E-MAIL <u>nforbes@theforbescompany.com</u>	E-MAIL <u>nforbes@theforbescompany.com</u>

6. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:
The Applicant and the Property Owner are the same entity.

7. ATTACHED HERETO IS A SIGNED STATEMENT BY THE APPLICANT INDICATING THE APPLICANT HAS THE AUTHORITY TO EXECUTE A BINDING AGREEMENT COVERING ALL PARCELS IN THE PROPOSED P.U.D.

8. SIGNATURE OF APPLICANT See Attached DATE _____

9. SIGNATURE OF PROPERTY OWNER *[Signature]* DATE 2/25/25

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PLANNED UNIT DEVELOPMENT.


Notarial Certificate

(State of Michigan)
() ss
(County of Oakland)

On this 25th day of FEBRUARY, 20 25, personally
appeared before me:

NATHAN FORBES

Known [☐ or produced identification] to me to be the individual who executed the
foregoing document and acknowledged the same as a free act and deed for uses and
purposes therein expressed.


Notary Public

Brenda Walton
Notary Public – State of Michigan
Oakland County
My Commission Expires: October 1, 2029
Acting in the county of OAKLAND,

PLANNED UNIT DEVELOPMENT CONCEPT DEVELOPMENT PLAN (CDP) PRE-APPLICATION MEETING CHECKLIST

THE APPLICANT SHALL PROVIDE A MINIMUM OF THREE (3) COPIES OF THE FOLLOWING ITEMS, PLUS ONE (1) CD CONTAINING AN ELECTRONIC VERSION OF THE APPLICATION, TO THE PLANNING DEPARTMENT AT OR BEFORE THE PRE-APPLICATION MEETING. SEE SECTION 11.06(A).

- ☒ A SKETCH PLAN OF THE PROPOSED PLANNED UNIT DEVELOPMENT
- ☒ LEGAL DESCRIPTION OF THE PROPERTY, SCALE DRAWING AND THE TOTAL NUMBER OF ACRES IN THE PROJECT
- ☒ TOPOGRAPHICAL MAP OF THE PROJECT SITE
- ☒ A STATEMENT OF ALL PROPOSED USES IN THE PROJECT
- ☒ THE KNOWN DEVIATIONS SOUGHT FROM THE ORDINANCE REGULATIONS OTHERWISE APPLICABLE
- ☒ THE NUMBER OF ACRES TO BE PRESERVED AS OPEN OR RECREATIONAL SPACE AND THE INTENDED USES OF SUCH SPACE
- ☒ ALL KNOWN NATURAL RESOURCES, NATURAL FEATURES, HISTORIC RESOURCES AND HISTORIC FEATURES; WHICH ARE TO BE PRESERVED
- ☒ A LISTING AND SPECIFICATION OF ALL SITE DEVELOPMENT CONSTRAINTS

PLANNED UNIT DEVELOPMENT CONCEPT DEVELOPMENT PLAN (CDP) CHECKLIST

THE FOLLOWING INFORMATION AND MATERIALS ARE NECESSARY FOR SUBMISSION. FOR A DETAILED DESCRIPTION OF REQUIRED ITEMS, SEE SECTION 11.06(C) OF THE ZONING ORDINANCE.

- ☒ REQUIRED FEE
- ☒ ONE (1) CD CONTAINING AN ELECTRONIC VERSION OF THE APPLICATION AND ONE (1) COPY OF THE DRAFT DEVELOPMENT AGREEMENT (PDF Format)

The application shall include TWO (2) hard copies of the following information and materials, which shall be in a plan format together with a narrative explanation.

- ☒ Date(s) and location of all meetings with representatives of adjoining neighborhoods, minutes and attendance record(s) of such meeting(s). [3/6/2025 at Somerset Collection North](#)
- ☒ Certified boundary survey including legal description of the property, scale drawing and the total number of acres in the project.
- ☒ *Development concept:* A summary explanation of the development concept shall describe the project and explain how the project will meet the intent of the PUD option as set forth in Section 11.01 and the criteria for consideration as a PUD as set forth in Section 11.03 hereof, as those sections reasonably apply to the site.
- ☒ *Density:* The maximum density of the overall project and the maximum density for each proposed use and phase.
- ☒ *Road system:* A general description of the road system and circulation pattern; the location of roads, entrances, exits and pedestrian walkways; a statement whether roads are intended to be public or private. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicle traffic congestion particularly as it pertains to the improvements along major roads.
- ☒ *Utilities:* A general description and location of both on-site and off-site utilities including proposed water, sanitary sewer, storm sewer systems and utility lines; a general indication of the size and location of stormwater detention and retention ponds, and a map and text showing off-site utilities, existing and proposed, which will provide services to the project.
- ☒ *Open space/common areas:* A general description of proposed open space and common areas; the total area of open space; the total area of open space in each proposed phase; the proposed uses of open space and common areas.
- ☒ *Uses:* A list of all proposed uses; the location, type and land area to be devoted to each use, both overall and in each phase; a demonstration that all of the proposed uses are permitted under this Article.
- ☒ *Development guidelines:* A plan of the site organization, including typical setback and lot dimensions; the minimum lot sizes for each use; typical minimum and maximum building height and size; massing models; conceptual building design; and the general character and arrangement of parking; fencing; lighting; berming; and building materials.
- ☒ *Parking and Traffic:* A study of the parking requirements and needs; a traffic impact study and analysis.
- ☒ *Landscaping:* A general landscaping plan; a landscape plan for entrances; a landscape plan for overall property perimeters; any theme/streetscape design; any proposed irrigation.
- ☒ *Natural resources and features:* Floodway/floodplain locations and elevations; wetlands and watercourses; woodlands; location and description of other natural resources and natural features.

**PLANNED UNIT DEVELOPMENT
CONCEPT DEVELOPMENT PLAN (CDP) CHECKLIST
(page 2)**

- ☒ *Phasing information:* The approximate location, area and boundaries of each phase; the proposed sequence of development, including phasing areas and improvements; and the projected timing for commencement and completion of each phase.
- ☒ *Public services and facilities:* A description of the anticipated demand to be generated by the development for public sewer, water, off-site roads, schools, solid waste disposal, off-site drainage, police and fire; a description of the sufficiency of each service and facility to accommodate such demands; the anticipated means by which any insufficient services and facilities will be addressed and provided.
- ☒ *Historical resources and structures:* Their location, description and proposed preservation plan.
- ☒ *Site topography.*
- ☒ *Signage:* General character and location of entrance and internal road system signage; project identification signage; and temporary or permanent signage proposed for any other locations.
- ☒ *Amenities.*
- ☒ *Zoning classification:* Existing zoning classifications on and surrounding the site.
- ☒ *Specification of deviations:* A specification of all deviations proposed from the regulations which would otherwise be applicable to the underlying zoning and to the proposed uses, which are proposed and sought for any phase or component of the Planned Unit Development; the safeguards, features and/or planning mechanisms proposed to achieve the objectives intended to be accomplished by any regulation from which a deviation is being sought.
- ☒ *Community impact statement:* A community impact statement, which shall provide an assessment of the developmental, ecological, social, economic and physical impacts of the project on the natural environmental and physical improvements on and surrounding the development site. Information required for compliance with other ordinance provisions need not be duplicated in the community impact statement.

**ALL HARD COPY DRAWINGS SHALL BE FOLDED, STAPLED, SEALED AND SIGNED
BY A STATE OF MICHIGAN PROFESSIONAL ENGINEER, REGISTERED ARCHITECT,
REGISTERED LANDSCAPE ARCHITECT, OR PROFESSIONAL COMMUNITY PLANNER**

PLANNING COMMISSION AGENDAS ARE ELECTRONIC

Project Vision

Somerset Collection West is intended to build on the rich heritage of the Somerset Collection and the Big Beaver Corridor.

With a strong sense of place and a mix of uses, Somerset West will be a unique destination for the local community, and the region.

A distinctive environment that focuses on walkability, open space, connectivity, and beautiful landscaping will highlight a blend of architecture consistent with the Somerset aesthetic.

Somerset West will be a regional destination supported by all aspects of good planning, unique architecture, open space, and sustainability to attract year-round activity and living.

Executive Summary

Somerset Collection West will be a destination for the local and regional communities alike. A mix of uses, including a world-class medical facility, highly amenitized residential living, food and beverage options and support services, will highlight the parcel of land formerly known as the Kmart Headquarters.

A carefully blended mix of medical office, residential, hospitality, service retail, food and beverage and health & wellness, will be a source of pride for local residents and the broader community.

This exemplary development promises to build on the rich history of the Somerset Collection and will certainly provide a stimulus to the Big Beaver Corridor. An increased tax base and a wide range of job opportunities, living options combined with the re-birth of an obsolete property will highlight the continuation of the development of the Big Beaver Corridor.

Somerset West will provide the City of Troy an unparalleled development that will include:

- Walkability for local residents and year-round community activities.
- Open space for residents, employees, and the community to enjoy.
- A mix of uses will highlight a generous amount of green space.
- Somerset West will be a catalyst for future investments and set a benchmark for further development along the Big Beaver Corridor.

Somerset West is designed to take advantage of its premier location by building a mix of uses in a highly intended active blend of open space connecting all its uses at urban/suburban scale.

Amenities

A world-class healthcare facility developed by University Michigan Medicine, which is their first endeavor into Oakland County. University of Michigan Medicine currently does not have a facility east of I-275, this facility will service Oakland County and save patients countless hours of not having to travel to and from Ann Arbor. It will also provide much needed employment opportunities for highly educated and a highly skilled workforce. The site will be a walkable live, work, and play community with a generous park and open spaces. The park will have unlimited programming opportunities and over an acre of green space, it will serve as a meeting place for many. The site will have world class landscape design, contemporary street and pedestrian lighting and public seating. Residential components will complement the medical facility and consist of several opportunities of best in class rental units and for sale units. Best in class dining will complement the Somerset Collection to the east with outdoor dining opportunities and generous sidewalks to contribute to a world class develop.

Land Use

Somerset West PUD provides a wide variety of uses arranged horizontally and vertically to ensure compatibility with the PUD and the adjacent neighbors. A community park setting with pedestrian access surrounded by medical treatment facility and office, retail shops, offices, restaurants, fitness center, hotel, and residences of varying types. Uses shall be located in appropriate locations on the site, per the Use Diagram.

Permitted Use

Office Uses (Up to 500,000 square feet)

- General, professional, medical treatment facility, ambulatory care center with multiple medical specialties, and medical offices (including, but not limited to clinics, laboratories, and offices for similar professions, including veterinarians)
- Research facility.
- Financial institutions, such as banks or credit unions, drive through windows are permitted at one facility.
- Publicly owned and operated facility, including post office, libraries, museums, community and meeting, government offices, meeting, facilities, and recreation facilities.
- Schools, including university.
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient.

Retail Uses (Up to 300,000 square feet)

- General and specialty retail, including, but not limited to the following:
- Professional convenience services such as salons, spas, retail dry cleaners.
- Sales of hard and soft goods and other merchandise such as apparel, crafts, electronics, gifts, home furnishing, medical supplies, toys, pharmaceuticals, limited to 20,000 SF per floor.
- Food Stores such as grocery store and specialty or gourmet markets, bakery, flowers shops, shops, nursery, delis, coffee shops, cafés, etc.
- Full-service restaurants, bars, breweries, and distilleries.
- Restaurants – takeout, coffee, shops, ice cream shops, deli, or café (drive-through windows are not permitted)
- Entertainment uses – cinemas, live theaters, performing arts center, indoor recreation, billiard halls, and dance studios.
- Accessory structures and uses customarily incidental to the listed uses, and otherwise compatible with a pedestrian orientation environment, such as temporary and permanent outdoor pavilions, plazas, outdoor seating, outdoor performance stages, kiosk, sales stands, mobile sales cards, outdoor café, seating, food trucks, to be approved administratively.
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient.

Residential Uses (Up to 750 units)

- Multifamily Buildings (Condominiums Apartments)
- Townhomes and lofts
- Live work units
- Senior housing (independent and assisted-living)
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient.

Hotel Uses (Up to 250 rooms)

- Hotel
- Similar uses to the above, consistent with the intent of this PUD, as determined by the Planning Commission, provided parking is sufficient.

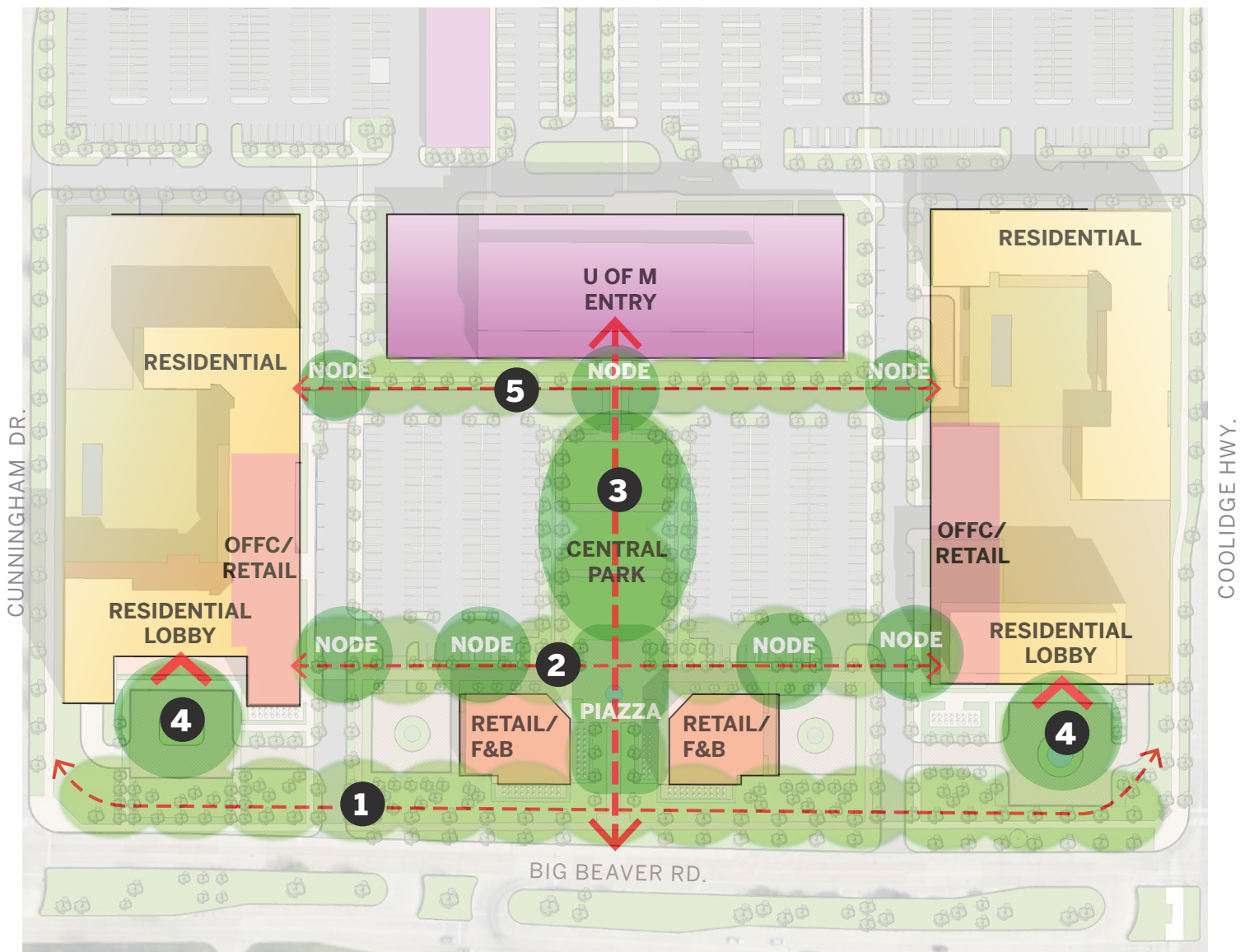
Public Benefit and Public Impact Statement

The Somerset West PUD will offer a best in class healthcare facility by University Michigan Medicine, which is currently not available in Oakland county. The public benefit of a medical facility by the University of Michigan is unmeasurable and will have a positive impact on the health and well-being of hundreds of thousands City of Troy and Oakland County residences. Not to mention the removal of a blighted 975,000 square foot building, parking structure and surface lots. The development will provide increased tax revenue for The City of Troy, Oakland County and The State of Michigan. This development will provide a one of a kind live, work, and play environment not currently found in southeastern Michigan, with best in class for rent apartments, best in class for sale condominium units and best in class dining options.

Design and Place Making

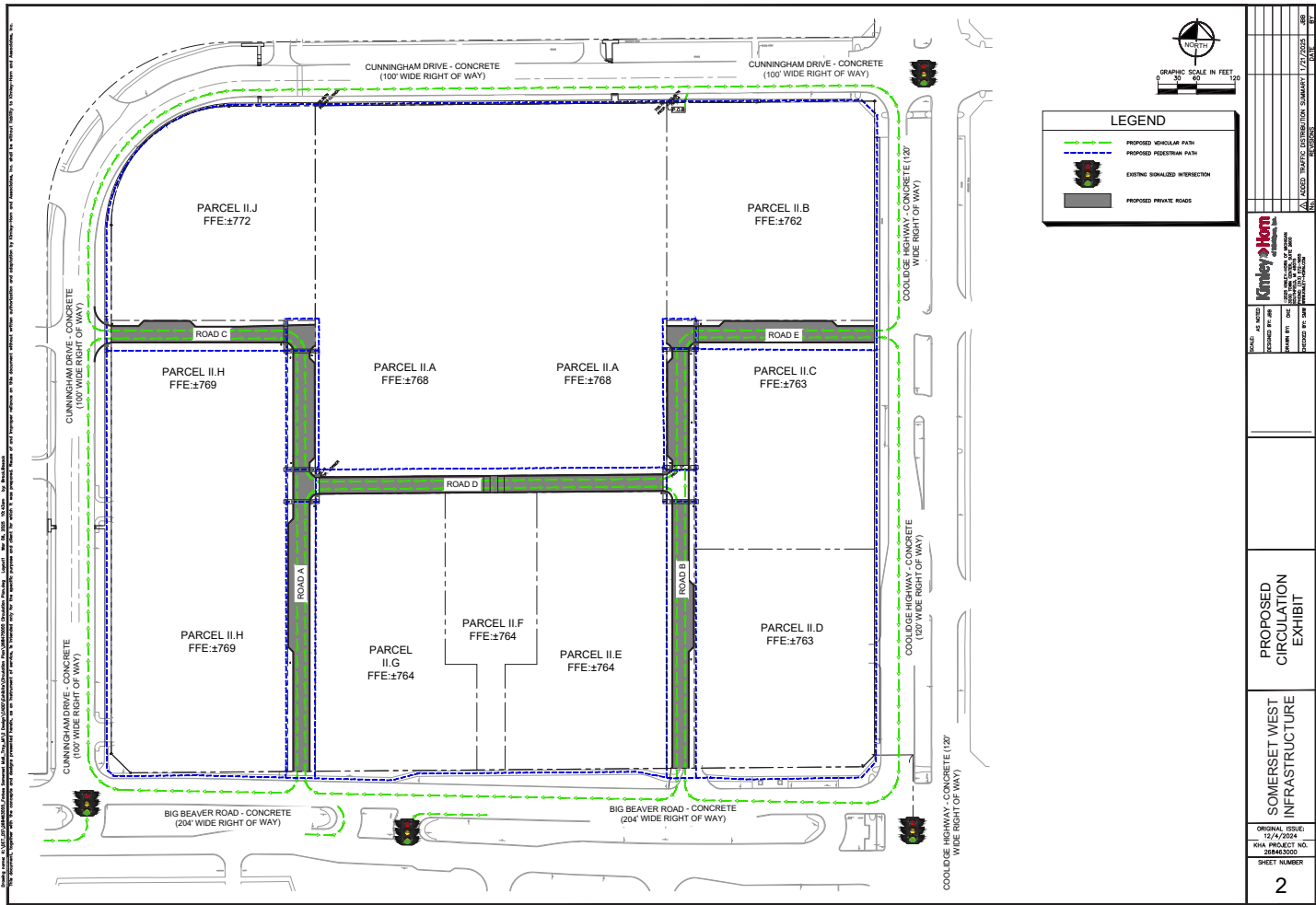
The design ideas of the master plan will focus on creating vibrant “nodes” of activity with an identifiable character. The development allows both residents and guest to meet several daily needs, emphasizing walkability and connectivity.

1. Big Beaver Landscape Corridor
2. Promenade / Restaurant Row – East-West connection with intermediate landscaped nodes and center piazza
3. Central Park / Pedestrian Spine – North-South connection from piazza through central park to university of Michigan medical facility entry
4. Landscaped Drop Off Zones – Residential Drop Off Zones set back from Big Beaver Road
5. Residential Walk – University of Michigan medical facility entry court and east-west residential connector

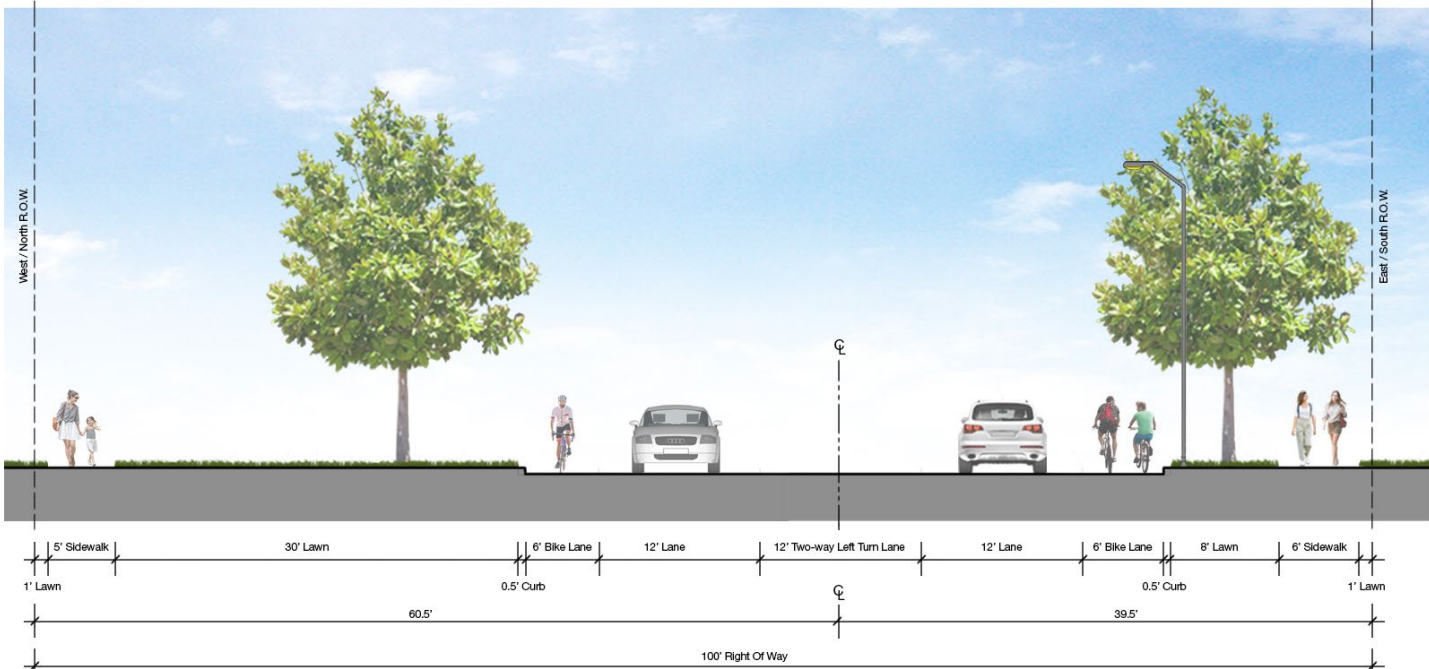
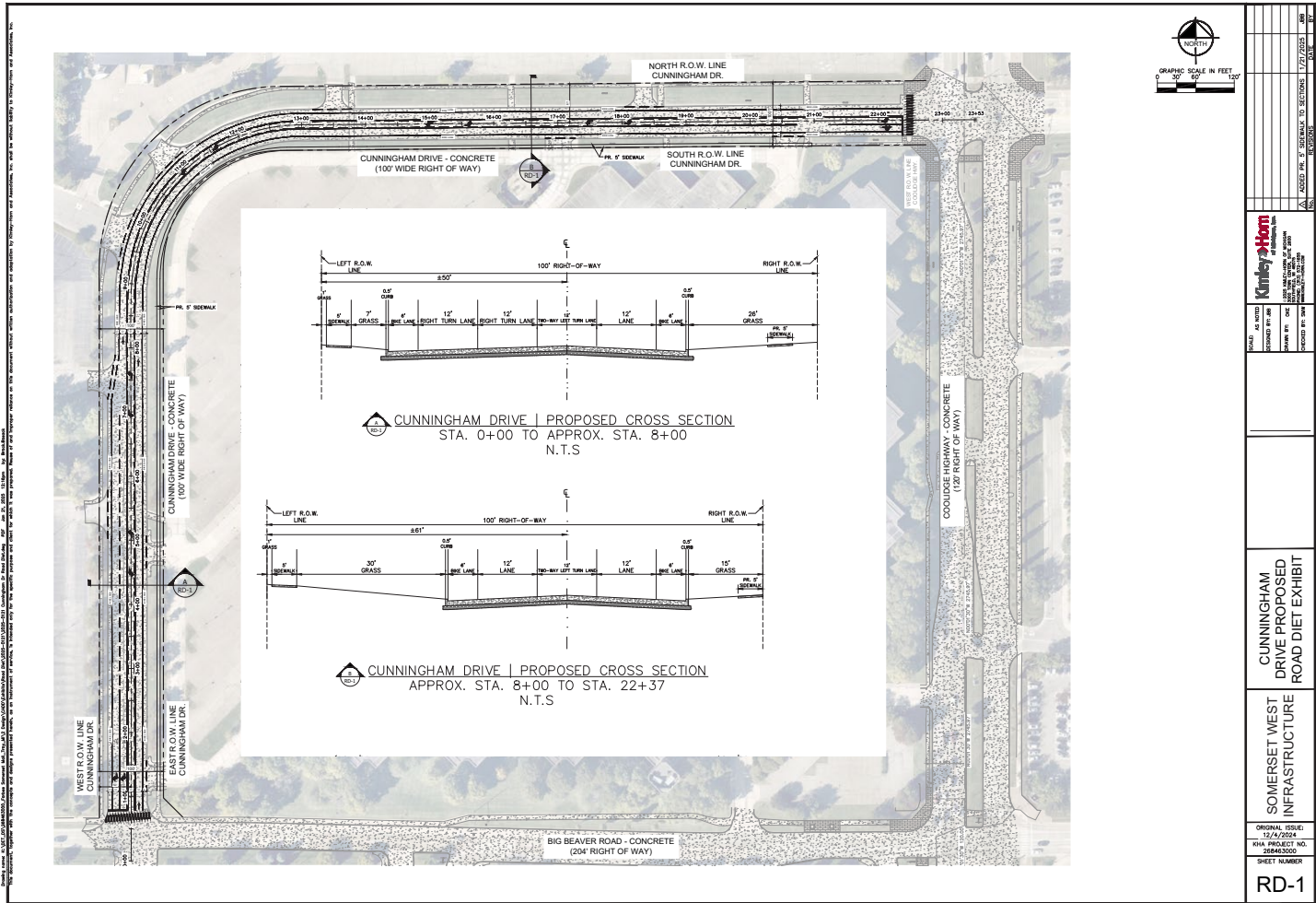


Site Circulation

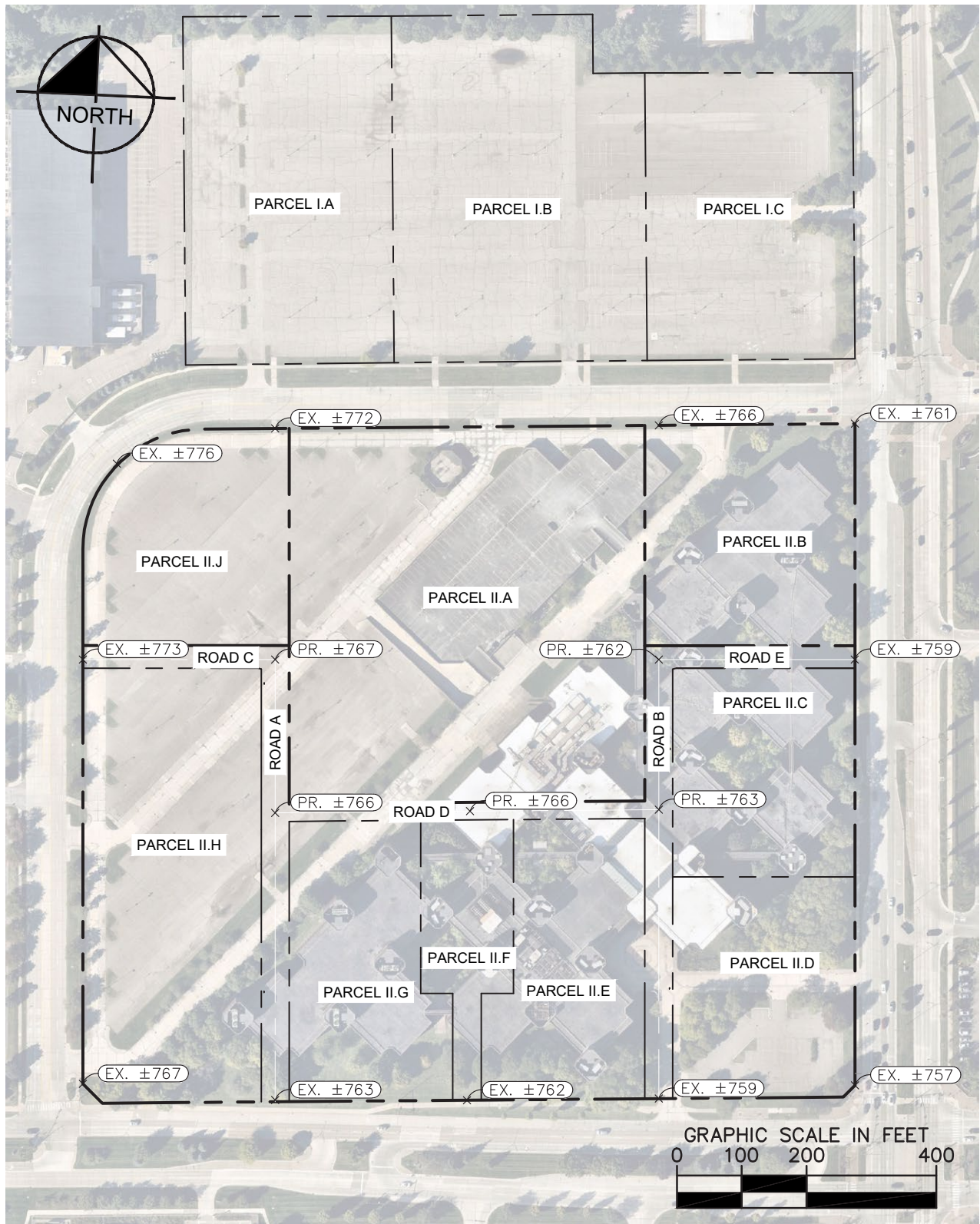
Site-generated traffic is expected to predominantly (80%) approach the site via the Big Beaver corridor. Approximately 20% of site-generated traffic is expected to approach the site via Coolidge Highway. The distribution assumptions are based on a review of surrounding land uses, prevailing traffic volumes/patterns, characteristics of the street system, and the ease with which motorists can travel over various sections of that system. The internal site circulation plan provides connectivity between uses, promotes pedestrian activity, and emphasizes a park environment for residents, employees, and visitors to visit multiple uses in a single trip.



Cunningham Drive Proposed Cross Section



Cross Section B (Above)



SHEET
NUMBER

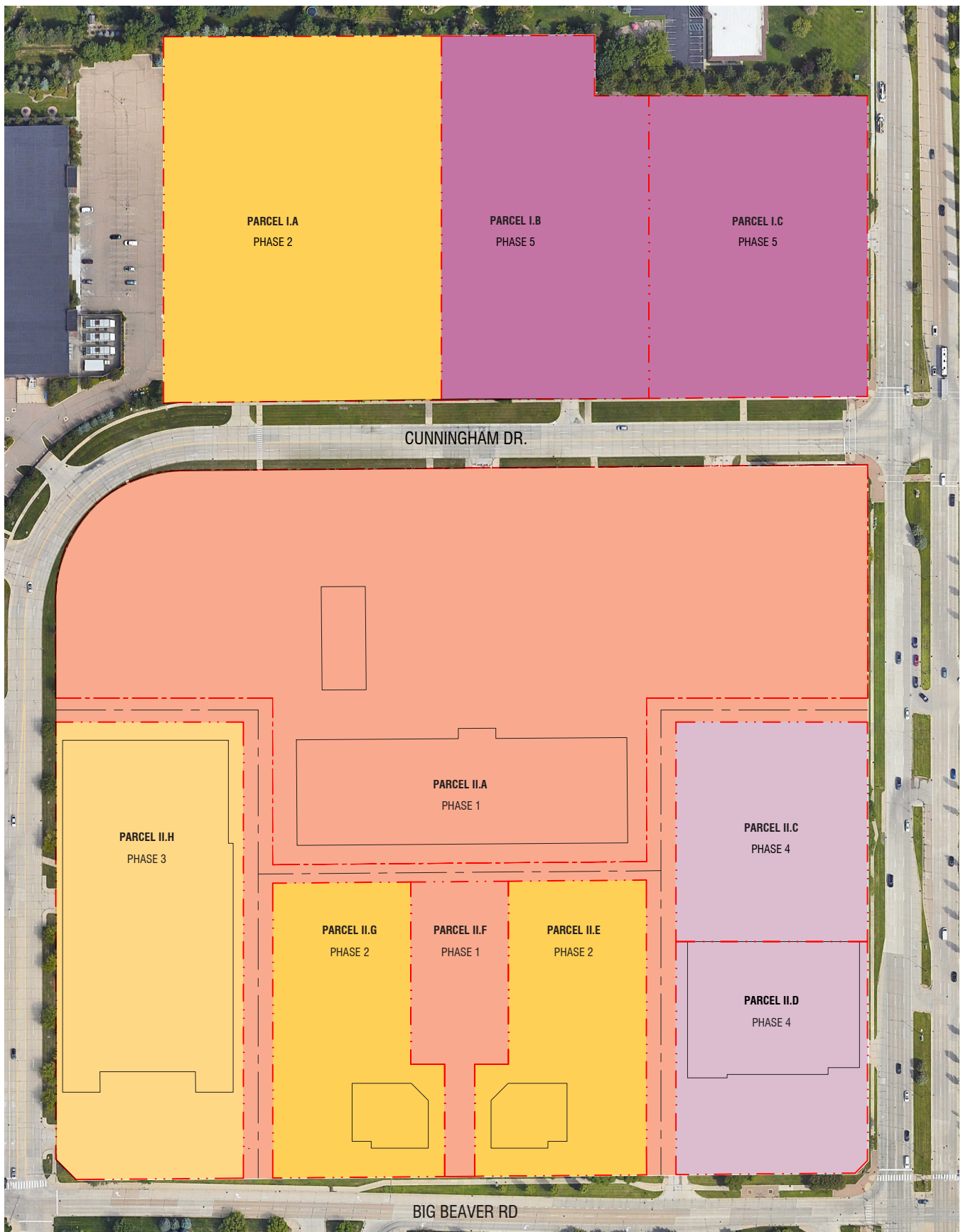
1

PUD TOPOGRAPHIC PLAN

SOMERSET WEST

Kimley»Horn

© 2025 KIMLEY-HORN OF MICHIGAN
 3000 TOWN CENTER, SUITE 2600, SOUTHFIELD, MI 48075
 PHONE: 313-572-1560
 WWW.KIMLEY-HORN.COM



Phase 1 (Applicant seeks concurrent PDP Approval for Phase 1 with CDP Approval)

Phase 2

Phase 3

Phase 4

Phase 5

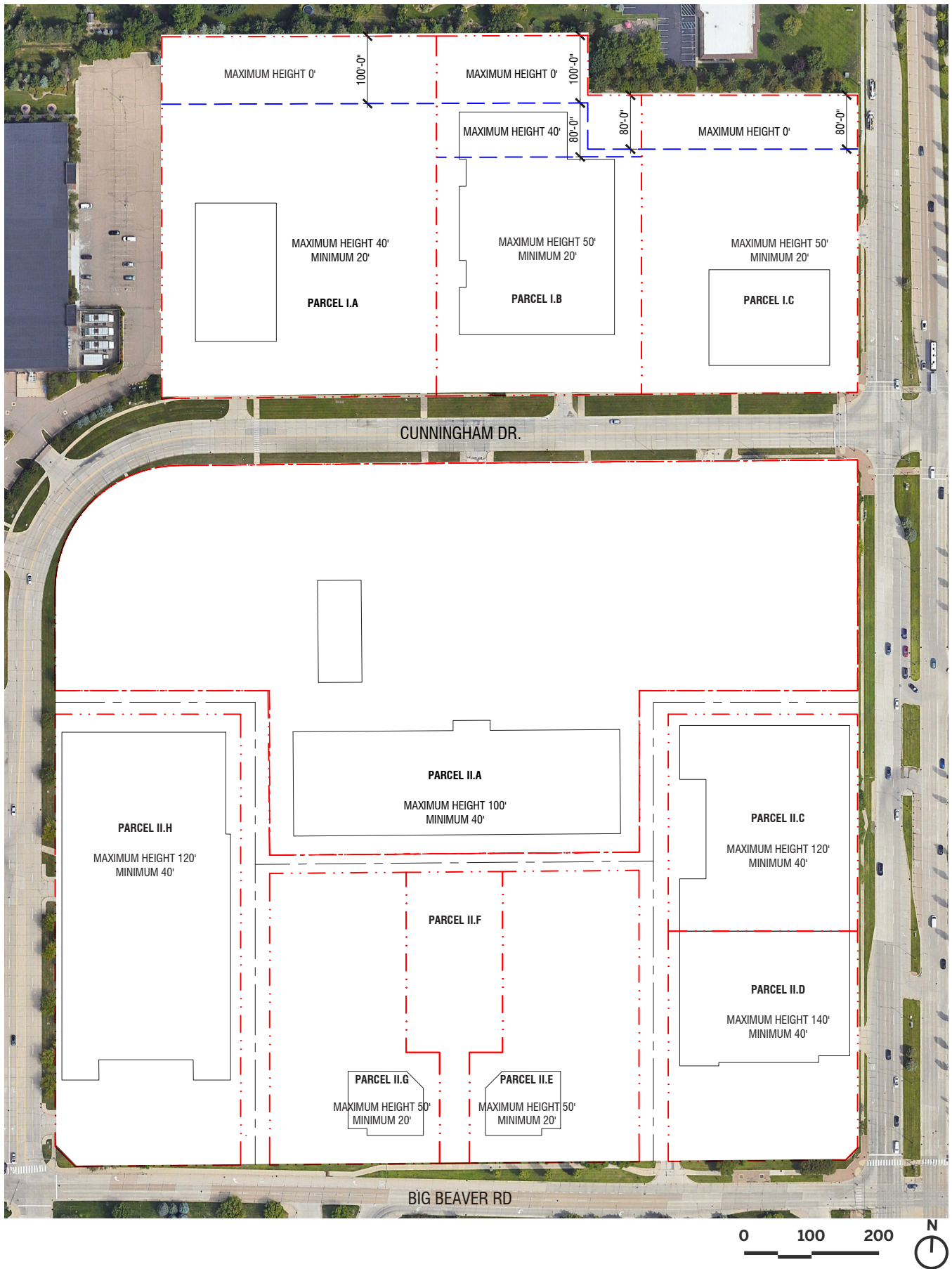
0

100

200

N

Phasing Diagram

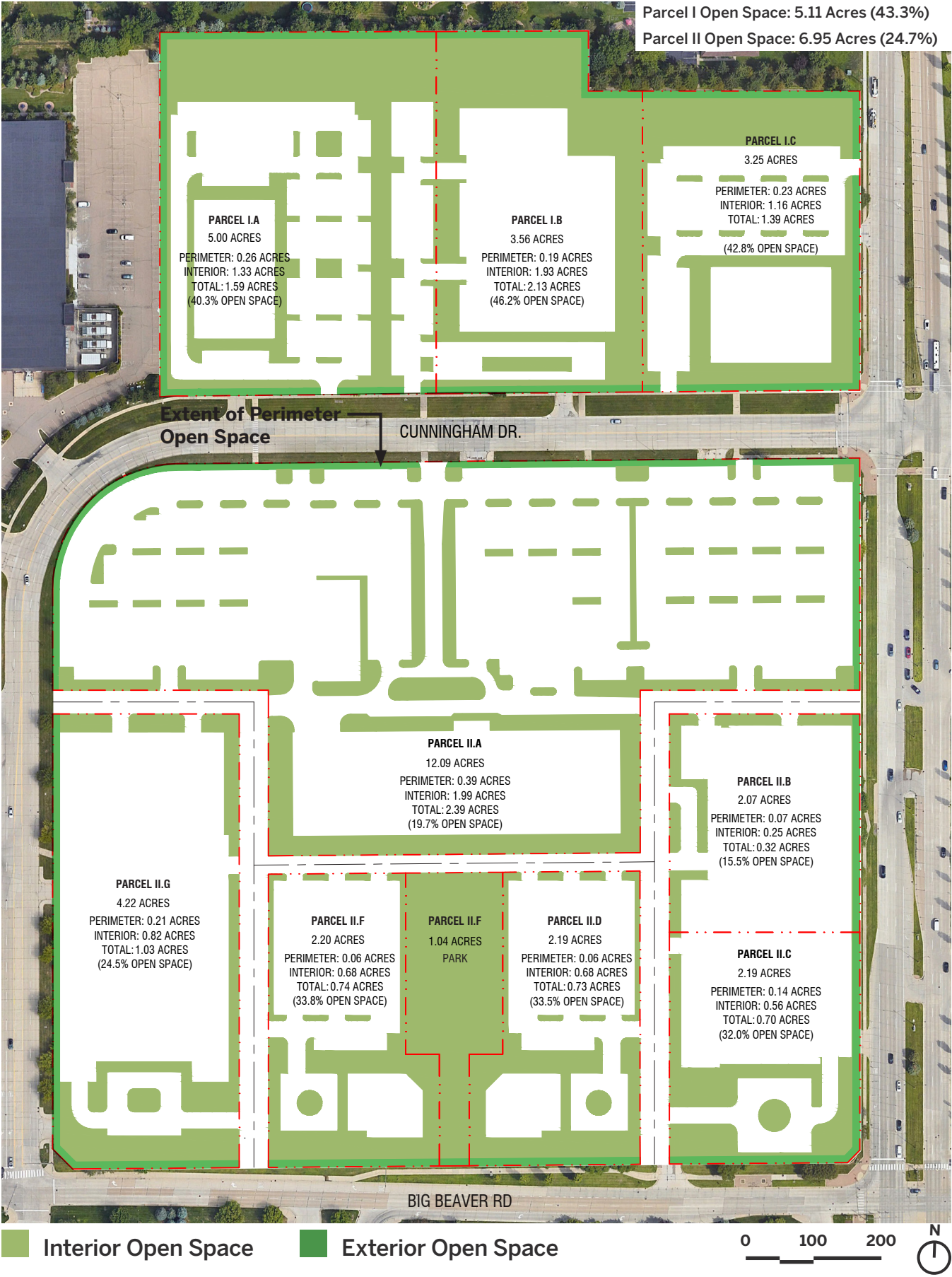


Height Diagram



3D Height Diagram

Open Space elements will be provided throughout the entire site. Open Space will exceed the minimum 15% requirement of the Big Beaver Zoning District



Open Space Diagram



1. Masonry
(Red Brick)



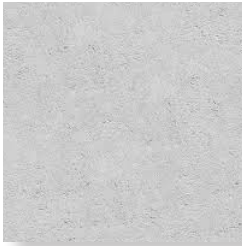
2. Masonry
(Brown Brick)



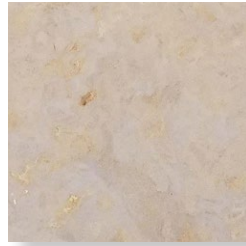
3. Masonry
(Charcoal Brick)



4. Masonry
(White Brick)



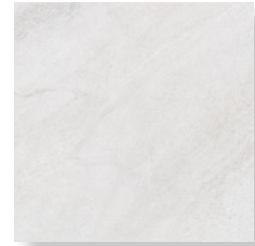
5. Cast-In-Place or
Precast Concrete
(Light Gray)



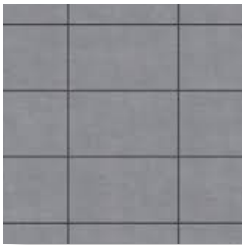
6. Stone
(Cream)



7. Stone
(Light Gray)



8. Stone
(Off White)



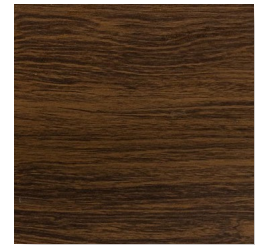
9. Metal
(Gray)



10. Metal
(Dark Gray)



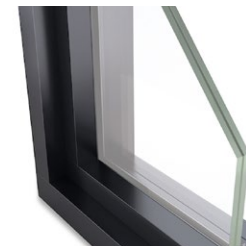
11. Wood
(Light Brown)



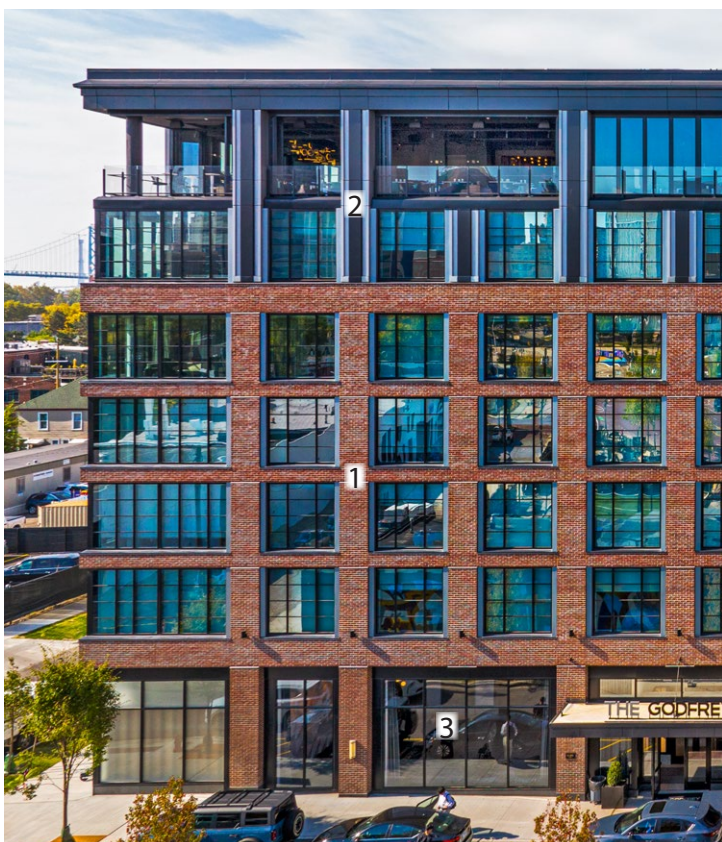
12. Wood
(Brown)



13. Fiber
Cemente



14. Glass



Architectural Characteristics and Materials

The general architectural character will reflect the fine qualities and traditions in the City of Troy and neighboring communities. Each structure will have its own identifying architecture that will work in harmony with buildings throughout the PUD to provide a cohesive and pleasant visual appearance. Building façade characteristics will offer a high degree of three dimensionality; scale and proportions suitable for each use; shade and shadow; and textures found in best-in-class architecture.

Building architecture to comply with the Big Beaver Corridor standards, however the City Council based on recommendations from the Planning Commission may waive certain requirements in lieu of good architectural design and quality materials.

Note Key:



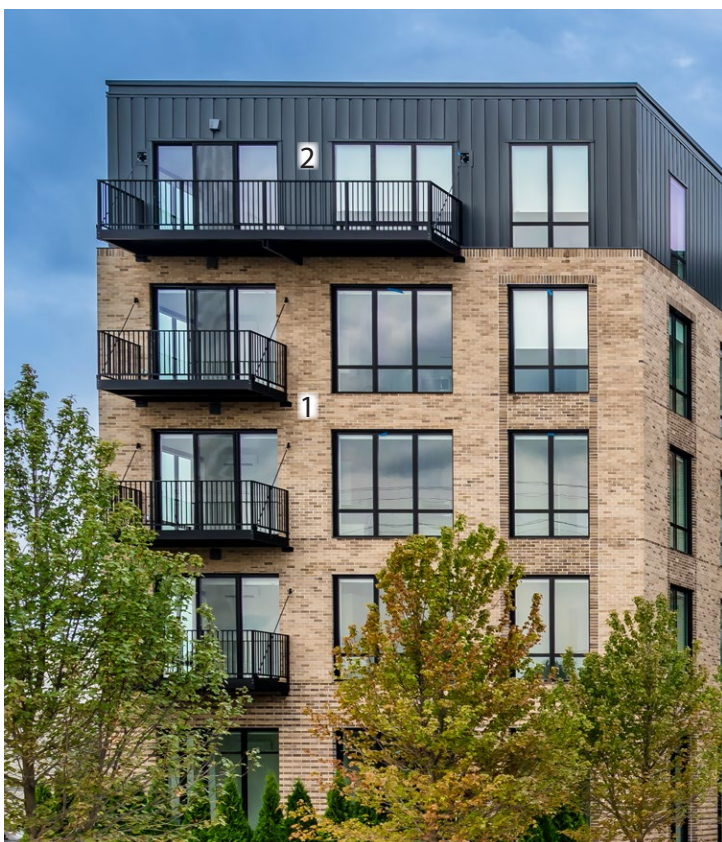
1. Masonry



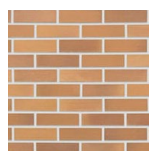
2. Metal



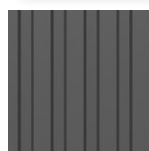
3. Glass



Note Key:



1. Masonry



2. Metal



Note Key:



1. Metal



2. Fiber Cement



3. Glass



Note Key:



1. Masonry



2. Glass





Note Key:



1. Metal



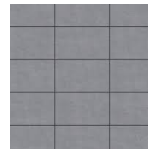
2. Wood



3. Glass



Note Key:



1. Metal



2. Glass

Architectural Characteristics

SOMERSET WEST › THE FORBES COMPANY
ELKUS MANFREDI ARCHITECTS › MARCH 7, 2025



Note Key:



1. Masonry



2. Wood



3. Glass



Note Key:



1. Precast
Concrete



2. Glass

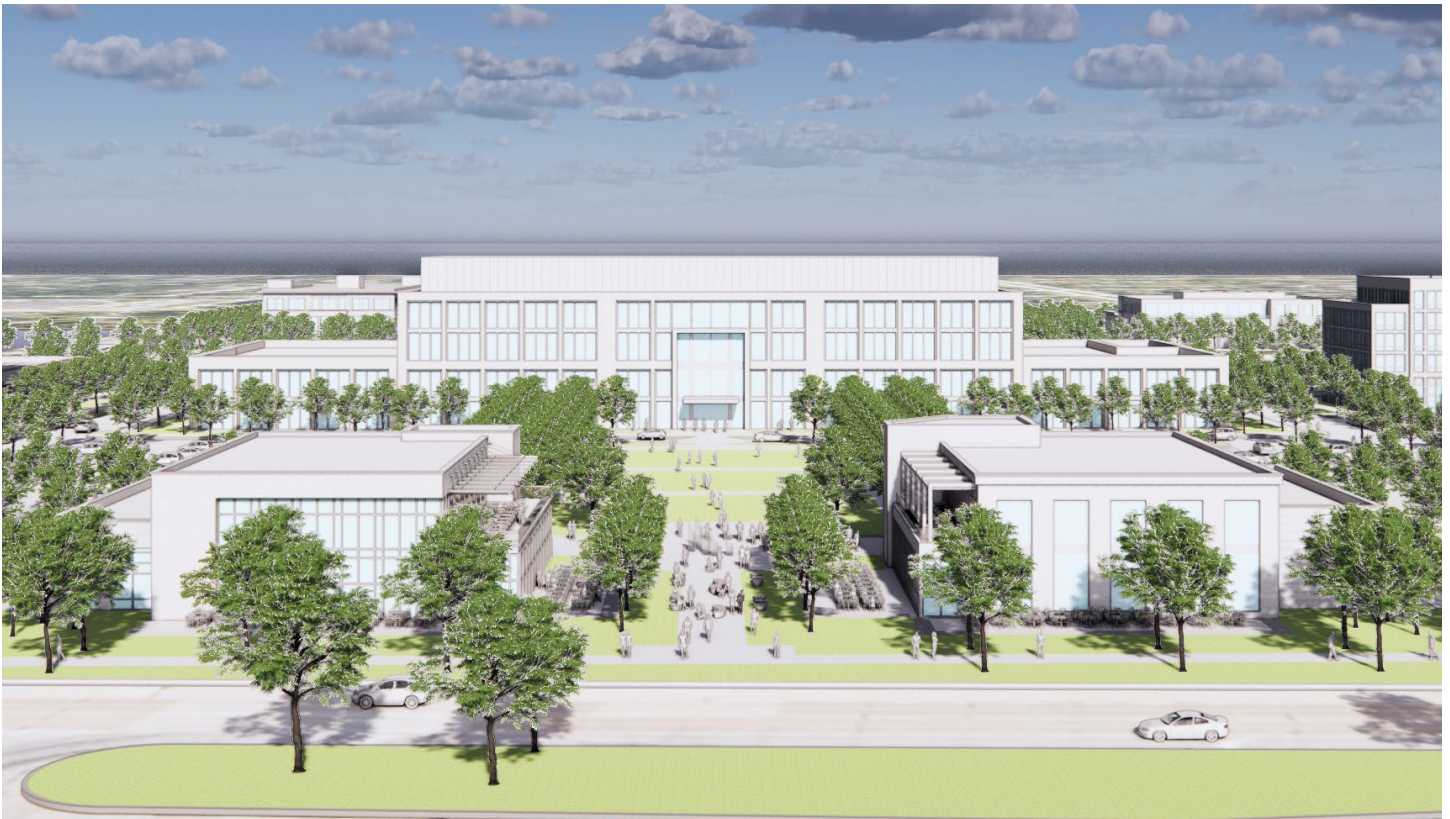


Aerial Looking Northwest



Aerial Looking North

Overall Views



Aerial Looking North



Pedestrian Spine Looking North

Center Pedestrian Spine Views

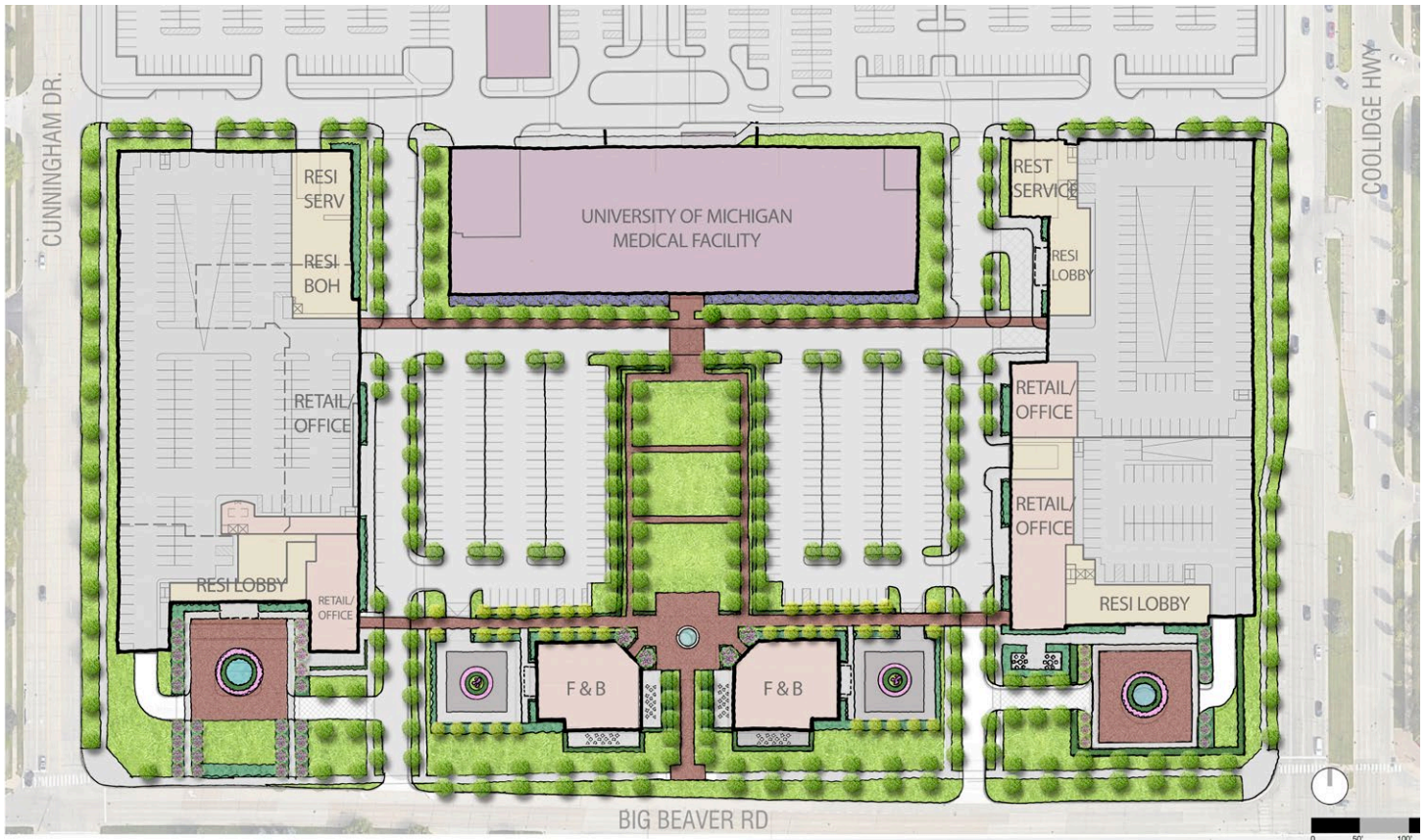


Piazza Looking Northeast



Piazza Looking Southwest

Piazza Views



Landscape Design Aesthetic

The general landscape design aesthetic throughout the site will be one that is cohesive, unifies the site and complements the architecture. A mix of deciduous shade and ornamental trees, evergreen trees, shrubs, perennials, annuals, and groundcovers will be utilized to provide an organizing framework with seasonal interest throughout the site.



Plant Material

Evergreen and/or deciduous hedges will be incorporated to screen potentially objectionable views into parking lots and service areas and help define pedestrian / vehicular zones. Various plant types will be included to complement the character of the buildings. The landscape will include plant materials that are hardy to the Midwest region, utilizing native plants where appropriate. Planting materials will be specified to help conserve water.

Tree and shrub sizes will meet or exceed the minimum city standards. The size, quantity and spacing will be appropriate for the location in the initial placement and its projected appearance at maturity.



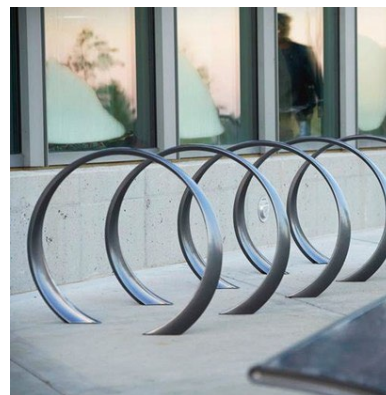
Open Park Space

A central open park space will be provided within the development to provide opportunities for residents, business employees, and visitors as well as the general public to enjoy a moment of respite during the day or experience a multitude of programmed or non-programmed activities during the evenings and /or weekends. The large, central, open park area will allow for flexibility in programming and usage of the park. The park will consist of appropriately scaled pedestrian walkways, lighting and trees for shade and scale. A hedge will line the outside perimeter of the park to help define the edges between pedestrian and vehicular zones as well as screen views into the adjoining parking lots. Both intimate as well as more interactive seating opportunities will also be incorporated throughout the park.



Site Furnishings

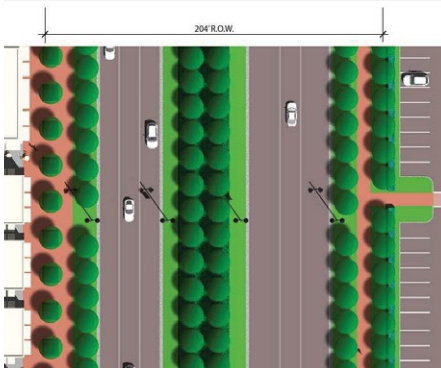
Pedestrian scaled site furnishings will be located strategically throughout the site and align with other elements along the streets and within the park. Seating will be durable, comfortable, attractive, anchored, and easy to maintain. A variety of bench types, low seat walls or other seating types will be provided in public and common spaces. Trash receptacles will be conveniently located near benches and other activity nodes, but not immediately adjacent to seating. Trash receptacles, bike racks and other potential site amenities will be of similar product family or style and will be complementary with the street lighting.



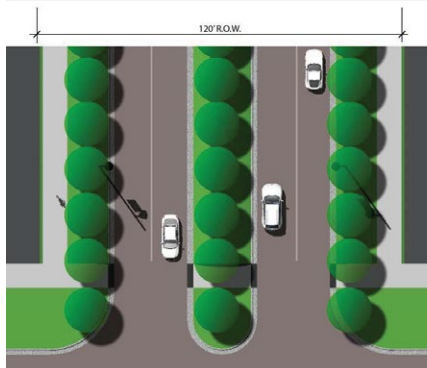
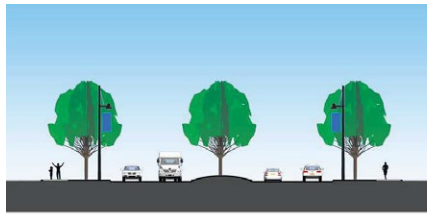
Greenbelts

Greenbelt landscape will be provided along Big Beaver Rd., Coolidge Highway, and Cunningham Drive per city ordinance. These greenbelts will be developed to follow the intent of The Big Beaver Design Guidelines and provide visual relief and interest for the development.

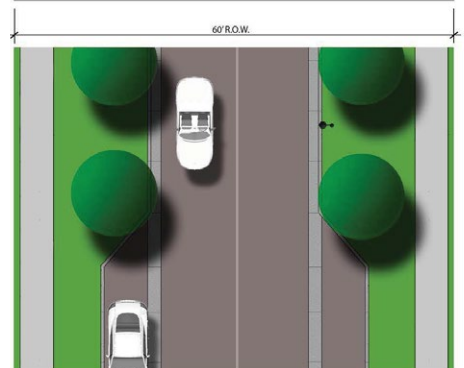
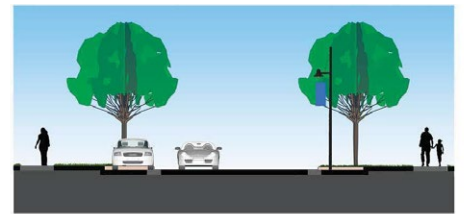
- **Big Beaver (Primary Corridor A - 204' ROW)**- A double row of large shade trees will line both sides of the widened sidewalk along the north side of Big Beaver to help create a unified aesthetic along Big Beaver, toward transforming the road into a world-class blvd.
- **Coolidge Highway (Arterial Road – 120' ROW)** – A single row of large, shade trees to help buffer, soften and scale down the buildings and parking deck will line Coolidge Highway. Shrub plantings will be installed along the base of the buildings and parking deck to soften and present a more pedestrian scale feel along the roadway and sidewalk.
- **Cunningham Drive (Collector Road – 60' ROW)** – A single row of large, shade trees to help buffer, soften and scale down the buildings and parking deck will line Cunningham Drive. Shrub plantings will be installed along the base of the buildings and parking deck to soften and present a more pedestrian scale feel along the roadway and sidewalk.



Primary Corridor A



Arterial Road



Collector Road

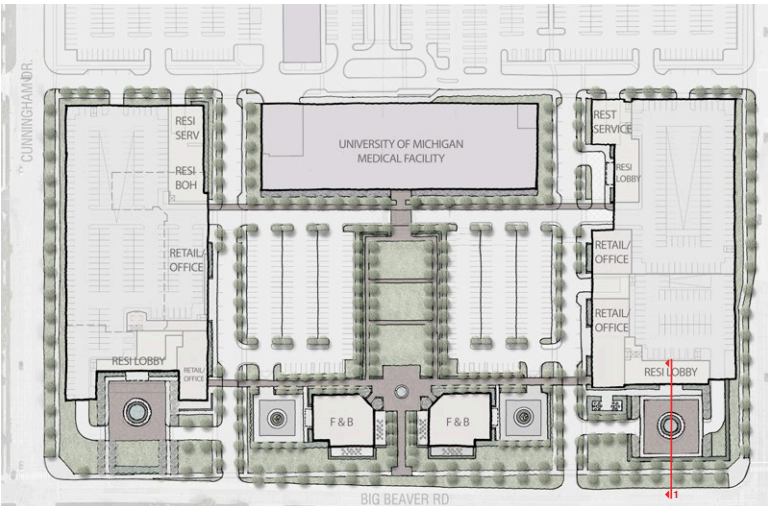
All greenbelts will include appropriately scaled sidewalks, landscaping, lighting, and street amenities consistent with the Big Beaver Design guidelines.

Thoughtful consideration will be used in addressing the views into the site from the major intersections and roadways. Key views into the site will occur at the intersections of Coolidge Highway and Big Beaver Rd. as well as Cunningham Dr. and Big Beaver Rd. to help connect the residential developments to the surrounding community. A purposeful opening in the landscape will also occur mid-block along Big Beaver Rd. to allow for visual and pedestrian connections deep into the site and up to the proposed U of M medical facility.



Note Key:

1. Double Row of Shade Trees in Lawn Along Big Beaver Road
2. 8' Wide Concrete Sidewalk
3. Center Island Landscape - Mix of Evergreen, Deciduous, and Ornamental Plants
4. Low Evergreen Hedge to Screen Parking Areas
5. Shade Trees Along Entry Drive Aisle Beyond
6. Ornamental Building Foundation Plantings



Key Map

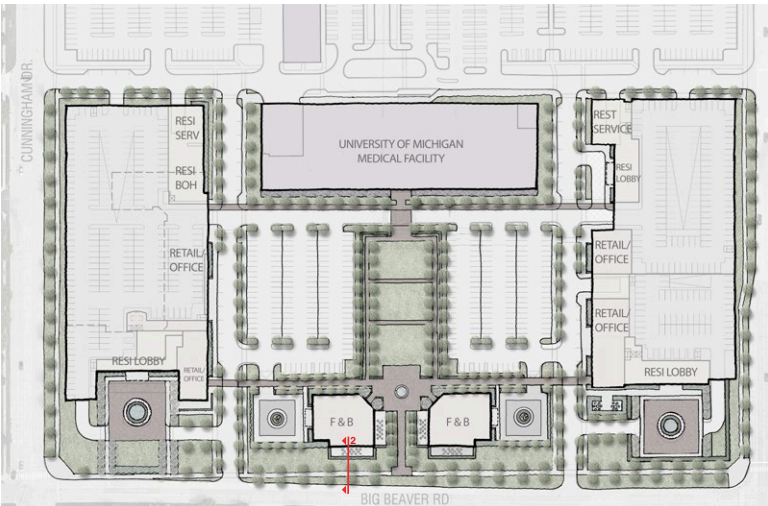
General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



Note Key:

- 1. Double Row of Shade Trees in Lawn
- 2. 8' Wide Concrete Sidewalk
- 3. Evergreen / Deciduous Hedge with Ornamental Foreground Plantings
- 4. Outdoor Seating / Dining
- 5. Restaurant



Key Map

General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

Section 2
Restaurant Terrace | Big Beaver Rd.

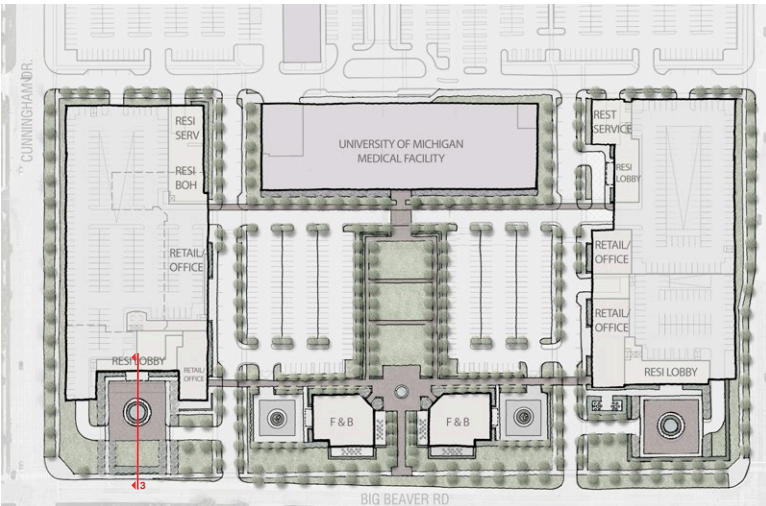


Note Key:

- 1. Shade Trees Beyond
- 2. 8' Wide Concrete Sidewalk
- 3. Evergreen / Deciduous Hedge with Ornamental Foreground Plantings
- 4. Ornamental Foundation Plantings
- 5. Center Island Landscape - Mix of Evergreen, Deciduous, and Ornamental Plants

Residential / Restaurant Drop-off Zones

All drop off zones will be landscaped to provide a welcoming environment. Ornamental trees, shrubs, perennials, annuals, and groundcovers will be incorporated to provide scale and seasonal interest.



Key Map

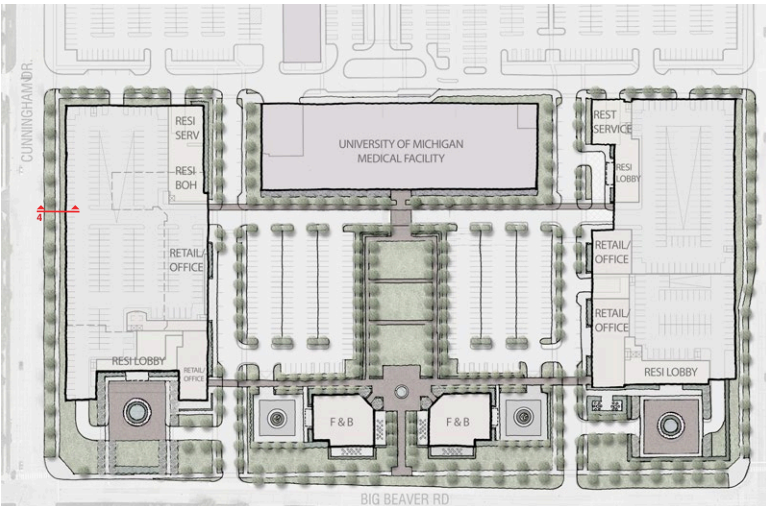
General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



Note Key:

- 1. Single Row of Large Shade Trees in Lawn
- 2. Minimum 5' Wide Concrete Sidewalk
- 3. 6' Wide Bike Lane
- 4. Foundation Plantings
- 5. Existing Street Lighting



Key Map

General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



Note Key:

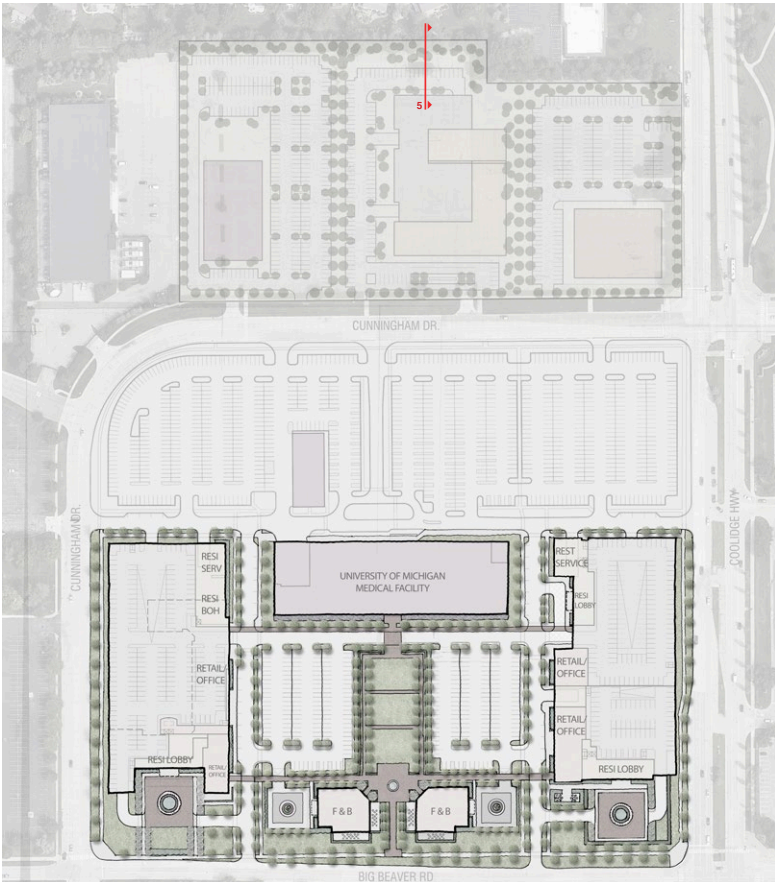
- 1. Mix of Existing Deciduous and Evergreen Trees on Berm
- 2. Mix of Shade and Understory Trees in Lawn
- 3. Future Building and Foundation Plantings

General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

Northern Buffer Zone

Currently the site has a landscaped berm on the north end of the site adjacent to the residential neighborhood. The berm will be maintained, and additional plantings will be added, if required, in accordance with the current zoning ordinance. A 100-foot set back from the property line to the face of any proposed buildings will be implemented relative to residential houses. A 40-foot set back from the property line to the building face of any proposed buildings will be implemented relative to the existing church.

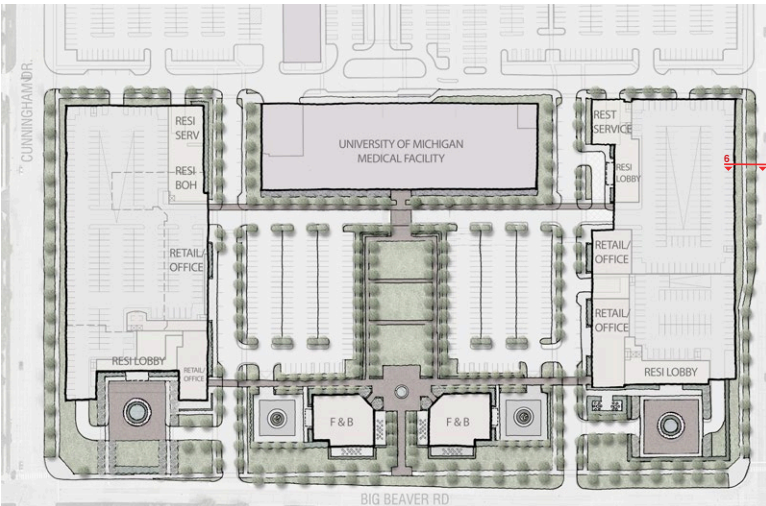


Section 5
Northern Buffer Zone



Note Key:

- 1. Single Row of Large Shade Trees in Lawn
- 2. 8' Wide Concrete Sidewalk
- 3. Foundation Plantings



Key Map

General Note:

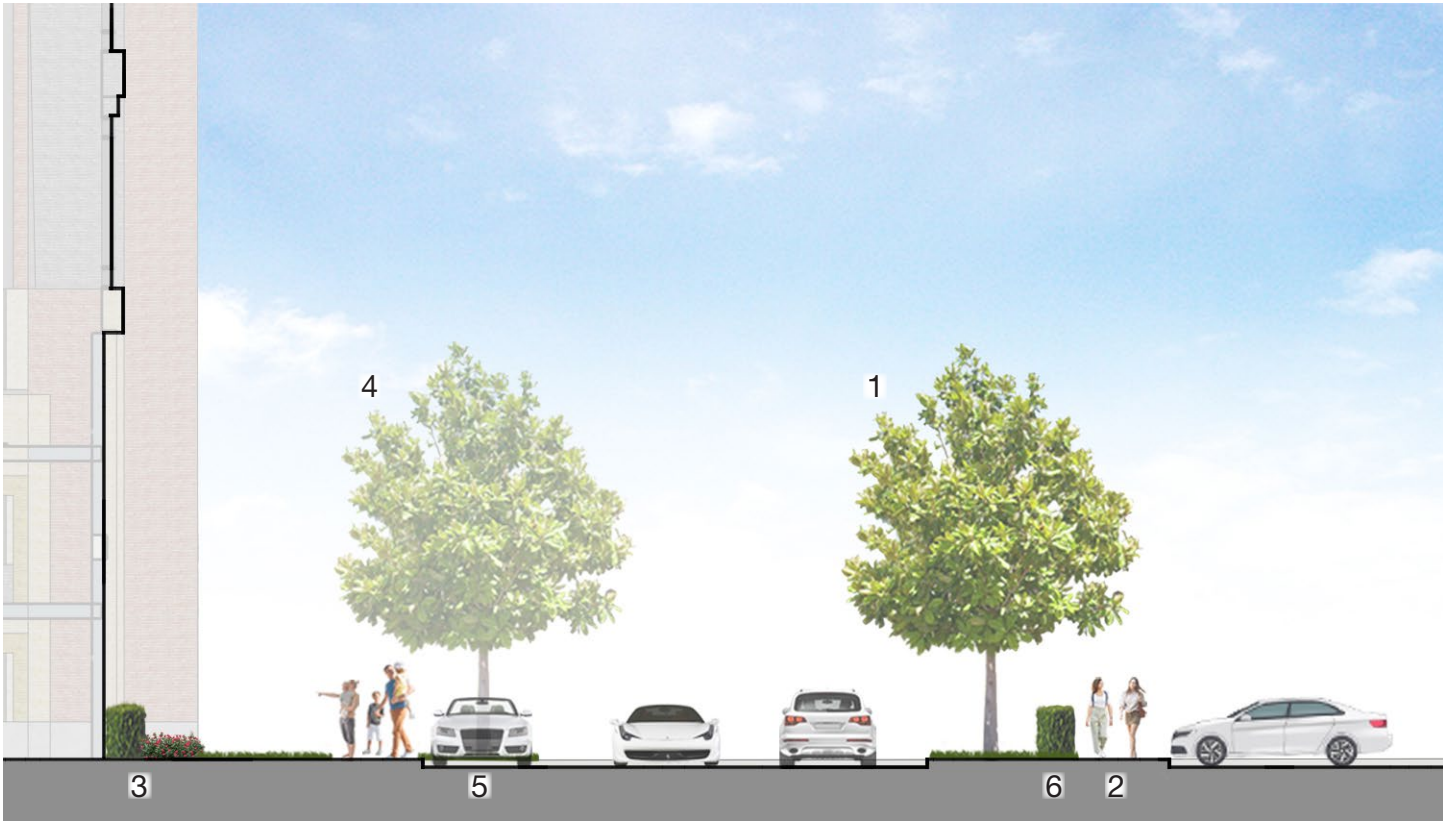
All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



Interior Streetscapes

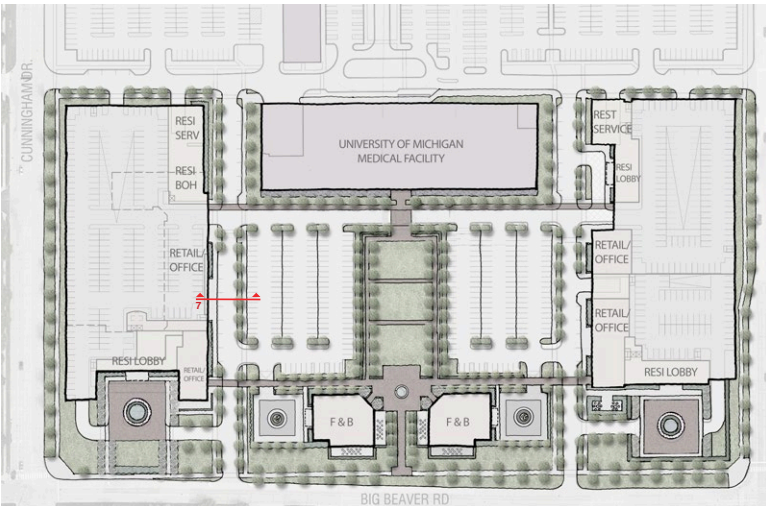
The development's interior streetscape will integrate trees, site furnishings and pedestrian scaled street lighting to create a unified design. Street trees and plantings will be used in locations to provide scale and unify pedestrian areas. Sidewalks will be a generous eight feet wide with street trees planted in lawn buffer zones adjacent to the street to separate pedestrians from vehicular traffic. In locations where parallel parking occurs, sidewalks will abut the parking areas to allow for clear access in and out of vehicles.





Note Key:

- 1. Single Row of Large Shade Trees in Lawn
- 2. Minimum 6' Wide Concrete Sidewalk
- 3. Ornamental Foundation Plantings
- 4. Street Trees Beyond
- 5. Parallel Parking
- 6. Evergreen Hedge to Screen Parking



Key Map

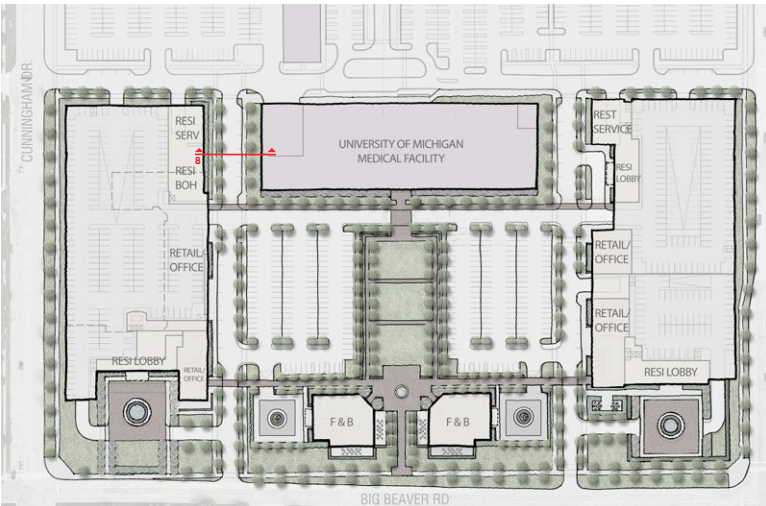
General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



Note Key:

- 1. Single Row of Large Shade Trees in Lawn
- 2. Minimum 6' Wide Concrete Sidewalk
- 3. Ornamental Foundation Plantings
- 4. Street Tree Beyond
- 5. Parallel Parking
- 6. University of Michigan Medical Facility



Key Map

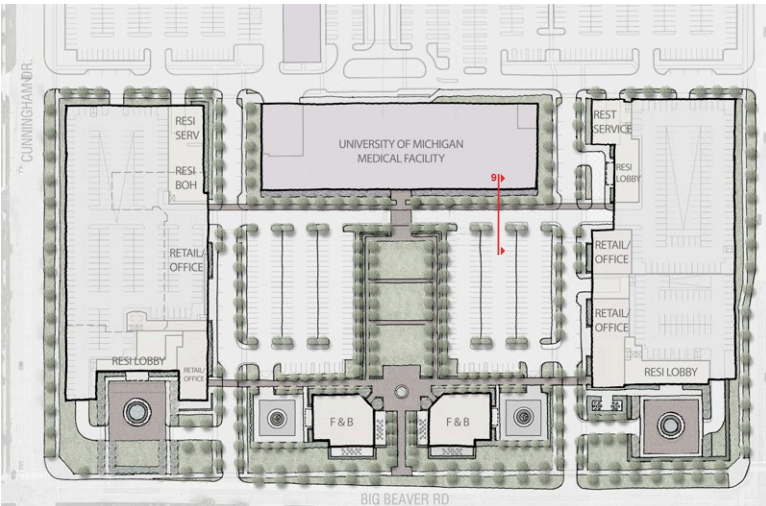
General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines



Note Key:

1. Single Row of Large Shade Trees in Lawn
2. Minimum 6' Wide Concrete Sidewalk
3. University of Michigan Medical Facility
4. Ornamental Foundation Plantings
5. Large Shade Trees and Lawn in Parking Lot Islands
6. Street Trees Beyond
7. Parking Lot



Key Map

General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

Section 9 **Typ. Interior Streetscape**

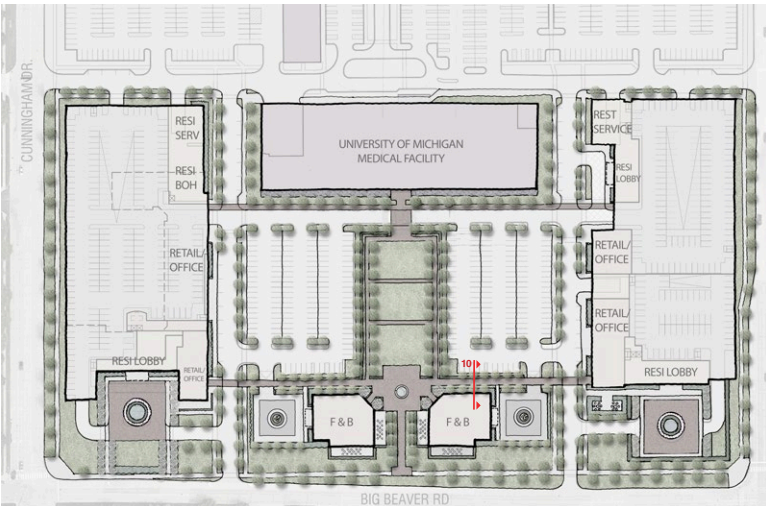


Note Key:

- 1. Double Row of Shade Tree
- 2. Specialty Sidewalk Paving Along Promenade
- 3. Evergreen Hedge to Screen Parking
- 4. Ornamental Foundation Plantings
- 5. Pedestrian Lighting
- 6. Seating Along Promenade
- 7. Restaurant

Sidewalk and Specialty Paving

Sidewalk paving throughout the development will incorporate typical medium broom finished concrete. Key intersection crosswalks, the promenade, plaza, and residential building entrances will consist of a variety of specialty paving materials, ranging from exposed aggregate concrete to clay brick or precast concrete pavers. Varying patterns and materials will help distinguish pedestrian passageways and gathering spaces to create interest, emphasize entries and differentiate use areas.



Key Map

General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

Section 10
East/West Pedestrian Promenade

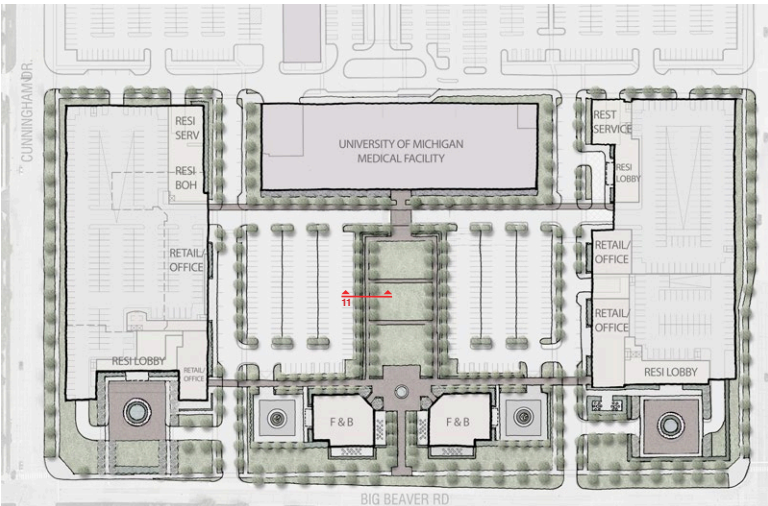


Note Key:

1. Double Row of Large Shade Trees in Lawn
2. Minimum 6' Wide Sidewalk
3. Evergreen Hedge to Screen Parking
4. Open Lawn Park Space

Parking Lot Landscaping

The parking lots will be screened from surrounding perimeter streets to the largest extent possible, to create a more pedestrian focused atmosphere. Moderate height evergreen or deciduous shrub hedges will be implemented for this purpose. Perimeter streets as well as interior parking lot islands will be landscaped with lawns, landscape bed plantings, and trees.



Key Map

General Note:

All landscape to meet or exceed City of Troy Landscape Standards and follow Big Beaver Design Guidelines

**CITY OF TROY
PLANNED UNIT DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN (PDP) APPLICATION**

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
248-524-3364
FAX: 248-524-3382
E-MAIL: planning@troymi.gov



PRELIMINARY DEVELOPMENT PLAN FEE
\$1,500.00
ESCROW FEE
\$5,000.00

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND AND FOURTH TUESDAYS OF EACH MONTH AT 7:00 P.M. AT CITY HALL.

PLEASE FILE A COMPLETE PLANNED UNIT DEVELOPMENT PRELIMINARY DEVELOPMENT PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEES, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT MEETING.

1. NAME OF THE PROPOSED DEVELOPMENT: Phase 1A- Somerset West Infrastructure
2. LOCATION OF THE SUBJECT PROPERTY: 3100 W. Big Beaver, Troy, Michigan 48084
3. DATE OF CONCEPT DEVELOPMENT PLAN APPROVAL BY CITY COUNCIL: Owner seeks concurrent approval of Phase 1A with CDP Approval
4. DESCRIPTION OF PROJECT PHASE: Underground utilities, storm detention, roadways and curbs
5. TAX IDENTIFICATION NUMBER(S) OF SUBJECT PROPERTY: 88-20-19-476-002 and 88-20-19-476-003

- | | |
|---|---|
| 6. APPLICANT: | PROPERTY OWNER; |
| NAME <u>Nathan Forbes</u> | NAME <u>Nathan Forbes</u> |
| COMPANY <u>Forbes Frankel Troy Ventures LLC</u> | COMPANY <u>Forbes Frankel Troy Ventures LLC</u> |
| ADDRESS <u>100 Galleria Officentre, Suite 427</u> | ADDRESS <u>100 Galleria Officentre, Suite 427</u> |
| CITY <u>Southfield</u> STATE <u>MI</u> ZIP <u>48034</u> | CITY <u>Southfield</u> STATE <u>MI</u> ZIP <u>48034</u> |
| TELEPHONE <u>248-827-4600</u> | TELEPHONE <u>248-827-4600</u> |
| E-MAIL <u>nforbes@theforbescompany.com</u> | E-MAIL <u>nforbes@theforbescompany.com</u> |

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY:

8. SIGNATURE OF APPLICANT _____ DATE _____
9. SIGNATURE OF PROPERTY OWNER Nathan Forbes DATE 2/25/25

BY THIS SIGNATURE, THE PROPERTY OWNER AUTHORIZES THE PLACEMENT OF A SIGN ON THE PROPERTY TO INFORM THE PUBLIC AS TO THIS REQUEST FOR PLANNED UNIT DEVELOPMENT PRELIMINARY DEVELOPMENT PLAN APPROVAL.

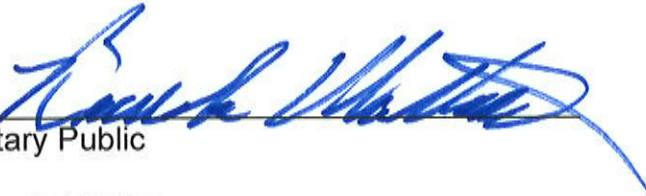
Notarial Certificate

(State of Michigan)
() ss
(County of Oakland)

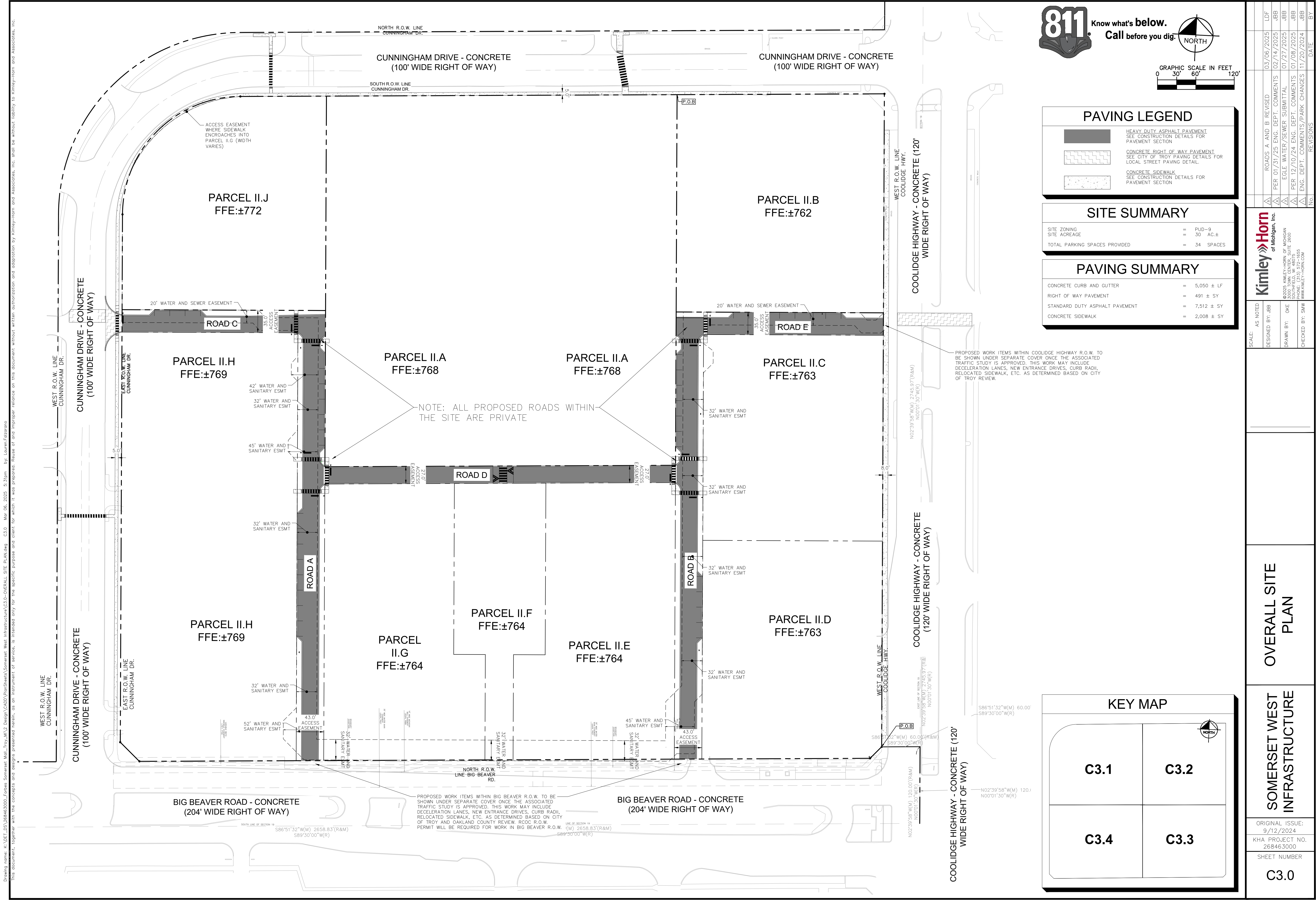
On this 25th day of FEBRUARY, 20 25, personally
appeared before me:

NATHAN FORBES

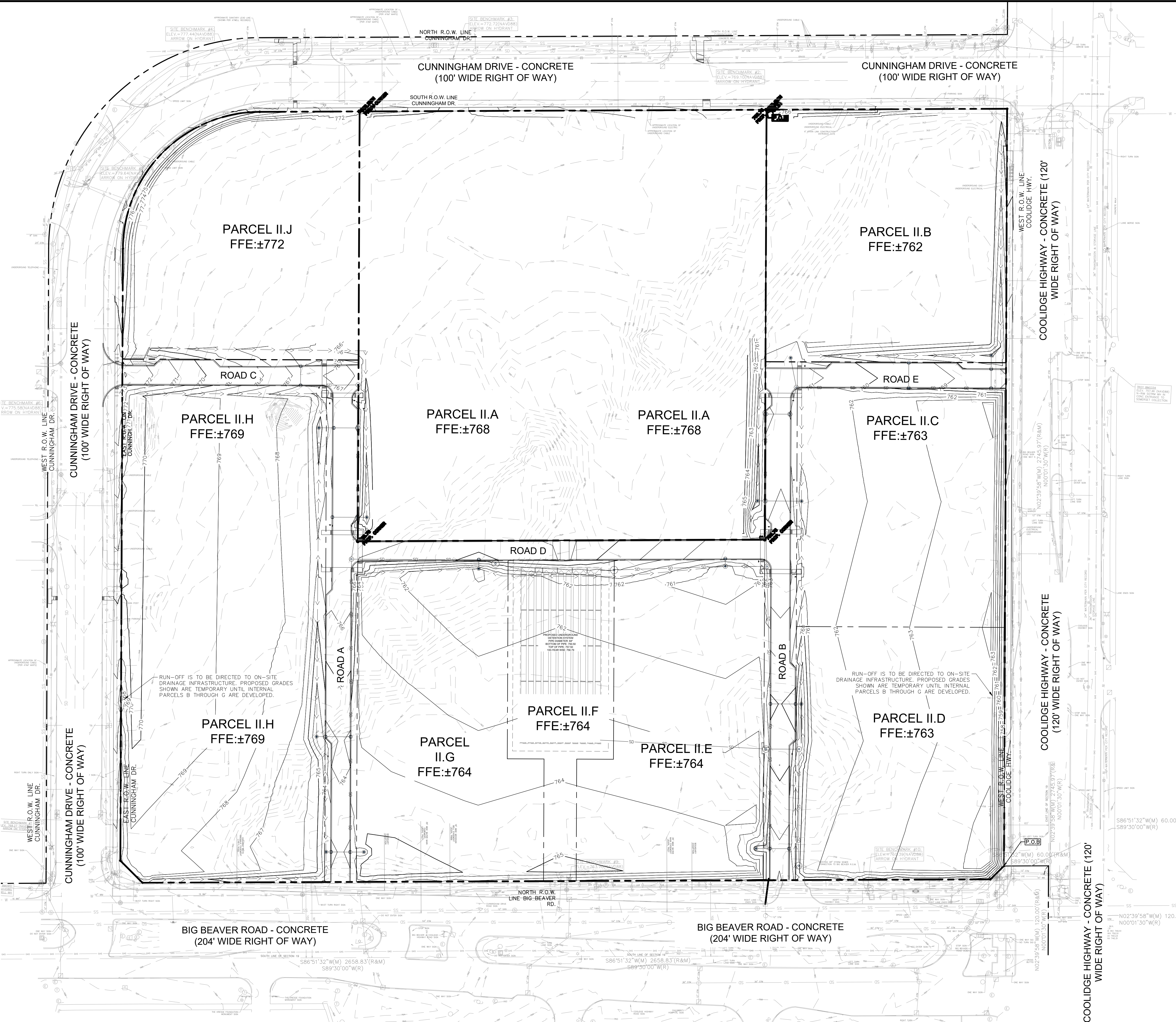
Known [☐ or produced identification] to me to be the individual who executed the
foregoing document and acknowledged the same as a free act and deed for uses and
purposes therein expressed.


Notary Public

Brenda Walton
Notary Public – State of Michigan
Oakland County
My Commission Expires: October 1, 2029
Acting in the county of OAKLAND.



Drawing name: K:\DE\DES\268463000_Forest Somerset West Infrastructure\C5.0-OVERALL GRADING AND DRAINAGE PLAN.dwg C5.0 Mar 06, 2025 5:54pm by LaurenFatorano
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.



Know what's below.
Call before you dig.

NORTH

GRAPHIC SCALE IN FEET

0 30' 60' 120'

GRADING LEGEND

	FINISHED GRADE SPOT ELEVATION
	TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
	FLOW LINE SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	RIM ELEVATION
	STRUCTURE ID & RIM ELEVATION
	STRUCTURE ID & INVERT ELEVATION
	PROPOSED CONTOUR
	RIIDGE LINE
	SLOPE AND FLOW DIRECTION
	PROPOSED SWALE
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER STRUCTURES

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SBM #1 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 140 FEET WEST OF COOLIDGE ROAD WEST ROW.
ELEVATION=767.31 (NAVD88)

SBM #2 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 400 FEET WEST OF COOLIDGE ROAD WEST ROW.
ELEVATION=769.10 (NAVD88)

SBM #3 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 750 FEET WEST OF COOLIDGE ROAD WEST ROW.
ELEVATION=772.72 (NAVD88)

SBM #4 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 1050 FEET WEST OF COOLIDGE ROAD WEST ROW.
ELEVATION=777.44 (NAVD88)

SBM #5 ARROW ON HYDRANT, NORTH ROW OF CUNNINGHAM DRIVE & 1360 FEET WEST OF COOLIDGE ROAD WEST ROW.
ELEVATION=779.64 (NAVD88)

SBM #6 ARROW ON HYDRANT, WEST ROW OF CUNNINGHAM DRIVE & 650 FEET NORTH OF BIG BEAVER ROAD NORTH ROW.
ELEVATION=775.58 (NAVD88)

SBM #7 ARROW ON HYDRANT, WEST ROW OF CUNNINGHAM DRIVE & 50 FEET NORTH OF BIG BEAVER ROAD NORTH ROW.
ELEVATION=768.27 (NAVD88)

SBM #8 ARROW ON HYDRANT, NORTH ROW OF BIG BEAVER ROAD & 250 FEET EAST OF CUNNINGHAM DRIVE EAST ROW.
ELEVATION=763.70 (NAVD88)

SBM #9 ARROW ON HYDRANT, NORTH ROW OF BIG BEAVER ROAD & 185 FEET WEST OF COOLIDGE HIGHWAY WEST ROW.
ELEVATION=760.39 (NAVD88)

TROY BM0334 ARROW N-RIM STORM MH IN CONC ENTRANCE TO SOMERSET COLLECTION
ELEVATION=757.47 (NAVD88)

TROY BM0951 N-RIM BELL MH, CORNER OF BIG BEAVER ROAD & CUNNINGHAM
ELEVATION=760.39 (NAVD88)

SCALE:

AS NOTED

DESIGNED BY: JBB

DRAWN BY: OKE

CHECKED BY: SMW

Kimley-Horn
of Michigan, Inc.

2500 TOWN CENTER SUITE 200
SOUTHFIELD, MI 48075
(313) 446-7500
WWW.KIMLEY-HORN.COM

OVERALL GRADING AND DRAINAGE PLAN

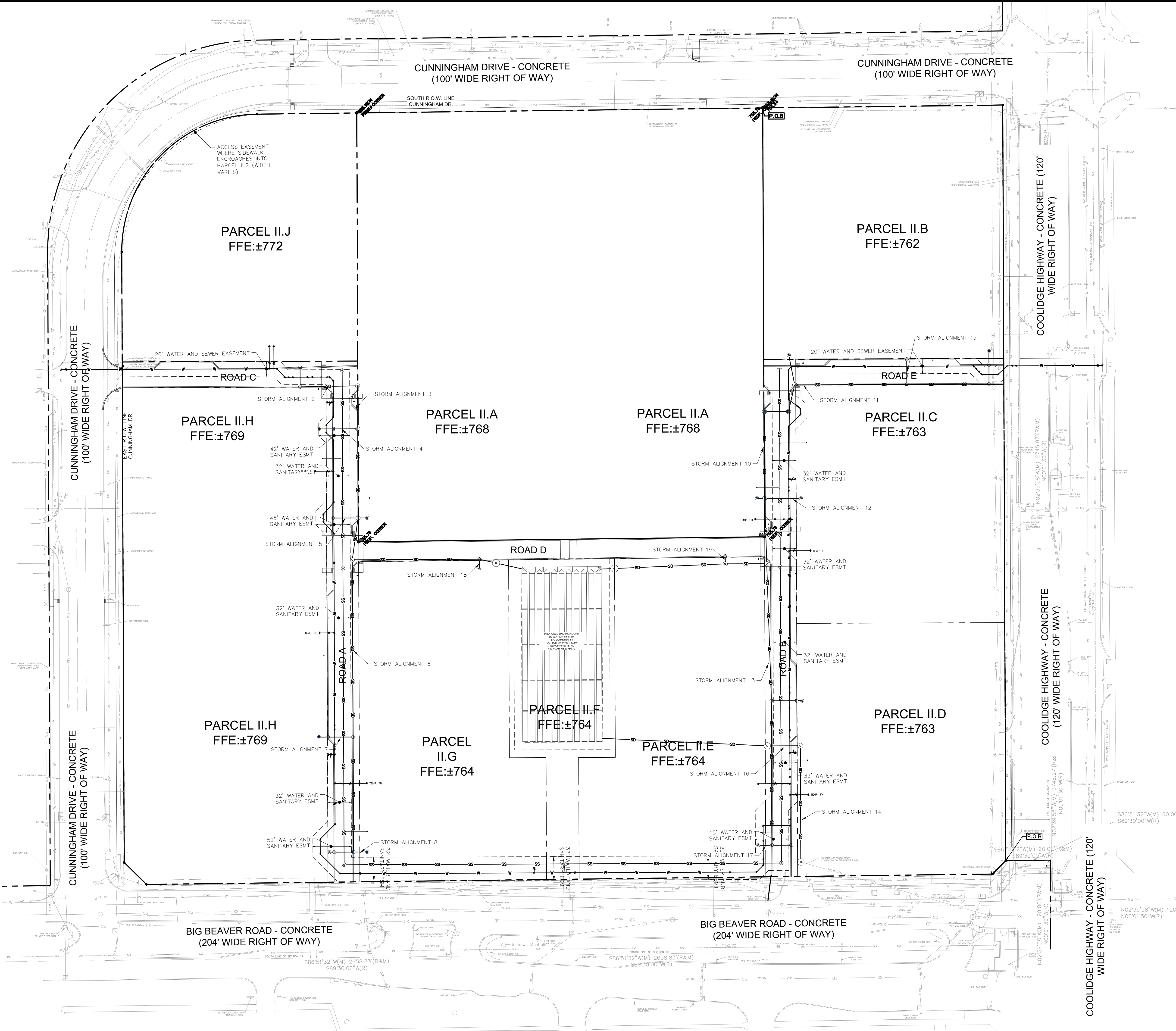
SOMERSET WEST INFRASTRUCTURE


ORIGINAL ISSUE:
9/12/2024

KHA PROJECT NO.
268463000

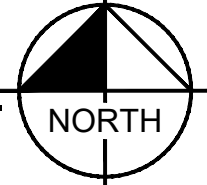
SHEET NUMBER
C5.0

Drawing name: K:\DE\JDS\268463000_Forest Somerset West Infrastructure\06.0-OVERALL UTILITY PLAN.dwg C6.0 Mar 06, 2025 5:39pm by Lauren Fazzaroni
This document, together with the concept and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.



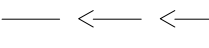


Know what's below.
Call before you dig.




GRAPHIC SCALE IN FEET
0 30' 60' 120'


UTILITY LEGEND



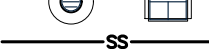
PROPOSED SWALE




PROPOSED STORM SEWER LINE




STRUCTURE ID



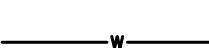
PROPOSED STORM STRUCTURES



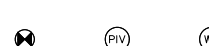
PROPOSED SANITARY SEWER LINE




PROPOSED SANITARY LATERAL LINE




PROPOSED SANITARY MANHOLE




PROPOSED STORM/SANITARY CLEANOUT



PROPOSED WATER LINE



PROPOSED WATER VALVE BOX, PIV, METER
FIRE HYDRANT, FIRE DEPT CONN. & VAULT



PROPOSED WATER BENDS & TEE

BASIS OF DESIGN

Parcel	Site Use	Area (SF) (if applicable)	Number of Employees, Residence Units, etc. (if applicable)	Unit type	REU rate per	REUs
Parcel II.A	Industrial (Chemical)	230,000	-	0.01 per 1,000 SF	-	43.7
Parcel II.B	Industrial	-	250	residence	0.01 per residence	95.0
Parcel II.C	Hotel/Family	-	300	residence	0.01 per residence	90.0
Parcel II.D	Hotel	5,900	-	0.01 per 1,000 SF	-	0.9
Parcel II.E	Hotel	9,000	-	0.01 per residence	-	11.8
Parcel II.F	Restaurant (conventional)	16,000	-	0.01 per 1,000 SF	-	0.6
Parcel II.G	Restaurant (conventional)	n/a	-	0.01 per 1,000 SF	-	0.6
Parcel II.H	Hotel/Family	15,000	271	residence	0.01 per residence	132.0
Parcel II.I	Hotel	15,000	-	0.01 per 1,000 SF	-	2.4
Parcel II.J	Medical Office	150,000	-	0.01 per 1,000 SF	-	28.3
Total						492.8

Site: Whole REU (rounded up to nearest whole number)

Sanitary Sewer Basis of Design per Site-wide REU

REU for the site = 492 REUs

One REU = 3.5 people

Assuming use per person = 100 gal/day/person

Sanitary flows per REU = 350 gal/day

Average daily flow = 172,200 gal/day

0.172 MGD

0.266 cfs

P = population served = 1,722 people

= number of people per REU * site REU

Peaking factor (18 + P^0.5) / (14 + P^0.5) = 1.72 thousands of people

per CERF 16th edition eq. 38.1

where P is in thousands of people

3.6 times average daily flow

Maximum daily flow using Peaking Factor = 626,019 gal/day

0.626 MGD

0.97 cfs

Capacity of 8" PVC pipe at 0.60% out from Str. 51 = 1.0 cfs

Water Main Basis of Design per Site-wide REU

REU for the site = 492 REUs

One REU = 3.5 people

Assuming use per person = 100 gal/day/person

Water use per REU = 350 gal/day

Average daily flow, ADF = 172,200 gal/day

0.172 MGD

0.266 cfs

Peaking factor = ADF*2 = 2

Maximum daily flow = 0.344 MGD

0.533 cfs

BASIS OF DESIGN

THE ABOVE DESIGN CALCULATIONS UTILIZE THE UNIT FACTOR METHOD, WHERE 1 RESIDENTIAL EQUIVALENT UNIT IS EQUAL TO 3.5 PEOPLE. AT 100 GALLONS PER PERSON PER DAY, UNIT ASSIGNMENTS WERE ASSUMED BASED ON OAKLAND COUNTY'S SCHEDULE OF UNIT ASSIGNMENT FACTORS.

GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

AS NOTED

DESIGNED BY: JBB

DRAWN BY: OKE

CHECKED BY: SMW

SCALE:

ROADS A AND B REVISED 03/06/2025

PER 01/31/25 ENG. DEPT. COMMENTS 02/14/2025

EGLE WATER/SEWER SUBMITTAL 01/27/2025

PER 12/10/24 ENG. DEPT. COMMENTS 01/08/2025

ENG. DEPT. COMMENTS/PARK CHANGES 11/20/2024

REVISIONS

NO.

DATE

OVERALL UTILITY

SOMERSET WEST

INFRASTRUCTURE

PLAN

ORIGINAL ISSUE:

9/12/2024

KHA PROJECT NO.

268463000

SHEET NUMBER

C6.0

AMENDED AND RESTATED
PLANNED UNIT DEVELOPMENT AGREEMENT

Between

FORBES/FRANKEL TROY VENTURES LLC,
a Michigan limited liability company

and

THE CITY OF TROY,
a Michigan municipal corporation

When recorded return to:

CITY OF TROY
CITY CLERK
500 W. BIG BEAVER ROAD
TROY, MI 48084

AMENDED AND RESTATED
PLANNED UNIT DEVELOPMENT AGREEMENT

This Amended and Restated Planned Unit Development Agreement (this
“Agreement”) is made the ____ day of _____, 2025 (the “Effective Date”), by

and between FORBES/FRANKEL TROY VENTURES LLC, a Michigan limited liability company (“Owner”), whose address is 100 Galleria Officentre, Suite 427, Southfield, Michigan 48034, and the CITY OF TROY, a Michigan municipal corporation (the “City”), whose address is 500 West Big Beaver Road, Troy, Michigan 48084.

RECITALS

A. Diamond Troy JV LLC, a Delaware limited liability company (“Diamond”), and the City entered into that certain Planned Unit Development Agreement, dated October 17, 2007 and recorded with the Oakland County, Michigan Register of Deeds on October 26, 2007 at Liber 39703, Page 493 (the “Original PUD Agreement”), with respect to certain real property described on **Exhibit A** attached hereto (the “Original PUD Property”).

B. The Original PUD Property consisted of approximately 40 acres on two (2) parcels of property, commonly known as Parcel I which was approximately 12 acres and Parcel II which was approximately 28 acres (the “Original Parcel II”).

C. The Original PUD Property was previously used for office purposes, as the former Kmart World Headquarters, which was originally constructed between approximately 1972 and 1976, together with related accessory site improvements, including roads, parking areas, landscaping, sidewalks and signage.

D. The former Kmart World Headquarters was closed and vacated by the Kmart Corporation (now known as Sears Holdings Management Corporation), and was recently demolished by Owner.

E. On December 29, 2009, Diamond conveyed the entire Original PUD Property (Parcel I and Parcel II) to Owner by that certain Covenant Deed by Diamond to

Owner which was recorded on January 26, 2010 in Liber 41795 at Page 206 with the Oakland County, Michigan Register of Deeds.

F. Diamond intended to develop the Original PUD Property in accordance with The Concept Development Plan for The Pavilions of Troy that was approved by the City Council on October 15, 2007 (the “Original CDP”) and the Conceptual Plan that was part of the Original CDP which was approved by the City and included in The Pavilions of Troy CDP Book (the “Original Conceptual Plan”).

G. Owner does not desire to develop the PUD Property in accordance with the Original CDP or the Original Conceptual Plan.

H. The City and Owner desire to terminate the Original CDP and the Original Conceptual Plan.

I. On April 29, 2024, Owner submitted to the City a Planned Unit Development Concept Development Plan (CDP) Application and Application to Amend the Zoning District Map in order to amend the Original PUD Agreement (the “Application”). The Application included an amended concept development plan for the development of the Original PUD Property, as generally shown on **Exhibit B** attached hereto (the “Amended Concept Development Plan” or the “Amended CDP”), and a Preliminary Development Plan (as defined below) for Phase I of the development of the PUD Property which includes infrastructure and roads which is attached hereto as **Exhibit C** (the “Infrastructure PDP”).

J. On May 10, 2024, the Original Parcel II was subdivided and split into two (2) parcels, resulting in (i) the creation of a new parcel of property, containing approximately 7.28 acres, which has a separate tax parcel identification number of 20-19-476-003 and is

shown on the Amended CDP as Parcel II.A (“Parcel II.A”) and (ii) the remaining portion of the Original Parcel II comprising Parcel II.B, Parcel II.C, Parcel II.D, Parcel II.E, Parcel II.F, Parcel II.G, Parcel II.H and Parcel II.J, each as shown on the Amended CDP, and retaining its existing tax parcel identification number of 88-20-19-476-002 (the “Remaining Parent Parcel”).

K. [On _____, 2025, a portion of the Remaining Parent Parcel was further subdivided to create two (2) additional parcels of property as shown on the Amended CDP as Parcel II.B and Parcel II.J which subdivided parcels were consolidated with and became a part of Parcel II.A, resulting in Parcel II.A containing approximately 12.089 acres in total.]¹

L. As of the date hereof, Owner is the fee simple owner of the entire Original PUD Property which currently consists of approximately 40 acres in total including Parcel I which is approximately 12 acres, the Remaining Parent Parcel which is the remaining portion of the Original Parcel II and currently consists of approximately 15.911 acres (the “Modified Remaining Parent Parcel”) and Parcel II.A which currently consists of approximately 12.089 acres² as shown on the Amended CDP and on Exhibit F attached hereto (collectively, the “PUD Property”).³

¹ NTD: This is a placeholder to address the contemplated additional splits of the Remaining Parent Parcel. After the subdivision of the Remaining Parent Parcel, it is intended that the 2 additional newly created parcels will be consolidated with the existing approximately 7.28 acre parcel as shown on the Amended CDP and this will be completed prior to the City Council meeting.

² NTD: Parcel II.A will either be approximately 7.28 acres which is the current parcel or approximately 12 acres which will be the consolidated parcel with the 2 additional parcels that are contemplated to be subdivided as shown on the Amended CDP or we will otherwise need to reference 5 parcels in total if the 2 new parcels are not consolidated with the existing 7.28 acre parcel.

³ NTD: We may need to reference the 2 additional parcels separately if the 2 additional parcels are not consolidated with Parcel II.A prior to the City Council meeting.

M. On March 6, 2025, Owner held an informal meeting with representatives of the adjoining neighborhoods to the PUD Property at the Somerset North community room, soliciting their comments to the Amended Concept Development Plan and the Infrastructure PDP in accordance with Section 11.06(B) of Troy’s Zoning Ordinance (as defined below).

N. In accordance with Chapter 39, Article 11, Section 11.06 of Troy’s Zoning Ordinance that is in effect as of the Effective Date (collectively, “Troy’s Zoning Ordinance”), Owner attended several pre-application meetings with the Planning Department of the City, together with the staff and outside consultants, prior to submitting the Amended Concept Development Plan and the Infrastructure PDP to the Planning Commission.

O. The City and Owner have sought and received extensive review, counsel and advice from their respective representatives, staff, officials, attorneys and consultants.

P. Pursuant to Section 11.06(B) of Troy’s Zoning Ordinance, and after review of the Amended Concept Development Plan and the Infrastructure PDP, the Planning Commission held a public hearing on _____, 2025 with respect to the Amended Concept Development Plan, the Infrastructure PDP and this Agreement where the Planning Commission recommended to the City Council (as defined below) the approval of the Amended Concept Development Plan, the Infrastructure PDP and this Agreement as provided in the Planning Commission Minutes and Resolution, dated _____, 2025, which are attached hereto as **Exhibit D**.

Q. The City Council received and reviewed the Planning Commission recommendation and held a public hearing on _____, 2025, with proper notice,

to consider the Amended Concept Development Plan, the Infrastructure PDP and this Agreement.

R. On _____, 2025, after review of the Amended Concept Development Plan, the Infrastructure PDP and this Agreement and the full consideration of the Planning Commission recommendation, the City Council approved the Amended Concept Development Plan, the Infrastructure PDP and this Agreement. A copy of the City Council Resolution No. _____ is attached hereto as **Exhibit E**.

S. The City and Owner desire to amend and restate the Original PUD Agreement in its entirety in order to provide for the development of a mix of uses on the PUD Property as generally shown on the Amended Concept Development Plan and in accordance with the terms set forth herein.

T. All references to ordinance sections in this Agreement, unless otherwise stated, are to Troy's Zoning Ordinance.

NOW, THEREFORE, the City and Owner, in consideration of mutual covenants of, and benefits derived by each of the Parties to this Agreement, agree to amend and restate the Original PUD Agreement as follows:

I. DEFINITIONS

The following definitions shall apply to this Agreement, all defined terms used in this Agreement shall have the definitions described in this Article I:

"Agreement" shall mean this Amended and Restated Planned Unit Development Agreement, together with all attached exhibits, which are incorporated herein by reference, and any amendments thereto.

“Application” has the meaning set forth in Recital I.

“Amended Concept Development Plan” or “Amended CDP” has the meaning set forth in Recital I.

“City” shall mean the City of Troy, a Michigan municipal corporation.

“City Council” shall mean the City of Troy City Council.

“Consent Judgment” shall mean that certain Consent Judgment pertaining only to Parcel I, dated May 9, 1973, entered by the Oakland County, Michigan Circuit Court (the “Court”) pursuant to the agreement of Sheffield Development Company, a Michigan Co-Partnership, as Plaintiff, and the City of Troy, a Michigan municipal corporation, as Defendant, Oakland County Circuit Court Civil Action No. 70-69246, as amended by that Order Amending Judgment, dated November 22, 1977, entered by the Court, as further amended by that Stipulation to Modify Judgment and Order, dated September 25, 1980, entered by the Court, as further amended by that Third Order Amending Judgment, dated November 4, 1992, entered by the Court (Successor Plaintiff substituted: The Prudential Insurance Company of America, a New Jersey corporation), as further amended by that Consent Fourth Order Amending Judgment, dated December 10, 1998, entered by the Court (Successor Plaintiffs substituted: WHC-SIX Real Estate Limited Partnership, a Delaware limited partnership, and Kmart corporation, a Michigan corporation), as further amended by that Fifth Order Amending Consent Judgment, dated November 28, 2006, entered by the Court (Successor Plaintiffs substituted: Diamond Troy JV LLC, a Delaware limited liability company, GM Equities LLC, a Michigan limited liability company, Kmart Corporation, a Michigan corporation, and Sheffield Office II, L.L.C., a Delaware limited liability

company), as further amended by that Sixth Order Amending Consent Judgment, dated January 7, 2013, entered by the Court (Successor Plaintiffs substituted: Sears Holdings Management Corporation, a Delaware corporation, Owner and Sheffield Owner, LLC, a Delaware limited liability company).

“Declaration” shall mean a Declaration of Easements, Covenants, Conditions and Restrictions by Owner which may be recorded by Owner against the PUD Property subsequent to the Effective Date. In the event of any conflict between the Declaration and the terms of this Agreement, the terms of this Agreement shall control.

“Development Standards” shall mean, collectively, the City of Troy Development Standards, Details and Specifications for the engineering, design and construction of public improvements and private improvements within the City which are set forth in Troy’s Zoning Ordinance and are in effect as of the Effective Date. Subject to any deviations permitted under this Agreement or Troy’s Zoning Ordinance, the development of the PUD Property under this Agreement shall be consistent with the Development Standards that are in effect as of the Effective Date and the development of the PUD Property will not be subject to any modifications, changes or amendments to such Development Standards from and after the Effective Date unless Owner agrees in writing to such modifications, changes or amendments.

“Effective Date” has the meaning set forth in the preamble.

“Final Development Plan” and/or “FDP” shall mean one or more Final Development Plans, as defined in Section 11.08 of Troy’s Zoning Ordinance, that are submitted by Owner for all or any portion of the PUD Property.

“Infrastructure Improvements” shall mean the sanitary sewer, storm sewer, water system, and other utility improvements to be installed by Owner within the PUD Property, if any, which the City acknowledges may include renovations or improvements to the existing utility facilities.

“Infrastructure PDP” has the meaning set forth in Recital I.

“Master Deed” shall mean any Master Deed which may be recorded by Owner against all or any portion of the PUD Property subsequent to the Effective Date. In the event of any conflict between the Master Deed(s) and the terms of this Agreement, the terms of this Agreement shall control.

“Master Plan” shall mean the City of Troy’s Master Plan, Plan Troy 2040, as adopted and revised in accordance with the Michigan Planning Enabling Act, PA 33 of 2008.

“Original Concept Development Plan” or “Original CDP” has the meaning set forth in Recital G.

“Original Parcel II” has the meaning set forth in Recital B.

“Owner” shall mean Forbes/Frankel Troy Ventures LLC, a Michigan limited liability company, and its successors and assigns with respect to all or any portion of the PUD Property.

“Parcel I” shall mean that portion of the PUD Property consisting of approximately twelve (12) acres and identified as Parcel I on the survey attached hereto as **Exhibit F**.

“Parcel II.A” has the meaning set forth in Recital J.

“Parties” or “Parties” shall mean Owner and the City.

“Permitted Uses” shall mean the permitted uses contemplated by the Amended Concept Development Plan or any other similar or accessory uses which are permitted or approved by the City Zoning Administrator. All Permitted Uses and approved deviations set forth in this Agreement are permitted to be mixed within and throughout the PUD Property. The mix of uses within the PUD Property may occur vertically (i.e. a mix of uses existing within one or more structures) and/or horizontally (i.e. a mix of uses existing adjacent to one another on one horizontal plane and/or in one or more neighboring structures). It is acknowledged and agreed by the Parties that two or more single or multiple story structures containing a mix of uses may exist adjacent to one another.

“Planning Commission” shall mean the City of Troy Planning Commission.

“Preliminary Development Plan” and/or “PDP” shall mean one or more Preliminary Development Plans as set forth and defined in Section 11.07 of Troy’s Zoning Ordinance that is/are submitted by Owner with respect to all or any portion of the PUD Property.

“PUD Documents” shall mean, collectively:

- (i) Troy’s Zoning Ordinance including the PUD Regulations.
- (ii) This Agreement.
- (iii) The Amended Concept Development Plan.
- (iv) Any and all PDP’s approved by the City Council for the PUD Property.
- (v) Any and all FDP’s that are administratively approved.
- (vi) Any and all amendments to the Amended Concept Development Plan which are approved by Owner and the City.
- (vii) The resolution in the official City Council minutes for the meeting at which approval is received.
- (viii) Master Plan.

“PUD Regulations” shall mean Title V of the Troy City Code, Chapter 39, Section 11.01 et. seq.

“PUD Property” has the meaning set forth in Recital L.

“Remaining Parent Parcel” has the meaning set forth in Recital J.

“Troy’s Zoning Ordinance” has the meaning set forth in Recital N.

II. GENERAL PROVISIONS

1. The Parties acknowledge that all of the foregoing Recitals, together with the foregoing definitions, are true and accurate and binding upon the Parties, their successors and assigns, and are incorporated in this Agreement and made a part hereof in the same manner and to the same extent as if such Recitals and/or definitions were set forth in detail at this point. All Exhibits attached hereto are made a part hereof in the same manner and to the same extent as if they were set forth in detail in this Agreement at those points in this Agreement where each such Exhibit is referenced.

2. At this time, all of the PUD Property is currently owned by Owner, and Owner has provided the City with evidence of ownership. The City acknowledges that Owner has the sole discretion to transfer (including, without limitation, the sale, lease, conveyance, assignment, license, or other permit to use) any part or all of the PUD Property without the consent of the City, subject to the terms of Paragraph 40 of this Agreement. The provisions of this Agreement and Troy’s Zoning Ordinance shall be enforceable against any successor or assign of Owner and their respective successors and assigns, subject to the terms of Paragraph 40 of this Agreement. Owner agrees to inform any

purchaser or ground lessee of all or any portion of the PUD Property of the provisions of this Agreement. Following any transfer of all or any portion of the PUD Property, the transferee shall be obligated to notify the City of such transfer of ownership, in accordance with MCL 211.27(a), et. seq. As used in the preceding sentence, “transfer of ownership” is defined in MCL 211.27(a) et. seq.

3. The City, through the City Council, hereby determines that: (a) the Amended Concept Development Plan and the Infrastructure PDP complies with the requirements of the PUD Ordinance; and (b) this action to amend and restate the Original PUD Agreement is beneficial to the general health, safety and welfare of the citizens of the City.

4. The City Council hereby agrees with the recommendation of the Planning Commission that the Amended Concept Development Plan, the Infrastructure PDP and this Agreement are consistent with the intent, purpose and objectives of the City, as described in the PUD Ordinance and the several City plans for future land use.

5. The Original Conceptual Plan and the Original CDP are terminated and of no further force or effect and are null and void. The Amended Concept Development Plan, the Infrastructure PDP and this Agreement are hereby approved and Owner is hereby granted the right, power and authority to proceed to develop the PUD Property in accordance with the Amended Concept Development Plan, this Agreement and the PUD Documents. Owner may proceed to submit one or more PDP’s and FDP’s in accordance with Troy’s Zoning Ordinance. Each PDP shall be submitted for approval to the Planning Commission with corresponding traffic and parking studies. The scope of the traffic and

parking studies shall be reviewed by the City Engineer consistent with Troy's Zoning Ordinance and this Agreement. To the extent required by applicable law, the traffic studies may also need to be reviewed and approved administratively by the Road Commission for Oakland County and the Michigan Department of Transportation.

6. In accordance with Troy's Zoning Ordinance, the City hereby permits and approves the Amended Concept Development Plan and the Infrastructure PDP including any deviations from Troy's Zoning Ordinance that are necessary or convenient to accomplish the Amended Concept Development Plan and the Infrastructure PDP.

7. Upon execution of this Agreement, all terms and conditions of this Agreement are hereby deemed to RUN WITH THE LAND in perpetuity.

8. This Agreement shall be fully binding upon all successors-in-interest, heirs and assigns of whatever kind or nature, including, without limitation, all purchasers of any kind, successors in fee, ground lessees, lessees, sublessees and assigns, regardless of the nature, type or form of such sale, conveyance, lease, assignment or any other form of transfer, conveyance or license to use. Such transfers and conveyances further include, without limitation, sale, lease or other transfer or conveyance of or license to use any condominium unit(s) or other form of land division, now known or later created, whatsoever that may be established now or in the future on the PUD Property. The City acknowledges and agrees that Owner may freely assign any part or all of its right, title, and/or interest in and to this Agreement, and any term, covenant or condition hereof, to any other person or entity without consent of the City, subject to the terms of Paragraph 40 of this Agreement.

9. Any Declaration, Master Deed or similar document encumbering the PUD Property shall expressly reference this PUD Agreement. A copy of the Declaration and any Master Deed recorded against the PUD Property shall be provided to the City promptly after being recorded with the Oakland County, Michigan Register of Deeds.

10. Pursuant to Section 11.06 of Troy's Zoning Ordinance, this Agreement is deemed effective and in full force and effect upon the Effective Date.

11. The City shall cause this Agreement to be recorded with the Oakland County, Michigan Register of Deeds against the PUD Property. This recordation shall occur within fourteen (14) days after the Effective Date. In the event the City fails to record this Agreement within fourteen (14) days after the Effective Date, then Owner may record a fully executed original of this Agreement with the Oakland County, Michigan Register of Deeds. The party recording this Agreement shall provide the other party with a time stamped recorded copy promptly following recordation.

12. Upon the execution of the Original PUD Agreement, the PUD Property was rezoned to a Planned Unit Development District in accordance with the PUD Ordinance, and the City took all necessary steps to amend the Zoning Map to designate the PUD Property as a Planned Unit Development District. Upon the execution of this Agreement by the Parties, the PUD Property remains zoned a Planned Unit Development, and the Original PUD Agreement is amended, restated, replaced and superseded by this Agreement in its entirety.

13. Where any term or provision of this Agreement is in conflict with the provisions of Troy's Zoning Ordinance, the Development Standards, or any other City

administrative rule or regulation, the terms of this Agreement (including the Amended Concept Development Plan and the Infrastructure PDP) shall control. The PUD Regulations in effect as of the Effective Date (a copy of which is attached hereto as **Exhibit G**) will govern this Agreement, and notwithstanding anything herein to the contrary, any amendment of such existing PUD Regulations from or after the Effective Date hereof shall not govern, control or in any way affect the terms, conditions, interpretation and/or enforcement of this Agreement. All sections of Troy's Zoning Ordinance referenced in this Agreement refer to those sections of Troy's Zoning Ordinance in effect as of the Effective Date, and except for the Development Standards, Building Code, and Fire Code provisions, future amendments to such Troy's Zoning Ordinance shall not govern, control or in any way effect the terms, conditions, interpretation and/or enforcement of this Agreement. Except for the Development Standards, the Building Code and the Fire Code provisions, the Parties may, but are not obligated to, mutually and voluntarily agree to amend this Agreement in their sole respective discretion to include any amendments or subsequent updates to Troy's Zoning Ordinance and/or the PUD Regulations. Subject to the deviations set forth in this Agreement, Owner shall comply with those Development Standards, Building Code, and Fire Code provisions that are effective as of the date any given FDP approval is granted.

14. All terms, provisions and conditions of this Agreement are authorized by applicable state and federal laws and constitutions. This Agreement is valid, entered into on a voluntary basis, and represents a permissible exercise of authority by the City.

15. All requirements and conditions of this Agreement are necessary, reasonable and in compliance with Troy’s Zoning Ordinance.

16. The Parties shall act in good faith (in both time and substance) whenever there is a requirement to take action or give consent under this Agreement.

17. In the event that any portion of this Agreement is invalid or unenforceable, as determined by a Court of competent jurisdiction, the remaining portions of this Agreement shall remain fully enforceable, valid and in full force and effect.

18. For purposes of providing notices required or authorized under this Agreement, such notice shall be given to the applicable Party to be notified, by personal delivery (supported by an affidavit of service) or shall be sent via a recognized national overnight delivery service, marked for and guaranteeing “next business day” delivery service, all charges prepaid, or shall be sent via certified or registered U.S. Mail, return receipt requested, with postage fully paid, and addressed as follows:

Notice to the City :	City of Troy 500 West Big Beaver Road Troy, Michigan 48084 Attention: City Clerk
With copy to:	City of Troy 500 West Big Beaver Road Troy, Michigan 48084 Attention: Community Development Director
With copy to:	City of Troy 500 West Big Beaver Road Troy, Michigan 48084 Attention: City Attorney
Notice to Owner :	Forbes/Frankel Troy Ventures LLC

c/o The Forbes Company, LLC
100 Galleria Officentre, Suite 427
Southfield, Michigan 48034
Attn: Nathan Forbes

With a copy to: Honigman LLP
39400 Woodward Avenue, Suite 101
Bloomfield Hills, Michigan 48304
Attn: David J. Jacob, Esq.

Notice shall be effective on the date of receipt (in the case of personal delivery), or on the first business day following the deposit of such notice with the recognized national overnight delivery service or on the date of receipt in the case of certified or registered U.S. Mail. Any Party may change any of the addresses or the designated recipients of notice by following the notice procedure, as set forth above. Notice may be given by counsel for and on behalf of a Party.

19. The Agreement shall be governed and construed in accordance with the laws of the State of Michigan with venue and proper jurisdiction in the County of Oakland, State of Michigan, without regard to principles of conflict of laws.

20. This Agreement supersedes any and all prior inconsistent agreements and plans (including the Original PUD Agreement, the Original CDP and the Original Conceptual Plan), rules or administrative orders between the Parties relative to the PUD Property. Notwithstanding anything to the contrary in this Agreement, the Parties acknowledge that the Consent Judgment materially impacts Owner's ability to develop Parcel I in accordance with the Amended Concept Development Plan. If Owner desires to amend the Consent Judgment in order to allow the development of Parcel I for any uses permitted under this Agreement which are consistent with the Amended Concept

Development Plan, the City shall cooperate with Owner and agrees to execute an amendment to the Consent Judgment and/or Motion to Amend the Consent Judgment, which allows Owner to develop Parcel I for any such other uses in accordance with this Agreement and the Amended Concept Development Plan, subject to (a) the City's reasonable approval of the form of such amendment(s) and (b) the approval of and execution by all other parties to the Consent Judgment of such amendment(s). Notwithstanding the foregoing or anything contained in this Agreement to the contrary, Owner shall have the right, but not the obligation, to apply for a Preliminary Development Plan which allows Owner to develop Parcel I consistent with the terms of the Consent Judgment. The City agrees to amend the Amended CDP and this Agreement, as necessary, to allow for the office use required under the Consent Judgment on Parcel I, provided, that such amendment is otherwise consistent with the PUD Ordinance.

21. Regardless of the Master Plan (including any amendments, modifications, supplements and/or amendments and restatements thereto), other planning documents and/or zoning or other Troy Ordinance changes or amendments which may be adopted or affect the PUD Property, the Permitted Uses shall not be deemed in the future to be legal non-conforming uses, but rather shall continue to be permitted uses, subject to and in accordance with this Agreement and the Amended CDP.

22. Any amendment to this Agreement and/or any Exhibit attached hereto, must be in writing and approved as to form and substance by each of the Parties, and any such amendment or modification to this Agreement or any Exhibit shall be approved by the City Council pursuant to the procedures set forth in the PUD Regulations. Following the

conveyance by Owner of any portion of the PUD Property, the successor Owner of that portion of the PUD Property shall, in accordance with the terms of this Agreement, be entitled to amend this Agreement with respect to such successor Owner's property; provided, however, such amendment shall be in compliance with any Declaration, Master Deed, deed restriction or other encumbrance that relates to the right, power and authority of such successor Owner to approve such an amendment and provided that the amendment is mutually agreeable to the City, Owner (if Owner still then owns a portion of the PUD Property), such successor Owner and all other successor Owners of the PUD Property. Further, notwithstanding anything to the contrary in this Agreement, (a) so long as Forbes/Frankel Troy Ventures LLC owns all or any part of the PUD Property, the written consent and approval of Forbes/Frankel Troy Ventures LLC shall be required to any amendment to this Agreement, and any amendment to this Agreement that is executed without Forbes/Frankel Troy Ventures LLC's written consent and approval shall be null and void and of no effect, (b) all successor Owners of Parcel I (i.e., successor Owners to Forbes/Frankel Troy Ventures LLC) will not have the right to approve, and all successor Owners of Parcel I will not be required to execute, any amendments to this Agreement or the Amended Concept Development Plan relating solely to Parcel II.A and/or the Updated Remaining Parent Parcel, (c) the Owner of Parcel II.A as of the Effective Date and all successor Owners of Parcel II.A will have the unilateral right and authority to enter into any amendment to this Agreement and/or the Amended Concept Development Plan without the approval of any successor Owner of Parcel I or any successor Owner of the Updated Remaining Parent Parcel so long as such amendment does not increase the obligations or

liabilities of the successor Owner of Parcel I under this Agreement as it relates to Parcel I or the successor Owner of the Modified Remaining Parent Parcel under this Agreement as it relates to the Modified Remaining Parent Parcel or reduce the rights of such successor Owner of Parcel I under this Agreement as it relates to Parcel I or such successor Owner of the Modified Remaining Parent Parcel under this Agreement as it relates to the Modified Remaining Parent Parcel and (d) the Owner of the Modified Remaining Parent Parcel as of the Effective Date and all successor Owners of the Modified Remaining Parent Parcel will have the unilateral right and authority to enter into any amendment to this Agreement and/or the Amended Concept Development Plan without the approval of any successor Owner of Parcel I or any successor Owner of Parcel II.A so long as such amendment does not increase the obligations or liabilities of the successor Owner of Parcel I under this Agreement as it relates to Parcel I or the successor Owner of Parcel II.A under this Agreement as it relates to Parcel II.A or reduce the rights of such successor Owner of Parcel I under this Agreement as it relates to Parcel I or such successor Owner of Parcel II.A under this Agreement as it relates to Parcel II.A. Any amendments to or modifications of this Agreement, or the Exhibits attached hereto, shall be recorded by the City with the Oakland County, Michigan Register of Deeds, following the effective date of such amendment or modification.

23. The Parties to this Agreement represent that they have read this Agreement, have reviewed it with legal counsel and understand and agree to the terms and conditions hereof.

24. Each person signing this Agreement on behalf of any Party hereby represents and warrants that he/she is a duly authorized representative and agent to that

respective Party and that he/she has the full authority to bind said Party to all the covenants, warranties, representations, terms and conditions of this Agreement under all applicable local, state and federal laws and regulations.

III. THE CONCEPT DEVELOPMENT PLAN AND THE DEVELOPMENT OF THE PUD PROPERTY

25. The City hereby grants Owner the right to use and develop the PUD Property as set forth in this Agreement, any provision in Troy's Zoning Ordinance, Development Standards, laws, regulations or codes notwithstanding. Specifically, Owner shall have the right, but shall not be obligated, to develop up to 300,000 square feet of retail, up to 500,000 square feet of office, up to 750 residential units and a hotel containing up to 250 guest rooms, together with ancillary amenities normally associated with a hotel use such as, without limitation, a business center, meeting rooms, restaurants/bars, pool, fitness center on Parcel I, Parcel II.A and the Modified Remaining Parent Parcel; provided, however, that no building constructed on Parcel I shall be more than four (4) stories with a building height not to exceed forty (40) feet. The foregoing densities represent the maximum densities that Owner is permitted to construct on Parcel I, Parcel II.A and the Modified Remaining Parent Parcel without the additional approval of the City Council; provided, however, that if the square footage of retail space and/or office space and/or the number of residential units and/or hotel rooms is less than the maximum densities provided above, then at the sole election of Owner, the amount of square footage of retail space and/or office space and the number of residential units and/or hotel rooms that is less than such maximum densities may be reallocated by Owner in Owner's sole discretion to any of

the other densities set forth above, provided, that any reallocation of such densities from such maximum densities satisfy the current parking requirements set forth in Troy's Zoning Ordinance as of the Effective Date unless any subsequent modifications, amendments or changes to such parking requirements are approved by Owner in Owner's sole discretion. For example and illustration purposes only, (i) the reduction in the number of hotel rooms from 250 rooms to 200 rooms would reduce the parking requirements for the PUD Property by 50 off-street parking spaces, which would allow for an additional 15,000 square feet of office or professional space, excluding medical offices, and (ii) the reduction in the square footage of retail space from 300,000 square feet to 200,000 square feet would reduce the parking requirements for the PUD Property by 400 parking spaces, which would allow for an additional 120,000 square feet of office or professional space, excluding medical offices, or an additional 200 multi-family residential dwelling units or an additional 400 efficiency dwelling units. Owner will have the right, in Owner's sole discretion, to determine the allocation of the available unused square footage, units and/or hotel rooms to the other Permitted Uses, including having the right to allocate all of the available unused square footage, units and hotel rooms to a single Permitted Use if Owner so elects in Owner's sole discretion, provided, that any such allocation (a) is subject to and shall not exceed the maximum densities set forth above and (b) satisfies the current parking requirements set forth in Troy's Zoning Ordinance as of the Effective Date unless any subsequent modifications, amendments or changes to such parking requirements are approved by Owner in Owner's sole discretion.

In connection with the Permitted Uses, Owner agrees that any hotel initially developed on the PUD Property shall be a minimum four star hotel, as rated by AAA (or other equivalent rating and rating service).

26. The Parties acknowledge that the Amended Concept Development Plan provides a conceptual overview for the development of the PUD Property and is not intended to be comprehensive. The specific design of each PDP submittal for the PUD Property will depend upon the size, mixture of uses, configuration and/or Owner's determination of the economic and market feasibilities of such PDP submittal. Owner agrees to incorporate quality materials, workmanship, and design, as well as concepts in architectural design, amenities, pedestrian crossing, open space, and green space as generally described on **Exhibit H** attached hereto.

27. The Parties acknowledge and agree that as of the Effective Date there is no formal development schedule for the development of the PUD Property. Owner intends for the development of the PUD Property to be a multiple phase development as currently contemplated on the Amended Concept Development Plan, each of which phases shall include the associated Infrastructure Improvements within and necessary to serve each such phase. Owner is contemplating that there will be (a) no more than _____ (___) phases of Parcel I, (b) no more than _____ (___) phases of Parcel II.A and (c) no more than _____ (___) phases of the Modified Remaining Parent Parcel. The City acknowledges and agrees, however, that Owner shall be afforded maximum flexibility in the sequencing and phasing of the development of the PUD Property to attract investment and end users consistent with the Amended Concept Development

Plan. The sequence, timing and designation of which part of the PUD Property is to be developed and, accordingly, each phase of the development of the PUD Property, and the uses to be included in the respective PDP, shall be determined by Owner, in Owner's sole discretion, but shall be subject to the terms of this Agreement. If Owner changes or modifies any phase of the development of the PUD Property after Owner previously designated the same, each such modified phase of the development must include the associated Infrastructure Improvements within and necessary to serve such phase, so that it can operate without the use of any other Infrastructure Improvements on any other portion of the PUD Property, and each such modified phase shall comply with the Development Standards and Troy's Zoning Ordinance. At any time that Owner elects in Owner's sole discretion, Owner shall be permitted to apply for all approvals relating to the construction and development of any portion or phase of the PUD Property that Owner elects in Owner's sole discretion to develop including PDP approval and FDP approval, and the City shall be obligated to promptly review and process such requests for approval when requested by Owner as provided for under the PUD Ordinance. After Owner has obtained all necessary approvals to commence construction or development of any portion or phase of the PUD Property, Owner shall be permitted, but is not required, to commence construction and development of any such portion or phase of the PUD Property at any time that Owner elects in Owner's sole discretion, and the City shall be obligated to promptly review and process any requests relating thereto when requested by Owner as provided for under the PUD Ordinance.

28. The City recognizes that the Permitted Uses, the property lines, the boundaries of any phases, or any other attributes, characteristics or features described in or shown on the Amended Concept Development Plan and the Infrastructure PDP may need to change in light of market demand, end-user requirements, development patterns, and other factors outside of the control of Owner. Therefore, to provide Owner with maximum flexibility in design and use that will result in a higher quality of development and a better overall project than would be accomplished under conventional zoning, and which will be accommodated without sacrificing established community values, the Permitted Uses, the property lines, the boundaries of any phases, or any other attributes, characteristics or features described in or shown on the Amended Concept Development Plan and/or the Infrastructure PDP may be enlarged or reduced, at the sole discretion of Owner, so long as Owner complies with the Development Standards. The City Zoning Administrator may allow similar or accessory uses to the Permitted Uses within each development area. For purposes of this Agreement and consistent with Troy's Zoning Ordinance, the term "accessory uses" shall mean uses that are supplemental or subordinate to the principal building on a parcel of land or development area and shall be on the same parcel of land or development area as the principal building, structure or use they serve.

29. Modifications regarding the density, mix of types of buildings, number of units per buildings shall be permitted under this Agreement to allow Owner flexibility and as may be reasonably necessary to comply with the applicable Troy Ordinances, laws and regulations. Owner shall have the right, in its sole discretion, to modify interior floor plans

subject to compliance with all other Troy Ordinances. Minor or ordinary course modifications to the PUD Documents resulting from engineering considerations, site conditions, or other governmental requirements may be processed and approved by the City Zoning Administrator or his or her designee whose approval will not be unreasonably withheld, delayed or conditioned, and any such approved modifications shall not require an amendment to this Agreement.

30. All improvements to be constructed by Owner on the PUD Property shall comply with all building codes, except that if there are conflicts between the building codes and the terms of this Agreement, the terms of this Agreement shall control.

31. It is understood by the Parties that any proposed PDP may deviate from some of the requirements of Troy's Zoning Ordinance. Each requested deviation from Troy's Zoning Ordinance shall be expressly identified in each such proposed PDP submittals for the PUD Property. If the City approves a PDP, then the identified deviations of Troy's Zoning Ordinance which are incorporated into the approved PDP shall also be deemed approved.

32. The Community Development Director or his or her designee may administratively approve accessory structures and/or use(s) for the PUD Property that is/are not otherwise designated on the PDP or FDP. Such accessory structures and/or uses may include accessory structures for the outdoor sale of merchandise or food, such as a kiosk. Owner shall otherwise comply with any County or State or local regulations concerning the sale of food in any such accessory building.

33. Other than as expressly provided for in this Agreement, the City shall not require any additional land use related permits or approvals for the development of the PUD Property in accordance with this Agreement, such as site plan approval under Article 8 of Troy's Zoning Ordinance, special land use approval under Article 9 of Troy's Zoning Ordinance, or variances under Article 15 of Troy's Zoning Ordinance.

34. Owner shall construct and install improvements and/or connections tying into the municipal water and sanitary sewer systems, consistent with the applicable FDP. Such improvements shall be designed and constructed in accordance with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, approved engineering construction plans, Troy's Zoning Ordinance and all other applicable Oakland County, Michigan and State of Michigan standards, codes, regulations, ordinances and laws. Consistent with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, all water and sanitary system improvements that are so required shall be completed in connection with the construction of the buildings to be erected in the applicable phase and shall be completed, approved and dedicated to and accepted by the City, if required, to the extent necessary to service all proposed and existing facilities, structures and uses within such phase to be served thereby.

35. Owner shall, at its sole expense, construct and install storm water and retention and/or detention systems consistent with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP. Such improvements shall be designed and constructed in

accordance with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, approved engineering construction plans, Troy's Zoning Ordinance and all other applicable Oakland County, Michigan and State of Michigan standards, codes, regulations, ordinances and laws. Consistent with the applicable FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP, all storm water and retention and/or detention system improvements that are so required shall be completed in connection with the construction of the buildings to be erected in the applicable phase and shall be completed, approved and dedicated to and accepted by the City, if required, to the extent necessary to service all proposed and existing facilities, structures and uses within such phase to be served thereby.

36. Owner shall dedicate all water mains and sanitary sewer mains within the PUD Property to the City and, in connection therewith, shall grant in the Declaration or otherwise grant to the City mutually acceptable easements for the maintenance, repair and replacement of all sanitary sewer and water lines. Following the installation of such lines, Owner's project engineer shall notify the City that such lines have been installed, and the City shall promptly inspect such lines. The City shall approve such lines so long as they have been installed in accordance with the engineering plans approved as part of the applicable Final Development Plan. Following the City's inspection and approval of such lines, the City shall accept the dedication of such lines to the City as public improvements.

37. Except as otherwise provided by this Agreement and the FDP that has been approved by the City Council or such other applicable governmental authority who is

required to approve such FDP, the Parties acknowledge and agree that Owner will have the right to develop the PUD Property in incremental phases as necessary to support the improvements contemplated by each PDP submittal including, without limitation, the installation of Infrastructure Improvements pursuant to the Infrastructure PDP, interior roadways and parking facilities. The specifics of the proposed phasing will be determined by Owner in Owner's sole discretion and identified upon submittal to the City of each Preliminary Development Plan submitted in connection with the development of the PUD Property, provided, that Owner shall not be obligated to install any infrastructure, utilities and/or parking facilities beyond that which are mutually determined necessary to support the improvements contemplated by such PDP submittal. The City acknowledges and agrees that Owner, or its successor(s), may determine that more than one PDP and FDP will be submitted to complete the development of the PUD Property. The sequence, timing and designation of which part of the PUD Property is to be developed, and the uses to be included in the respective PDP, shall be determined by Owner, in its sole discretion, but shall be subject to the terms of this Agreement and the FDP that has been approved by the City Council or such other applicable governmental authority who is required to approve such FDP.

38. The City shall grant to Owner and its contractors and subcontractors all City permits and authorizations necessary to modify the existing utilities including electric, telephone, gas, cable television, water, storm and sanitary sewer to the PUD Property and to otherwise develop and improve the PUD Property in accordance with this Agreement and the FDP that has been approved by the City Council or such other applicable

governmental authority who is required to approve such FDP, provided, that Owner has first made all requisite applications for permits, complied with the requirements for such permits, and paid all required fees. Any applications for permits from the City will be processed in the customary manner. The City will fully cooperate with Owner in connection with Owner's applications for any necessary county, state, federal or utility company approvals, permits or authorizations to the extent that such applications and/or discussions are consistent with the Concept Development Plan and this Agreement.

39. All signage for the PUD Property will comply with Title VIII, Chapter 85, known as the City of Troy Sign Ordinance that is in effect as of the Effective Date.

40. Notwithstanding anything contained in this Agreement to the contrary, the provisions of this Agreement, Troy's Zoning Ordinance and the PUD Regulations do not apply to, and are not enforceable against, a constitutional corporation as formed pursuant to, and governed by, the Constitution of Michigan of 1963 (a "Constitutional Corporation") with respect only to the first [seventeen (17) acres] of the PUD Property in the aggregate that any one or more such Constitutional Corporations own; provided, however, that if a Constitutional Corporation at any one time owns more than [seventeen (17) acres] of the PUD Property in the aggregate, such Constitutional Corporation may, in its sole discretion, designate which portion of the PUD Property that it owns which will constitute the portion of the PUD Property that the provisions of this Agreement, the Troy Ordinances and the PUD regulations will not apply to, and will not be enforceable against, it up to but not to exceed [seventeen (17) acres] in the aggregate. For avoidance of doubt, regardless of whether a Constitutional Corporation owns any portion of the PUD Property, no portion of

the PUD Property in excess of the first [seventeen (17) acres] that is owned by one or more Constitutional Corporations will be exempt from the provisions of this Agreement, Troy's Zoning Ordinance and the PUD Regulations. Notwithstanding anything contained in this Agreement to the contrary, if a Constitutional Corporation owns any portion of the PUD Property, the total amount of square footage of any office space that is constructed by such Constitutional Corporation on such portion of PUD Property will be applied to the maximum amount of 500,000 square feet of office space that Owner can develop on the PUD Property pursuant to Section 25 of this Agreement. Upon the request of the City or Owner after a Constitutional Corporation completes the construction of any buildings on any portion of the PUD Property that it owns, such Constitutional Corporation will certify to the requesting party in writing the total amount of office space that has been so constructed by such Constitutional Corporation on such portion of the PUD Property.

41. The parcel splits depicted on the Amended Concept Development Plan are for illustrative purposes only. The parties agree and acknowledge that the Land Division Act, MCL 560.101 et seq. governs and controls the number of remaining and allotted splits for Parcel I, Parcel II.A. and the Modified Remaining Parent Parcel.

42. This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one instrument.

**[REMAINDER OF PAGE LEFT INTENTIONALLY BLANK; SIGNATURES
APPEAR ON FOLLOWING PAGES.]**

**[SIGNATURE PAGE TO AMENDED AND RESTATED PLANNED UNIT
DEVELOPMENT AGREEMENT BETWEEN FORBES/FRANKEL TROY
VENTURES LLC AND THE CITY OF TROY]**

IN WITNESS WHEREOF, each of the undersigned have executed this Amended and Restated Planned Unit Development Agreement as of the day and year first above-written.

WITNESSES:

CITY:

CITY OF TROY,
a Michigan municipal corporation

By: _____

Its: _____

WITNESSES:

CITY:

CITY OF TROY,
a Michigan municipal corporation

By: _____

Its: _____

STATE OF _____)
) §
COUNTY OF _____)

This instrument was acknowledged before me on _____, 2025, by _____, known to be the person described in and who executed the foregoing Amended and Restated Planned Unit Development Agreement and acknowledged before me that he/she executed the same on behalf of the CITY OF TROY, Michigan, a Michigan municipal corporation.

Print Name of Notary Public: _____
Notary Public, State of _____, County of _____.
My commission expires: _____.
Acting in the County of _____.

STATE OF _____)
) §
COUNTY OF _____)

This instrument was acknowledged before me on _____, 2025, by _____, known to be the person described in and who executed the foregoing Amended and Restated Planned Unit Development Agreement and acknowledged before me that he/she executed the same on behalf of the CITY OF TROY, Michigan, a Michigan municipal corporation.

Print Name of Notary Public: _____
Notary Public, State of _____, County of _____.
My commission expires: _____.
Acting in the County of _____.

**[SIGNATURE PAGE TO AMENDED AND RESTATED PLANNED UNIT
DEVELOPMENT AGREEMENT BETWEEN FORBES/FRANKEL TROY
VENTURES LLC AND THE CITY OF TROY]**

WITNESSES:

OWNER:

FORBES/FRANKEL TROY VENTURES
LLC, a Michigan limited liability company

By: _____

Its: _____

STATE OF _____)
) §
COUNTY OF _____)

This instrument was acknowledged before me on _____, 2025, by
_____, known to be the person described in and who executed the
foregoing Amended and Restated Planned Unit Development Agreement and acknowledged
before me that he/she executed the same on behalf of FORBES/FRANKEL TROY
VENTURES LLC, a Michigan limited liability company.

Print Name of Notary Public: _____
Notary Public, State of _____, County of _____.
My commission expires: _____.
Acting in the County of _____.

TABLE OF EXHIBITS

Exhibit A — Legal Description of the Original PUD Property

Exhibit A-1 – Legal Description of the PUD Property

Exhibit B — Amended Concept Development Plan

Exhibit C — Infrastructure PDP

Exhibit D — Planning Commission Minutes and Resolutions

Exhibit E — City Council Resolution

Exhibit F — Survey

Exhibit G — PUD Ordinance

Exhibit H — Design Quality Examples

EXHIBIT A

Legal Description of the Original PUD Property

[See attached.]

EXHIBIT A-1

Legal Description of the PUD Property

[See attached]

EXHIBIT B

Amended Concept Development Plan

[See attached]

EXHIBIT C

Infrastructure PDP

[See attached]

EXHIBIT D

Planning Commission Minutes and Resolutions

[See attached]

EXHIBIT E

City Council Resolution

[See attached]

EXHIBIT F

Survey

[See attached]

EXHIBIT G

PUD Ordinance

[See attached]

EXHIBIT H

Design Quality Examples

[See attached]

From: Scot Beaton

To: Planning; Sara Roediger; Nik Banda; Nicholas Dupuis

Subject: K-Mart PDF Troy MI

Date: Saturday, April 26, 2025 10:52:25 PM

You don't often get email from scotbeaton@gmail.com. [Learn why this is important](https://apps.troy.mi.gov/BoardsAndCommittees/OnbaseItem?documentId=6727082)
<https://apps.troy.mi.gov/BoardsAndCommittees/OnbaseItem?documentId=6727082>

Brent Savidant, AICP | Community Development Director ...

K-Mart redevelopment ... I grew up with this building ... was at the time a "breakthrough world class development" when built ... I remember all the headlines.

What is proposed ... well we have seen this 100 times over ... and I feel you and Troy MI could do better!

Why is this still an old school car centric development ... too many surface parking lots!

Why does the architectural guidelines only promote only built today modern architecture?
Have you not heard ... there is a revival as of late for traditional architecture and a revival of art deco in towns like New York City.

University of Notre Dame School of Architecture; a new revival in traditional architecture.

This is a good watch <https://www.youtube.com/watch?v=rfsuU8V40U0&t=2s> New York City's Great 1920s Revival

85% of your community does not like built today modern architecture!

What would the late Minoru Yamasaki think of this proposal... BORING!

Why not more green space and underground parking or a reflecting pool? Where is a town square?

All I see is a large surface parking lot in front of the new medical building.

Why not smaller footprints and taller residential buildings?

Why depressing gray bricks ... do we not like color anymore?

Why fiber cement board and metal siding... cheap looking building materials.

Why ... this is a special corner in Troy MI ... Why can't Troy demand better?

Brent Savidant, AICP | Community Development Director ... always thanks for your time.

**"Architecture is art, but unlike art that can be hung inside a gallery
architecture is public art and can have either good or bad consequences**

affecting a cities character and charm.”

Scot Beaton -- semi retired five time national, international NYC Clio award winning designer
political experience former Rochester Hills City Council member 1988 to 1997 President,

Rochester Hills

City Council

655 Bolinger Street Rochester Hills MI 48307

<https://www.linkedin.com/in/scot-beaton-474a7b51>

From: [Planning](#)
To: [Brent Savidant](#)
Subject: FW: I'm surprised you didn't respond most city planners do
Date: Wednesday, May 7, 2025 9:13:31 AM

From: Scot Beaton <scotbeaton@gmail.com>
Sent: Wednesday, May 7, 2025 2:26 AM
To: Planning <planning@troymi.gov>
Subject: I'm surprised you didn't respond most city planners do

You don't often get email from scotbeaton@gmail.com. [Learn why this is important](#)

CAUTION: This email did not originate from within the City of Troy. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brent Savidant ... many letters over the years to ... Nik Banda, City Manager/Economic & Community Dev. Rochester MI ... Sara Roediger - City of Rochester Hills, Planning & Economic Development Director ... Bryan Barnett Mayor Rochester Hills ... Nicholas Dupuis Planning Director Birmingham MI ... just a few.

Brent Savidant ... call or email any of them ... they all respond to my letters 100% ... did you take the time to forward this open letter to your City Council or your Planning Commission?

I would request a response from you and your department.

Always thanks for your time

Scot Beaton

.....

An open letter Kmart redevelopment Troy MI ...

Nathan Forbes, Forbes Frankel Troy Ventures LLC ... Brent Savidant, AICP | Community Development Director Troy MI ...

Planning commission meeting April 22, 2025 ... per YouTube watch of a lengthy planning commission discussion ... I strongly feel that Nathan Forbes was treated unfairly by the planning commission.

After that meeting I also would strongly feel I might walk too. "car service centers, drive-thru" what embarrassing questions to even ask.

Troubled ... Troy MI may not understand this incredible gift to their Big Beaver corridor from the University of Michigan.

Troubled ... 'the University of Michigan can't be trusted to build an aesthetically pleasing medical center.' I question does the Troy MI planning commission know the University of Michigan is one of the top universities world wide.

Troubled ... planning commission members may not understand the cost of a billion dollar development ... all Nathan Forbes was asking for was phase one, build streets and sewers. This should have gone on to City Council.

Toby Buechner planning commission member "my house is in that picture" seemed to be the only member who made sense of this first phase proposal and the continuing need for flexibility in today's market.

Troubled ... planning commission members may not understand speck office and speck brick and mortar retail for over a decade have been in the financial toilet. It's a whole new world out there with work at home and home delivery.

Troubled ... I find sophomoric statements like "you could build all office on this site" from planning commission members who are out of touch with today's market.

What is buildable today are mixed-use developments; primary, majority of square footage is residential and I thought Nathan Forbes made that clear to the planning commission members.

IMO ... The meeting went on and on with planning commissioners asking the same questions over and over again and making requests that were too premature to approve phase one.

A lot of time spent on the surface parking lot on the north side of the U of M medical building, which I feel Nathan Forbes delivered a good answer.

.....

Nathan Forbes, I am one who has spent much of my free time past 55 years reading everything a can get my hands on, architecture, architects, urban planning. I actually did shed a tear the day Zaha Hadid died.

Nathan Forbes, my ideas are always free and please consider these 'creative' ideas from a creative guy who loves architecture as you; and move hopefully forward with this new development.

Kmart redevelopment ... I also grew up with this building ... was at the time a 'breakthrough world class development' when built ... I remember the headlines.

I also remember when Forbes Frankel Troy Ventures LLC built Somerset North Troy MI ... that also at the time a 'breakthrough world class development' when built ... I remember those headlines too.

Somerset North Troy MI, parking ... first of its kind; tall ceilings ... a non claustrophobic parking garage. An indoor mall with a glass ceiling that was a throwback design to the 1851 Crystal Palace England.

All that metal was more than support to hold up the glass but many extra supports for decoration only. Brilliant beautiful design!

.....

Nathan Forbes, when you drop names like Earl Sarrian then your building elevations should live up to his design standards... like you said Somerset North Troy MI.

IMO ... What is proposed ... well I have seen these building elevations a 100 times over ... and I feel Nathan Forbes you have the talent to do even better. Also building surface materials don't always make the building pretty.

Nathan Forbes why does the architectural guidelines only promote only built today modern architecture? There is a revival as of late for more traditional or art deco architecture ... more now in Europe and spreading to North America. Or called "transitional design or eclecticism**."

University of Notre Dame School of Architecture; a new revival in traditional architecture that is also modern.* Nathan Forbes ... may I suggest your team and the University of Michigan please look into what these young minds are creating before moving forward with your design.

This is also a good watch <https://www.youtube.com/watch?v=rfsuU8V40U0&t=2s> New York City's Great 1920s Revival.

Many studies North America ... 85% are very tired of all the new built today modern architecture. Many articles 'we are making North America all look the same.' Your residential buildings and commercial IMO do look like all others as of late.

Your five over one residential buildings look like the many new buildings in the Triangle District Birmingham MI, or downtown Royal Oak or Ferndale MI. Do you want that same 'look' for your new development in Troy MI?

The U of M medical building... does it not just looks like another big modern office building or hospital? So far that is what illustrated in your plans. You could suggest to them why can't this development look more like the University of Michigan in Ann Arbor?

Could you not do the research, explore a more timeless traditional style of architecture. Could this U of M medical centerpiece take on a look of more stone trim and an ivy league university reclaimed brick with less glazing? Or a grand front porch and steps with columns facing the central park?

Why a flat roofline? What makes Louis Kamper's Book Tower or Albert Kahn's Fisher Building so stunning, a distinctive roofline. Fisher Building roof is covered with semi-glazed green terra cotta. Nathan Forbes would that look not be more, your words "Cranbrook-esque."

Nathan Forbes, did your family not step out of the box when they built Somerset North Troy MI ... a throwback design to the 1851 Crystal Palace England. Question ... why build another big built today modern office building or hospital with a flat roof? Somerset North Troy MI has a stunning ceiling.

note: Residential, commercial, office buildings ... you show depressing dull gray bricks ... do we not like color anymore? Fiber cement board and metal siding... all this could be considered inexpensive building materials.

And if you like Earl Sarrian why can't your new hotel embrace his talent and build a true Mid-20th Century Modern Hotel tower? What would the late Minoru Yamasaki think of this proposal so far as presented ... IMO ... BORING!

.....

Surface parking lots; north lot, I understand now the revision to the proposal ... wish the planning board did. Not a good idea to build parking garages to tear down later.

Future development north of the U of M medical center building; build to infill that large surface parking lot, why instead of bookend never good looking parking garages... A better look could be a campus of multiple buildings, green space with parking on the first floor. And a roofline and look to match the main building.

As stated; Nathan Forbes did your family not reinvent the parking garage with Somerset North Troy MI. Why can't you reinvent the underground parking garage? Could you concenter the entire parcel south of the new U of M medical building to Big Beaver Blvd. be built on top of a one floor below grade parking garage.

Including all internal streets for traffic, a twelve foot ceiling with as few supports as possible and open to the sky natural light wells. Trees when planted at parking garage level would grow to thirty footers through the light wells up into the central park.

Parking could also be a ground level but only indoor on the west and east sides, first floor of the mixed-use buildings with curb cuts only to Coolidge Boulevard and Cunningham Drive. No outdoor surface parking lots only drop-off for cars, trucks and deliveries.

.....

Create a new central park with no cars or trucks or surface parking lots in front of the new U of M medical building ... Why not a 'European style town square' with mixed-use surface streets for pedestrians and non motorized vehicles like bicycles.

These internal mixed-use surface streets would accommodate vehicles used for events and all emergency vehicles like police and fire.

Office, retail, restaurants first and some second floors, and third floors and up... residential with balconies overlooking this new 'European style town square.'

Nathan Forbes, all I see so far is a small green park on top of an underground water retention system and two large surface parking lots and streets only for cars and trucks in front of the new U of M medical building.

Stunning architecture should only front Big Beaver road and not your fault, I am not seeing a lot of that as of late ... Nathan Forbes let's not forget the late Minoru Yamasaki 'Grand Boulevard Plan.' IMO ... auto drop-offs is not the best look for a Big Beaver streetscape.

.....

Could it be possible to have two slender residential towers with a 400+ foot maximum height near the corner of Big Beaver and Coolidge Boulevard one could be 1/2 hotel and 1/2 residential. The other tower all residential. Could they also have a Fisher Building style roofline to match the new U of M building.

.....

Unprotected bike lanes in a street are a bad idea... let's not continue to make this mistake, separate bike streets from roadways is a better idea. One only has to look as far as what they are doing in the Netherlands. They are now removing all unprotected bike lanes and replacing their infrastructure with bike streets.

Nathan Forbes you could set the trend for Troy MI; building bike streets around and thru this new development. Bike riders get seriously hurt in unprotected bike lanes... do you want this on your conscience?

.....

This is a special corner in Troy MI ... Nathan Forbes ... I found your love of "symmetry", design; the continued love for building the very best in the city of Troy MI ... Let's put it this way Troy MI should be very thankful of your current proposal.

Or let's also put it this way ... one only has to look at what my grandparents or your great-grandparents built The Coronado Apartments 3751 Second Avenue Detroit MI and the new built today modern apartment building across the street. What will survive time?

IMO ... what is presented so far ... more of the same surface parking lots and streets for cars and trucks. Are you going to build a development that will all be torn down in the next 60 years like most new developments like this will, or a development that will be innovative in design and cherished for generations to come.

Nathan Forbes you are an incredible developer and a skilled and persuasive orator; please concenter these free innovative suggestions as you move forward.

Nathan Forbes, Forbes Frankel Troy Ventures LLC ... Brent Savidant, AICP | Community Development Director ... always thanks for your time. Please forward this letter to all planning commission members and the Troy MI city council.

.....

"Architecture is art, but unlike art that can be hung inside a gallery architecture is public art and can have either good or bad consequences affecting a cities character and charm."

Scot Beaton -- semi retired five time national, international NYC Clio award winning designer
political experience former Rochester Hills City Council member 1988 to 1997 President, Rochester Hills City Council

655 Bolinger Street Rochester Hills MI 48307

<https://www.linkedin.com/in/scot-beaton-474a7b51>

.....

quotes from the Oakland Press

Nathan Forbes... He said the new development would be "very Cranbrook-esque," with high-quality brick, stone and metal used.

"I'm a little bit fit to be tied. Maybe we'll see you again and maybe we won't," said Nate Forbes, managing partner of The Forbes Co., after the city's Planning Commission postponed a decision Tuesday, April 22, that would have moved the project forward.

*The University of Notre Dame School of Architecture emphasizes a revival of traditional and classical architecture, integrating these principles with modern practices and sustainability.
This approach aims to create a built environment that is both functional and beautiful, emphasizing human-centered design and community engagement.

**Both transitional design and eclecticism can be used to describe a combination of traditional and modern architectural elements.

While both terms involve blending styles, they have subtle differences. Transitional design specifically focuses on bridging the gap between traditional and modern, often emphasizing a balance and a timeless aesthetic.

Eclecticism, on the other hand, is broader and can incorporate elements from various historical styles, creating a more diverse and personalized look.

ITEM #6

DATE: May 5, 2025

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (JPCR2025-002) – Proposed Northland Enclave, West side of Corporate, North of Long Lake (5455 Corporate, PIN 88-20-08-451-004), Section 8, From O (Office) Zoning District to CB (Community Business) and MF (Multifamily) Zoning Districts

The applicant Eureka Innovation Development seeks a conditional rezoning of the subject parcel from O and CB and MF. The applicant proposes to develop 10 attached single-family residential buildings totaling 82 units, plus a one-story retail building including a drive-through restaurant. The subject site is 8.22 acres in area. An office building presently sits on the property.

The applicant is voluntarily offering the following as conditions of rezoning approval:

1. MF Development shall be limited to a maximum of 10-buildings and 82 total units.
2. Maximum % of Lot Area Covered by Buildings shall be 24%.
3. Maximum Building Height shall be for 2-story 26 ft and 3-story 32 ft.
4. Minimum guaranteed Open Green Space shall be 25%.
5. The residential building materials shall be a mix of brick, asphalt shingles, plank cement siding, with a variety of color palettes and durable low maintenance or maintenance free materials.
6. Each Unit shall have a 2-car garage. A minimum of 40 guest parking space shall be provided.
7. No exterior refuse containers shall be proposed for the residential units. Individual waste and recycling containers shall be stored in each unit's garage and placed at the curb on collection days.
8. CB Development shall be limited to a single-story retail building approximately 5800 sq/ft. A minimum of 24 parking spaces shall be provided.
9. The retail building materials shall be a mix of brick, stone, stucco, asphalt shingles, with variety of color palettes and durable low-maintenance or maintenance free materials.
10. Provide joint access between MF and CB developments on the north access road.

The Planning Commission is a recommending body for this application.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Site plan

G:\CONDITIONAL REZONING\JPCR2025-002 NORTHLAND ENCLAVE\PC Memo 05 13 2025.docx

POTENTIAL RESOLUTION

PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (JPCR2025-002) –
Proposed Northland Enclave, West side of Corporate, North of Long Lake (5455
Corporate, PIN 88-20-08-451-004), Section 8, From O (Office) Zoning District to CB
(Community Business) and MF (Multifamily) Zoning Districts

Resolution # PC-2025-05-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the O to CB and MF conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Corporate, north of Long Lake (5455 Corporate, PIN 88-20-08-451-004), within Section 8, being approximately 8.22 acres in size, be **GRANTED** for the following reasons:

1. The request complies with the Master Plan.
2. The rezoning would permit greater flexibility in use and development of the property.
3. The conditions offered by the applicant reasonably protect the adjacent properties.
4. The rezoning would be compatible with surrounding zoning and land use.
5. The site can be adequately served with municipal water and sewer.

BE IT FURTHER RESOLVED, That the Planning Commission recommends the following site plan design considerations:

1. Increase stacking by one (1) space
2. Provide screening around exterior air conditioning units.
3. Reduce lighting levels to 0.1 footcandles along retail boundaries adjacent to residential.
4. Provide color rendering of side and rear (garage) elevations

_____) or
(denied, for the following reasons: _____) or
(postponed, for the following reasons: _____)

Yes:

No:

MOTION PASSED / FAILED



GIS Online



Legend

Tax Parcels

Tax Parcel



0 500 1000
ft

Print Date: 5/5/2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



GIS Online



0 500 1000
ft

Print Date: 5/5/2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 8, 2025
May 6, 2025

Conditional Rezoning and Preliminary Site Plan Approval Review For City of Troy, Michigan

Applicant: Erion Nikolla

Project Name: Northland Enclave

Plan Date: April 22, 2025

Location: 5455 Corporate Drive

Zoning: O, Office

Proposed Zoning: Conditional Rezoning to CB, Community Business and MF, Multi-Family Residential

Action Requested: Conditional Rezoning and Preliminary Site Plan Recommendation

PROJECT SUMMARY

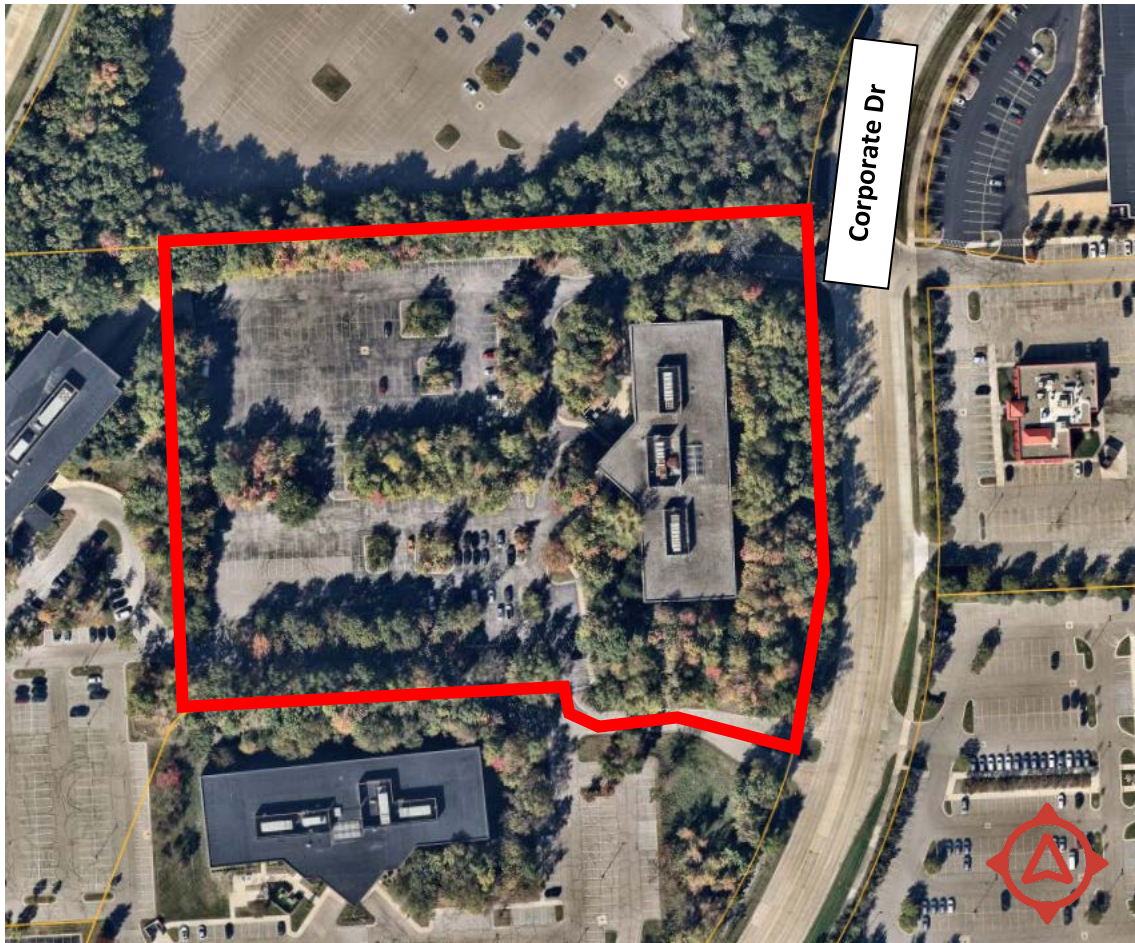
An application has been submitted to construct a mixed-use development on Corporate Drive, north of Long Lake Road. The proposed project requires a conditional rezoning and preliminary site plan review. The subject site is currently zoned O, Office and contains an underutilized office building. The applicant notes that the office building has only one (1) remaining tenant and has been actively marketed for office use, to no success.

The applicant proposes to split the lot into two parcels, with one parcel being conditionally rezoned to CB, Community Business and one parcel being conditionally rezoned to MF, Multi-

Family Residential. A 5,8000 sq/ft retail building is proposed for the CB portion of the site, and an 82 multiple-family residential development is proposed for the MF portion of the site.

The retail building contains five (5) separate units and a drive-through. The residential development contains eighty-two (82) units across ten (10) buildings, ranging from two (2) to three (3) stories. Site amenities include a gravel walking path in the southeast corner.

Location of Subject Site:



Current Zoning:

O, Office

Current Use of Subject Property:

Underutilized 3-story office building

Proposed Uses of Subject Property:

Retail (5,800 SF) and 82 unit Multiple-family residential (77,557 SF)

May 6, 2025

Surrounding Property Details:

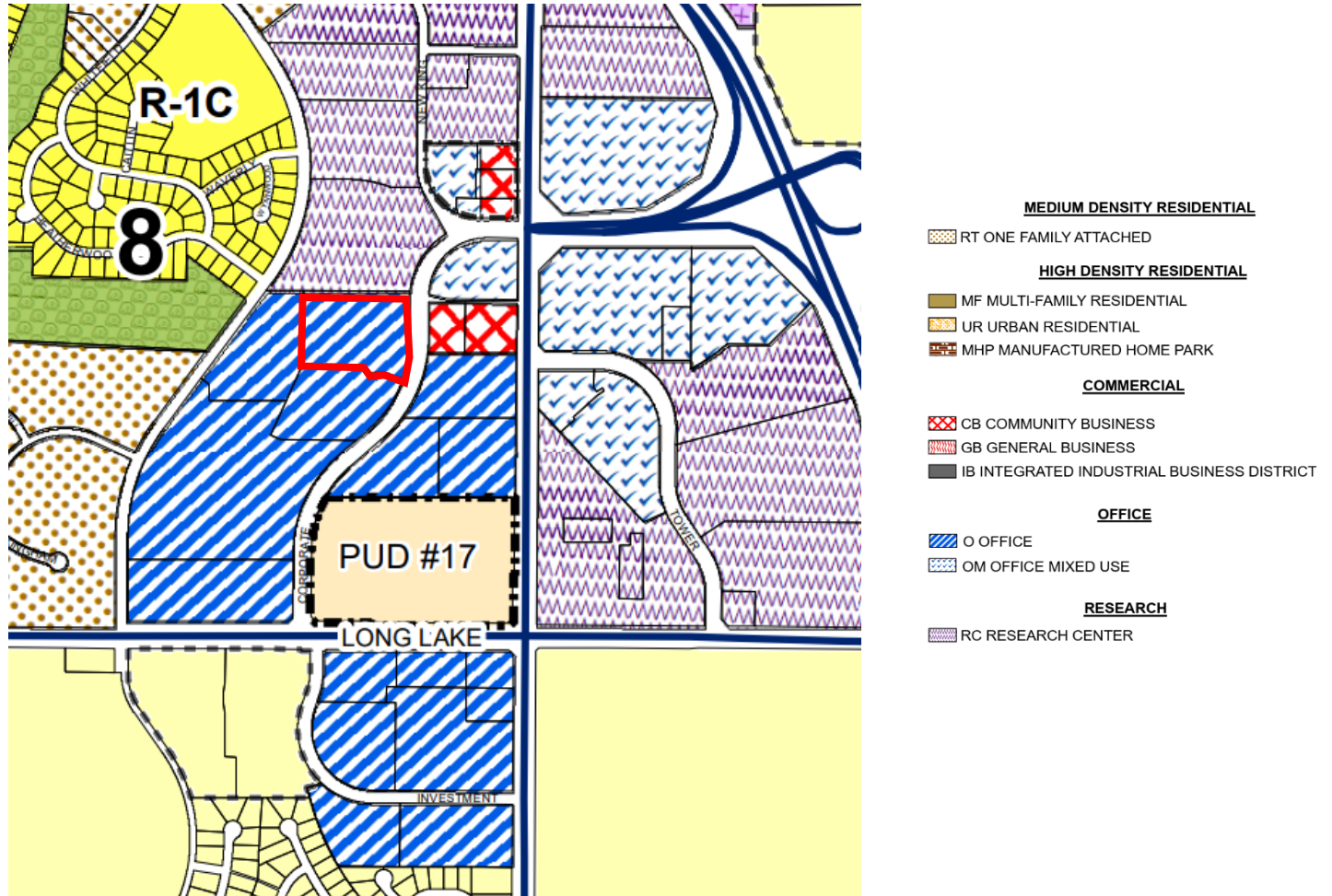
Direction	Zoning	Use
North	RC, Research Center	Oakland Community Health Network
South	O, Office	Misc. Offices
East	CB, Community Business O, Office	Red Robin Residential Home Health & Hospice
West	O, Office	Law and Medical Firms

CONDITIONS OFFERED

The applicant has voluntarily offered the following conditions:

1. *MF Development shall be limited to a maximum of 10-buildings and 82 total units.*
2. *Maximum % of Lot Area Covered by Buildings shall be 24%.*
3. *Maximum Building Height shall be for 2-story 26 ft and 3-story 32 ft.*
4. *Minimum guaranteed Open Green Space shall be 25%.*
5. *The residential building materials shall be a mix of brick, asphalt shingles, plank cement siding, with a variety of color palettes and durable low maintenance or maintenance free materials.*
6. *Each Unit shall have a 2-car garage. A minimum of 40 guest parking space shall be provided.*
7. *No exterior refuse containers shall be proposed for the residential units. Individual waste and recycling containers shall be stored in each unit's garage and placed at the curb on collection days.*
8. *CB Development shall be limited to a single story retail building approximately 5800 sq/ft. A minimum of 24 parking spaces shall be provided.*
9. *The retail building materials shall be a mix of brick, stone, stucco, asphalt shingles, with variety of color palettes and durable low-maintenance or maintenance free materials.*
10. *Provide joint access between MF and CB developments on the north access road.*

ZONING



There are a variety of zoning districts around the subject site, including O Office, RC Research Center, CB Community Business, R-1C One-Family Residential, OM Office Mixed Use, EP Environmental Protection, and RT, One Family Attached.

The subject site is currently zoned O, Office. Uses in the immediate area are largely office and general business uses. Although, a single-family residential neighborhood is northwest of the subject site and an attached single-family residential neighborhood lies southwest of the subject site.

The proposed rezoning to CB zoning is consistent with the CB zoning across Corporate Drive. The proposed rezoning to multiple family is consistent with RT One Family to the west.

MASTER PLAN

The site is located in the North Troy Special Area Plan, which states:

North Troy serves as the business and employment hub for the north side of the City. The area is dominated by office use, specifically mid-rise buildings and towers with large footprints built primarily in the mid-1980s to early 1990s. These buildings provide Class A and B space with ample parking, convenient highway access, fiber optic connections, and well manicured grounds. They have been marketed as ideal for corporate headquarters facilities. However, in order to maintain this position as a business and employment hub for the future, the area must evolve to serve the future office worker. Providing a compatible mix of uses, increasing amenities, and creating unique identity will help attract new tenants and keep employees and residents in the area beyond the work hour.

Priorities and strategies in North Troy include:

1. Provide a Compatible and Vibrant Mix of Use
 - a. Strategies:
 - i. Promote service infill through property repurposing
 - ii. Promote residential infill through property repurposing
 - iii. Develop and strengthen core
 - iv. Create a community gathering space
2. Improve Multi-modal Circulation and Safety
 - a. Strategies:
 - i. Study and implement road diets
 - ii. Introduce pedestrian mid-block crossings
 - iii. Establish consistent landscape buffer and setbacks
3. Inspire Tactical Placemaking to Create a Lively Place
 - a. Strategies:
 - i. Create an identity through gateways and wayfinding
 - ii. Facilitate health and wellness initiatives
 - iii. Encourage creative programming

With regards to residential, the Plan promotes residential infill through property repurposing. The plan notes a specific target of residential along Northfield Parkway. We note that though this site is not directly adjacent to Northfield Parkway, it is one parcel off and has access to Northfield Parkway through a connected parking lot. A variety of housing options will provide residents with convenient access to work, schools, and the new infill service amenities. It will also provide an appropriate transition between the more intense multiple story office use and the less intense single-family neighborhoods. Rezoning transitional areas between the service core and surrounding social neighborhoods as mixed use would also enable property owners to repurpose the upper stories of underutilized office buildings as residential use. Overall, we find removing an underperforming office building and repurposing the site for commercial and residential use is consistent with the overall intent of the transformation of North Troy.

NATURAL FEATURES

- Topography:** A topographic survey has been provided on Sheet C-1.0. Approximately half of the site has been graded for previous development. The site slopes downward from the northwest to southeast corners, with an elevation difference of roughly twenty-three (23) feet.
- Wetlands:** There are no state regulated wetlands on the site.
- Floodplain:** The site is not located within a flood hazard zone.
- Woodlands:** A tree inventory and replacement plan have been provided. The tree inventory shows that the composition of trees is predominantly woodland and invasive species, with a small amount of landmark trees. Invasive species on site include American Elms, Silver Maples, and Cottonwoods. Replacement details are outlined in the table below.

Replacement Details		
Protected Tree	Inches Removed	Replacement Required
Landmark	340 inches	340 inches
Woodland	3215 inches	1608 inches
Protected Tree	Inches Preserved	Credit
Landmark	62 inches	124 inches
Woodland	1138 inches	2276 inches
Protected Replacement Required	1,948 inches	
Preservation Credit	2,400 Inches	
Total	0 inches of replacement required	

Items to be Addressed: None.

SITE ARRANGEMENT

The applicant proposes a mixed-use development off Corporate Drive, including retail and residential uses. A 5,800 square foot retail building is located at the front of the site (along Corporate Drive) and ten (10) residential buildings are located directly behind. A drive-thru is proposed around the retail building. A total of eighty-two (82) single-family attached units are located in the residential buildings.

Sidewalk paths are provided across the retail and residential sites, connecting to the existing sidewalk system along Corporate Drive. A gravel walking path is also proposed south of the retail building. One-way traffic is utilized around the retail building and all retail parking is surface parking. Within the residential area, two-way traffic is utilized, residential parking is located within integrated garages, and guest parking is located along the north lot line.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

Dimensional standards are applied separately as required by each zoning district. MF standards are applied to the multi-family residential and CB standards are applied to the retail portion of the development.

	Required	Provided	Compliance
MF District			
Front Setback	30 feet	120.95 feet	Complies
Side Setbacks	30 feet	North: 70 feet South: 75.66 feet	Complies
Rear Setback	30 feet	30 feet	Complies
Distance Between Buildings	30 feet	30+ feet	Complies
Maximum Building Lot Coverage	35%	23.8%	Complies
Maximum Building Height	When not abutting SF residential: 8 stories, 100 feet	3 stories, 36 feet (at peak)	Complies
Maximum Density	When not abutting SF residential: 24 DU/Acre 24 DU*7.49 acres= 179 units max	80 units	Complies

	Required	Provided	Compliance
CB District			
Front Setback	10 feet	10 feet	Complies
Side Setbacks	20 feet	North: 103.24 feet South: 37.31 feet	Complies

Rear Setback	30 feet	70.56 feet	Complies
Maximum Building Height	2 stories, 30 feet	1 story, 27 feet	Complies
Minimum Floor Area	500 square feet	5,804 square feet	Complies

Items to be Addressed: None.

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided	Complies
Multiple-Family Residential			
1 space per each efficiency dwelling unit 2 spaces per each dwelling unit	82 dwelling units*2 = 164 spaces	164 garage spaces + 32 surface spaces = 196 spaces	Complies
Retail			
1 space per each 250 square feet of gross floor area	5,804 SF/250 = 23 spaces	24 spaces	Complies
Restaurant Drive-through Window			
10 stacking spaces which do not conflict with use of other required spaces	10 stacking spaces	10 stacking spaces	Complies
Barrier Free (Retail)			
For facilities with up to 25 total parking spaces	1 space	2 spaces	Complies

Items to be Addressed: Increase stacking by one (1) space.

SITE ACCESS AND CIRCULATION

Vehicular Access:

The site has one (1) vehicular point of access off Corporate Drive. Upon entering the site from Corporate, the driver has two (2) options: either take a quick left into the retail parking lot, or continue straight into the residential development. There is additional access to the residential portion of the development through adjacent parking lots.

Two-way traffic is utilized within the residential development. Drivers will enter and exit the site from the same vehicular point of access. Alternatively, one-way traffic is utilized within the retail site. A driver is required to enter the retail site from the north end, and exit the site from an egress-only exit provided in the south.

Pedestrian Circulation:

A 5-foot wide sidewalk is provided throughout the residential and retail developments, connecting to the existing sidewalk system along Corporate Drive. All residential units have a small pathway out front that connects to the sidewalk. Several crosswalks are provided across the site to improve connectivity where crossing over the road is necessary. Over on the retail site, sidewalk is provided along all four (4) sides of the building. Although, sidewalk width falls below five (5) feet along the south side of the building (near the drive-through window).

Items to be Addressed: None.

LANDSCAPING

A landscaping plan has been provided on Sheet L-1.0. The following table discusses the development's compliance with the landscape requirements set forth in Section 13.02.

	Required	Provided	Compliance
Greenbelt Landscaping			
Corporate Drive: 1 deciduous tree per 30 lineal feet of street frontage	$579.92/30 = 20$	20 trees (9 new; 11 existing)	Complies
Parking Lot Landscaping			
1 tree per every 8 parking spaces	$64 \text{ surface spaces}/8$ $= 8 \text{ trees}$	8 trees	Complies
Screening Between Uses			

May 6, 2025

Retail to Residential: 1 large evergreen tree per 10 lineal feet OR 1 large evergreen tree per 10 lineal feet + 1 narrow evergreen tree per 5 lineal feet	232.88 LF/10 = 23 trees	24 trees	Complies
Overall Site Landscaping			
A minimum of 20% of the site area shall be comprised of landscape material	20%	28.37%	Complies

Trash Arrangement and Screening:

There will be no exterior trash containers for the residential units. Personal trash and recycling containers will be stored in each unit's garage and placed at the curb on the designated collection day.

Alternatively, a double dumpster enclosure is provided at the southwest corner of the retail site. The enclosures will be screened with a 6-foot tall masonry wall and sixteen (16) evergreen trees.

Mechanical Equipment:

Mechanical equipment is located along the north side of the retail building and will be screened with eight (8) evergreen shrubs. Air conditioning units are located along the sides of residential buildings and appear to be screened by a wall, although no details of the screening walls are provided. We ask the applicant to verify the design of these screening walls. Materials used shall be compatible with the adjacent buildings.

Stormwater Management:

A plan for stormwater management is provided on Sheet C-6.0. We refer to the City Engineer for further review.

Items to be Addressed: *Provide screening around exterior air conditioning units.*

PHOTOMETRICS

The applicant proposes the use of six (6) pole lights and one-hundred and sixty-four (164) wall-mounted lights. All fixtures comply with ordinance standards.

In a previous review, we raised the issue that lighting levels around the retail site exceed the amount permitted when abutting a residential use (0.1 footcandles). We asked the applicant to

May 6, 2025

revise the photometric plan to bring lighting levels into compliance with Section 13.05.2.b. In a response letter dated April 22, 2025, the applicant states that this issue has been corrected; however, we find that revised site plans still show that lighting levels around the retail site are too high.

Items to be Addressed: Reduce lighting levels to 0.1 footcandles along retail boundaries adjacent to residential.

FLOOR PLAN AND ELEVATIONS

Retail:

The retail building is one-story, 5,800 square feet. It contains five (5) units, measuring 1,292 square feet each. Each unit has access from the front and back. Each unit is shown to have an open floor plan with one (1) restroom in the rear. A drive-through window is located on the south side of the building.

Primary building materials of the retail building are brick, stucco, smooth face stone, glass, and asphalt shingles. Secondary materials include fascia and frieze board, and metal roof and cable awning accents. Colored renderings indicate that exterior colors will be black, dark gray, and light gray. Building height at the peak of the flat roof measures 27 feet.

Residential:

The site includes ten (10) residential buildings, containing a total of eighty-two (82) units. The buildings are proposed in the following arrangements:

- Three (3) buildings have six (6) two-story units
- Three (3) buildings have eight (8) two-story units
- Two (2) buildings have twelve (12) two-story units
- Two (2) buildings have eight (8) three-story units

Overall, floor plans for the units are largely the same. Each unit includes a garage and balcony, as well as all common space areas (kitchen, family room, laundry, etc.). All units have three (3) restrooms. Some units have two (2) bedrooms while others have three (3).

Average building height of the two-story buildings is 25 feet 3 inches. Average height of the three-story buildings is 32 feet.

Residential building materials include brick, vertical siding, fascia and frieze board, glass, and asphalt shingles. An image provided on Sheet A.3 indicates that exterior building colors will be a mix of black, light brown, light gray, and white.

Colored Renderings:

Applicant has not provided color renderings of the side and rear (garage) elevations. A video rendering of the site has been provided.

Items to be Addressed: *Provide color rendering of side and rear (garage) elevations.*

CONDITIONAL REZONING STANDARDS

As set forth in section 16.04.C.3, Standards for Approval, a Conditional Rezoning may only be approved upon a finding and determination that all of the following are satisfied:

1. The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.
2. The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:
 - a. A change in City policy since the Master Plan was adopted.
 - b. A change in conditions since the Master Plan was adopted.
 - c. An error in the Master Plan.
3. The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.
4. Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.
5. The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.

SITE PLAN REVIEW STANDARDS

Site Plan review standards provide the Planning Commission with direction when reviewing the proposed site plan and design features of this development.

Section 8.06 outlines Site Plan Review Design Standards.

1. *Development shall ensure compatibility to existing commercial districts and provide a transition between land uses.*
 - a. *Building design shall enhance the character of the surrounding area in relation to building and parking placement, landscape and streetscape features, and architectural design.*
 - b. *Street fronts shall provide a variety of architectural expression that is appropriate in its context and prevents monotony.*
 - c. *Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.*
2. *Development shall incorporate the recognized best architectural building design practices.*
 - a. *Foster a lasting impact on the community through the provision of high quality design, construction, and detailing.*

May 6, 2025

- b. Provide high quality, durable materials, such as but not limited to stone, brick, glass, and metal. E.I.F.S. or material equivalent shall only be used as an accent material.*
 - c. Develop buildings with creativity that includes balanced compositions and forms.*
 - d. Design roofs that are appropriate to the architectural style of the building and create an appropriate visual exterior mass of the building given the context of the site.*
 - e. For commercial buildings, incorporate clearly defined, highly visible customer entrances using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.*
 - f. Include community amenities that add value to the development such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public.*
- 3. Enhance the character, environment and safety for pedestrians and motorists.*
 - a. Provide elements that define the street and the pedestrian realm.*
 - b. Create a connection between the public right of way and ground floor activities.*
 - c. Create a safe environment by employing design features to reduce vehicular and pedestrian conflict, while not sacrificing design excellence.*
 - d. Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.*
 - e. Improve safety for pedestrians through site design measures.*

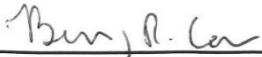
SUMMARY

Overall, we support the conditional rezoning and site plan as proposed. We find that removing an underperforming office building and repurposing the site for commercial and residential use is consistent with the overall intent of the transformation of North Troy. As a condition of approval, we recommend the following items be provided by the applicant:

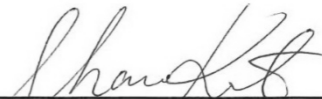
- 1. Increase stacking by one (1) space*
- 2. Provide screening around exterior air conditioning units.*
- 3. Reduce lighting levels to 0.1 footcandles along retail boundaries adjacent to residential.*
- 4. Provide color rendering of side and rear (garage) elevations*

Sincerely,

Northland Enclave, CR and SPR
May 6, 2025



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
President



CARLISLE/WORTMAN ASSOC., INC.
Shana Kot
Community Planner

January 15, 2025
PEA Project No: 24-1286

Mr. Brent Savidant
Community Development Director
City of Troy Planning Department
500 West Big Beaver
Troy, Michigan 48084

RE: Conditional Rezoning Application
Parcel 20-08-451-004
5455 Corporate Drive
City of Troy, Oakland County, Michigan

Dear Mr. Savidant:

Eureka Innovation Development respectfully is petitioning for a change in the zoning for Parcel # 20-08-451-004.

Pursuant to the provisions of the Michigan Zoning Enabling Act, P.A. 110 of 2006, as amended, and pursuant to all applicable provisions of law, we are requesting that the zoning map of the City of Troy be amended to conditionally rezone 5455 Corporate Drive, being parcel number 20-08-451-004, from O-1 to CB and MF in order to construct 10 attached single-family dwelling buildings totaling 82-units and a single-story retail building. The proposed development provides economically attainable housing while offering community amenities, including retail and dining options.

Location & Existing Conditions:

The subject property is located on the west side of Corporate Drive between Crooks and Long Lake Roads. The parcel is approximately 358,274 square feet or 8.22 acres in size. The parcel is currently developed with a nearly vacant three-story office building, being approximately. The surrounding parcels include office uses to the north, south west and restaurant to the east.

Existing Zoning & Future Land Use:

As stated above the subject parcel is zoned O-1 Office. The existing office appears to have been constructed in the late-1980's.

The 2040 City of Troy Master Plan indicates that the subject parcel is in the "North Troy Special Planning Area". The priorities denoted in the plan are to provide a compatible and vibrant mix of uses, improve multi-modal circulation and safety, and inspire tactical place making to create a lively place. One strategy noted in the priority is to promote residential infill through property repurposing.

Proposed Use & Site Plan:

Under the proposed rezoning (**see Exhibit B**) the proposed MF zoning development (**see Exhibit C**), shall be limited to 10-buildings, 82 total residential units, consisting of 66 2-story and 16 3-story attached single-family residential units. Each unit will be approximately 1550 - 1760 sq/ft and include an attached 2-car garage. The buildings will be materials consisting of a mix of brick, asphalt shingles, plank siding, with variety of color palettes and durable low-maintenance or maintenance free materials.

Under the proposed rezoning the proposed CB zoning development (**See Exhibit C**) shall be limited to a single-story retail building, approximately 5800 sq/ft, fronting on Corporate Drive, with a patio along Corporate Drive and parking located to the sides and rear of the building. The building will be materials consisting of a mix of brick, stone, stucco, asphalt shingles, with variety of color palates and durable low-maintenance or maintenance free materials.

The overall site design shall promote resident walk-ability throughout the site while connecting the other office buildings to the new retail area.

Voluntary Conditions:

Under Section 405 of the Zoning Enabling Act, the petitioner voluntarily offers uses and restrictions of the property as a condition to rezoning the land. These conditions result in recognizable and material benefits to the city that would unlikely be achieved otherwise under the site's existing zoning.

The following conditions are provided voluntarily as conditions of rezoning approval:

1. MF Development shall be limited to a maximum of 10-buildings and 82 total units.
2. Maximum % of Lot Area Covered by Buildings shall be 24%.
3. Maximum Building Height shall be for 2-story 26 ft and 3-story 32 ft.
4. Minimum guaranteed Open Green Space shall be 25%.
5. The residential building materials shall be a mix of brick, asphalt shingles, plank cement siding, with a variety of color palettes and durable low-maintenance or maintenance free materials.
6. Each Unit shall have a 2-car garage. A minimum of 40 guest parking space shall be provided.
7. No exterior refuse containers shall be proposed for the residential units. Individual waste and recycling containers shall be stored in each unit's garage and placed at the curb on collection days.
8. CB Development shall be limited to a single story retail building approximately 5800 sq/ft. A minimum of 24 parking spaces shall be provided.

9. The retail building materials shall be a mix of brick, stone, stucco, asphalt shingles, with variety of color palettes and durable low-maintenance or maintenance free materials.
10. Provide joint access between MF and CB developments on the north access road.

Reasons of Recommendation:

We request rezoning approval, based upon the following:

- A. Per the 2040 Master Plan for the North Troy Study Area, promote residential infill through property repurposing to provide housing that is composed of smaller single-family attached homes that achieves moderate density appealing to both younger and older populations and adding retail services supporting not only residents but also nearby office tenants.
- B. Creates a uniform Zoning district that could not be provided prior to the Michigan Zoning Enabling Act.
- C. The site's physical and other environmental features are compatible with the proposed number of single-family attached dwelling units.
- D. The proposed number of single-family attached dwelling units is compatible with surrounding uses and zoning in terms of the environment, density, traffic volumes, aesthetics, infrastructure, and potential influence on property values.
- E. The street system is capable of safely and efficiently accommodating expected traffic volumes generated by the proposed number of single-family attached dwelling units.
- F. The capacity of public utilities and services is sufficient to accommodate the proposed number of single-family attached dwelling units without compromising the city's health, safety and welfare.
- G. There is an apparent demand in the City for single-family attached dwelling units in relation to the amount of land in the city currently zoned and available to accommodate the demand.
- H. The rezoning of the property does not unreasonably impact the adjacent properties.

The proposed rezoning will allow the site to be developed in a manner consistent with the City of Troy's Master Plan and preserve the natural features of the site better than if the site was developed under its current zoning.

Thank you for your consideration,

E. Nikolla

Eureka Innovation Development
5920 Livernois
Troy Mi 48098

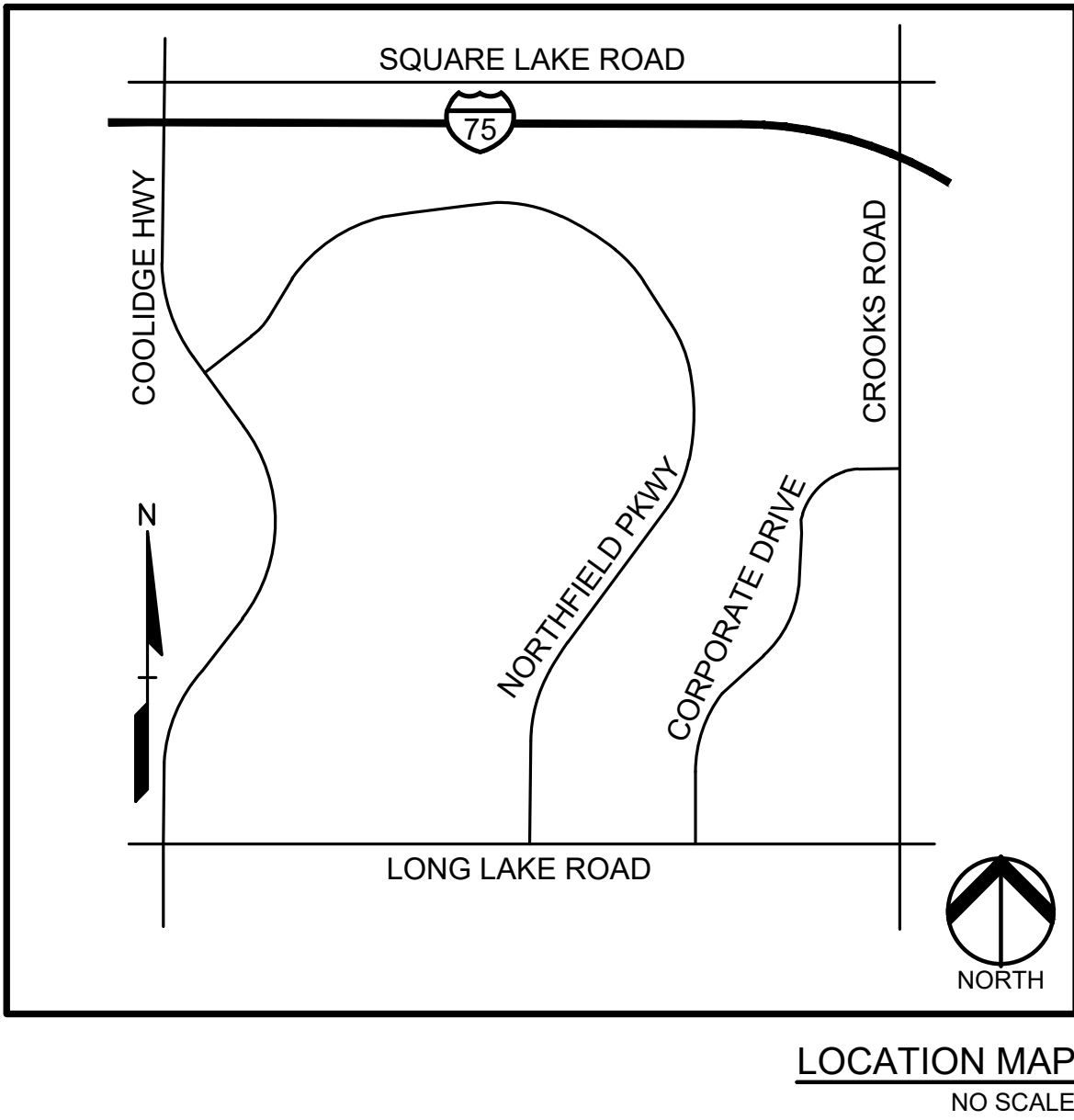
PRELIMINARY SITE PLANS

NORTHLAND ENCLAVE

5455 CORPORATE DRIVE
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
2/14/2025		CITY OF TROY SITE PLAN APPROVAL



INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-3.0	PRELIMINARY SITE PLAN
C-3.1	PRELIMINARY FIRE TRUCK TURNING PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-6.0	PRELIMINARY UTILITY PLAN
C-9.0	NOTES AND DETAILS
C-9.1	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS
L-2.1	LANDSCAPE DETAILS
T-1.0	TREE PRESERVATION PLAN
T-1.1	EXISTING TREE LIST
T-1.2	EXISTING TREE LIST (CONTINUED)
1 OF 2	PHOTOMETRIC PLAN
2 OF 2	PHOTOMETRIC DETAILS
	ARCHITECTURAL DRAWINGS (ARKO DESIGN ASSOCIATES)
T.1	TITLE SHEET
A.1	RETAIL FLOOR PLAN AND ELEVATIONS
A1.1	RETAIL ELEVATIONS
A.2	6 UNIT - 2 STORY BUILDING FLOOR PLAN
A.3	6 UNIT - 2 STORY BUILDING ELEVATION
A.4	8 & 12 UNITS - 2 STORY FOUNDATION PLAN
A.5	8 UNIT - 2 STORY BUILDING FLOOR PLANS
A.6	8 UNIT - 2 STORY BUILDING ELEVATIONS
A.7	12 UNIT - 2 STORY BUILDING FLOOR PLANS
A.8	12 UNIT - 2 STORY BUILDING ELEVATIONS
A.9	8 UNIT - 3 STORY BUILDING FLOOR PLANS
A.10	8 UNIT - 3 STORY BUILDING FLOOR PLANS
A.11	8 UNIT - 3 STORY BUILDING ELEVATIONS
	EXTERIOR BUILDING MATERIALS BOARD
	COLOR PERSPECTIVES

DESIGN TEAM

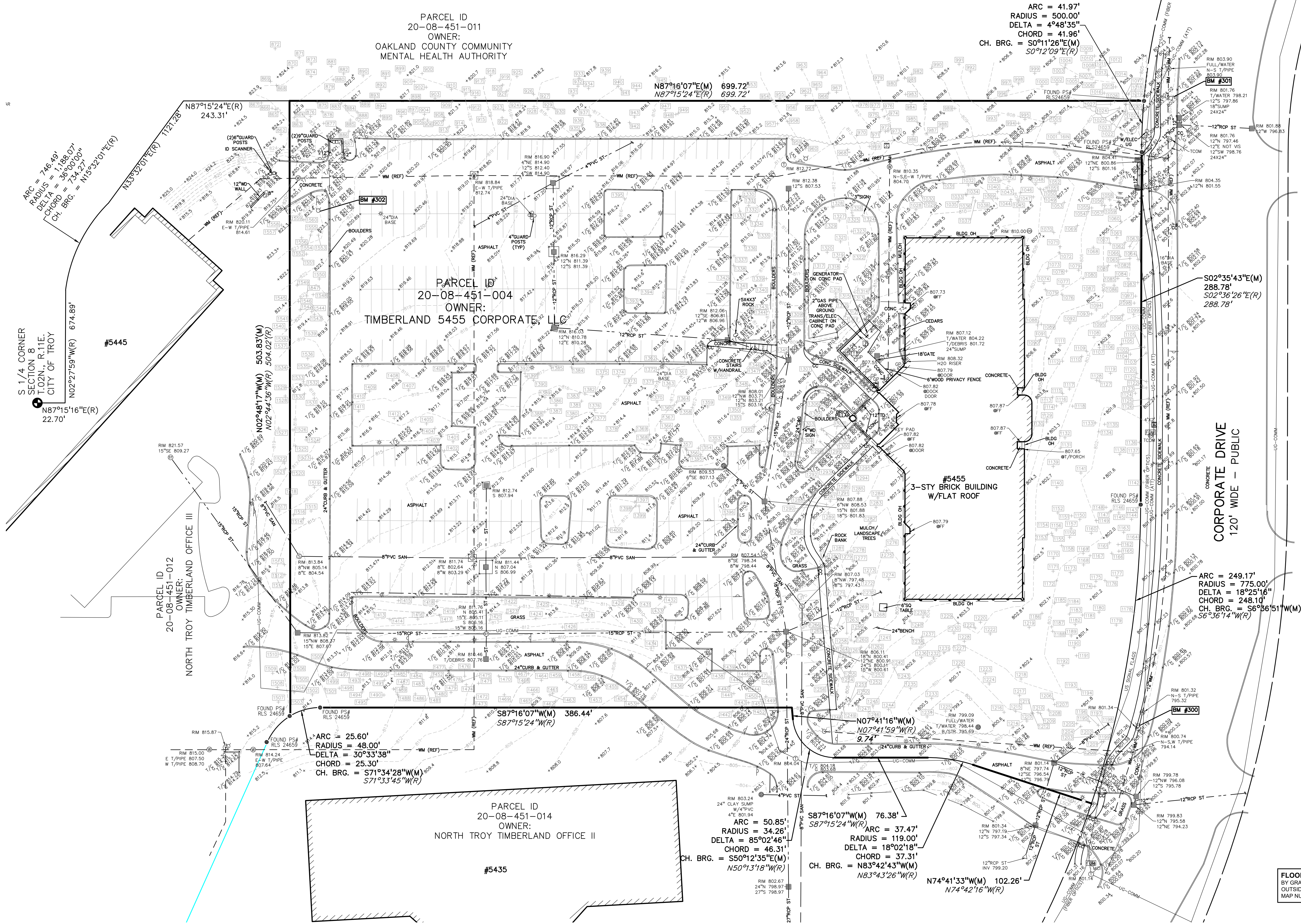
OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
EUREKA DEVELOPMENT COMPANY 5960 LIVERNOIS TROY, MI 48098 CONTACT: ERION NIKOLLA PHONE: 248-564-6010 EMAIL: E.NIKOLLA@EUREKABUILDINGCOMPANY.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
ARKO DESIGN ASSOCIATES 2298 YASMIN DRIVE COMMERCE TOWNSHIP, MI 48382 CONTACT: ARTUR KOKAJ, PMP PHONE: 248.802.8409 EMAIL: ARTURKOKAJ@LIVE.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
SITE PLAN APPROVAL	2/14/2025
SITE PLAN APPROVAL RESUBMITTAL	4/22/2025

NOT FOR CONSTRUCTION

S:\PROJECTS\2024\24-1286 EUREKA - NORTH TROY\DWG\24-1286.dwg PLOT DATE: 4/22/2025 BY: Robert Mooney



- LEGEND:**
- OH-ELEC-W-O- EX. OH. ELEC. POLE & GUY WIRE
 - UG-CATV- EX. U.G. CABLE TV & PEDESTAL
 - UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
 - UG-ELEC-CH- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
 - EX. GAS LINE
 - EX. GAS VALVE & GAS LINE MARKER
 - EX. TRANSFORMER & IRRIGATION VALVE
 - EX. WATER MAIN
 - EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
 - EX. WATER VALVE BOX & SHUTOFF
 - EX. SANITARY SEWER
 - EX. SANITARY CLEANOUT & MANHOLE
 - EX. COMBINED SEWER MANHOLE
 - EX. STORM SEWER
 - EX. CLEANOUT & MANHOLE
 - EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
 - EX. YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
 - EX. UNIDENTIFIED STRUCTURE
 - EX. MAILBOX, SIGN, LIGHTPOLE & GUARD POST
 - EX. FENCE
 - EX. GUARD RAIL
 - EX. DEC. TREE, CONIFEROUS TREE & SHRUB
 - EX. TREE TAG & TREE LINE
 - EX. SPOT ELEVATION
 - EX. CONTOUR
 - EX. WETLAND
 - IRON FOUND / SET
 - NAIL FOUND / NAIL & CAP SET
 - BRASS PLUG SET
 - MONUMENT FOUND / SET
 - SECTION CORNER FOUND
 - RECORDED / MEASURED / CALCULATED
 - GNSS

REFERENCE DRAWINGS:

WATER MAIN CITY OF TROY GIS ONLINE, DATED 11/26/24
SANITARY SEWER NOT RECEIVED AS OF 10/21/24
STORM SEWER CITY OF TROY GIS ONLINE, DATED 11/26/24
COMM US SIGNAL FIBER, EMAIL DATED 12/3/24
ELECTRIC NOT RECEIVED AS OF 10/21/24
TELEPHONE VERIZON, EMAIL DATED 11/25/24
GAS ATT MAP, DATED 12/9/24
CATV NOT RECEIVED AS OF 10/21/24
FLOOD PLAIN COMCAST, EMAIL DATED 11/25/24
FEMA F.I.R.M. MAP 26145C0191E, DATED 8/15/23

LEGAL DESCRIPTION:
(Per Oakland County)

T2N, R1E, SEC 8 PART OF E 1/2 OF SEC BEG AT PT DIST N 87-15-16 E 22.70 FT & N 82-27-59 W 674.89 FT & N 15-32-01 E 734.27 FT & N 33-32-01 E 1121.26 FT & N 87-15-24 E 243.31 FT FROM S 1/4 COR. TH N 87-15-24 E 699.72 FT, TH ALG CURVE TO LEFT, RAD 500 FT, CHORD BEARS S 00-12-09 E 41.96 FT, DIST OF 41.97 FT, TH S 02-36-26 E 288.78 FT, TH ALG CURVE TO RIGHT, RAD 775 FT, CHORD BEARS S 06-36-14 W 249.11 FT, DIST OF 249.18 FT, TH N 74-42-16 W 102.26 FT, TH ALG CURVE TO LEFT, RAD 119 FT, CHORD BEARS N 83-43-26 W 37.31 FT, DIST OF 37.47 FT, TH S 87-15-24 W 76.38 FT, TH ALG CURVE TO RIGHT, RAD 34.26 FT, CHORD BEARS N 50-13-16 W 46.31 FT, DIST OF 50.85 FT, TH N 07-41-59 W 9.74 FT, TH S 87-15-24 W 388.44 FT, TH ALG CURVE TO LEFT, RAD 48 FT, CHORD BEARS S 71-33-45 W 25.30 FT, DIST OF 26.30 FT, TH N 02-44-36 W 504.02 FT TO BEG 8.23 A

BENCHMARKS:
(GPS DERIVED - NAVD83)

BM #300
ARROW ON HYDRANT AT NORTHWEST CORNER OF CORPORATE DRIVE AND ENTRANCE TO TIMBERLAND OFFICE PARK ±70' NORTHEAST OF SOUTHEAST PROPERTY CORNER.
ELEV. - 803.66

BM #301
ARROW ON HYDRANT ±22' EAST OF NORTHEAST PROPERTY CORNER.
ELEV. - 805.01

BM #302
PLAQUE ON FLANGE OF HYDRANT MARKED "237" ±90' SOUTH OF NORTHWEST PROPERTY CORNER.
ELEV. - 825.56

ARC = 249.17'
RADIUS = 775.00'
DELTA = 18°25'16"
CHORD = 248.10'
CH. BRG. = S6°36'51"W(M)
S6°36'14"W(R)

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26145C0191E DATED AUGUST 15, 2023.

PEA GROUP
t: 844.813.2949
www.peagroup.com



0 20 40 80
SCALE: 1" = 40'



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
EUREKA DEVELOPMENT COMPANY
5960 LIVERNOIS
TROY, MI 48064

PROJECT TITLE
NORTHLAND ENCLAVE
5455 CORPORATE DR
TROY, MI 48064

REVISIONS

REVISION	DATE
SITE PLAN APPROVAL	2/14/2025
REVISED SITE PLANS	4/22/2025

ORIGINAL ISSUE DATE:
JANUARY 21, 2025

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO. 24-1286

P.M.	JPB
D.N.	RRM
DES.	LGD

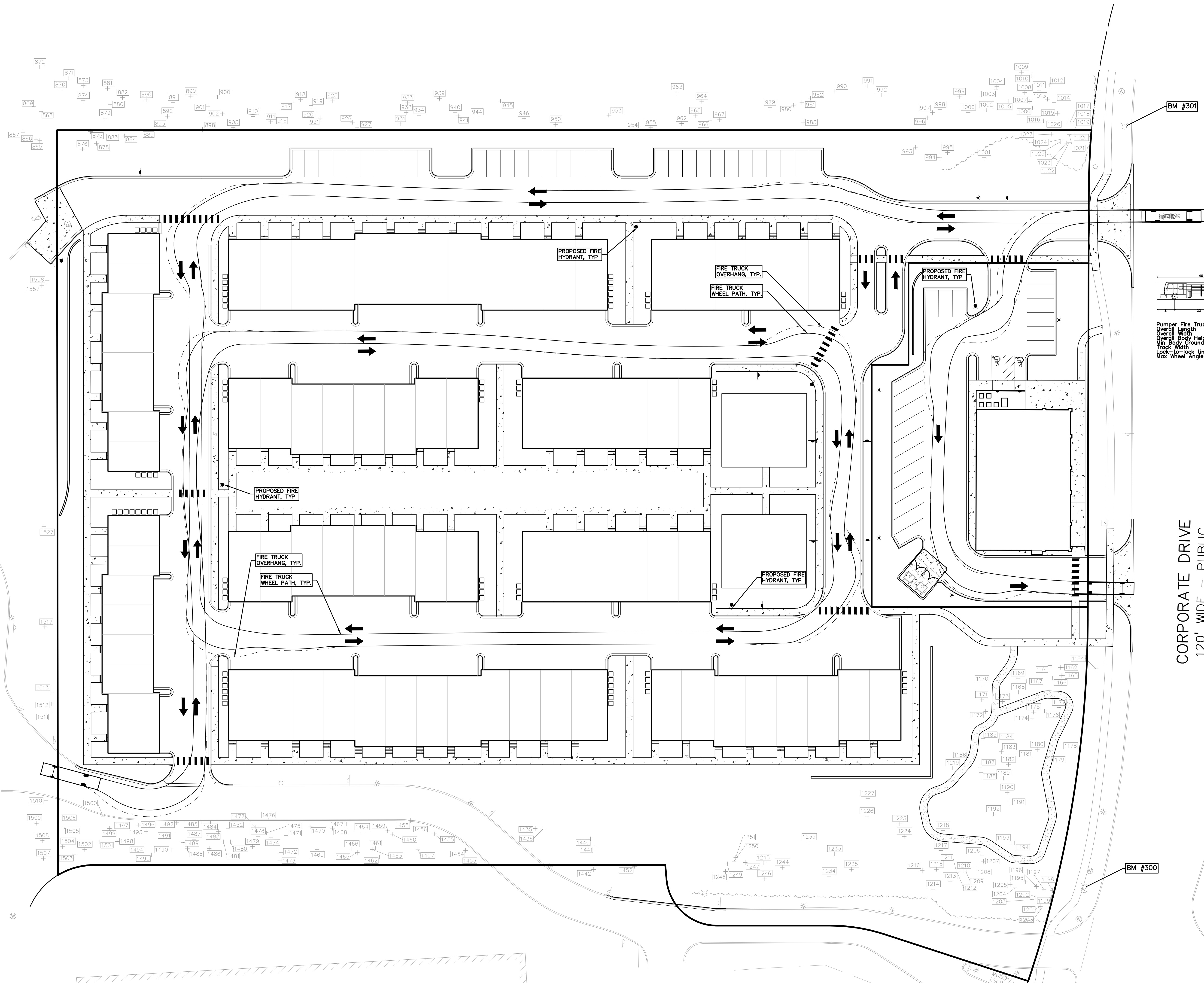
DRAWING NUMBER:

C-1.0

NOT FOR CONSTRUCTION



S:\PROJECTS\2024\24-1286 EUREKA - NORTH TROY\DWG\2_28 SITE PLAN(C-3)TROY-24-1286.dwg PLOT DATE: 4/22/2025 BY: Robert Mooney



Pumper Fire Truck
Overall Length
Overall Width
Overall Body Height
Min. Body Ground Clearance
Track Width
Lock-to-lock time
Max. Wheel Angle

40,000ft
8,167ft
7,457ft
0,457ft
8,167ft
5,008ft
45.00°

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PEA GROUP
t: 844.813.2949
www.peagroup.com



0 15 30 60
SCALE: 1" = 30'

811 Know what's below. Call before you dig.

CLIENT
EUREKA DEVELOPMENT COMPANY
5960 LIVERNOIS
TROY, MI 48064

PROJECT TITLE
NORTHCLAVE ENCLAVE
5455 CORPORATE DR.
TROY, MI 48064

REVISIONS
SITE PLAN APPROVAL 2/14/2025
REVISED SITE PLANS 4/22/2025

ORIGINAL ISSUE DATE:
JANUARY 21, 2025

DRAWING TITLE
PRELIMINARY FIRE TRUCK TURNING PLAN

PEA JOB NO. 24-1286
P.M. JPB
DN. RRM
DES. LGD
DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-3.1

TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

The diagram illustrates a cross-section of a road profile. At the top left, a point is labeled 'EXISTING SPOT ELEVATION' with a value of '608.0'. Below this, a point is labeled 'PROPOSED SPOT ELEVATION: TYPICALLY Y TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.' with a value of '622.50'. The profile shows a road surface sloping downwards from left to right. Below the road surface, there are several horizontal lines representing different elevations: 'EXISTING CONTOUR' at 670, 'PROPOSED CONTOUR' at 922, 'PROPOSED REVERSE GUTTER PAN' (indicated by a thick solid line), 'PROPOSED RIDGE LINE' (indicated by a dashed line), and 'PROPOSED SWALE/DITCH' (indicated by a dashed line with a central peak).

EXISTING SPOT ELEVATION
608.0

PROPOSED SPOT ELEVATION:
TYPICALLY Y TOP OF PAVEMENT
IN PAVED AREAS, GUTTER GRADE
IN CURB LINES.
622.50

670 EXISTING CONTOUR

922 PROPOSED CONTOUR

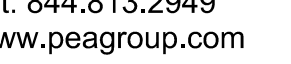
PROPOSED REVERSE GUTTER PAN

PROPOSED RIDGE LINE

PROPOSED SWALE/DITCH

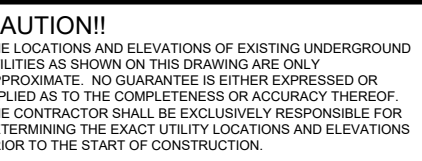
T/C = TOP OF CURB F = FLUSH WALK
T/P = TOP OF PAVEMENT G = GUTTER GRADE
T/S = TOP OF SIDEWALK FF = FINISH FLOOR
T/W = TOP OF WALL FG = FINISH GRADE
B/W = BOTTOM OF WALL RIM = RIM ELEVATION

F = FLUSH WALK
G = GUTTER GRADE
FF = FINISH FLOOR
FG = FINISH GRADE
RIM = RIM ELEVATION



30 6

ALE: $1'' = 30'$



**EUREKA
DEVELOPMENT
COMPANY**
960 LIVERNOIS
ROY, MI 48084

**NORTHLAND
ENCLAVE**
455 CORPORATE DR.
ROY, MI 48064

SITE PLAN APPROVAL	2/14/20
REVISED SITE PLANS	4/22/20

ORIGINAL ISSUE DATE:
JANUARY 21, 2025

DRAWING TITLE
**PRELIMINARY
GRADING PLAN**

M. JPB

N.	RRM
----	-----

ES.	LGD
-----	-----

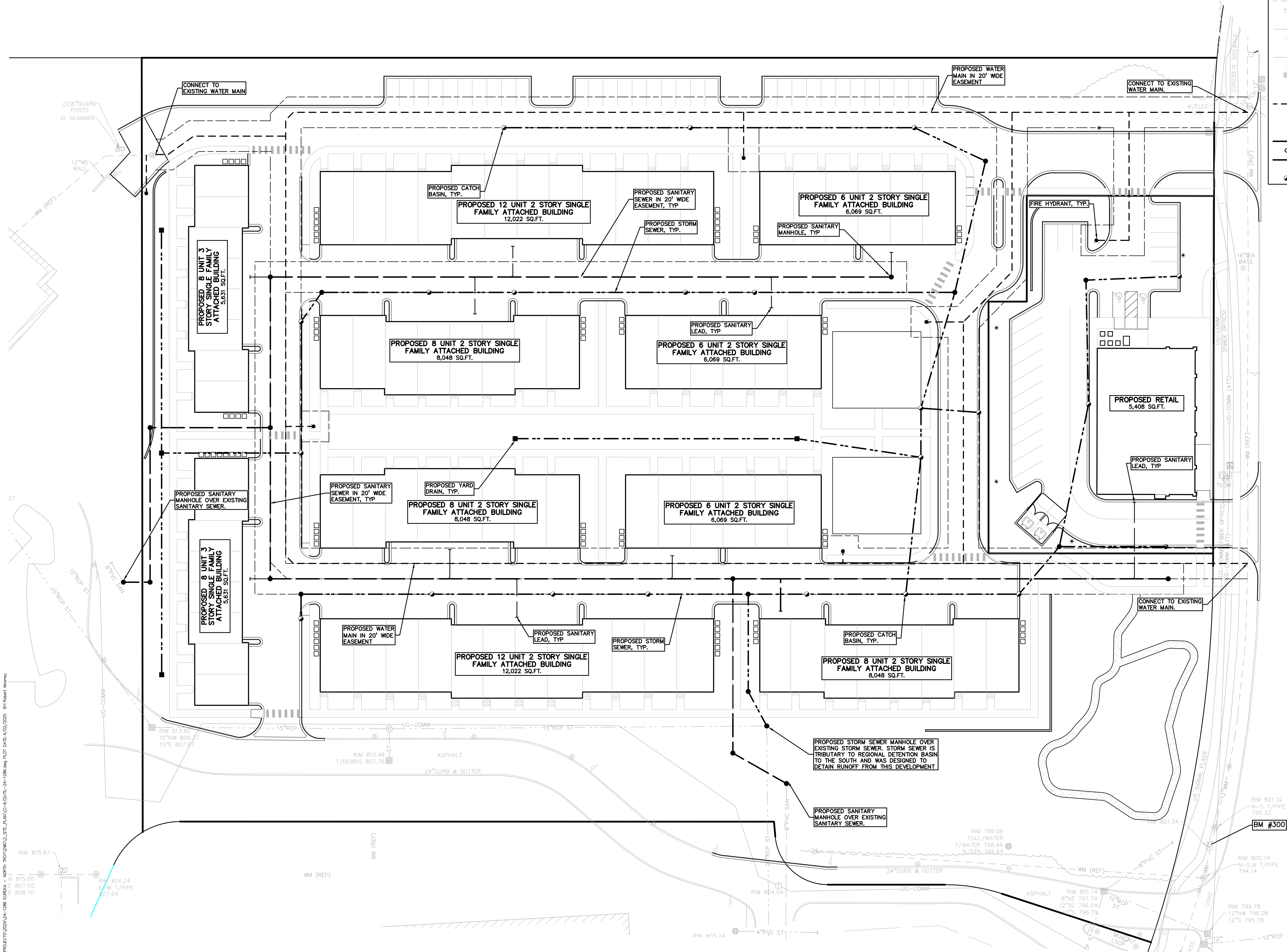
RAWING NUMBER:

C-4.0

CORPORATE DRIVE
120' WIDE - PUBLIC

NOT FOR CONSTRUCTION

S:\PROJECTS\2024\24-1286 EUREKA - NORTH TROY\DWG\2_SITE_PLAN\C-4.0\GRADE-24-1286.dwg PLOT DATE: 4/22/2025 BY: Robert Mooney



UTILITY LEGEND:

- OH-ELEC—W—O— EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV— EX. U.G. CABLE TV & PEDESTAL
- UG-COMM— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC— EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- PROPOSED HYDRANT AND GATE VALVE
- PROPOSED TAPPING SLEEVE, VALVE & WELL
- PROPOSED POST INDICATOR VALVE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY CLEANOUT & MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER CLEANOUT & MANHOLE
- PROPOSED CATCH BASIN, INLET & YARD DRAIN

PEA GROUP
t: 844.813.2949
www.peagroup.com

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THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
EUREKA DEVELOPMENT COMPANY
5960 LIVERNOIS
TROY, MI 48064

PROJECT TITLE
NORTHLAND ENCLAVE
5455 CORPORATE DR.
TROY, MI 48064

REVISIONS

NO.	DESCRIPTION	DATE
1	SITE PLAN APPROVAL	2/14/2025
2	REVISED SITE PLANS	4/22/2025

ORIGINAL ISSUE DATE:
JANUARY 21, 2025

DRAWING TITLE
PRELIMINARY UTILITY PLAN

PEA JOB NO. 24-1286
P.M. JPB
DN. RRM
DES. LGD
DRAWING NUMBER: C-6.0

S:\PROJECTS\2024\24-1286 EUREKA - NORTH\TROY\DWG\2_28 SITE PLAN\G-C-6.0.DWG PLOT DATE: 4/22/2025 BY: Robert Mooney

PROJECT TITLE
**NORTHLAND
ENCLAVE**
5455 CORPORATE DR.
TROY, MI 48064

DRAWING TITLE

**NOTES AND
DETAILS**

DRAWING NUMBER



PRELIMINARY SITE AMENITY OPTIONS, OWNER TO APPROVE

6 CHALKBOARD WALL
NOT TO SCALE



PRELIMINARY SITE AMENITY OPTIONS, OWNER TO APPROVE

3 CONCEPTUAL BIKE RACK OPTION
NOT TO SCALE



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



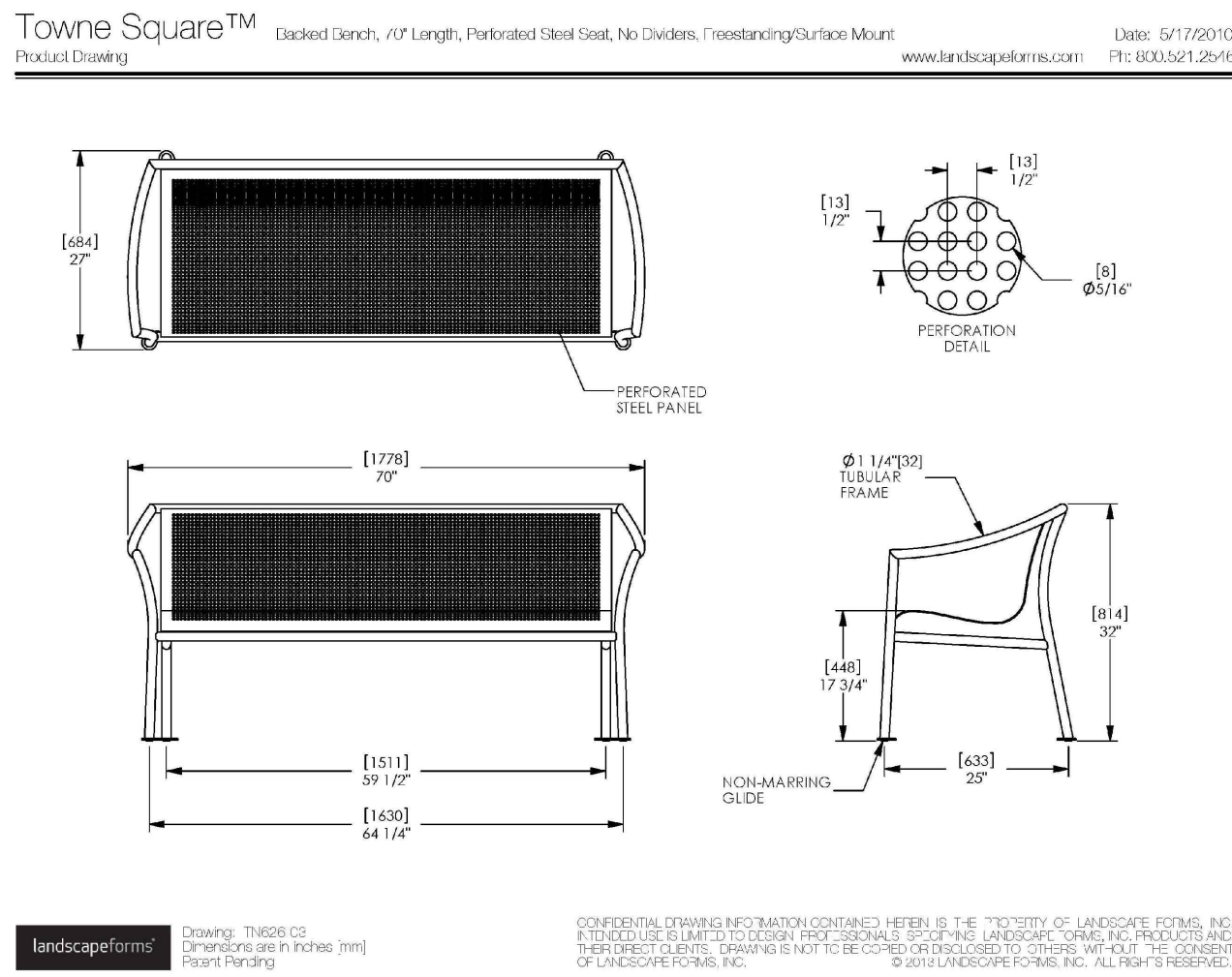
PRELIMINARY SITE AMENITY OPTIONS, OWNER TO APPROVE

8 PET LITTER STATION
NOT TO SCALE



PRELIMINARY SITE AMENITY OPTIONS, OWNER TO APPROVE

5 PLAY STRUCTURE
NOT TO SCALE



landscapeform® Drawing: TSBENCH-03 Dimensions are in inches (mm) Round to Nearest
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PRELIMINARY SITE AMENITY OPTIONS, OWNER TO APPROVE

2 CONCEPTUAL BENCH IMAGE
NOT TO SCALE

CLIENT
**EUREKA
DEVELOPMENT
COMPANY**
5960 LIVERNOIS
TROY, MI 48064

PROJECT TITLE
**NORTHLAND
ENCLAVE**
5455 CORPORATE DR.
TROY, MI 48064



PRELIMINARY SITE AMENITY OPTIONS, OWNER TO APPROVE

7 CLIMBING LADDER IMAGE
NOT TO SCALE



PRELIMINARY SITE AMENITY OPTIONS, OWNER TO APPROVE

4 WATER FEATURE IMAGE
NOT TO SCALE



PRELIMINARY SITE AMENITY OPTIONS, OWNER TO APPROVE

1 CONCEPTUAL PICNIC TABLE OPTION
NOT TO SCALE

REVISIONS	
SITE PLAN APPROVAL	2/14/2025
REVISED SITE PLANS	4/22/2025

ORIGINAL ISSUE DATE:
JANUARY 21, 2025

DRAWING TITLE
**LANDSCAPE
DETAILS**

PEA JOB NO.	24-1286
P.M.	JPB
DN.	CAL
DES.	JLE
DRAWING NUMBER:	

S:\PROJECTS\2024\24-1286 EUREKA - NORTH TROY\DWG\3_LANDSCAPE DETAILS-24-1286.dwg PLOT DATE: 4/22/2025 BY: Charlotte L. Espartero

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHAND AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY / DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

NATIVE SEED MIX, BY STANTEC NATIVE PLANT NURSERY, 574-586-2412, OR EQUAL SPECIES TO BE NATIVE TO COUNTY. NO INVASIVE SPECIES ALLOWED

FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. INSTALL AND PREP PER MANUFACTURES SPECIFICATIONS.

Economy Prairie Seed Mix

Stantec Native Plant Nursery 574-586-2412

stantec.com/native-plant-nursery

Botanical Name

Common Name

Permanent Grasses/Sedges/Rushes:

Andropogon gerardii
Bouteloua curtipendula
Carex spp.
Elymus canadensis
Panicum virgatum
Schizachyrium scoparium
Sorghastrum nutans

Big Bluestem
Side Oats Grama
Prairie Sedge Mix
Canada Wild Rye
Switch Grass
Little Bluestem
Indian Grass

Temporary Cover:

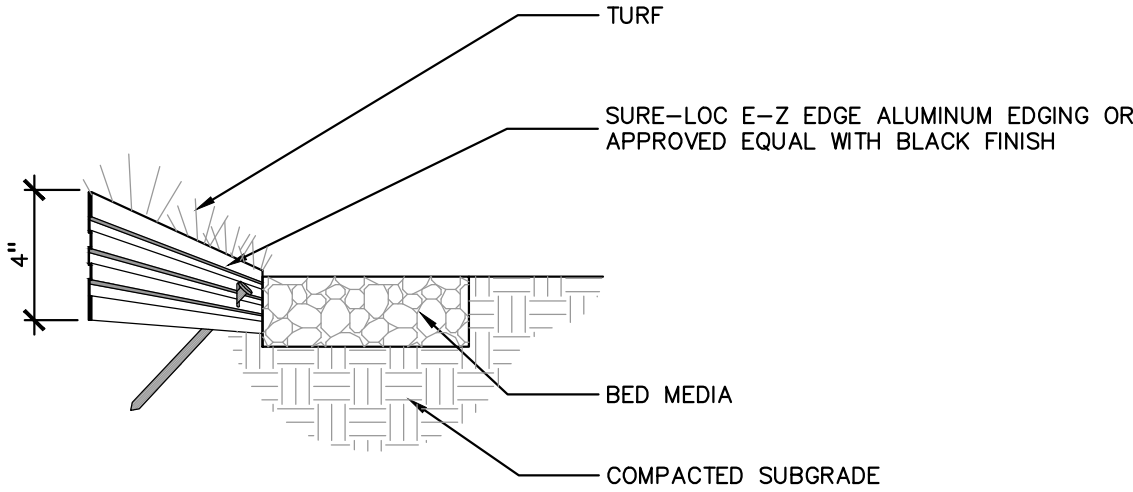
Avena sativa
Lolium multiflorum

Common Oat
Annual Rye

Forbs & Shrubs:

Asclepias syriaca
Asclepias tuberosa
Chamaecrista fasciculata
Coreopsis lanceolata
Echinacea purpurea
Helopsis helianthoides
Lupinus perennis
Monarda fistulosa
Penstemon digitalis
Pycnanthemum virginianum
Ratibida pinnata
Rudbeckia hirta
Solidago speciosa
Symphytotrichum laeve
Symphytotrichum novae-angliae

Common Milkweed
Butterfly Weed
Partridge Pea
Sand Coreopsis
Broad-leaved Purple Coneflower
False Sunflower
Wild Lupine
Wild Bergamot
Foxglove Beard Tongue
Common Mountain Mint
Yellow Coneflower
Black-Eyed Susan
Showy Goldenrod
Smooth Blue Aster
New England Aster



EDGING NOTES:

- MANUFACTURER: SURE-LOC (OR APPROVED EQUAL)
PHONE#: 1.800.787.3562
PRODUCT: E-Z EDGE
FINISH: BLACK
- 4 - 6" SECTIONS ALUMINUM EDGING (24 TOTAL LF), 12 SPIKES PER BOX
- SLIDE ENDS TOGETHER, OVERLAP MATERIAL 4", AND INSERT STAKE AT 45° ANGLE FOR CONNECTION BETWEEN SECTIONS
- STAKE SHALL SECURELY ENGAGE EDGING AND SHALL BE ENTIRELY BELOW TOP OF SURFACE OF EDGING
- INSTALL AS PER MANUFACTURER'S SPECIFICATIONS WITH TOP OF EDGING 3/4"-1" ABOVE COMPACTED FINISH GRADE. FINISH GRADE TO BE COMPACTED ON BOTH SIDES OF EDGING TO MAINTAIN STABILITY

6

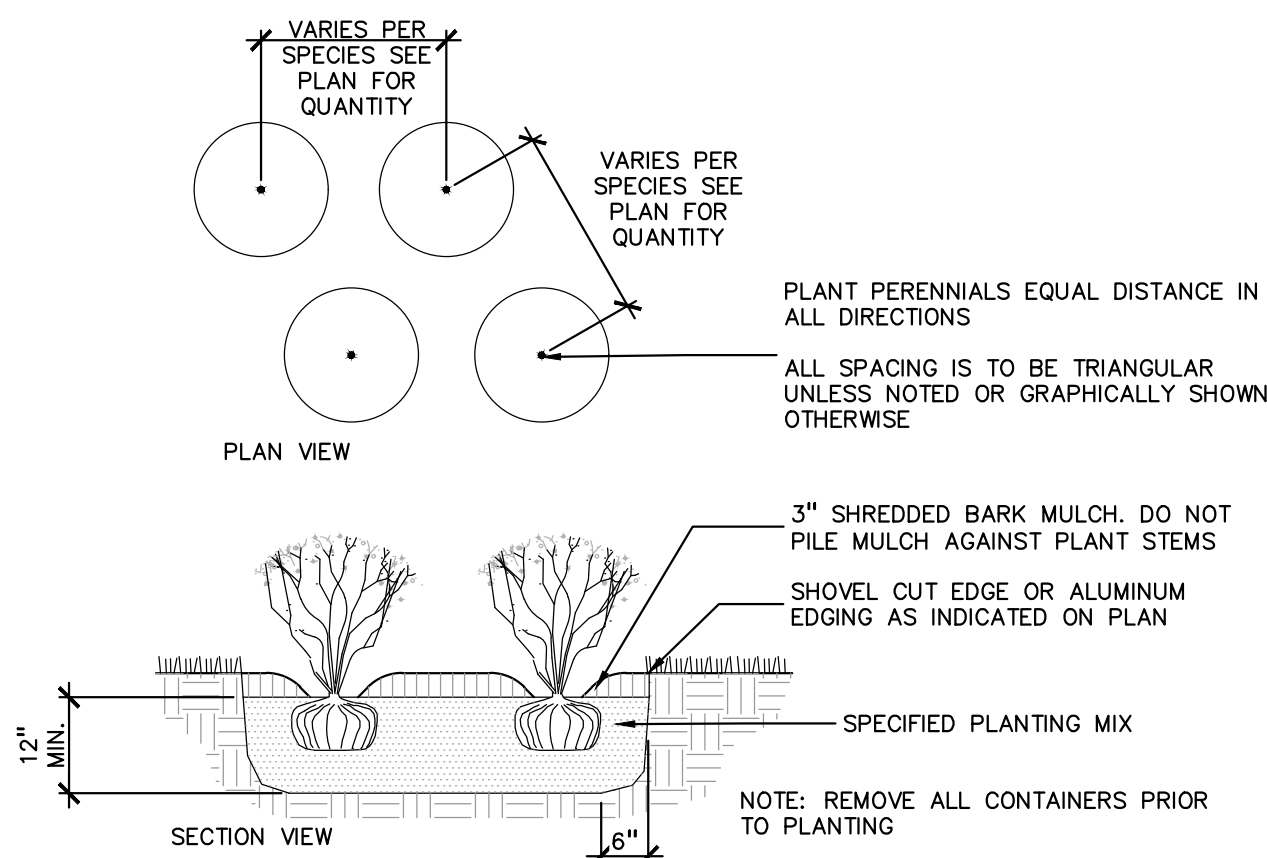
ALUMINUM EDGE DETAIL

SCALE: 1/2" = 1'-0"

3

TREE PROTECTION DETAIL

SCALE: 1" = 3'-0"



5

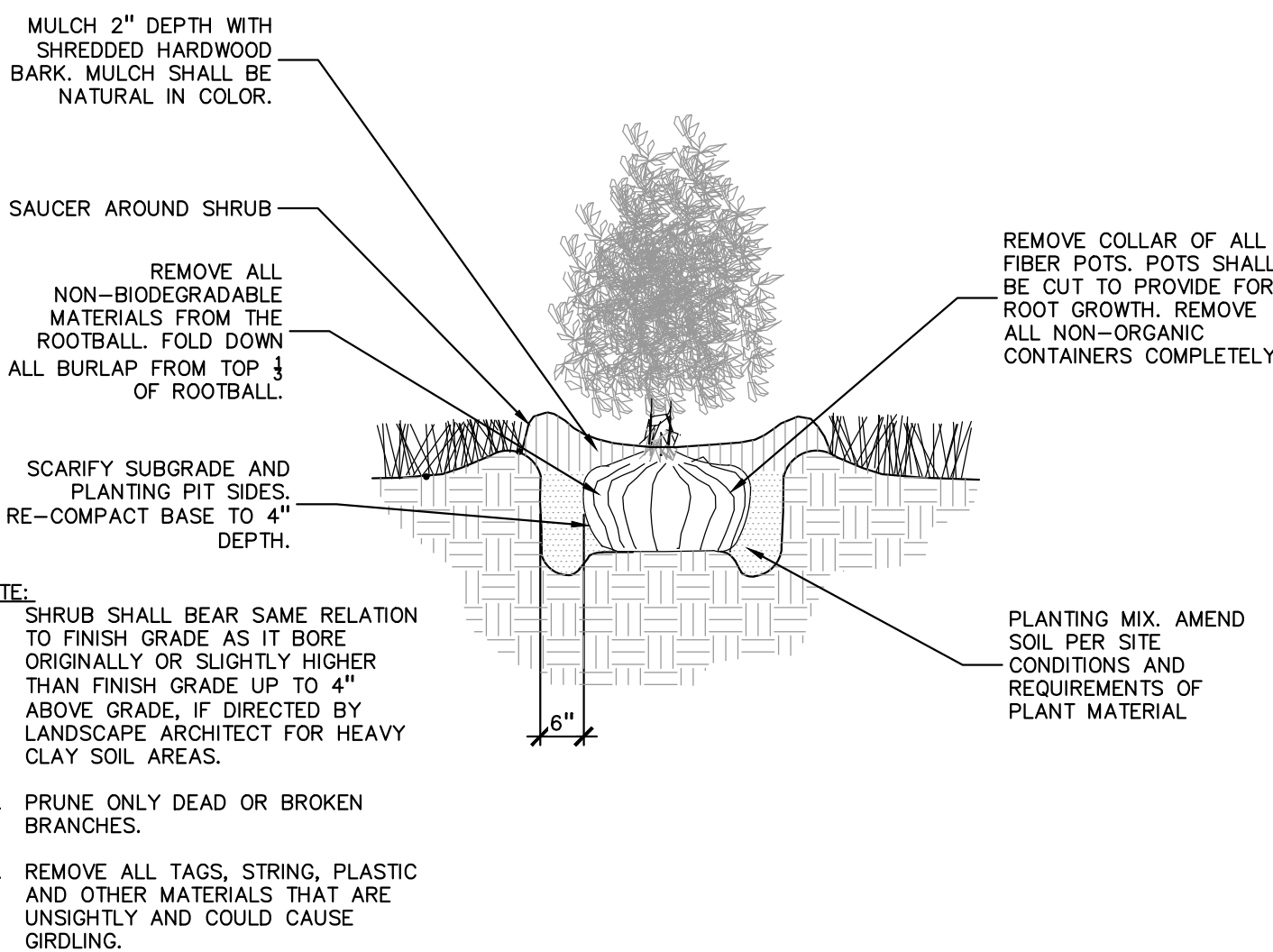
PERENNIAL PLANTING DETAIL

SCALE: 1" = 2'-0"

2

EVERGREEN TREE PLANTING DETAIL

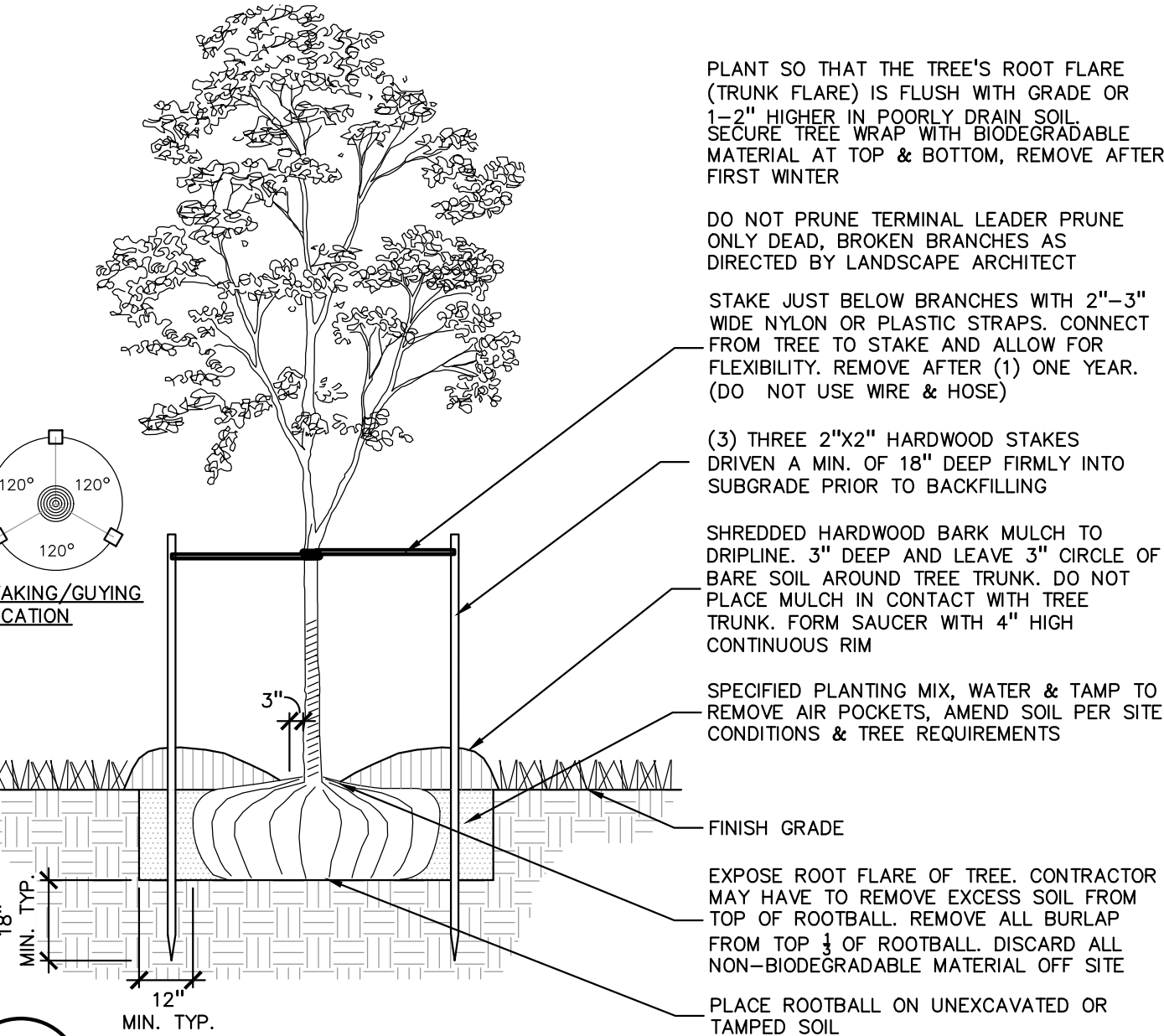
SCALE: 1" = 3'-0"



4

SHRUB PLANTING DETAIL

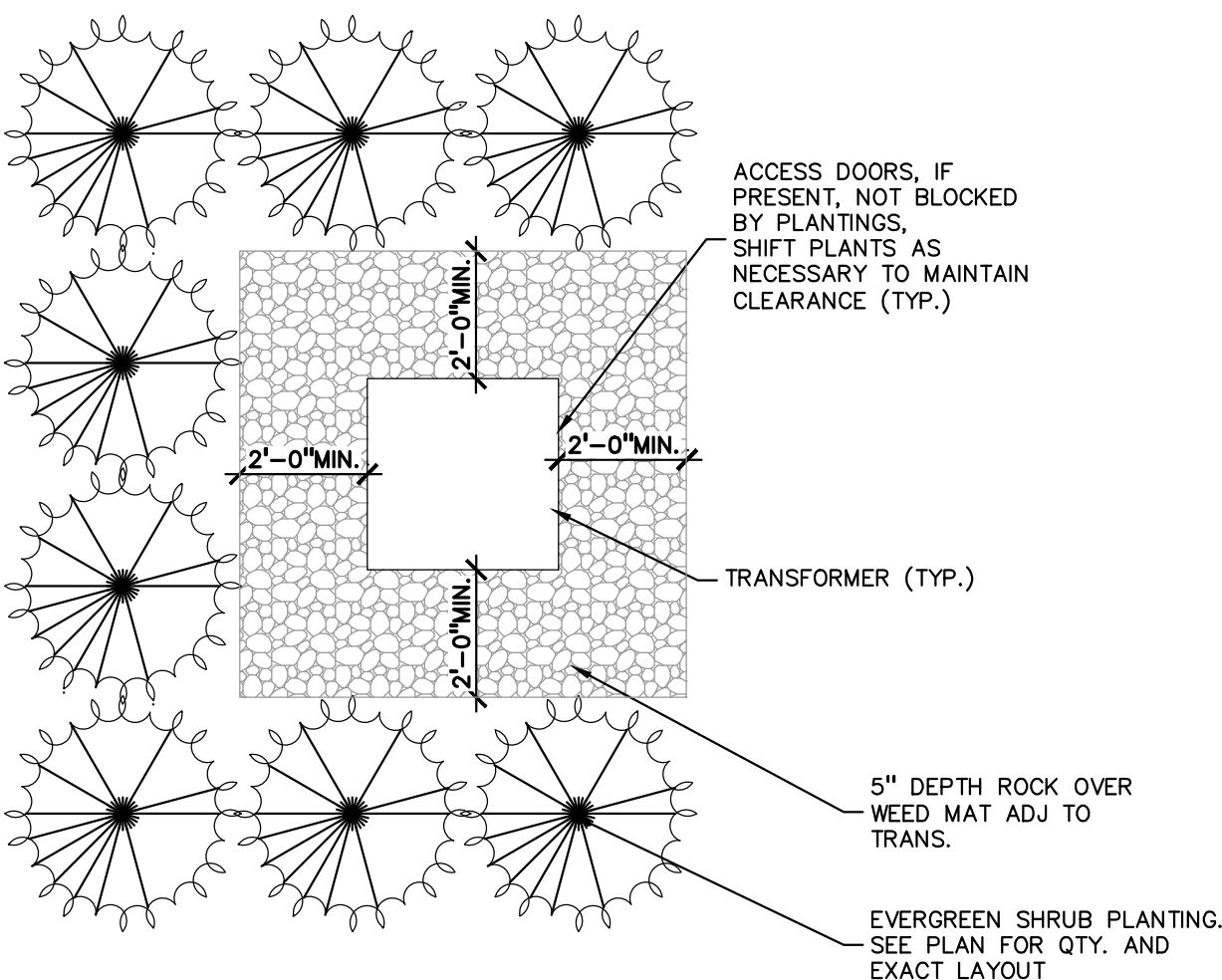
SCALE: 1" = 2'-0"



1

DECIDUOUS TREE PLANTING DETAIL

SCALE: 1" = 3'-0"



7

TRANSFORMER/ MECH. SCREENING DTL.

SCALE: 1" = 3'-0"

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

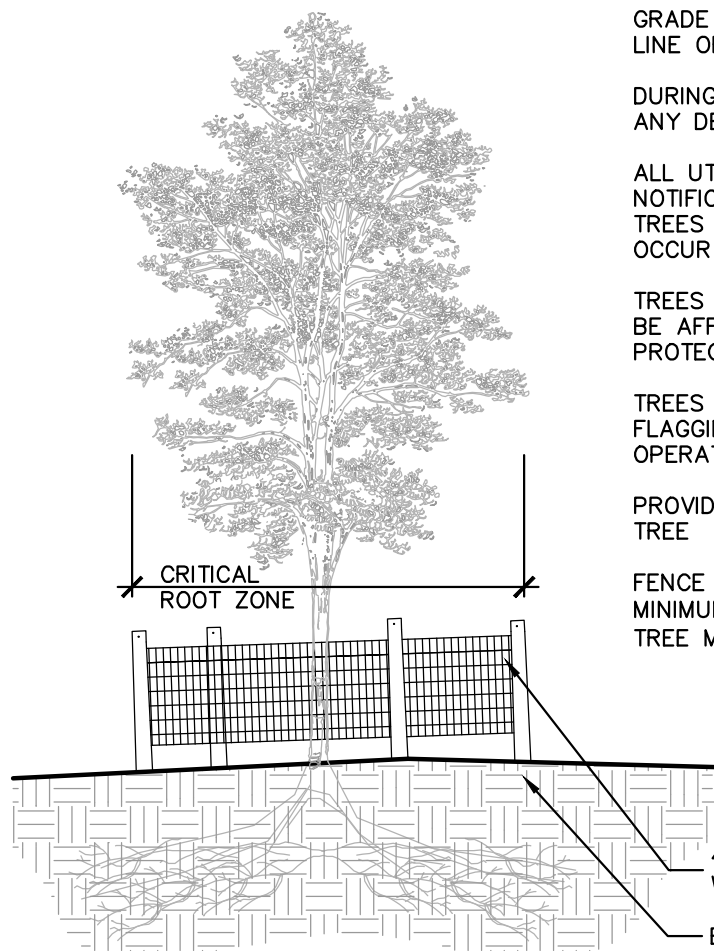
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND



PEA GROUP

t: 844.813.2949

www.peagroup.com



CAUTION!!

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CLIENT

EUREKA DEVELOPMENT COMPANY

5860 LIVERNOIS

TROY, MI 48064

PROJECT TITLE

NORTHLAND ENCLAVE

5455 CORPORATE DR.

TROY, MI 48064

REVISIONS

SITE PLAN APPROVAL	2/14/2025
REVISED SITE PLANS	4/22/2025

ORIGINAL ISSUE DATE:
JANUARY 21, 2025

DRAWING TITLE

LANDSCAPE DETAILS

PEA JOB NO. 24-1286

P.M. JPB

DN. CAL

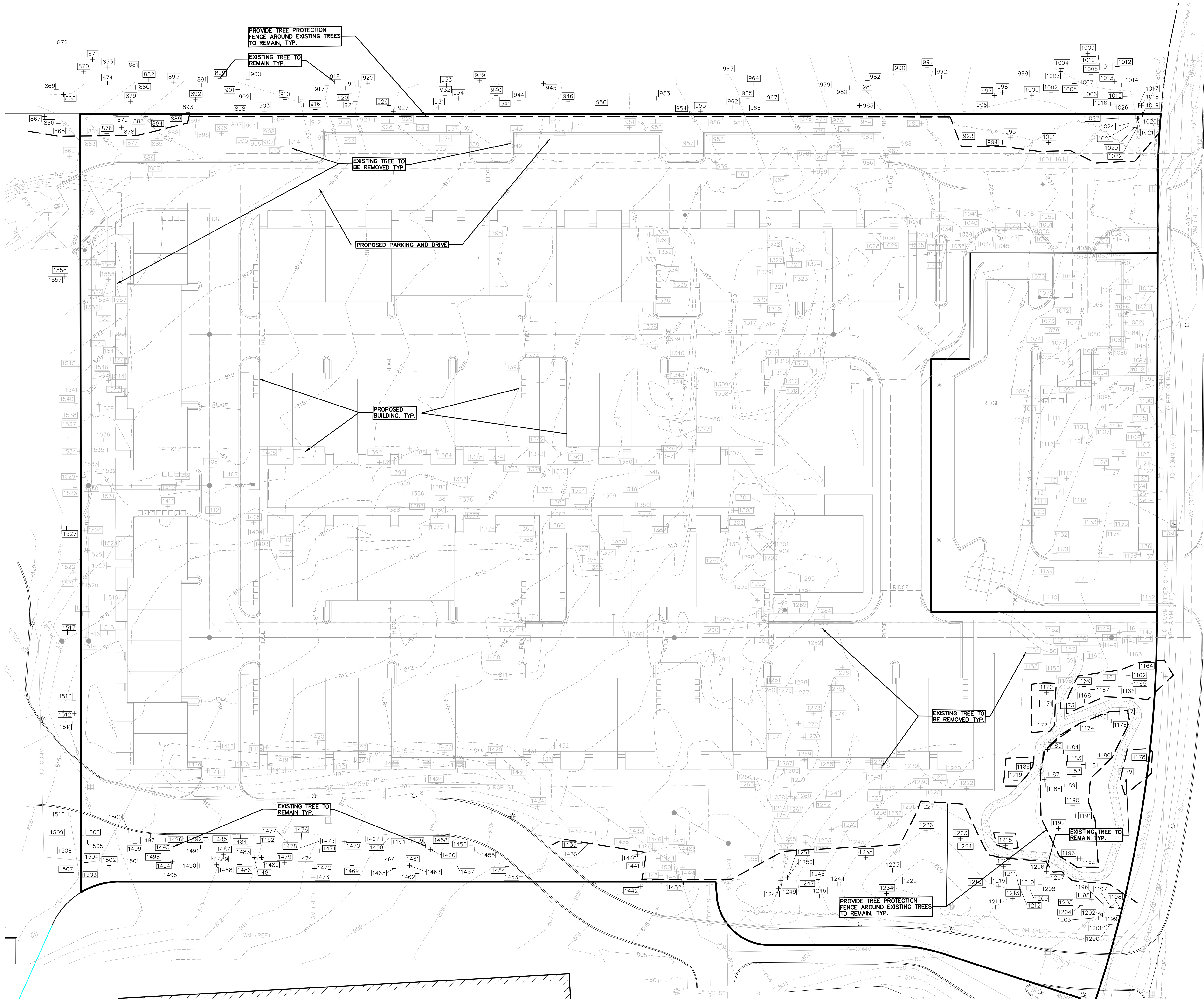
DES. JLE

DRAWING NUMBER:

L-2.1

NOT FOR CONSTRUCTION

S:\PROJECTS\2024\24-1286 EUREKA - NORTH TROY\DWG\2_TREE PLAN\T-1.0 TREE PRESERVATION-24-1286.dwg PLOT DATE: 4/22/2025 BY: Charlotte L. Espersen

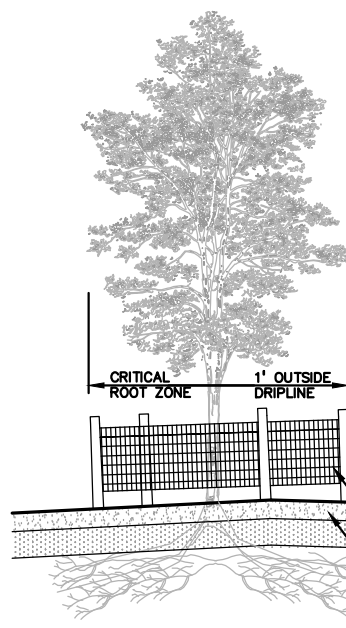


KEY:

	= EXISTING TREE TO REMAIN
	= EXISTING TREE TO BE REMOVED
	= TREE PROTECTION FENCING

SEE SHEET L-1.0 FOR TREE REPLACEMENT

TREE INVENTORY/PRESERVATION CALCULATIONS	
WOODLAND TREES	
WOODLAND TREES REMOVED:	367 (REPLACE AT 50% OF REMOVED DBH)
3215" DBH x 0.5 =	1608" REPLACEMENT
WOODLAND TREES SAVED:	127 (CREDIT OF 2X DBH)
1138" DBH x 2 =	2276" CREDIT
1608	2276
669"	668.5
669" DBH CREDIT FOR WOODLAND PRESERVATION	
LANDMARK TREES	
LANDMARK TREES REMOVED:	19 (REPLACE AT 100% OF REMOVED DBH)
340" DBH x 1 =	340" REPLACEMENT
LANDMARK TREES SAVED:	3 (CREDIT OF 2X DBH)
62" DBH x 2 =	124" CREDIT
340	216
216" DBH REQUIRED FOR LANDMARK REPLACEMENT	
0 TOTAL DBH REQUIRED FOR REPLACEMENT	
EXEMPT TREES	
(NO REPLACEMENT REQUIRED FOR EXEMPT TREES)	
SAVED EXEMPT TREES:	11 Trees
EXEMPT TREES ON SITE:	42 Trees
TOTAL SAVED TREES 6" AND ABOVE ON SITE:	
141	Trees



TREE PROTECTION DETAIL
NOT TO SCALE

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.

NO PERSON SHALL CONDUCT ANY ACTIVITY WITHIN THE CRIP LINE OF ANY TREE DESIGNATED TO REMAIN INCLUDING, BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN CRIP LINES.

GRADE CHANGES MAY NOT OCCUR WITHIN THE CRIP LINE OF PROTECTED TREES.

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE.

ALL UTILITY SERVICES REQUESTS MUST INCLUDE NOTIFICATION TO THE RETAILER THAT PROTECTED TREES MUST BE AVOIDED. ALL REMOVAL SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE IDENTIFIED.

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE REMOVAL OPERATIONS.

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE.

FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND.

4" HIGH PROTECTIVE FENCING WITH STEEL POSTS - 10' O.C. LOCATE FENCE 1' OUTSIDE DRIPLINE.

EXISTING SOIL



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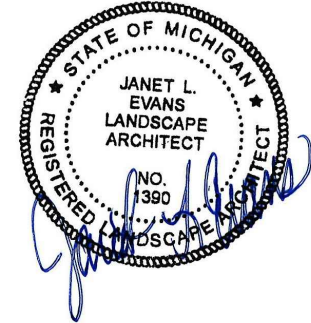
DRAWING TITLE

TREE PRESERVATION PLAN

PEA JOB NO.	24-1286
P.M.	JPB
DN.	CAL
DES.	JLE
DRAWING NUMBER:	

T-1.0

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ORIGINAL ISSUE DATE:
JANUARY 21, 2025

DRAWING TITLE

EXISTING TREE LIST

PEA JOB NO. 24-1286
P.M. JPB
DN. CAL
DES. JLE

DRAWING NUMBER:

T-1.1

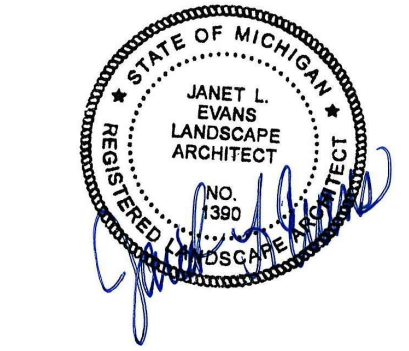
NOT FOR CONSTRUCTION

EXISTING TREE LIST

DENOTES A TREE TO BE REMOVED
S = TREE TO BE SAVED

TAG NO.	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
862	15	Silver-Maple	Acer-saccharum	Fair		INVASIVE	R	N	-
863	8	American-Beech	Fagus-grandifolia	Fair		WOODLAND	R	Y	REPLACE
864	8	American-Beech	Fagus-grandifolia	Fair	X1	WOODLAND	R	Y	REPLACE
865	8	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
866	7	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
867	13	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
868	13	Bittersnut Hickory	Carya-cordiformis	Good		WOODLAND	S	N	-
869	8	American-Beech	Fagus-grandifolia	Good		WOODLAND	S	N	-
870	13	Basess-ood	Tilia-americana	Good		WOODLAND	S	N	-
871	9	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
872	16	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
873	13	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
874	13	Bittersnut Hickory	Carya-cordiformis	Good		WOODLAND	S	N	-
875	10	American-Beech	Fagus-grandifolia	Fair		WOODLAND	S	Y	-
876	9	American-Beech	Fagus-grandifolia	Fair		WOODLAND	S	Y	-
877	12	Cottonwood	Populus-deltoides	Fair		INVASIVE	R	Y	-
878	11	American-Beech	Fagus-grandifolia	Fair		WOODLAND	S	Y	-
879	10	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	S	N	-
880	11	Bittersnut Hickory	Carya-cordiformis	Poor		WOODLAND	S	N	-
881	8	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
882	6	American Elm	Ulmus-americana	Fair		INVASIVE	S	N	-
883	7	American Elm	Ulmus-americana	Fair		INVASIVE	S	Y	-
884	11	American Elm	Ulmus-americana	Fair		INVASIVE	S	Y	-
885	7	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
886	8	Blue-Spruce	Picea-pungens	Poor		WOODLAND	R	Y	-
887	8	Blue-Spruce	Picea-pungens	Poor		WOODLAND	R	Y	-
888	16	Red-Oak	Quercus-rubra	Fair		WOODLAND	R	Y	REPLACE
889	10	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	S	Y	REPLACE
890	8	American Elm	Ulmus-americana	Fair		INVASIVE	S	N	-
891	6	Sugar-Maple	Acer-saccharum	Poor		WOODLAND	S	N	-
892	6	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	S	N	-
893	11	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	S	N	-
894	12	Bittersnut Hickory	Carya-cordiformis	Good		WOODLAND	R	Y	REPLACE
895	10	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
896	7	Sugar-Maple	Acer-saccharum	Good		WOODLAND	R	Y	REPLACE
897	7	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
898	14	Basess-ood	Tilia-americana	Fair	X1	WOODLAND	S	N	-
899	10	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
900	8	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	S	N	-
901	9	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	S	N	-
902	7	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	S	N	-
903	10	Basess-ood	Tilia-americana	Poor	X1	WOODLAND	S	N	-
904	6	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	R	Y	REPLACE
905	6	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
906	8	Sugar-Maple	Acer-saccharum	Very-poor		WOODLAND	R	Y	REPLACE
907	7	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
908	6	Sugar-Maple	Acer-saccharum	Good		WOODLAND	R	Y	REPLACE
909	7	Sugar-Maple	Acer-saccharum	Poor		WOODLAND	R	Y	-
910	7	Sugar-Maple	Acer-saccharum	Good		WOODLAND	S	N	-
911	9	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	S	N	-
912	6	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
913	6	Wild-Black-Cherry	Prunus-serotina	Fair		WOODLAND	R	Y	REPLACE
914	6	Black-Walnut	Juglans-nigra	Fair		WOODLAND	R	Y	REPLACE
915	6	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
916	7	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	S	N	-
917	8	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	S	N	-
918	7	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	S	N	-
919	9	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	S	N	-
920	7	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	S	N	-
921	11	Sugar-Maple	Acer-saccharum	Very-poor		WOODLAND	S	N	-
922	6	American Elm	Ulmus-americana	Fair		INVASIVE	S	N	-
923	16	Sugar-Maple	Acer-saccharum	Fair		LANDMARK	R	Y	REPLACE
924	7	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
925	9	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	S	N	-
926	8	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
927	11	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
928	11	Bittersnut Hickory	Carya-cordiformis	Good		WOODLAND	R	Y	REPLACE
929	9	Basess-ood	Tilia-americana	Fair		WOODLAND	R	Y	REPLACE
930	10	Basess-ood	Tilia-americana	Fair		WOODLAND	R	Y	REPLACE
931	8	Basess-ood	Tilia-americana	Good		WOODLAND	S	N	-
932	8	American Elm	Ulmus-americana	Fair		INVASIVE	S	N	-
933	6	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	S	N	-
934	6	Basess-ood	Tilia-americana	Fair		WOODLAND	S	N	-
935	11	Bittersnut Hickory	Carya-cordiformis	Poor		WOODLAND	R	Y	-
936	7	Bittersnut Hickory	Carya-cordiformis	Fair		WOODLAND	R	Y	REPLACE
937	9	Sugar-Maple	Acer-saccharum	Poor		WOODLAND	R	Y	-
938	8	Basess-ood	Tilia-americana	Fair		WOODLAND	R	Y	REPLACE
939	9	Basess-ood	Tilia-americana	Good		WOODLAND	S	N	-
940	7	Basess-ood	Tilia-americana	Good		WOODLAND	S	N	-
941	6	American Elm	Ulmus-americana	Fair		INVASIVE	S	N	-
942	8	Sugar-Maple	Acer-saccharum	Very-poor		WOODLAND	R	Y	REPLACE
943	7	Basess-ood	Tilia-americana	Fair		WOODLAND	R	Y	REPLACE
944	6	American Elm	Ulmus-americana	Good		INVASIVE	S	N	-
945	15	Bittersnut Hickory	Carya-cordiformis	Good		WOODLAND	S	N	-
946	8	Basess-ood	Tilia-americana	Good	X1	WOODLAND	S	N	-
947	7	Sugar-Maple	Acer-saccharum	Fair		WOODLAND	R	Y	REPLACE
948	6	Basess-ood	Tilia-americana	Fair		WOODLAND	R	Y	REPLACE
949	6	Basess-ood	Tilia-americana	Fair		WOODLAND	R	Y	REPLACE
950	8	Basess-ood	Tilia-americana	Good		WOODLAND	S	N	-
951	6	Basess-ood	Tilia-americana	Fair		WOODLAND	R	Y	REPLACE
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955	6	Sugar-Maple	Acer-saccharum	Good		WOODLAND	S	N	-
956	11	Basess-ood	Tilia-americana	Good		WOODLAND	R	Y	REPLACE
957	7	Cottonwood	Populus-deltoides	Fair		INVASIVE	R	Y	-
958	6	Basess-ood	Tilia-americana	Good		WOODLAND	R	Y	REPLACE
959	8	Red-Maple	Acer-nigrum	Good		WOODLAND	R	Y	REPLACE
960	6	Red-Maple	Acer-nigrum	Good		WOODLAND	R	Y	REPLACE
961	13	Bittersnut Hickory	Carya-cordiformis	Good		WOODLAND	R	Y	REPLACE
962	12	Pear	Pyrus-communis	Fair		LANDMARK	S	N	-

TAG NO.	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
963	7	Bittersnut Hickory	Carya cordiformis	Good		WOODLAND	S	N	-
964	7	Bittersnut Hickory	Carya cordiformis	Fair		WOODLAND	S	N	-
965	7	American Elm	Ulmus americana	Fair		INVASIVE	S	N	-
966	7	Basess-ood	Tilia americana	Good		WOODLAND	S	N	-
967	12	Bittersnut Hickory	Carya cordiformis	Good		WOODLAND	S	N	-
968	11	White Spruce	Picea glauca	Very-poor		WOODLAND	R	Y	REPLACE
969	14	Norway Spruce	Picea abies	Fair		WOODLAND	R	Y	REPLACE
970	12	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y	REPLACE
971	8	Bittersnut Hickory	Carya cordiformis	Good		WOODLAND	R	Y	REPLACE
972	8	Basess-ood	Tilia americana	Good	X1	WOODLAND	R	Y	REPLACE
973	6	Basess-ood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
974	2	American Elm	Ulmus americana	Good		INVASIVE	R	Y	-
975	9	American Elm	Ulmus americana	Good		INVASIVE	R	Y	-
976	8	American Elm	Ulmus americana	Fair		INVASIVE	R	Y	-
977	6	Bittersnut Hickory	Carya cordiformis	Fair		WOODLAND	R	Y	REPLACE
978	6	Basess-ood	Tilia americana	Fair		WOODLAND	R	Y	REPLACE
979	10	Basess-ood	Tilia americana	Good		WOODLAND	S	N	-
980	16	Basess-ood	Tilia americana	Good		WOODLAND	S	N	-
981	6	American Elm	Ulmus americana	Fair		INVASIVE	S	N	-
982	6	American Elm	Ulmus americana	Fair		INVASIVE	S	N	-
983	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	N	-
984	10	Bittersnut Hickory	Carya cordiformis	Fair		WOODLAND	R	Y	REPLACE
985	12	Bittersnut Hickory	Carya cordiformis	Fair		WOODLAND	R	Y	REPLACE
986	12	Red Oak	Quercus rubra	Fair		WOODLAND	R	Y	REPLACE
987	11	Red Oak	Quercus rubra	Fair		WOODLAND	R	Y	REPLACE
988	16	Bittersnut Hickory	Carya cordiformis	Fair		LANDMARK	R	Y	REPLACE
989	19	Black Walnut	Juglans nigra	Good		LANDMARK	R	Y	REPLACE
990	7	Sugar Maple	Acer saccharum	Poor		WOODLAND	S	N	-
991	13	Basess-ood	Tilia americana	Good		WOODLAND	S	N	-
992	7	Black Walnut	Juglans nigra	Fair		WOODLAND	S	N	-
993	13	Black Walnut	Juglans nigra	Good		WOODLAND	S	N	-
994	7	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
995	8	Thornapple/haw-thorn	Cragagus spp.	Poor	X1	WOODLAND	S	Y	-
996	13	Bittersnut Hickory	Carya cordiformis	Good		WOODLAND	S	N	-
997	11	Bittersnut Hickory	Carya cordiformis	Fair		WOODLAND	S	N	-
998	7	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
999	7	American Elm	Ulmus americana	Good		INVASIVE	S	N	-
1000	14	Black Walnut	Juglans nigra	Good		WOODLAND	S	N	-
1001	18	Black Walnut	Juglans nigra	Good		LANDMARK	R	Y	REPLACE
1002	6	Thornapple/haw-thorn	Cragagus spp.	Fair		WOODLAND	S	N	-
1003	8	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
1004	9	Basess-ood	Tilia americana	Good		WOODLAND	S	N	-
1005	7	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
1006	9	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
1007	12	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
1008	6	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
1009	8	Basess-ood	Tilia americana	Fair	X1	WOODLAND	S	N	-
1010	9	Basess-ood	Tilia americana	Poor	X1	WOODLAND	S	N	-
1011	7	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
1012	11	Basess-ood	Tilia americana	Good		WOODLAND	S	N	-
1013	8	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
1014	9	Basess-ood	Tilia americana	Good		WOODLAND	S	N	-
1015	8	Basess-ood	Tilia americana	Fair		WOODLAND	S	N	-
1016	6	Catalpa	Catalpa speciosa	Fair		INVASIVE	S	N	-
1017	9	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	N	-
1018	7	American Elm	Ulmus americana	Fair		INVASIVE	S	N	-
1019	10	Sugar Maple	Acer saccharum	Good		WOODLAND	S	N	-
1020	7	Basess-ood	Tilia americana	Poor		WOODLAND	S	Y	-
1021	6	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1022	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1023	8	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1024	6	Sugar Maple	Acer saccharum	Fair	X1	WOODLAND	S	Y	-
1025	7	Sugar Maple	Acer saccharum	Good		WOODLAND	S	N	-
1026	11	Basess-ood	Tilia americana	Good		WOODLAND	S	N	-
1027	6	Basess-ood	Tilia americana	Fair		WOODLAND	S	Y	-
1028	16	Bittersnut Hickory	Carya cordiformis	Fair		LANDMARK	R	Y	REPLACE
1029	10	Basess-ood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1030	11	Basess-ood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1031	7	Eastern Redbud	Cercis canadensis	Fair	X1	WOODLAND	R	Y	REPLACE
1032	11	Basess-ood	Tilia americana	Good	X1	WOODLAND	R	Y	REPLACE
1033	6	Wild Black Cherry	Prunus serotina	Fair		WOODLAND	R	Y	REPLACE
1034	9	Domestic Cherry	Prunus avium	Good	X1	WOODLAND	R	Y	REPLACE
1035	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1036	8	American Elm	Ulmus americana	Fair		INVASIVE	R	Y	REPLACE
1037	2	Basess-ood	Tilia americana	Fair		WOODLAND	R	Y	REPLACE
1038	9	Basess-ood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1039	8	Basess-ood	Tilia americana	Good	X1	WOODLAND	R	Y	REPLACE
1040	16	Basess-ood	Tilia americana	Fair		WOODLAND	R	Y	REPLACE
1041	6	Basess-ood	Tilia americana	Fair		WOODLAND	R	Y	REPLACE
1042	16	Basess-ood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1043	6	Ironwood	Ostrya virginiana	Good		WOODLAND	R	Y	REPLACE
1044	7	Ironwood	Ostrya virginiana	Fair		WOODLAND	R	Y	REPLACE
1045	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1046	10	Wild Black Cherry	Prunus serotina	Fair		WOODLAND	R	Y	REPLACE
1047	2	Bittersnut Hickory	Carya cordiformis	Good		WOODLAND	R	Y	REPLACE
1048	16	Basess-ood	Tilia americana	Good	X2	WOODLAND	R	Y	REPLACE
1049	11	Basess-ood	Tilia americana	Fair		WOODLAND	R	Y	REPLACE
1050	11	Sugar Maple	Acer saccharum	Good	X1	WOODLAND	R	Y	REPLACE
1051	2	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1052	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	-
1053	14	Basess-ood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1054	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1055	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1056	7	Eastern Redbud	Cercis canadensis	Fair		WOODLAND	R	Y	REPLACE
1057	11	Black Walnut	Juglans nigra	Good		WOODLAND	R	Y	REPLACE
1058	6	Eastern Redbud	Cercis canadensis	Fair		WOODLAND	R	Y	REPLACE
1059	10	Eastern Redbud	Cercis canadensis	Fair		WOODLAND	R	Y	REPLACE
1060	10	Black Walnut	Juglans nigra	Good		WOODLAND	R	Y	REPLACE
1061	6	Basess-ood	Tilia americana	Fair		WOODLAND	R	Y	REPLACE
1062	6	Basess-ood	Tilia americana	Fair		WOODLAND	R	Y	REPLACE
1063	10	Basess-ood	Tilia americana	Fair	X1	WOODLAND	R	Y	REPLACE
1064	16	Basess-ood	Tilia americana	Fair	X1	WOODLAND	R	Y	REPLACE
1065	16	Black Walnut	Juglans nigra	Fair		LANDMARK	R	Y	REPLACE
1066	20	Black Walnut	Juglans nigra	Fair		LANDMARK	R	Y	REPLACE
1067	14	Basess-ood	Tilia americana	Fair		WOODLAND	R	Y	REPLACE



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR OTHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
EUREKA DEVELOPMENT COMPANY
5960 LIVERNOIS
TROY, MI 48064

PROJECT TITLE
NORTHLAND ENCLAVE
5455 CORPORATE DR.
TROY, MI 48064

REVISIONS
SITE PLAN APPROVAL 2/14/2025
REVISED SITE PLANS 4/22/2025

ORIGINAL ISSUE DATE:
JANUARY 21, 2025

DRAWING TITLE

EXISTING TREE LIST (continued)

PEA JOB NO. 24-1286
P.M. JPB
DN. CAL
DES. JLE

DRAWING NUMBER:

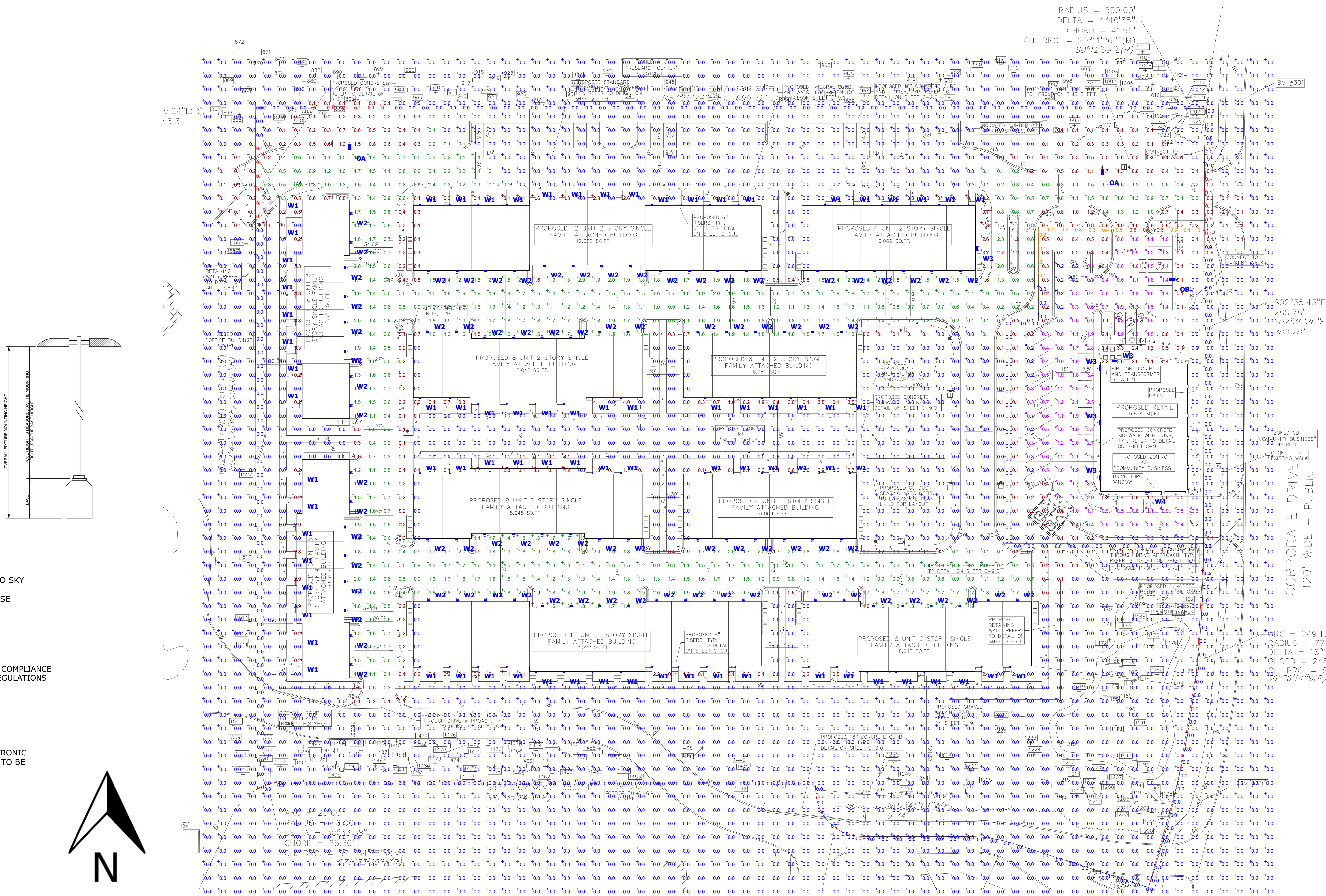
T-1.2

TAG NO.	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
1173	7	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1174	8	Sugar Maple	Acer saccharum	Fair	X1	WOODLAND	S	Y	-
1175	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1176	8	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1177	13	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1178	10	Black Walnut	Juglans nigra	Fair		WOODLAND	S	Y	-
1179	7	Thornapple/haw thorn	Gragaeus spp.	Fair		WOODLAND	S	Y	-
1180	10	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1181	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1182	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1183	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1184	7	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1185	12	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1186	8	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1187	9	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1188	9	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1189	8	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1190	11	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1191	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1192	14	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1193	10	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1194	12	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1195	11	Basow ood	Tilia americana	Fair		WOODLAND	S	Y	-
1196	12	Bitternut Hickory	Carya cordiformis	Good		WOODLAND	S	Y	-
1197	6	Bitternut Hickory	Carya cordiformis	Fair		WOODLAND	S	Y	-
1198	7	Bitternut Hickory	Carya cordiformis	Fair		WOODLAND	S	Y	-
1199	10	Bitternut Hickory	Carya cordiformis	Good		WOODLAND	S	Y	-
1200	13	Cottonw ood	Populus deltoides	Fair		INVASIVE	S	Y	-
1201	9	Cottonw ood	Populus deltoides	Fair	X1	INVASIVE	S	Y	-
1202	8	Bitternut Hickory	Carya cordiformis	Fair		WOODLAND	S	Y	-
1203	6	American Elm	Ulmus americana	Fair		INVASIVE	S	Y	-
1204	6	Basow ood	Tilia americana	Fair		WOODLAND	S	Y	-
1205	17	Bitternut Hickory	Carya cordiformis	Good		LANDMARK	S	Y	-
1206	6	Sugar Maple	Acer saccharum	Good	X1	WOODLAND	S	Y	-
1207	8	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1208	11	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1209	6	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1210	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1211	8	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1212	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1213	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1214	12	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1215	9	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1216	9	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1217	10	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1218	16	Basow ood	Tilia americana	Good		WOODLAND	S	Y	-
1219	10	Red Maple	Acer rubrum	Good		WOODLAND	S	Y	-
1220	8	Sugar Maple	Acer saccharum	Good	X1	WOODLAND	S	Y	-
1221	16	Basowood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1222	7	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1223	7	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1224	7	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1225	10	Black Walnut	Juglans nigra	Good		WOODLAND	S	Y	-
1226	9	Sugar Maple	Acer saccharum	Good		WOODLAND	S	Y	-
1227	13	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1228	6	Basowood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1229	11	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1230	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1231	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1232	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1233	23	Cottonw ood	Populus deltoides	Fair		INVASIVE	S	Y	-
1234	21	Cottonw ood	Populus deltoides	Fair		INVASIVE	S	Y	-
1235	13	Thornapple/haw thorn	Gragaeus spp.	Poor		LANDMARK	S	Y	-
1236	12	American Elm	Ulmus americana	Fair		INVASIVE	R	Y	REPLACE
1237	6	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1238	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1239	16	Basowood	Tilia americana	Fair	X1	WOODLAND	R	Y	REPLACE
1240	8	Ironwood	Ostrya virginiana	Good		LANDMARK	R	Y	REPLACE
1241	8	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1242	11	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1243	16	Basowood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1244	20	Black Walnut	Juglans nigra	Fair		LANDMARK	S	Y	-
1245	13	Black Walnut	Juglans nigra	Good		WOODLAND	S	Y	-
1246	6	Hicberry	Celtis occidentalis	Good		WOODLAND	S	Y	-
1247	8	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1248	13	Norway Spruce	Picea Abies	Fair		WOODLAND	S	Y	-
1249	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1250	9	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1251	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	S	Y	-
1252	7	Black Walnut	Juglans nigra	Fair		WOODLAND	R	Y	REPLACE
1253	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1254	6	Black Walnut	Juglans nigra	Good		WOODLAND	R	Y	REPLACE
1255	10	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1256	10	Sugar Maple	Acer saccharum	Poor		WOODLAND	R	Y	-
1257	6	American Elm	Ulmus americana	Fair		INVASIVE	R	Y	-
1258	8	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1259	7	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1260	16	Bitternut Hickory	Carya cordiformis	Good		WOODLAND	R	Y	REPLACE
1261	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1262	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1263	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1264	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1265	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1266	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1267	11	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1268	6	Bitternut Hickory	Carya cordiformis	Good		WOODLAND	R	Y	REPLACE
1269	6	Ironwood	Ostrya virginiana	Good		WOODLAND	R	Y	REPLACE
1270	8	White Spruce	Picea glauca	Very poor		WOODLAND	R	Y	REPLACE
1271	14	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y	REPLACE
1272	8	White Spruce	Picea glauca	Fair		WOODLAND	R	Y	REPLACE
1273	15	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y	REPLACE
1274	10	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y	REPLACE
1275	12	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y	REPLACE
1276	11	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y	REPLACE
1277	6	White Spruce	Picea glauca	Poor		WOODLAND	R	Y	-

TAG NO.	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	CLASS	SAVE / REMOVE	ON-SITE	REPLACE
1278	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1279	11	Basowood	Tilia americana	Good	X3	WOODLAND	R	Y	REPLACE
1280	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1281	6	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1282	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1283	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1284	26	Black Walnut	Juglans nigra	Good		LANDMARK	R	Y	REPLACE
1285	7	Sugar Maple	Acer saccharum	Very poor		WOODLAND	R	Y	REPLACE
1286	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1287	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1288	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1289	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1290	14	Black Walnut	Juglans nigra	Good		WOODLAND	R	Y	REPLACE
1291	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1292	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1293	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1294	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1295	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1296	12	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1297	7	Red Maple	Acer rubrum	Fair		WOODLAND	R	Y	REPLACE
1298	9	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1299	10	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1300	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1301	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1302	16	Black Walnut	Juglans nigra	Good		WOODLAND	R	Y	REPLACE
1303	6	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1304	9	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1305	6	Red Maple	Acer rubrum	Good		WOODLAND	R	Y	REPLACE
1306	10	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1307	6	Red Maple	Acer rubrum	Fair		WOODLAND	R	Y	REPLACE
1308	10	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1309	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1310	6	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1311	8	Sugar Maple	Acer saccharum	Very poor		WOODLAND	R	Y	REPLACE
1312	6	Sugar Maple	Acer saccharum	Poor		WOODLAND	R	Y	-
1313	16	Austrian Pine	Pinus nigra	Fair	Pinus nigra	WOODLAND	R	Y	REPLACE
1314	10	Austrian Pine	Pinus nigra	Fair	Pinus nigra	WOODLAND	R	Y	REPLACE
1315	12	Basowood	Tilia americana	Fair	X1	WOODLAND	R	Y	REPLACE
1316	8	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1317	17	Bitternut Hickory	Carya cordiformis	Fair		LANDMARK	R	Y	REPLACE
1318	17	Bitternut Hickory	Carya cordiformis	Fair		LANDMARK	R	Y	REPLACE
1319	16	Austrian Pine	Pinus nigra	Fair	Pinus nigra	WOODLAND	R	Y	REPLACE
1320	16	Austrian Pine	Pinus nigra	Fair	Pinus nigra	WOODLAND	R	Y	REPLACE
1321	12	Basowood	Tilia americana	Good		WOODLAND	R	Y	REPLACE
1322	7	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1323	13	Bitternut Hickory	Carya cordiformis	Good		WOODLAND	R	Y	REPLACE
1324	9	Bitternut Hickory	Carya cordiformis	Poor		WOODLAND	R	Y	REPLACE
1325	11	Wild Black Cherry	Prunus serotina	Fair		WOODLAND	R	Y	REPLACE
1326	6	Ironwood	Ostrya virginiana	Good		WOODLAND	R	Y	REPLACE
1327	8	Sugar Maple	Acer saccharum	Good		WOODLAND	R	Y	REPLACE
1328	14	Bitternut Hickory	Carya cordiformis	Fair		WOODLAND	R	Y	REPLACE
1329	11	Norway Spruce	Picea Abies	Fair		WOODLAND	R	Y	REPLACE
1330	14	Austrian Pine	Pinus nigra	Fair	Pinus nigra	WOODLAND	R	Y	REPLACE
1331	14	Austrian Pine	Pinus nigra	Fair	Pinus nigra	WOODLAND	R	Y	REPLACE
1332	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1333	7	Sugar Maple	Acer saccharum	Fair		WOODLAND	R	Y	REPLACE
1334	10	Norway Spruce	Picea Abies	Good		WOODLAND	R	Y	REPLACE









UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013.
FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.



Plan View
Scale - 1" = 35ft

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
PROPERTY LINE BETWEEN RESIDENTIAL AND COMMERCIAL	+	0.1 fc	0.6 fc	0.0 fc	N/A	N/A	0.2:1
RESIDENTIAL VEHICLE CIRCULATION	+	0.9 fc	2.7 fc	0.0 fc	N/A	N/A	0.3:1
RETAIL PARKING	✗	1.0 fc	3.7 fc	0.2 fc	18.5:1	5.0:1	0.3:1
OVERALL	+	0.3 fc	4.2 fc	0.0 fc	N/A	N/A	0.1:1

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
	OA	2	Lithonia Lighting	DSXD LED P3 30K 80CRI T3M	D-Series Size 0 Area Luminaire P3 Performance Package 3000K CCT 80 CRI Type 3 Medium	1	7661	0.9	68.95	20'-0"
	OB	1	Lithonia Lighting	DSXD LED P3 30K 80CRI BLC4	D-Series Size 0 Area Luminaire P3 Performance Package 3000K CCT 80 CRI Type 4 Extreme Backlight Control	1	5756	0.9	68.95	20'-0"
	W1	82	Gotham Architectural Lighting	EVD4WC 30/02 AR WD LS	EVO 4IN ROUND CYLINDER, WALL MOUNT, 80 CRI, 3000K, 250LM, WIDE DIST., CLEAR SPECULAR	1	236	0.9	3.1	6'-0"
	W2	82	Lithonia Lighting	WDGE2 LED P1 30K 80CRI T1FM	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	1	1186	0.9	11.1658	10'-0"
	W3	5	Lithonia Lighting	DSKW1 P5 30K T1FM	6000 3000K 70CRI Forward Throw Medium	1	4913	0.9	37.19	12'-0"
	W4	1	Lithonia Lighting	DSKW1 P2 30K T4M	3000 3000K 70CRI Type 4 Medium	1	2167	0.9	14.58	12'-0"

Designer
DB/KB
Date
2/13/2025
rev. 2/14/2025
rev. 4/22/2025
Scale
Not to Scale
Drawing No.
#25-39454-V3
1 of 2

MIXED USE DEVELOPMENT

NORTHLAND DEVELOPMENT

TROY, MI

RETAIL BUILDING AREA

TOTAL	5,804 SF
-------	----------

2-STORY
RESIDENTIAL CONDOS UNIT AREAS

	UNIT 'A'	UNIT 'B'	UNIT 'C'
FIRST FLOOR	577 SF	577 SF	579 SF
SECOND FLOOR	980 SF	980 SF	992 SF
TOTAL	1,557 SF	1,557 SF	1,571 SF

3-STORY
RESIDENTIAL CONDOS UNIT AREAS

	UNIT 'A'	UNIT 'B'	
LOWER LEVEL	291 SF	291 SF	
FIRST FLOOR	695 SF	695 SF	
SECOND FLOOR	737 SF	737 SF	
TOTAL	1,723 SF	1,723 SF	

INDEX OF DRAWINGS

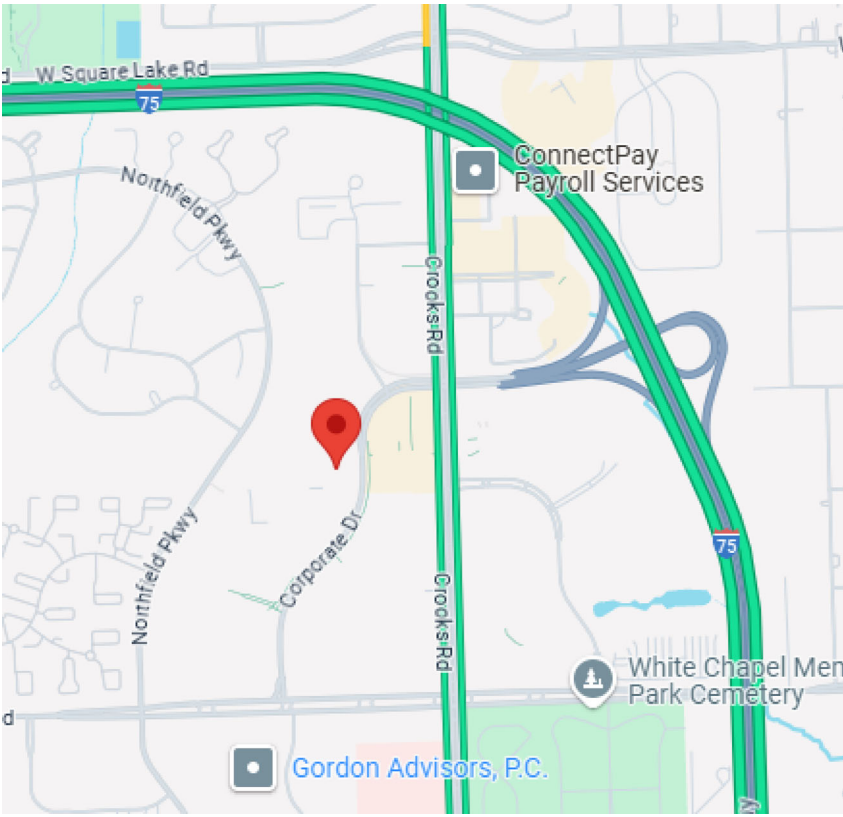
T.1	GENERAL NOTES, LOCATION KEY, SITE PLAN, GENERAL NOTES
A.1	RETAIL BUILDING PLANS & ELEVATIONS
A.2	6-UNIT CONDOS FOUNDATION PLAN, FLOOR PLANS
A.3	6-UNIT CONDOS EXTERIOR ELEVATIONS
A.4	8-UNIT & 12-UNIT CONDOS FOUNDATION PLANS
A.5	8-UNIT CONDOS FOUNDATION PLANS
A.6	8-UNIT CONDOS EXTERIOR ELEVATIONS
A.7	12-UNIT CONDOS FOUNDATION PLANS
A.8	12-UNIT CONDOS EXTERIOR ELEVATIONS
A.9	8-UNIT - 3 STORY FOUNDATION PLAN, LOWER LEVEL PLAN
A.10	8-UNIT - 3 STORY FIRST FLOOR PLAN, SECOND FLOOR PLAN
A.11	8-UNIT - 3 STORY EXTERIOR ELEVATIONS

DEVELOPER CONTACT:

EUREKA BUILDING CO.

ERION NIKOLLA

CELL: 586-405-4080



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PROJECT

MIXED USE DEVELOPMENT

5455 CORPORATE DRIVE

TROY, MI

SUBJECT

TITLE SHEET

ARKO DESIGN ASSOCIATES

2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382

PH. (248) 802-8409

ISSUED:

SP A

08-10-24

08-10-24

08-10-24

08-10-24

DRAWN

AK

CHECKED

AK

APPROVED

AK

BIDS

CONSTR

DO NOT SCALE

PRINTS - USE

FOOTPRINT

DIMENSIONS ONLY

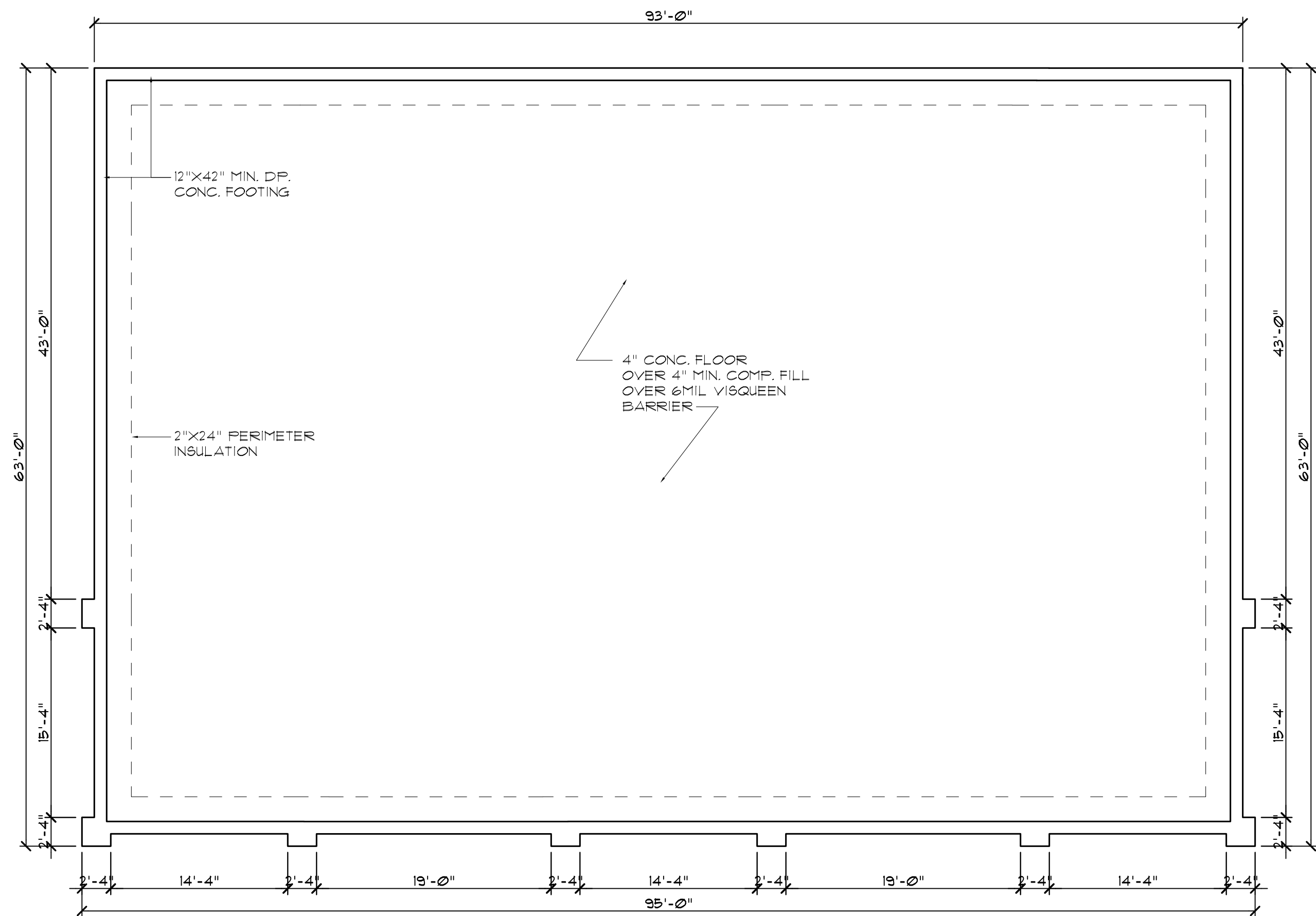
JOB NO.

24-20

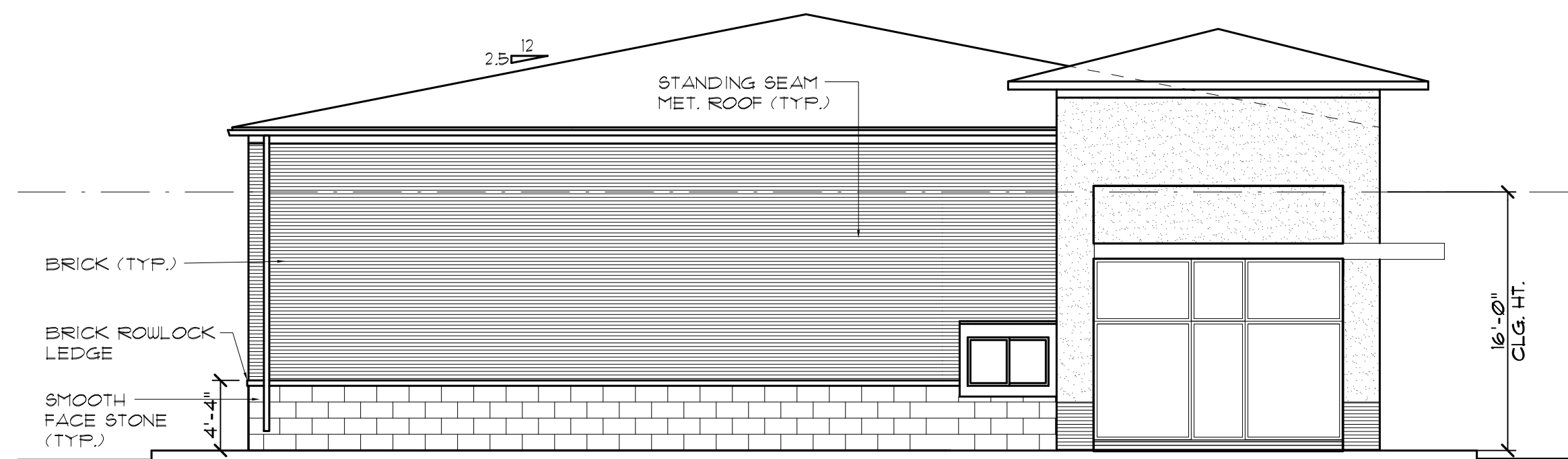
SHEET

T.1

MIXED USE DEVELOPMNT.



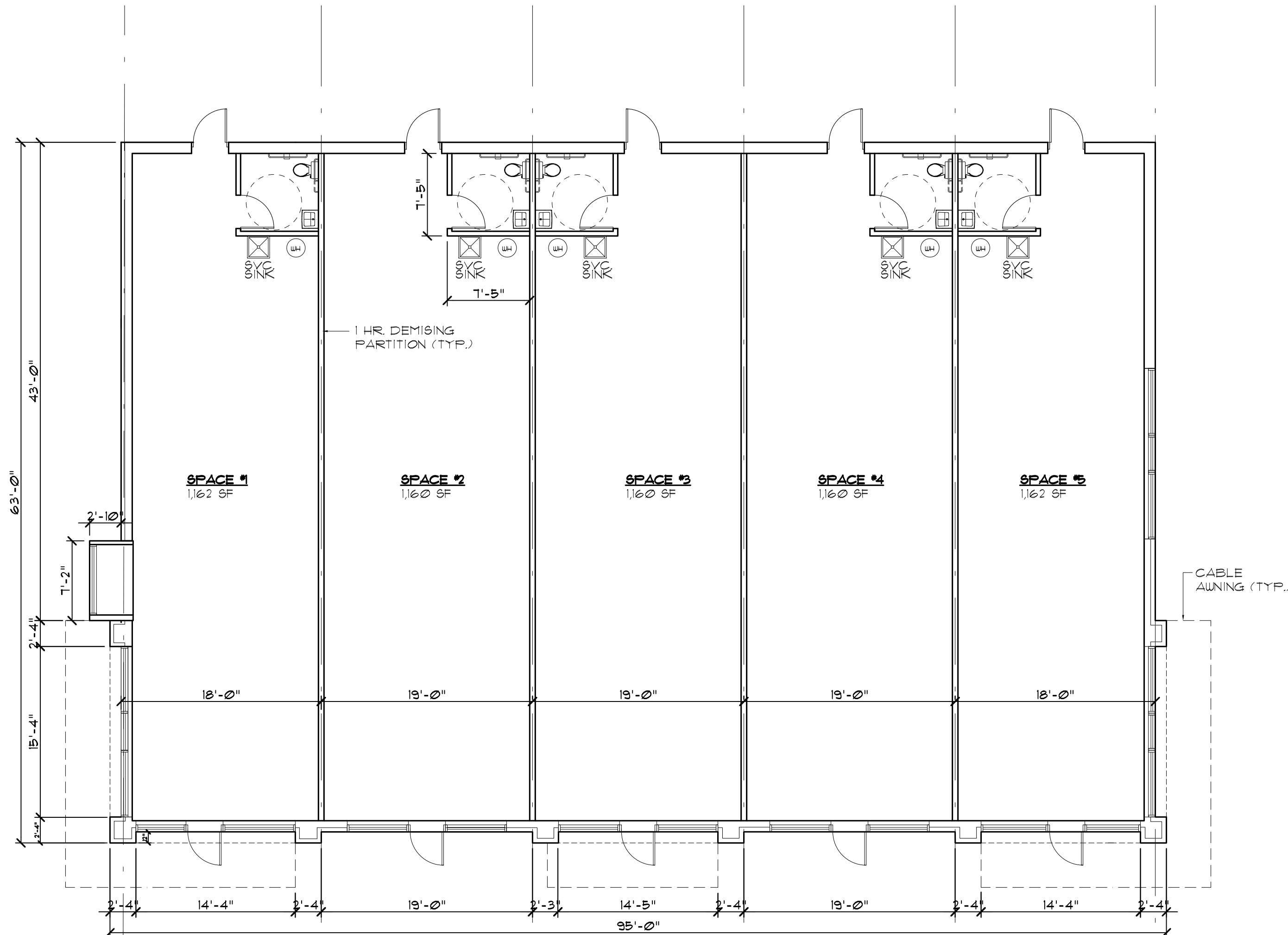
FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



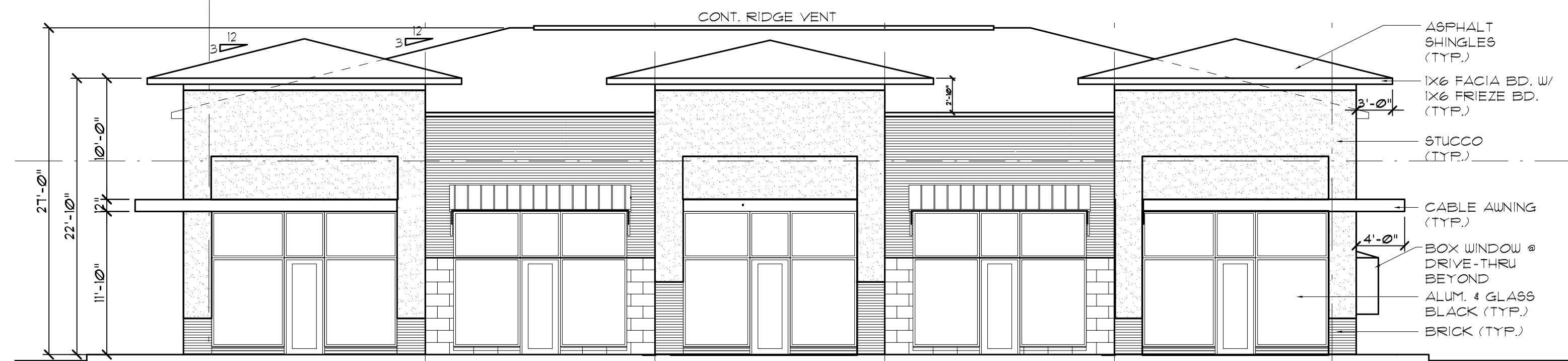
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



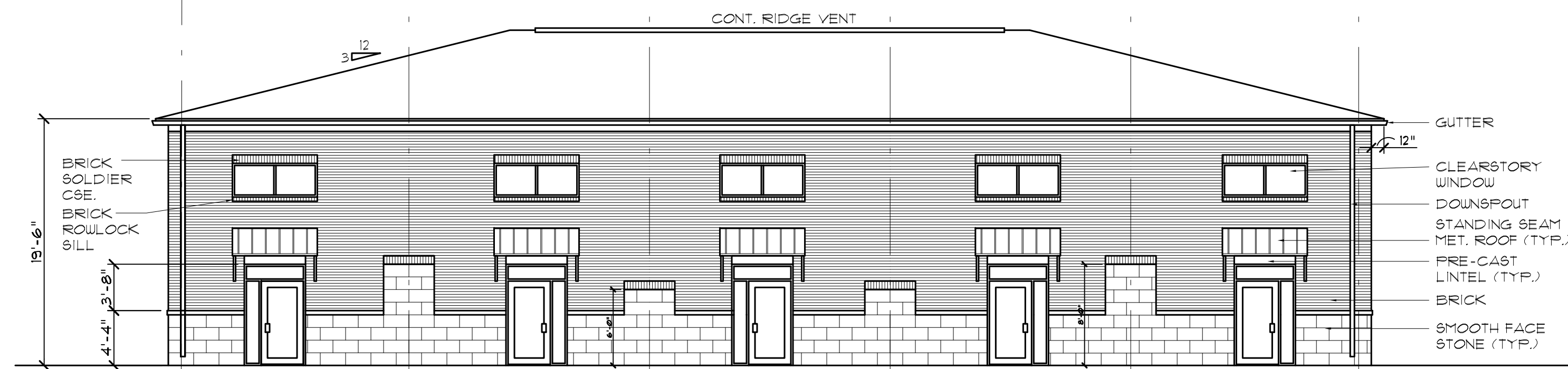
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FLOOR PLAN
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
FOUNDATION PLAN,
FLOOR PLAN,
EXTERIOR ELEVATIONS

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

ISSUED:
SPR 2024
REV 1-1-25

DRAWN AK
CHECKED AK
APPROVED AK
BIDS
CONSTR

DO NOT SCALE
PRINTS - USE
FOUR-DIGIT
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.1
MIXED USE
DEVELOPMNT.

Retail Building



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

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PROJECT

MIXED USE DEVELOPMENT

5455 CORPORATE DRIVE

TROY, MI

SUBJECT

FOUNDATION PLAN,

FLOOR PLAN,

EXTERIOR ELEVATIONS

ARKO DESIGN ASSOCIATES

2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382

PH. (248) 802-8409

ISSUED:

SPA

08-09-24

08-09-24

08-09-24

08-09-24

DRAWN	AK
CHECKED	AK
APPROVED	AK
BIDS	
CONSTR	

DO NOT SCALE

PRINTS - USE

FIGURED

DIMENSIONS ONLY

JOB NO.

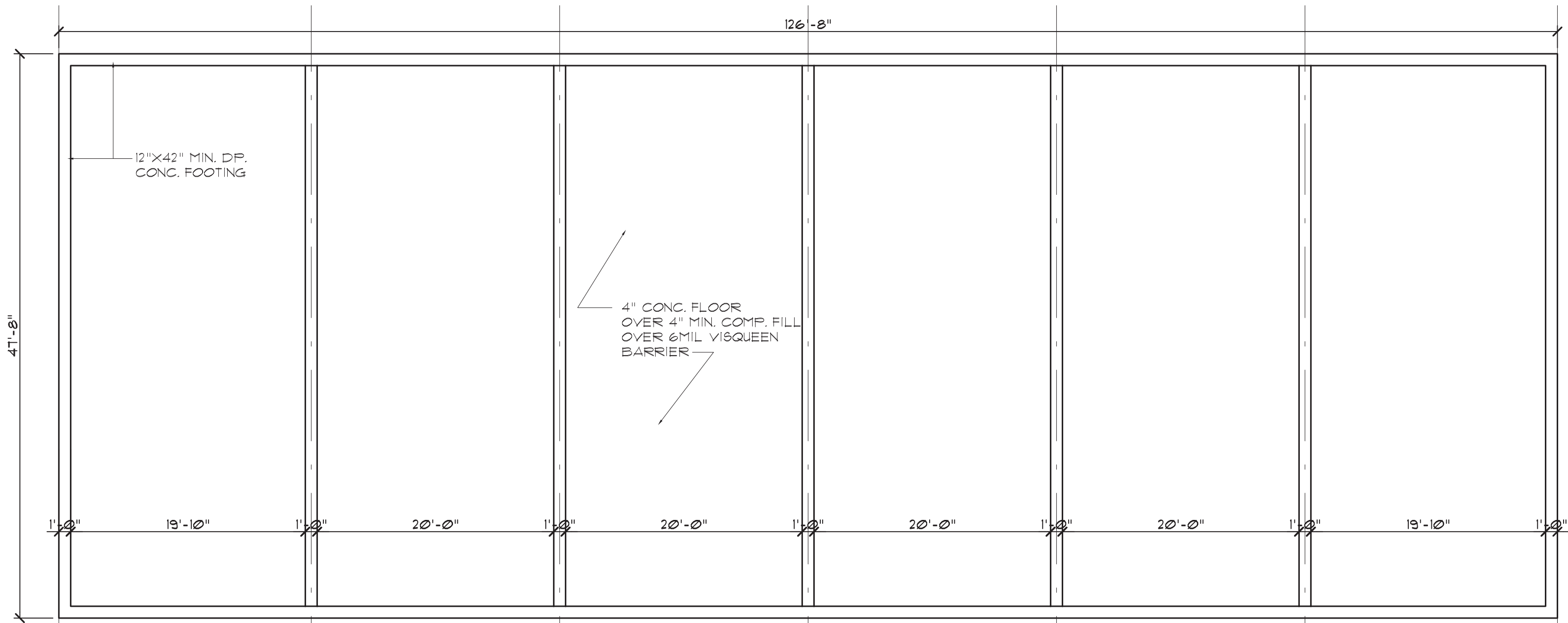
24-20

SHEET

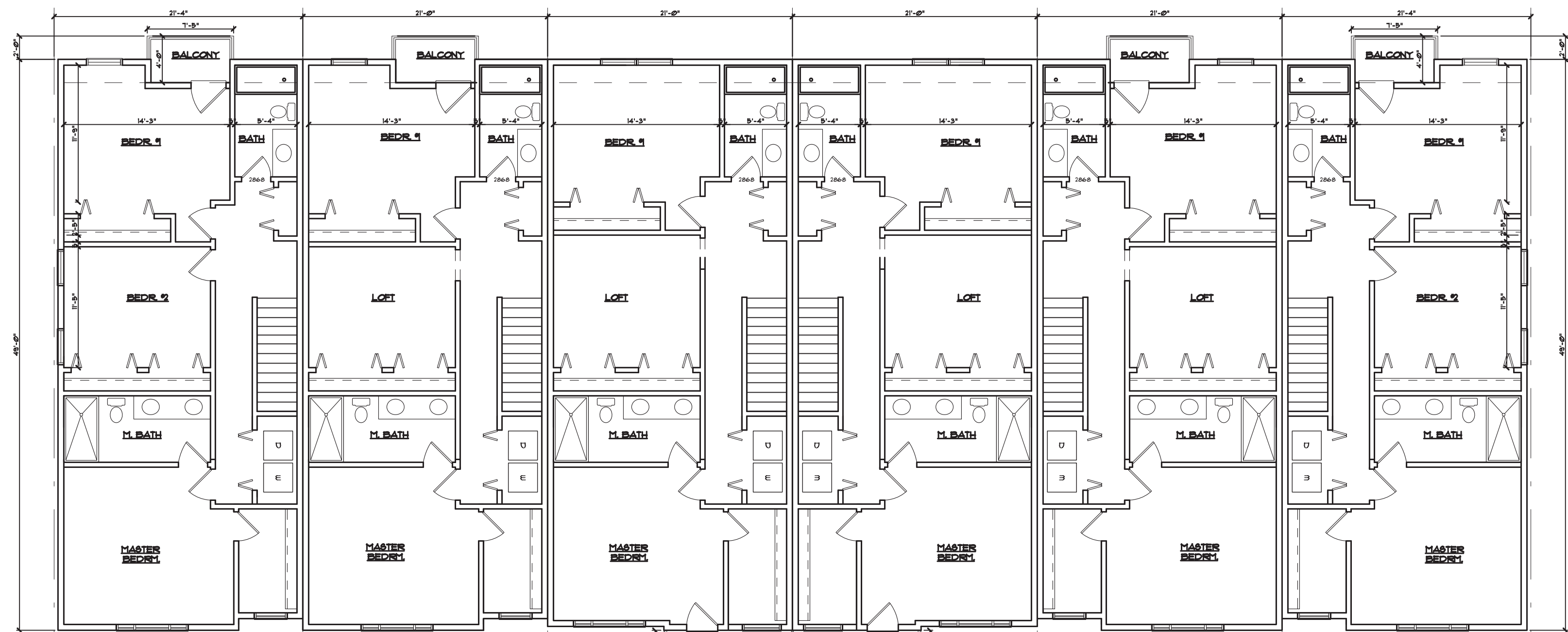
A.1.1

MIXED USE

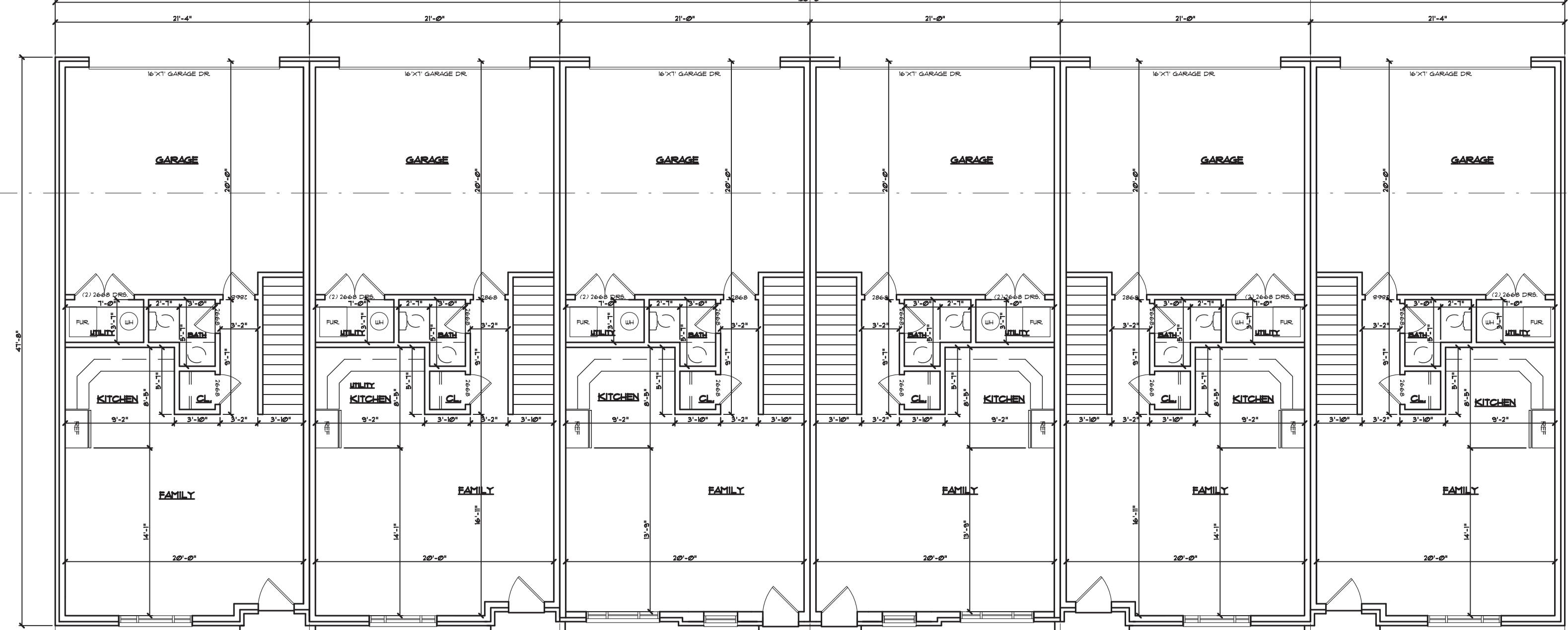
DEVELOPMNT.



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
RESIDENTIAL CONDOS,
FOUNDATION PLAN,
FLOOR PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

ISSUED:
SPA
08-10-24
08-10-24
08-10-24
08-10-24

DRAWN AK
CHECKED AK
APPROVED AK
BIDS
CONSTR

DO NOT SCALE
PRINTS - USE
FOURIED
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.2
MIXED USE
DEVELOPMNT.

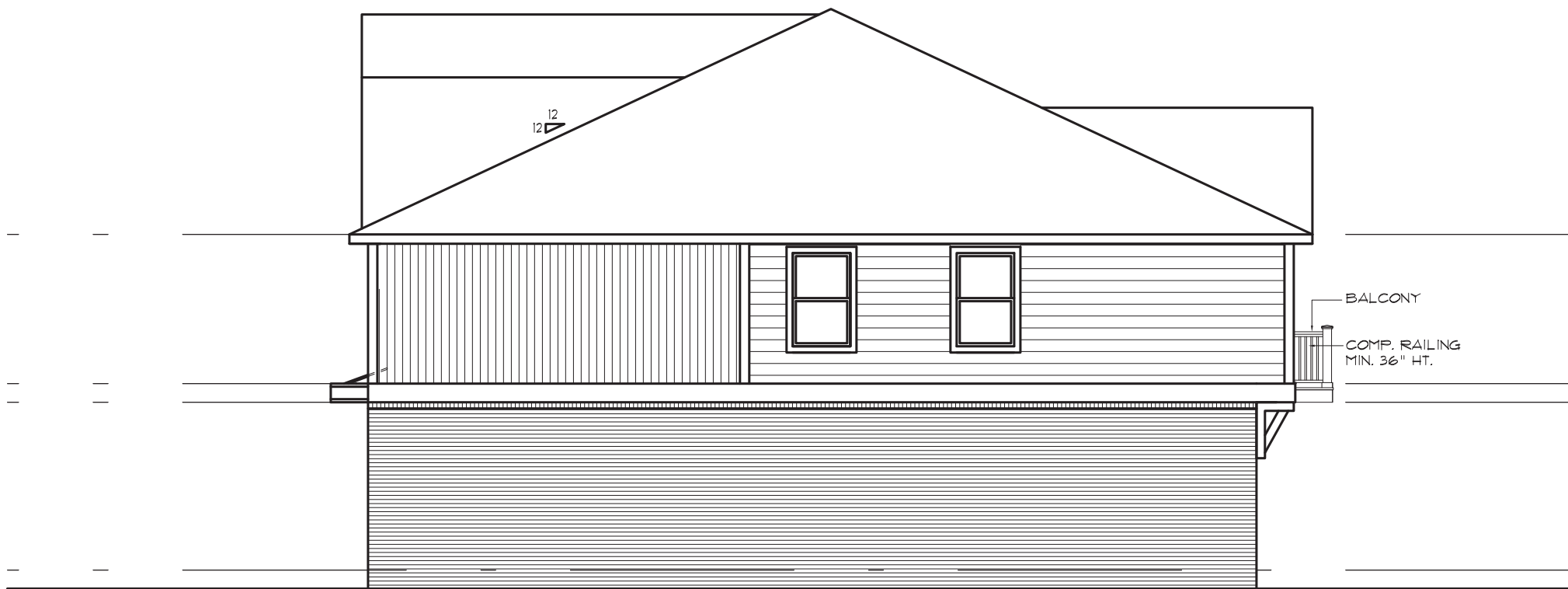
2 - Story Residential 6 Unit



2-STORY - 6-UNIT
FRONT ELEVATION (6-UNIT)



2-STORY - 6-UNIT
FRONT ELEVATION -
SCALE: 1/8" = 1'-0"



SIDE ELEVATION (6-UNIT)
SCALE: 1/8" = 1'-0"



REAR ELEVATION (6-UNIT)
SCALE: 1/8" = 1'-0"

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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
6-UNIT
RESIDENTIAL CONDOS
EXTERIOR ELEVATIONS

ISSUED:
SPA
12-10-24

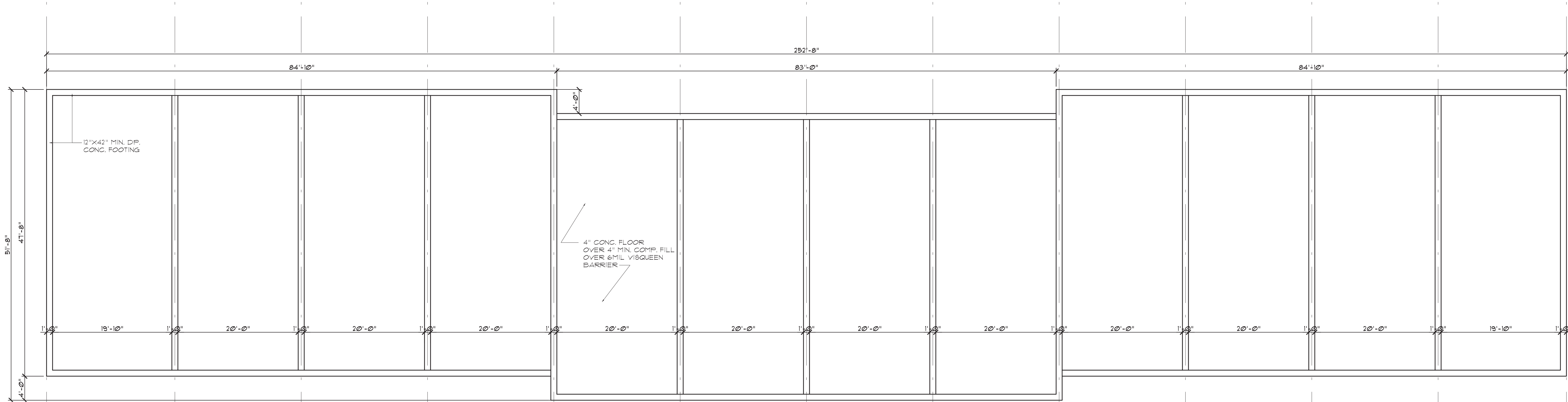
DRAWN	AK
CHECKED	AK
APPROVED	AK
BIDS	
CONSTR	

DO NOT SCALE
PRINTS - USE
FIGURED
DIMENSIONS ONLY

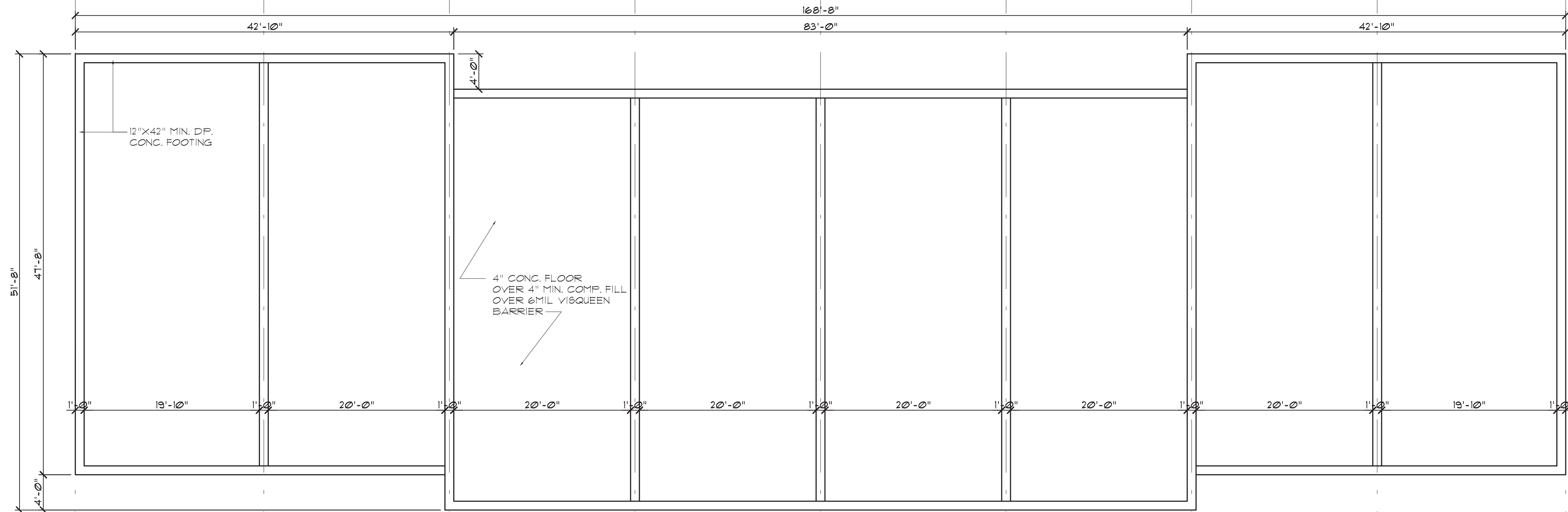
JOB NO.
24-20

SHEET
A.3

MIXED USE
DEVELOPMNT.



2-STORY - 12 UNIT
FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



2-STORY - 8 UNIT
FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
8-UNIT & 12 UNIT
RESIDENTIAL CONDOS
FOUNDATION PLANS

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

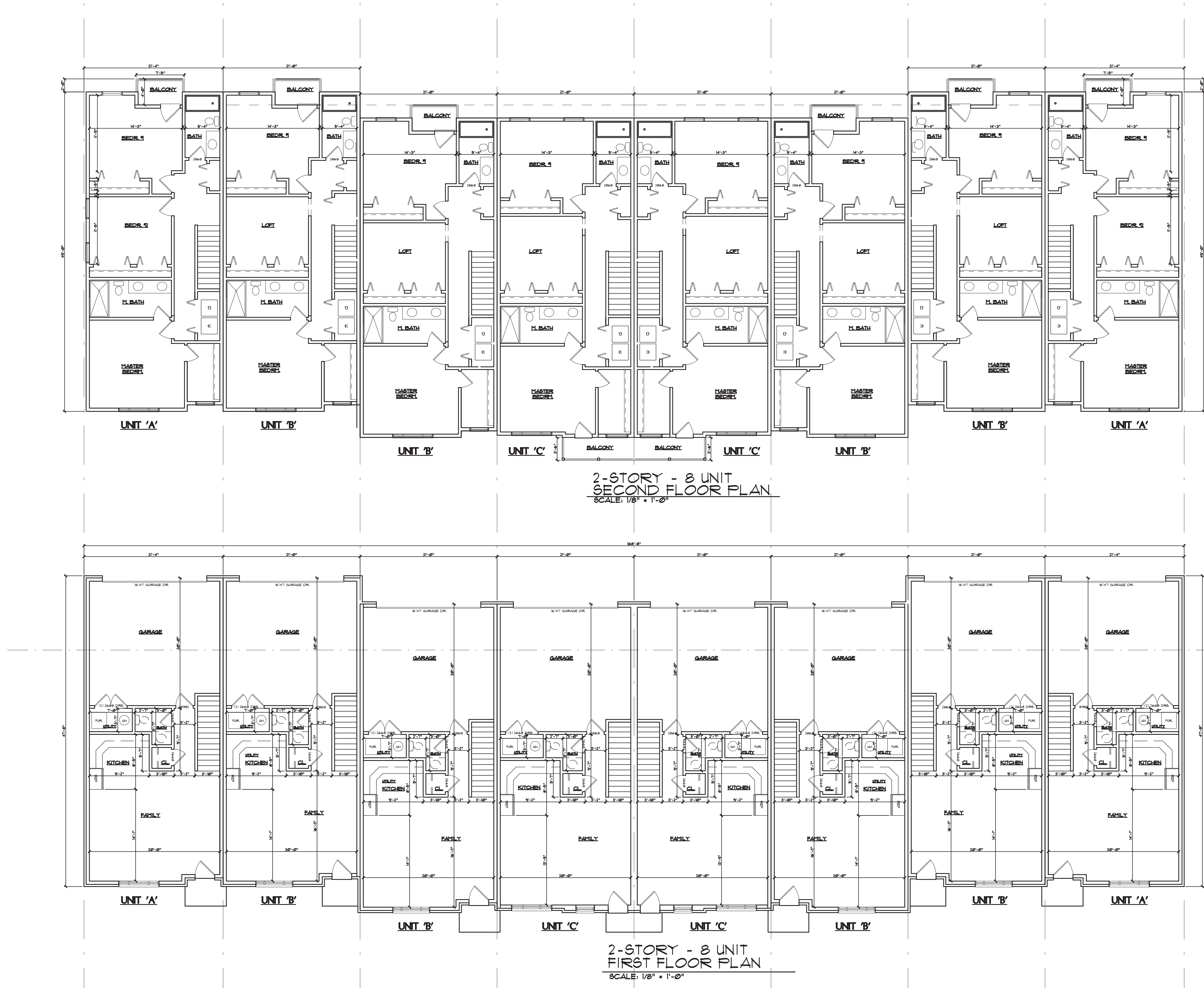
ISSUED:
SPA
12-10-24

DRAWN	AK
CHECKED	AK
APPROVED	AK
BIDS	
CONSTR	

DO NOT SCALE
PRINTS - USE
FOURIED
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.4
MIXED USE
DEVELOPMNT.



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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
8-UNIT
RESIDENTIAL CONDOS
FLOOR PLANS

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

ISSUED:
SPA
08-10-24
08-10-24
08-10-24
08-10-24

DRAWN AK
CHECKED AK
APPROVED AK
BIDS
CONSTR

DO NOT SCALE
PRINTS - USE
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.5
MIXED USE
DEVELOPMNT.

2 - Story Residential 8 Unit

ROOF: IKO - DUAL BLACK SHINGLES

ACCENT SIDING:
MANUFACTURER: JH
MATERIAL: CEMENT BOARD

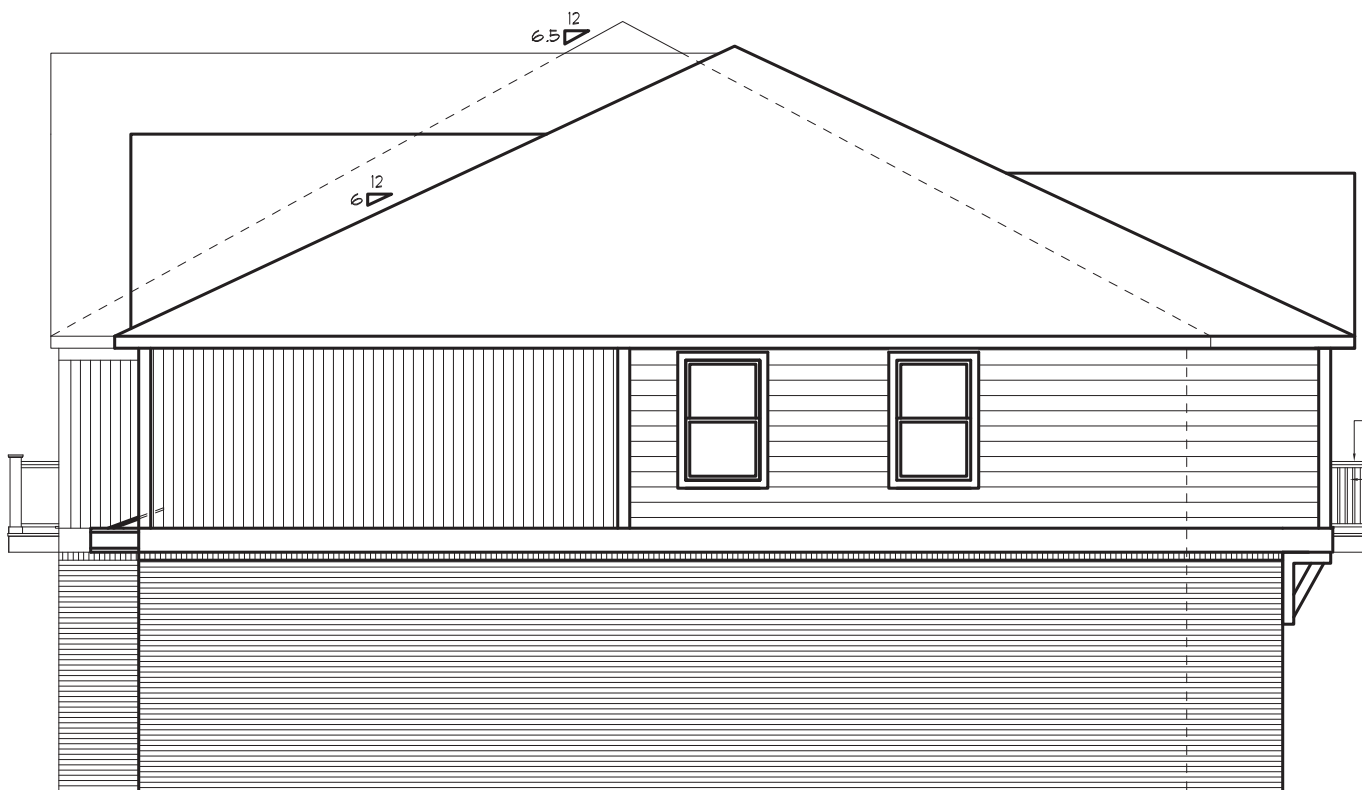
COLORS: ALABASTER OR DARK
BOARD PROFILE: 6" V-GROOVE
BRONZE

WINDOWS / DOORS FRAME BLACK

BRICK: GENERAL SHALE
MIDNIGHT MIST OR
SIMILAR
BRICK: GENERAL SHALE
MORNING SNOW OR
SIMILAR



2-STORY - 8 UNIT
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2-STORY - 8 UNIT
REAR ELEVATION
SCALE: 1/8" = 1'-0"

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PROJECT
MIXED USE DEVELOPMENT
545 CORPORATE DRIVE
TROY, MI

SUBJECT
8-UNIT
RESIDENTIAL CONDOS
EXTERIOR ELEVATIONS

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH: (248) 802-8409

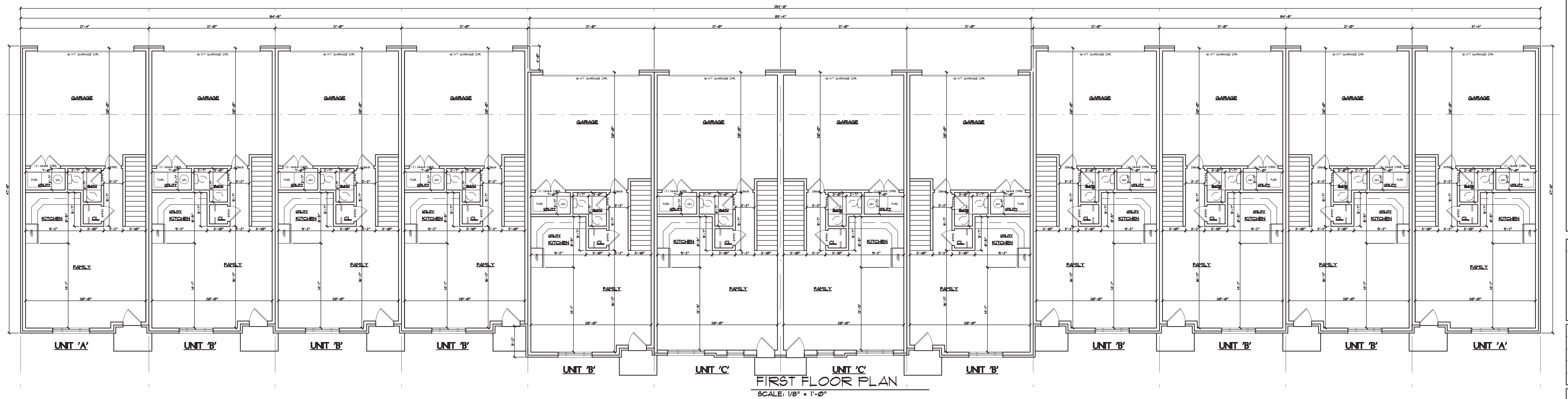
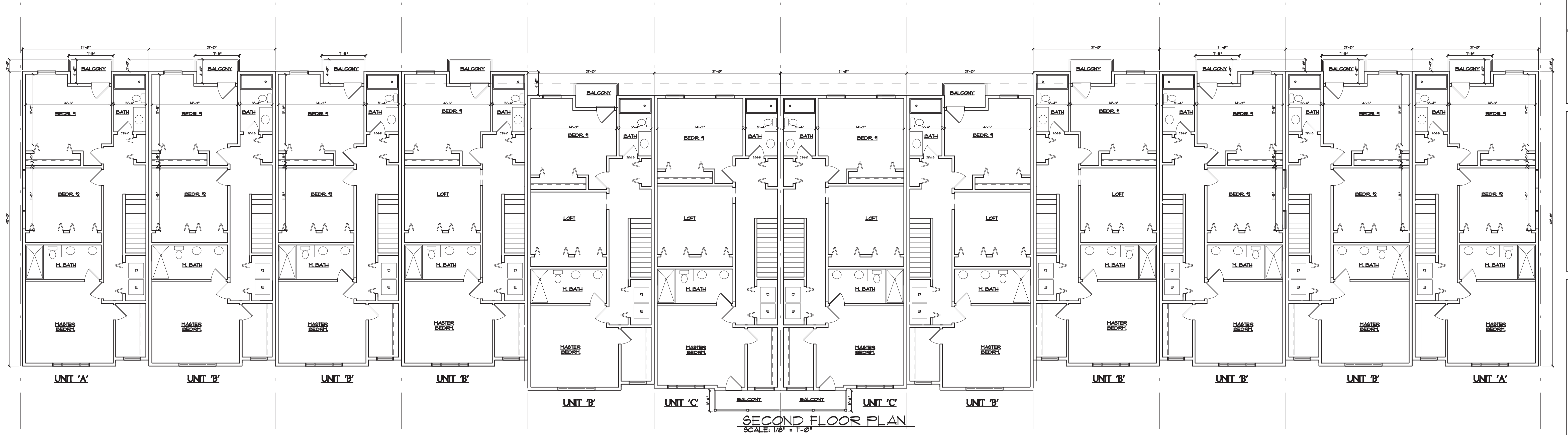
ISSUED:
SFA
01-08-24
02-08-25

DRAWN AK
CHECKED AK
APPROVED AK
BOS
CONSTR

DO NOT SCALE
PRINTS - USE
FIELD
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.6
MIXED USE
DEVELOPMENT



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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
12-UNIT
RESIDENTIAL CONDOS
FLOOR PLANS

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

ISSUED:
SPA
08-10-24
08-10-24
08-10-24

DRAWN AK
CHECKED AK
APPROVED AK
BIDS
CONSTR

DO NOT SCALE
PRINTS - USE
FOURING
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.7
MIXED USE
DEVELOPMNT.

2 - Story Residential 12 Unit

ROOF: IKO - DUAL BLACK SHINGLES

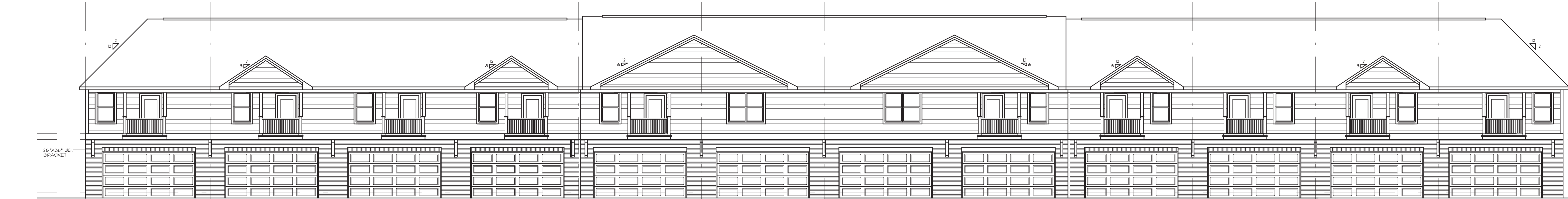
ACCENT SIDING:
MANUFACTURER: JH
MATERIAL: GEMENT BOARD
COLORS: ALABASTER OR DARY
BOARDPROFILE: 6" V-GROOVE
BRONZE

WINDOW & DOOR FRAME: BLACK

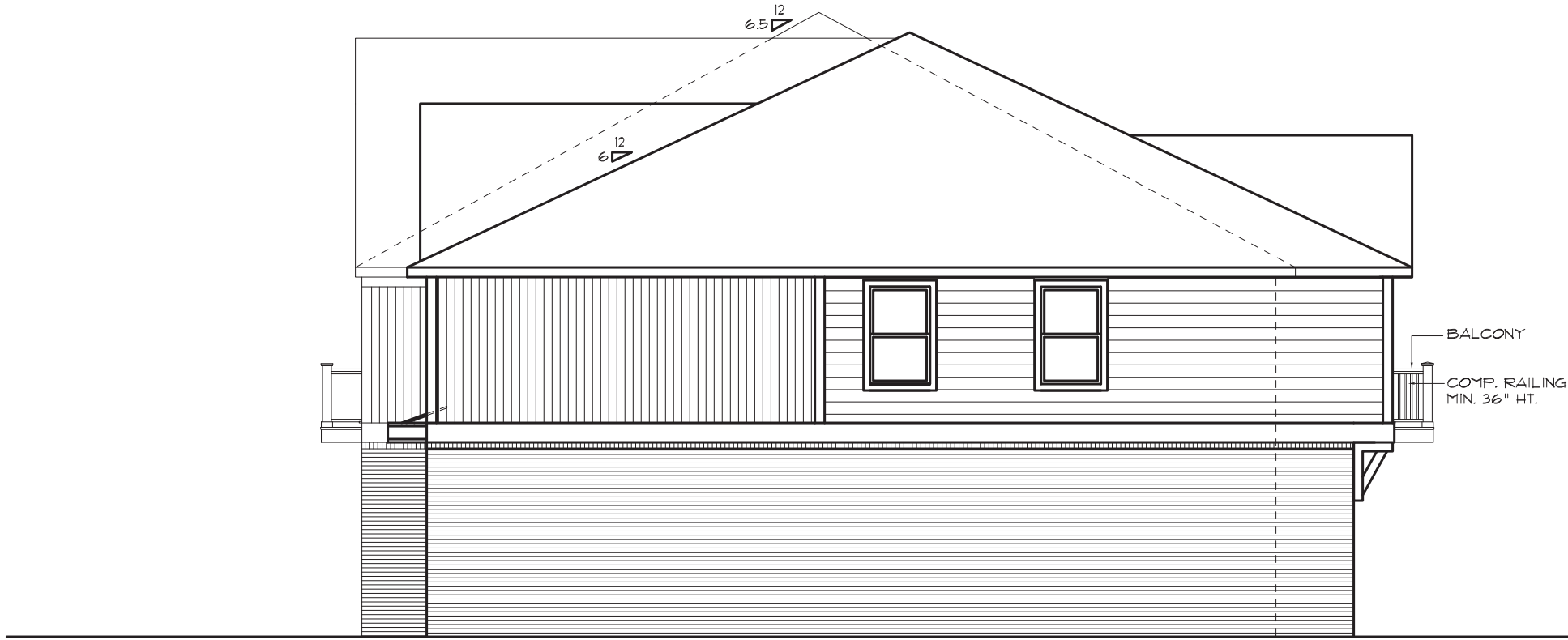
BRICK: GENERAL SHALE
MIDNIGHT MIST OR
SIMILAR
BRICK: GENERAL SHALE
MORNING SNOW OR
SIMILAR



2-STORY - 12UNIT
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2-STORY - 12 UNIT
REAR ELEVATION
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
12-UNIT
RESIDENTIAL CONDOS
EXTERIOR ELEVATIONS

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

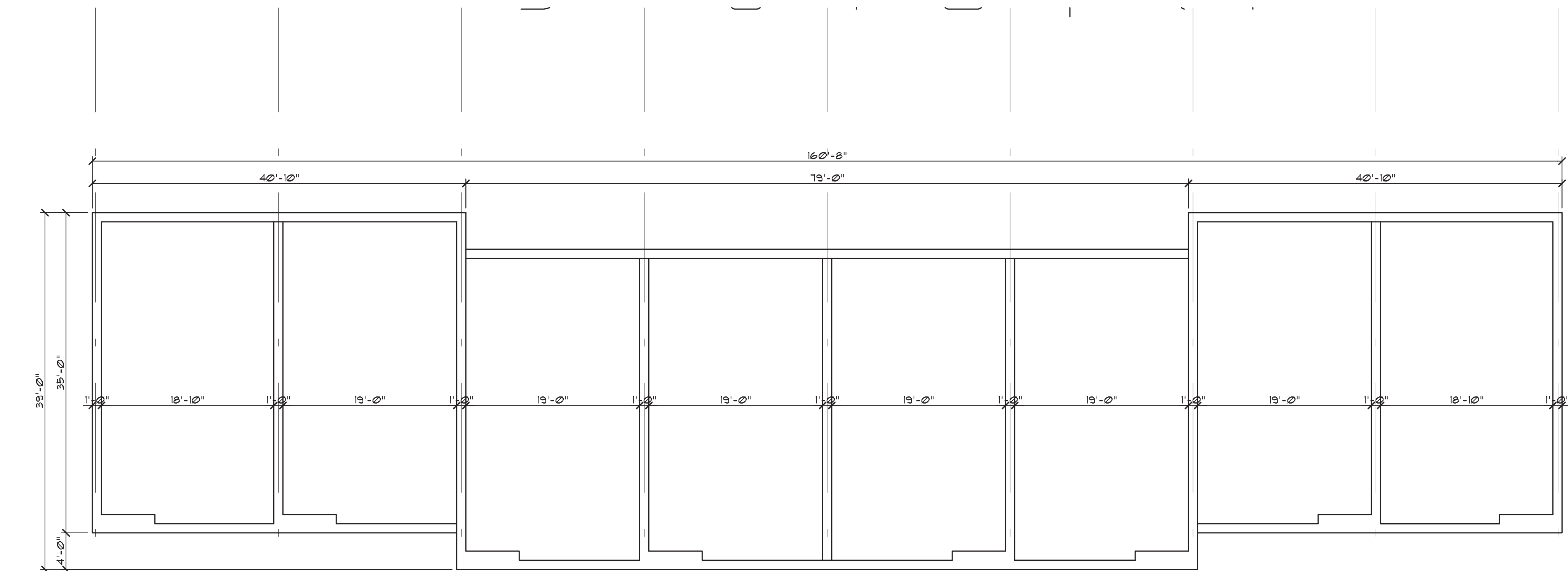
ISSUED:
SPA
08-10-24
08-09-25
02-08-25

DRAWN AK
CHECKED AK
APPROVED AK
BIDS
CONSTR.

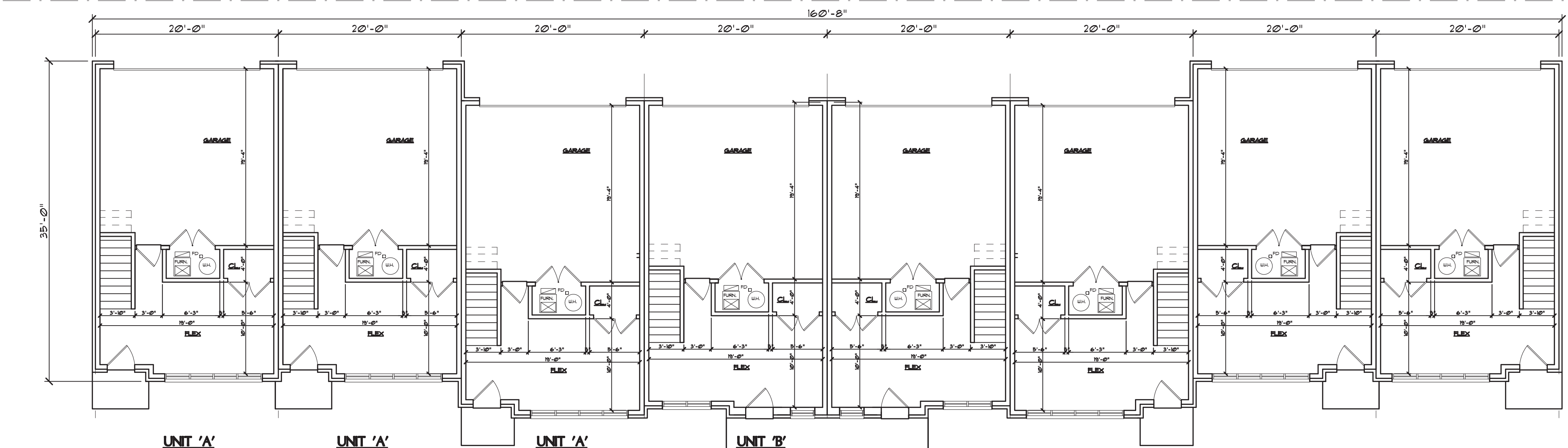
DO NOT SCALE
PRINTS - USE
FIGURED
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.8
MIXED USE
DEVELOPMNT.



3-STORY - 8 UNIT
FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



3-STORY - 8 UNIT
LOWER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
8-UNIT - 3 STORY
RESIDENTIAL CONDOS
FOUNDATION PLAN
LOWER LEVEL PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

ISSUED:
SPA
08-10-24
02-08-25

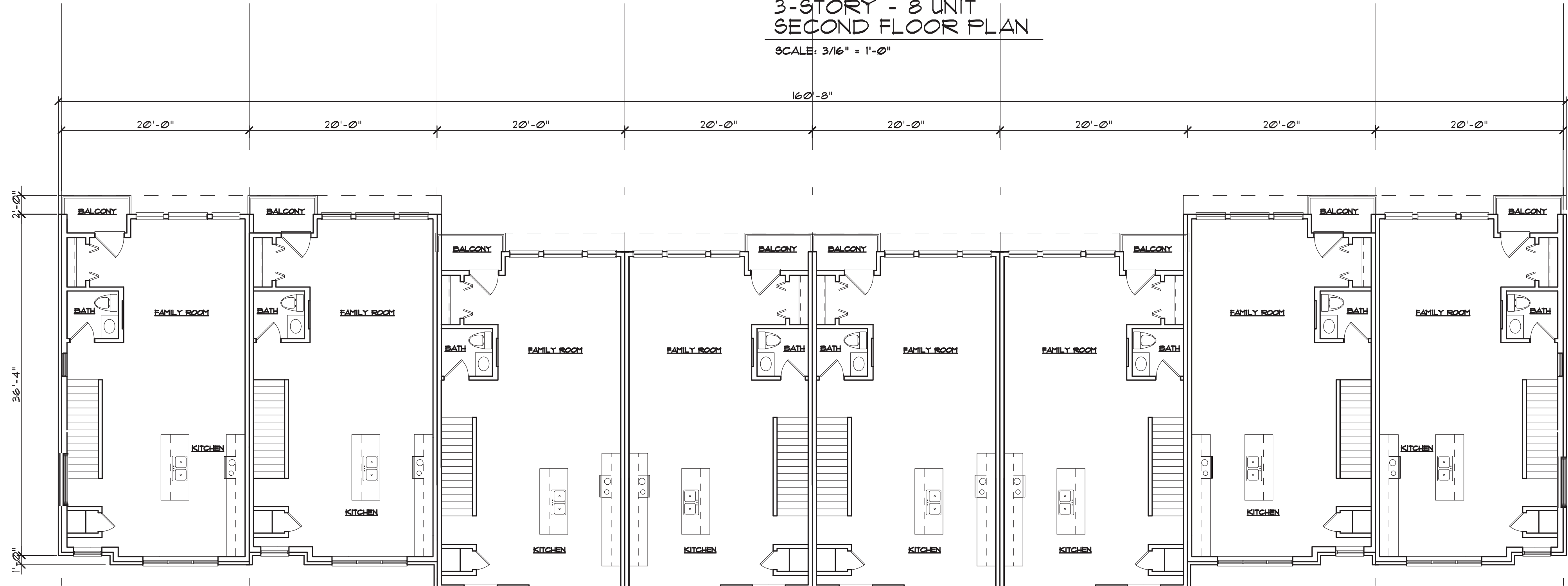
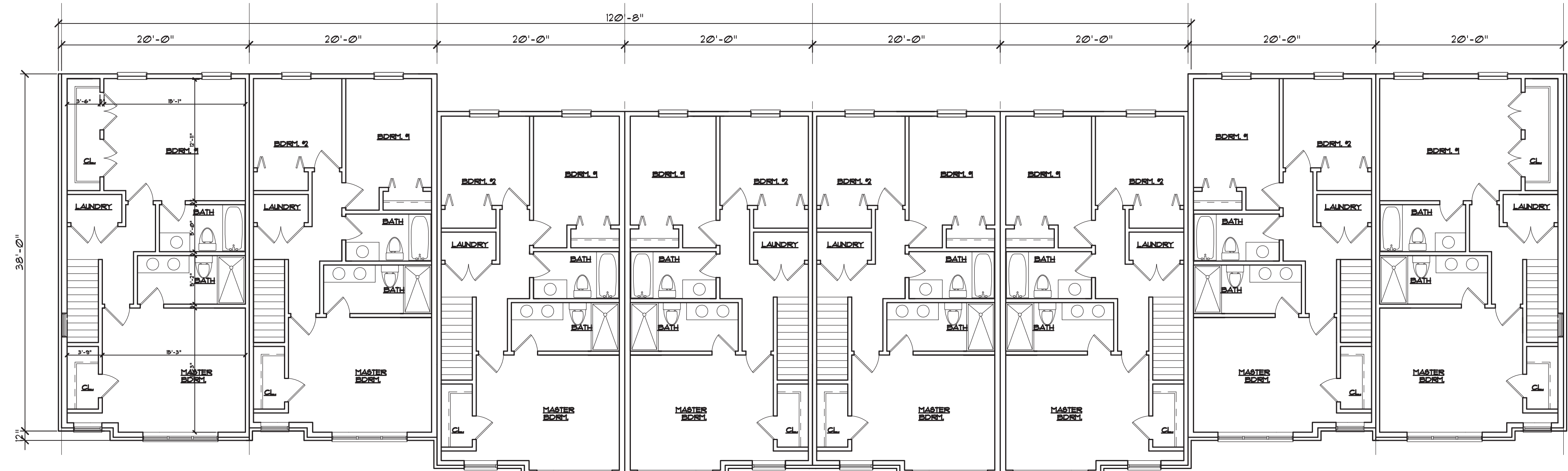
DRAWN AK
CHECKED AK
APPROVED AK
BIDS
CONSTR

DO NOT SCALE
PRINTS - USE
FOURIED
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.9

MIXED USE
DEVELOPMNT.



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PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
8-UNIT - 3 STORY
RESIDENTIAL CONDOS
FIRST FLOOR PLANS
SECOND FLOOR PLAN

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

ISSUED:
SPA
08-10-24
08-08-25
08-08-25

DRAWN AK
CHECKED AK
APPROVED AK
BIDS
CONSTR

DO NOT SCALE
PRINTS - USE
FIGURED
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.10

MIXED USE
DEVELOPMNT.

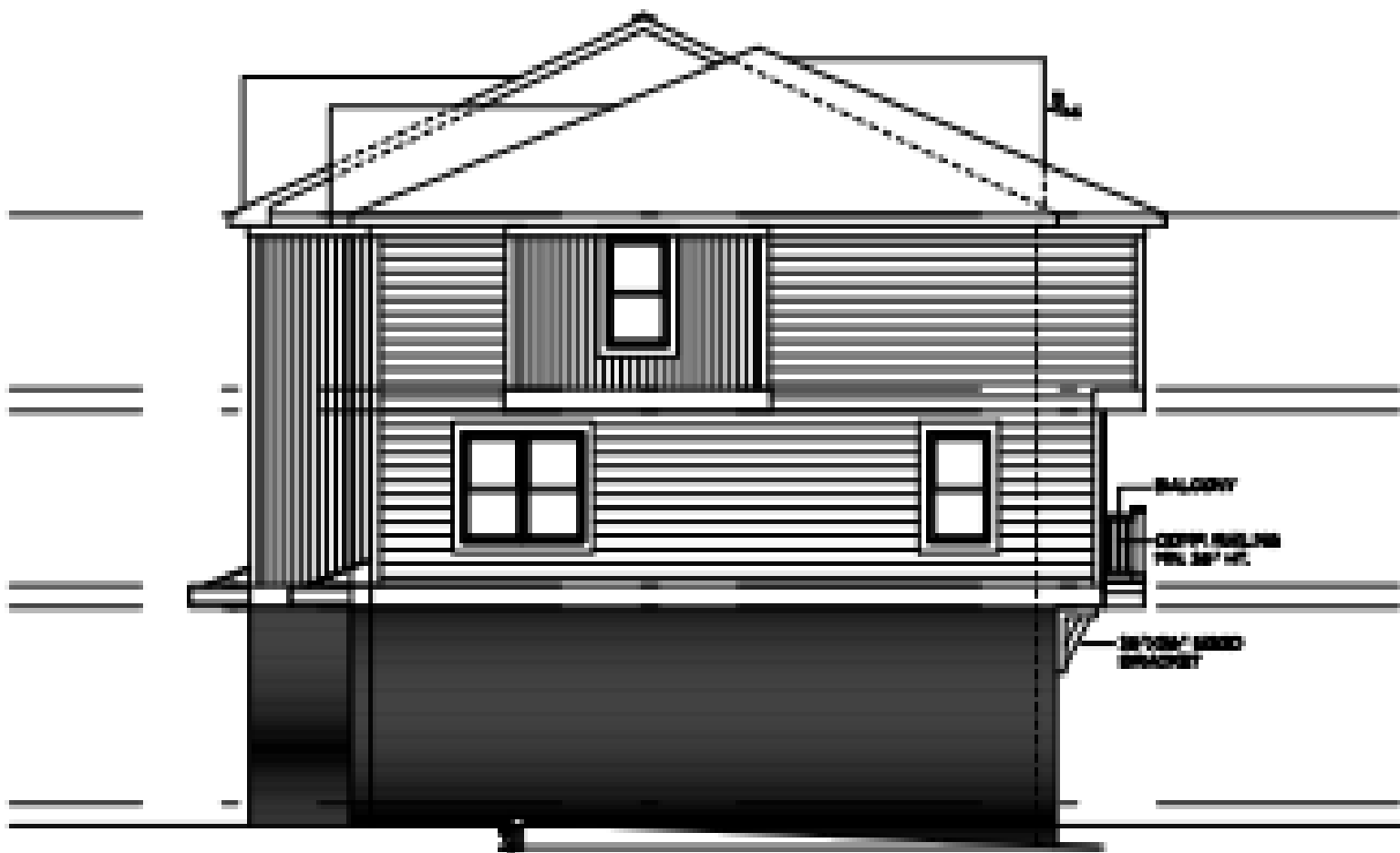
3 - Story Residential 8 Unit



3-STORY - 8 UNIT
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



3-STORY - 8 UNIT
REAR ELEVATION
SCALE: 1/4" = 1'-0"



3-STORY - 8 UNIT
RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



- ROOF: IKO CAMBRIDGE DUAL BLACK SHINGLES
- SIDING: MANUFACTURER: LP
MATERIAL: SMARTSIDE VERTICAL
BOARD PROFILE: 8" V GROOVE
COLORS: DARK BRONZE
- SIDING: MANUFACTURER: LP
MATERIAL: SMARTSIDE VERTICAL
BOARD PROFILE: 8" V GROOVE
COLORS: WHITE SNOW
- WINDOWS / DOOR FRAME BLACK
- BRICK: GENERAL SHALE MORNING SNOW OR SIMILAR
- BRICK: GENERAL SHALE MEADOWBROOK OR SIMILAR



3-STORY - 8 UNIT
SIDE ELEVATION
SCALE: 3/16" = 1'-0"

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ARKO DESIGN ASSOCIATES

PROJECT
MIXED USE DEVELOPMENT
5455 CORPORATE DRIVE
TROY, MI

SUBJECT
12-UNIT
RESIDENTIAL CONDOS
EXTERIOR ELEVATIONS

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409

ISSUED:
SPA
02-08-24
02-08-25
02-08-26

DRAWN AK
CHECKED AK
APPROVED AK
BIDS
CONSTR

DO NOT SCALE
PRINTS - USE
POUNDED
DIMENSIONS ONLY

JOB NO.
24-20

SHEET
A.11
MIXED USE
DEVELOPMNT.

Exterior Building Materials

Roofing



IKO Cambridge Dual Black or equal

Brick



Midnight Mist or similar

Exterior Siding Colors



Dark Bronze SW2501

Exterior Siding



James Haride (JH) Cement board -



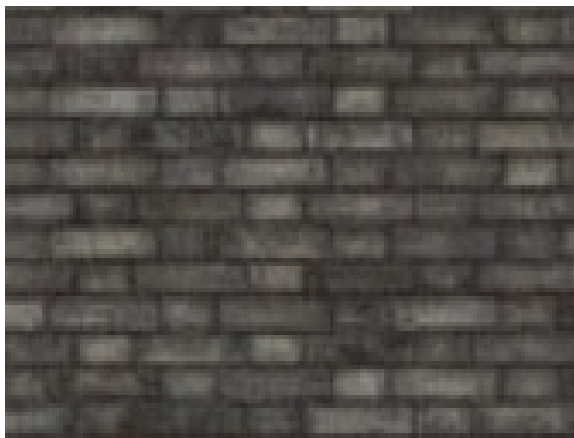
Morning Snow or similar



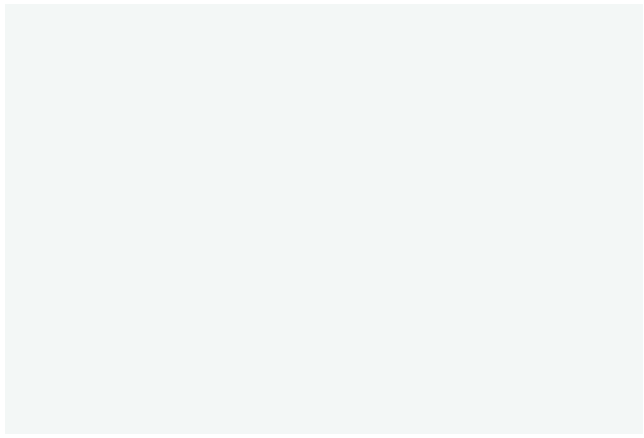
White Snow SW 7007



James Haride (JH) Cement board -



Meadowbrook or similar



Pure White SW7005



LP SmartSide Horizontal Fiber Cement



Smooth Face Limestone



















ITEM #7

DATE: May 5, 2025

TO: Planning Commission

FROM: R. Brent Savidant, Community Development Director

SUBJECT: SPECIAL USE APPLICATION (SU JPLN2024-0031) – Proposed Barbat Troy Vehicle Fueling/Multi Use Station, Southeast corner of Crooks Road and South Boulevard (1981 South Boulevard, PIN 88-20-04-100-059), Section 4, Currently Zoned NN (Neighborhood Node “U”) District

The petitioner Barbat Troy submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a proposed vehicle fueling/multi use station. The project features a 6,392 square foot building, 12 pumps under a canopy plus four (4) EV charging stations. Vehicle fueling stations are permitted in the NN district, subject to special use approval.

The Planning Commission held a public hearing on this item on February 25, 2025 and postponed the item so that the developer could address the following:

1. Address gateway signage that applicant agrees to incorporate in the development.
2. Indicate the turning radiuses for various delivery trucks on the site.
3. Provide a good illustration of the finished gas pump canopy.
4. Provide revised elevations for the north (South Boulevard) and west (Crooks Road) frontages.
5. Provide some type of screening between Crooks Road and the dining patio that would be aesthetically pleasing.
6. Show the locations of the future EV charging stations.
7. Provide specifications of the EV charging stations; output levels, amperage.
8. Provide details on the decorative light fixtures.
9. Ensure canopy materials match the design of the main building.
10. Acknowledge the fueling center and restaurant will be constructed and opened at the same time.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Minutes from February 25, 2025 Planning Commission Regular Meeting (excerpt)
4. Special Use/Preliminary Site Plan application
5. Public comment since February 25, 2025

PROPOSED RESOLUTION

SPECIAL USE APPLICATION (SU JPLN2024-0031) – Proposed Barbat Troy Vehicle Fueling/Multi Use Station, Southeast corner of Crooks Road and South Boulevard (1981 South Boulevard, PIN 88-20-04-100-059), Section 4, Currently Zoned NN (Neighborhood Node “U”) District

Resolution # PC-2025-05-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Barbat Troy Vehicle Fueling/Multi Use Station, Southeast corner of Crooks and South Boulevard (1981 South Boulevard), Section 4, Currently Zoned NN (Neighborhood Node) District, be **granted** subject to the following conditions:

1. Fueling center and restaurant to be constructed and opened concurrently.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED



GIS Online

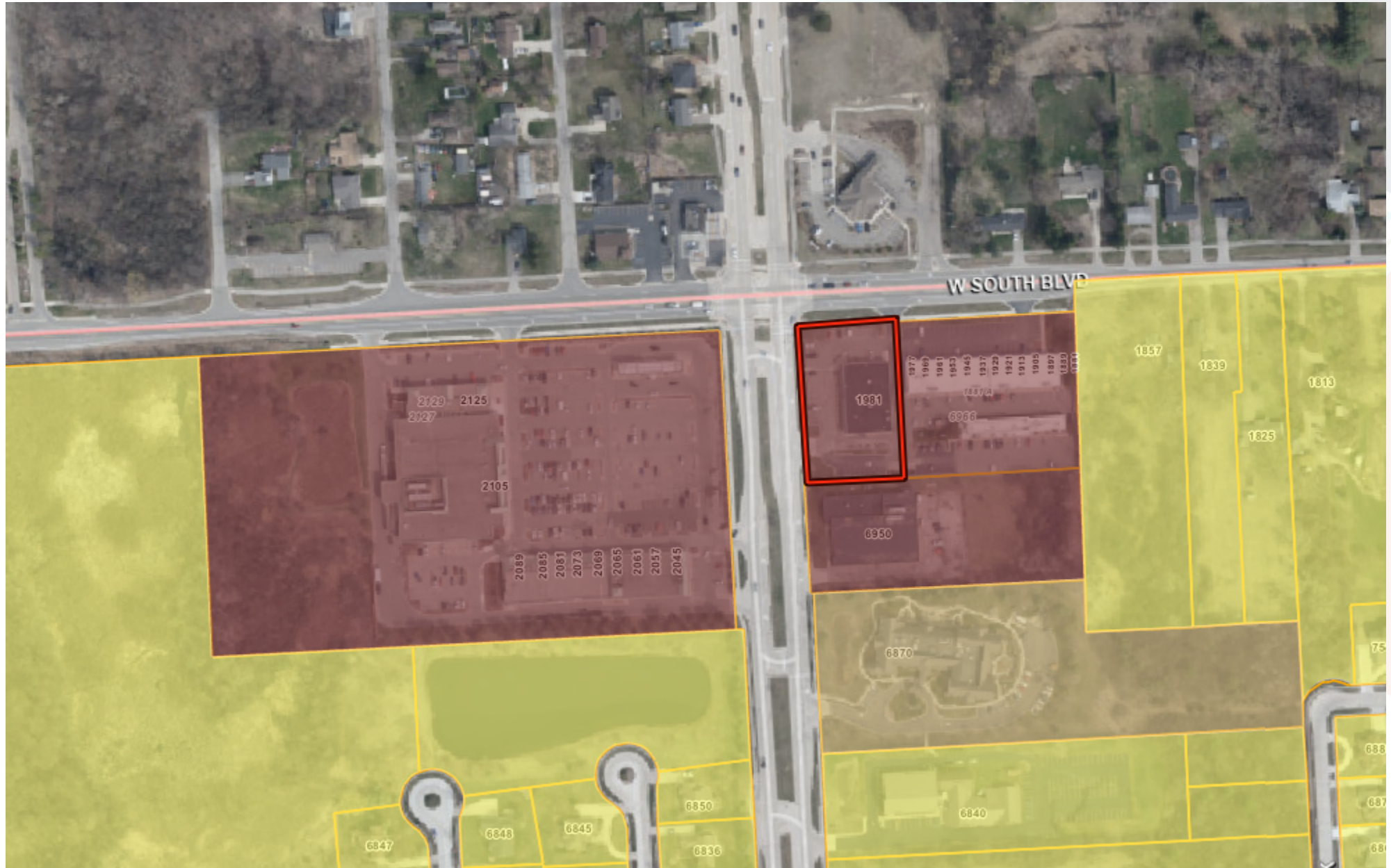


Print Date: 2/17/2025

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



GIS Online



0 400 800
ft

Print Date: 2/17/2025



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

SPECIAL USE APPROVAL

5. **PUBLIC HEARING – SPECIAL USE APPLICATION (SU JPLN2024-0031)** – Proposed Barbat Troy Vehicle Fueling/Multi Use Station, Southeast corner of Crooks Road and South Boulevard (1981 South Boulevard, PIN 88-20-04-100-059), Section 4, Currently Zoned NN (Neighborhood Node “U”) District

Mr. Carlisle reviewed the Special Use and Preliminary Site Plan application for the Barbat Troy Vehicle Fueling/Multi Use Station. He asked the Planning Commission members to keep in mind the vision of the Master Plan for the Neighborhood Node “U” zoning district in its consideration of the application.

Mr. Carlisle asked the Planning Commission to consider the applicant’s request for relief of the required setback along Crooks Road to accommodate the outdoor patio, a parking deviation from the required number of parking spaces, and an exception for decorative light fixtures. He addressed the south (facing Crooks Road) and north (facing South Boulevard) elevations and asked the applicant to consider flipping the elevations so the more engaging façade faces South Boulevard, or to make both facades the same. Mr. Carlisle asked the applicant to provide more details on the buildout of the restaurant and the projected timeline.

Mr. Carlisle asked the Planning Commission in its deliberation to consider compliance with Section 5.06 (Neighborhood Nodes Districts), Section 9.02.D (Special Use Standards), Section 8.06 (Site Plan Review Design Standards) and Section 6.28 (Vehicular Fueling/Multi Use Stations) of the Zoning Ordinance.

Mr. Carlisle said any approval of the application should be subject to the conditions as cited in his report dated February 13, 2025.

Mr. Savidant acknowledged the Planning Department received a signed petition and two emails after the agenda packet was distributed, copies of which were provided to the members prior to the beginning of the meeting. Mr. Savidant announced the emails were from Fabrice Smieliauskas and Farid and Karima Jindo.

Present were Eric Williams of Stonefield Engineering, Project Architect John Abro, and Duane and Scott Barbat of the Barbat Organization.

Mr. Williams clarified there are four (4) EV charging stations proposed on site. He addressed the request for an increased front setback along Crooks Road. Mr. Williams articulated how the application meets the Special Use Standards. He said the development would generate passerby traffic resulting in an insignificant impact.

Mr. Abro addressed the setback along Crooks Road, orientation of the patio, canopy details, and the north and south elevations. He said they would enhance the north elevation in a similar fashion to the south elevation.

Duane Barbat shared a brief history of their company. He said they would gladly incorporate a Troy gateway sign. Mr. Barbat addressed the latest trend for a state-of-the-

art fueling station, convenience store and restaurant. He indicated the existing vacant building could potentially be repurposed by an auto parts supplier should this application not get approval.

Scott Barbat addressed operations of the fueling center and restaurant. He said the restaurant would be constructed and opened at the same time as the fueling center. Mr. Barbat shared their affiliation with the *Shell* brand and *Saroki's Pizza* restaurant.

Some comments during discussion related to the following:

- Calculation of parking spaces overall, as relates to EV charging stations, restaurant, fueling and convenience store.
- Gateway signage.
- Number of EV charging stations; underground conduits for future EV stations.
- Gateway signage.
- Traffic volume and potential impact.
- Timeline of restaurant opening.
- Impact on existing service stations in area.
- Screening between the patio and Crooks Road.
- Improvements to enhance the corner entrance; masonry wall, landscaping.
- *Shell* brand color scheme.
- Enhancement of South Boulevard and Crooks Road elevations.
- Hours of operation.
 - Fueling center/convenience store (applicant prefers 24/7).
 - Restaurant 10 a.m. to 10 or 11 p.m.
- Delivery trucks; days/times, turning radiuses.
- Adjacent retail center; visibility, site access, parking.

Mr. Fox expressed his opposition to autocentric uses at the gateway to the City.

PUBLIC HEARING OPENED

- Melinda Pace, 1977 W. South Boulevard (adjacent retail center, Billy Sims BBQ); expressed concern with the visibility of the retail center, parking overflow.
- Farid (Jay) Jindo, 5772 Springbrook; expressed concern with impact on neighboring businesses, traffic and potential sale of property to different user.
- Marcia Bossenberger, 369 Ottawa; said there is no need for another gas station, questioned building not being re-purposed, likes concept and design.
- Eric Rabin, 801-803 W. Big Beaver; addressed challenges of demolishing existing vacant buildings and bringing in future development.
- Jiovani Odeesh, 3814 Rhoten, Sterling Heights (family owns service station at 3980 Crooks Road); said there is no need for another fueling station, likes concept and design.
- Stephen Sadlier, 300 Scone; said there is no need for another fueling station, expressed concern with selling alcohol, effect on neighboring businesses, said location would be an asset for EV owners.

- Arson Koka, 3765 Jennings; expressed support, welcomes an addition of a valued business in the City.
- Edmond Marena, 1969 W. South Boulevard (adjacent retail business owner); expressed concern with visibility of retail center, shared access and overflow parking.
- Anersi Koka, 3765 Jennings; expressed support, likes design, safe area and EV charging stations.
- Kelly (no last name), 1804 Eldridge; expressed support, feels business would attract the younger generation, familiar with Barbat developments.
- Albana Koka, 3765 Jennings; expressed support, likes concept and design.

PUBLIC HEARING CLOSED

Resolution # PC-2025-02-015

Moved by: Krent

Support by: Lambert

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Barbat Troy Vehicle Fueling/Multi Use Station, Southeast corner of Crooks Road and South Boulevard (1981 South Boulevard), Section 4, Currently Zoned NN (Neighborhood Node) District, be **postponed**, so that the developer can review and revise their plan from the feedback received from the Planning Commission, and those items are:

1. Address gateway signage that applicant agrees to incorporate in the development.
2. Indicate the turning radiuses for various delivery trucks on the site.
3. Provide a good illustration of the finished gas pump canopy.
4. Provide revised elevations for the north (South Boulevard) and west (Crooks Road) frontages.
5. Provide some type of screening between Crooks Road and the dining patio that would be aesthetically pleasing.
6. Show the locations of the future EV charging stations.
7. Provide specifications of the EV charging stations; output levels, amperage.
8. Provide details on the decorative light fixtures.
9. Ensure canopy materials match the design of the main building.
10. Acknowledge the fueling center and restaurant will be constructed and opened at the same time.

Discussion on the motion on the floor.

There was discussion on:

- Potential reuse of the existing building.
- Gateway signage; seek direction from administration on uniformity of signage.
- Clarification on Section 9.03 Special Use Standards; impact on overall environment.
- Renderings to show perspective of different elements of development from street view.

Vote on the motion on the floor.

Yes: Faison, Fox, Krent, Lambert, Malalahalli, Perakis, Tagle
No: Hutson
Absent: Buechner

MOTION CARRIED

Chair Perakis called for a recess at 9:17 p.m. The meeting was reconvened at 9:24 p.m.



SCALE: 1" = 500'±



SCALE: 1" = 60'±

PARCEL ID: 88-20-04-100-059
1981 WEST SOUTH BOULEVARD
CITY OF TROY, OAKLAND COUNTY, MICHIGAN 48098

PARCEL ID: 88-20-04-100-059

1981 WEST SOUTH BOULEVARD

CITY OF TROY, OAKLAND COUNTY, MICHIGAN 48098



 NN - NEIGHBORHOOD NODE L

SCALE: 1" = 60'±

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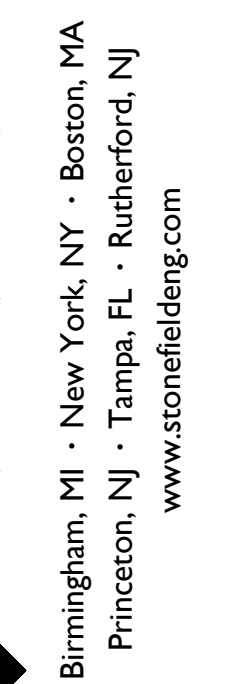
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009

Phone 248.247.1115



BARBAT ORGANIZATION
33477 WOODWARD AVENUE, SUITE 800
BIRMINGHAM, MI
248.914.0444
BARBATORGANIZATION.COM

NOT APPROVED FOR CONSTRUCTION



555 S. Old Woodward, Suite 12L, Birmingham, MI 48009
248.247.1115

PARCEL ID: 88-20-04-100-059
1981 WEST SOUTH BOULEVARD
CITY OF TROY
OAKLAND COUNTY, MICHIGAN 48098

ADDITIONAL SHEETS	
DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	I OF I

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:

- ALTA 1 NPSRS LAND TITLE SURVEY PREPARED BY KEM-TEC, DATED 12/20/2023
- ARCHITECTURAL PLANS PREPARED BY ADG DESIGN STUDIO, DATED 11/21/2024
- AERIAL MAP PROVIDED BY NEARMAP, DATE RETRIEVED 10/28/2024
- LOCATION MAP PROVIDED BY USGS TOPOGRAPHICAL MAPS, DATE RETRIEVED 10/28/2024

2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONNECTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



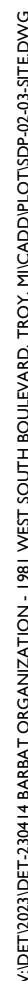
SCALE:	AS SHOWN	PROJECT ID: DET-230414
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TITLE:

COVER SHEET

DRAWING:

C-1




(EN) EXISTING NON-CONFORMITY
(W) WAIVER
(I) § 5.06.E.4.b.ii - FOR CORNER LOT, NO MORE THAN 50% OF SITE'S CUMULATIVE LINEAR FEET ALONG THE REQUIRED BUILDING LINES OR 100 FT, WHICHEVER IS LESS, SHALL BE OCCUPIED BY PARKING. BUILDING SHALL BE LOCATED IN THE CORNER ADJACENT TO THE INTERSECTION.

(D) DEVIATION
(1) § 13.06.1.6 - PARKING SPACE LENGTH MAY BE REDUCED BY 2 FT IF ABUTTING CURBED 7 FT SIDEWALK OR OPEN SPACE
(2) NET FLOOR AREA IS ASSUMED TO BE 80% OF GROSS FLOOR AREA: (6,392 SF)(0.8) = 5,114 SF

-

NOT APPROVED FOR CONSTRUCTION



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248.247.1115

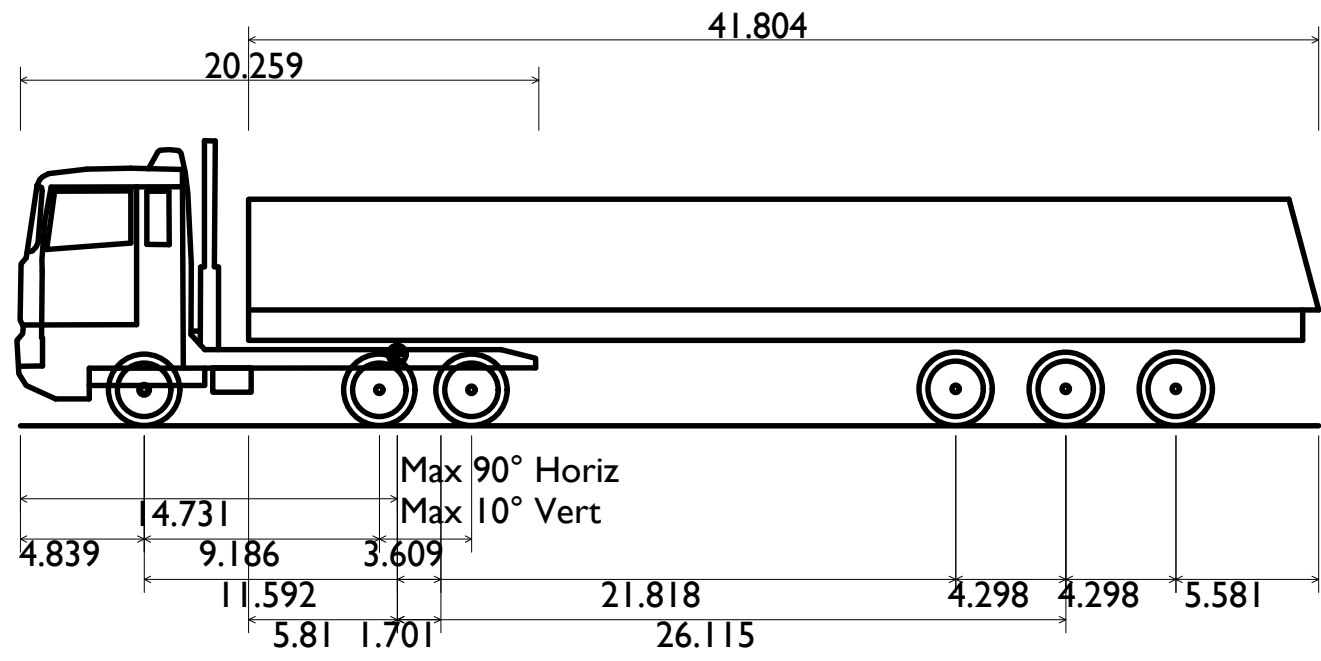
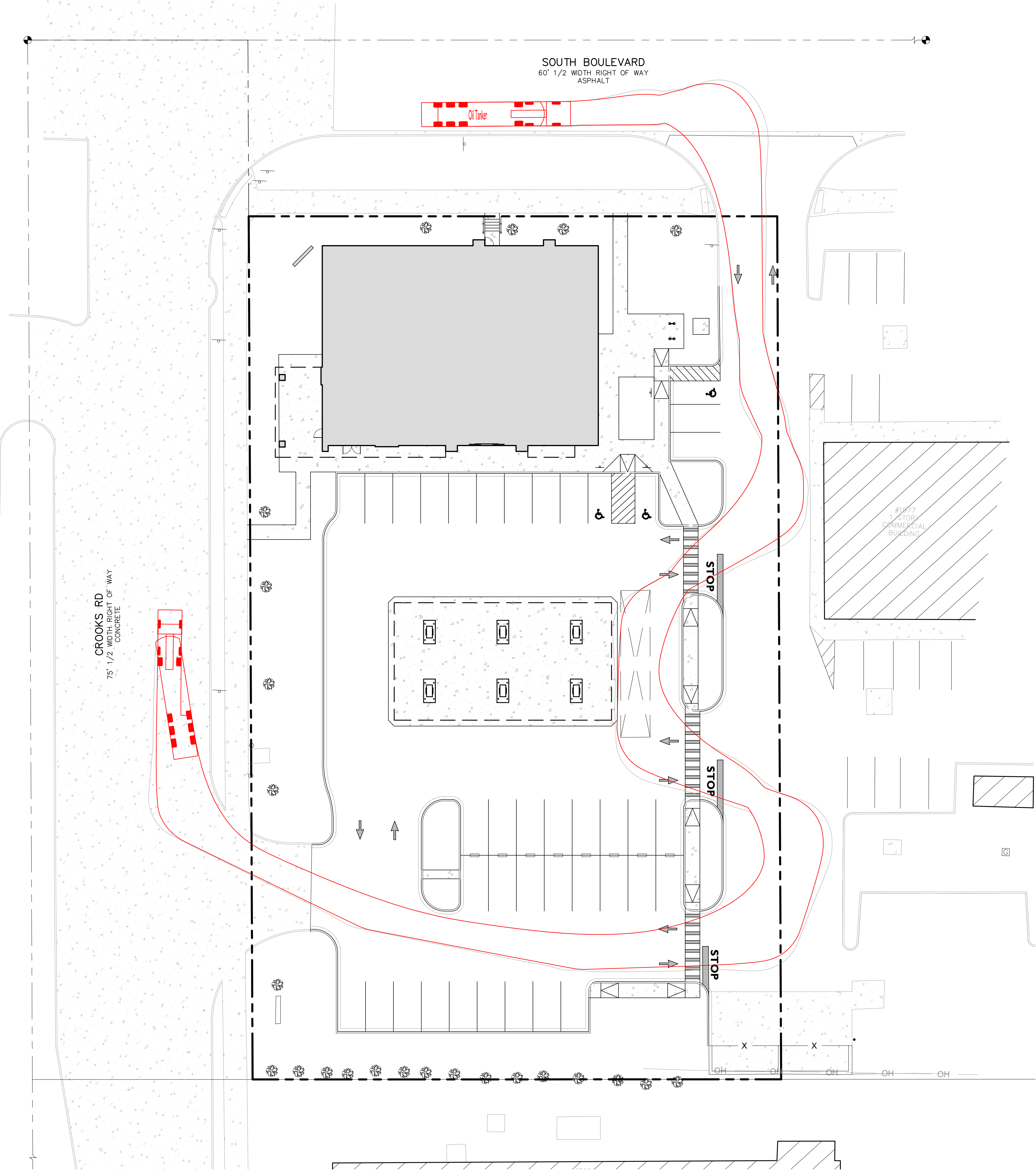
PARCEL ID: 88-20-04-100-059
1981 WEST SOUTH BOULEVARD
CITY OF TROY
OAKLAND COUNTY, MICHIGAN 48068



TITLE:

C-2

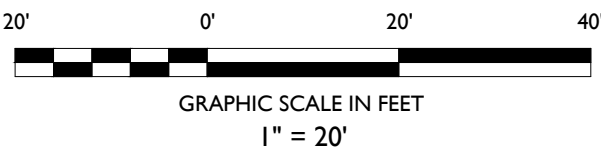
V:\012301\DET23014 BARBAT ORGANIZATION - 181 WEST SOUTH BOULEVARD - TROY, MI\CAD\PKT\0123014-03 STD.DWG



Oil Tanker
Overall Length 50.725ft
Overall Width 8.202ft
Overall Body Height 11.141ft
Min Body Ground Clearance 1.049ft
Max Track Width 8.202ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 21.325ft

TRUCK DETAIL

NOT TO SCALE



ISSUE	DATE	BY	DESCRIPTION
5	03/14/2025	JD	SPECIAL USE / PRELIMINARY SITE PLAN RESUBMISSION
4	01/14/2025	KG	SPECIAL USE / PRELIMINARY SITE PLAN RESUBMISSION
3	12/02/2024	KG/JD	FOR SPECIAL USE / PRELIMINARY SITE PLAN APPROVAL
2	11/13/2024	KG/JD	FOR SPECIAL USE / PRELIMINARY SITE PLAN APPROVAL
1	11/05/2024	KG/JD	FOR SPECIAL USE / PRELIMINARY SITE PLAN APPROVAL

NOT APPROVED FOR CONSTRUCTION

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248.247.1115

SITE DEVELOPMENT PLANS

BARBAT ORGANIZATION
PROPOSED VEHICLE FUELING /
MULTI-USE STATION

PARCEL ID: 88-20-04-100-059
1981 WEST SOUTH BOULEVARD
CITY OF TROY
OAKLAND COUNTY, MICHIGAN 48068



**STONEFIELD**
engineering & design

SCALE: 1" = 20' PROJECT ID: DET-230414

TITLE:

TRUCK TURNING PLAN

DRAWING:

C-3

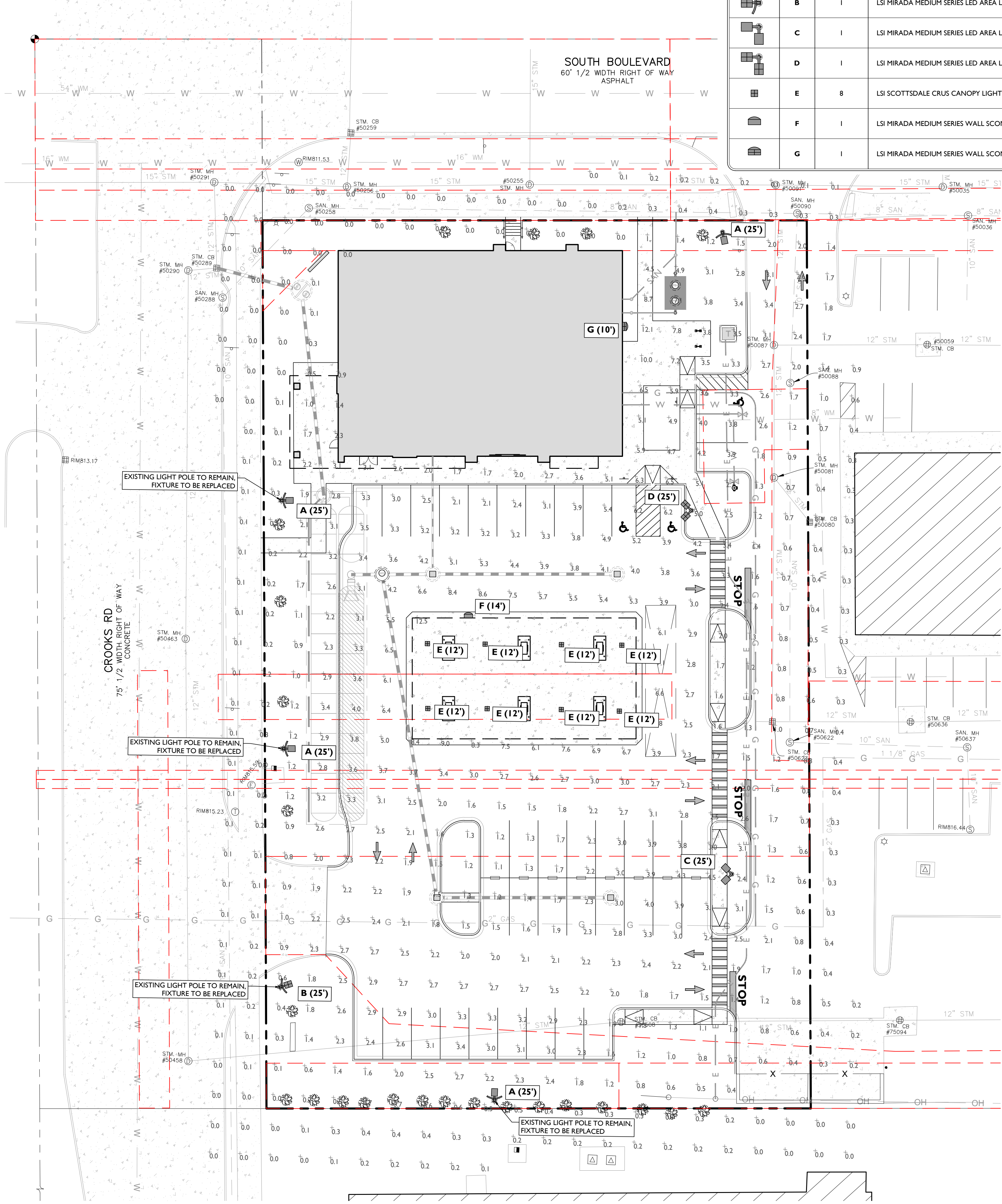
SITE BENCHMARK #3
CHISELED "X" ON EAST FACE OF LIGHT POLE 70'±
WEST OF NORTHWEST CORNER OF BLDG #1981.
ELEVATION = 818.54' (NAVD 88)








C-4

555 S. Old Woodward, Suite 12L, Birmingham, MI 48009
248.247.1115

CITY OF TROY
OAKLAND COUNTY, MICHIGAN 48098

V:\012023\DET230414 BARBAT ORGANIZATION - 1981 WEST SOUTH BOULEVARD - TROY, MI\CDR\PROJECTS\BARBAT\LIGHTING



PROPOSED LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	CONTROL	IES FILE
	A	4	LSI MIRADA MEDIUM SERIES LED AREA LIGHT - 18L - 50K - BACKSHIELD	IV	0.9	LSI LIGHTING	N/A	MRM-LED-18L-SIL-4-50-70CRI-H.ies
	B	1	LSI MIRADA MEDIUM SERIES LED AREA LIGHT - 12L - 50K - BACKSHIELD	IV	0.9	LSI LIGHTING	N/A	MRM-LED-12L-SIL-4-50-70CRI-H.ies
	C	1	LSI MIRADA MEDIUM SERIES LED AREA LIGHT - 12L - 50K	IV	0.9	LSI LIGHTING	N/A	MRM-LED-12L-SIL-4-50-70CRI.ies
	D	1	LSI MIRADA MEDIUM SERIES LED AREA LIGHT - 18L - 50K	IV	0.9	LSI LIGHTING	N/A	MRM-LED-18L-SIL-4-50-70CRI.ies
	E	8	LSI SCOTTSDALE CRUS CANOPY LIGHT - VLW - 30K	N/A	0.9	LSI LIGHTING	N/A	CRUS-SC-VLW-30.ies
	F	1	LSI MIRADA MEDIUM SERIES WALL SCONCE - 08L - 50K	III	0.9	LSI LIGHTING	N/A	XWM-3-LED-08L-50.ies
	G	1	LSI MIRADA MEDIUM SERIES WALL SCONCE - 08L - 50K	IV	0.9	LSI LIGHTING	N/A	XWM-4-LED-08L-50.ies

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 13.05.C.2	MAX LIGHT LEVEL AT POLE BASE: 20 FC DURING BUSINESS HOURS 10 FC AFTER BUSINESS HOURS	20.0 FC
§ 13.05.C.2	MAX LIGHT LEVEL AT 5 FT ABOVE PROPERTY LINE: 1 FC AT NONRESIDENTIAL BOUNDARY	2.8 FC (W)
§ 13.05.C.2	MAX LIGHT POLE HEIGHT: 25 FT	25 FT

(W) WAIVER - PROPERTY LINE DIVIDES SHARED DRIVE OFF SOUTH BOULEVARD, LIGHTING PROVIDED FOR FULL DRIVEWAY AREA



LIGHT FIXTURE 'A', 'B', 'C', & 'D'



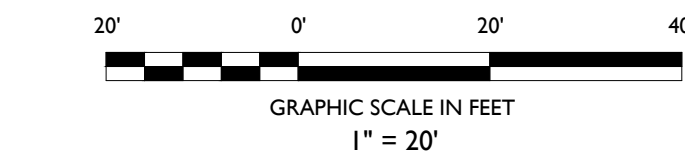
LIGHT FIXTURE 'E'



LIGHT FIXTURE 'F' & 'G'

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+XX	PROPOSED LIGHTING INTENSITY (FOOT CANDLES)
	PROPOSED AREA LIGHT
	PROPOSED CANOPY LIGHT
	PROPOSED WALL MOUNTED LIGHT

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248.247.1115

SITE DEVELOPMENT PLANS

BARBAT ORGANIZATION
PROPOSED VEHICLE FUELING /
MULTI-USE STATION

PARCEL ID: 88-20-04-100-059
1981 WEST SOUTH BOULEVARD
CITY OF TROY
OAKLAND COUNTY, MICHIGAN 48068

STATE OF MICHIGAN
JAMES W. COFFEY
REGISTERED PROFESSIONAL ENGINEER
NO. 67523
LICENSED IN THE STATE OF MICHIGAN

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: DET-230414

TITLE: LIGHTING PLAN

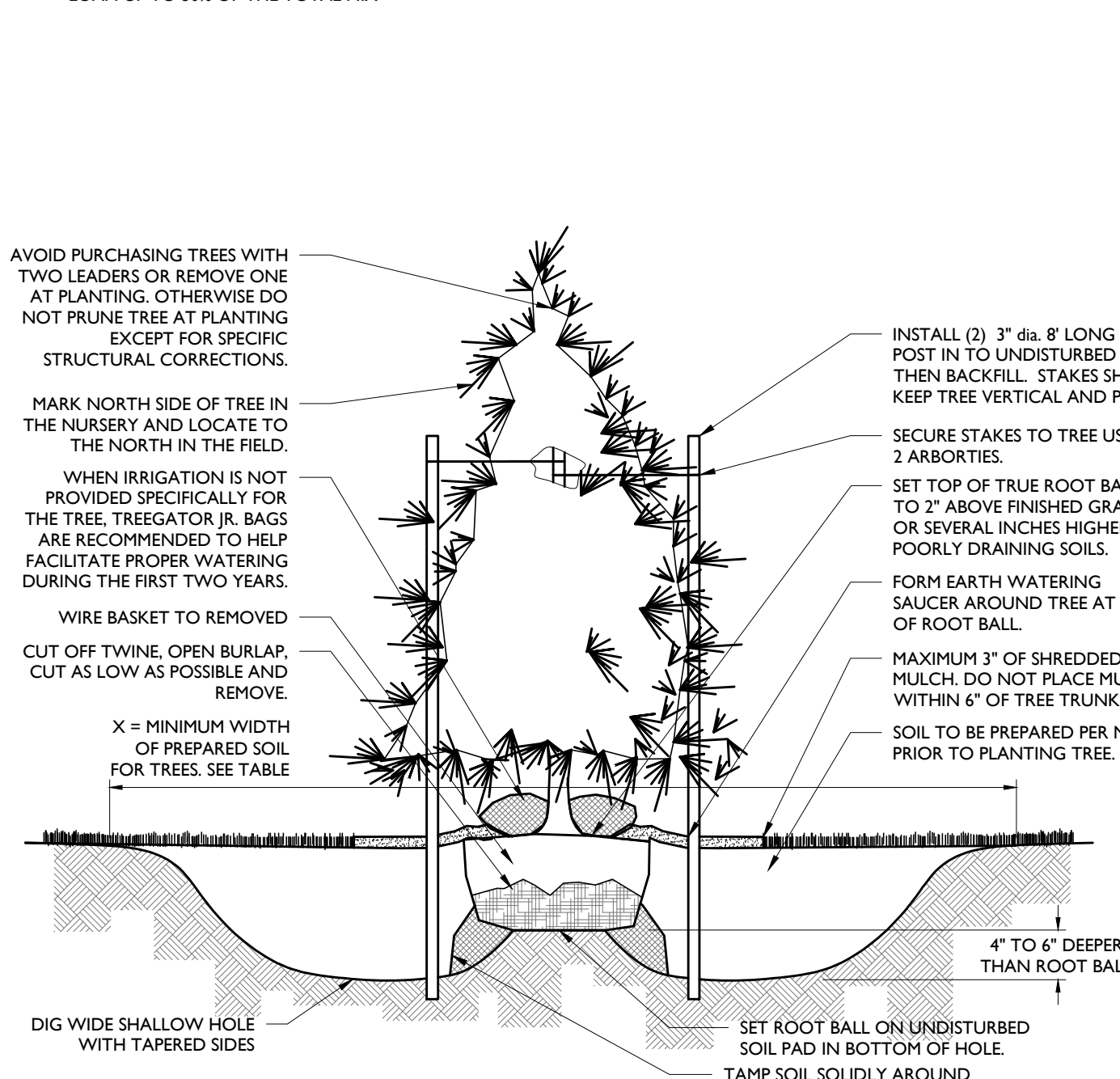
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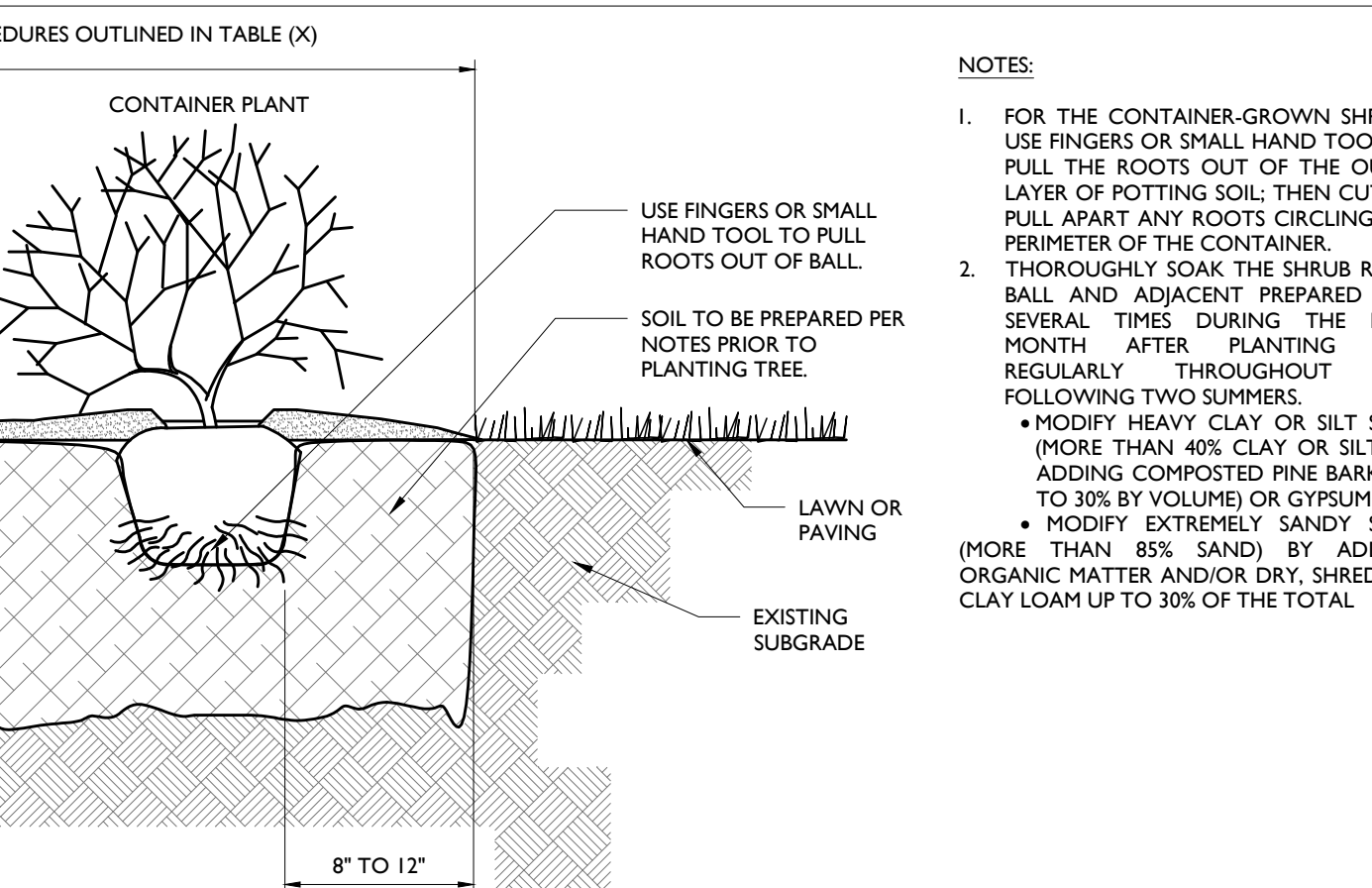
NOTES

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL. THEN CUT OR PULL APART ANY ROOTS CIRCILING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
 - **MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM**
 - **MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX**



CONIFEROUS TREE PLANTING DETAIL

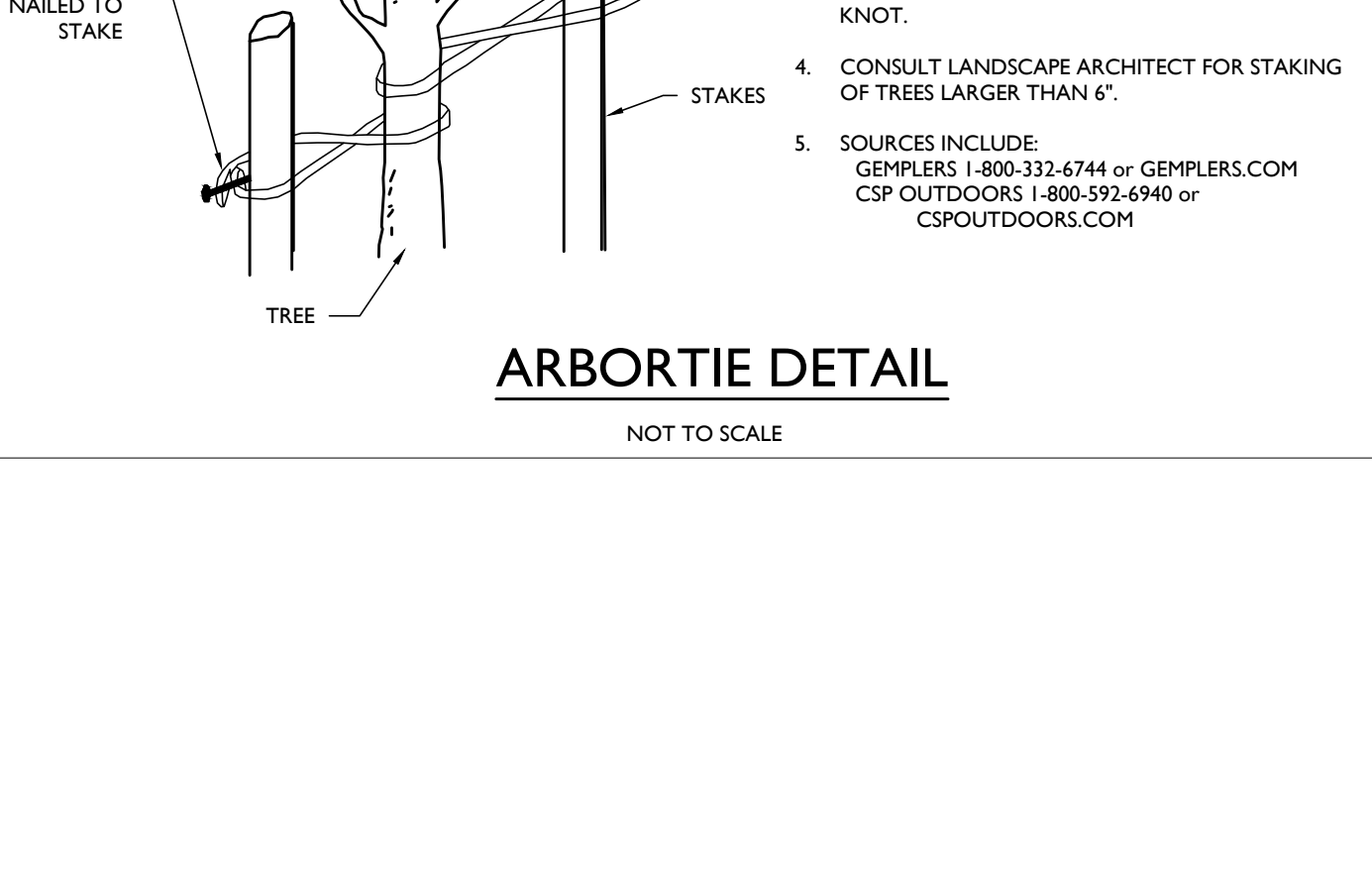
NOT TO SCALE



ANTING DETAIL

(c)

- GUIDELINES:
 AROUND TREE AND NAIL TO CEDAR
 ALL STAKING AND TIES AT END OF FIRST
 SEASON.



PLANT QUALITY AND HANDLING NOTES

2. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
3. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER ANY COMMON NAMES.
4. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY OF GROWTH. PLANTS SHALL BE FREE OF DISEASE, INSEST PESTS, EGGS OR LARVAE.
5. PLANTS SHALL BE FREE OF DISEASE, INSEST PESTS, EGGS OR LARVAE.
6. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRAGMENTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT BEEN COMPLETELY CALLOUSED SHALL BE REJECTED.
7. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
8. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
9. ALL PLANTS DESIGNATED BALL AND BURLAP (888) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO SUPPORT THE PLANTS. FIBERED BURLAP SHALL BE USED TO PROTECT THE BALLS OF EARTH FROM CRACKING AND BREAKING. BURLAP SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN.
10. PREPARATORY TO OR DURING THE PROCESS OF PLANTING, THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS SHALL BE MOVED WITH THE ROOT SYSTEM AND BALL OF EARTH INTACT AND COVERED WITH A COAT OF MULCH OR COVER WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
11. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARP OR OTHER SUITABLE COVERING. PLANTS TO BE MOVED BY TRUCK SHALL BE LOADED AND UNLOADED IN CLOSED VEHICLES SHALL BE PROPERLY AND ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING UNLOADING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF ANY PLANT MATERIAL.
12. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED, SUCH AS BY COVERING, SUCH AS BY COVERING THE PLANTS FOR PERIOD DURING WHICH THEY ARE NOT TO BE PLANTED. PLANTS MAY BE STORED IN TEMPORARY STORAGE.
13. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING

10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE

- DETAILS:**
10. THE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTING SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOWED FOR AIR CIRCULATION AND TO PREVENT DISEASE. WEEDING SHALL BE DONE, AND PLANTS THAT REMAIN UPRIGHT FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEAVILY WATERED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
 11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
 12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISPOSE OF PRUNINGS IN AN APPROPRIATE MANNER.
 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') FROM THE GROUND, AND THE REMAINING CANOPY SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OF AGENCY.
 15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - DECEMBER 15)
 - LAWN (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
 16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSECT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON.

ABIES CONCOLOR CORNUS VARIETIES OSTRYA VIRGINIANA

- ACER FREEMANII
ACER RUBRUM
ACER SACCHARINUM
BETULA VALENTINAE
CARPINUS VARIETES
CERODIA DEODARA
CELTIS VARIETES
CERCIDIPHYLLUM VARIETES
CERCIS CANADENSIS
CORNUS VARIETES
CRATAEGUS VARIETES
- CUPRESSOCOXYSPARIS LEYLANDII
FAGUS VARIETES
HALESIA VARIETES
LILX FOOTERII
LILX NELLIE STEVENS
LILX OPACA
JUNIPERUS VIRGINIANA
KOELEUTRONA PANICULATA
LIGULASTRA REICHARDTII
ROELANDTURA VARIETES
MYLUS IN LEAF
NASSA SYLVATICA
- PLATANUS VARIETES
POPULUS VARIETES
QUERCUS VARIETES
PRUNUS VARIETES (NOT Q. PALUSTRIS)
SALIX SLEEPING VARIETES
SORBUS VARIETES
TAXODIUM VARIETES
TAXUS RESINOSA
TILIA TOMENTOSA VARIETES
ULMUS PARVIFOLIA VARIETES
ZELKOVA VARIETES
17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DISEASE HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY REMOVED AND PROMPTLY REMOVED. THE END OF WATER RINGS OR HOLES, STAKES AND GUVS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL, AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MUCH THAT HAS BEEN DISPLACED BY EROSION OR COLLAPSE, WEEDING, REMOVING AND REPAIRING OF WATER RINGS OR HOLES, STAKES AND GUVS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
22. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN GRASS IS HEAVY, IT SHALL BE REMOVED IN SEVERAL PASSES TO PREVENT DAMAGE TO THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
23. GRASSSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THEM TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
25. THE LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM THE TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

I. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR.) FROM APPROVAL.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE.
3. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
4. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST.
5. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART.
6. VALUABLE PHYSICAL DAMAGE BY INSTRUCTS, VEHICLES, ETC. AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER.
7. THE LANDSCAPE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

I. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND

1. SEED MIXTURE SHALL BE FRESH-LEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION".
3. REFERENCE LANDSCAPE PLANS FOR AREAS TO BE SEEDED OR LAID WITH SOD SHALL BE PROVIDED.
4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION."
5. PROTECT NEW LAWN AREAS AGAINST TRAPSPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE AND REPAIR ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

TABLE NOTES:

1. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

2. WHEN IRRIGATING FOR VITALITY, DELETE DAY 1 IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.

3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PAUL DEVITTO, L.L.A.
MICHIGAN LICENSE No. 390100179
LICENSED LANDSCAPE ARCHITECT

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TITLE: _____

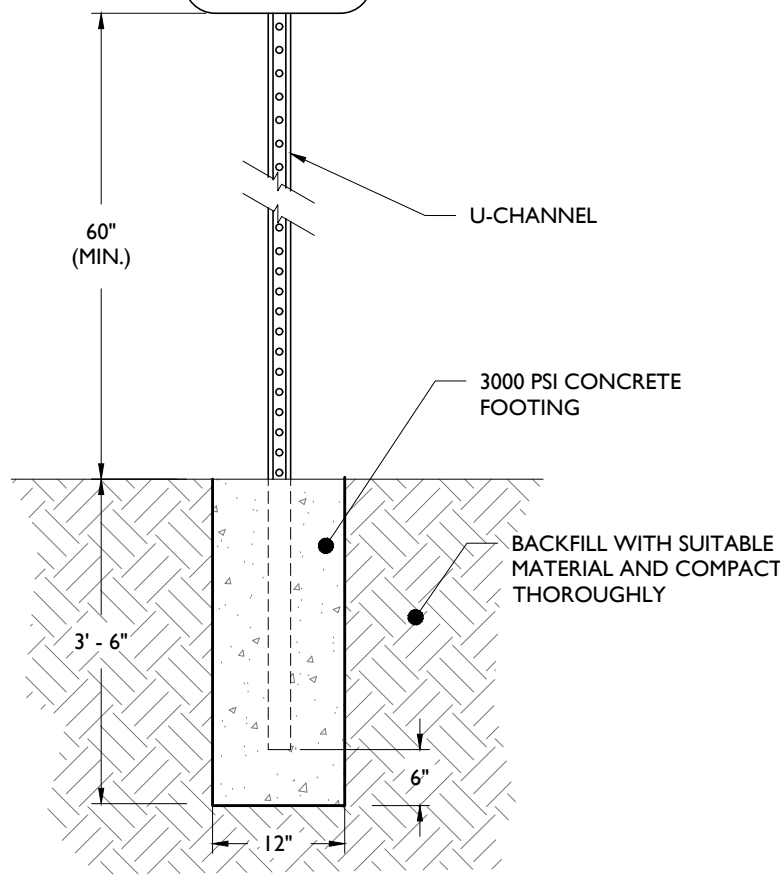
LANDSCAPING DETAILS

DRAWING:

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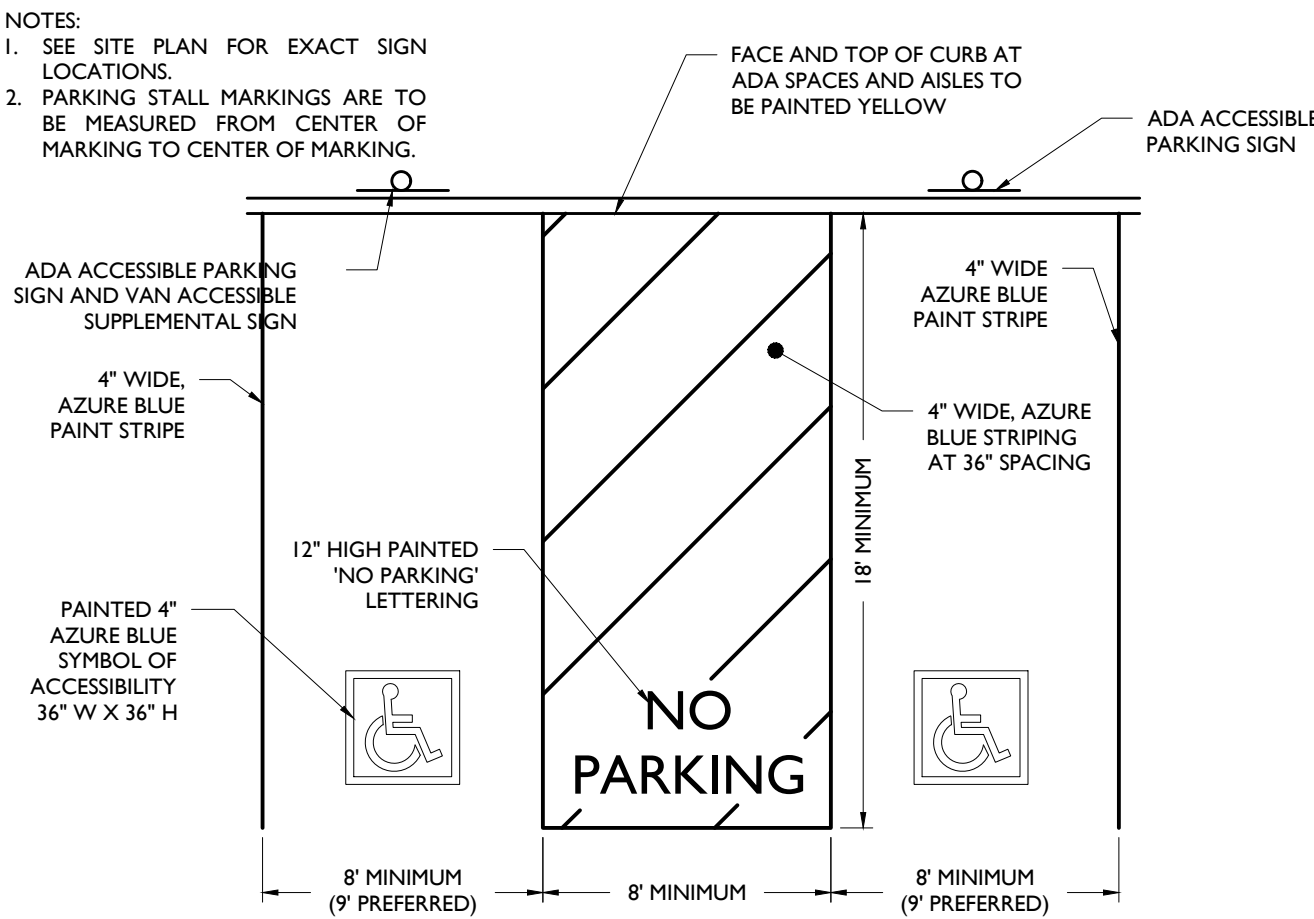
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ACCESSIBLE PARKING SIGN DETAIL



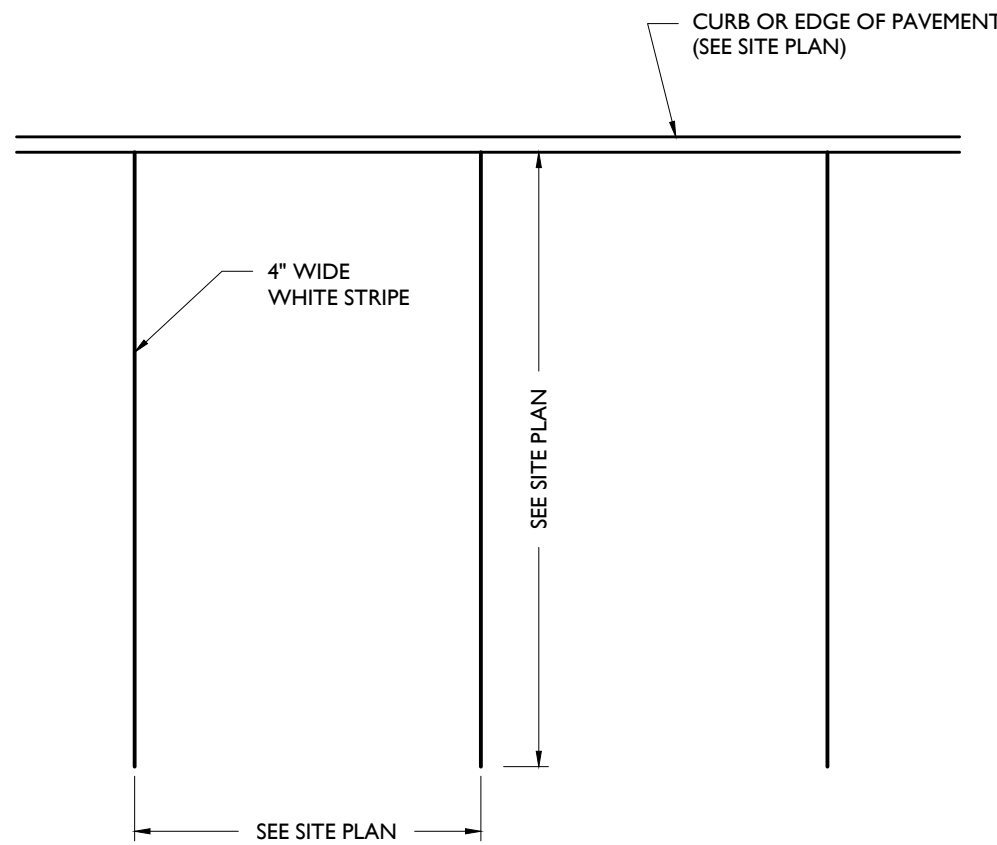
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ACCESSIBLE PARKING STALL MARKINGS



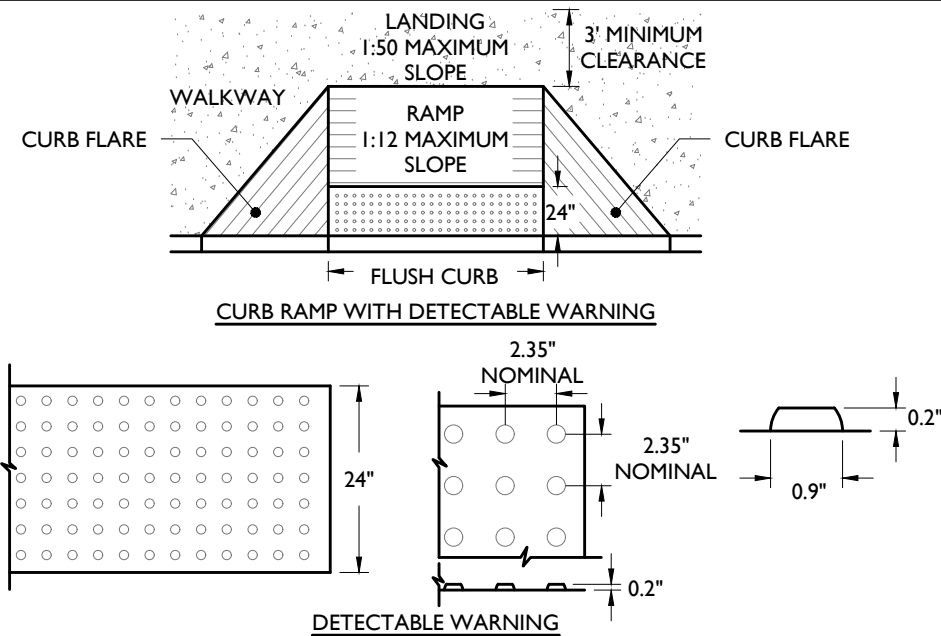
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PARKING STALL MARKINGS



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CURB RAMP WITH FLARES DETAIL

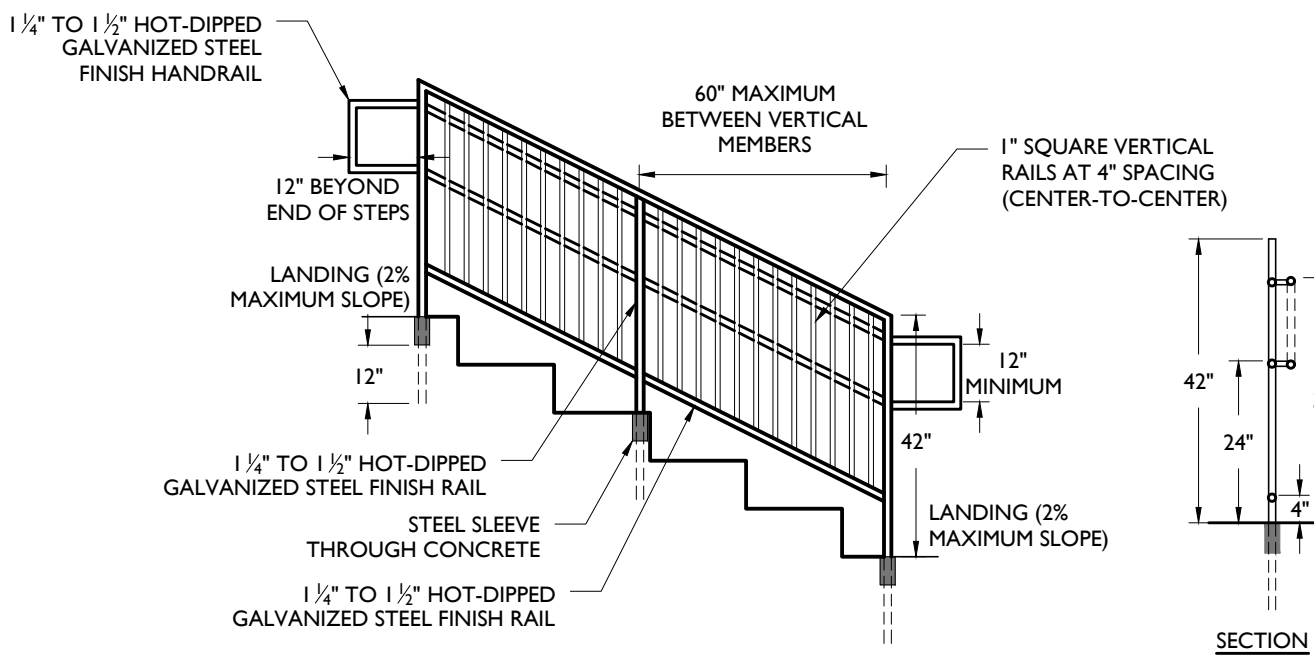


NOT TO SCALE

- NOTES:
- CROSS SLOPE ON RAMP SHALL NOT EXCEED 1:50 SLOPE.
 - DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
 - VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
 - DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.
 - WHERE A 60" X 60" LANDING EXISTS AT THE TOP OF RAMP, RAMP FLARE SHALL NOT EXCEED 1:10 SLOPE. WHERE LANDING IS NOT PROVIDED RAMP FLARE SHALL NOT EXCEED 1:12 SLOPE.
 - A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 - RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

NOT TO SCALE

HANDRAIL DETAIL ON STEPS WITH FALL PROTECTION



NOT TO SCALE

- NOTES:
- SEE PLAN FOR STEP DIMENSIONS
 - GRIND ALL WELDS SMOOTH
 - HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE
 - STEPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 48" MINIMUM CLEARANCE BETWEEN RAILS.
 - VERTICAL RAIL REQUIRED AT TOP AND BOTTOM OF STEPS.

NOT TO SCALE

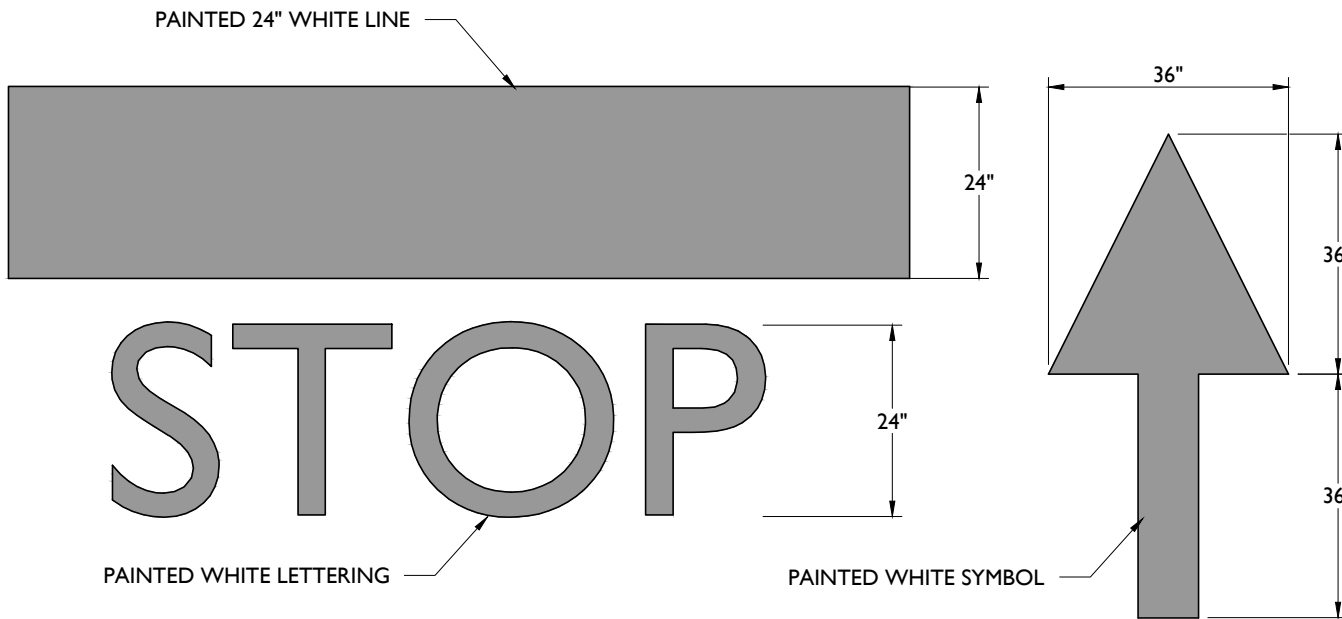
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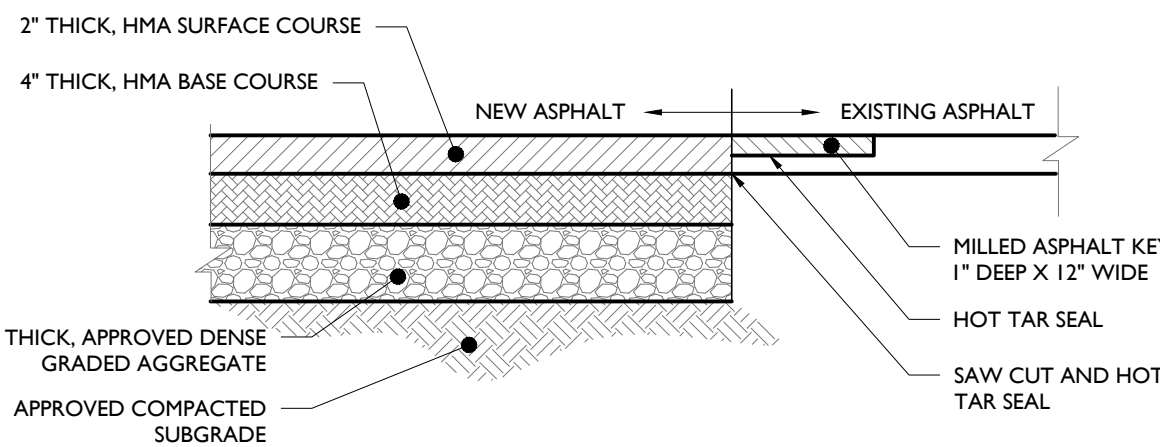
11

STOP BAR & ARROW DETAILS



NOT TO SCALE

FULL DEPTH ASPHALT PAVEMENT DETAIL



NOT TO SCALE

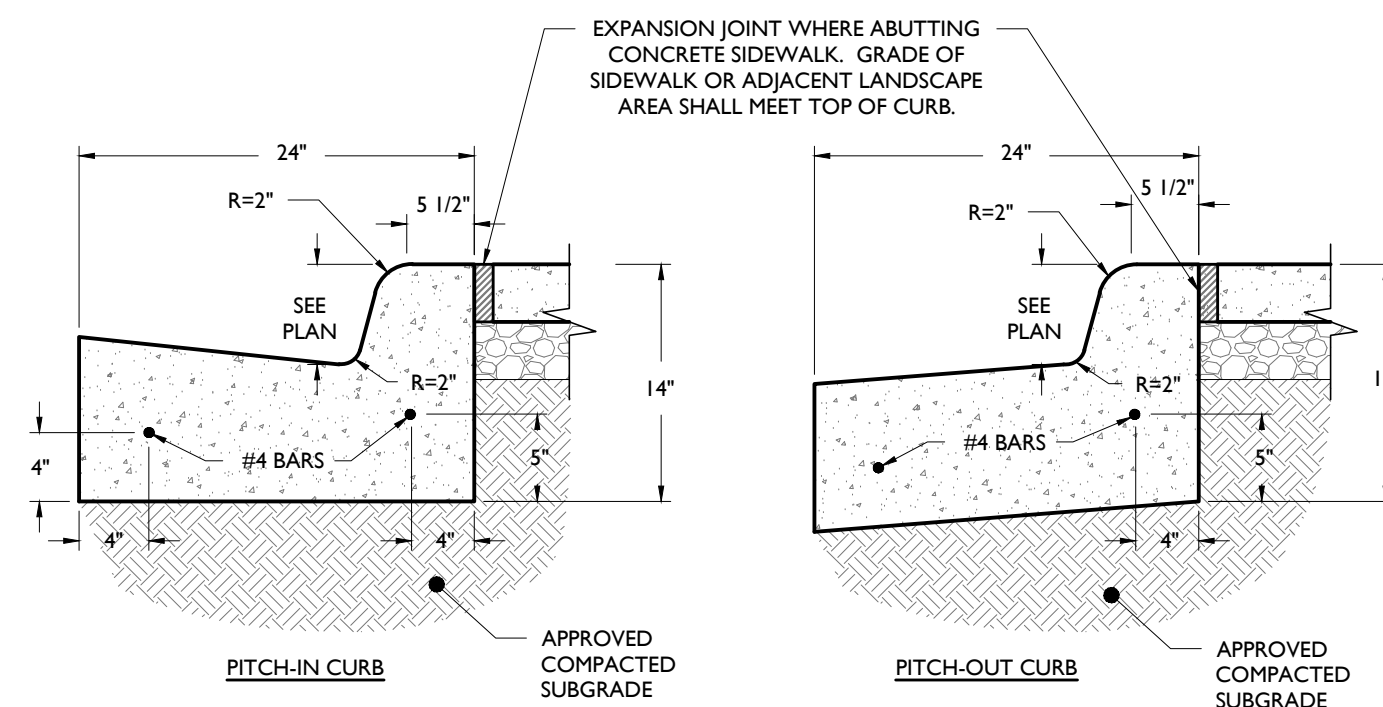
- NOTE:
- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

NOT TO SCALE

3

6

CONCRETE CURB AND GUTTER DETAIL

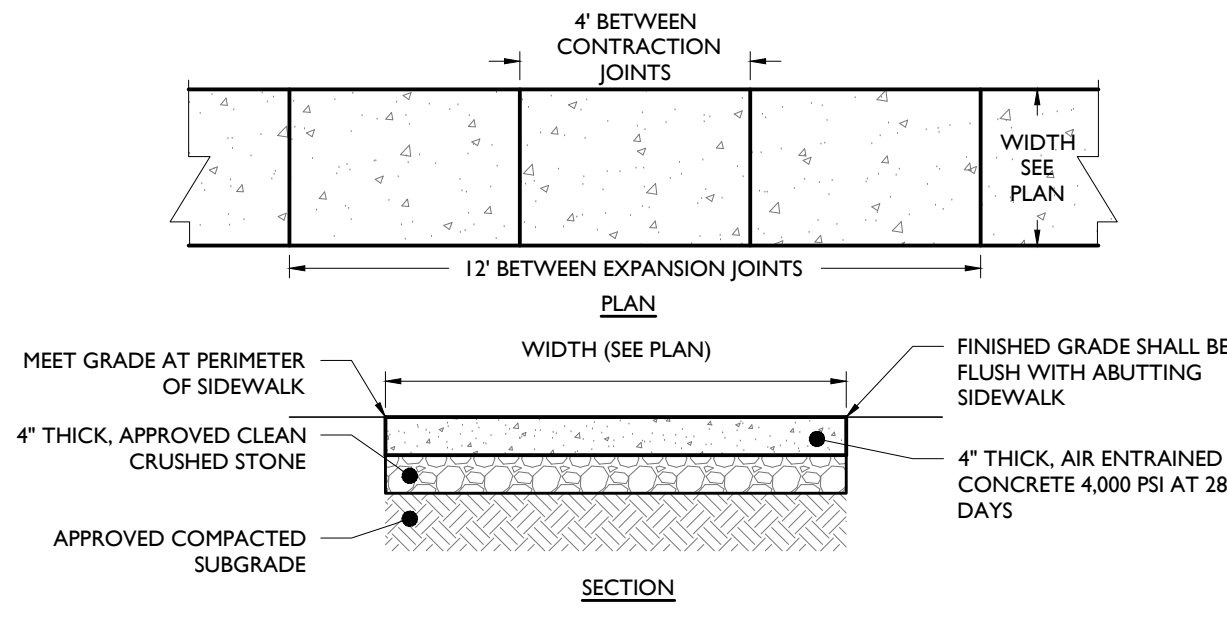


NOT TO SCALE

- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

4

CONCRETE WALKWAY DETAIL

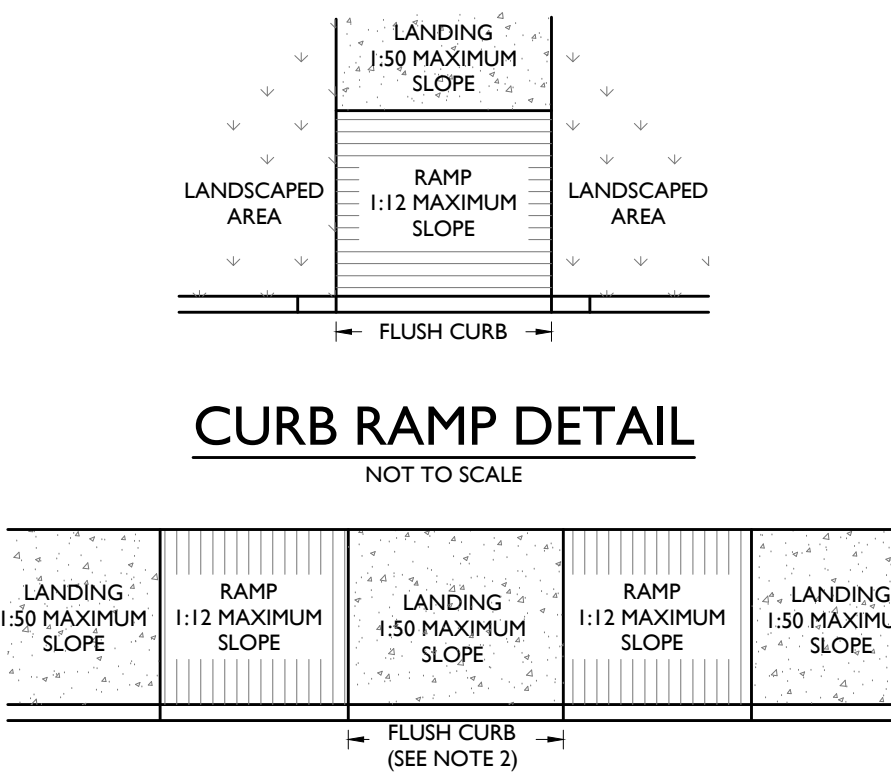


NOT TO SCALE

- NOTES:
- MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
 - 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 - 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 - EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

7

CURB RAMP DETAIL



NOT TO SCALE

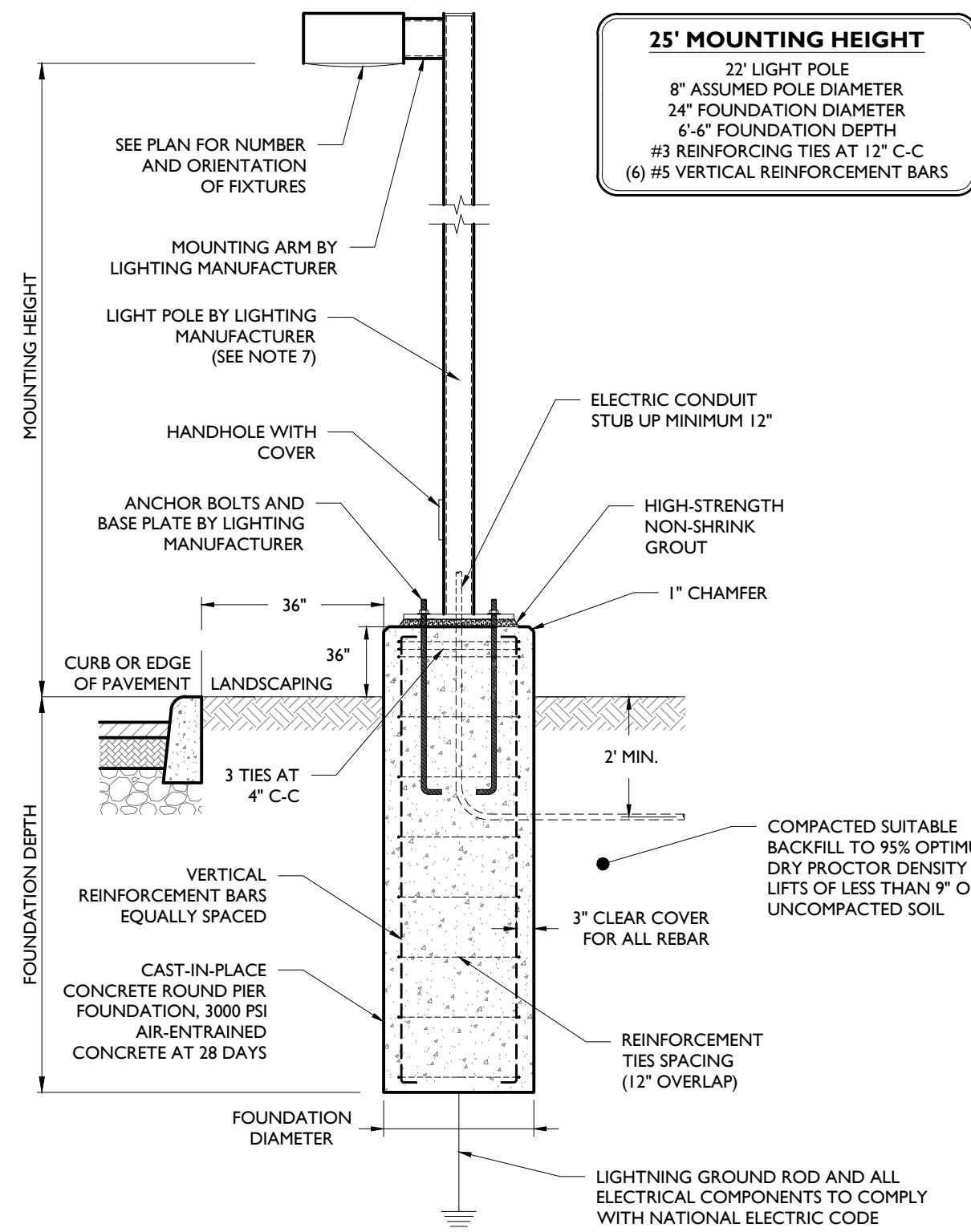
TRANSITION RAMP DETAIL

- NOTES:
- CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
 - A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 - RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

NOT TO SCALE

10

LIGHT POLE INSTALLATION DETAIL



NOT TO SCALE

- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSICASE 7-93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

14

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1981 WEST SOUTH BOULEVARD
CITY OF TROY
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**CONSTRUCTION
DETAILS**

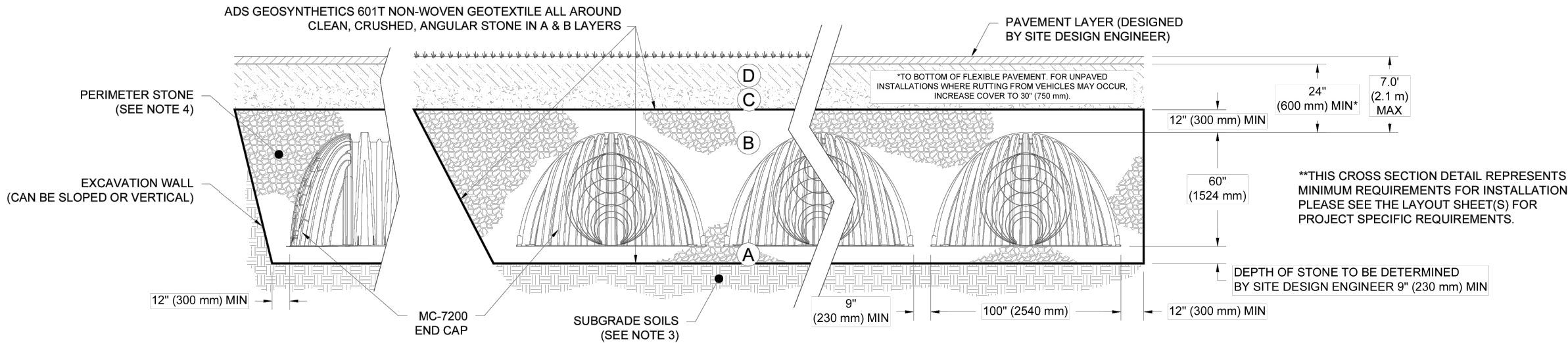
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ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT / SUBGRADE REQUIREMENTS	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M340 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 8, 68, 7, 78, 8, 89, 8, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACTION LAYERS 12" (300 mm) MAX LIFTS TO A MIN. 85% PROCTOR DENSITY FOR WELL GRADED MATERIALS AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ³	AASHTO M340 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE STONE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ³	AASHTO M340 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. FORTNIGHT COMPACTION REQUIREMENTS ARE MET FOR ALL LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 7" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WATER INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION. FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER "C" IS PLACED, ANY SOLI/MATERIAL CAN BE PLACED IN LAYER "D" UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYERS "C" OR "D" AT THE SITE DESIGN ENGINEERS DISCRETION.
5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS "A" OR "B" THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



NOTES:

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAPTER CLASSIFICATION 60x101.
2. M-200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SUBMITTER/ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERMITTER STATE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - a. TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - b. TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 5".
 - c. TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LB/IN²/FT.
 - d. TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORED POLYPROPYLENE.

1

SHEET

OF

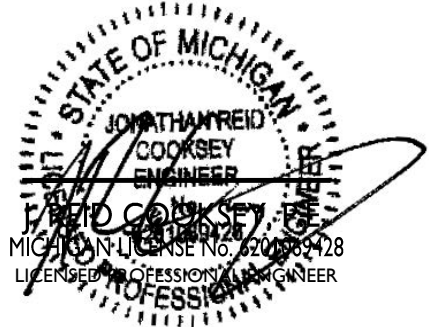
1

ADS STORMTECH MC-7200 CHAMBER SYSTEM DETAIL

SITE DEVELOPMENT PLANS

BARBAT ORGANIZATION
PROPOSED VEHICLE FUELING /
MULTI-USE STATION

PARCEL ID: 88-20-04-100-059
1981 WEST SOUTH BOULEVARD
CITY OF TROY
OAKLAND COUNTY, MICHIGAN 48098

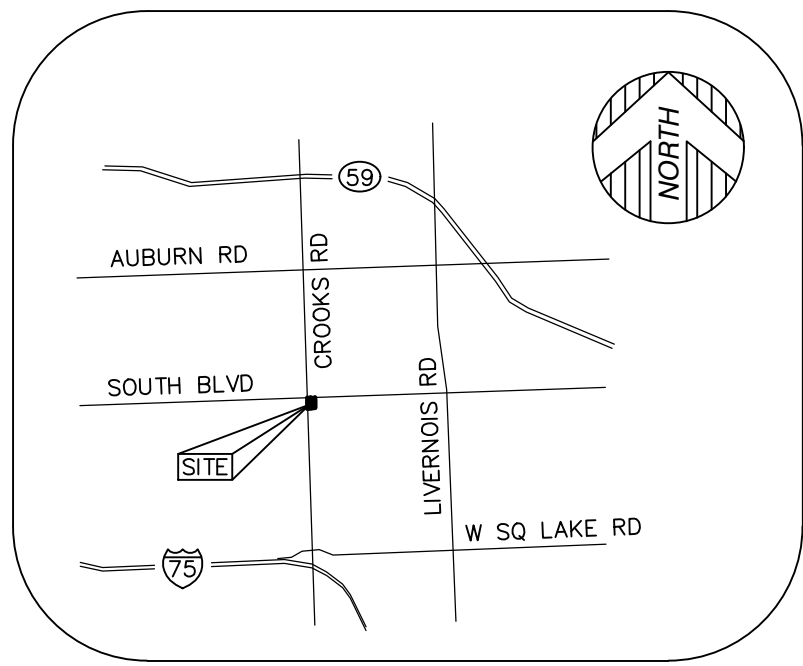


SCALE: AS SHOWN | PROJECT ID: DET-230414

TITLE: **CONSTRUCTION
DETAILS**

DRAWING:

C-10



VICINITY MAP
(NOT TO SCALE)

PARKING

HANDICAP PARKING = 4 STALLS
STANDARD PARKING = 52 STALLS

PARCEL AREA

52,872± SQUARE FEET = 1.21± ACRES

BASIS OF BEARING

NORTH 89°44'56" EAST, BEING THE NORTH
LINE OF SECTION 4, AS DESCRIBED.

BENCHMARK

SITE BENCHMARK #2 (CITY BM #1736)
LETTER "M" ON EAST FACE OF HYDRANT AT
NORTHEAST CORNER OF BLDG #1981.
ELEVATION = 818.33' (NAVD 88)

SITE BENCHMARK #3
CHISELED "X" ON EAST FACE OF LIGHT POLE 70'±
WEST OF NORTHWEST CORNER OF BLDG #1981
ELEVATION = 818.54' (NAVD 88)

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES
NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE
ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND
UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE
DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE
FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY
LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE
INVENTORY SHOWN HEREON.

LEGEND

(R&M)	FOUND SECTION CORNER (AS NOTED)
(R)	RECORD AND MEASURED DIMENSION
(M)	RECORD DIMENSION
X.00	MEASURED DIMENSION
0.00	GROUND ELEVATION
⊕	ELECTRIC MANHOLE
⊕	ELECTRIC METER
⊕	TRANSFORMER
⊕	GENERATOR
⊕	UTILITY POLE
⊕	GAS METER
⊕	TELEPHONE MANHOLE
⊕	TELEPHONE RISER
⊕	CABLE TV BOX
⊕	SANITARY MANHOLE
⊕	ROUND CATCH BASIN
⊕	SQUARE CATCH BASIN
⊕	STORM DRAIN MANHOLE
⊕	FIRE HYDRANT
⊕	WATER GATE MANHOLE
⊕	WATER METER
⊕	WATER VALVE
⊕	BOLLARD
⊕	LIGHTPOST/LAMP POST
⊕	SINGLE POST SIGN
⊕	HANDICAP PARKING
⊕	DECIDUOUS TREE (AS NOTED)
⊕	CONIFEROUS TREE (AS NOTED)
⊕	PARCEL BOUNDARY LINE
⊕	ADJOINER PARCEL LINE
⊕	SECTION LINE
⊕	EASEMENT LINE
⊕	BUILDING
⊕	BUILDING OVERHANG
⊕	CONCRETE CURB
⊕	RAISED CONCRETE
⊕	PARKING
⊕	EDGE OF CONCRETE (CONC.)
⊕	EDGE OF ASPHALT (ASPH.)
⊕	FENCE (AS NOTED)
⊕	WALL (AS NOTED)
⊕	TREE / BRUSH LINE (AS NOTED)
⊕	OVERHEAD UTILITY LINE
⊕	GAS LINE
⊕	SANITARY LINE
⊕	STORM LINE
⊕	WATER LINE
⊕	MINOR CONTOUR LINE
⊕	MAJOR CONTOUR LINE
⊕	BUILDING AREA
⊕	ASPHALT
⊕	CONCRETE

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, STATE OF
MICHIGAN, DESCRIBED AS FOLLOWS:

PART OF THE NORTHWEST ONE QUARTER OF SECTION 4, TOWN 2 NORTH,
RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:
COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 4; THENCE
SOUTH 89 DEGREES 44 MINUTES 56 SECONDS EAST, ALONG THE NORTH LINE
OF SAID SECTION 4, A DISTANCE OF 75.00 FEET AND DUE SOUTH, 60.00
FEET TO THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE (60') OF
SOUTH BOULEVARD AND THE EASTERLY RIGHT-OF-WAY LINE (75') OF CROOKS
ROAD AND TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 44
MINUTES 56 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF
SOUTH BOULEVARD, 179.97 FEET; THENCE DUE SOUTH, 293.76 FEET; THENCE
NORTH 89 DEGREES 45 MINUTES 53 SECONDS WEST, 179.97 FEET TO THE
EASTERLY RIGHT-OF-WAY LINE OF CROOKS ROAD, THENCE DUE NORTH,
ALONG SAID RIGHT-OF-WAY LINE, 293.81 FEET TO THE POINT OF BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE TITLE CONNECT LLC
COMMITMENT NO. TC13-112163, DATED 02/16/2024, AND RELISTED BELOW
WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS
PERFORMED BY THE CERTIFYING SURVEYOR.

18. EASEMENT IN FAVOR OF THE COUNTY OF OAKLAND, AND THE COVENANTS,
CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT(S) RECORDED IN
LIBER 6243, PAGE 234 (AS SHOWN), LIBER 6254, PAGE 50 (AS SHOWN) AND
LIBER 6260, PAGE 334 (DOCUMENT ILLEGIBLE).

19. TERMS AND CONDITIONS CONTAINED IN SEWER AGREEMENT BY INSTRUMENT
RECORDED IN LIBER 8544, PAGE 540 (AGREEMENT TO CONNECT TO ROCHESTER
HILLS SANITARY SEWER LOCATION NOT DESCRIBED, SEE DOCUMENT FOR TERMS
AND CONDITIONS).

20. TERMS AND CONDITIONS CONTAINED IN CROSS-ACCESS OR JOINT-DRIVE
EASEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 10356, PAGE
336 (AS SHOWN), LIBER 32389, PAGE 573 (BLANKET EASEMENT, SEE
DOCUMENT FOR TERMS AND CONDITIONS), AND LIBER 32968, PAGE 133
(BLANKET EASEMENT, SEE DOCUMENT FOR TERMS AND CONDITIONS).

21. EASEMENT IN FAVOR OF MICHIGAN BELL TELEPHONE COMPANY, AND THE
TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER
10054, PAGE 94 (AS SHOWN).

22. JOINT UNDERGROUND RIGHT OF WAY AGREEMENT IN FAVOR OF THE
DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY AND THE
COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT(S)
RECORDED IN LIBER 10420, PAGE 176 AND LIBER 10420, PAGE 179 (AS
SHOWN).

23. TERMS AND CONDITIONS CONTAINED IN SANITARY SEWER SERVICE
AGREEMENT, AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 10782, PAGE
895 AND LIBER 10862, PAGE 508 (AGREEMENT TO CONNECT TO ROCHESTER
HILLS SANITARY SEWER LOCATION NOT DESCRIBED, SEE DOCUMENT FOR TERMS
AND CONDITIONS).

24. COVENANTS, CONDITIONS AND RESTRICTIONS AND OTHER PROVISIONS AS
ADVISED IN INSTRUMENT RECORDED IN LIBER 17027, PAGE 131. PLEASE BE
NOTED THAT ANY PROVISION CONTAINED IN THIS DOCUMENT, OR IN A
DOCUMENT THAT IS ATTACHED, LINKED, OR REFERENCED IN THIS DOCUMENT,
THAT UNDER APPLICABLE LAW ILLEGALLY DISCRIMINATES AGAINST A CLASS OF
INDIVIDUALS BASED UPON PERSONAL CHARACTERISTICS SUCH AS RACE, COLOR,
RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, FAMILIAL STATUS,
DISABILITY, NATIONAL ORIGIN, OR ANY OTHER LEGALLY PROTECTED CLASS, IS
ILLEGAL AND UNENFORCEABLE (AFFECTS A PORTION OF THE SUBJECT
PROPERTY) (SEE DOCUMENT FOR TERMS AND CONDITIONS).

25. TERMS AND CONDITIONS CONTAINED IN AGREEMENT FOR ACCESS OF
PREMISES AFTER TRANSFER OF TITLE RECORDED IN LIBER 17028, PAGE 641
(AFFECTS A PORTION OF THE SUBJECT PROPERTY) (SEE DOCUMENT FOR TERMS
AND CONDITIONS).

26. DETROIT EDISON OVERHEAD EASEMENT (RIGHT OF WAY) IN FAVOR OF THE
DETROIT EDISON COMPANY AND AMERITECH, AND THE COVENANTS, CONDITIONS
AND RESTRICTIONS CONTAINED IN INSTRUMENT(S), RECORDED IN LIBER 20499,
PAGE 677 AND LIBER 20775, PAGE 97 (AS SHOWN).

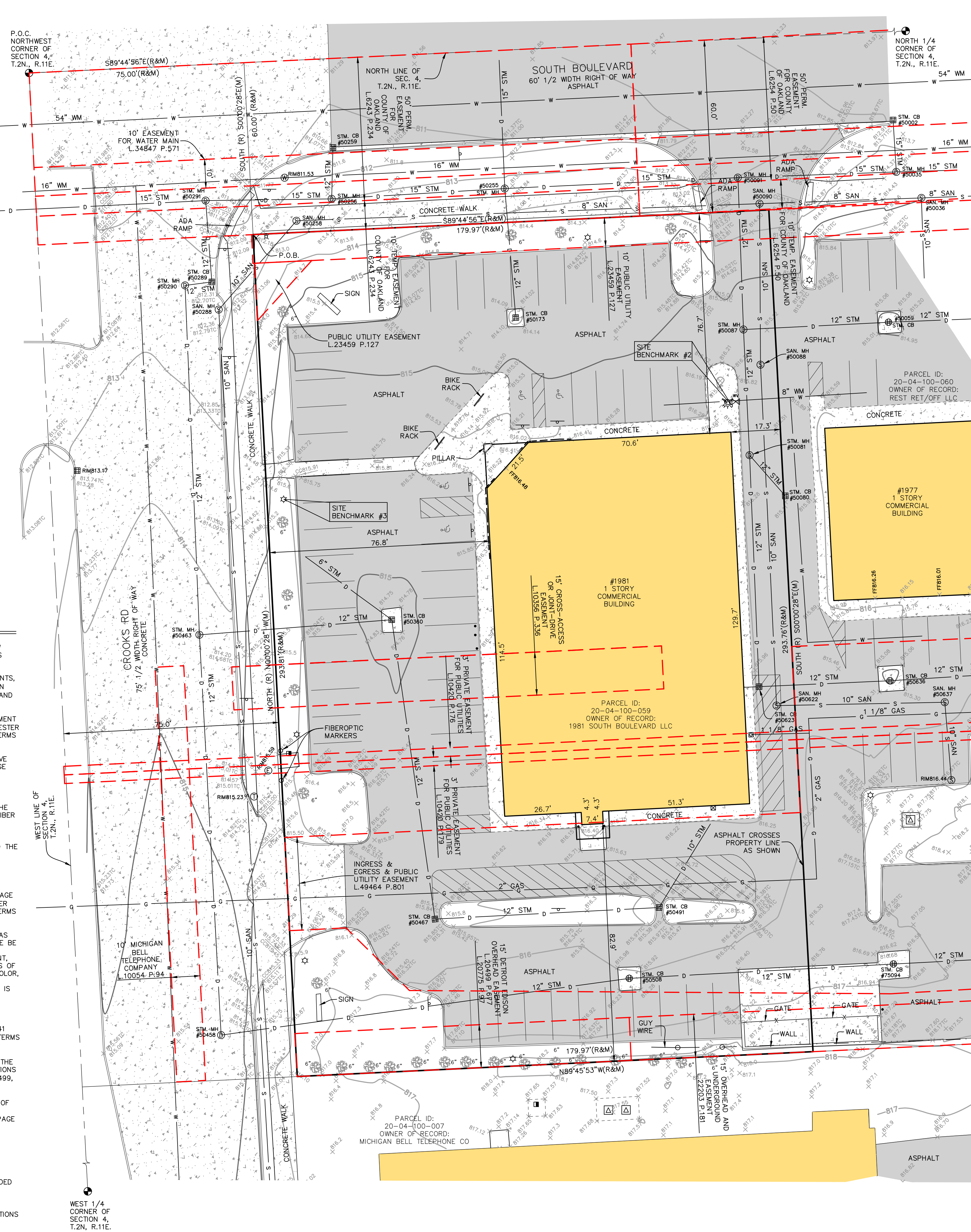
27. OVERHEAD AND UNDERGROUND EASEMENT (RIGHT OF WAY) IN FAVOR OF
THE DETROIT EDISON COMPANY, AND THE COVENANTS, CONDITIONS AND
RESTRICTIONS CONTAINED IN INSTRUMENT(S) RECORDED IN LIBER 22203, PAGE
181 (AS SHOWN).

28. PERMANENT EASEMENT IN FAVOR OF THE CITY OF TROY AND THE
COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT
RECORDED IN LIBER 23459, PAGE 127 (AS SHOWN).

29. INTEREST OF RITE-AID CORPORATION, AND TERMS, CONDITIONS AND
PROVISIONS OF LEASE, AS EVIDENCED BY MEMORANDUM OF LEASE RECORDED
IN LIBER 23896, PAGE 876 (AFFECTS ENTIRE SUBJECT PARCEL) (SEE
DOCUMENT FOR TERMS AND CONDITIONS).

30. INTEREST OF OMNIPONT HOLDINGS, INC., LESSEE, AND TERMS, CONDITIONS
AND PROVISIONS OF LEASE, AS EVIDENCED BY MEMORANDUM OF LEASE
RECORDED IN LIBER 34847, PAGE 751. (SEE DOCUMENT FOR TERMS AND
CONDITIONS)

31. INTEREST OF NEW PAR, A DELAWARE PARTNERSHIP D/B/A VERIZON
WIRELESS, AND TERMS, CONDITIONS AND PROVISIONS OF LEASE, AS EVIDENCED
BY MEMORANDUM OF LEASE AGREEMENT RECORDED IN LIBER 49464, PAGE 801.
(AS SHOWN)



MANHOLE SCHEDULE

NUM	TYPE	RIM (FT)	SIZE (IN)	DIR	INV ELEV (FT)
50002	CATCH BASIN	813.21	15	S	808.60
50035	STORM MANHOLE	814.51	15	N	808.56
		814.51	15	W	808.18
		814.51	15	E	809.39
50036	SANITARY MANHOLE	814.83	8	W	806.13
		814.83	8	E	806.14
		814.83	10	S	806.96
50059	CATCH BASIN	814.86	12	W	810.54
		814.86	12	E	810.73
50080	CATCH BASIN	815.11	12	NW	809.60
50081	STORM MANHOLE	815.85	12	N	810.39
		815.85	12	SE	810.45
		815.85	12	S	810.43
50087	STORM MANHOLE	815.14	12	E	810.27
		815.14	12	S	810.19
		815.14	12	N	BULKHEADED
50088	SANITARY MANHOLE	815.36	10	N	807.36
		815.36	10	S	807.41
50090	SANITARY MANHOLE	815.52	8	E	806.42
		815.52	8	W	806.28
		815.52	10	S	806.42
50091	STORM MANHOLE	813.01	15	W	807.19
		813.01	15	E	807.55
		813.01	12	S	808.02
50173	CATCH BASIN	813.85	15	T/WATER	808.16
		813.85	15	BTM/STRUCTURE	807.79
50255	STORM MANHOLE	813.54	15	E	806.33
		813.54	15	W	806.05
		813.54	12	S	807.42
		813.54	15	N	806.09
50256	STORM MANHOLE	812.94	15	E	805.87
		812.94	12	N	805.86
		812.94	15	W	805.65
50258	SANITARY MANHOLE	812.70	8	E	804.84
		812.70	10	SW	804.74
50259	CATCH BASIN	810.62	12	S	805.93
50288	SANITARY MANHOLE	812.24	10	NE	805.71
		812.24	10	S	805.52
50289	CATCH BASIN	812.08	12	N	806.58
		812.08	12	W	806.68
50290	STORM MANHOLE	812.26	12	S	806.64
		812.26	12	E	806.53
50291	STORM MANHOLE	811.70	12	S	806.06
		811.70	15	W	805.09
		811.70	15	E	805.19
50360	CATCH BASIN	814.47	6	NW	812.27
		814.47	4	W	809.79
		814.47	15	S	809.80
50458	STORM MANHOLE	815.15	12	N	809.35
		815.15	12	E	809.55
50463	STORM MANHOLE	814.30	12	UNABLE TO OPEN	
50467	CATCH BASIN	815.20	12	N	810.76
		815.20	12	E	810.44
50491	CATCH BASIN	815.30	12	W	811.12
		815.30	10	NE	811.05
50508	CATCH BASIN	816.06	12	E	813.06
		816.06	12	W	812.67
50622	SANITARY MANHOLE	815.79	10	N	807.97
		815.79	10	E	808.09
50623	CATCH BASIN	815.95	12	N	810.51
		815.95	12	E	810.90
		815.95	12	W	810.41
50636	CATCH BASIN	814.90	12	E	810.64
		814.90	12	W	810.34
50637	SANITARY MANHOLE	815.65	12	UNABLE TO OPEN	
75017	CATCH BASIN	815.69	4	NW	811.97
		815.69	12	W	811.64
		815.69	12	E	811.89
75043	CATCH BASIN	816.60	12	W	813.06
		816.60	12	E	813.15
75094	CATCH BASIN	816.67	12	W	813.37
		816.67	12	E	813.42

SURVEYOR'S CERTIFICATION

TO CLEAN EXPRESS AUTO WASH LLC, AN OHIO LIMITED LIABILITY COMPANY;
THE BARBAT ORGANIZATION, INC., ON BEHALF OF AN ENTITY TO BE FORMED;
1981 SOUTH BLVD., LLC, TITLE CONNECT LLC, AND FIRST AMERICAN TITLE
INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT
IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD
DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY
ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4,
7A, 8 AND 9 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON
12/08/23.

DATE OF PLAT OR MAP: 12/20/23

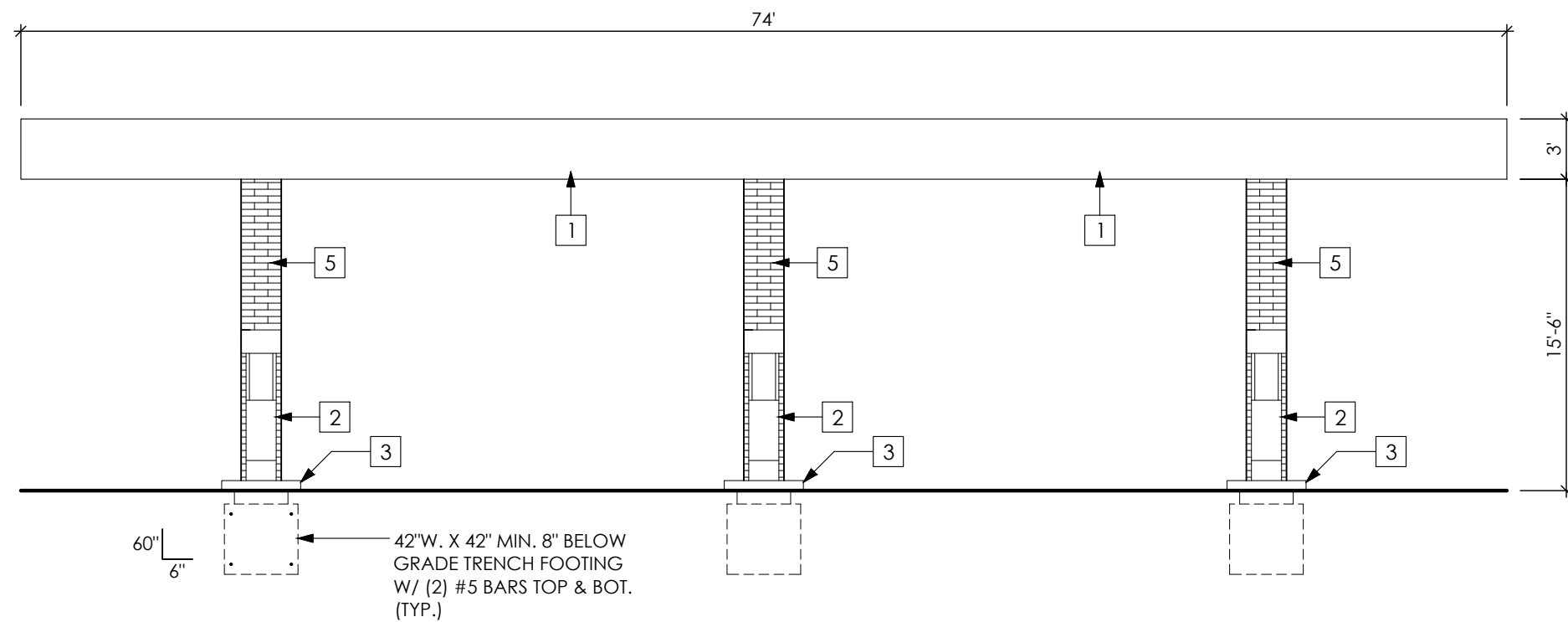
ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemtcc-survey.com



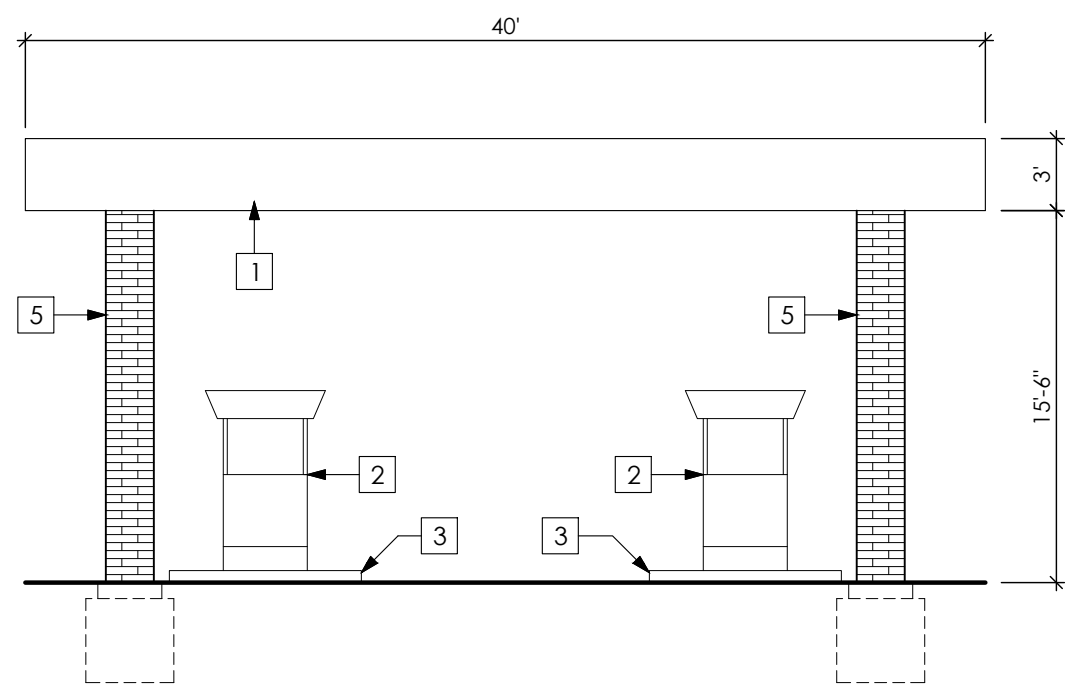
ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: 1981 SOUTH BLVD., LLC
1981 WEST SOUTH BOULEVARD, TROY, MICHIGAN,
PART OF SECTION 4,
TOWN 2 NORTH, RANGE 11 EAST

REVISION	DATE	BY	DESCRIPTION
1	03/21/24	MRJ	REVISED EXCEPTION 20
2	03/07/24	JDM	PER REVISED TITLE WORK
3	01/17/24	MRJ	REVISED PER TITLE WORK

12/20/23	DM	12/20/23	ATS
DECEMBER 20, 2023	DATE	DECEMBER 20, 2023	DATE
23-02597	PROJECT NO.	23-02597	PROJECT NO.

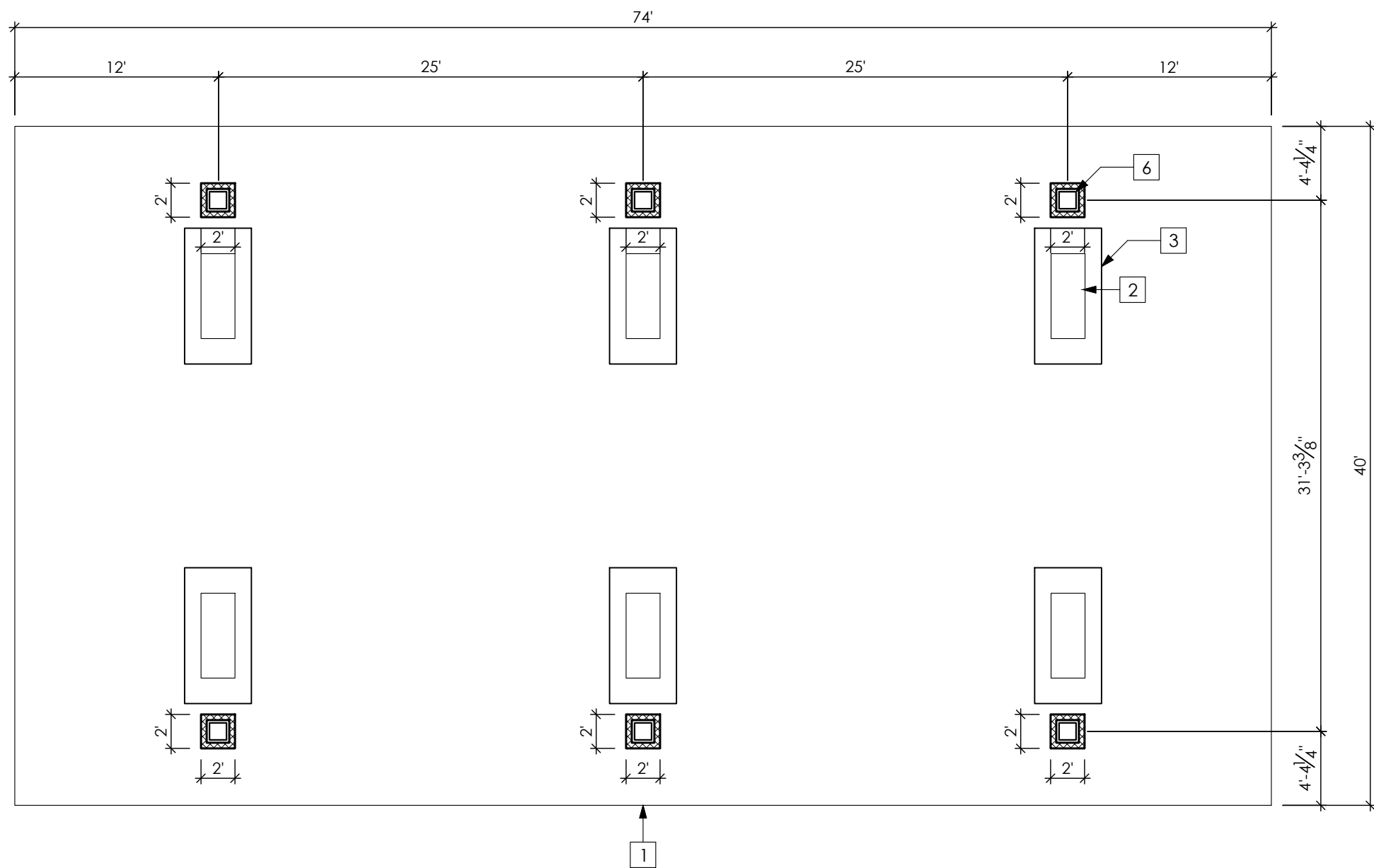


NORTH AND SOUTH ELEVATION AT PUMP CANOPY
SCALE: 1/8" = 1'-0"



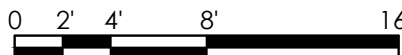
SOUTH ELEVATION AT PUMP CANOPY
SCALE: 1/8" = 1'-0"

PUMP CANOPY KEY NOTES:	
1	CANOPY OVERHANG, ARTWORK/ BRANDING BY OTHERS. OWNER WILL PROVIDE. VENDOR WILL PROVIDE THERE OWN STRUCTURAL COLUMNS AND FOOTINGS AS THIS IS NOT PART OF THESE PLANS.
2	GAS PUMPS BY OTHERS.
3	CURB AT PUMP BY OTHERS
4	STRUCTURAL STEEL BUILDING COLUMN.
5	3 5/8"D X 3 5/8"H X 11 5/8"W - UTILITY BRICK VENEER (EBONITE W/ IRON BLACK GROUT)
6	VENDOR WILL PROVIDE THERE OWN STRUCTURAL COLUMNS AND FOOTINGS AS THIS IS NOT PART OF THESE PLANS. PLAN WAS DESIGNED TO BE 12" COLUMN AS THIS INFO WAS PROVIDED BY THE OWNER.



GAS PUMP CANOPY PLAN

SCALE: 1/8" = 1'-0"



FLOOR PLAN KEY NOTES:	
①	C-BRICK EXTERIOR STRUCTURAL WALL - 12" D.
②	CLEAR INSULATED GLASS IN DARK BRONZE ANODIZED ALUMINUM FRAME ENTRY DOOR.
③	CLEAR INSULATED GLASS IN DARK BRONZE ANODIZED ALUMINUM FRAME STOREFRONT/ CURTAIN WALL SYSTEM.



ADG DESIGN STUDIO
189 E BIG BEAVER ROAD
SUITE 200
TROY, MICHIGAN 48083
P. 248-254-3834
W.ABRODESIGNGROUP.COM

PROJECT:
CORNER STORE
GAS STATION

- BARBAT ORGANIZATION -

1981 WEST SOUTH BLVD.,
TROY, MI

SHEET TITLE:
FLOOR PLAN

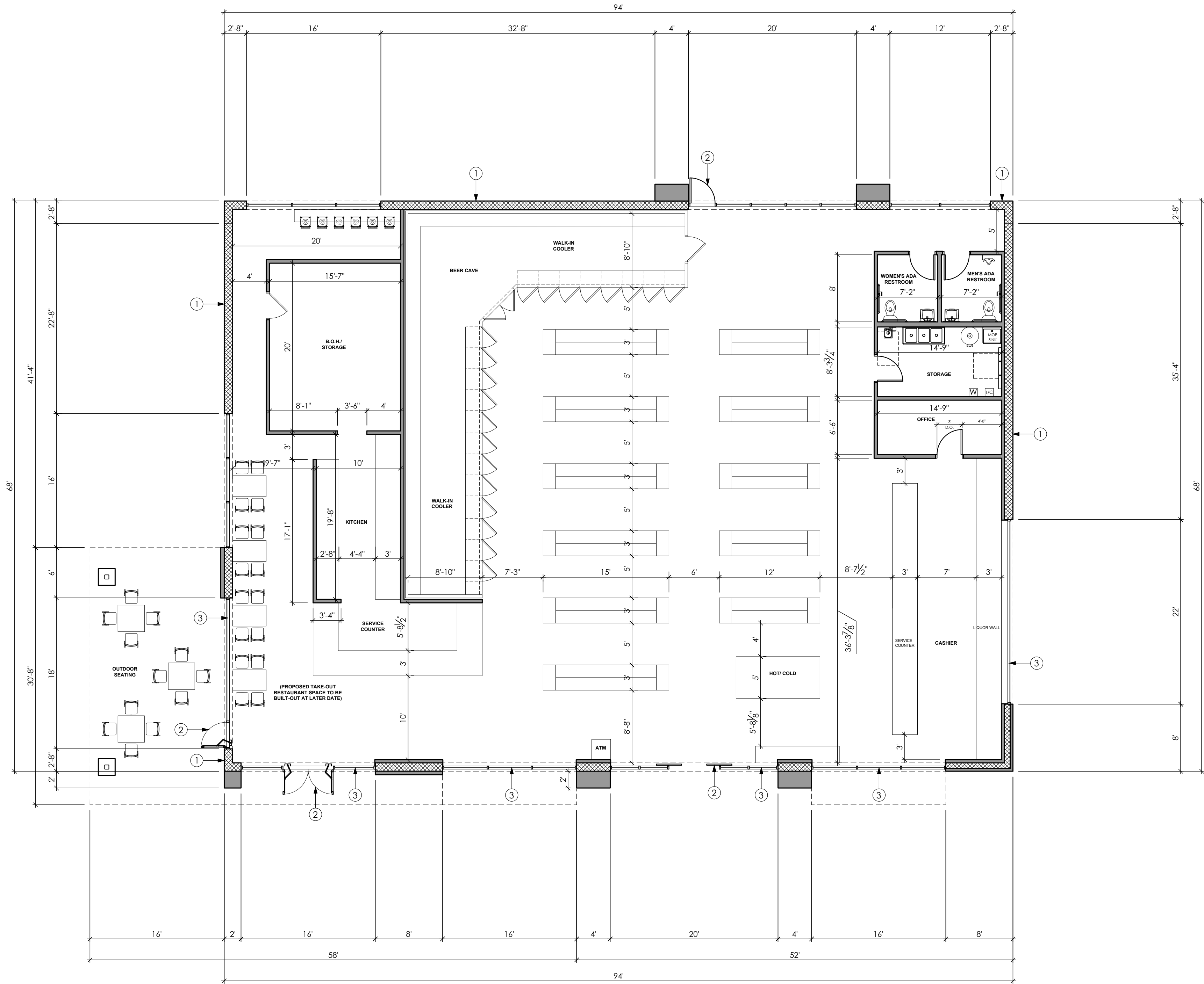
DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

DATE: 04.17.25
ISSUE: SPA

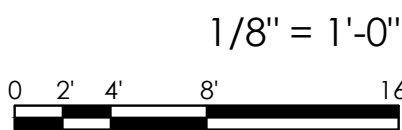
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PROJECT NO:
081624

SHEET NO:
A-1.1

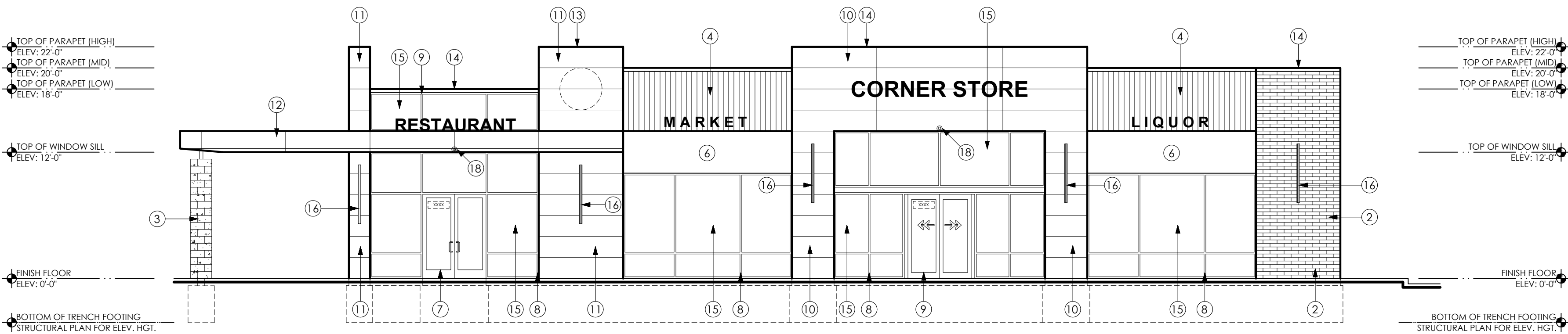


FLOOR PLAN
SCALE:

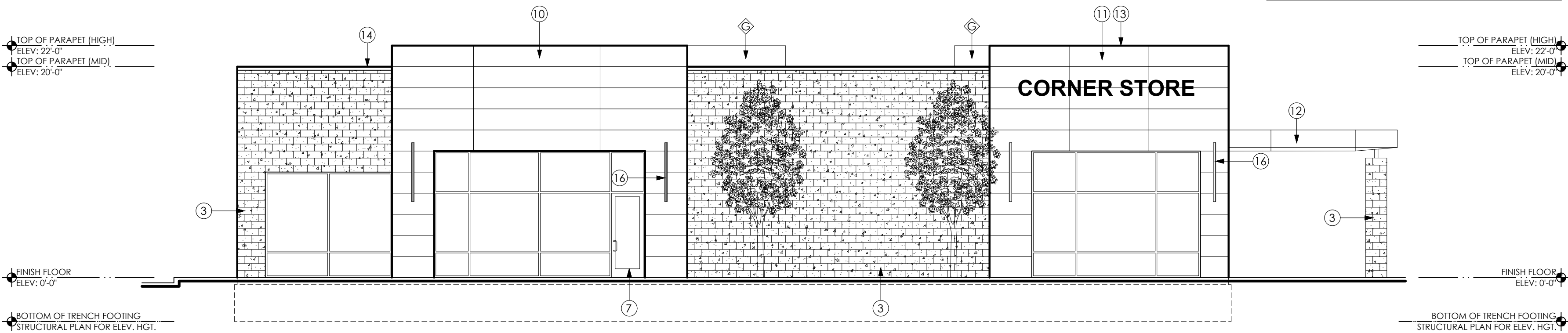


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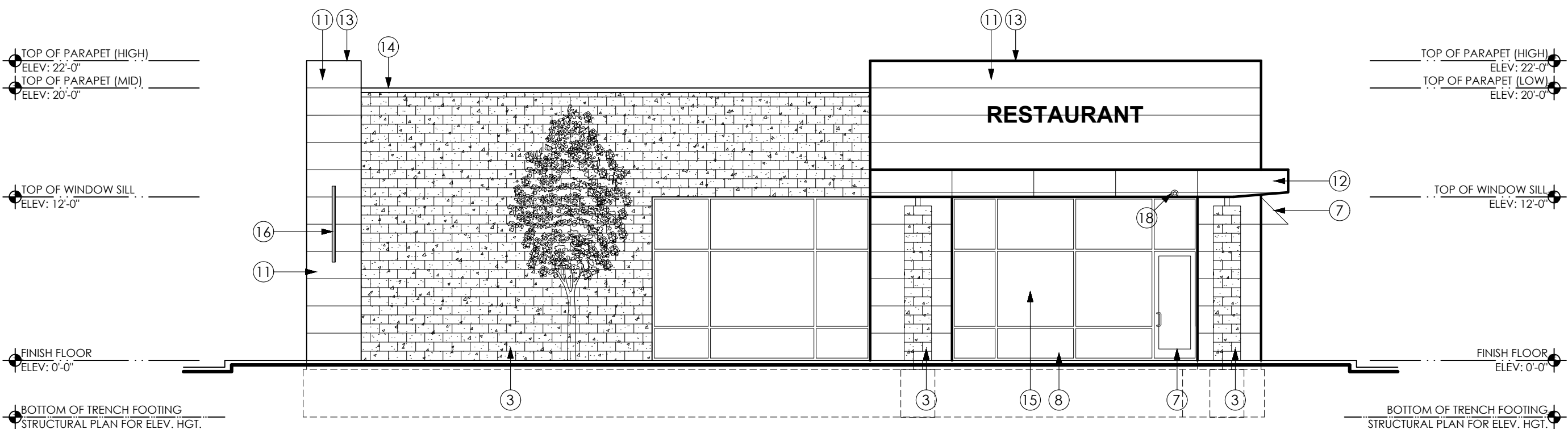
EXTERIOR MATERIAL FINISH SCHEDULE AND NOTES					
TAG	MATERIAL	MANUFACTURE	COLOR/ MODEL	SIZE	REMARKS/ NOTES
1	NOT USED				
2	BRICK VENEER	GLEN GERY	EBONITE W/ IRON BLACK GROUT	3 5/8"D X 3 5/8"H X 11 5/8"W - UTILITY	CONTACT: RALPH (517) 927-3002 SEE MASONRY NOTES BELOW
3	BURNISHED MASONRY UNIT - EXTERIOR STRUCTURAL WALL W/ ACME SHIELD IWR	NATIONAL BLOCK	WOODWARD W/ IRON BLACK GROUT	12"D X 8"H X 16"W	CONTACT: KEVIN (734) 578-4848 SEE MASONRY NOTES BELOW
4	VERTICAL WOOD CLADDING	IDENTITY WOOD PRODUCTS	3000 BARISTA'S FROTHER, 1/16" REVEAL	7 1/4" WIDE PLANKS	SEE MFG. SPECIFICATIONS FOR DETAILS
5	24" WIDE STEEL LOCKABLE SAFETY DOOR AND LADDER TO ROOF. PROVIDE LOCK AND KEY TO OWNER		PAINT TO MATCH C-BRICK WALL BEHIND		
6	FABRIC AWNING ON METAL ALUMINUM TUBE AWNING FRAMING SYSTEM	SUNBRELLA	BLACK AWNING ON BLACK TUBING	REFER TO FLOOR PLAN AND ELEVATIONS	PROVIDE COLOR TO ADG FOR APPROVAL
7	STOREFRONT TENANT DOOR ENTRY W/ 10" HIGH BOTTOM RAIL	TUBELITE	BLACK ANODIZED ALUMINUM	SEE SHEET A-8.1 FOR DETAILS	SEE MFG. SPECIFICATIONS FOR DETAILS
8	CLEAR INSULATED GLASS IN ANODIZED ALUMINUM FRAME STOREFRONT SYSTEM	TUBELITE	BLACK ANODIZED ALUMINUM	SEE SHEET A-8.1 FOR DETAILS	SEE MFG. SPECIFICATIONS FOR DETAILS
9	STOREFRONT TENANT DOOR, AUTOMATIC DOORS, SELECTION BY OWNER	TUBELITE	BLACK ANODIZED ALUMINUM	SEE SHEET A-8.1 FOR DETAILS	SEE MFG. SPECIFICATIONS FOR DETAILS
10	ALUMINUM COMPOSITE PANEL SYSTEM 'CLIP & CAULK' INSTALLATION	OMEGA PANEL PROD. LAMINATORS INC.	BLACK, CAULK JOINT TO MATCH MTL. PANEL	SEE ELEV. AND WALL SECTIONS FOR JOINTS	CONTACT: TOM OLSON (734) 777-6788
11	ALUMINUM COMPOSITE PANEL SYSTEM 'CLIP & CAULK' INSTALLATION	OMEGA PANEL PROD. LAMINATORS INC.	SANDSTONE, CAULK JOINT TO MATCH MTL. PANEL	SEE ELEV. AND WALL SECTIONS FOR JOINTS	CONTACT: TOM OLSON (734) 777-6788
12	ALUMINUM COMPOSITE PANEL SYSTEM 'CLIP & CAULK' INSTALLATION	OMEGA PANEL PROD. LAMINATORS INC.	BRITE RED, CAULK JOINT TO MATCH MTL. PANEL	SEE ELEV. AND WALL SECTIONS FOR JOINTS	CONTACT: TOM OLSON (734) 777-6788
13	METAL COPING (TYP.)	PAC-CLAD	COLOR: SANDSTONE		BY OAKLAND METAL SALES 248-377-8847 ADG TO APPROVE COLOR
14	METAL COPING (TYP.)	PAC-CLAD	COLOR: MATTE BLACK		BY OAKLAND METAL SALES 248-377-8847 ADG TO APPROVE COLOR
15	GLASS	VIRACON OR EQUAL	1" CLEAR INSULATED GLAZING		GLASS TO BE TEMPERED PER MBC WHERE NEEDED.
16	EXTERIOR DECORATIVE WALL MOUNTED SCONCE	MOD LIGHTING	HAYLEN, BLACK METAL FINISH	3"W X 6"H NOMINAL	REFER TO ELECTRICAL PLAN FOR DETAILS
17	SPANDREL GLASS	VIRACON OR EQUAL	1" CLEAR INSULATED GLAZING		GLASS TO BE TEMPERED PER MBC WHERE NEEDED.
18	WALL MOUNTED STAND ALONE LED EMERGENCY LIGHTING	LITHONIA LIGHTING AFFINITY SERIES	DARK BRONZE METALLIC	LOCATE 12" ABOVE DOOR. SEE SPECS	REFER TO ELECTRICAL PLAN FOR DETAILS
MASONRY NOTES: INFORMATION PROVIDED BY SUPPLIER, CONTRACTOR TO COORDINATE INFORMATION W/ SUPPLIER.					
1. FOR ALL BURNISHED MASONRY UNITS, PROVIDE PHYLON 1422, SERIESS G20 ACRYLIC, 1 COAT ACRYLIC APPLIED AT PLANT AND 1 COAT ACRYLIC APPLIED AT JOB SITE AFTER CLEANING BY THE PAINTING CONTRACTOR AND USE PAINT SPRAYER, NO AIR-LESS SPRAYER. CONTACT SUPPLIER FOR ADDITIONAL INFO.					
2. FOR ALL C-BRICK (SMOOTH-FACE)/ SPLITFACE MASONRY UNITS, PROVIDE PRIME-A-PELL PLUS WATER REPELLANT AT JOB SITE AFTER CLEANING BY THE PAINTING CONTRACTOR AND USE PAINT SPRAYER, NO AIR-LESS SPRAYER. CONTACT SUPPLIER FOR ADDITIONAL INFO.					
BUILDING ELEVATION NOTES:					
1. ADG SHALL REVIEW AND APPROVE ALL FINAL EXTERIOR MATERIALS AND COLOR FINISH SELECTIONS PRIOR TO PURCHASE/ FABRICATION. SUBMIT MATERIALS, COLOR FINISHES AND PRODUCT SAMPLES FOR APPROVAL.					
2. ALL DOORS AND WINDOWS TO BE TEMPERED PER MBC. PROVIDE SAFETY GLAZING AS REQUIRED PER CODE.					
3. FIELD MEASURE ALL STOREFRONT WINDOWS AND DOOR OPENINGS PRIOR TO FABRICATION. PROVIDE WINDOW SIZES BASED ON FIELD MEASUREMENTS TO FABRICATOR. FABRICATOR TO PROVIDE SHOP DWG'S TO ADG FOR REVIEW PRIOR TO FABRICATION.					
4. ALL SIGNAGE SHALL COMPLY WITH CITY'S ORDINANCE AND SIGNAGE DETAILS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT IF NEEDED.					
5. ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARD AND SHIELDED SO THAT LIGHT DOES NOT SHINE INTO THE ADVANCEMENT PROPERTY.					
6. ALL FINISH GRADES/ SLOPES TO BE VERIFIED PER CIVIL ENGINEERING DRAWINGS IF PROVIDED.					
7. ALL RTU TO BE FULLY SCREENED BY PARAPET. PROVIDE SCREENING IF NEEDED BY CONTRACTOR.					
8. ADDITIONAL DOORS AND EXITING REQUIREMENTS WILL BE LOCATED TO MEET THE MBC EXIT REQUIREMENTS ONCE THE INDIVIDUAL TENANT LAYOUTS ARE KNOWN.					
9. "M.C.J.": PROVIDE C-BRICK EXPANSION JOINTS AT 20'-0" O.C. SPACING MAX.					
10. EXPANSION JOINTS COLOR TO MATCH C-BRICK/ BFS/ ETC. PROVIDE SAMPLE TO ADG FOR APPROVAL.					
11. SEALANT: AS REQUIRED PER MBC. COLOR TO MATCH STOREFRONT/ MASONRY, PRODUCT BY TREMPCO					
ELEVATION NOTES:					
19	BACK SIDE OF ROOF PARAPET BEYOND ROOFING SYSTEM MEMBRANE EXPOSED.				



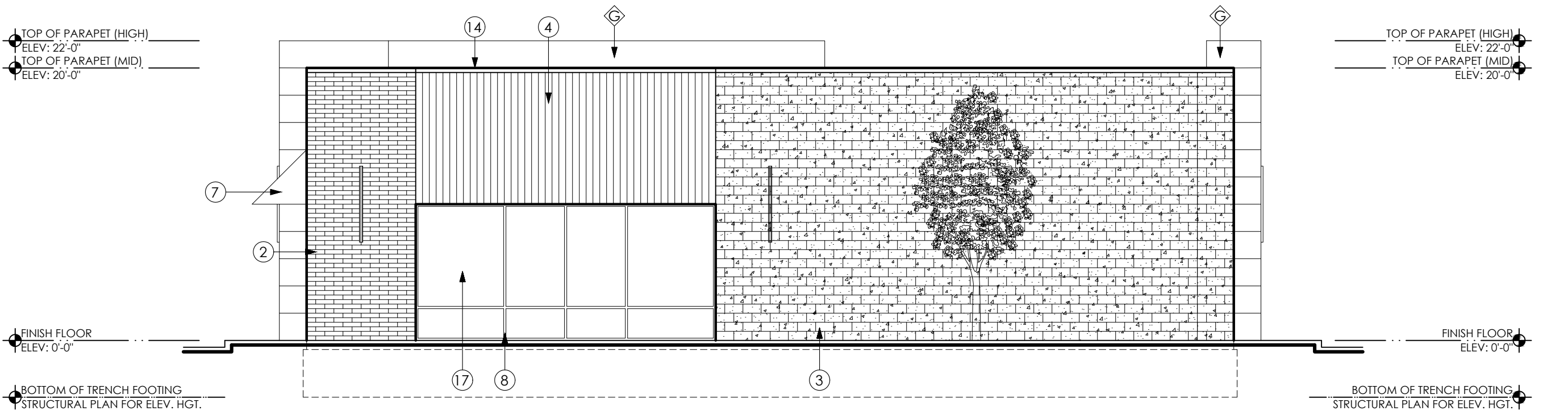
SOUTH ELEVATION (PARKING LOT VIEW)
SCALE: 1/8" = 1'-0"



NORTH ELEVATION (SOUTH BOULEVARD VIEW)
SCALE: 1/8" = 1'-0"



WEST ELEVATION (CROOKS ROAD VIEW)
SCALE: 1/8" = 1'-0"



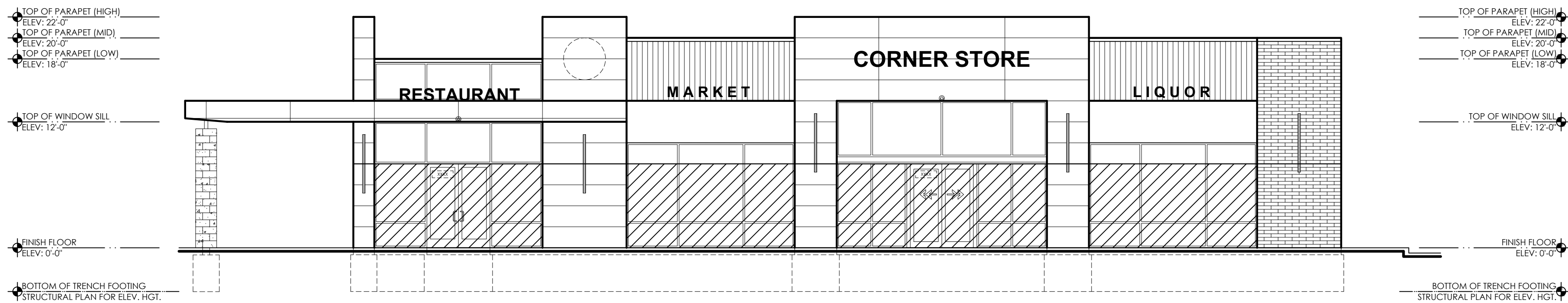
EAST ELEVATION (PARKING LOT VIEW)
SCALE: 1/8" = 1'-0"

MATERIALS AT SOUTH ELEVATION:	
TOTAL SF. OF BUILDING SURFACE : 1,924 SF	100%
WOOD CLADDING (IDENTITY WOOD PRODUCTS): 192 SF	10%
GAZING/ STOREFRONT/ DOOR: 856 SF	44%
BRICK VENEER: 160 SF	8.3%
ALUMINUM COMPOSITE PANEL: 588 SF	31%
FABRIC AWNING: 128 SF	6.7%

MATERIALS AT NORTH ELEVATION:	
TOTAL SF. OF BUILDING SURFACE : 1,936 SF	100%
GAZING/ STOREFRONT/ DOOR: 560 SF	29.9%
BURNISHED MASONRY UNIT: 1,021 SF	52.7%
ALUMINUM COMPOSITE PANEL: 336 SF	17.4%

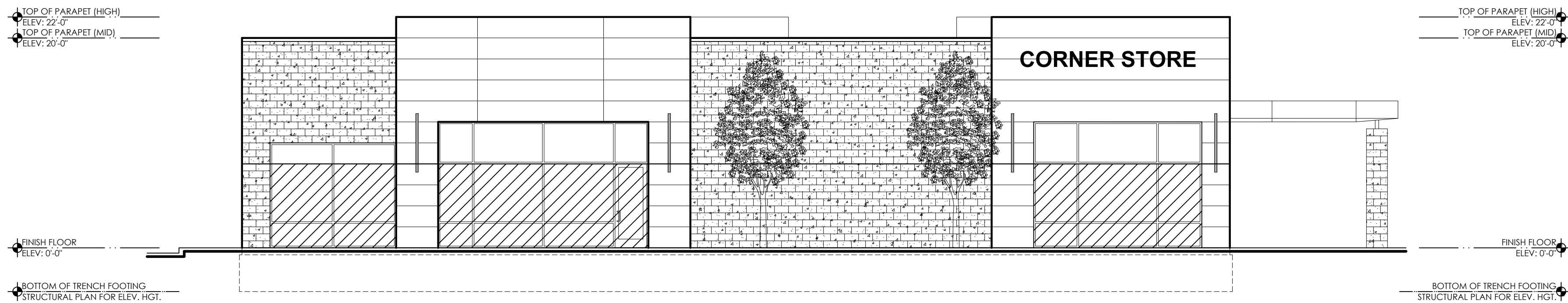
MATERIALS AT WEST ELEVATION:	
TOTAL SF. OF BUILDING SURFACE : 1,457 SF	100%
GAZING/ STOREFRONT/ DOOR: 408 SF	28%
BURNISHED MASONRY UNIT: 635 SF	43.6%
ALUMINUM COMPOSITE PANEL: 414 SF	28.4%

MATERIALS AT EAST ELEVATION:	
TOTAL SF. OF BUILDING SURFACE : 1,360 SF	100%
GAZING/ STOREFRONT/ DOOR: 220 SF	16.2%
BRICK VENEER: 160 SF	11.8%
BURNISHED MASONRY UNIT: 760 SF	55.8%
WOOD CLADDING (IDENTITY WOOD PRODUCTS): 220 SF	16.2%



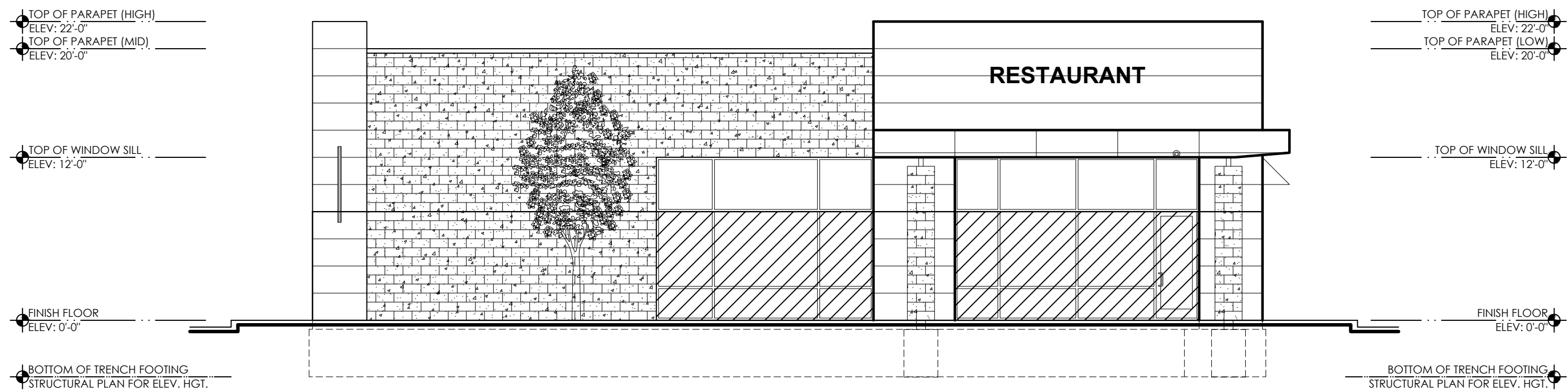
SOUTH ELEVATION (PARKING LOT VIEW)
SCALE: 1/8" = 1'-0"

TRANSPARENCY CALCULATION AT SOUTH ELEVATION: (MIN. 30% REQ.)			
TOTAL SF. OF GLAZING SURFACE AT 0' TO 8' AFF:	344 SF	72%	
TOTAL SF. OF BUILDING SURFACE AT 0' TO 8' AFF:	752 SF	100%	



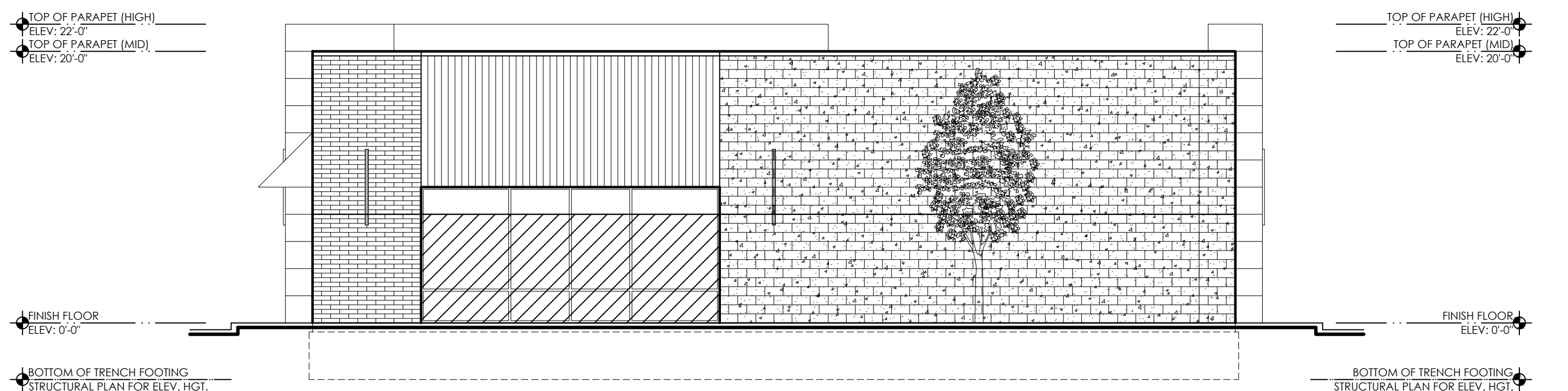
NORTH ELEVATION (SOUTH BOULEVARD VIEW)
SCALE: 1/8" = 1'-0"

TRANSPARENCY CALCULATION AT NORTH ELEVATION: (MIN. 50% REQ.)			
TOTAL SF. OF GLAZING SURFACE AT 0' TO 8' AFF:	384 SF	51%	
TOTAL SF. OF BUILDING SURFACE AT 0' TO 8' AFF:	752 SF	100%	



WEST ELEVATION (CROOKS ROAD VIEW)
SCALE: 1/8" = 1'-0"

TRANSPARENCY CALCULATION AT WEST ELEVATION: (MIN. 50% REQ.)			
TOTAL SF. OF GLAZING SURFACE AT 0' TO 8' AFF:	280 SF	50%	
TOTAL SF. OF BUILDING SURFACE AT 0' TO 8' AFF:	560 SF	100%	



EAST ELEVATION (PARKING LOT VIEW)
SCALE: 1/8" = 1'-0"

TRANSPARENCY CALCULATION AT EAST ELEVATION: (MIN. 30% REQ.)			
TOTAL SF. OF GLAZING SURFACE AT 0' TO 8' AFF:	176 SF	32%	
TOTAL SF. OF BUILDING SURFACE AT 0' TO 8' AFF:	544 SF	100%	



SOUTH ELEVATION (PARKING LOT VIEW)



NORTH ELEVATION (SOUTH BOULEVARD VIEW)



WEST ELEVATION (CROOKS ROAD VIEW)



EAST ELEVATION (PARKING LOT VIEW)

DATE:	ISSUE:
04.17.25	SPA



1 RENDER 1 | SOUTHEAST PERSPECTIVE



2 RENDER 2 | SOUTHWEST PERSPECTIVE, CROOKS ROAD VIEW



3 RENDER 3 | NORTHWEST PERSPECTIVE, CROOKS ROAD AND SOUTH BOULEVARD VIEW



4 RENDER 4 | NORTHEAST PERSPECTIVE, SOUTH BOULEVARD VIEW



1 SITE VIEW 1 | NORTHWEST PERSPECTIVE, CROOKS ROAD AND SOUTH BOULEVARD VIEW



2 SITE VIEW 2 | SOUTHWEST PERSPECTIVE, CROOKS ROAD VIEW



3 SITE VIEW 3 | NORTHWEST PERSPECTIVE, CROOKS ROAD AND SOUTH BOULEVARD VIEW



4 SITE VIEW 4 | NORTHEAST PERSPECTIVE, SOUTH BOULEVARD VIEW



ADG DESIGN STUDIO
189 E BIG BEAVER ROAD
SUITE 200
TROY, MICHIGAN 48063
P. 248-254-3834
W.ABRODESIGNGROUP.COM

PROJECT:
CORNER STORE
GAS STATION

- BARBAT ORGANIZATION -

1981 WEST SOUTH BLVD.,
TROY, MI

SHEET TITLE:
SITE VIEW

DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

DATE: 04.17.25 **ISSUE:** SPA

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PROJECT NO:
081624

SHEET NO:
A-2.6

From: [amita bishnoi](#)
To: [Planning](#)
Subject: Proposed gas station on South Blvd
Date: Monday, March 3, 2025 8:27:42 AM

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Hello,

I am a long time Troy resident who lives on Coolidge and South Blvd. I am AGAINST the proposed gas station on Crooks and South Blvd. There are already 2 gas stations in that area. We do NOT need another.

Sincerely

Amita Singh
1815 Wyngate Dr
Troy, MI 48098

Get [Outlook for iOS](#)

From: [Camille Geck](#)
To: [Planning](#)
Subject: Gas station at Crooks and South Blvd
Date: Sunday, March 2, 2025 7:24:55 PM

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Troy is losing its integrity with the continual building. A gas station is the last thing needed in this area. Especially a mega station. You all continue to jeopardize our city for the sake of money. Enough. Listen to the residents when we speak.

Sent from my iPhone

From: [Dunia Jindo](#)
To: [Planning](#)
Subject: 1981 West South BLVD
Date: Thursday, February 27, 2025 12:28:02 PM

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Hi,

This message is in regards to the February 25th planning board hearing at the City of Troy for the Crooks and South Boulevard parcel at 1981 west South Boulevard that is owned by the Barbats who are proposing a gas station. There's a few more things that I would like to mention before your decision. The property owners during the hearing anticipated 2 to 3 loads delivered per week. I would just like to say that each load carries approximately 15,000 gallons. They're anticipating anywhere from 30,000 to 45,000 gallons of sales per week. That's extremely high. I'm bringing this up because I'm worried about the congestion on site. If each vehicle fills up approximately 15 gallons, that's potentially 3000 vehicles visiting this site a week that's over 400 vehicles a day visiting this site just for fuel. This doesn't include people stopping in for the convenience store or the restaurant. I know in the hearing they said that there'll be less congestion and traffic at the site then the old Rite Aid. If you do the math, it will be quite the opposite. Most of this business will most likely be done during rush-hour traffic on an already congested intersection. Imagine 200 to 300 cars pulling in during rush hour to fuel and use the C store and restaurant, I think that's a lot of congestion on that corner, making the gateway into Troy, not desirable. Also, I would like to remind you that the owners claimed that their business from fuel is only 15%. I feel they were being dishonest with those numbers. I urge you to do some research from a wholesale standpoint which they claimed to be during the hearing. I found that they will be making anywhere from \$.30-\$.40 a gallon, which is a huge part of their revenue. If they sell nearly 200,000 gallons a month at \$.40 they're looking to profit \$80,000 a month just from fuel sales so I think the driving force for their site is the fuel pumps. Also, there was a concern about the delivery trucks. They said their delivery trucks are all smaller delivery trucks. I feel they were not being honest there either because the beer and pop delivery trucks are huge semis, which also will cause congestion on the site and make it unsafe. I don't understand why they weren't being 100% honest with the planning commission on these questions. I don't feel the city of Troy Should Grant any special land use for property owners that aren't 100% honest with the planning board, my fear is that this station is too massive And will be very congested and make the gateway into the city of Troy a much more eyesore than what it is today. I ask you to please before making your decision to visit the Speedway that is just a mile and a half up the road on crooks and M 59 which also has a restaurant, 12 fuel pumps and a huge convenience store that sells alcohol similar to the one proposed here on the south boulevard site. Please visit during rush-hour and see the congestion and ask yourself if that's what you want as your gateway into the city of Troy. Also, go there at night and see the people lingering sitting in their cars drinking alcohol and ask yourself is this what we want for the gateway into the city of Troy, go there during morning rush-hour and see all the chaos and congestion and ask yourself is this what we want as the gateway in the city of Troy. I also feel a special land use should only be granted when there is a hardship in this case there is no hardship. The property owners have several other plans and options. They have contracts with other tenants that could take the existing building and they have the opportunity to build a beautiful building without the gas

pumps, which will be a better view for the city. I just wanted to elaborate on these points. Also, I have seen in the past when independent gas station owners tend to grow, they tend to sell out to the bigger Corporations like Sheetz, Speedway or 7-Eleven. I would really hate to see one day this gas station be sold out and become a Speedway, Sheetz or 711. Since the current owners own many gas stations I think they said over 14 or so I think they will be operating like a major corporate store anyways. Another important point is that the owners nor the Architects did not have a plan of the way the pumps & canopy are going to look. I feel like they were trying to hide something. I appreciate you considering this email because during public comment there wasn't enough time to discuss all of this or the opportunity to go back-and-forth.

Sincerely,

Farid and Karima Jindo
5772 Spring Brook Dr
Troy MI 48098
50 years residents of the City of Troy

From: [Alex Karpowitsch](#)
To: [Planning](#)
Subject: Proposed Barbat Development on Square Lake
Date: Thursday, March 13, 2025 4:52:33 PM
Attachments: [Joe Barbat owes Arie Leibovitz \\$2.77M over unpaid loan, judge rules](#) [Crain's Detroit Business.pdf](#)

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Hello Troy Planning Commission -

I am writing to express my desire for the Planning Commission to decline the proposed Barbat development for the former Rite Aid property on Square Lake. There are two existing gas stations on the same corner - a third gas station & EV charger are not necessary. If Kroger perceives that the Community desires additional EV Chargers at this location (there are two existing EV chargers at the Kroger on Long Lake - they subsequently have the best understanding of current utilization / demand), they will subsequently add EV chargers at a later date.

If this is the same 'Barbat Holdings' connected a number of properties in the City of Detroit, there was recently a \$2.7 million judgement against Joe Barbat
- <https://www.crainsdetroit.com/real-estate/joe-barbat-owes-arie-leibovitz-277m-over-unpaid-loan-judge-rules>

My question to the Planning Commission - is it standard practice for the Planning Commission to evaluate proposed developments based on a Developer's prior developments? What consideration does the Planning Commission therefore extend to this \$2.7 million judgement against Joe Barbat?

Kind regards,

- Alex Karpowitsch

From: [sam kirma](#)
To: [Planning](#)
Subject: 1981 West South Blvd.
Date: Thursday, February 27, 2025 3:01:00 PM

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Dear Members of the Troy Planning Board,

I am writing to share my concerns about the proposed gas station at the Crooks and South Boulevard parcel, which was discussed during the February 25th planning board hearing. I would like to bring several additional points to your attention before a final decision is made.

During the hearing, the property owners claimed that fuel sales would account for only 15% of their business. This assertion raises questions. Why would anyone invest millions of dollars in installing underground fuel tanks, pumps, and a canopy—while also incurring significant costs to remove contaminated soil from the former gas station site—if fuel represents such a small portion of their business? This substantial financial commitment strongly suggests that fuel sales will play a far greater role in their operation than they acknowledged.

The owners also stated that the site would generate less traffic than the former Rite Aid. However, a station with 12 fuel pumps will almost certainly create significantly more congestion—especially during peak hours. With much of the business occurring during rush hour, the impact on an already busy intersection will be substantial. Consider the likelihood of 300 vehicles pulling in between 5:00 and 7:00 p.m.—this added traffic would intensify congestion and make the gateway into Troy less attractive and more difficult to navigate.

Additionally, I am concerned about the impact of delivery trucks on site traffic and safety. While the owners suggested that deliveries would be made by smaller vehicles, this does not account for the large semi-trucks

commonly used to transport beverages and other products. From my own observations at similar gas stations and convenience stores, these delivery vehicles are anything but small, and their presence would only add to the congestion and safety risks.

It is troubling that the property owners were not fully transparent with the planning board regarding these critical issues. I strongly believe the City of Troy should not grant a special land use permit to applicants who fail to provide complete and accurate information.

I encourage you to visit other similar gas station sites to observe firsthand the traffic congestion, vehicle volume, and evening loitering they often attract. Please ask yourselves: Is this the kind of environment we want as the gateway to the City of Troy?

Thank you for your time and careful consideration of these concerns. I trust that you will prioritize the best interests of our community when making your decision.

Sincerely,

Sam Kirma
108 whitetail ct
Troy 48085

From: [Patrick Kozlowski](#)
To: [Planning](#)
Subject: GAS STATION
Date: Monday, March 3, 2025 1:33:01 PM

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To Whom it May Concern,

As a longtime resident of Troy, I can tell you (planning commission) that I do NOT want another gas station on the southeast corner of Crooks Rd. & South Blvd. There are already 2 gas stations right at that intersection and another one is not necessary! I live near Adams and South Blvd with 2 additional gas stations at Auburn Rd. and Adams Rd with the Meijer gas station just up Adams from there.

Enough with the gas stations already!!! How about more "green spaces" for the public ???

Sincerely,
Patrick Kozlowski

From: [Toya Menzie](#)
To: [Planning](#)
Cc: [Frances Menzie](#)
Subject: Concern Regarding Proposed Gas Station on South Boulevard
Date: Sunday, March 2, 2025 5:14:45 PM

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Dear Troy Planning Department,

I am writing to express my concerns regarding the proposed development of a new gas station at the vacant Rite Aid site on South Boulevard. As a resident of Troy, I believe that an additional gas station in this area is unnecessary and would negatively impact the community in several ways.

First, traffic congestion at this intersection is already a challenge, and adding another high-traffic business will only worsen the situation. With two existing gas stations at this corner, this development would contribute to increased congestion, noise, and safety concerns for both drivers and pedestrians.

Additionally, this project may diminish the aesthetic appeal of the area, which serves as a key gateway into our city. A large gas station does not align with the character of the community and could have a negative effect on nearby property values. Instead of another fuel station, the space could be better utilized for a business or development that enhances the area and meets a broader community need.

I urge the Planning Commission to carefully consider the long-term impact of this project and explore alternative uses for the site that better serve the residents of Troy.

Thank you for your time and consideration. I appreciate the opportunity to voice my concerns and look forward to your decision on this matter.

Sincerely,

The Menzie Family

6370 Shagbark Drive

menziesto@gmail.com

From: [Gerri Mrlik](#)
To: [Planning](#)
Subject: South Blvd./Crooks Proposed Gas Station
Date: Sunday, March 2, 2025 9:23:27 PM

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My spouse & I are Troy homeowners and OPPOSE a 3rd gas station being built at this location.

From: [Dee Jay](#)
To: [Planning](#)
Subject: 1981 West South Blvd
Date: Monday, March 3, 2025 1:14:15 PM

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Hi,

I have several questions and concerns regarding the safety implications of the project on south blvd & crooks, particularly the congestion it will create—especially during rush hours—due to the gas station component. Crooks Road is already a heavily traveled, high-traffic area, and I believe this project could significantly increase the risk of accidents. The added congestion may pressure drivers to exit the gas station hastily, potentially leading to serious or even tragic incidents. I would like to ask the City of Troy what is one life worth??? I believe the site can be developed in a way that minimizes congestion while still achieving its intended purpose. If this proposal is approved, I strongly recommend considering alternative traffic flow solutions. I have seen similar developments where driveways on high-traffic roads, such as Crooks, are designated as entrance-only, with traffic exiting onto a less congested street—such as South Boulevard in this case. Implementing a similar approach here would greatly enhance safety. Additionally, I understand that Crooks Road is owned or controlled by the Oakland County Road Commission, and I trust they will address this issue when the plan reaches their review. However, I encourage the City of Troy and the Planning Commission to proactively consider these concerns before moving forward. Thank you for your time and consideration.

Sara Qirma
108 Whitetale
Troy MI

From: [Marcia Schwartz](#)
To: [Planning](#)
Subject: Proposed gas station at South Blvd and Crooks
Date: Sunday, March 9, 2025 7:30:38 PM

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To Whom it May Concern,

We live in the subdivision directly behind the corner of the proposed gas station at South Blvd and Crooks. I greatly urge you to reconsider allowing this to happen. We currently have enough businesses and traffic at this corner and the addition of a 3 rd gas station on this corner would not only add to the congestion in the area, not to mention interfere with our noise pollution and property values.

Please do not allow this to happen, Troy is quickly losing its aesthetic appeal .

Sincerely,

Marcia Schwartz

Sent from my iPad

From: [Doug Shaw](#)
To: [Planning](#)
Subject: Proposed Development SE Corner Crooks & South Blvd
Date: Saturday, March 1, 2025 11:11:35 AM

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To whom it may concern,

I am opposed to the development, as a nearby Troy resident this corner is already overburdened with traffic and will only make the problem worse.

Two gas stations are already on this corner, how many do we need?

There is definitely a better use for this property.

Regards,

Doug Shaw

Associate Broker, RE/MAX First

☐ 248-330-0177 | ☐ www.theshawteam.com

☐ d.shawteam@gmail.com



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From: [James Straith](#)
To: [Planning](#)
Cc: [Valerie J. Straith](#); [Janet Husband](#); [Carol and John Brewer](#)
Subject: SE corner of Crooks Rd. and W. South Boulevard proposed development
Date: Monday, March 3, 2025 12:58:27 PM

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As property taxpayer in the City of Troy I strongly support the repurpose of this site for vehicle fueling and retail sales. It will provide much needed service to north bound traffic on Crooks Rd. and beneficial retail sales not currently available at the two corners on the southbound side of Crooks Rd. Nothing can be worse for the community than the continued existence of another vacant commercial property such as the empty Rite Aid Store. The proposed use is probably the best and most reasonable proposal possible and should be approved for development at the first opportunity. Denial would condemn this site to years of fruitless search for a superior use while the current structure decays and remains a blight at the intersection.

James C. Straith
1300 Northlawn Blvd.
Birmingham, MI 48009
(248) 672-0727 Mobile
jim@straithgroup.com

From: [Lori Tenbrunsel](#)
To: [Planning](#)
Subject: Proposed gas station at South Blvd/Crooks
Date: Sunday, March 2, 2025 7:43:39 PM

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As a resident of Troy for 34 years I am opposed to putting a gas station on this corner. There are already 2 gas stations there at that intersection. There must be some other meaningful type of business that would be an asset to that area.

Lori Tenbrunsel
248.689.4577
l_tenbrunsel@yahoo.com

From: [Laura Vedder](#)
To: [Planning](#)
Subject: Proposed gas station at Crooks and South Blvd.
Date: Saturday, March 1, 2025 7:45:22 PM

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We are 100% against this proposal. It's a completely unnecessary use for that location as we already have 2 gas stations on that corner! We don't understand why this is even being seriously considered. It's been vacant a relatively short period of time.

Why can't we wait for some time and see what else might be viable? We find it difficult to believe that after less than a year the ONLY POSSIBLE BUSINESS is a gas station! I'm not sure it was even listed with a commercial leasing agent so that multiple uses could be analyzed. Seems like the proposed developer seized the moment when Rite Aid filed for bankruptcy and inveigled the City into this rushed proposal.

Annette Vedder
Laura Vedder
6675 Woodcrest Drive, Troy
248-933-3887

Sent from my iPad

From: [Greg Canjar](#)
To: [Planning](#)
Subject: Re: planned development at 1981 w South Blvd
Date: Monday, March 10, 2025 11:49:03 AM

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Dear planning department,

I am a 20 year resident on Troy, and live in the area around this development. I believe that it would be nice to have some sort of small business or store at the old Rite Aid, however, I strongly believe that another gas station at this corner is unnecessary. I am concerned about the additional noise, pollution and traffic that another gas station would bring. I also understand that the developers asked to have the store open 24 hours. I am strongly opposed to this idea, especially for a busy corner that would be selling alcohol. I hope that the owners can find a way to move forward with a project that does not include a gas station and 24 hour operation.

thank you!

From: [David Gorcyca](#)
To: [Planning](#)
Subject: Super Station
Date: Monday, March 10, 2025 12:12:39 PM

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I am a Troy resident who resides in the area of Crooks and South Blvd. I wish to express my opposition to the proposed Super Station to be located at the old Rite Aid location. Kroger and Shell already sell gas at that intersection so another station is not needed. Further, one mile up the road on Crooks there is an other gas station so the area is already saturated with service stations!!!

In addition, Kroger sells wine and beer, as does the Shell station and CVS at that intersection. One mile north there is an A & A Liquor store that is a full service beverage location. Adding a Super Station adds no benefit to the community and would only provide duplicative services. The added traffic volume would also be a detriment.

I am all about free market place but the approval of that Super Station adds no community benefit or convenience to Troy residents. If the Planning Committee were to use a cost/benefit analysis there would be no or little added value or benefit to the residents.

David Gorcyca
6608 Tree Knoll Dr
Troy, MI 48098

Sent from my iPad

From: [Delphine Knoll](#)
To: [Planning](#)
Subject: Proposed zoning change at South Boulevard & Crooks
Date: Thursday, April 24, 2025 11:02:06 AM

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The proposed zoning request to change the old Rite Aid to a gas station makes NO SENSE. We already have 2 gas stations at that corner. We DON'T NEED 3 of them. If you allow this for sure at least 1 will go out of business then we are left with those gas tanks in the ground which take FORVER to remove because of the enormous cost. DO NOT ALLOW THIS REZONING TO GO THRU!

Delphine Knoll

From: [Rochelle Kowalski](#)
To: [Planning](#)
Cc: [Michael Kowalski](#)
Subject: South Blvd and Crooks Proposal
Date: Monday, March 3, 2025 12:45:43 PM

You don't often get email from rocoko03@gmail.com. [Learn why this is important](#)

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Hello,

It has come to our attention that the Planning Department is evaluating rezoning the South Blvd and Crooks property to accommodate a fueling station, convenience store and take out restaurant. As Troy residents of over 30 years and neighbors to the property site identified above, we are adamantly opposed to the rezoning for the following reasons:

- 1) There are currently six fueling stations within 5.5 miles on Crooks Rd. starting at Big Beaver Rd. up to Star-batt Road in Rochester Hills,
- 2) There are at least 10 take out restaurants along this same strip of Crooks Rd,
- 3) There will be an increase in traffic, light pollution and noise from this site, if approved. We experienced our worst outdoor season in 2024 as a result of increased traffic, heavy truck usage, emergency vehicle sirens, speeding, racing and reckless driving (between Square Lake and South Blvd.),
- 4) Currently there are at least nine stores that sell liquor and/or beer between Big Beaver and Star-batt Road,
- 4) The area immediately surrounding Crooks and South Blvd. has a quiet neighborhood feel to it. This proposed facility, with heavy traffic, will diminish that feel and atmosphere, and
- 5) The stretch of Crooks Rd. between I75 and M59 is already heavily burdened due to freeway proximity.

As the Planning Department evaluates this rezoning proposal, we urge you to strongly consider the concerns of Troy neighbors residing near this site.

Thank you for your time and consideration. We look forward to attending the next Planning Department meeting that addresses this rezoning proposal.

Mike and Rochelle Kowalski
6380 Denton Dr.
Troy, MI 48098