



## Zoning Board of Appeals Application

### STATEMENT OF PRACTICAL DIFFICULTY

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.



# **MOTION TEMPLATE GRANT VARIANCE**

## **RESOLUTION TEMPLATE**

Moved by:

Seconded by:

That the variance request for [applicant name, address or location], for [request]

*Be granted for the following reasons:*

The applicant has demonstrated that:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
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Yeas:

Nays:

**MOTION CARRIED / FAILED**



## **MOTION TEMPLATE DENY**

Moved by:  
Seconded by:

That the variance request for [applicant name, address or location], for [request]

*Be denied for the following reason(s):*

The applicant has not demonstrated that:

- f) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- g) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- h) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- i) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- j) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City

Yeas:  
Nays:

**MOTION CARRIED / FAILED**



## **MOTION TEMPLATE POSTPONE**

Moved by:

Seconded by:

***RESOLVED***, that the variance request for [applicant name, address or location], for [request]

*Be postponed for the following reason(s):*

Yeas:

Nays:

**MOTION CARRIED / FAILED**

G:\ZONING BOARD OF APPEALS\Resolution Template Zoning Board of Appeals.doc





500 West Big Beaver  
Troy, MI 48084  
troymi.gov

248.524.3364  
planning@troymi.gov

## ZONING BOARD OF APPEALS MEETING AGENDA

Michael Bossenbroek, Chair, Thomas Desmond, Vice Chair  
Aaron Green, David Eisenbacher, Mahendra Kenkre, Jim McCauley,  
Tyler Fox, Barbara Chambers, Alternate, Jeffrey Forster, Alternate

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**August 19, 2025**

**7:00 P.M.**

**COUNCIL CHAMBERS**

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1. ROLL CALL

2. PROCEDURE

3. APPROVAL OF MINUTES – July 15, 2025

4. APPROVAL OF AGENDA

5. HEARING OF CASE:

A. 2385 Oak Ridge, Aaron Wolf for MW Homes LLC - A variance request to allow a home addition to be setback 37 feet from the rear property line. The Zoning Ordinance requires a 45 foot setback from the rear property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning

B. 2488 Lanergan, Bryan Rouhan for Mainstreet Design Build - A variance request to allow a home addition to be setback 19.5 feet from the front (Beach Road) property line. The Zoning Ordinance requires a 40 foot setback from the front property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning

6. COMMUNICATIONS

7. MISCELLANEOUS BUSINESS –

8. PUBLIC COMMENT

9. ADJOURNMENT

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.



On July 15, 2025, at 7:00 p.m., Chair Bossenbroek called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bossenbroek  
Barbara Chambers  
Thomas Desmond  
Aaron Green  
Jeffrey Forster  
Mahendra Kenkre  
Jim McCauley

Also Present:

Paul Evans, Zoning and Compliance Specialist  
Nicole MacMillan, Assistant City Attorney

2. PROCEDURE- read by Vice Chair Desmond

3. APPROVAL OF MINUTES – May 20, 2025

Moved by Chambers  
Second by McCauley

RESOLVED, to approve the May 20, 2025 draft minutes.

Yes: All

MOTION PASSED

4. APPROVAL OF AGENDA – no changes.

5. HEARING OF CASES:

1230 South Boulevard, Doris C. Plantus - A variance request to allow a shed in a front yard. The Zoning Ordinance allows sheds only in a rear yard. The shed was constructed without a building permit.

Moved by Green  
Second by Desmond

RESOLVED, to grant the request.

Moved by McCauley  
Second by Bossenbroek



RESOLVED, to amend to motion to require a 70 foot setback and that a Building Permit be obtained.

No: All

MOTION FAILED

Vote on the first motion

All: Yes

MOTION PASSED

6. COMMUNICATIONS – none.

7. MISCELLANEOUS BUSINESS

A. Discuss recommending potential Zoning Ordinance Text Amendment to the Planning Commission.

Moved by Bossenbroek  
Second by Green

RESLOVED, to approve the resolution as presented in the agenda and that, and to authorize member McCauley to represent the Board to the Planning Commission.

All: Yes

MOTION PASSED

B. Training presentation led by Assistant City Attorney MacMillan.

8. PUBLIC COMMENT –None

9. ADJOURNMENT –The Zoning Board of Appeals meeting ADJOURNED at 9:26 p.m.

Respectfully submitted,

---

Michael Bossenbroek, Chair

---

Paul Evans, Zoning & Compliance Specialist



## ZONING BOARD OF APPEALS – OPENING STATEMENT

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## PROCEDURE

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After the applicant makes their presentation, and answers any questions that the Board may have, the Chairperson will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairperson, come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next-door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairperson. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairperson to speak at one time.

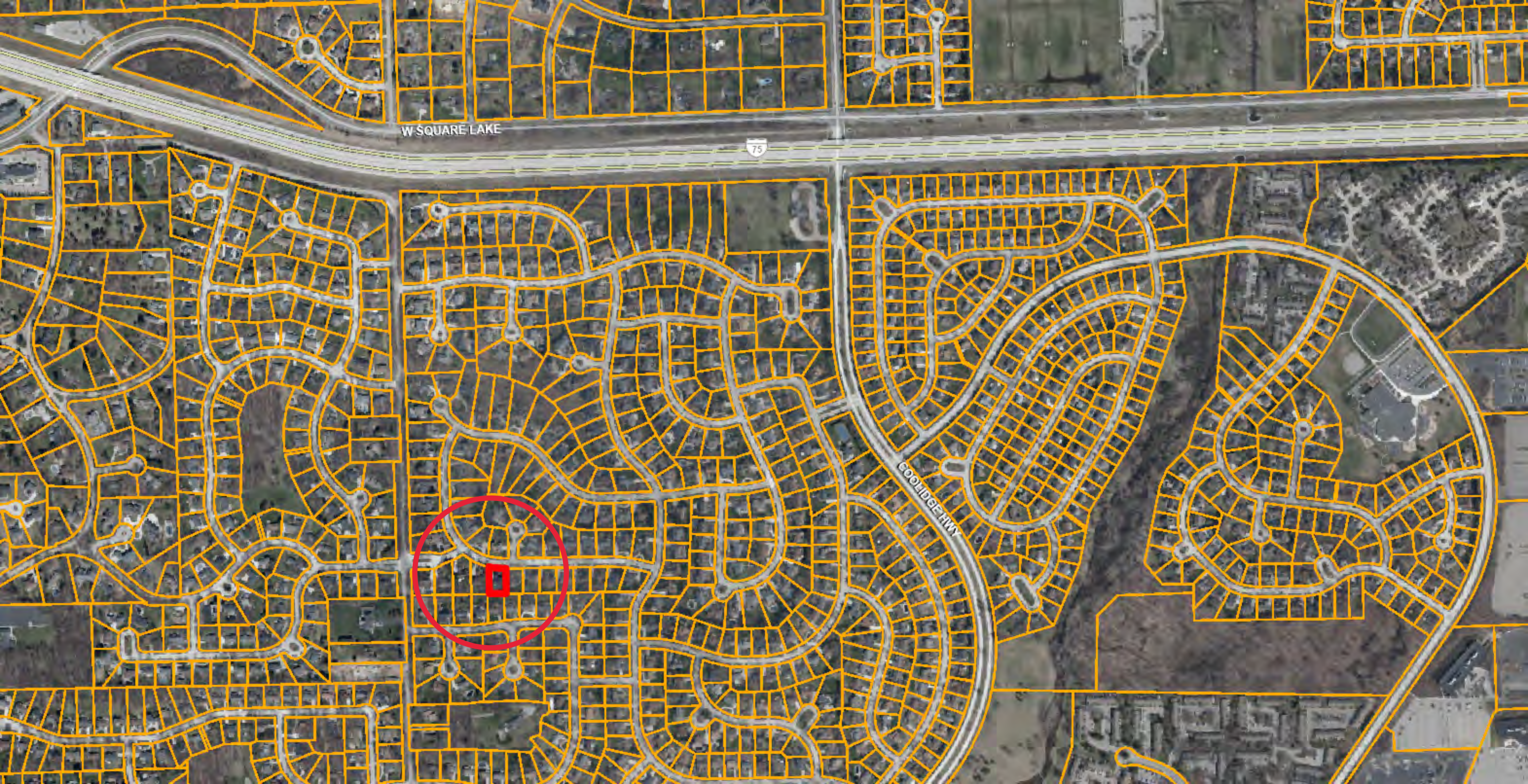
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- A. 2385 Oak Ridge, Aaron Wolf for MW Homes LLC - A variance request to allow a home addition to be setback 37 feet from the rear property line. The Zoning Ordinance requires a 45 foot setback from the rear property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning





W SQUARE LAKE

75

COOLIDGE HWY





2433

2400

2386

2370

2356

2348

2340

FOX CHASE

OAK RIDGE

2419

2417

2409

2401

2393

2385

2377

2369

2361

2353

2345

2506

2484

2462

2440

2418

2396

2374

2352

2330

2308

RIDGE





(R-1A)  
2433

(R-1A)

2400

2386

2370

2356

2348

2340

FOX CHASE

OAK RIDGE

2419

2417

2409

2401

2393

2385

2377

2369

2361

2353

2345

(R-1A)

(R-1B)

2506

2484

2462

2440

2418

2396

2374

2352

2330

2308

(R-1A)

RIDGE





**2401**

**2393**

**2385**

**2377**

**2369**

**236**

OAK RIDGE





CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: \_\_\_\_\_
2. PROPERTY TAX IDENTIFICATION NUMBER(S): \_\_\_\_\_
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: \_\_\_\_\_
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: \_\_\_\_\_
5. APPLICANT:  
NAME \_\_\_\_\_  
COMPANY \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
PHONE \_\_\_\_\_  
E-MAIL \_\_\_\_\_  
AFFILIATION TO THE PROPERTY OWNER: \_\_\_\_\_





CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME Buchanan

COMPANY \_\_\_\_\_

ADDRESS 2385 Oak Ridge

CITY Troy

STATE MI

ZIP 48098

TELEPHONE 2487898297

E-MAIL tomb4749@gmail.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Aaron Wolf (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE

DATE 7/6/25

PRINT NAME: Aaron Wolf

PROPERTY OWNER SIGNATURE

DATE 7/6/25

PRINT NAME:

Thomas A. Buchanan

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.





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## Zoning Board of Appeals Application

### ZONING BOARD OF APPEALS APPLICATION CHECKLIST

**Please provide the following in digital format. You may e-mail them to [planning@troymi.gov](mailto:planning@troymi.gov) or submit them on flash drive.**

- ✓ Completed application
- ✓ Statement of practical difficulty see page 3
- ✓ Plot plan or survey showing property lines, existing and proposed buildings, their dimensions and locations (height, length, width, as applicable). SEALED SURVEY required for lot area or dimension requests.
- ✓ Setbacks from property lines
- ✓ Elevation drawings
- ✓ Photos as necessary to accurately describe the request, including existing and proposed property conditions
- ✓ Any other information that explains the request
- ✓ Incomplete applications cannot be accepted



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**Statement of practical difficulty for proposed addition and  
requested rear setback variance at 2385 Oak Ridge  
(Answers below in bold)**

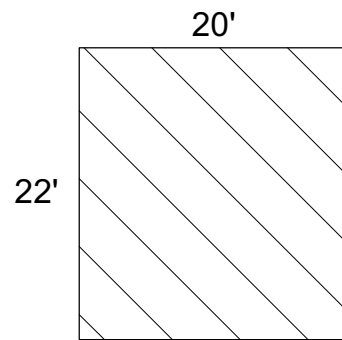
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- 
- a. An exceptional characteristic for the property is the existing topography. The grading that was created when built and position of the home, more specifically. The position of the home on the lot is both farther from and closer to the rear setback versus neighbors on either side (2377 is closer to rear setback and 2393 is farther from it). Drainage has been a problem, since the home was built, in the proposed area. The proposed improvement provides an opportunity to concurrently improve the drainage on the property.**
  - b. The location in question is the location where the variance is sought, not another.**
  - c. Nothing of existing conditions is of a personal nature.**
  - d. The lot lines/setbacks were not caused by the current owner.**
  - e. The proposed variance will not be harmful or alter the area, whether near neighbors or the city, in any significant way, including but not limited to view obstructions, public health or safety.**



Other items of note that may or may not be significant to the proposal:

1. The addition will be consistent with other improvements to the rear of some of the homes on Oak Ridge.
2. The addition will add value to the home.
3. The site lines of the addition will not impact the neighbors. The North is blocked with existing trees. New plantings around the addition will help with new site lines, fortify existing foliage, and improve the overall aesthetics.
4. Removal of one of the large walnut trees is planned. This tree was evaluated by a tree service this spring and there is a level of concern that some truck work that was done by the previous owner was not done correctly. The tree is slowly rotting and will become a danger to the home and neighbors. Removal of the tree, with this addition, eliminates the concern and avoids pushing the removal out to a future, more costly project.

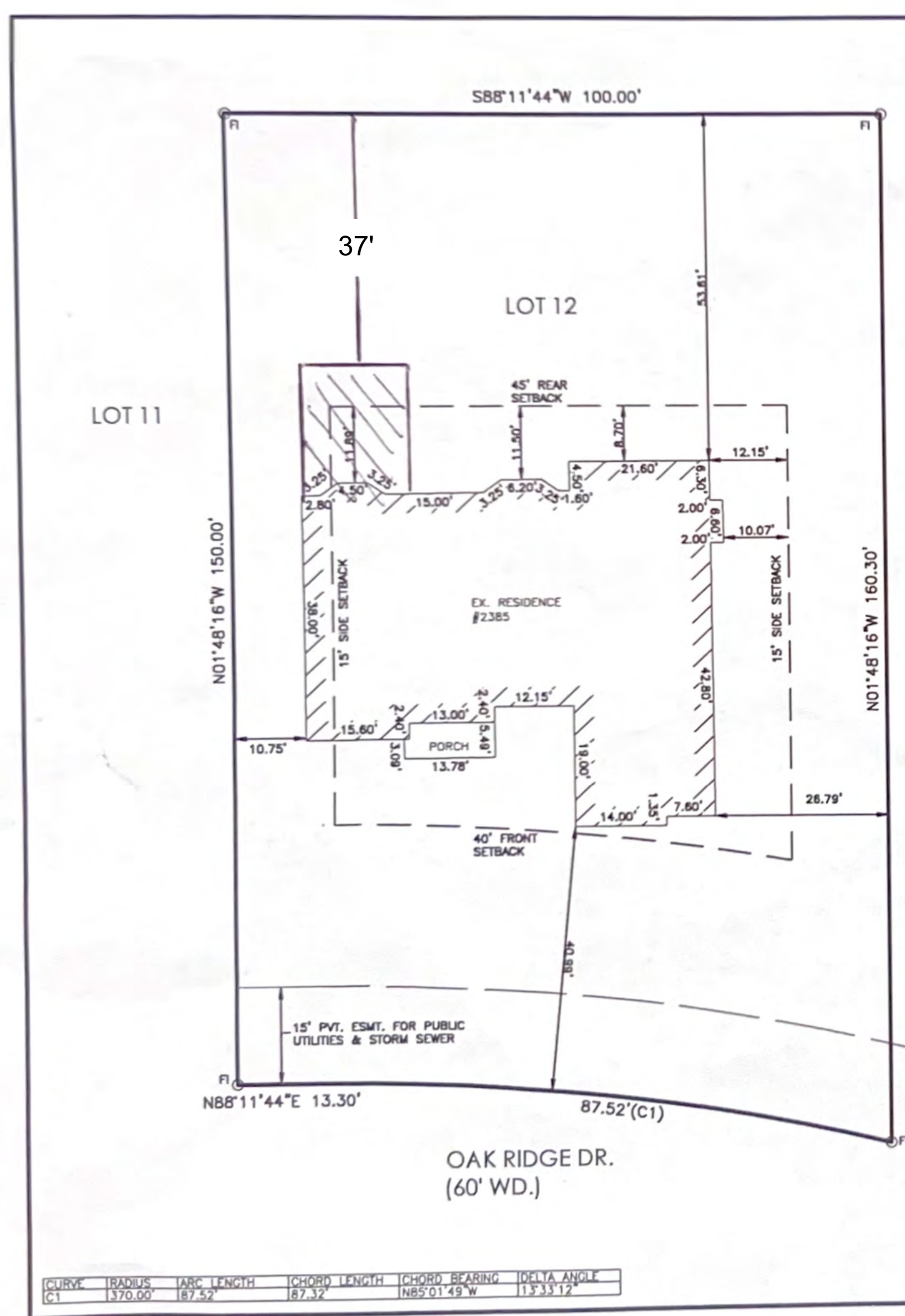




-- Proposed  
new addition

20 x 22  
440 sq ft

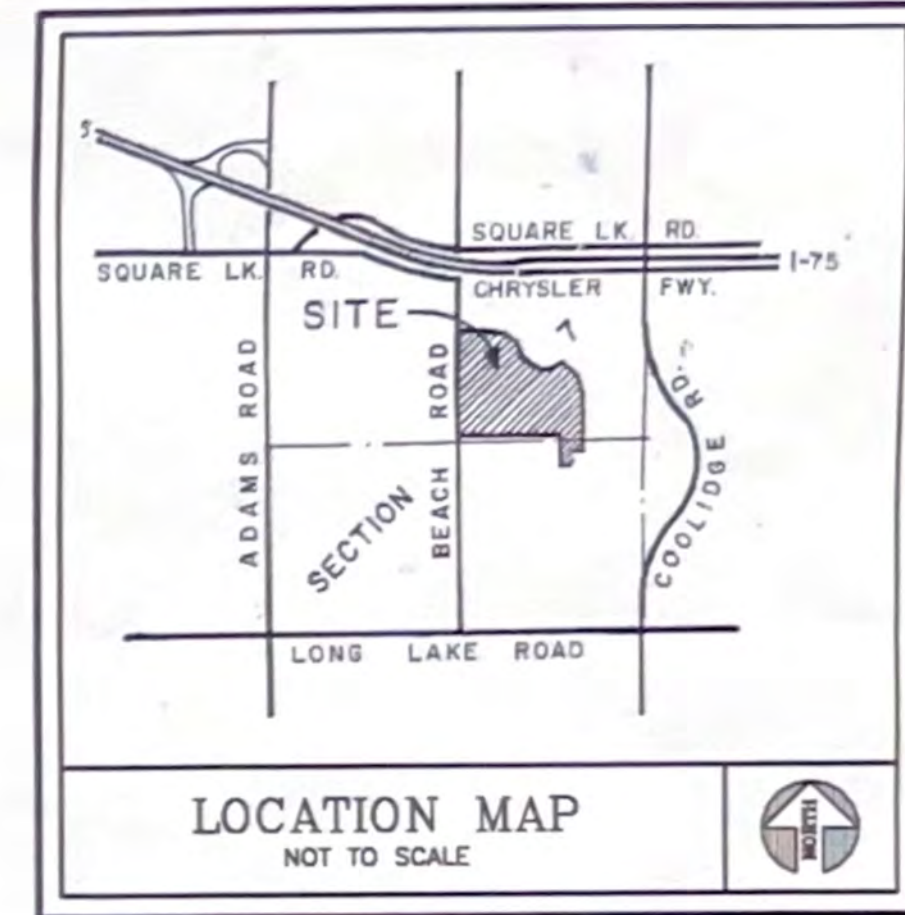
37' setback  
from rear



LOT 13

NOTE: SETBACKS AS SHOWN ON THIS DRAWING WERE OBTAINED FROM THE MUNICIPALITY. IT IS THE RESPONSIBILITY OF THE CLIENT TO INSURE THAT THIS INFORMATION IS CORRECT. SINCE DEED RESTRICTIONS ARE NOT SUPPLIED BY THE MUNICIPALITY, THE CLIENT MUST INFORM THIS OFFICE OF ANY SPECIAL RESTRICTIONS WHICH MAY AFFECT THIS DRAWING.

Property Description  
T2N, R11E, SEC 7 BEACH FOREST SUB LOT 12 12-2-87 FR 201-004



Utility Information, as shown, indicates the approximate locations and types of utilities as disclosed to this firm by various utility company's marking(s) and/or plans provided. No guarantee is provided or implied as to the existence, accuracy, or completeness of any utilities. All locations and depths of any utilities that may exist shall be verified in the field by others prior to the start of construction. Extreme caution shall be utilized during construction when operating near overhead and/or buried utilities.

CALL MISS DIG



Know what's below.

72 HOURS (3 WORKING DAYS - EXCLUDING SAT., SUN. & HOLIDAYS)

CALL MISS DIG

1-800-482-7171

OR

811

(TOLL FREE) FOR THE LOCATION OF UNDER GROUND FACILITIES

ADDRESS: 2385 OAK RIDGE DR

PID: 20-07-253-005

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### REVISIONS



**Fenn & Associates, Inc.**  
Land Surveying and Civil Engineering  
14933 Commercial Drive, Shelby Township, MI 48315  
Phone: 586-254-9577 Fax: 586-254-9020 www.fennsurveying.com

SCALE: 1" = 20'	FIELD: VA, MS	SHEET SIZE: 11 X 17	DRAWN: R.PERRI
DATE: 7/19/23	CHECKED: JSR, PE		
LOT SURVEY UPON 2385 OAK RIDGE DR PART OF THE E 1/2 OF SECTION 7, T2N, R11E TROY, OAKLAND COUNTY, MICHIGAN			
CLIENT: MACLEISH BUILDING			DRAWING NUMBER: 23-00230

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
2385 Oak Ridge Dr.  
Troy, MI 48098

PROJECT DESCRIPTION:  
Proposed addition  
for Golf Simulator.

DRAWINGS PROVIDED BY:  
MW Homes LLC.  
Matthew Wolf

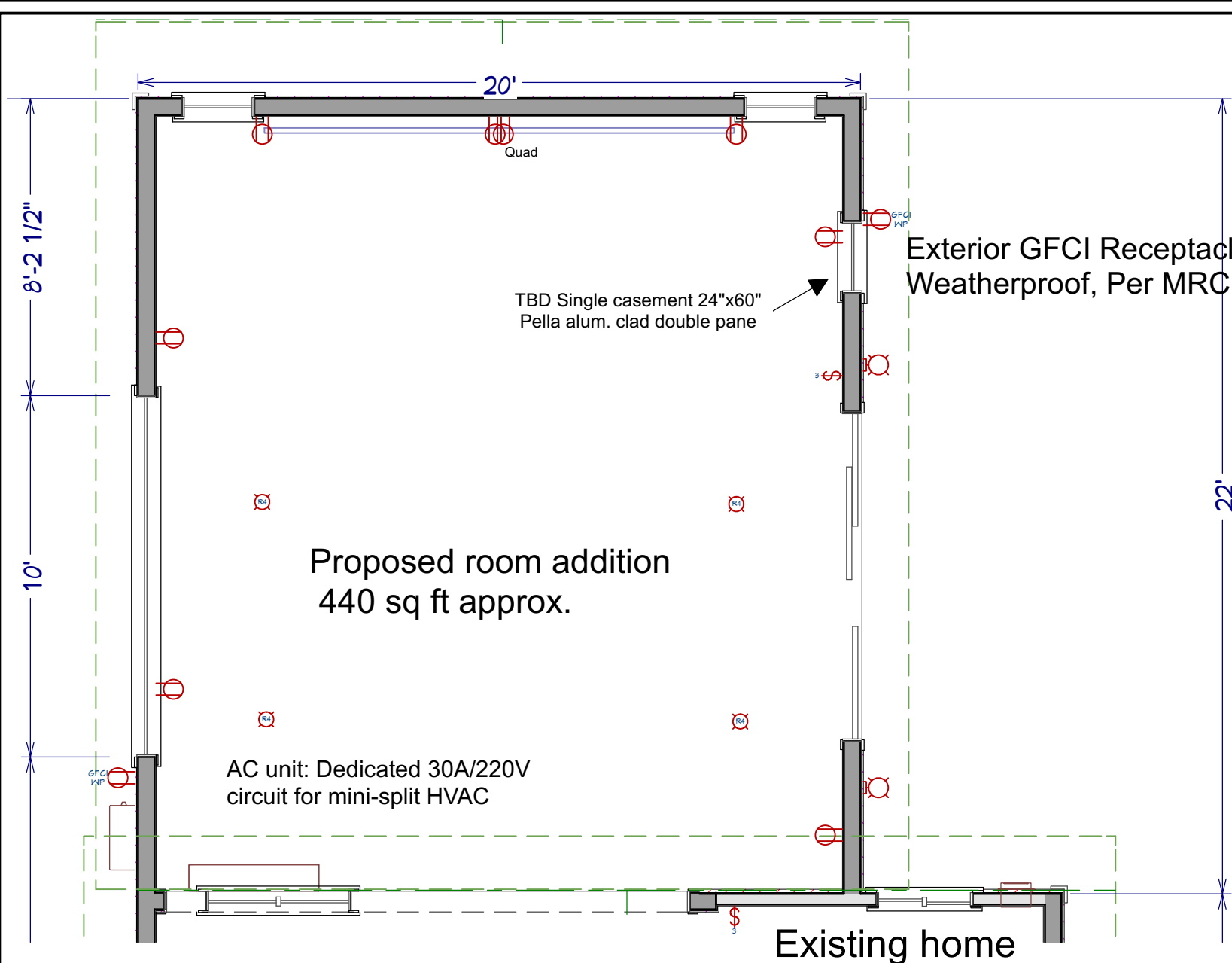
DATE:

SCALE:

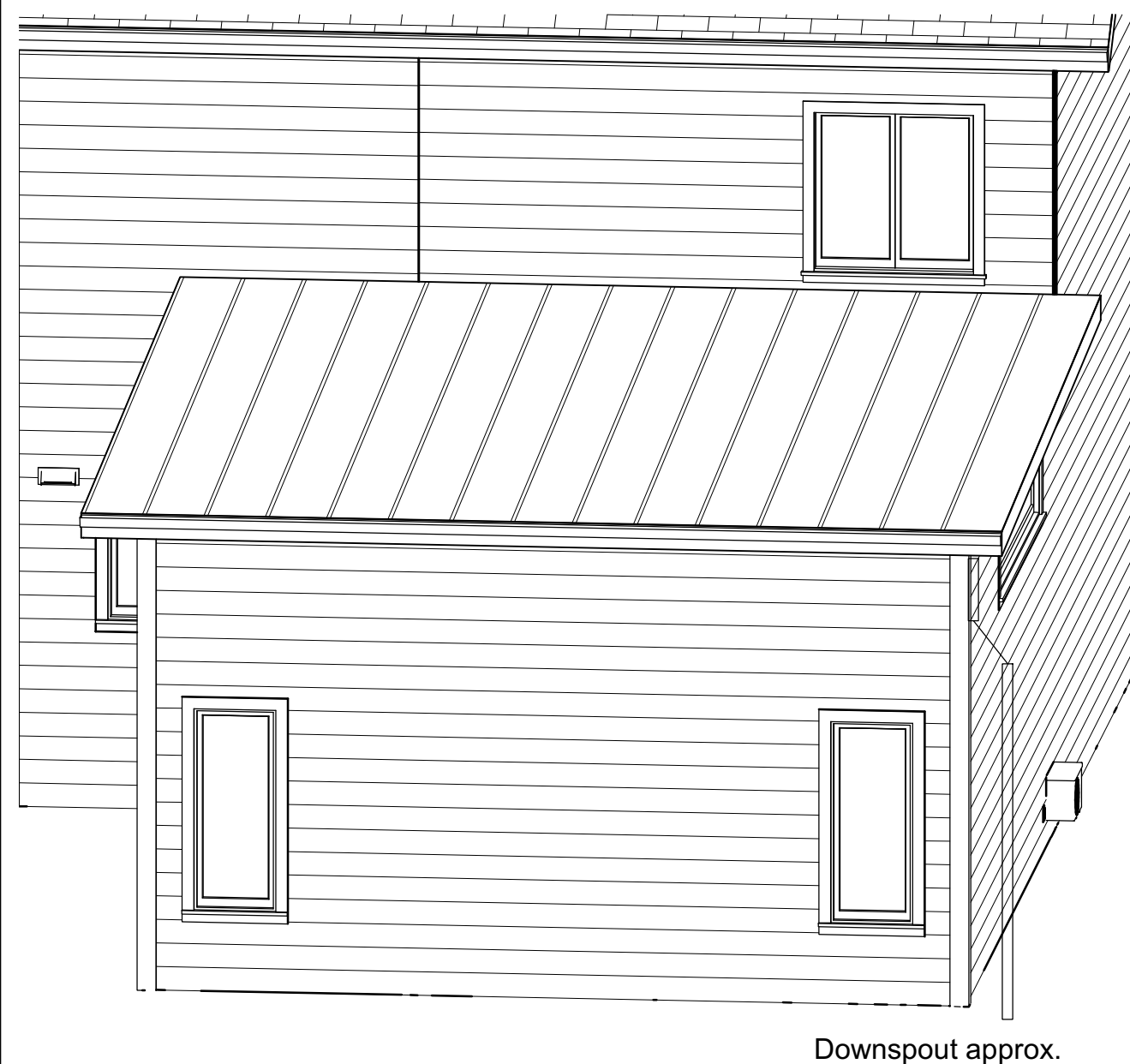
SHEET:

A-3





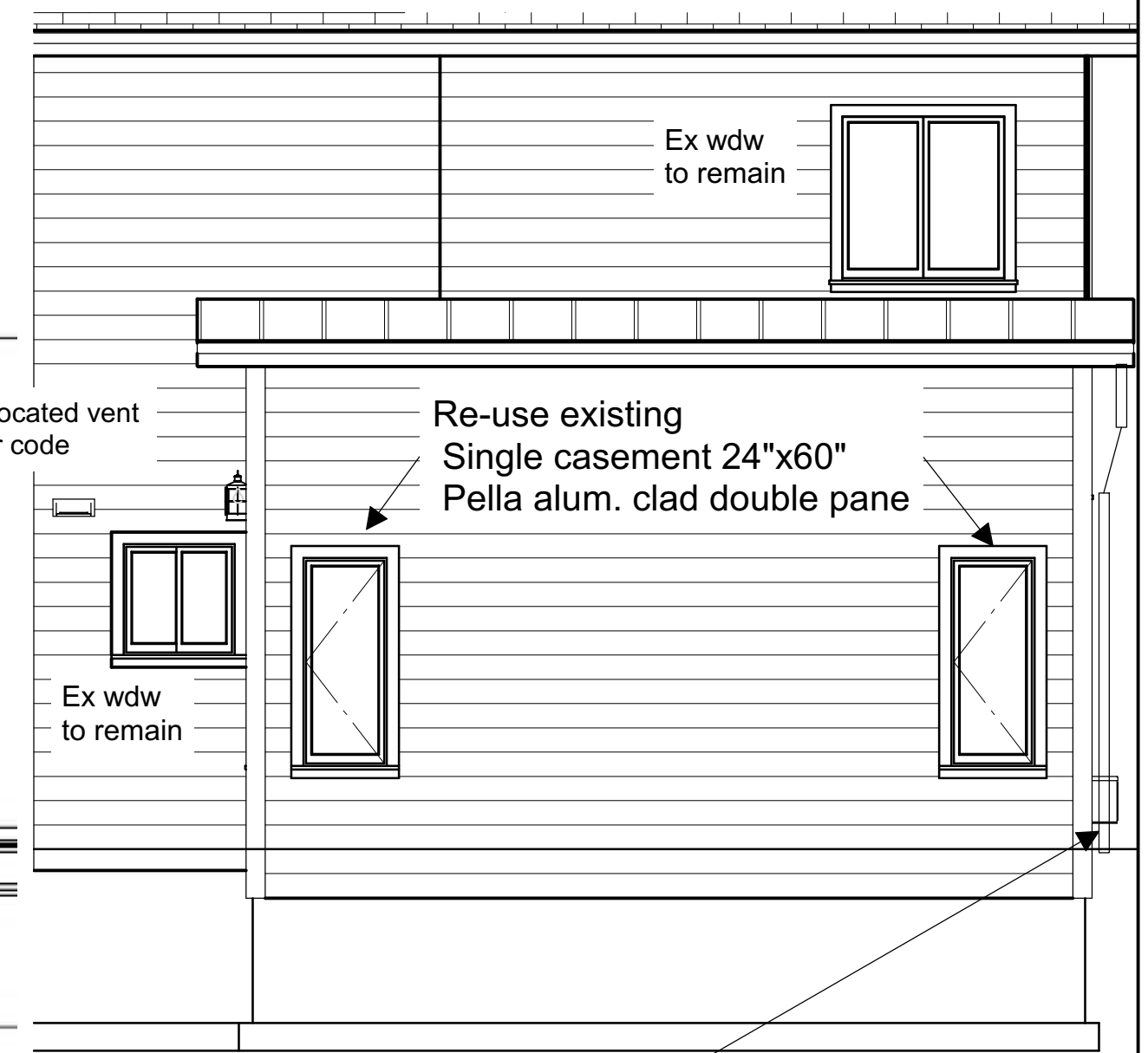
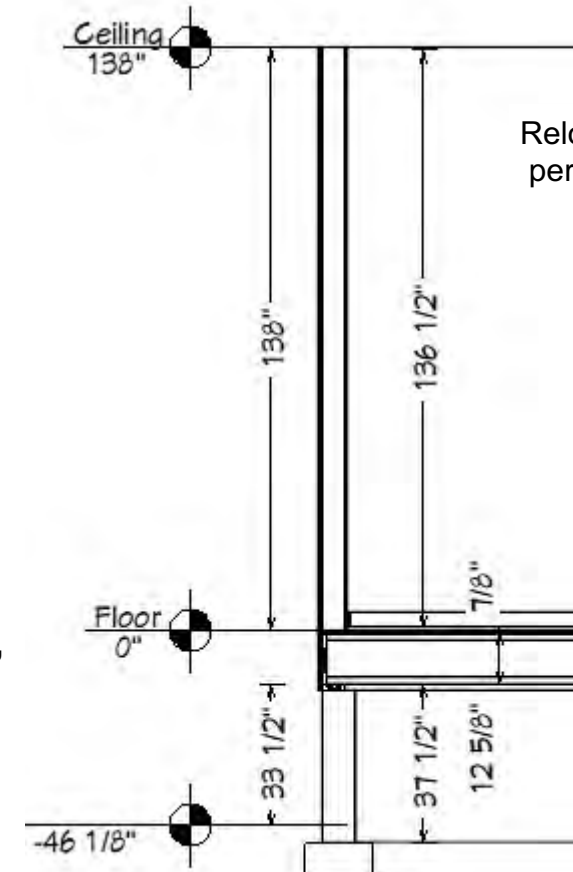
- Connect ledger and rafters at 13' on existing wall.
- Exterior 8.25" lap siding James Hardie w/ 6" corner trim
- 60A Feed, 12 Circuit Panel added to basement
- Interior lights dimmable recessed 6" cans, 3-way switches at entrances.
- SIM power: Dedicated 20A/120V circuit with isolated grounding
- Insulate walls R21, ceiling R38.



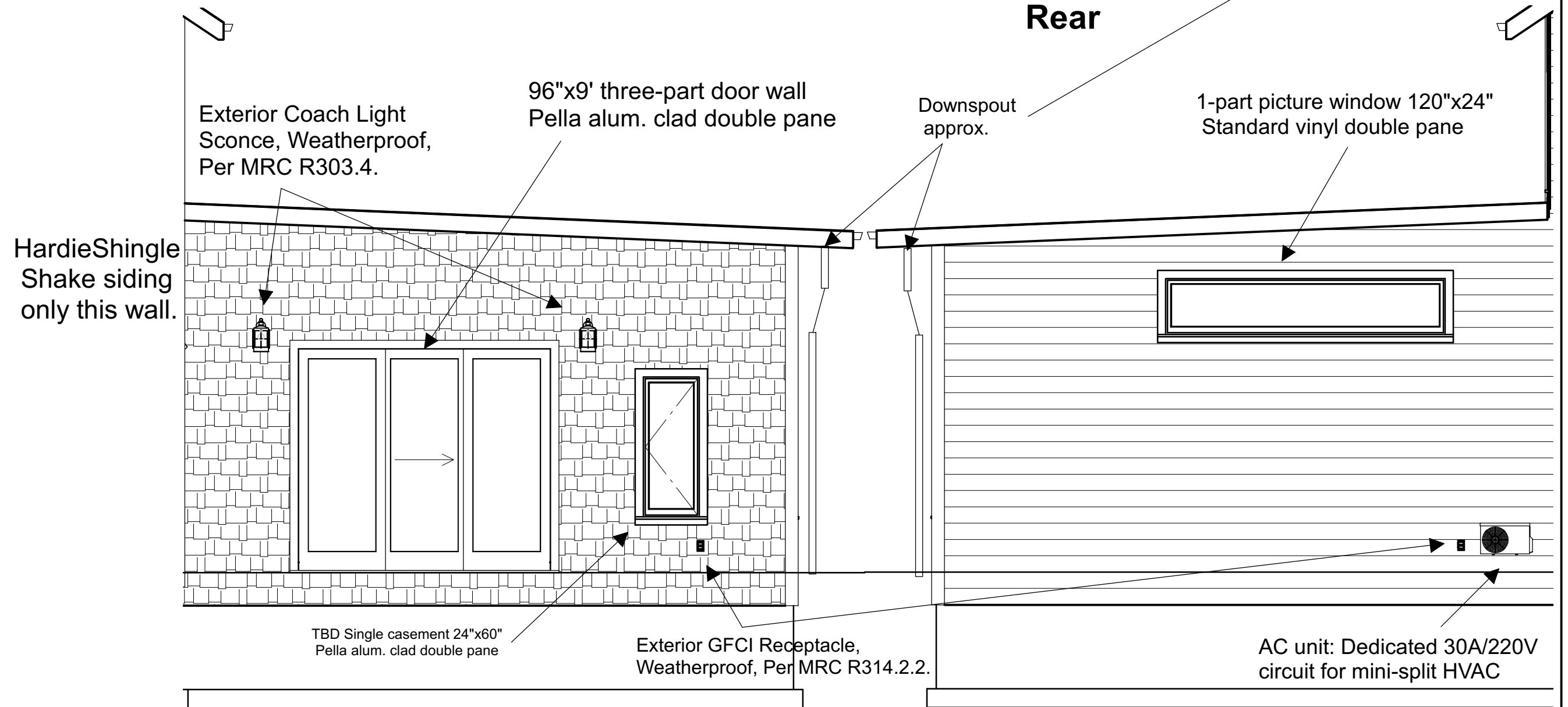
Downspout approx.

## Proposed Elevations:

24" Trench Footing,  
8" CMU Foundation,  
Compacted Fill,  
4" Concrete Slab,  
Reinforcing per Design,  
Comply with  
MRC R404 & R506.



Rear



Right

Left

Roofing: Standing seam  
dark bronze metal panels.  
Sheathing: 5/8" CDX plywood,  
APA-rated, exterior-grade.  
Secured with corrosion-resistant  
fasteners per IRC R905.2.  
Designed and installed per  
Michigan Residential Code (MRC)  
2015, Chapter 9, and Michigan  
Building Code (MBC) 2015, Chapter 15.

NO.	DESCRIPTION	BY	DATE

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:	2385 Oak Ridge Dr. Troy, MI 48098
--------------	--------------------------------------

PROJECT DESCRIPTION:	Proposed addition for Golf Simulator.
----------------------	--

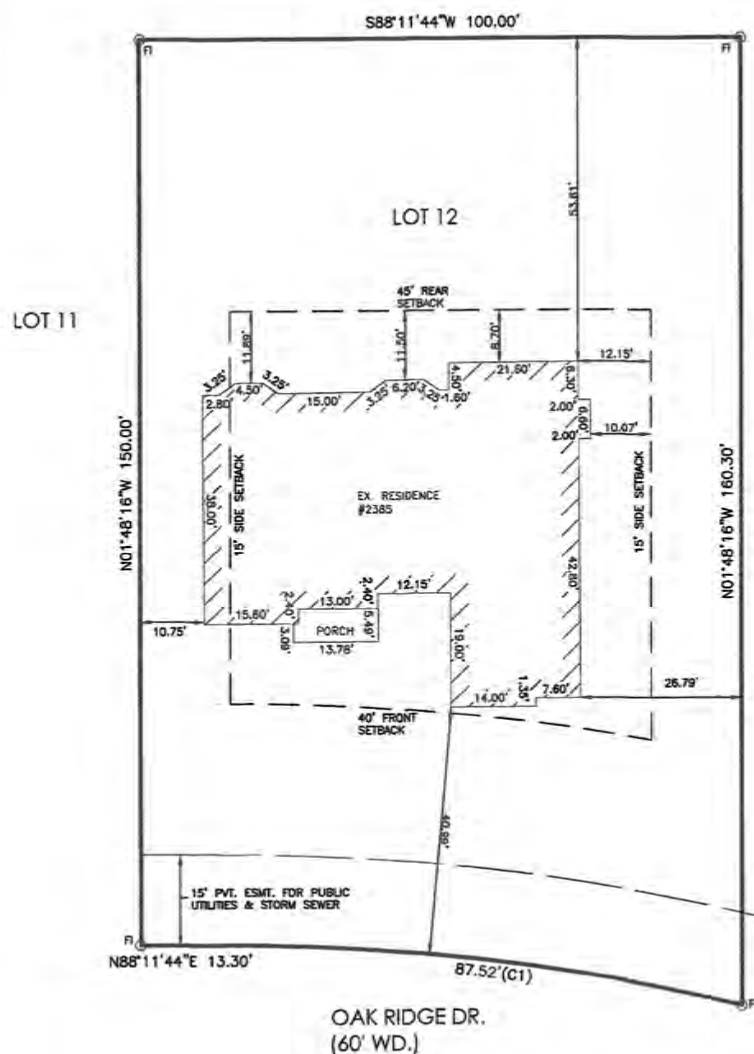
DRAWINGS PROVIDED BY:	MW Homes LLC. Matthew Wolf
-----------------------	-------------------------------

DATE:	
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SCALE:	1/4" = 1'-0"
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SHEET:	A-1
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LOT 13

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72 HOURS (3 WORKING DAYS - EXCLUDING SAT., SUN. & HOLIDAYS)



CALL MISS DIG

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OR

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## REVISIONS



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FIELD: VA, MS

SHEET SIZE

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11 X 17

R.PERRI

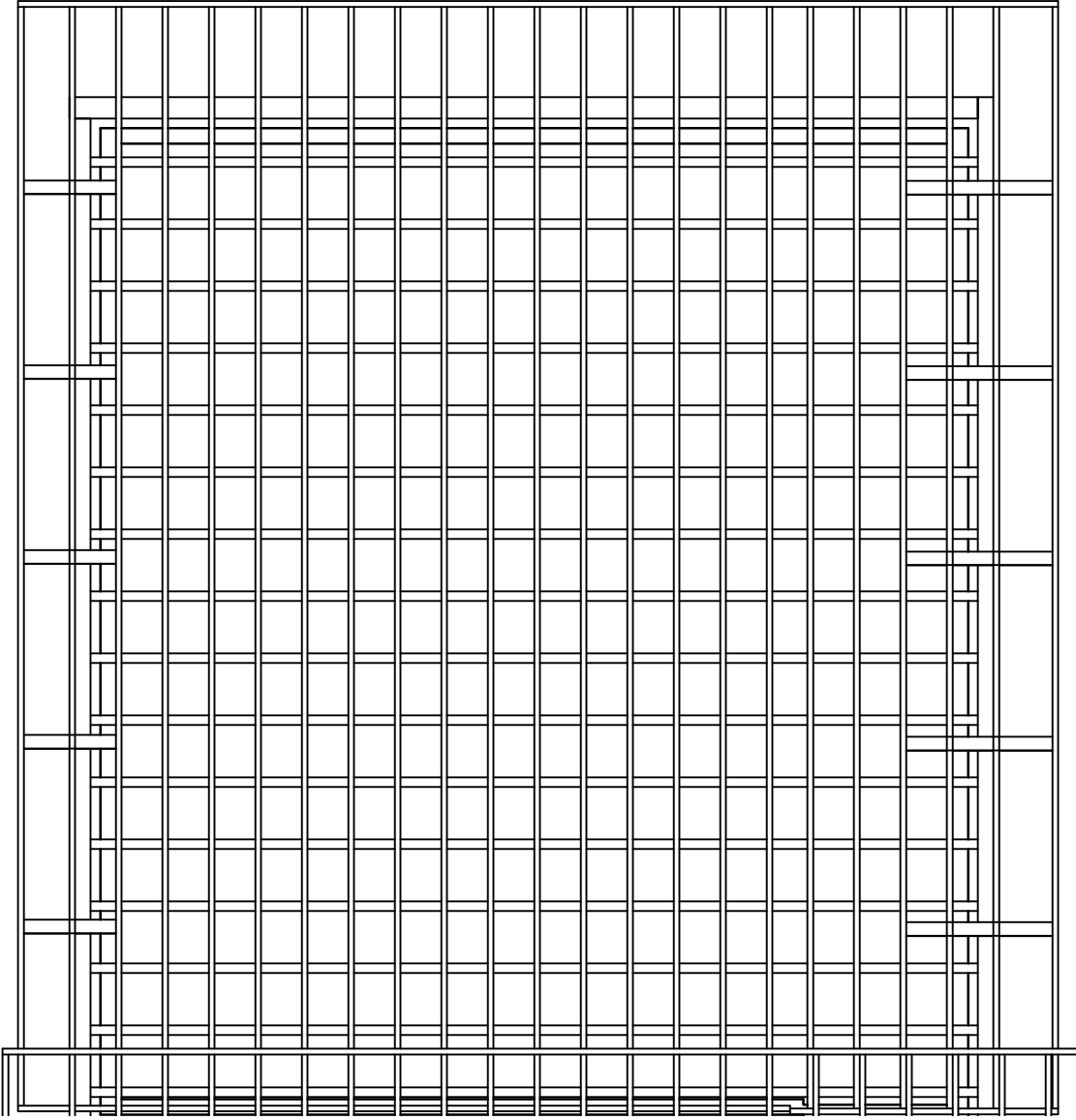
LOT SURVEY UPON 2385 OAK RIDGE DR  
PART OF THE E 1/2 OF SECTION 7, T2N, R11E  
TROY, OAKLAND COUNTY, MICHIGAN

CLIENT: MACLEISH BUILDING

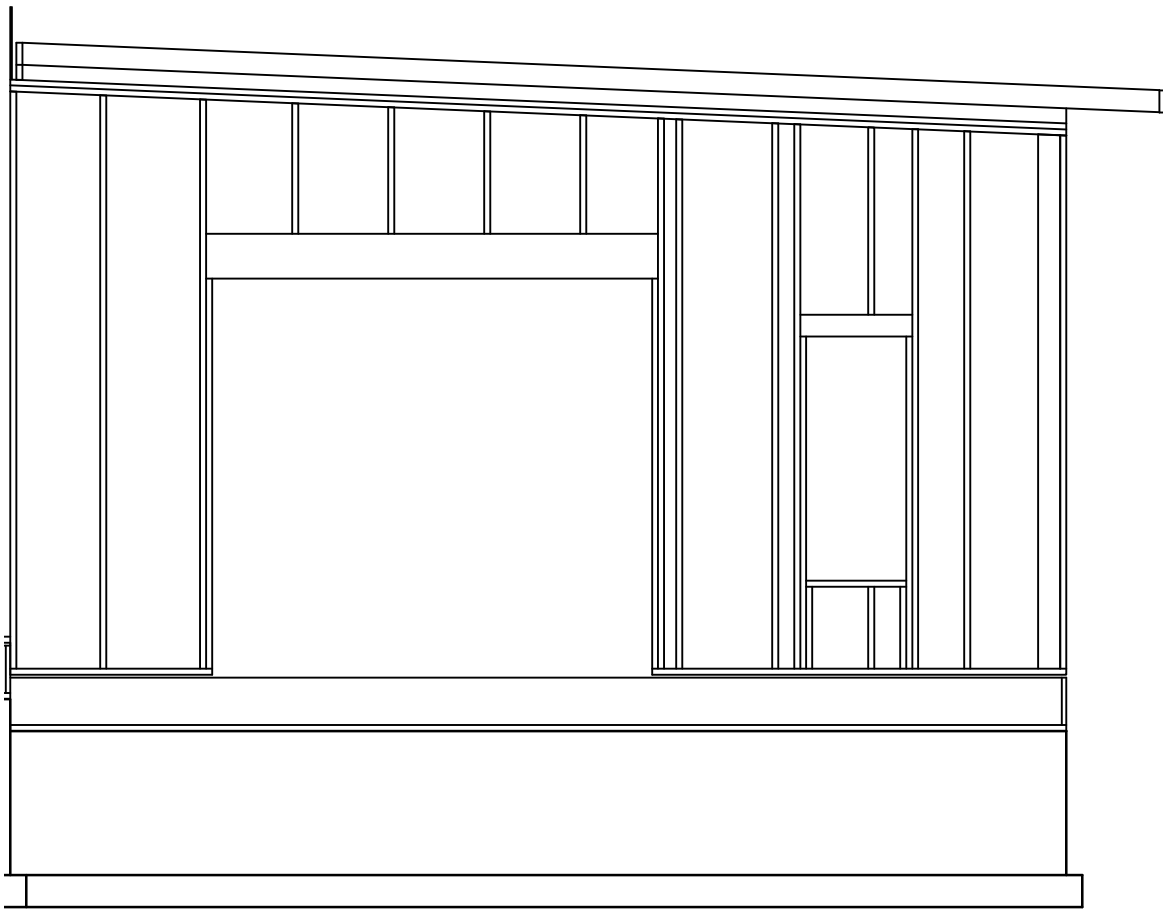
DRAWING NUMBER:  
23-00230

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	370.00'	87.52'	87.52'	N85°01'49"W	13°33'12"

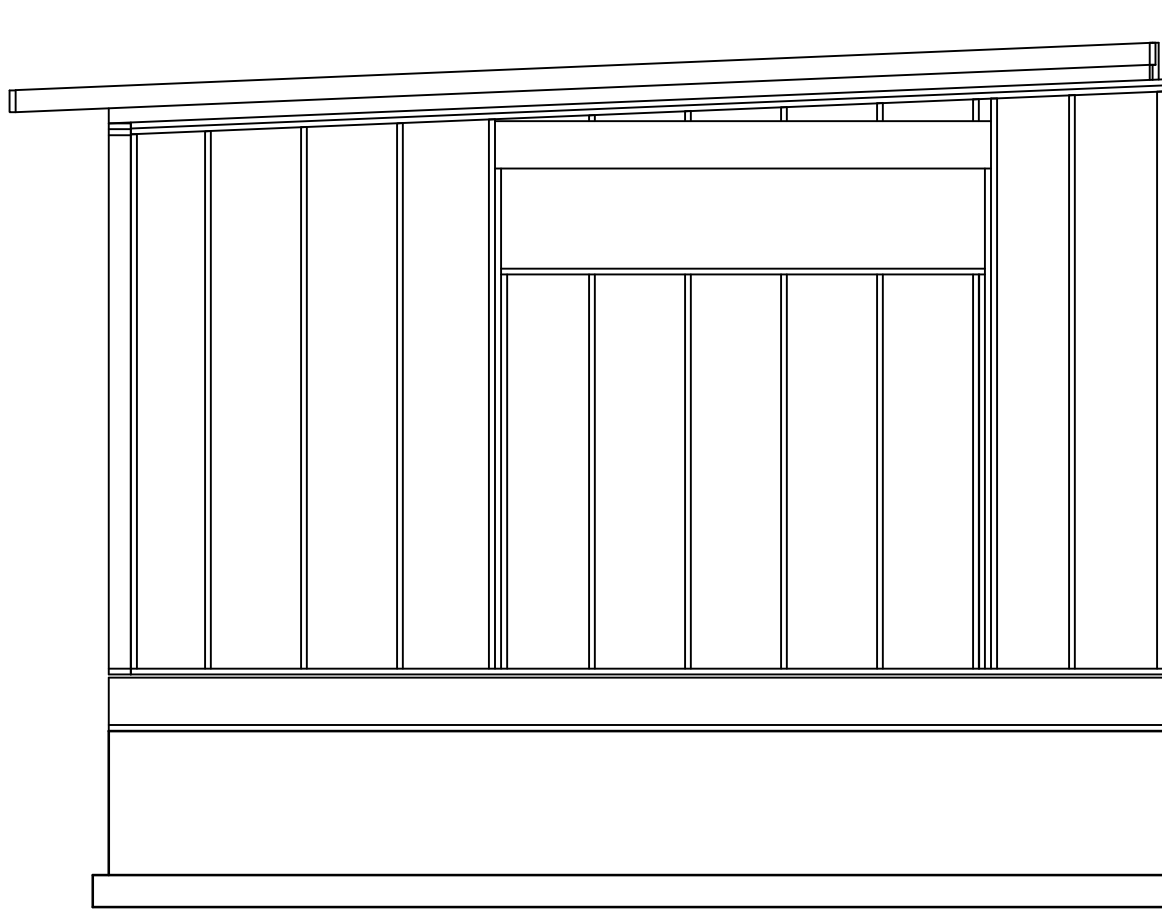




Proposed room addition  
Roof & Floor Plan

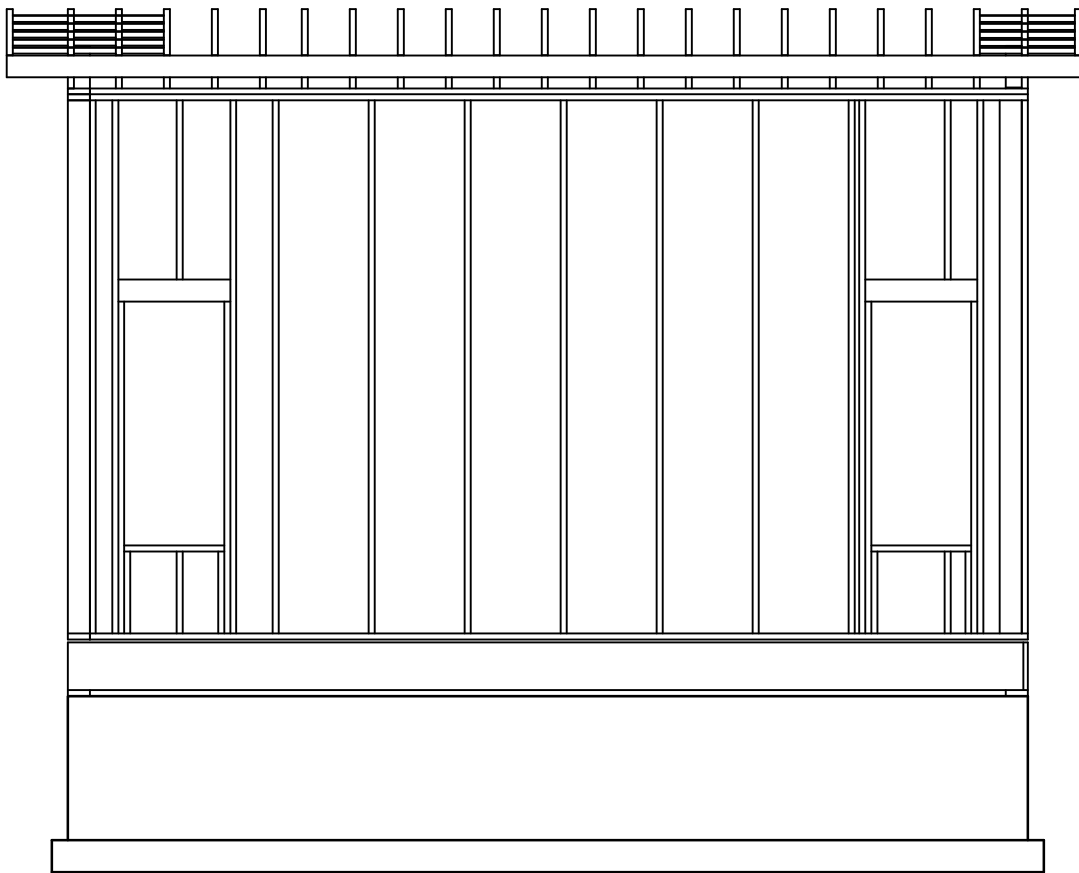


Right



Left

1. General Requirement: Framing shall comply with Michigan Residential Code (MRC) 2015, Chapter 6 (Wall Construction) and Chapter 8 (Roof-Ceiling Construction). All lumber shall be graded, stamped, and meet MRC R602.1 and R802.1 (e.g., No. 2 or better, Douglas Fir-Larch, Hem-Fir, or Southern Pine). Design loads: Per MRC Table R301.2(1), assume minimum ground snow load of 30 psf (adjust for local conditions, e.g., 50-70 psf in Upper Peninsula), wind speed 115 mph (3-second gust), and seismic design category A or B (per local jurisdiction).
2. Exterior Wall Framing (2x6): Material: 2x6 nominal lumber, minimum No. 2 grade, at 16 inches or 24 inches on-center (o.c.), per MRC Table R602.3(5). Studs:Maximum height: 10 feet for 16-inch o.c., 12 feet for 24-inch o.c. (MRC Table R602.3.1), unless engineered design provided. Single bottom plate and double top plate, with 1/2-inch overlap at corners and intersections (MRC R602.3.2). Notch and bore limits: Per MRC R602.6, notches ≤25% of stud depth, holes ≤40% of stud depth, centered, and not in same section as notches. Headers:For spans ≤8 feet, use double 2x6 headers with 1/2-inch plywood or OSB spacer for openings in load-bearing walls (MRC Table R602.7.1). Fasten headers per MRC Table R602.3(1) (e.g., 16d nails, 3 at each end). Wall Bracing: Provide braced wall lines per MRC R602.10, using Method WSP (wood structural panel sheathing, minimum 3/8-inch plywood or OSB). Braced wall panels: Minimum 48 inches wide, located at corners and within 12.5 feet of wall line ends, spaced ≤20 feet o.c. (MRC R602.10.2). Fastening: 6d nails (common or galvanized box) at 6 inches o.c. at edges and 12 inches o.c. in field (MRC Table R602.3(1)). Sheathing:Minimum 7/16-inch OSB or 15/32-inch plywood, fastened per MRC Table R602.3(3). Cover with water-resistive barrier (e.g., asphalt felt or house wrap) per MRC R703.2.
3. Roof Framing (2x10 Rafters): Material: 2x10 nominal lumber, minimum No. 2 grade, at 16 inches or 24 inches o.c., per MRC Table R802.5.1(1). Rafter Design: Span: Per MRC Table R802.5.1(1) for ground snow load (e.g., 30 psf, live load 20 psf, dead load 10 psf). For 16-inch o.c., 2x10 Douglas Fir-Larch No. 2 spans up to 19 feet 7 inches (L/240 deflection). Verify spans for local snow loads (e.g., 50 psf in northern Michigan). Slope: Minimum 0.25:12 for standing seam metal roof (per MBC 1507.4.2, cross-referenced from previous query). Connections: Rafters to ridge: Toe-nail with 3-16d nails per side or use metal hurricane ties (MRC Table R802.5.1(9)). Rafters to top plate: Toe-nail with 3-16d nails per side or use metal rafter ties per MRC R802.3.1.Collar ties: 2x4 minimum, every 4 feet o.c., nailed with 3-10d nails per end, located in upper third of attic (MRC R802.3.2). Ceiling joists: 2x6 or 2x8 (per load and span, MRC Table R802.4(1)), tied to rafters with 3-10d nails per end (MRC R802.3.1). Notching and Boring: Notches at ends ≤1/4 of rafter depth; notches elsewhere ≤1/6 of depth. Holes ≤1/3 of depth, centered, ≥2 inches from edges (MRC R802.7.1). Roof Sheathing: Minimum 15/32-inch plywood or 7/16-inch OSB, fastened with 8d nails at 6 inches o.c. at edges and 12 inches o.c. in field (MRC Table R602.3(1)). Install H-clips between supports for spans >16 inches o.c. (MRC R803.2.2)
4. Anchorage and Fastening: Sill Plates: Anchor to foundation with 1/2-inch diameter anchor bolts at 6 feet o.c. and within 12 inches of corners, embedded ≥7 inches into concrete or masonry (MRC R403.1.6). Fasteners: Per MRC Table R602.3(1), use 16d common nails for framing connections unless specified otherwise (e.g., 8d for sheathing). Metal Connectors: Use corrosion-resistant (galvanized or stainless steel) hurricane ties, straps, or clips where required for wind uplift resistance (MRC R602.10.8).



Rear

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:	2385 Oak Ridge Dr. Troy, MI 48098
--------------	--------------------------------------

PROJECT DESCRIPTION:	Proposed addition for Golf Simulator.
----------------------	--

DRAWINGS PROVIDED BY:	MW Homes LLC. Matthew Wolf
-----------------------	-------------------------------

DATE:	
-------	--

SCALE:	1/4" = 1'-0"
--------	--------------

SHEET:	A-2
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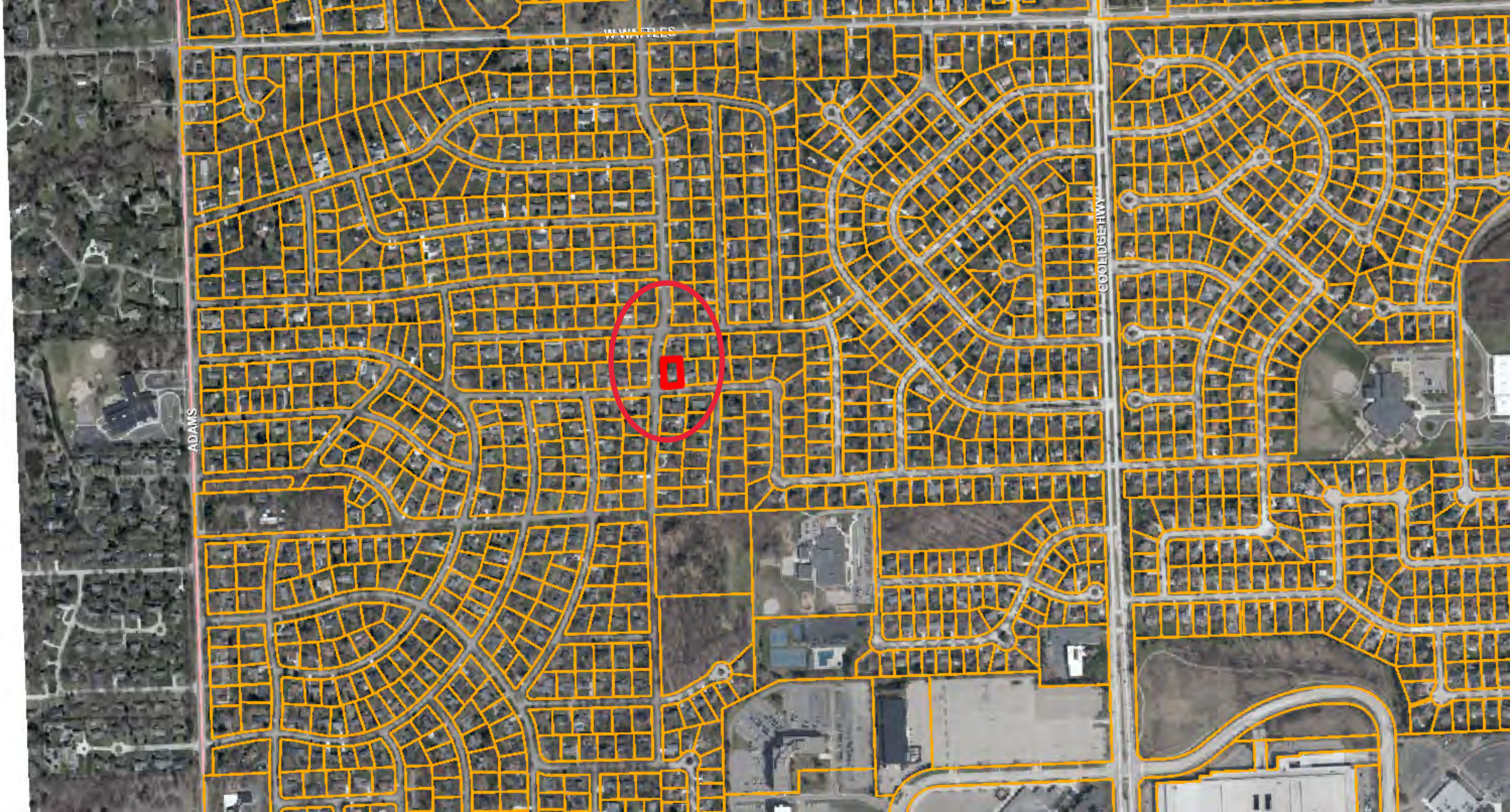




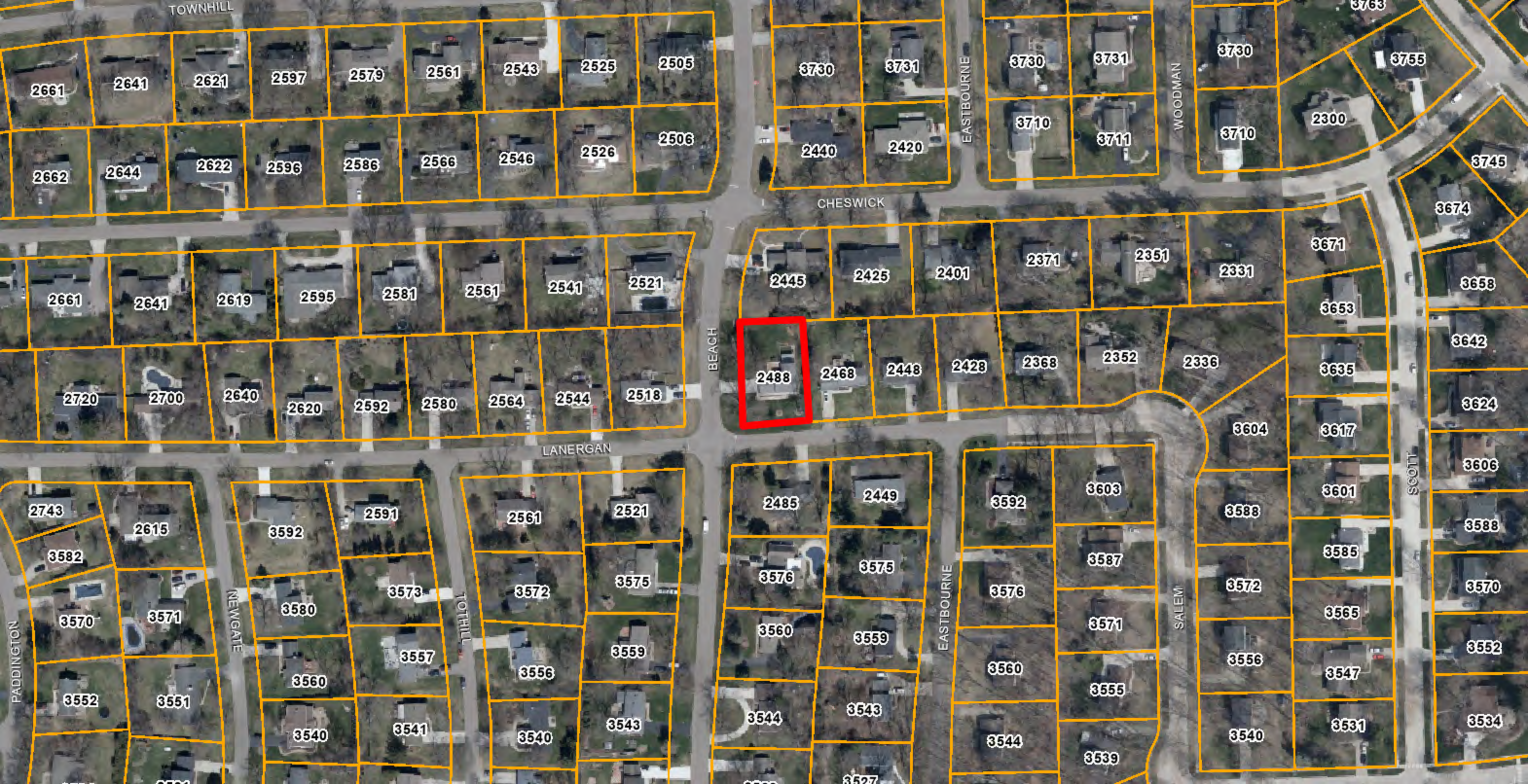
B. 2488 Lanergan, Bryan Rouhan for Mainstreet Design Build - A variance request to allow a home addition to be setback 19.5 feet from the front (Beach Road) property line. The Zoning Ordinance requires a 40 foot setback from the front property line.

ZONING ORDINANCE SECTION: 4.06 C, R-1B Zoning









TOWNHILL

2661 2641 2621 2597 2579 2561 2543 2525 2505

2662 2644 2622 2596 2586 2566 2546 2526 2506

2661 2641 2619 2595 2581 2561 2541 2521

2720 2700 2640 2620 2592 2580 2564 2544 2518

2743 2615 3582 3570 3571

3552 3551

3540 3541

3540 3543

3592 2591 3573 3580 3557 3560

3572 3575 3559 3556

3540 3541

3540 3543

2561 2521 3572 3575

3559 3556

3540 3543

3540 3543

3730 3731

2440 2420

CHESWICK

2445 2425 2401 2371 2351 2331

2488 2468 2448 2428 2368 2352 2336

2485 2449

3576 3575

3560 3559

3544 3543

3527

3730 3731

3710 3711

3730 3731

3710 3711

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3710

3763 3755

2300

3710

3671

3653

3635

3604

3617

3601

3588

3572

3556

3547

3745

3674

3658

3642

3624

3606

3588

3570

3552

3534

3534

EASTBOURNE

WOODMAN

SCOTT

NEWGATE

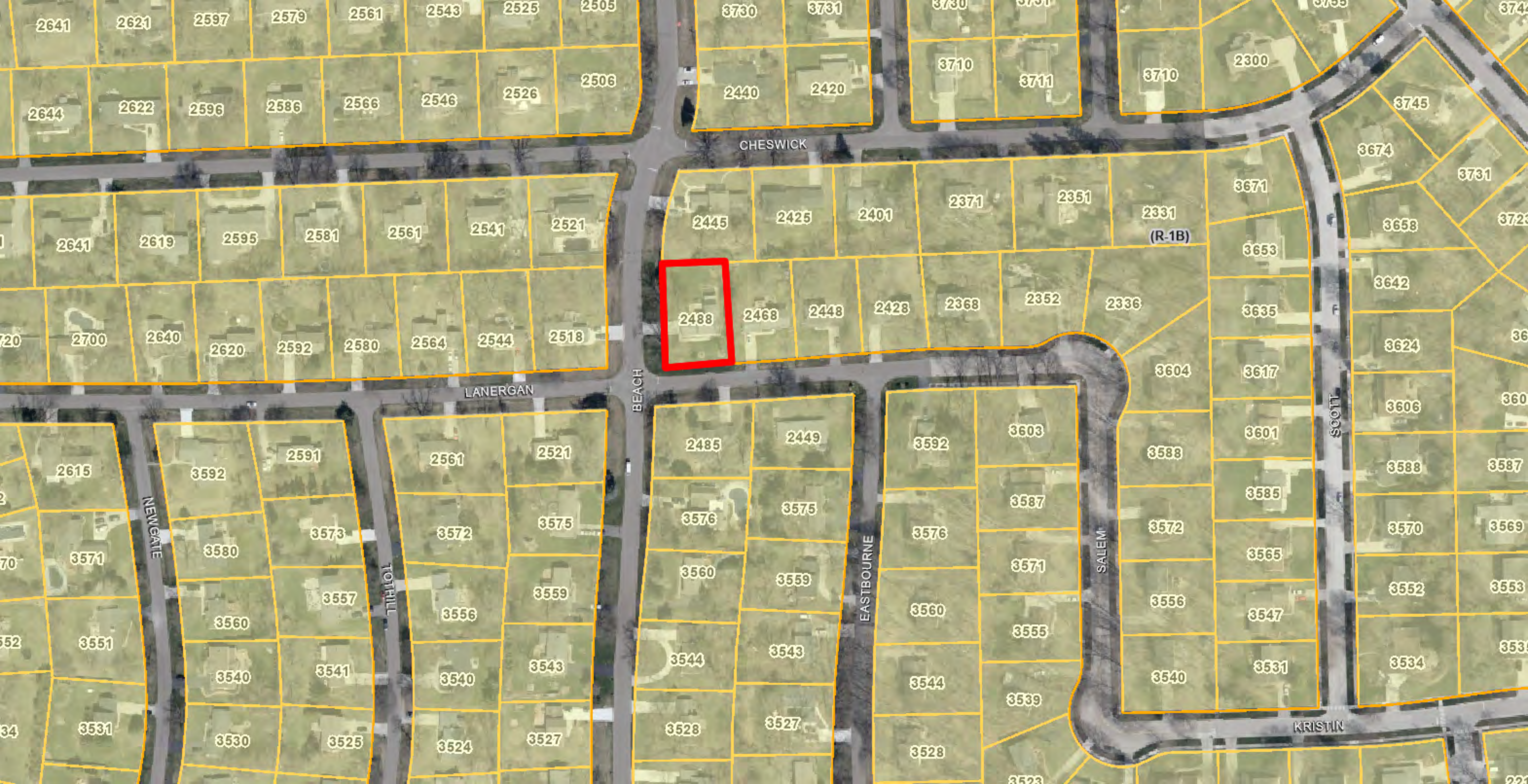
TOTTHILL

EASTBOURNE

SALEM

PADDINGTON







**2521**

**2445**

**2420**

**2518**

BEACH

**2488**

**2468**

**2448**

**242**

LANERGAN





CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

[planning@troymi.gov](mailto:planning@troymi.gov) | Fee: \$500.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:00 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE DIGITAL APPLICATION AND FEE AT LEAST **36 DAYS BEFORE** THE MEETING DATE. PRE APPLICATION MEETING WITH PLANNING DEPARTMENT REQUIRED BEFORE FILING APPLICATION.

1. ADDRESS OF THE SUBJECT PROPERTY: 2488 LANERGAN DR,
2. PROPERTY TAX IDENTIFICATION NUMBER(S): \_\_\_\_\_
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: \_\_\_\_\_
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO
5. APPLICANT:  
NAME Bryan Rouhan - Mainstreet Design Build  
COMPANY Mainstreet Design Build  
ADDRESS 555 S. Old Woodward Ave.  
CITY Birmingham STATE MI ZIP 48009  
PHONE 1-248-644-6330  
E-MAIL bryan@mainstreetdesignbuild.com  
AFFILIATION TO THE PROPERTY OWNER: Designer/Builder





CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

6. PROPERTY OWNER:

NAME Alhad Joshi

COMPANY \_\_\_\_\_

ADDRESS 2488 LANERGAN DR,

CITY Troy STATE MI ZIP 48084

TELEPHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Bryan Rouhan-MSDB (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PRINT NAME: Bryan Rouhan - Mainstreet Design Build

PROPERTY OWNER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.





CITY OF TROY | PLANNING DEPT. | 500 WEST BIG BEAVER | TROY, MI 48084 | 248-524-3364

## Zoning Board of Appeals Application

6. PROPERTY OWNER:

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APPLICANT SIGNATURE

Bryan Rouhan - MSDB DATE 7-14-2025

PRINT NAME: Bryan Rouhan - Mainstreet Design Build

PROPERTY OWNER SIGNATURE

Alhad Joshi

DATE

7-18-2025

PRINT NAME:

ALHAD A JOSHI

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



## 2488 Lanergan Dr. – Joshi Residence

### Zoning Board of Appeals: Variance Practical difficulties

#### Facts & Conditions:

- A. *Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.*

Being a corner lot, the road side setback is to match the front yard setback. This creates an adverse situation for this particular property as it creates consequences that limit the buildable amount of home. A corner lot is to have 2 front yards. The front yard setback required is 40' by this code. The side yard setback, like all the neighbors, is 15', but because the property is considered to have 2 front yards, it has created a situation that the street side yard setback is also 40'. That setback would be impossible to have a garage, which is why the existing attached 2-car garage is currently built with a 25'-5 ½" setback.

- B. *The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.*

Our client is attempting to expand his living space to make the home comfortable enough and large enough for him to age in place, and not be required to move. To do that we are proposing an expanded bedroom above the garage, however, the existing garage was not built with a foundation adequate to support the weight of a second floor. To build a 2<sup>nd</sup> floor over this garage, it will need a new foundation with the proper footing depths needed for bearing. So the existing garage has to be replaced no matter what the setback is.

- C. *The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.*

When rebuilding the garage it seems logical to build it with today's standard car sizes in mind. With that in mind, we are proposing to rebuild the existing garage to within 19' 1 ½' of the side lot line. A typical side yard setback would be 15', but we don't feel it necessary to go any closer than 19' 1 ½'. The current garage is 25'-5 ½" away from the side lot line; in order to properly fit a vehicle, we are requesting to increase that by only 6'-4".

- D. *The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.*



The existing structure was built and located on the existing site in 1964 by different setback codes that changed somewhere between 2013 and 2015. This is known by the existing attached garage already being non-conforming. This structure also matched or is very similar to other structures on the same facing side road. Other houses on the same block have the same property with but with a total side setback of 30'. With this being a corner lot, the total side setback is 55'. That is 25' of less buildable area.

*E. The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.*

The view, light & air flow will not affect any other neighboring lots. Brick, stone and composite siding is used on the new structure to increase durability and aesthetics. Materials and colors will help blend the new structure into the neighbor and help the vernacular view on the street. The neighborhood is constantly upgrading in size & form, styles are changing, so the proposed addition will blend in with the larger non-colonial houses that exists in regards to scale and property coverages.



138.00

76.00

92.50

73.50

20-19-252-007

36

75.50

82.30

98.50

6





2561

2541

2521

2445

2425

2401

2371

2351

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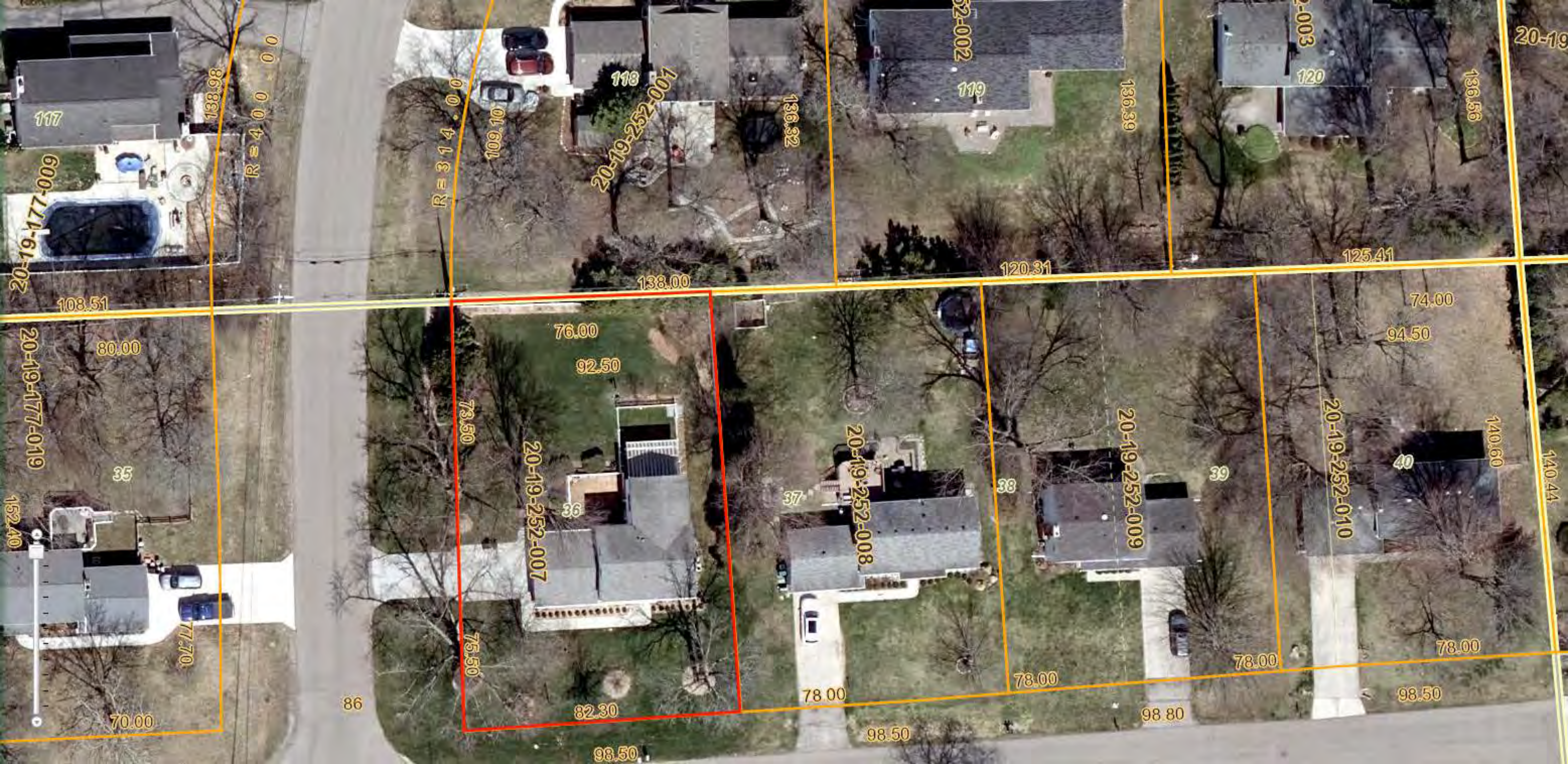
3592

3603



SUB NO 4







# BOUNDARY SURVEY

Legal Description: 2488  
Lanergan Drive, Troy, MI,  
48084

Part of the N 1/2 of  
Section 19, T.2N.,  
R.11E., City of Troy,  
Oakland County,  
Michigan, being more  
particularly described as  
follows:

LOT 36 and WESTERLY  
strip of land of LOT 37,  
measuring 16.2 feet at  
its South lot LINE AND  
16.5 feet at its North  
LOT line of "Leonard  
Lane Subdivision", (L.44,  
P.13 and 13a).

Containing: 14,082  
Square Feet---0.323  
Acres, more or less.

Parcel Identification

Number:

20-19-252-007.

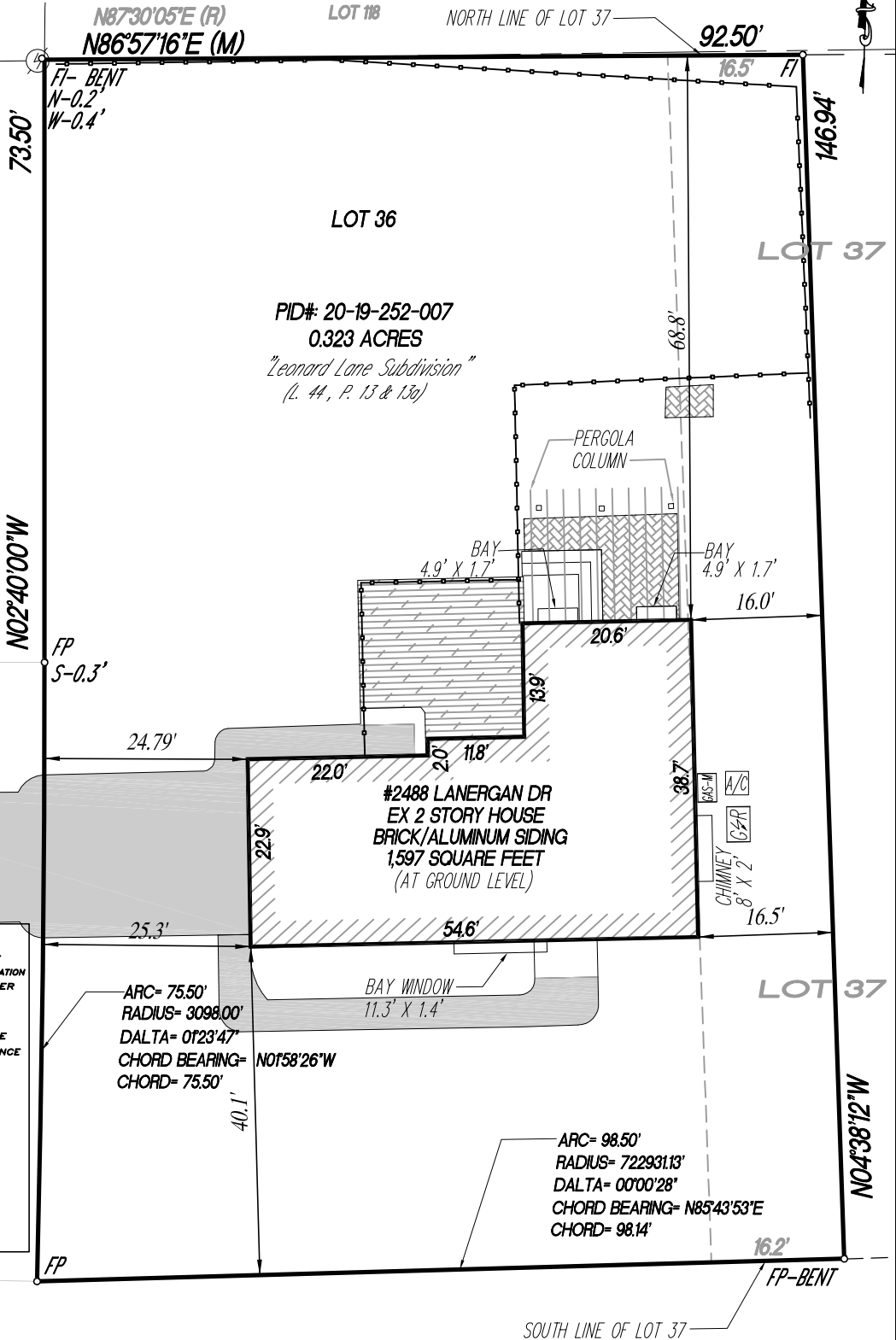
Subject to the rights of  
a public and any  
easements and/or  
restrictions of record or  
otherwise.

Note:

Legal Description as  
cited herein is furnished  
by Client.

BEACH ROAD (86' WIDE)

LEGEND	
FP	= FOUND PIPE
N, S, E, W	= NORTH, EAST, SOUTH, WEST
0.3'	= FOUND OBJECT IS 0.3' S. OF EXACT LOCATION
#	= PARCEL IDENTIFICATION NUMBER
T./R.	= TOWN/RANGE
L./P.	= LIBER/PAGE
R./M.	= RECORD/MEASURE
---	= OVER HEAD WIRE
□	= PRIVACY/PICKET FENCE
▬	= ASPHALT PAVEMENT
▬	= CONCRETE PAVEMENT
▬	= WOODEN DECK/PORCH
▬	= BRICK PAVERS
⊕	= UTILITY POLE
A/C	= AIR CONDITION UNIT
G/P	= POWER GENERATOR
GAS-M	= GAS METER



Note:

Since our survey does not include a Title Commitment search there could be easements and /or any encumbrances upon the subject property as shown herein that are not presented at this time.

Surveyor's Certification:

I hereby certify that I have surveyed and mapped the land plotted/mapped and described as shown herein and that the ratio of closure of the unadjusted field observations of such survey are no greater than 1 in 10000 feet, that all property corners are installed with the positional precision required by this act and that all the requirements of public P.A. 132 have been complied with.

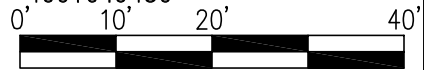
Note:

Bearings and distances of record are based on recorded plat as shown herein.

All bearings as shown herein are in relation to: "TRUE NORTH"



Mende Bezanovski, P.S.  
4001049430



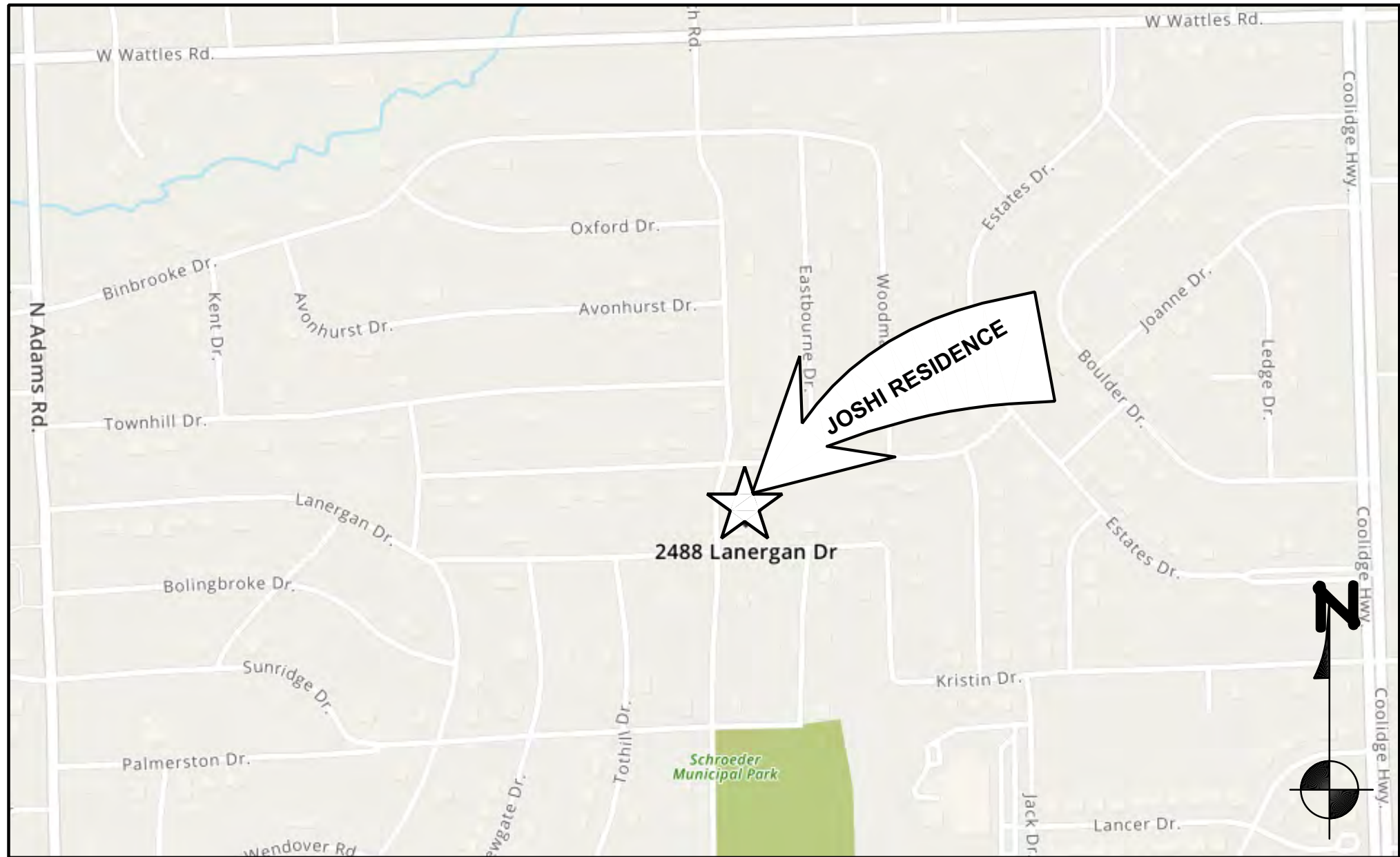
36636 North Pointe Dr. New Baltimore, MI, 48047  
TEL. (586) 822-4964, FAX: (586) 591-5930  
info@ab-sb-landsurvey.com;  
www.ab-sb-landsurvey.com

SCALE: 1" = 20'	PAGE: 1 OF 1
JOB NUMBER: 2025-03-17-134-MSDB	DRAWN: MB
FIELD: MB	CHECKED: MB
REVISIONS:	DATE: 03-27-2025
CLIENT: MainStreet Design Build	
ADDRESS: 2488 Lanergan Drive Troy, MI, 48084	TEL: (248)-644-6330 FAX:



# JOSHI RESIDENCE

2488 LANERGAN DR, TROY, MI. 48084



## VICINITY MAP

CITY OF TROY  
ZONE: R-1B

### GENERAL NOTES

1. WHEN INTERPRETING THE DRAWINGS, PREFERENCE SHALL BE GIVEN IN ALL CASES TO DIMENSIONS OVER MEASUREMENTS BY SCALE, AND TO DETAIL DRAWINGS OVER THOSE DRAWINGS OF A SMALLER SCALE.
2. DETAIL DRAWINGS AND SCHEDULES DESCRIBE CONSTRUCTION AT GIVEN AREAS. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL UTILIZE EQUIVALENT CONSTRUCTION METHODS IN ALL AREAS NOT DETAILED.
3. ALL NOTES ON THE DRAWINGS SHALL BE ASSUMED AS TYPICAL UNLESS OTHERWISE SHOWN OR NOTED ON THE DRAWING OR SPECIFICATIONS.
4. ALL FINISHED DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TO FACE OF STUD, SHEATHING, FACE OF MASONRY, FACE OF CONCRETE, OR CENTERLINE OF STRUCTURE, BEAMS, OR WINDOWS.

### ABBREVIATIONS

ABV. - ABOVE	CONC. - CONCRETE	FNDTN. - FOUNDATION	O.H. - OVERHANG
A.F.F. - ABOVE FINISH FLOOR	CONT. - CONTINUOUS	F.R. - FIRE RATED	PKT. - POCKET DOOR
BATT. INSUL. - BATTEN INSULATION	DIA. - DIAMETER	FT'G - FOOTING	PRE-ENG'R. - PRE-ENGINEERED
BLD'G - BUILDING	DR. - DOOR	GLS. - GLASS	REINF. - REINFORCED
BLK'G - BLOCKING	D.S. - DOWN SPOUT	GWB - GYPSUM WALLBOARD	REQ'R. - REQUIRED
BLW - BELOW	DN. - DOWN	HDR. - HEADER	R.O. - ROUGH OPENING
BM. - BEAM	ELECT. - ELECTRICAL	HDWD. - HARDWOOD	SHT'G - SHEATHING
BR'G - BEARING	EL., ELEV. - ELEVATION	HNGR. - HANGER	SQFT. - SQUARE FEET
BTM. - BOTTOM	EX., EXT'G - EXISTING	HT. - HEIGHT	STL. - STEEL
BTWN. - BETWEEN	F.F. - FINISH FLOOR	JST. - JOISTS	T.M.E. - TO MATCH EXISTING
BYND. - BEYOND	FIN. - FINISH	MANUF. - MANUFACTURER	TRTD - TREATED (LUMBER)
CAB. - CABINET	FLR. - FLOOR	MIN. - MINIMUM	TYP. - TYPICAL
CL'G - CEILING	F.P. - FIREPLACE	ML. - MICRO-LAMINATED TIMBER	WDN - WINDOW
CMU - CONCRETE MASONRY UNIT	F.O.M. - FACE OF MASONRY	MTL. - METAL	W - WITH
COL. - COLUMNS	F.O.S. - FACE OF SHEATHING	O.C. - ON CENTER	WD. - WOOD

### SCOPE OF WORK

REPLACE EXISTING BRICK 2-CAR GARAGE.  
NEW 2ND FLOOR ADDITION OVER NEW GARAGE.  
EXTEND EXISTING FRONT PORCH AND ADD NEW COLUMNS AND ROOF.

### ZONING AND BUILDING CODE INFORMATION

ZONE:	R-1B	REQ'D:	EXISTING:	PROPOSED:
BUILDING CODE:	2015 Mich. Res. Code	LOT AREA:	14,091 SQFT	
MECHANICAL CODE:	2021 Mich. Res. Code	FRONT YARD SETBACK:	40'-0"	40'-1 1/2"
PLUMBING CODE:	2021 Mich. Res. Code	REAR YARD SETBACK:	45'-0"	54'-5"
ELECTRICAL CODE:	2023 Mich. Res. Code	SIDEYARD SETBACK:(MIN.)	10'-0"	16'-0"
FUEL CODE:	2015 Mich. Res. Code	SIDEYARD SETBACK:(TOTAL)	25'-0"	41'-5"
ENERGY CODE:	2015 Mich. Uniform Code	STRUCTURE HEIGHT:	30'-0"	22'-1"
		LOT COVERAGE:(STRUC.)	30%	13.63%
				15.65%

### SQUARE FOOTAGE:

SQUARE FOOTAGE	EXISTING	PROPOSED
FIRST FLOOR:	1,117 SQFT	SAME
SECOND FLOOR:	1,182 SQFT	1,927 SQFT
ATTACHED GARAGE:	501 SQFT	672 SQFT

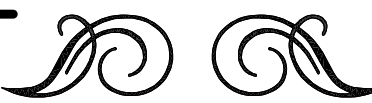
### CERTIFICATION STATEMENT:

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE BUILDING CODES AND ORDINANCES FOR THE CITY OF TROY, MI.

BUILDERS LICENSE: 2102104372, EXP. 05/31/2026  
FED ID: 38-303-2635 - MESC, 119107  
WORKMAN COMP: FRANKENMUTH INSURANCE - EXP. 1/1/2026

### SHEET LEGEND

SHT:	DESCRIPTION:	PAGE TITLES
A-1	COVER SHEET & SITE INFORMATION	
A-2	NEW BSMT/FNDTN LAYOUT W/ SITE PLAN	
A-3	EXISTING DEMO & NEW 1ST FLR. LAYOUT	
A-4	EXISTING DEMO & NEW 2ND FLR. LAYOUT	
A-5	1ST & 2ND FLR. ELECT./MECH/PLUMB'G LAYOUT	
A-6	FRONT EXTERIOR ELEVATION	
A-7	REAR EXTERIOR ELEVATION	
A-8	LEFT SIDE EXTERIOR ELEVATION	
A-9	RIGHT SIDE EXTERIOR ELEVATION	
A-10	BUILDING SECTIONS	
A-11	WALL SECTIONS & DETAILS	
A-12	BATHROOM #2 INTERIOR ELEV.	
A-13	BATHROOM #3 INTERIOR ELEV.	
A-14	BATHROOM #4 INTERIOR ELEV.	



MainStreet  
DESIGN BUILD  
885 LORAIN AVENUE  
TROY, MI 48064  
PHONE (248) 444-4320 FAX (248) 444-2865



OWNER:

JOSHI RESIDENCE  
2488 LANERGAN DR.  
TROY, MI. 48084

PROJECT:

RESIDENTIAL ADDITION  
& INTERIOR REMODEL

JOB NO.

5096

Issue Date:	Issued For:
3-15-2025	LETTER OF INTENT
5-28-2025	CONTRACT SIGNED
6-11-2025	PERMITS
6-27-2025	PRELIM CONST. SET
6-30-2025	BATH #2 UPDATE

SHEET NO.

A-1



VARIANCE SET 7-14-2025



1. **INSTALL SOIL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION AND EARTH MOVEMENT.**
2. **THE EXISTING DRIVEWAY SHALL BE USED FOR CONSTRUCTION ACCESS TO THE SITE. ACCESS TO THE BUILDING SITE SHALL BE LARGE ENOUGH TO ACCOMMODATE FOR ALL CONSTRUCTION TRAFFIC. SITE ACCESS SHALL BE MAINTAINED THROUGHOUT ALL CONSTRUCTION PHASES.**
3. **MAINTAIN ALL CONTROL MEASURES UNTIL EARTH MOVEMENT IS COMPLETED.**
4. **RIGHT-OF-WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.**
5. **FINAL STABILIZATION OF THE SITE MUST BE ACHIEVED WITH SOD.**
6. **ALL SWALE AREAS, ALL SLOPES GREATER THAN 1:5 AND 10' AROUND STORM STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.**
7. **AFTER PERMANENT EARTH STABILIZATION IS COMPLETED, REMOVE EROSION CONTROL MEASURES.**

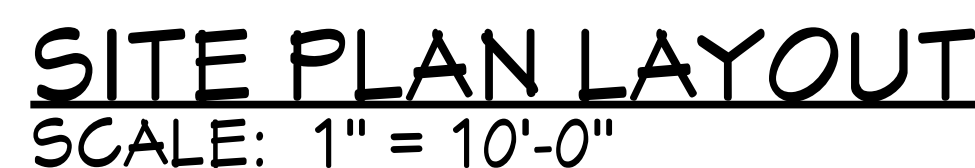
1. Contractor shall be responsible for soil erosion and sedimentation control maintenance.
2. All erosion and sedimentation control work shall be checked a minimum once a week and within 24 hours of every rainfall.
3. Any soil erosion control devices that have been damaged, collapsed or removed shall be replaced immediately.
4. All trucks shall clean tires of dirt on the construction drive entrance before entering Lanergan Dr.
5. Any silt that has collected on Lanergan Dr. shall be swept off on a regular basis.

The image contains two technical drawings of a silt fence system.

**PLAN VIEW:** This top-down diagram shows a cross-section of the silt fence joint, labeled "SECTION B-B". It illustrates the "SILT FENCE JOINT SECTION B-B" and "COMPACTED EARTH". A "SHEET FLOW" arrow indicates the direction of water flow. The fence is constructed from "GEOTEXTILE FILTER FABRIC" held in place by "1.5\"x1.5\" STAKES". The area behind the fence is labeled "UNDISTURBED VEGETATION". A section line "A-A" is shown on the right side.

**FRONT VIEW:** This side-view diagram shows the fence structure. It features "1.5\"x1.5\" HARDWOOD STAKES DRIVEN INTO GROUND 1' MIN." and "SALVAGED EDGES (TYP.)". The "GEOTEXTILE FILTER FABRIC (MIN. 10 GAL/MIN/SQ FT.)" is shown between the stakes. The "SPACING 6' MAX." between stakes is indicated. A "LATH (TYP.)" is shown across the fabric. A "6\" ANCHOR TRENCH" is shown at the base of the fence. A "SUPPORT FENCE (IF REQUIRED)" is shown further back. The "TWO WRAP MIN." dimension is shown for the fabric wrapping around the stakes.

	EXISTING CONC. FNDTN TO REMAIN
	NEW CONC. FNDTN WALL
	EXISTING CMU FNDTN TO REMAIN
	NEW CMU FNDTN WALL OR PIERS
	EXISTING INTERIOR WALLS TO REMAIN
	EXISTING INTERIOR STUD WALLS REMOVE
	NEW INTERIOR STUD WALLS



Basement floor plan showing foundation walls, compacted fill, elevator shaft, and various annotations.

Annotations include:

- FULL BASEMENT DEPTH CONC. FNDTN WALL FOR FUTURE REAR ADDITION
- 8" CMU FNDTN WALL W/ 16" REINF. CONC. FTG
- NEW COMPACTED FILL (NEW CONC. SLAB ABV.)
- FUTURE ELEVATOR SHAFT
- NEW FLR. DRAIN
- EX. DRAIN
- EX. FURNACE TO REMAIN AS IS
- VERIFY IF 2ND TANKLESS WATER HEATER NEEDED
- UNFINISHED BASEMENT
- EX. DRAIN
- NEW COMPACTED FILL (NEW CONC. SLAB ABV.)

Dimensions and markers are provided throughout the plan, including grid lines 1-A-10, 2-A-10, 3-A-10, and 4-A-10.

SCALE: 1/4" = 1'-0"

**CONSTRUCTION SET 7/17/2025**

PROJECT:

## RESIDENTIAL ADDITION & INTERIOR REMODEL

5096

Issue Date:	Issued For:
3-13-2025	LETTER OF INTENT
5-28-2025	CONTRACT SIGN
6-17-2025	PERMITS
6-27-2025	PRELIM CONST. S
6-30-2025	BATH #2 UPDATE

A-2

**Main Street**  
— DESIGN BUILD —  
555 S. OLD WOODWARD AVE. BIRMINGHAM, MI 46004



**JOSHI RESIDENCE**  
2488 LANERGAN DR.  
TROY, MI. 48084

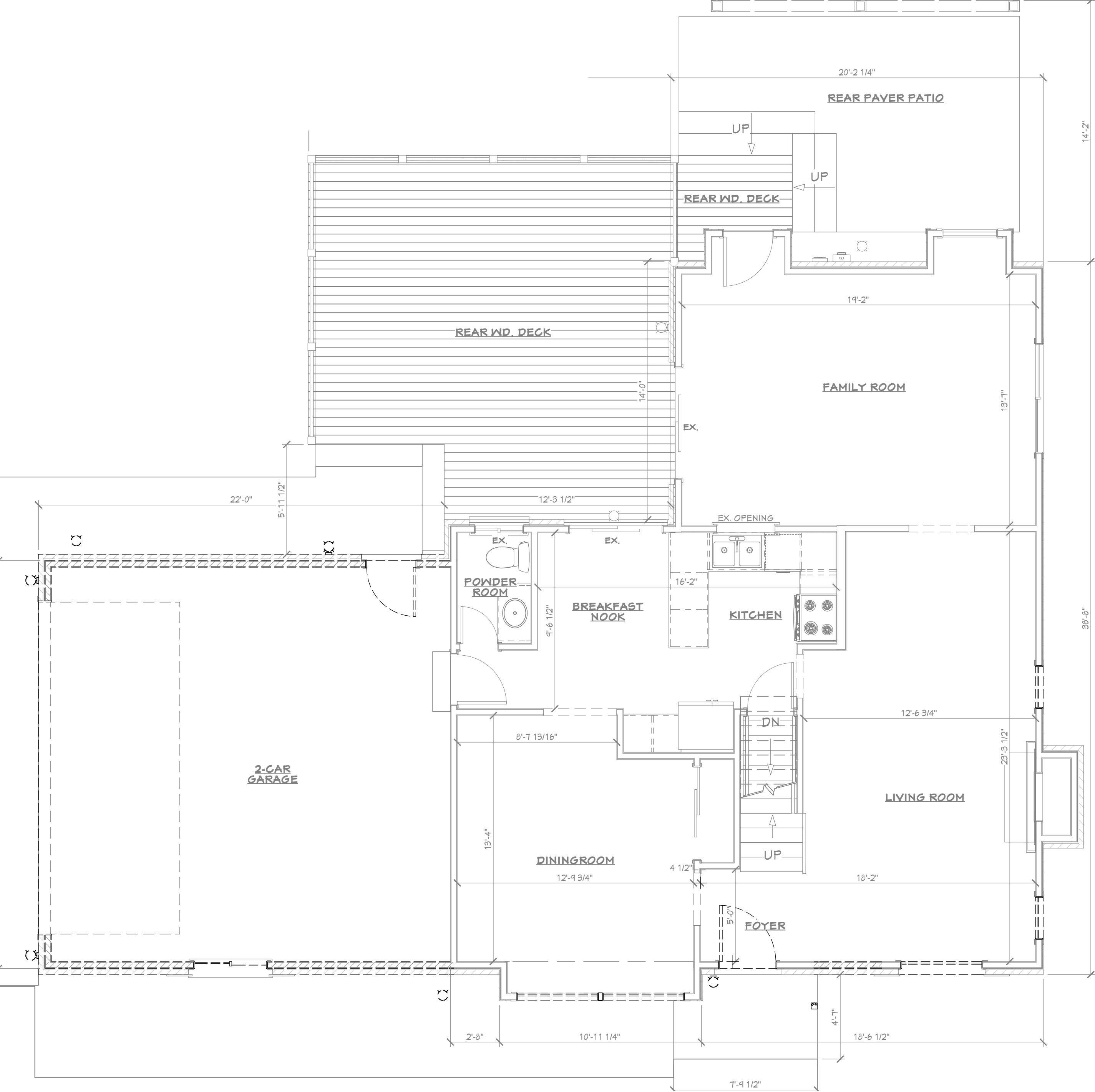


WINDOW SCHEDULE						
NUMBER	FLOOR	TYPE	WIDTH	HEIGHT	R/O	COMMENTS
W01	1	DOUBLE HUNG	28"	65 1/2"	24"X66"	REPLACEMENT
W02	1	DOUBLE HUNG	28"	65 1/2"	24"X66"	REPLACEMENT
W03	1	DOUBLE HUNG	53 1/2"	67"	54 1/2"X67 1/2"	REPLACEMENT
W04	1	DOUBLE HUNG	37 1/2"	67"	38 1/2"X67 1/2"	EX. OPENING WIDTH, NEW HT.
W05	1	DOUBLE HUNG	53 1/2"	67"	54 1/2"X67 1/2"	REPLACEMENT
W06	1	DOUBLE HUNG	53 1/2"	67"	54 1/2"X67 1/2"	REPLACEMENT
W07	1	DOUBLE HUNG	35 1/2"	54 3/4"	36 1/2"X60 1/4"	
W08	1	DOUBLE HUNG	35 1/2"	54 3/4"	36 1/2"X60 1/4"	
W09	2	LEFT SLIDING	36 1/4"	36 1/2"	37 1/4"X37"	REPLACEMENT
W10	2	DOUBLE HUNG	34 3/4"	51 3/4"	35 3/4"X52 1/4"	EX. OPENING WIDTH, NEW HT.
W11	2	DOUBLE HUNG	50"	63 1/2"	51"X64"	REPLACEMENT
W12	2	SINGLE CASEMENT	34 3/4"	36 1/2"	35 3/4"X37"	REPLACEMENT
W13	2	DOUBLE HUNG	50"	63 1/2"	51"X64"	REPLACEMENT
W14	2	DOUBLE HUNG	29 1/2"	54 3/4"	30 1/2"X60 1/4"	
W15	2	DOUBLE HUNG	29 1/2"	54 3/4"	30 1/2"X60 1/4"	
W16	2	DOUBLE HUNG	47 1/2"	54 3/4"	48 1/2"X60 1/4"	
W17	2	DOUBLE HUNG	47 1/2"	54 3/4"	48 1/2"X60 1/4"	
W18	2	DOUBLE HUNG	35 1/2"	54 3/4"	36 1/2"X60 1/4"	
W19	2	DOUBLE HUNG	35 1/2"	54 3/4"	36 1/2"X60 1/4"	
W20	2	DOUBLE HUNG	35 1/2"	54 3/4"	36 1/2"X60 1/4"	
W21	2	DOUBLE HUNG	47 1/2"	54 3/4"	48 1/2"X60 1/4"	
W22	2	DOUBLE HUNG	47 1/2"	54 3/4"	48 1/2"X60 1/4"	
W23	2	DOUBLE HUNG	21 1/2"	54 3/4"	22 1/2"X60 1/4"	

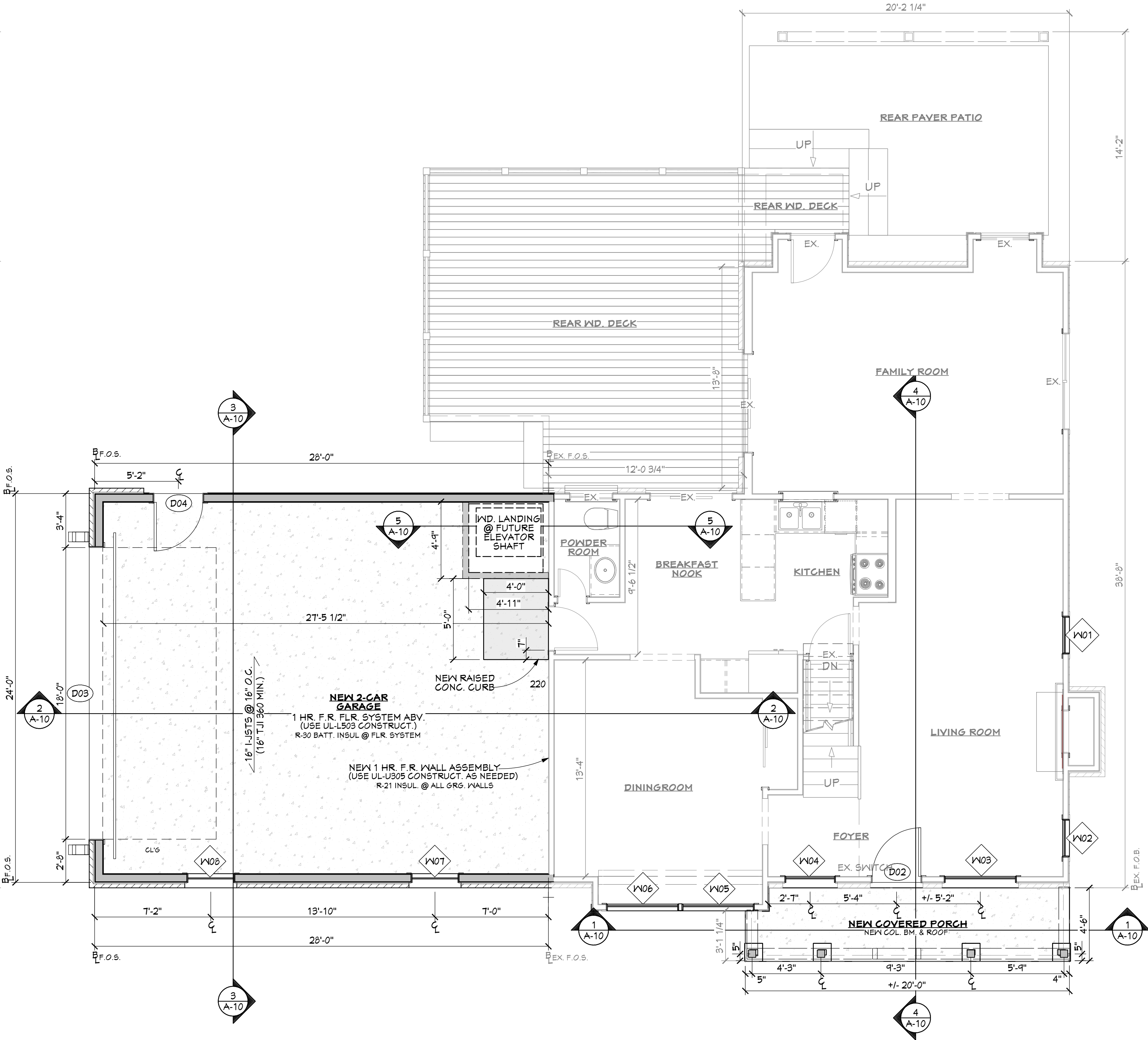
DOOR SCHEDULE								
NUMBER	FLOOR	TYPE	WIDTH	HEIGHT	THICKNESS	R/O	HINGE SIDE	COMMENTS
D01	0	HINGED	36"	76"	1 3/4"	38"X79"	L	BASEMENT SHAFT ACCESS
D02	1	HINGED	36"	80"	1 3/4"	38"X83"	R	
D03	1	GARAGE	216"	84"	1 3/4"	218"X87"		OVERHEAD DOOR
D04	1	HINGED	36"	80"	1 3/4"	38"X83"	R	
D05	2	SLIDER	72"	80"	1 3/8"	74"X82 1/2"	R	W/ SLIDER LOCK
D06	2	4 DR. BIFOLD	60"	80"	1 3/8"	62"X82 1/2"	L/R	
D07	2	HINGED	36"	80"	1 3/8"	38"X82 1/2"	L	
D08	2	2 DR. BIFOLD	36"	80"	1 3/8"	38"X82 1/2"	L	
D09	2	HINGED	36"	80"	1 3/8"	38"X82 1/2"	L	
D10	2	POCKET	30"	80"	1 3/8"	61 1/4"X82 1/2"	R	
D11	2	SLIDER	72"	80"	1 3/4"	74"X83"	L	W/ SLIDER LOCK
D12	2	POCKET	32"	80"	1 3/8"	65 1/4"X82 1/2"	R	
D13	2	POCKET	32"	80"	1 3/8"	65 1/4"X82 1/2"	L	
D14	2	4 DR. BIFOLD	48 1/4"	80"	1 3/8"	50 1/4"X82 1/2"	L/R	
D15	2	POCKET	30"	80"	1 3/8"	61 1/4"X82 1/2"	L	

TYP. WALL KEY / LEGEND	
	EXISTING EXTERIOR WALLS TO REMAIN
	EXISTING 2X4 EXTERIOR WALL REMOVED
	NEW EXTERIOR STUD WALLS
	EXISTING 2X4 INTERIOR WALLS TO REMAIN
	EXISTING INTERIOR STUD WALLS REMOVED
	NEW INTERIOR STUD WALLS

\*ALL NEW CASING THROUGH-OUT, EX. WDM SILLS ARE REMOVED\*



EXISTING 1ST FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"



NEW 1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

MainStreet  
DESIGN BUILD  
888 LANSING AVENUE, SUITE 200  
TROY, MI 48064  
PHONE (248) 444-4320 FAX (248) 444-2885

OWNER:  
**JOSHI RESIDENCE**  
2488 LANERGAN DR.  
TROY, MI. 48084

PROJECT:  
**RESIDENTIAL ADDITION  
& INTERIOR REMODEL**

JOB NO.  
**5096**

Issue Date:	Issued For:
3-19-2025	LETTER OF INTENT
5-28-2025	CONTRACT SIGNED
6-17-2025	PERMITS
6-27-2025	PRELIM CONST. SET
6-30-2025	BATH #2 UPDATE

SHEET NO.  
**A-3**

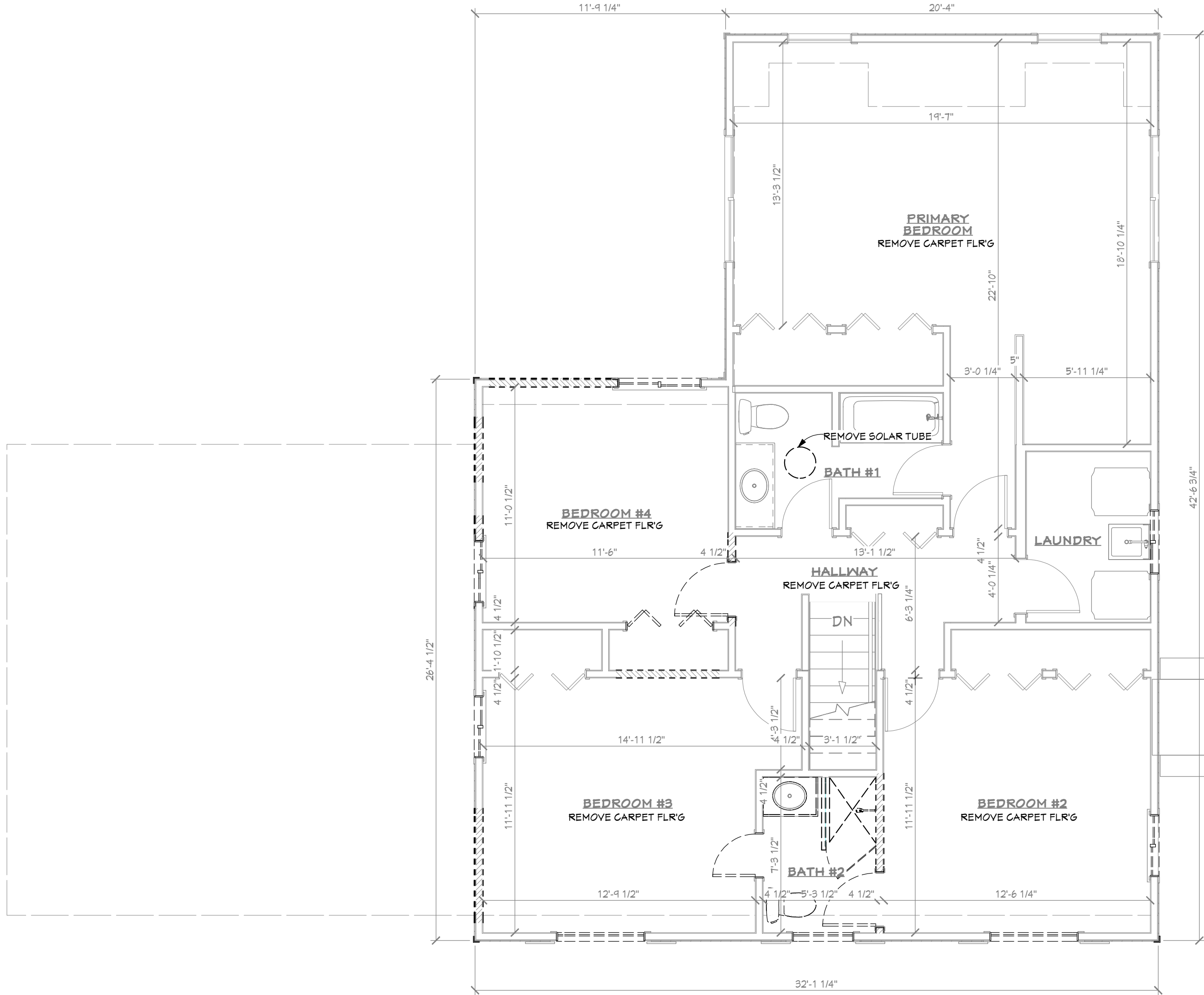


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W06	1	DOUBLE HUNG	53 1/2"	67"	54 1/2"X67 1/2"	REPLACEMENT
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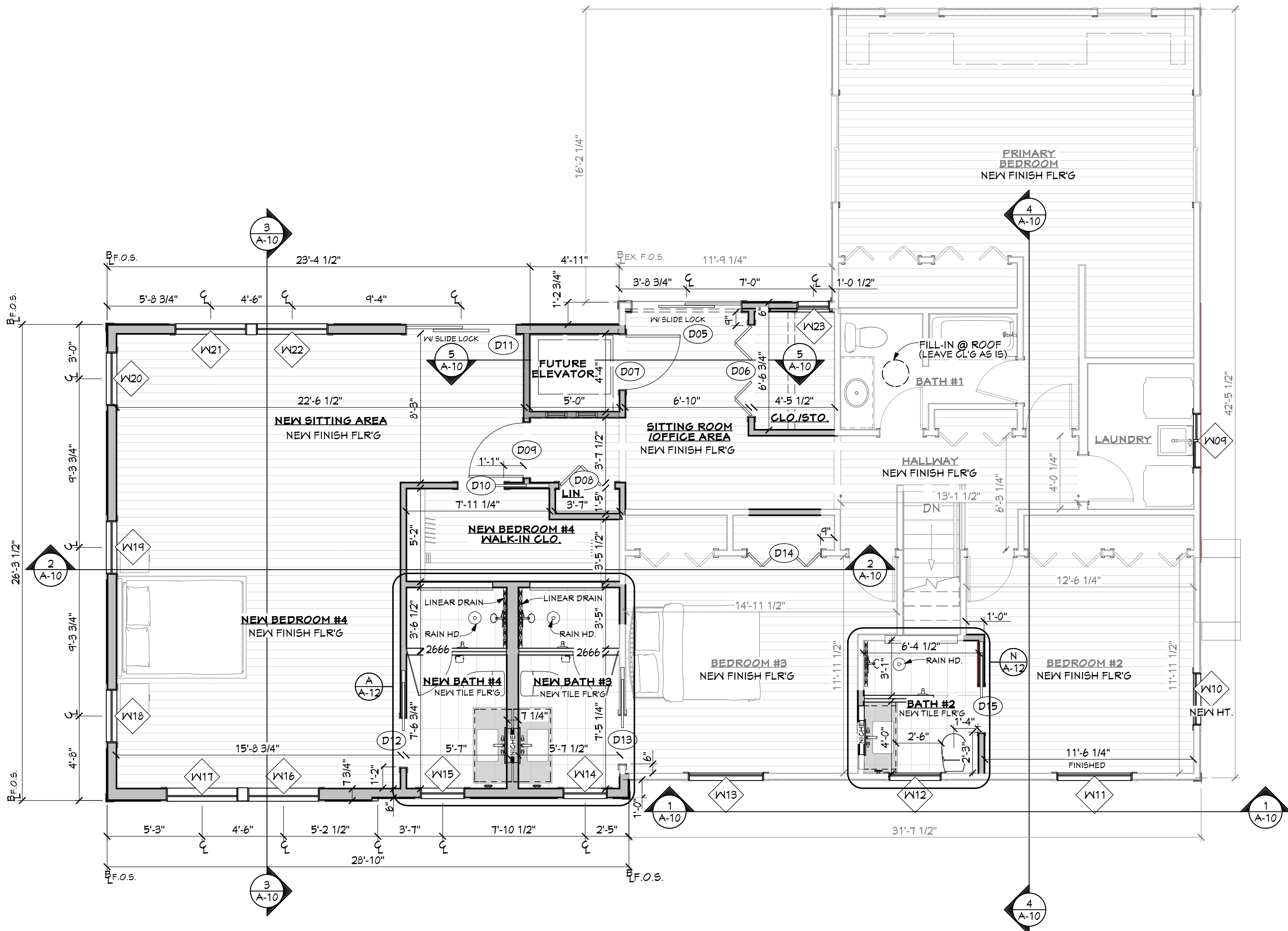
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DOOR SCHEDULE								
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TYP. WALL KEY / LEGEND	
	EXISTING EXTERIOR WALLS TO REMAIN
	EXISTING 2X4 EXTERIOR WALL REMOVED
	NEW EXTERIOR STUD WALLS
	EXISTING 2X4 INTERIOR WALLS TO REMAIN
	EXISTING INTERIOR STUD WALLS REMOVED
	NEW INTERIOR STUD WALLS



EXISTING 2ND FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"



NEW 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

MainStreet  
— DESIGN BUILD —  
888 E. COLBY AVENUE, TROY, MI 48064  
PHONE (248) 644-4320 FAX (248) 644-2865

OWNER:  
**JOSHI RESIDENCE**  
2488 LANERGAN DR.  
TROY, MI. 48084

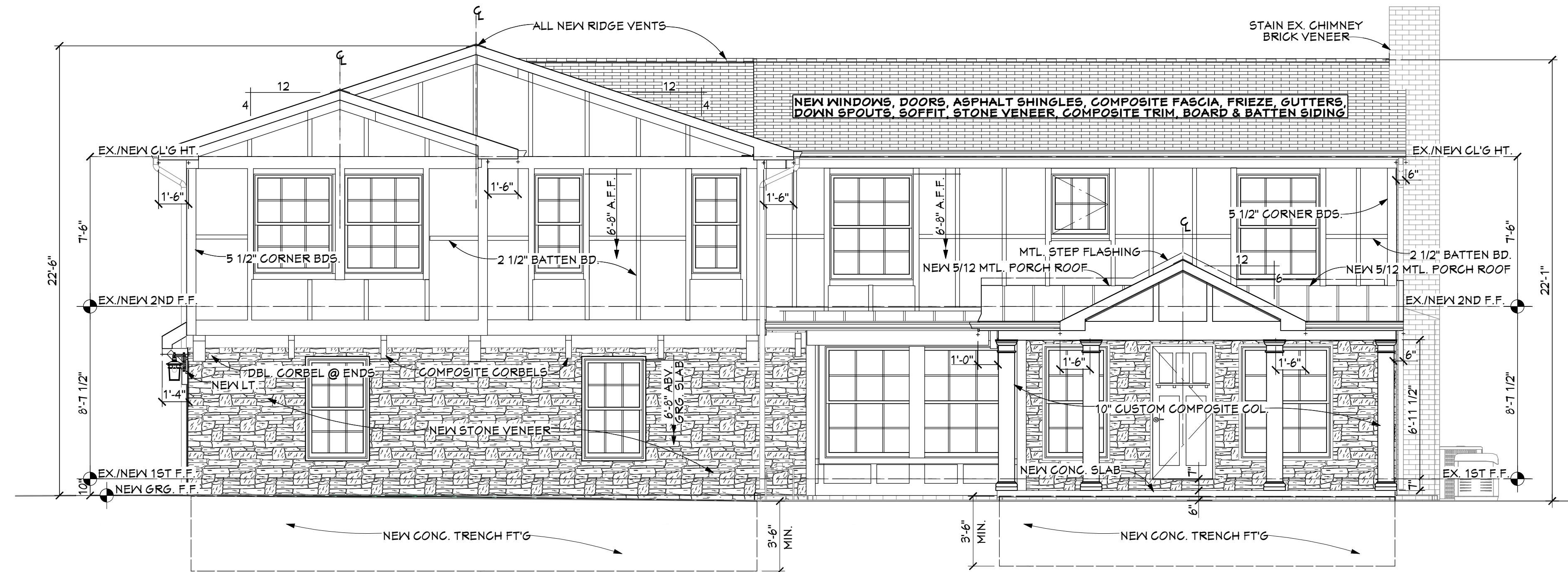
PROJECT:  
**RESIDENTIAL ADDITION  
& INTERIOR REMODEL**

JOB NO.  
**5096**

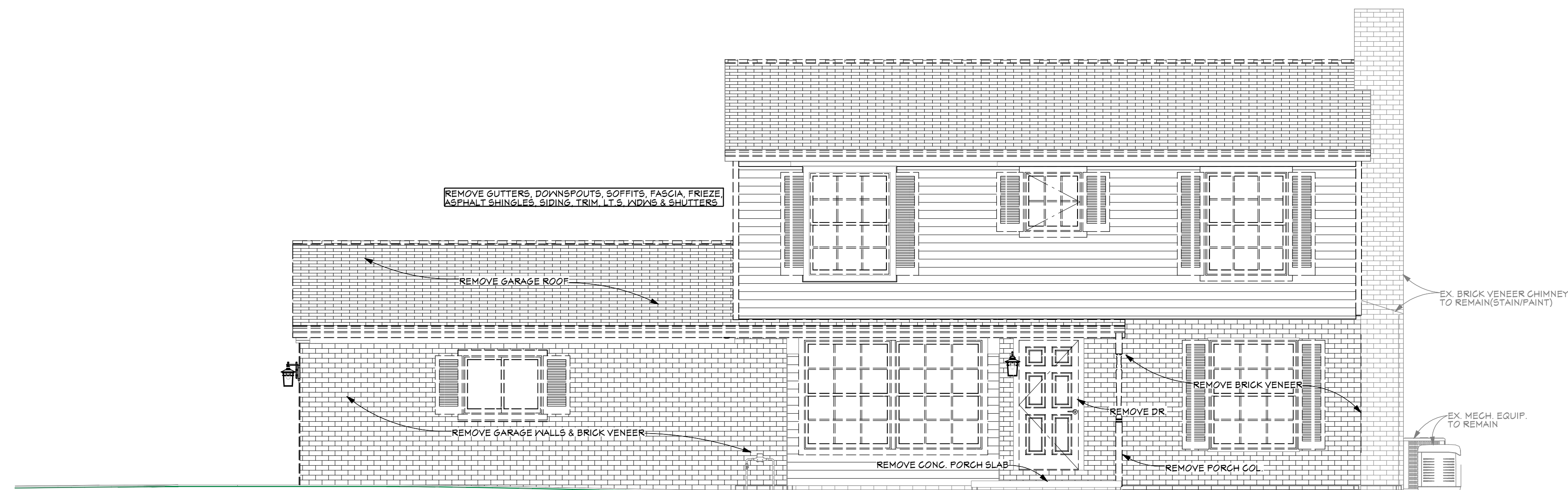
Issue Date:	Issued For:
3-15-2025	LETTER OF INTENT
5-28-2025	CONTRACT SIGNED
6-11-2025	PERMITS
6-27-2025	PRELIM CONST. SET
6-30-2025	BATH #2 UPDATE

SHEET NO.  
**A-4**

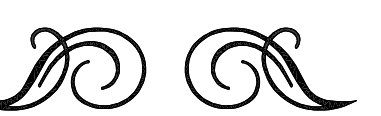




**NEW FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING FRONT DEMO ELEVATION**  
SCALE: 1/4" = 1'-0"



**MainStreet**  
— DESIGN BUILD —  
385 E. COVINGTON BLVD., TROY, MI 48064  
PHONE (248) 444-4320 FAX (248) 444-2865



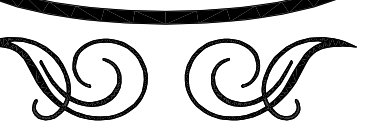
OWNER: **JOSHI RESIDENCE**  
**2488 LANERGAN DR.**  
**TROY, MI. 48084**

PROJECT: **RESIDENTIAL ADDITION  
& INTERIOR REMODEL**

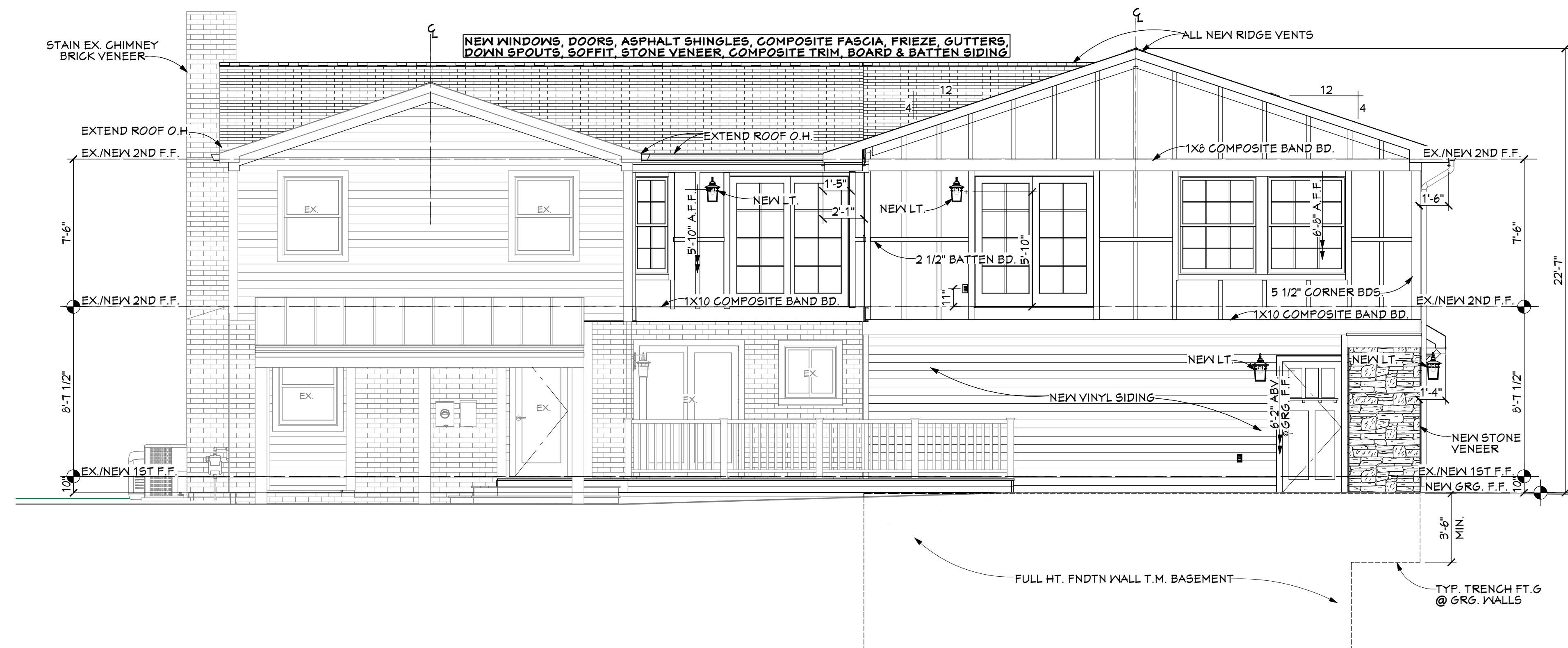
JOB NO.  
**5096**

Issue Date:	Issued For:
3-19-2025	LETTER OF INTENT
5-28-2025	CONTRACT SIGNED
6-11-2025	PERMITS
6-27-2025	PRELIM CONST. SET
6-30-2025	BATH #2 UPDATE

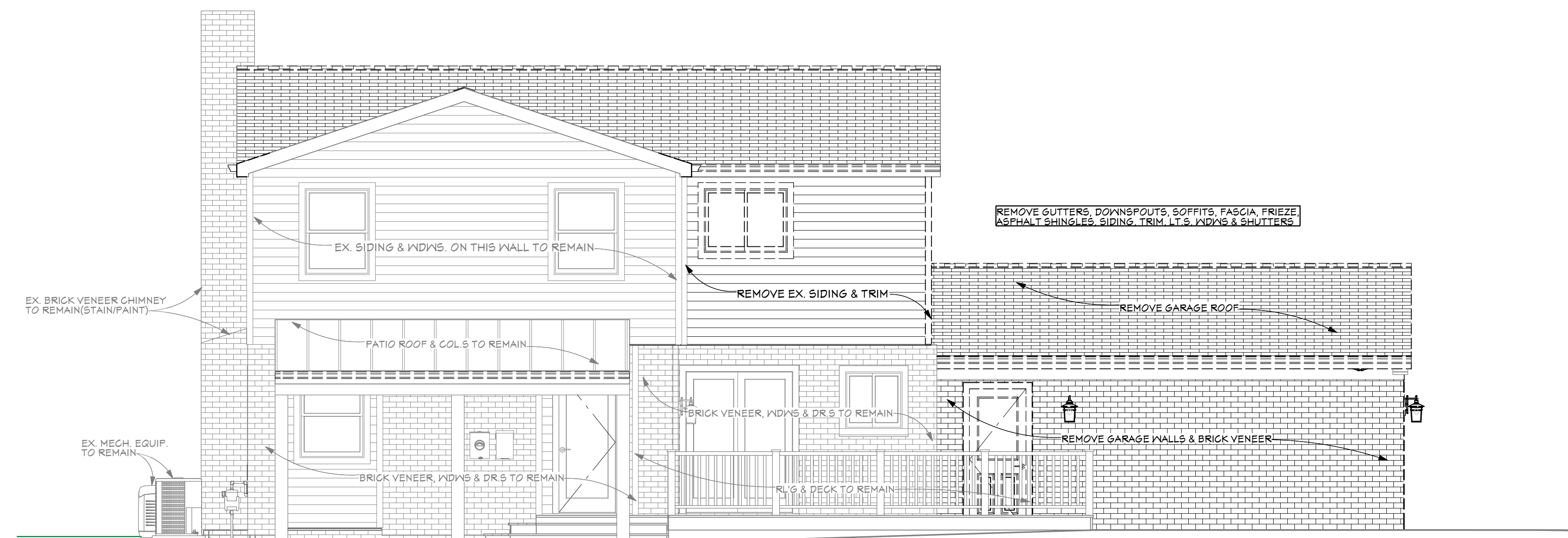
SHEET NO.  
**A-6**







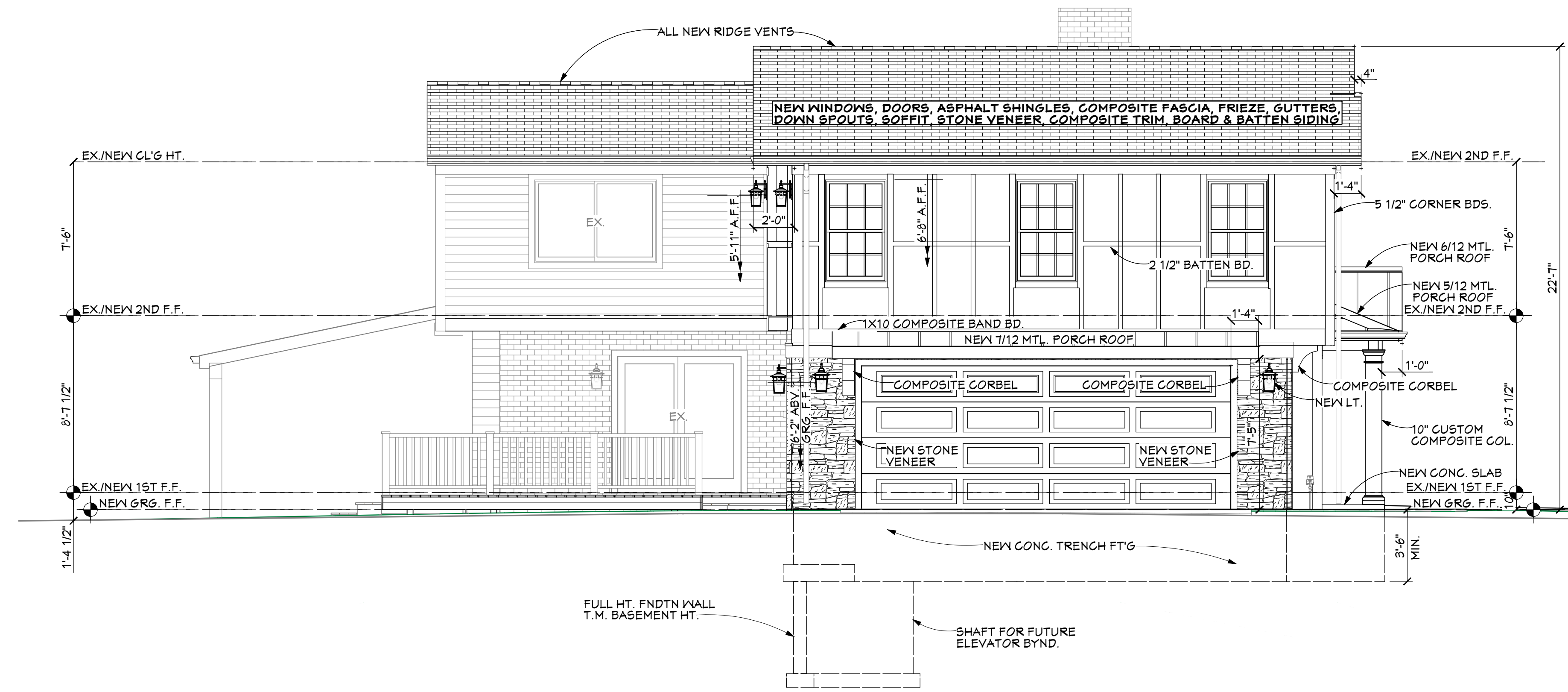
**NEW REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



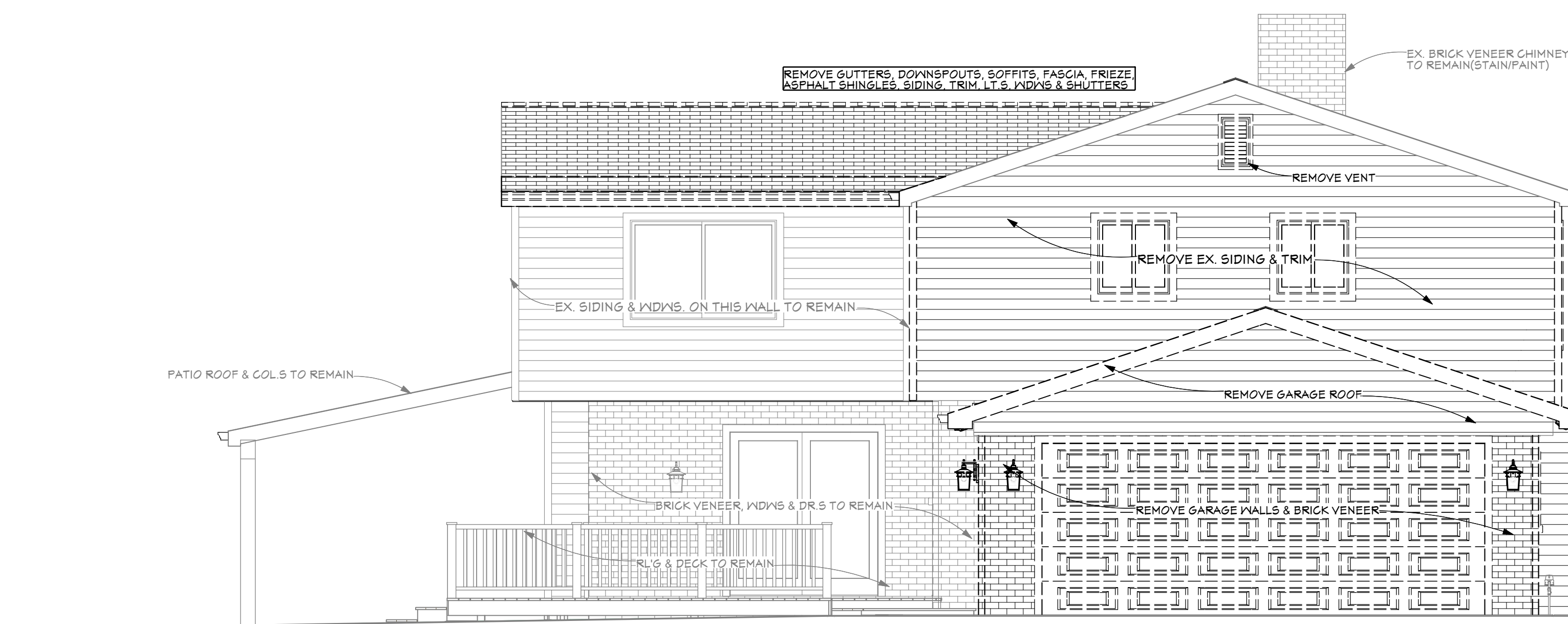
**EXISTING REAR DEMO ELEVATION**  
SCALE: 1/4" = 1'-0"





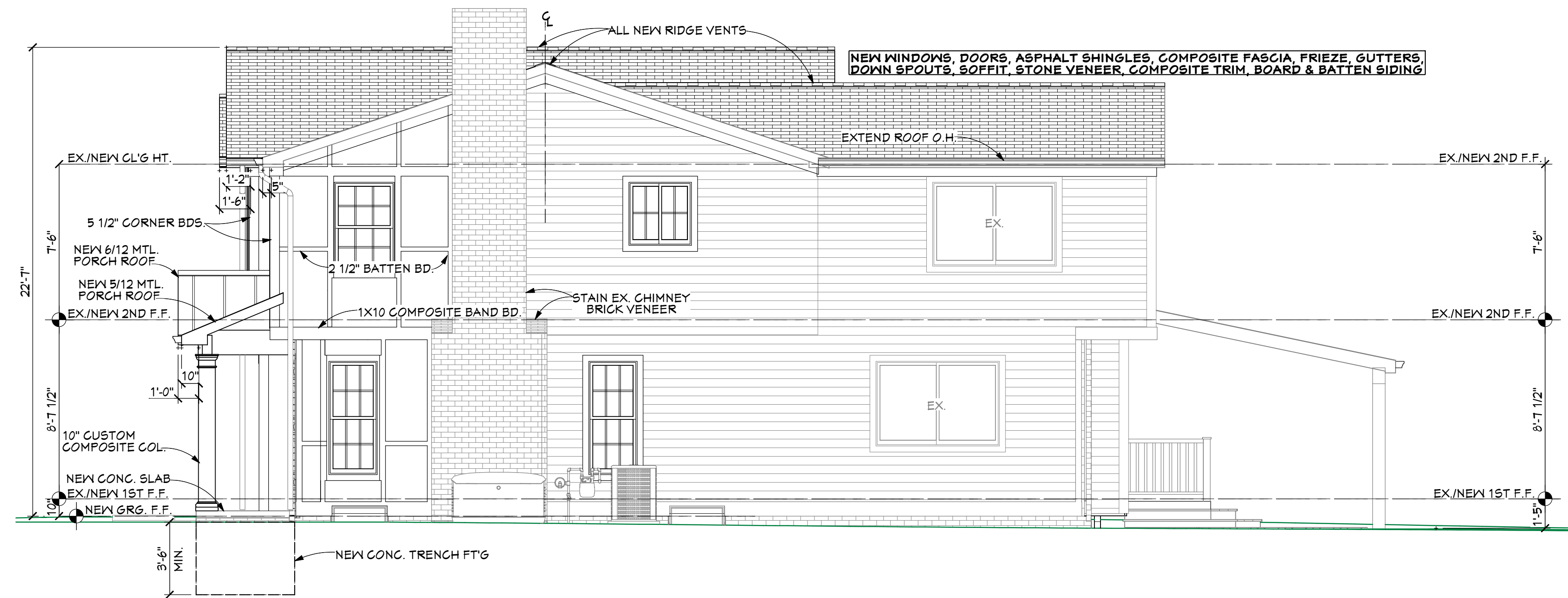


**NEW LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

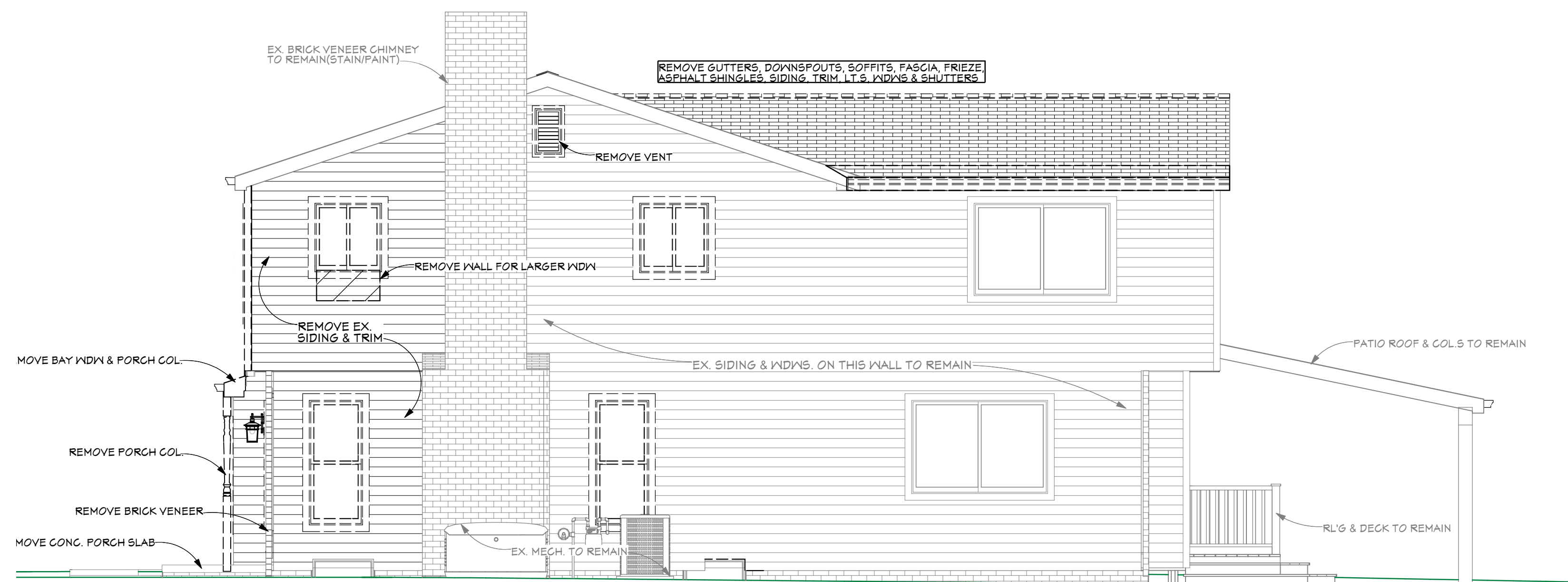


**EXISTING LEFT SIDE DEMO ELEVATION**  
SCALE: 1/4" = 1'-0"





**NEW RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING RIGHT SIDE DEMO ELEVATION**  
SCALE: 1/4" = 1'-0"