



# BUILDING CODE BOARD OF APPEALS REGULAR MEETING AGENDA

Gary Abitheira, Chair, Teresa Brooks  
Matthew Dziurman, Sande Frisen, Chris Wilson

500 W. Big Beaver  
Troy, MI 48084  
(248) 524-3344  
[www.troymi.gov](http://www.troymi.gov)  
[planning@troymi.gov](mailto:planning@troymi.gov)

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**October 1, 2025**

**3:00 PM**

**Council Chambers**

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1. ROLL CALL

2. APPROVAL OF MINUTES – September 3, 2025

3. HEARING OF CASES:

A. VARIANCE REQUEST, 1611-1613 Livernois, Chris Corradi for Aver Signs – Petitioner requests a variance to install a 50 square foot ground sign, on private property, within the planned Livernois Road right of way. Table 85.02.05 requires the sign be placed outside the planned Livernois Road right of way. The City of Troy Master Plan Thoroughfare Plan calls for 120 feet wide Livernois Road planned right of way. This means the future ½ right of way on the subject property's side would begin at the recorded Livernois Road centerline and extending 60 feet west. The survey filed with the application indicates the proposed sign will be 45 feet west of the Livernois Road centerline. This represents a 15 feet variance request. In order to grant a variance, the Board must find that all five appeals criteria of Chapter 85 Signs, Section 85.01.08, B, 1, are met.

CHAPTER 85 Signs, Table 85.02.05, NN Zoning District

B. VARIANCE REQUEST, 5027 Shady Creek, Ashley Narayanan - This property consists of a corner lot. According to the City of Troy Zoning Ordinance, it qualifies as a corner lot with front lot lines along both Shady Creek and E. Long Lake. The property is located within the R-1B zoning district which requires a front yard setback of 40 feet, along both Shady Creek and E. Long Lake, where the zoning ordinance limits fence height in the front yard to 30 inches (2.5 feet). The petitioner is seeking a fence height variance for the installation of a 6 feet high, vinyl, privacy fence. The fence is proposed to run 72 feet along E. Long Lake, outside of the 15 feet greenbelt easement, and return 31.5 feet to the south face of the house for a total variance length of 6 feet high vinyl privacy fence of 103.5 feet in the E. Long Lake designated front yard. Of the total 173.8 feet of fence requested, 70.3 feet of the fence complies with zoning regulations and does not require a variance.

CHAPTER 83 FENCE CODE

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

- C. VARIANCE REQUEST, 3800 Nash, Kimberly Lappin - This property consists of a corner lot. According to the City of Troy Zoning Ordinance, it qualifies as a corner lot with front lot lines along both Nash and Jason. The property is located within the R-1C zoning district which requires a front yard setback of 30 feet, along both Nash and Jason, where the zoning ordinance limits fence height in the front yard to 30 inches (2.5 feet). The petitioner is seeking a fence height variance for the installation of 6 feet high, wood and metal, privacy fence. The fence is proposed to run 66 feet along Jason and return 28 feet to the north face of the house for a total variance length of 6 feet high wood and metal privacy fence of 94 feet in the Jason designated front yard.

#### CHAPTER 83 FENCE CODE

4. COMMUNICATIONS
5. PUBLIC COMMENT
6. MISCELLANEOUS BUSINESS
7. ADJOURNMENT

Chair Abitheira called the Regular meeting of the Building Code Board of Appeals to order at 3:00 p.m. on September 3, 2025 in the Council Chamber of Troy City Hall.

1. ROLL CALL

Present

Gary Abitheira

Teresa Brooks

Matthew Dziurman

Chris Wilson, Assistant City Manager

Absent:

Sande Frisen

Also Present

Salim Huerta, Building Official

Dominic Abate, Residential Plans Examiner/Building Inspector

Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF MINUTES – August 13, 2025

Moved by: Dziurman

Support by: Abitheira

**RESOLVED**, To approve the minutes of August 13, 2025 Regular meeting as submitted.

Yes: All present (4)

Absent: Frisen

**MOTION CARRIED**

3. HEARING OF CASES

Moved by: Dziurman

Support by: Brooks

**RESOLVED**, To reverse the cases and consider Agenda item number 3. B. first.

Yes: All present (4)

Absent: Frisen

**MOTION CARRIED**

B. VARIANCE REQUEST, 5027 SHADY CREEK, ASHLEY NARAYANAN - This property consists of a corner lot. According to the City of Troy Zoning Ordinance, it qualifies as a corner lot with front lot lines along both Shady Creek and E. Long Lake. The property is located within the R-1B zoning district which requires a front yard setback of 40 feet, along both Shady Creek and E. Long Lake, where the zoning ordinance limits fence height in the front yard to 30 inches (2.5 feet). The petitioner is seeking a fence height variance for the installation of a 6 feet high, vinyl, privacy fence. The fence is proposed

to run 72 feet along E. Long Lake and return 11.5 feet to the south face of the house for a total variance length of 6 feet high vinyl privacy fence of 83.5 feet in the E. Long Lake designated front yard. Of the total 163.8 feet of fence requested, 80.3 feet of the fence complies with zoning regulations and does not require a variance. **CHAPTER 83 FENCE CODE**

Mr. Abate said the homeowner is present and would like to postpone the item to the next meeting.

Ms. Narayanan approached the podium, signed in and asked to postpone the item to the next meeting.

Moved by: Dziurman  
Support by: Abitheira

**RESOLVED**, To postpone a variance request for 5027 Shady Creek to the October 1, 2025 regularly scheduled Board meeting.

Yes: All present (4)  
Absent: Frisen

### **MOTION CARRIED**

- A. VARIANCE REQUEST, 2143 ALFRED, TYLER HIJAZI – This property is located within the R-1D zoning district which requires a front yard setback of 25 feet along Alfred. The zoning ordinance limits fence height to 30 inches (2.5 feet) within a front yard setback. The petitioner is seeking a fence height variance for the installation of a proposed new wood and mesh “Deer” fence which would be 6 feet in height and placed 1 foot away from the Alfred property line. The fence is proposed to run 30 feet along Alfred and return 24 feet back toward the house for a total variance length of 6 feet high wood and mesh “Deer” fence of 54 feet in the Alfred required front yard. Of the total 91 feet of fence requested, 37 feet of the fence complies with zoning regulations and does not require a variance. **CHAPTER 83 FENCE CODE**

Mr. Abate read the variance request narrative. He said the homeowner started construction on the fence and has been cited with an enforcement, EN2025-0058 Working Without a Permit.

Ms. Hijazi explained the circumstances why construction on the fence started. She addressed a phone conversation she had with the Building Department in which it was her understanding a permit would not be required. Ms. Hijazi submitted a petition signed by 41 neighbors in support. She addressed in detail the garden project and her plan to plant arborvitae in front of the fence for screening.

Mr. Abate said the department received no public comment from the public notice except for the signed petition the applicant submitted today.

Some comments during discussion related to the following:

- Information and pictures submitted with the request.
- Property layout.
  - Rear property could accommodate garden.
  - Reason applicant wants garden in front yard.
- Consideration by applicant to lower the fence height.
- Variance if granted runs with the land.
- Concern in setting a precedent if variance granted.
- Consideration of conditioning approval, if granted; i.e., removal of fence upon transfer of home ownership.

Ms. Hijazi stated she does not want to lower the fence height. Her concern is that deer and vermin could jump the fence and do damage to the garden. She said she is willing to accept a condition of approval to remove the fence at her expense upon the sale of the home.

After a lengthy discussion, the Board presented an alternative fence layout that would comply with the Zoning Ordinance and require no variance.

- Install a 6 foot high fence 25 feet back from the property line, across the property to the existing chain link fence, with deer mesh.
- Install a 30 inch high fence in the front yard, in front of the 6 foot high fence, accommodating butterfly garden and other plantings.
- Existing posts could remain if railing is dropped to 30 inches.
- Arborvitae in front for screening if desired.
- Provides a safe environment for the children in the front yard.

Moved by: Brooks  
Support by: Dziurman

**RESOLVED**, To **deny** a variance request for 2143 Alfred, for the following reasons:

1. The characteristics of the property have not shown that a variance should be supported at this time.
2. There are fencing alternatives that would comply with the Zoning Ordinance.

Yes: All present (4)  
Absent: Frisen

### **MOTION CARRIED**

The applicant was advised to apply for a fence permit and encouraged to work with the Building Department on specifics of the alternative design as discussed at this meeting, or potentially other fencing alternatives that would comply with the Zoning Ordinance.

4. COMMUNICATIONS

None.

5. PUBLIC COMMENT

None.

6. MISCELLANEOUS BUSINESS

Mr. Wilson was welcomed to the Board.

7. ADJOURNMENT

The Regular meeting of the Building Code Board of Appeals adjourned at 3:58 p.m.

Respectfully submitted,

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Gary Abitheira, Chair

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Kathy L. Czarnecki, Recording Secretary

[https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT Building Code Board of Appeals/Minutes/2025/2025 09 03 Draft.docx](https://d.docs.live.net/2f7ed4fe5f664ea8/Documents/Kathy/COT%20Building%20Code%20Board%20of%20Appeals/Minutes/2025/2025%2009%2003%20Draft.docx)

**CITY OF TROY PLANNING DEPARTMENT  
BUILDING CODE BOARD OF APPEALS APPLICATION**

CITY OF TROY PLANNING DEPARTMENT  
500 W. BIG BEAVER ROAD  
TROY, MICHIGAN 48084  
PHONE: 248-524-3364  
E-MAIL: [planning@troymi.gov](mailto:planning@troymi.gov)



**FEE \$500.00**

**NOTICE TO THE APPLICANT**

REGULAR MEETINGS OF THE BUILDING CODE BOARD OF APPEALS ARE HELD ON THE FIRST **WEDNESDAY OF EACH MONTH AT 3:00 P.M.** AT CITY HALL.

PLEASE FILE A COMPLETE APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, **NOT LESS THAN TWENTY-SEVEN (27) DAYS** BEFORE THE MEETING DATE.

COMPLETE APPLICATIONS ARE PLACED ON THE NEXT AVAILABLE AGENDA OF THE BUILDING CODE BOARD OF APPEALS.

1. ADDRESS OF THE SUBJECT PROPERTY: 1611-1619 Livernois  
ACREAGE PROPERTY: *Attach legal description if this an acreage parcel*
2. PROPERTY TAX IDENTIFICATION NUMBER(S): ~~88-20-28-478-057~~ **88-20-28-478-062**
3. CODE NAME (e.g. "BUILDING CODE", "SIGN CODE", "FENCE CODE") AND SECTION(S) RELATED TO THE APPEAL:  
Troy ordinance code, Chapter 85 "Signs" 85.01.05 A
4. REASONS FOR APPEAL/VARIANCE: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist.*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? YES ☐ NO ☒

6. APPLICANT INFORMATION:

NAME Chris Corradi

COMPANY Aver Sign Co.

ADDRESS 1285 Wordsworth St

CITY Ferndale STATE MI ZIP 48101

TELEPHONE 248 542 0678

E-MAIL averpermit@aversign.com

7. APPLICANT'S AFFILIATION TO THE PROPERTY OWNER: Sign contractor

8. OWNER OF SUBJECT PROPERTY:

NAME Kenny Koza

COMPANY RW Troy Property LLC

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

TELEPHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

The undersigned hereby declare(s) under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Kenny Koza (PROPERTY OWNER), HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO CONDUCT A SITE VISIT TO ASCERTAIN PRESENT CONDITIONS.

SIGNATURE OF APPLICANT  DATE 7/22/25

PRINT NAME: Chris Corradi

SIGNATURE OF PROPERTY OWNER  DATE 7/22/25

PRINT NAME: Kenny Koza

*Failure of the applicant or his/her authorized representative to appear before the Board, as scheduled, shall be justifiable cause for denial or dismissal of the case with no refund of appeal fee(s). If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.*

*The applicant will be notified of the time and date of the hearing by electronic mail.*

Aver Sign Co.

1285 Wordsworth St

Ferndale, MI 48220

9/23/25

Troy Planning Dept/BCBA

500 W Big Beaver RD

Troy, MI 48084

To Whom it May Concern:

I am writing to describe the practical difficulties we face at 1611-1613 Livernois Rd with regards to signage on-site relative to the road right-of-way.

The current ordinance calls for a 60' right-of-way setback from the recorded center of the road which would require the sign to be placed 22' inboard from the property line. This setback would essentially make any ground sign impossible as it would place the sign squarely into the parking lot of the business. Obviously, this is not a realistic location for a gas station price sign.

We would like to request that the city relax the standard setback requirement; this would allow us to install a sign in a more reasonable location closer to the road and would not block traffic in the parking lot. The parcel's border sits well within the ROW easement, and as a result compliance with the letter of the ordinance would make the required sign position unworkable. These characteristics are simply a matter of changes to the ordinance and development in the area since the parcels were laid out.

Gas stations need to be able to display their prices to passing traffic and a site without a ground sign is at a severe disadvantage. We do not believe that a building sign or canopy-mounted price signs would be nearly as effective as an alternative, if such alternatives are even permissible, and placing a ground sign in the middle of an active parking lot is not feasible.

Nothing about this proposal seems to negatively impact the neighbors nor the community in general; in fact, this sign is relatively modest even in relation to other signs that are within view of this site.

We respectfully request a variance in the ground sign ordinance that would allow us to erect a sign nearer to the curb, in a more traditional place for a fuel price sign. We propose a 45' setback, which would put the sign more than 5' from the property line. This would allow our client to maintain their business in a competitive environment, would not negatively impact the surroundings, and we believe this would be the minimum variation needed to accommodate the needs of the community while also satisfying the needs of the business to advertise their products and services. Thank you for your consideration.

Sincerely,

Chris Corradi

Permit agent, Aver Sign Co.

**BENCHMARKS**  
PER CITY OF TROY

REFERENCE CITY OF TROY BENCHMARK  
BM0167  
ARROW ON HYDRANT AT THE NORTHEAST  
CORNER OF MAPLE ROAD AND LIVERNOIS  
ELEV. 670.963

REFERENCE CITY OF TROY BENCHMARK  
BM0341  
"M" IN MUELLER ON HYDRANT #27-148  
AT THE SE CORNER OF LIVERNOIS AND  
CHOPIN  
ELEV. 670.90

BM #300  
ARROW ON A HYDRANT LOCATED ON THE  
NORTH SIDE OF W. MAPLE ROAD, ON THE  
EAST SIDE OF THE ENTRANCE DRIVE TO  
W. MAPLE ROAD,  
ELEV. = 672.61

#### CONSTRUCTION MATERIAL SUBMITTALS

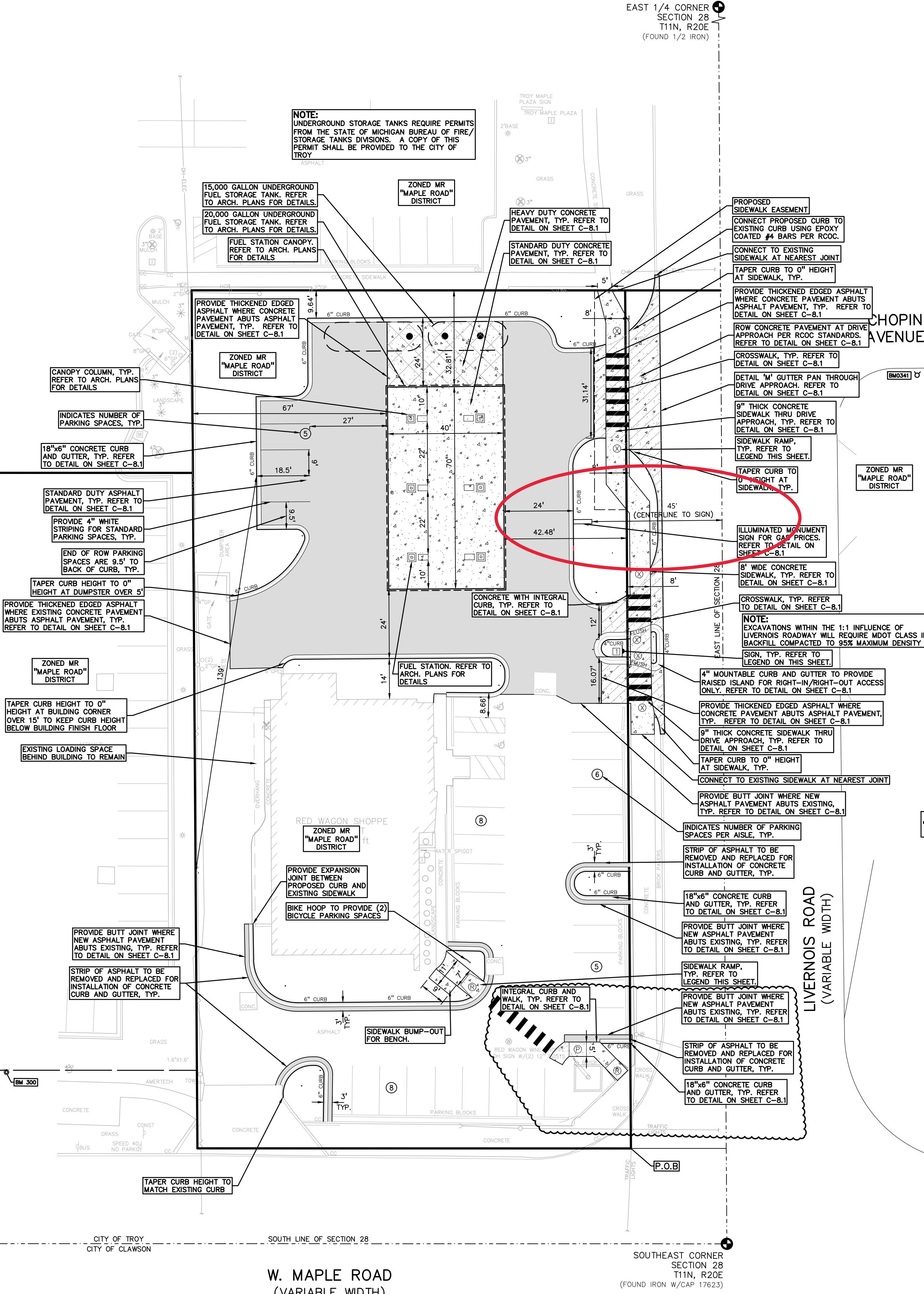
UNLESS REQUIRED OTHERWISE IN THE PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL ONLY SUBMIT THE FOLLOWING CONSTRUCTION MATERIAL SUBMITTALS, AS APPLICABLE TO THE PROJECT, FOR REVIEW BY THE ENGINEER. UNLESS APPROVED IN ADVANCE AND IN WRITING BY THE ENGINEER, ANY MATERIAL SUBMITTALS PROVIDED TO THE ENGINEER FOR REVIEW IN ADDITION TO THIS LIST SHALL BE RETURNED TO THE CONTRACTOR WITHOUT A REVIEW BEING PERFORMED.

- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
- UTILITY TRENCH BACKFILL MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- STORM SEWER PIPING INCLUDING JOINTS
- STORM SEWER STRUCTURES
- STORM SEWER STRUCTURE FRAME AND COVERS INCLUDING CLEAN OUTS
- STORM WATER MANAGEMENT OUTLET CONTROL STRUCTURES INCLUDING COVERS OR GRATES
- STORM WATER MANAGEMENT MECHANICAL PRE-TREATMENT UNITS INCLUDING COVERS
- STORM WATER MANAGEMENT OIL/GREASE SEPARATORS
- PAVEMENT AGGREGATE BASE MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- PAVEMENT UNDERDRAIN MATERIAL AND BACKFILL WITH ALL BACKFILL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW BY THE ENGINEER MUST FOLLOW THE CURRENT MDOT REVIEW CHECKLISTS AS SUMMARIZED BELOW AND ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER:
  - 8.1. CONCRETE MIX DESIGN REVIEW CHECKLIST (FORM 2000)
  - 8.2. SUPERPAVE MIX DESIGN CHECKLIST (FORM 1862)
  - 8.3. MARSHALL MIX DESIGN CHECKLIST (FORM 1849)
- ANY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:

- \*\* ANY SPECIALTY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY DO NOT STATE FOR THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW BUT THE CONTRACTOR REQUESTS TO BE REVIEWED, THE CONTRACTOR'S REQUEST FOR REVIEW MUST BE IN WRITING AND APPROVED BY THE ENGINEER PRIOR TO SUBMITTING THE INFORMATION.

#### PAVING QUANTITIES:

STANDARD DUTY ASPHALT	10,273 S.F.
STANDARD DUTY CONCRETE	2,802 S.F.
CONCRETE SIDEWALK	417 S.F.
HEAVY DUTY CONCRETE	1,501 S.F.
CONCRETE CURB AND GUTTER	891 L.F.
HEAVY DUTY CONCRETE (ROW)	1,144 S.F.
CONCRETE SIDEWALK (ROW)	592 S.F.
CONCRETE CURB (ROW)	88 L.F.



#### GENERAL NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, MDOT AND MUNICIPALITY STANDARDS AND REGULATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
  - ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
  - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
  - CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED BY ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL. HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTOR'S EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
  - ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPAIRED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, CITY AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
  - THE USE OF CRUSHED CONCRETE IS PROHIBITED ON THE PROJECT WITHIN 100 FEET OF ANY WATER COURSE (STREAM, RIVER, COUNTY DRAIN, ETC.) AND LAKE, REGARDLESS OF THE APPLICATION OR LOCATION OF THE WATER COURSE OR LAKE RELATIVE TO THE PROJECT LIMITS.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

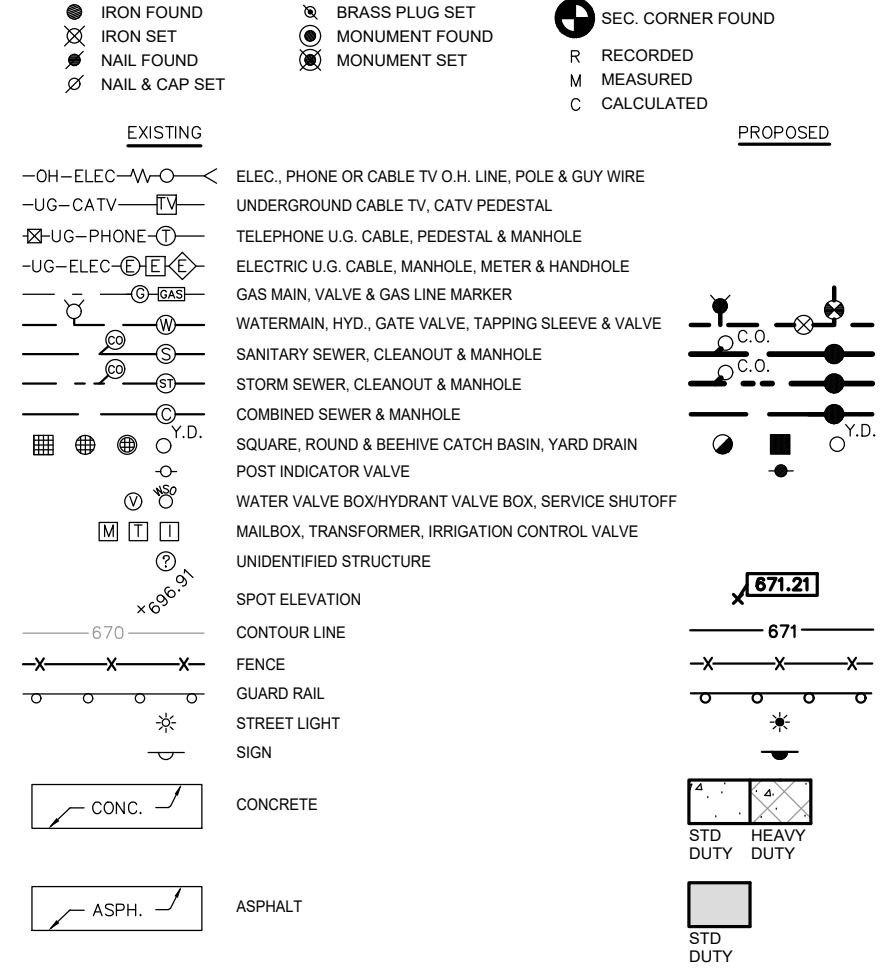
#### GENERAL NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.

#### PAVING NOTES:

- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
- CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT SHOULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
- ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
- CONCRETE PAVEMENT JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
  - WHERE PROPOSED CONCRETE ABUTS A STRUCTURE, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. THE JOINT FILLER BOARD MUST BE AT LEAST THE FULL DEPTH OF THE CONCRETE AND HELD DOWN A 1/2" TO ALLOW FOR SEALING.
  - WHERE PROPOSED CONCRETE ABUTS EXISTING CONCRETE OR IN BETWEEN POURS OF PROPOSED CONCRETE (CONSTRUCTION JOINT), PROVIDE 5/8" DOWELS EVERY 30" CENTER TO CENTER HALF WAY ALONG THE THICKNESS OF THE PROPOSED PAVEMENT. ALTERNATE DOWELS SIZES AND SPACING MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
  - WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED SIDEWALK OR CURBING, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. CONTROL, LONGITUDINAL AND/OR TRANSVERSE JOINTS SHALL BE PLACED TO PROVIDE PANELS WITHIN THE PAVEMENT AS SQUARE AS POSSIBLE WITH THE FOLLOWING MAXIMUM SPACING PARAMETERS:
    - 6-INCH THICK CONCRETE PAVEMENT: 12' X 12'
    - 4.2-8-INCH THICK CONCRETE PAVEMENT: 12' X 15'
  - IRREGULAR-SHAPED PANELS MAY REQUIRE THE USE OF REINFORCING MESH OR FIBER MESH AS DETERMINED BY THE ENGINEER. THE USE OF MESH MUST BE APPROVED THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
  - IF A JOINT PLAN IS NOT PROVIDED IN THE PLANS, THE CONTRACTOR SHALL SUBMIT ONE TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
- CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
  - JOINTS WHEN ADJACENT TO ASPHALT PAVEMENT
    - PLACE CONTRACTION JOINTS AT 10' INTERVALS
    - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
    - PLACE 1" EXPANSION JOINT:
      - AT SPRING POINTS OF INTERSECTIONS OR ONE OF THE END OF RADIUS LOCATIONS IN A CURVE
      - AT 400' MAXIMUM INTERVALS ON STRAIGHT RUNS
      - AT THE END OF RADIUS AT OPPOSITE ENDS IN A CURBED LANDSCAPE ISLAND
  - JOINTS WHEN TIED TO CONCRETE PAVEMENT
    - PLACE CONTRACTION JOINTS OPPOSITE ALL TRANSVERSE CONTRACTION JOINTS IN PAVEMENT
    - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
    - PLACE 1" EXPANSION JOINT OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT
    - CURB AND GUTTER AND CONCRETE SHALL BE TIED TOGETHER SIMILAR TO A LONGITUDINAL LANE TIE JOINT (MDOT B1 JOINT)
  - BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT):
    - CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
    - IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY, THEN THE TWO PIECES OF REBAR PER THE LATEST MDOT SPECIFICATIONS
- CONCRETE SIDEWALK JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
  - PLACE TRANSVERSE CONTRACTION JOINTS EQUAL TO THE WIDTH OF THE WALK WHEN WIDTH IS LESS THAN 8'
  - PLACE TRANSVERSE AND LONGITUDINAL CONTRACTION JOINTS EQUAL TO 1/2 THE WIDTH OF THE WALK WHEN WIDTH IS EQUAL TO OR GREATER THAN 8'
  - PLACE 1" EXPANSION JOINT WHERE ABUTTING SIDEWALK RAMP AND/OR RADIUS IN INTERSECTION
  - PLACE TRANSVERSE 1/2" EXPANSION JOINT AT MAXIMUM OF 100' SPACING
  - PLACE 1/2" EXPANSION JOINT WHEN ABUTTING A FIXED STRUCTURE, OTHER PAVEMENT (CONCRETE PAVEMENT AND DRIVE APPROACHES), UTILITY STRUCTURES, LIGHT POLE BASES AND COLUMNS

#### LEGEND



#### SIGN LEGEND:

'RIGHT TURN ONLY' SIGN  
REFER TO DETAIL SHEET C-8.1 FOR SIGN DETAILS

#### SITE DATA TABLE:

SITE AREA: 1.02 ACRES NET AND GROSS

ZONING: MR - MAPLE ROAD DISTRICT

PROPOSED USE: VEHICLE FUELING/MULTI-USE STATION (4,455 SF NET)

BUILDING INFORMATION:  
EXISTING BUILDING HEIGHT = 23'-0"

EXISTING BUILDING FOOTPRINT AREA = 4,953 SQ.FT.

FUELING STATION SETBACK REQUIREMENTS:	REQUIRED:	PROPOSED:
FRONT:	25'	59.45'
SIDE:	10'	18.31'
REAR:	20'	65.54'

PARKING CALCULATIONS:  
VEHICLE FUELING/MULTI USE = 1 SPACE PER 125 S.F. OF NET FLOOR AREA PLUS 2 SPACES PER FUELING STATION  
TOTAL PARKING REQUIRED = 4,455/125 + 6 STATIONS + 2 SPACES = 48 SPACES  
PROPOSED PARKING SPACES = 32 SPACES INC. 2 H/C SPACES PLUS 2 SPACES PROVIDED AT EACH FUELING STATION  
TOTAL PROPOSED PARKING SPACES = 44 SPACES INC. 2 H/C SPACES\*

#### SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE R'  
SIDEWALK RAMP 'TYPE P'  
CURB DROP ONLY  
REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com



0 10 20 40  
SCALE: 1" = 20'



CAUTION!!  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

#### CLIENT

**RW TROY, LLC**  
29200 NORTHWESTERN HWY., SUITE 450  
SOUTHFIELD, MICHIGAN 48034

#### PROJECT TITLE

**RED WAGON**  
1613 LIVERNOIS RD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

#### REVISIONS

CITY REVISIONS	10/22/2024
FUEL TANK REVISION	11/5/2024
IFC	1/20/2025
REVISED ENGINEERING	2/6/2025
ADDED DIMENSION	08/26/2025
REV. SIDEWALK	09/19/2025

ORIGINAL ISSUE DATE:  
FEBRUARY 9, 2022

#### DRAWING TITLE

**DIMENSION AND PAVING PLAN**

PEA JOB NO. 2021-0438

P.M. JPB

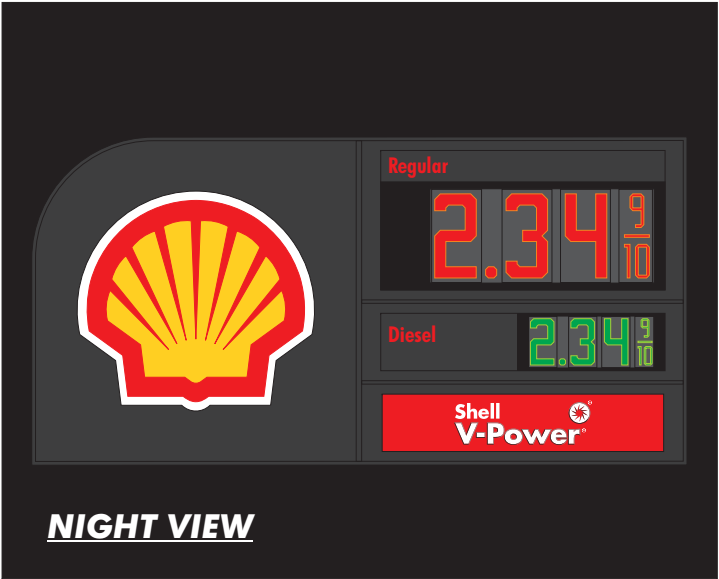
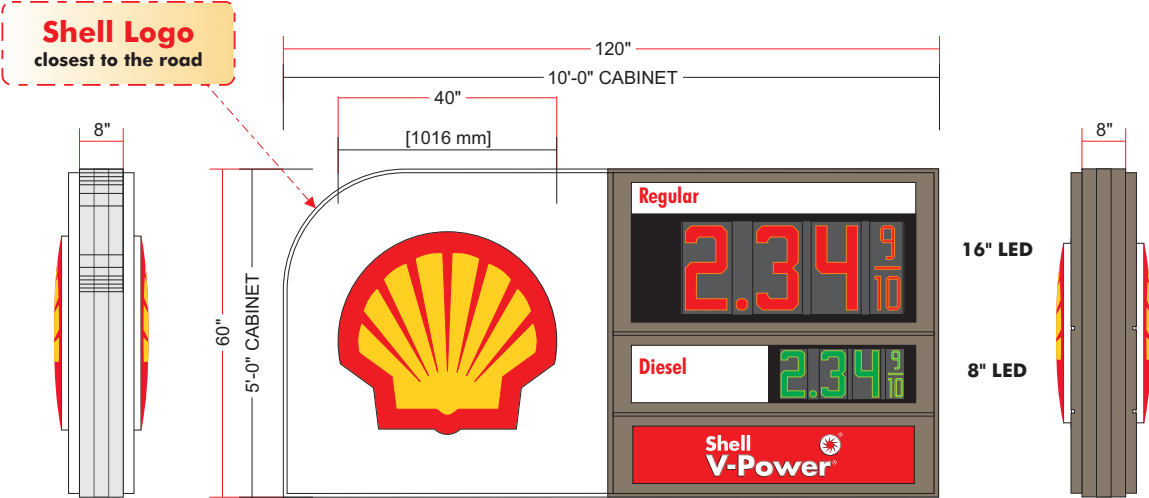
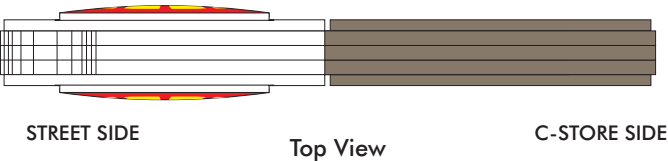
DN. MT

DES. LGD

DRAWING NUMBER:

**C-3.0**

**NEW Shell 5' x 10'**  
**MVI Monument Cabinet.**  
*SHELL ID, 2X REGULAR, 1X DIESEL, 1X V-POWER*



**Side View**

**Cabinet Elevation**

**Side View**

Scale: 1/2" = 1'

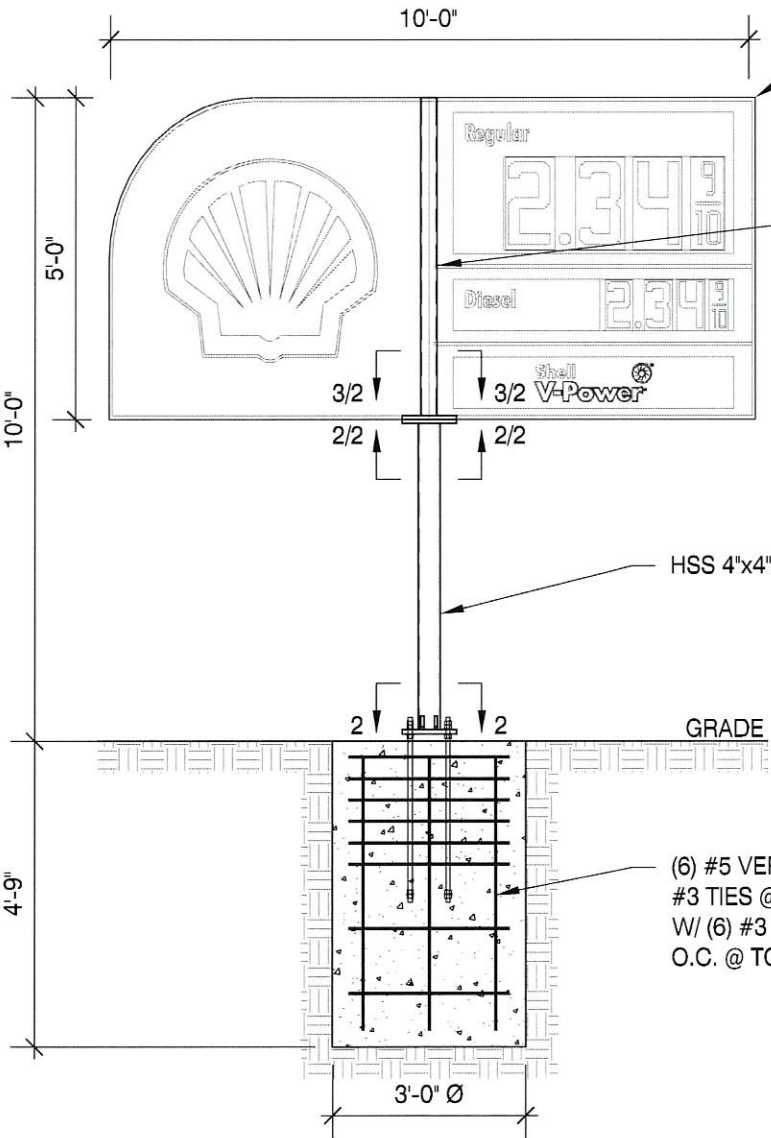
GROUND SIGN DESIGN SPECIFICATIONS:

- 1. REFER TO SIGN COMPANY'S DRAWINGS FOR MORE DETAILS. ALL DESIGNS, DETAILING FABRICATION AND CONSTRUCTION SHALL CONFORM TO:  
2021 MICHIGAN BUILDING CODE  
ACI  
AISC  
AMERICAN WELDING SOCIETY  
LOCAL BUILDING CODES & ORDINANCES
- 2. CONCRETE: 2500 PSI @ 28 DAYS
- 3. STD. STEEL PIPE SECTION: ASTM A53 GRADE B (Fy=35 KSI), U.N.O.
- 4. STEEL PIPE SECTION (> 20" Ø): ASTM A252 GRADE 3 (Fy=42 KSI MIN.) U.N.O.
- 5. HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42 KSI) U.N.O.
- 6. HSS SQUARE/RECTANGULAR SECTION: ASTM A500 GRADE B (Fy=46 KSI)
- 7. W SHAPES: ASTM A992 (Fy = 50 KSI)
- 8. ANCHOR BOLTS: ASTM F1554 GRADE 36 U.N.O. (ALTERNATES GRADE 55 & 105)
- 9. CONNECTION BOLTS: ASTM A325
- 10. THREADED RODS: ASTM A193 GRADE B7
- 11. STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES & PLATES ASTM A36
- 12. REINFORCING: GRADE 60 ASTM A615
- 13. PROVIDE A MINIMUM OF THREE INCHES OF CONCRETE COVER OVER EMBEDDED STEEL.
- 14. THE CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- 15. NO FIELD HEATING FOR BENDING OR CUTTING OF STEEL SHALL BE ALLOWED WITHOUT THE ENGINEER'S APPROVAL.
- 16. WELDING ELECTRODES: E70XX
- 17. ALLOWABLE VERTICAL SOIL BEARING PRESSURE ASSUMED: 2000 PSF
- 18. ASSUMED HORIZONTAL (PASSIVE PRESSURE) ASSUMED AT 150 PSF/FT OF DEPTH. ISOLATED LATERAL BEARING FOUNDATIONS FOR SIGNS NOT ADVERSELY AFFECTED A 1/2" MOTION AT THE GROUND SURFACE DUE TO SHORT TERM LATERAL LOADS SHALL BE PERMITTED TO BE DESIGNED USING TWO TIMES THE TABULATED CODE VALUES.
- 19. ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH.
- 20. IF FILL IS PRESENT (NON-NATIVE SOIL), ENGINEERED FILL MUST BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. THE SOIL BEARING CAPACITY IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. IF ALLOWABLE BEARING AND/OR LATERAL PRESSURE IS LESS THAN THE ABOVE ASSUMED AND/OR CALCULATED PRESSURES, THE ENGINEER SHOULD BE CONTACTED FOR RE-EVALUATION.
- 21. EXCAVATION SHALL BE FREE OF LOOSE SOIL BEFORE POURING CONCRETE.
- 22. WELDERS SHALL BE CERTIFIED FOR THE TYPE OF WELDING.
- 23. ADEQUATELY BRACE POLE(S) UNTIL CONCRETE HAS SET UP FOR 14 DAYS.
- 24. THIS ENGINEER DOES NOT WARRANT THE ACCURACY OF DIMENSIONS FURNISHED BY OTHERS.
- 25. ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- 26. THIS DESIGN IS FOR THE INDICATED ADDRESS ONLY, AND SHOULD NOT BE USED AT OTHER LOCATIONS WITHOUT WRITTEN PERMISSION OF THE ENGINEER.
- 27. DESIGN OF DETAILS AND STRUCTURAL MEMBERS NOT SHOWN, BY OTHERS.

NOTES

- 1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.
- 2.) SIGN CABINET AND CONNECTION BY AVER SIGN COMPANY.

- \* CLIENT - AVER SIGN COMPANY
- \* 2021 MICHIGAN BUILDING CODE
- \* RISK CATEGORY II
- \* 110 MPH WIND SPEED, EXP. C
- \* (1) POLE, (1) FOOTING



FRONT ELEVATION W/ CAISSON FOUNDATION

SCALE: N.T.S.

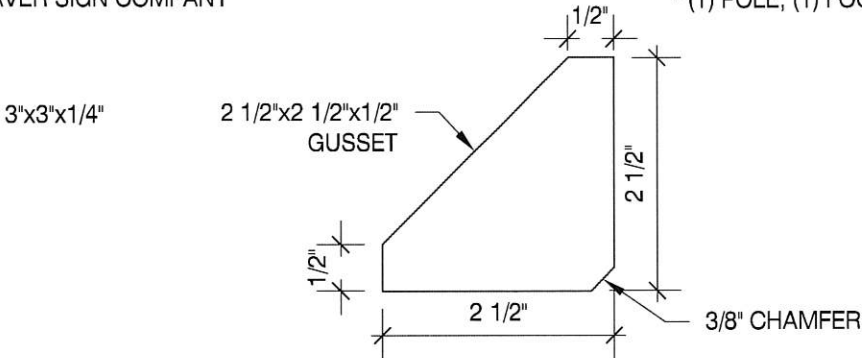
1

SIGN CABINET AND CONNECTION TO POLE BY AVER SIGN COMPANY

HSS 3"x3"x1/4"

HSS 4"x4"x1/4"

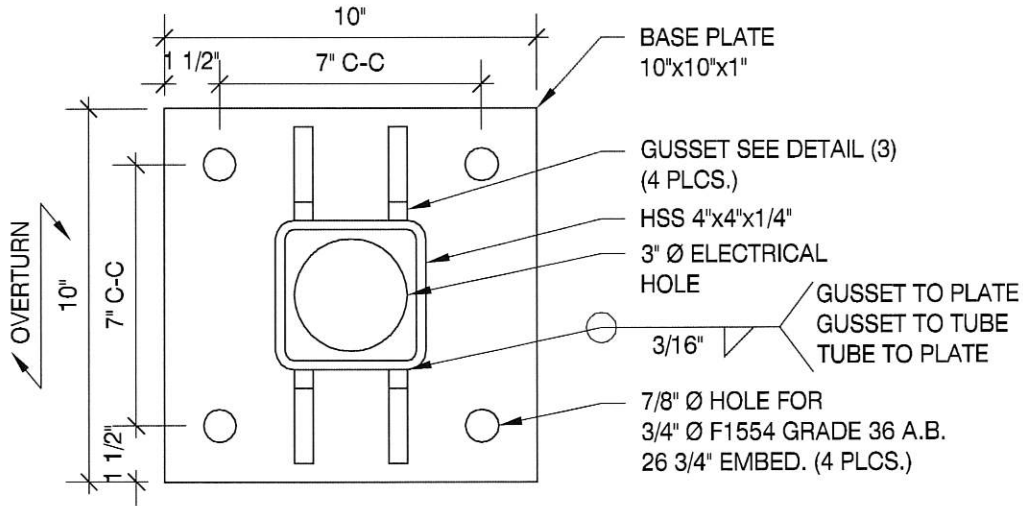
(6) #5 VERTICALS W/ #3 TIES @ 12" O.C. W/ (6) #3 TIES @ 4" O.C. @ TOP



GUSSET DETAIL

SCALE: N.T.S.

3



BASE PLATE DETAIL

SCALE: N.T.S.

2

MBI

MBI COMPANIES INC.  
299 N. WEISGARBER RD.  
KNOXVILLE, TN 37919  
PHONE 865.584.0999  
SIGN-ENGINEER.COM

PROJECT:  
1613 LIVERNOIS RD, TROY, MI 48083

DRAWING TITLE:

SHELL

DRAWN BY:  
CTP

CHECKED BY:  
NDB

COMM. NO.  
250890-009-00

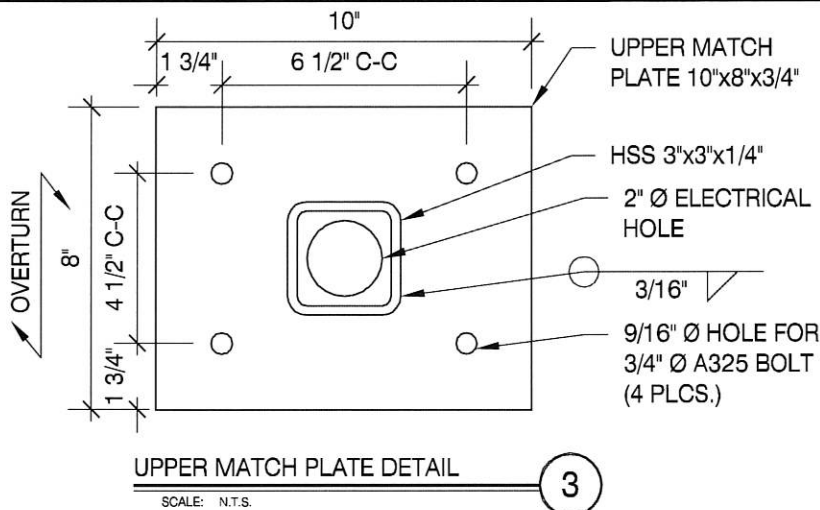
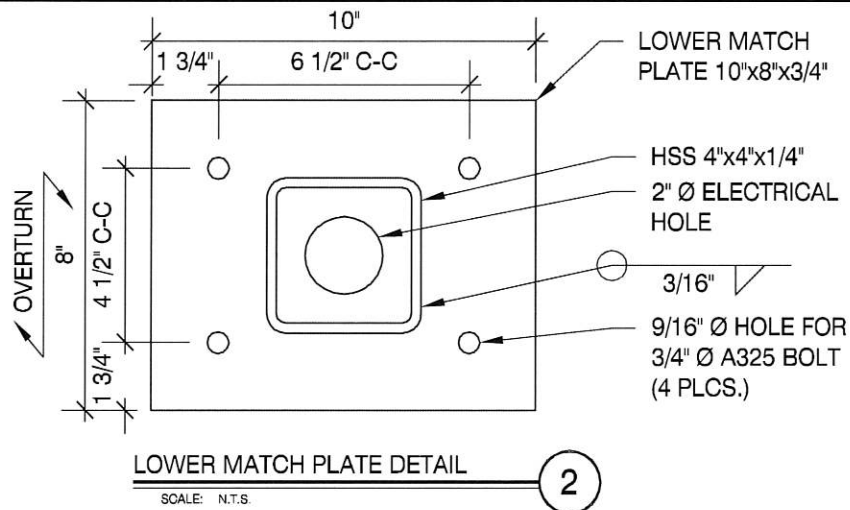
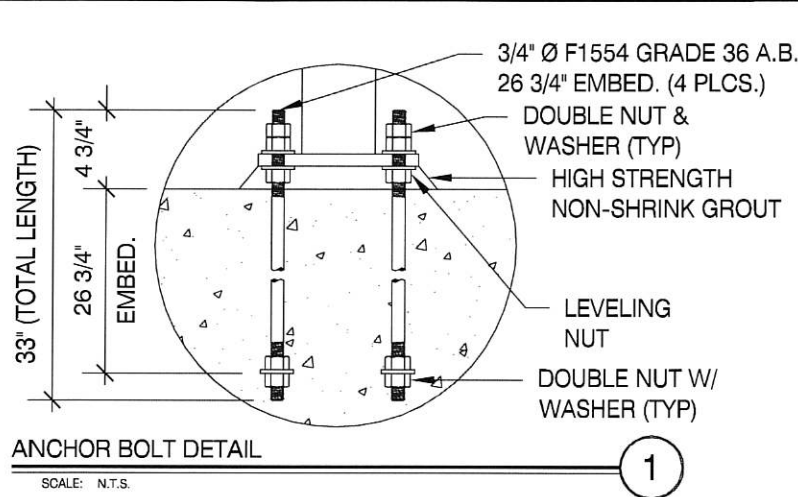
DATE:  
06/20/25

REV #	DATE	DRAWN BY

DRAWING NO.  
DWG.

1





NOTES  
1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.  
2.) SIGN CABINET AND CONNECTION BY AVER SIGN COMPANY.

\* CLIENT - AVER SIGN COMPANY  
\* 2021 MICHIGAN BUILDING CODE  
\* RISK CATEGORY II  
\* 110 MPH WIND SPEED, EXP. C  
\* (1) POLE, (1) FOOTING

WIND DATA									
Building Code	2021 Michigan Buil	Importance Factor, I	1.0	Damping Ratio, $\beta$	0.005				
Wind Load Criteria	ASCE 7-16	Directionality Factor, $K_d^{(2)}$	0.85	Natural Frequency, $n_1$	2.32 Hz				
Wind Speed, V	110 mph	Topography Factor, $K_{zt}$	1.0	Gust Effect Factor, G	0.85				
Exposure Category	C	Base Pressure, $V(q_z/K_z)$	15.8 psf	ASD Wind Load Factor, $\gamma^{(3)}$	0.6				
Wind Pressure Override per Jurisdiction Requirement	0 psf								

Notes: (1) Loading values in chart below are based upon average  $K_z$  values for each segment. Actual values are calculated on hidden sheet using derived V-M equations. Chart is provided for information purposes only.

(2) Wind directionality ( $K_d$ ) factor is 0.95 for Single Pole (Round) segments instead of 0.85. The  $C_f$  value from Fig. 6-21 has been increased by 0.95/0.85 to account for this variation.

(3) Wind pressures listed below have already been multiplied by the ASD Wind Load Factor,  $\gamma$ .

GEOMETRY INPUT <sup>(1)</sup>																	
Monument:		No															
No. of Poles	1	No. of Footings	1														
Section	Location	Type	Height	Width	Horiz. Offset	Area	Top Elev.	Centroid	$K_z$	$C_f$	Wind Press.	Support Pole Loads			Footing Loads		
			ft	ft	ft	sq ft	ft	ft			psf	Trib. Factor	Shear kips	Moment k-ft	Trib. Factor	Shear kips	Moment k-ft
1	Base	Single Pole (Not Round)	5.00	0.33		1.7	5.0	2.5	0.85	1.78	20.3	1.0	0.0	0.1	1.0	0.0	0.1
2		Single Pole w/ Cabinet	5.00	9.87		49.4	10.0	7.5	0.85	1.70	19.4	1.0	1.0	7.2	1.0	1.0	7.2
Overall Height:			10.00 ft		Summation based upon averages above:								1.0	7.3	1.0	7.3	
			Actual base reactions based upon V-M equations:								1.0	7.3	1.0	7.3			

SUPPORT POLE DESIGN SUMMARY			MATERIAL = STEEL														
Base Elev	Section	Axis	Required Strength Values (ASD)				Allowable Strength Values (ASD)				Unity Ratios				Interaction Ratios		Status
			$V_r$	$M_r$	$T_r$	$P_r$	$V_c$	$M_c$	$T_c$	$P_c$	$V_r/V_c$	$M_r/M_c$	$T_r/T_c$	$P_r/P_c$	P-M	P-M-V-T	
			kips	kip-ft	kip-ft	kips	kips	kip-ft	kip-ft	kips							
ft																	
0.00	HSS4X4X1/4	Strong	1.0	7.3	1.9	0.6	28.3	10.8	9.0	15.2	3.5%	67.6%	21.0%	3.9%	71.5%	77.5%	✓
5.00	HSS3X3X1/4	Strong	1.0	2.4	1.9	0.5	19.7	5.7	4.8	38.4	4.9%	42.1%	39.0%	1.4%	43.5%	62.8%	✓

ELEMENT DESIGN LOCATIONS, LOADS AND DISPLACEMENTS									
Element	Elev.	Type	$V_r$	$M_r$	$T_r$	$P_r$	$0.7^* \theta$	$0.7^* \delta$	
	ft		kips	kip-ft	kip-ft	kips	radians	in	
1	0.00	Base Plate	1.0	7.3	1.9	0.6	0.0	0.0	
2	5.00	Match Plate 1	1.0	2.4	1.9	0.5	0.0	0.4	

PLATE DESIGN SUMMARY															
Type	Plate Dimensions				Bolts						Weld				
	N	B	D	t	Number	$d_b$	$N_{edge}$	$B_{edge}$	Circle Diamete	Material	Embed in Caisson / Vertical Slab	Embed in	Size	Gussets	Status
	in	in	in	in		in	in	in	in		in	in	in		
✓ Rectangular Base Plate	10	10	--	0.75	4	0.75	1.5	1.5	--	F1554 Grade 36	26.75	N/A	0.188	Yes	OK
✓ Match Plate 1 (Lower)	8	10	--	0.75	4	0.5	1.75	1.75	--	A325	--	--	0.188	No	OK
✓ Match Plate 1 (Upper)	8	10	--	0.75	4	0.5	1.75	1.75	--	A325	--	--	0.188	No	OK

FOUNDATION DESIGN SUMMARY										
Type		Diameter	Width	Thickness	Length	Depth	Volume	Reinforcing	Status	Allowable Soil Pressure
		ft	ft	ft	ft	ft	CY			
✓	Caisson	3.00	--	--	--	4.75	1.24	(6) #5 Vert. w/ #3 Ties @ 12 in o.c. and (6) @ 4 in o.c. Top	OK	300 psf/ft

MBI

MBI COMPANIES INC.  
299 N. WEISGARBER RD.  
KNOXVILLE, TN 37919  
PHONE 865.584.0999  
SIGN-ENGINEER.COM

PROJECT:  
1613 LIVERNOIS RD, TROY, MI 48083

DRAWING TITLE:

SHELL

DRAWN BY:  
CTP

CHECKED BY:  
NDB

COMM. NO.  
250890-009-00

DATE:  
06/20/25

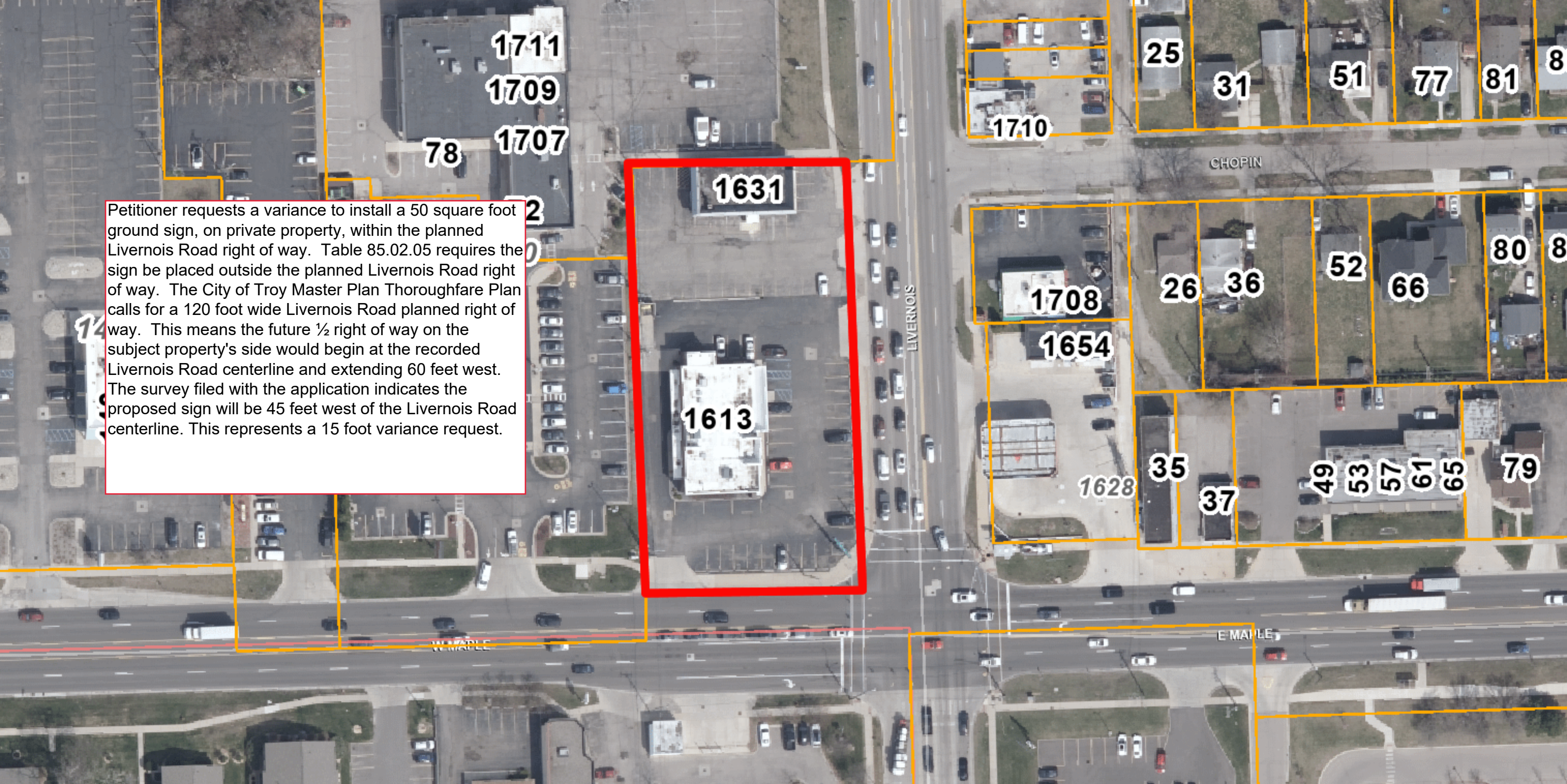
REV #	DATE	DRAWN BY

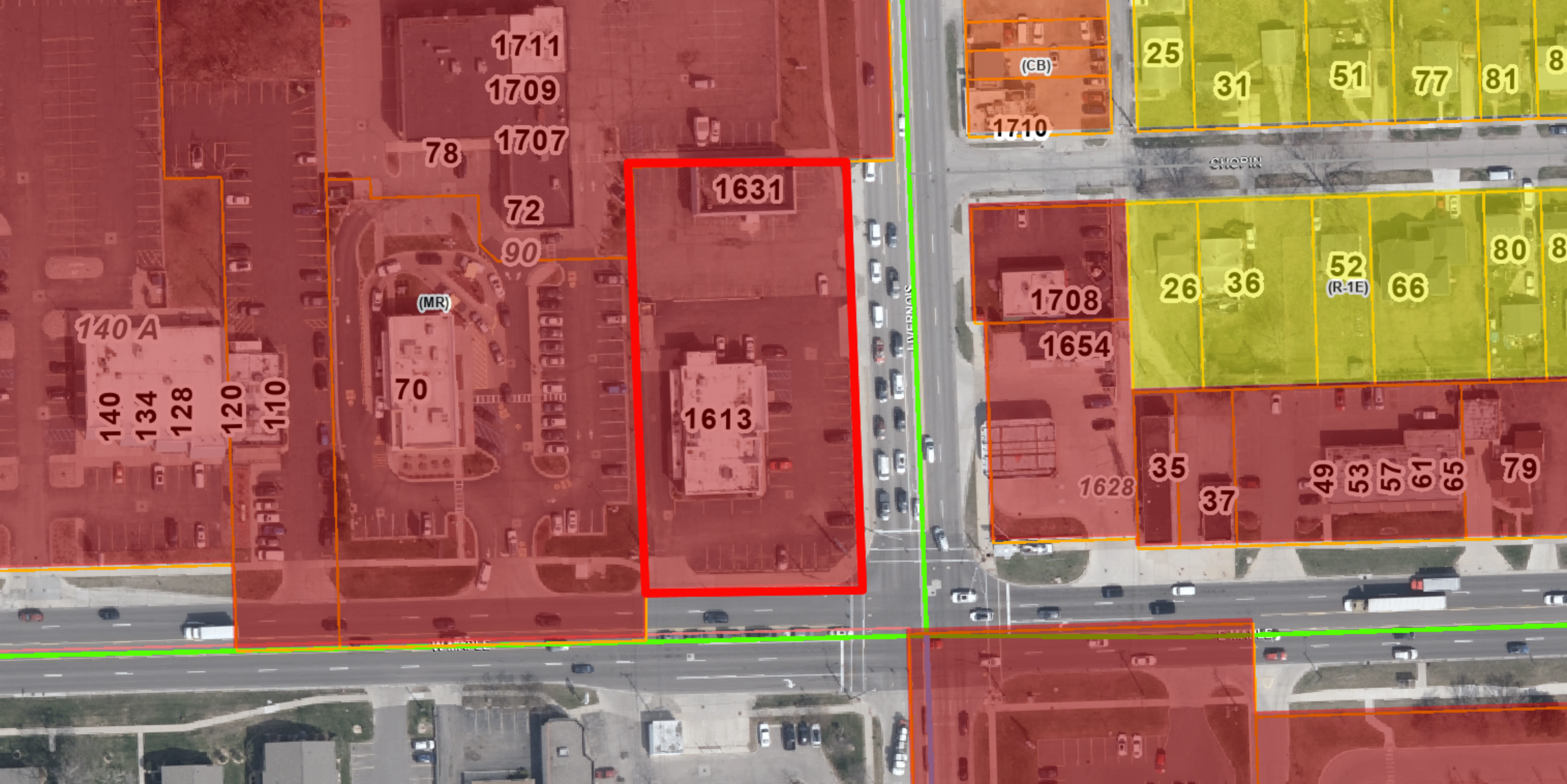
DRAWING NO.  
DWG.

2



Petitioner requests a variance to install a 50 square foot ground sign, on private property, within the planned Livernois Road right of way. Table 85.02.05 requires the sign be placed outside the planned Livernois Road right of way. The City of Troy Master Plan Thoroughfare Plan calls for a 120 foot wide Livernois Road planned right of way. This means the future ½ right of way on the subject property's side would begin at the recorded Livernois Road centerline and extending 60 feet west. The survey filed with the application indicates the proposed sign will be 45 feet west of the Livernois Road centerline. This represents a 15 foot variance request.





1711

1709

1707

78

72

90

1631

1613

(MR)

70

(CB)

1710

25

31

51

77

81

8

CHOPIN

1708

1654

26

36

52  
(R-1E)

66

80

8

1628

35

37

49

53

57

61

65

79

140 A

140

134

128

120

110

(Rev. 09-24-2018; Effective 10-01-2018)

- a. One ground sign for each building in accordance with Table 85.02.06.

(Rev. 09-24-2018; Effective 10-01-2018)

- b. One additional ground sign for each building, not to exceed thirty-six square feet in area if the site fronts on a major thoroughfare.

(Rev. 09-24-2018; Effective 10-01-2018)

- c. Any number of wall signs, such that the total combined area of all wall signs for each tenant shall not exceed 10% of the front area of the structure or tenant area. Wall signs must be located on the face of the area that is occupied by the tenant.

(Rev. 09-24-2018; Effective 10-01-2018)

- d. Interior or exterior signs, including signs affixed to windows, must comply with the Transparency Requirements of the Zoning Ordinance.

(Rev. 09-24-2018; Effective 10-01-2018)

- e. One pedestrian-scaled wall sign or projecting sign per tenant, provided it does not exceed twelve square feet in area and does not project more than forty eight (48) inches from the wall.

(Rev. 09-24-2018; Effective 10-01-2018)

<b>TABLE 85.02.05 STANDARDS FOR GROUND SIGNS</b>			
<b>Zoning District</b>	<b>Minimum Setbacks*</b>	<b>Maximum Height</b>	<b>Maximum Area</b>
All R and C-F	10 ft.	12 ft.	See Section 85.02.05 C (1) & 85.02.05 C (2)
All CB, GB, BB, IB, MR, NN, O, R-C and-PV	0 ft.	10 ft.	50 sq. ft.
	20 ft.	20 ft.	100 sq. ft.

\* Indicates setback from existing street right-of-way, or from planned right-of-way (as indicated in Master Thoroughfare Plan), whichever is greater.

(Rev. 09-24-2018; Effective 10-01-2018)

85.03.00 General Exceptions: The regulations of this Chapter shall be subject to the following exceptions.

85.03.01 Special Event Signs

(Rev. 09-24-2018; Effective 10-01-2018)

- b. The characteristics which make compliance with the requirements of this Chapter difficult must be related to the premises for which the variance is sought, not some other location; and

(Rev. 09-24-2018; Effective 10-01-2018)

- c. The characteristics which make compliance with the requirements of this Chapter difficult shall not be of a personal nature; and

(Rev. 09-24-2018; Effective 10-01-2018)

- d. The characteristics which make compliance with the requirements of this Chapter difficult must not have been created by the owner of the premises, a previous owner, or the applicant; and

(Rev. 09-24-2018; Effective 10-01-2018)

- e. The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase congestion in public streets, or increase the danger of fire or endanger public safety, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

(Rev. 09-24-2018; Effective 10-01-2018)

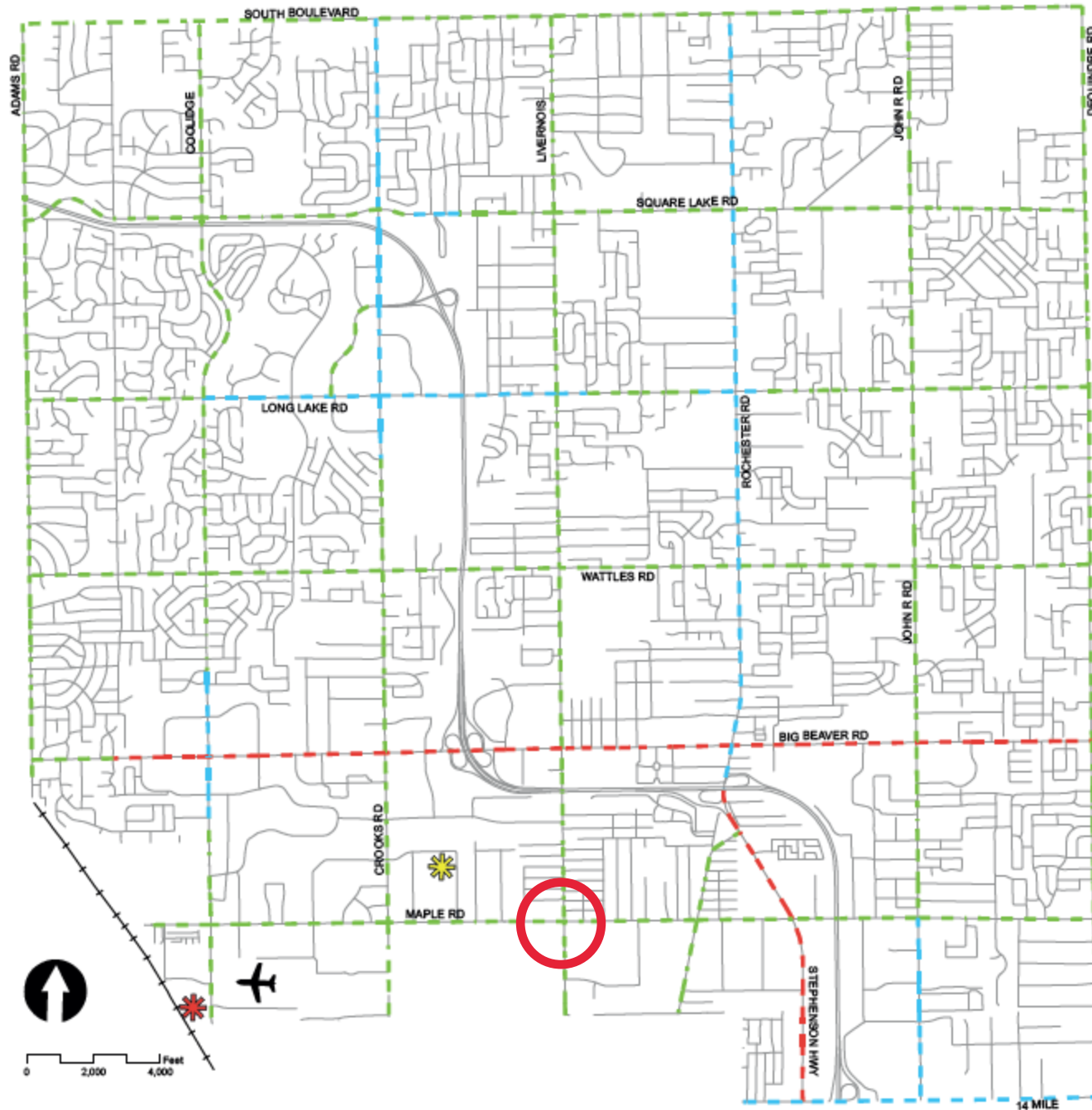
- 2. Limitation on Variances: In no case shall any variance be granted that would result in a sign that exceeds the height, size, or setback provisions of this Chapter by 25% or that would increase the number of signs permitted by this Chapter by more than 25%.

(Rev. 09-24-2018; Effective 10-01-2018)

### 85.01.09 Violations

- A. It shall be unlawful for any person to erect, construct, maintain, enlarge, alter, move, or convert any sign in the City of Troy, or cause or permit the same to be done, contrary to or in violation of any of the provisions of this Chapter. Any person violating any of the provisions of this Chapter shall be responsible for committing a Municipal Civil Infraction subject to the provisions of Chapter 100 of the Code of the City of Troy. Each day that a violation continues is deemed a separate Municipal Civil Infraction. Sanctions for each violation of Chapter 85 shall include a fine of not more than \$500, costs, damages and injunctive orders as authorized by Chapter 100. Any sign constituting an immediate hazard to health and safety is deemed a nuisance and may be removed by the Zoning Administrator at the expense of the owner of the sign or other responsible party, in the discretion of the Zoning Administrator.

# Thoroughfare Plan



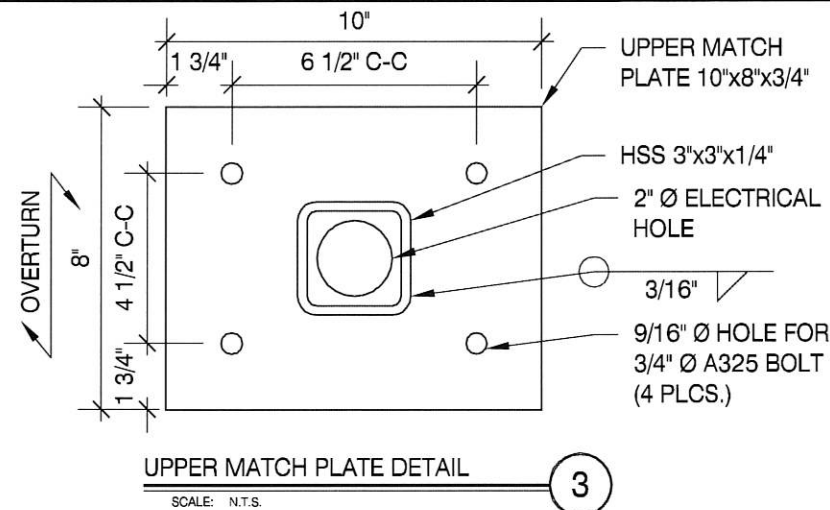
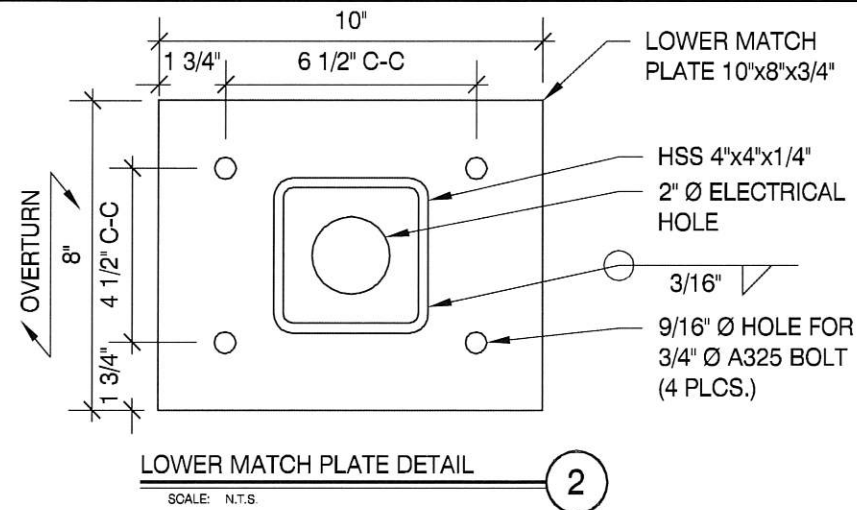
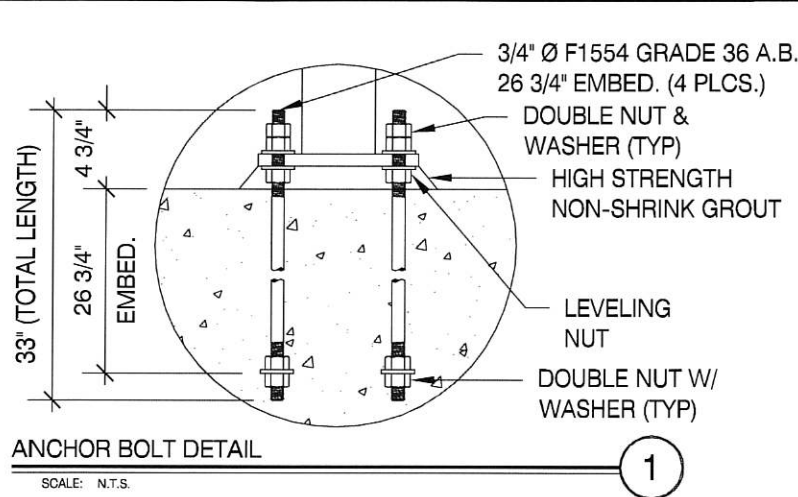
## Legend

- 204 ft. R.O.W.
- 150 ft. R.O.W.
- 120 ft. R.O.W.

- Transit Center
- Transit Service
- Airport

Date: May 27, 2008

Provided By: Carlisle/Wortman Assoc., Inc.  
Community Planners & Landscape Architects



- NOTES
- 1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.
  - 2.) SIGN CABINET AND CONNECTION BY AVER SIGN COMPANY.

- \* CLIENT - AVER SIGN COMPANY  
\* 2021 MICHIGAN BUILDING CODE  
\* RISK CATEGORY II  
\* 110 MPH WIND SPEED, EXP. C  
\* (1) POLE, (1) FOOTING

WIND DATA									
Building Code	2021 Michigan Build-Importance Factor, I		1.0	Damping Ratio, $\beta$		0.005			
Wind Load Criteria	ASCE 7-16	Directionality Factor, $K_d$ <sup>(2)</sup>	0.85	Natural Frequency, $n_1$		2.32 Hz			
Wind Speed, V	110 mph	Topography Factor, $K_{zt}$	1.0	Gust Effect Factor, G		0.85			
Exposure Category	C	Base Pressure, $v(q_z/K_z)$	15.8 psf	ASD Wind Load Factor, $\gamma$ <sup>(3)</sup>		0.6			
Wind Pressure Override per Jurisdiction Requirement	0 psf								

Notes: (1) Loading values in chart below are based upon average  $K_z$  values for each segment. Actual values are calculated on hidden sheet using derived V-M equations. Chart is provided for information purposes only.

(2) Wind directionality ( $K_d$ ) factor is 0.95 for Single Pole (Round) segments instead of 0.85. The  $C_f$  value from Fig. 6-21 has been increased by 0.95/0.85 to account for this variation.

(3) Wind pressures listed below have already been multiplied by the ASD Wind Load Factor,  $\gamma$ .

GEOMETRY INPUT <sup>(1)</sup>																	
Monument:		No															
No. of Poles	1	No. of Footings	1														
Section	Location	Type	Height	Width	Horiz. Offset	Area	Top Elev.	Centroid	$K_z$	$C_f$	Wind Press.	Support Pole Loads			Footing Loads		
			ft	ft	ft	sq ft	ft	ft			psf	Trib. Factor	Shear kips	Moment k-ft	Trib. Factor	Shear kips	Moment k-ft
1	Base	Single Pole (Not Round)	5.00	0.33		1.7	5.0	2.5	0.85	1.78	20.3	1.0	0.0	0.1	1.0	0.0	0.1
2		Single Pole w/ Cabinet	5.00	9.87		49.4	10.0	7.5	0.85	1.70	19.4	1.0	1.0	7.2	1.0	1.0	7.2
Overall Height:			10.00 ft		Summation based upon averages above:								1.0	7.3	1.0	7.3	
			Actual base reactions based upon V-M equations:								1.0	7.3	1.0	7.3			

SUPPORT POLE DESIGN SUMMARY			MATERIAL = STEEL														
Base Elev	Section	Axis	Required Strength Values (ASD)				Allowable Strength Values (ASD)				Unity Ratios				Interaction Ratios		Status
			V <sub>r</sub>	M <sub>r</sub>	T <sub>r</sub>	P <sub>r</sub>	V <sub>c</sub>	M <sub>c</sub>	T <sub>c</sub>	P <sub>c</sub>	V <sub>r</sub> /V <sub>c</sub>	M <sub>r</sub> /M <sub>c</sub>	T <sub>r</sub> /T <sub>c</sub>	P <sub>r</sub> /P <sub>c</sub>	P-M	P-M-V-T	
			kips	kip-ft	kip-ft	kips	kips	kip-ft	kip-ft	kips							
ft																	
0.00	HSS4X4X1/4	Strong	1.0	7.3	1.9	0.6	28.3	10.8	9.0	15.2	3.5%	67.6%	21.0%	3.9%	71.5%	77.5%	✓
5.00	HSS3X3X1/4	Strong	1.0	2.4	1.9	0.5	19.7	5.7	4.8	38.4	4.9%	42.1%	39.0%	1.4%	43.5%	62.8%	✓

ELEMENT DESIGN LOCATIONS, LOADS AND DISPLACEMENTS									
Element	Elev.	Type	$V_r$	$M_r$	$T_r$	$P_r$	$0.7^* \theta$	$0.7^* \delta$	
	ft		kips	kip-ft	kip-ft	kips	radians	in	
1	0.00	Base Plate	1.0	7.3	1.9	0.6	0.0	0.0	
2	5.00	Match Plate 1	1.0	2.4	1.9	0.5	0.0	0.4	

PLATE DESIGN SUMMARY															
Type	Plate Dimensions				Bolts						Weld				
	N	B	D	t	Number	$d_b$	$N_{edge}$	$B_{edge}$	Circle Diamete	Material	Embed in Caisson / Vertical Slab	Embed in	Size	Gussets	Status
	in	in	in	in		in	in	in	in		in	in	in		
✓ Rectangular Base Plate	10	10	--	0.75	4	0.75	1.5	1.5	--	F1554 Grade 36	26.75	N/A	0.188	Yes	OK
✓ Match Plate 1 (Lower)	8	10	--	0.75	4	0.5	1.75	1.75	--	A325	--	--	0.188	No	OK
✓ Match Plate 1 (Upper)	8	10	--	0.75	4	0.5	1.75	1.75	--	A325	--	--	0.188	No	OK

FOUNDATION DESIGN SUMMARY										
Type		Diameter	Width	Thickness	Length	Depth	Volume	Reinforcing	Status	Allowable Soil Pressure
		ft	ft	ft	ft	ft	CY			
✓	Caisson	3.00	--	--	--	4.75	1.24	(6) #5 Vert. w/ #3 Ties @ 12 in o.c. and (6) @ 4 in o.c. Top	OK	300 psf/ft

MBI

MBI COMPANIES INC.  
299 N. WEISGARBER RD.  
KNOXVILLE, TN 37919  
PHONE 865.584.0999  
SIGN-ENGINEER.COM

PROJECT:  
1613 LIVERNOIS RD, TROY, MI 48083

DRAWING TITLE:

SHELL

DRAWN BY:  
CTP

CHECKED BY:  
NDB

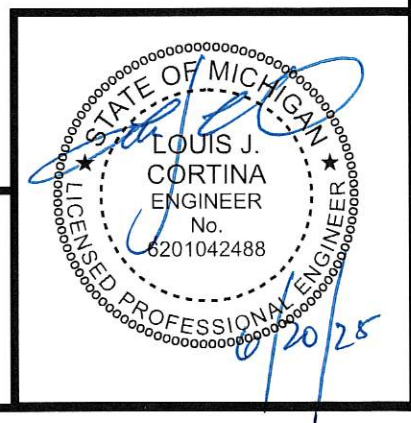
COMM. NO.  
250890-009-00

DATE:  
06/20/25

REV #	DATE	DRAWN BY

DRAWING NO.  
DWG.

2



## RESOLUTION TEMPLATE FOR DENYING SIGN ORDINANCE VARIANCE

Moved by:

Seconded by:

I move the Sign Ordinance variance request for (applicant name or location)

Be denied on the following reasons:

The applicant has failed to demonstrate:

(Since an applicant has to demonstrate “all” the criteria, failure to demonstrate just one or more of the following justifies a denial. When making the motion, point out which of the following criteria have not been demonstrated and elaborate<sup>1</sup> as to why it was not met)

- a. Exceptional characteristics of the property for which the variance is sought make compliance with the requirements of this Chapter substantially more difficult than would be the case for the great majority of properties in the same zoning district, and/or
- b. The characteristics which make compliance with the requirements of this Chapter difficult are related to the premises for which the variance is sought, not some other location; and/or
- c. The characteristics which make compliance with the requirements of this Chapter difficult are not of a personal nature; and/or
- d. The characteristics which make compliance with the requirements of this Chapter difficult were not created by the owner of the premises, a previous owner, or the applicant; and/or
- e. The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase congestion in public streets, or increase the danger of fire or endanger public safety, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

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<sup>1</sup> To elaborate, point out any information presented, whether presented by the applicant, City Staff, or someone else that appeared at the meeting or provided comments, which supports the finding that the specific criterion has not been met.

## RESOLUTION TEMPLATE FOR GRANTING SIGN ORDINANCE VARIANCE

Moved by:

Seconded by:

I move the Sign Ordinance variance request for (applicant name or location)

Be granted for the following reason:

The applicant has demonstrated all the following:

- a. Exceptional characteristics of the property for which the variance is sought make compliance with the requirements of this Chapter substantially more difficult than would be the case for the great majority of properties in the same zoning district. (Elaborate)<sup>1</sup>
- b. The characteristics which make compliance with the requirements of this Chapter difficult are related to the premises for which the variance is sought, not some other location; and
- c. The characteristics which make compliance with the requirements of this Chapter difficult are not of a personal nature; and
- d. The characteristics which make compliance with the requirements of this Chapter difficult were not created by the owner of the premises, a previous owner, or the applicant; and
- e. The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase congestion in public streets, or increase the danger of fire or endanger public safety, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

---

<sup>1</sup> To elaborate, point out any information presented, whether presented by the applicant, City Staff, or someone else that appeared at the meeting or provided comments, which supports the finding.



View West into 1611 Livernois front yard



View southwest into 1611 Livernois front yard



View Northwest looking into front yard of 1611 Livernois



View South looking down Livernois



View South looking down Livernois



View North looking along Livernois



View North looking along Livernois



City of Troy  
500 W Big Beaver Rd, Troy MI 48084  
248-524-3344  
buildinginspection@troymi.gov

### FENCE PERMIT APPLICATION

NAME OF HOMEOWNER <b>Ashley NaraYanan</b>		CONSTRUCTION VALLUE <b>\$10,836.00</b>	
STREET ADDRESS AND JOB LOCATION (Street Number and Name) <b>5027 Shady Creek</b>		NAME OF CITY, VILLAGE OR TOWNSHIP IN WHICH JOB IS LOCATED <b>Troy Michigan</b>	<b>Oakland County</b>
WHO IS THE APPLICANT <div><input checked="" type="radio"/> Contractor <input type="radio"/> Homeowner</div>	CONTRACTOR BUSINESS NAME & LICENSEE NAME <b>AIS Installations / Michael Anderson</b>	CONTRACTOR LICENSE NUMBER <b>2102213708</b>	EXPIRATION DATE <b>5/31/2028</b>
ADDRESS (Street Number and Name) <b>6040 Wall St</b>	CITY <b>Sterling Heights</b>	STATE <b>MI</b>	ZIP CODE <b>48312</b>
TELEPHONE NUMBER (Include area code) <b>(586) 274-9100 ext 1311</b>		EMAIL ADDRESS: <b>permits@aisoutlet.com</b>	
WORKERS COMPENSATION INSURANCE CARRIER (or reason for exemption) <b>Federated Mutual Insurance</b>		FEDERAL EMPLOYER ID NUMBER (OR REASON FOR EXEMPTION) <b>20-0742530</b>	

Section 23a of the state construction code act of 1972, 1972 PA 230, MCL 125.1523a, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of section 23a are subjected to civil fines. I, Mike Anderson (name), Contractor (title), attest that the statements, specifications, and plans submitted with this application are true and complete and contain a correct description of the building or structure, lot or parcel, and proposed work. I further attest that this application complies with the requirements of MCL 125.1510 and that I am a person authorized under MCL 125.1510(2) to make the statements and attestations contained in this application under MCL 125.1510(2)

SIGNATURE OF CONTRACTOR OR HOMEOWNER (Homeowner's signature indicates compliance with Section VI. Homeowner Affidavit)

x

DATE

8/4/2025

I hereby certify the fence work described on this permit application shall be installed **by myself in my own home** in which I am living or about to occupy. All work shall be installed in accordance of Chapter 83 of the Troy City Ordinance and **shall not be enclosed, covered up, or put into operation** until it has been **inspected and approved** by the Cities Building Inspector. I will cooperate with the Cities Building Inspector and assume the responsibility to arrange for necessary inspections.

Type, height, and lineal feet of material to be used:

Type:	Wood	Wire	Metal	Masonry	Other
Symbols:	0000000	xxxxxx	////////	□□□□	- - - - (vinyl)
HEIGHT					6'
NO. OF FEET					154'
PERMIT FEE	<input checked="" type="checkbox"/> Under 300' \$150.00		<input type="checkbox"/> Over 300' \$200.00		

### SITE DRAWING REQUIRED

- A site drawing or plot plan is required for fence permit submittal.
- All drawings shall be accurate and drawn to scale.
- The location of your fence and distances to your property and lot lines are required.
- Final lot grade shall be approved before a fence permit is issued.
- Fences under seven feet do not fall under the 2015 Michigan Building Code.
- Residential Fences cannot exceed 6 feet in height.
- Your Tax Parcels Map is available here: <https://cms6.revize.com/revize/citytroymt/departments/maps/index.ph>

### IMPORTANT INFORMATION

- It is **highly recommended** that the applicant and/or the owner hire a licensed Professional Surveyor for the proper placement of the fence.
- All fence placement errors will be the responsibility of the applicant/owner, owner's agent, and fence company.
- All disputes among property owners regarding the placement of a fence are a civil matter
- The City of Troy will not be inspecting for placement and the Plan Review executed by any or all staff member of the City of Troy will only be approving or disapproving based on the information submitted by the applicant and it will be limited to what is allowed to be installed per the Zoning Ordinance and City Codes.
- Fences 7 feet tall or over fall under the 2015 Michigan Building Code. A building permit will be required and permit review will be performed by the Building Department and the Planning Department.
- Fire Department Fence Requirements: All commercial fence and/or gate projects of all heights shall be
- submitted for review to the Fire Department for emergency access to the site.
- Department of Public Works (DPW) Fence Requirements: No permit shall be issued for any fence construction within any easement without the approval of the Director of Public Works, or his authorized representative.
- The City of Troy Building Department strongly recommends that applicants check with the Home Owner's Association (HOA) for all alterations that could require approval including but not limited to, Fences, Pools, Decks, Patios, Additions, New Construction, Generators, Windows, Siding and others that could apply

### APPLICANT SIGNATURE REQUIRED

By signing I am confirming that I have read and understood all of the fence permit requirements.

Applicant Signature: \_\_\_\_\_



Approved By \_\_\_\_\_ Date: \_\_\_\_\_

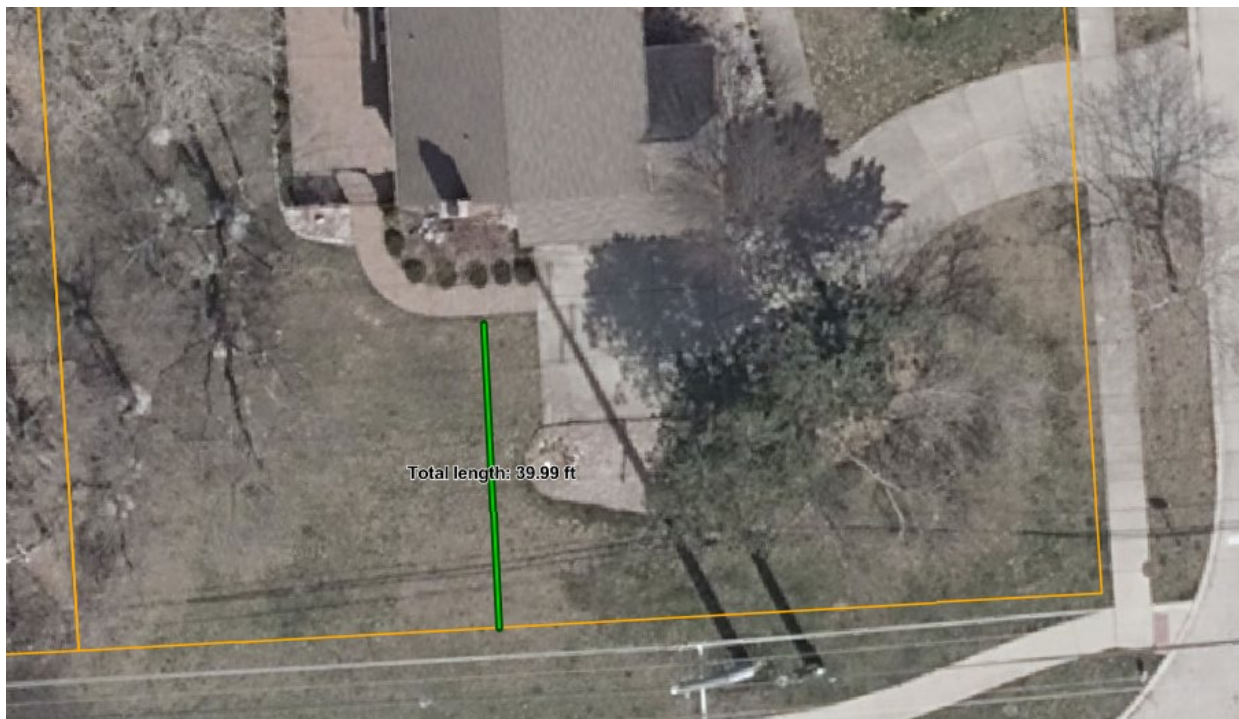
**From:** [Dominic M Abate](#)  
**To:** [PERMITS@AISOUTLET.COM](mailto:PERMITS@AISOUTLET.COM)  
**Subject:** plan review - 5027 Shady Creek  
**Date:** Wednesday, August 13, 2025 12:11:00 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)  
[image007.png](#)

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Hello,

The Building Permit Application for 5027 Shady Creek has been denied as submitted for the following reason(s):

- *This property requires a 40 feet setback from the Long Lake property line.*
- *As submitted, there appears to be 11.5 feet encroachment.*
- *See image below for approximate location of 40 feet required setback.*



Please "reply" to this email when submitting the requested information.

Sincerely,



Dominic Abate  
Plans Examiner  
City of Troy  
O: 248.524.3432  
F : 248.689.3120



# CITY OF TROY PLANNING DEPARTMENT BUILDING CODE BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT  
500 W. BIG BEAVER ROAD  
TROY, MICHIGAN 48084  
PHONE: 248-524-3364  
E-MAIL: [planning@troymi.gov](mailto:planning@troymi.gov)



FEE \$500.00

## NOTICE TO THE APPLICANT

REGULAR MEETINGS OF THE BUILDING CODE BOARD OF APPEALS ARE HELD ON THE FIRST **WEDNESDAY OF EACH MONTH AT 3:00 P.M.** AT CITY HALL.

PLEASE FILE A COMPLETE APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, **NOT LESS THAN TWENTY-SEVEN (27) DAYS** BEFORE THE MEETING DATE.

COMPLETE APPLICATIONS ARE PLACED ON THE NEXT AVAILABLE AGENDA OF THE BUILDING CODE BOARD OF APPEALS.

1. ADDRESS OF THE SUBJECT PROPERTY: 5027 Shady Creek Dr, Troy, MI 48085  
ACREAGE PROPERTY: *Attach legal description if this an acreage parcel*
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-10-380-035
3. CODE NAME (e.g. "BUILDING CODE", "SIGN CODE", "FENCE CODE") AND SECTION(S) RELATED TO THE APPEAL:  
FENCE CODE, Chapter 83
4. REASONS FOR APPEAL/VARIANCE: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist.*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? YES ☐ NO ☒

6. APPLICANT INFORMATION:

NAME Ashley Narayanan

COMPANY \_\_\_\_\_

ADDRESS 5027 Shady creek dr

CITY Troy

STATE MI

ZIP 48085

TELEPHONE 989-737-7121

E-MAIL ashleynicolechan@gmail.com

7. APPLICANT'S AFFILIATION TO THE PROPERTY OWNER: Self

8. OWNER OF SUBJECT PROPERTY:

NAME Ashley Narayanan

COMPANY \_\_\_\_\_

ADDRESS 5027 Shady creek dr

CITY Troy

STATE MI

ZIP 48085

TELEPHONE 989-737-7121

E-MAIL ashleynicolechan@gmail.com

The undersigned hereby declare(s) under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Ashley Narayanan (PROPERTY OWNER), HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO CONDUCT A SITE VISIT TO ASCERTAIN PRESENT CONDITIONS.

SIGNATURE OF APPLICANT \_\_\_\_\_ DATE 05/14/2023

PRINT NAME: Ashley Narayanan

SIGNATURE OF PROPERTY OWNER \_\_\_\_\_ DATE 05/14/2023

PRINT NAME: Ashley Narayanan

*Failure of the applicant or his/her authorized representative to appear before the Board, as scheduled, shall be justifiable cause for denial or dismissal of the case with no refund of appeal fee(s). If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.*

*The applicant will be notified of the time and date of the hearing by electronic mail.*

**Ashley Narayanan**

5027 Shady Creek Dr

Troy, MI 48085

08/14/2025

**To:**

Zoning Board of Appeals

City of Troy

500 W Big Beaver Rd

Troy, MI 48084

**Subject:** Request for Fence Setback Variance – 5027 Shady Creek Dr

Dear Members of the Zoning Board of Appeals,

I am requesting a variance to install a fence that would encroach 11.5 feet into the required 40-foot front setback, resulting in an effective setback of 28.5 feet along the side of my home. While the fence complies with Chapter 83 – Fences in terms of height and materials, its placement is restricted by the setback requirement.

This variance is necessary due to practical difficulties related to the unique layout of the lot and the needs of our household:

1. Safety for children: We have a one-year-old and a newborn (born 8/18/2025). The fence is necessary to create a secure, fully enclosed yard where they can play safely, protected from street traffic and public access.
2. Exercise and containment for pets: We have two dogs — one 80 lb and one 10 lb — that require sufficient space to run, exercise, and move freely. Without this portion of the fence, a significant part of the yard would remain unenclosed and unsafe for our pets.
3. Privacy: The fence placement provides screening from the street and neighbors, allowing our young children to play outdoors safely while maintaining family privacy.
4. Noise reduction: The fence will act as a sound barrier from traffic on E Long Lake Road, reducing noise intrusion into our backyard and improving the overall living environment for our family.

The proposed fence is designed to respect the intent of Chapter 83, maintaining safe sightlines where necessary, using acceptable ornamental materials, and not obstructing any public right-of-way or easements.

Given the lot configuration and family needs, the requested variance is the minimum necessary relief to allow practical use of the yard while still adhering to the intent of the ordinance. The fence will enhance safety, security, privacy, and quality of life for our children and pets, without negatively affecting the surrounding neighborhood.

Thank you for your consideration of this request.

Sincerely,  
Ashley Narayanan



## Fencing Quote/Specification

Home Depot License #'s - For the most current listing visit [www.Homedepot.com/LicenseNumbers](http://www.Homedepot.com/LicenseNumbers)

DAVID LANZ

8667718711

Salesperson Name

Salesperson Phone#

2105218410

Registration # (Req. in CA,CT,ME,MD,MI,NJ,DC)

Narayanan

Ashley

2727

F53086123

Customer Last Name

Customer First Name

Store #/Branch Name

Customer Lead/PO#

5027 Shady Creek

Troy

MI

48085

Customer Address

City

State

Zip

9897377121

9897377121

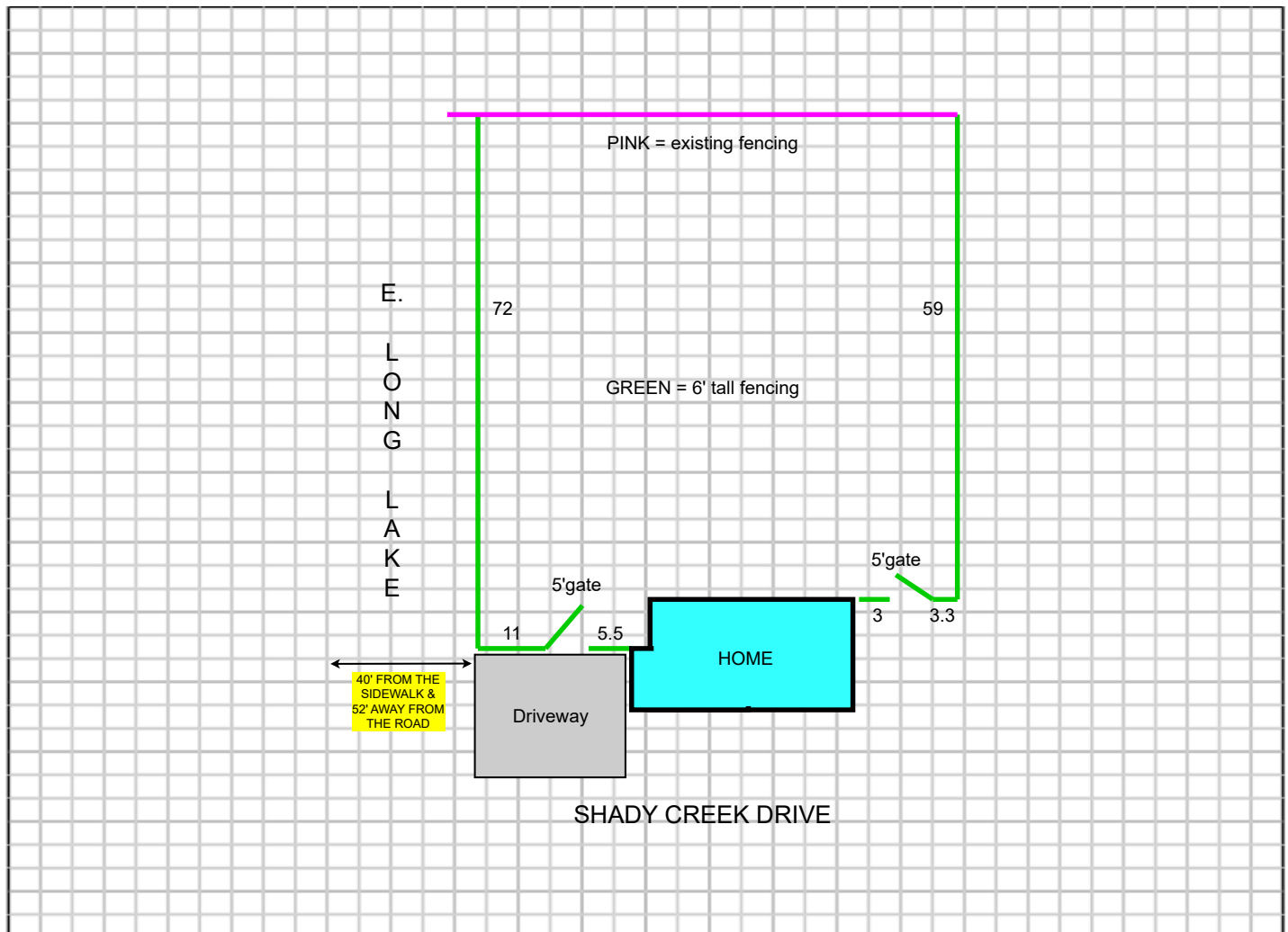
Home Phone#

Work Phone#

Cell Phone#

Cross Street 1

Cross Street 2



= Existing Fence to Remain




= 6' Clay Vinyl Privacy Fence



 = Existing Fence to Remain

 = 6' Clay Vinyl Privacy Fence

# Newbury (Element Reserve Rail)

	White	Sand	Clay	Gray
	\$54/ft.	\$59/ft.	\$59/ft.	\$68/ft.
4' gate	\$1,000	\$1,100	\$1,100	\$1,200
5' gate	\$1,050	\$1,150	\$1,150	\$1,250
*highlighted items are stock items in season				



- 6" GlideLock™ Boards
- 5" x 5" Posts
- 1 3/4" x 7" Rails
- 8' Width Panels
- 6' Height Available



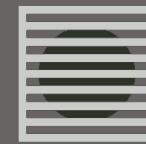
Click QR Code for more info.



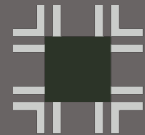
STAYSTRAIGHT®



GLIDELOCK®



SOLARGUARD®



STAYSQUARE®



Fence Height Variance Request,  
5027 Shady Creek,  
Applicant: Ashley Narayanan

This property consists of a corner lot. According to the City of Troy Zoning Ordinance, it qualifies as a corner lot with front lot lines along both Shady Creek and E. Long Lake. The property is located within the R-1B zoning district which requires a front yard setback of 40 feet, along both Shady Creek and E. Long Lake, where the zoning ordinance limits fence height in the front yard to 30 inches (2.5 feet). The petitioner is seeking a fence height variance for the installation of a 6 feet high, vinyl, privacy fence. The fence is proposed to run 72 feet along E. Long Lake, outside of the 15 feet greenbelt easement, and return 31.5 feet to the south face of the house for a total variance length of 6 feet high vinyl privacy fence of 103.5 feet in the E. Long Lake designated front yard. Of the total 173.8 feet of fence requested, 70.3 feet of the fence complies with zoning regulations and does not require a variance.





View West into 5027 Shady Creek front yard



View West into 5027 Shady Creek front yard along E. Long Lake



View Northwest looking into front yard abutting E. Long Lake



View Northwest looking into front yard abutting E. Long Lake



View North looking into front yard abutting E. Long Lake



View Northwest looking into front yard abutting E. Long Lake



View East looking along E. Long Lake

**CITY OF TROY PLANNING DEPARTMENT  
BUILDING CODE BOARD OF APPEALS APPLICATION**

CITY OF TROY PLANNING DEPARTMENT  
500 W. BIG BEAVER ROAD  
TROY, MICHIGAN 48064  
PHONE: 248-524-3364  
E-MAIL: [planning@troymi.gov](mailto:planning@troymi.gov)



**FEE \$500.00**

*PD via  
CC.*

**NOTICE TO THE APPLICANT**

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PLEASE FILE A COMPLETE APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, **NOT LESS THAN TWENTY-SEVEN (27) DAYS** BEFORE THE MEETING DATE.

COMPLETE APPLICATIONS ARE PLACED ON THE NEXT AVAILABLE AGENDA OF THE BUILDING CODE BOARD OF APPEALS.

1. ADDRESS OF THE SUBJECT PROPERTY: 3800 NASH DR. TROY, MI.  
ACREAGE PROPERTY: *Attach legal description if this an acreage parcel*
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-23-127-008
3. CODE NAME (e.g. "BUILDING CODE", "SIGN CODE", "FENCE CODE") AND SECTION(S) RELATED TO THE APPEAL:  
FENCE CODE
4. REASONS FOR APPEAL/VARIANCE: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist.*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? YES ☐ NO ☒

RECEIVED

AUG 21 2025

PLANNING

Revised 8/10/2023

6. APPLICANT INFORMATION:

NAME same as below  
↓  
COMPANY \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
TELEPHONE \_\_\_\_\_  
E-MAIL \_\_\_\_\_

7. APPLICANT'S AFFILIATION TO THE PROPERTY OWNER: \_\_\_\_\_

8. OWNER OF SUBJECT PROPERTY:

NAME KIMBERLY LAPPIN  
COMPANY \_\_\_\_\_  
ADDRESS 3800 NASH DR.  
CITY TROY STATE MI ZIP 48063  
TELEPHONE 248-824-9265  
E-MAIL KLAPPIN47@GMAIL.COM

The undersigned hereby declare(s) under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, KIMBERLY LAPPIN (PROPERTY OWNER), HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO CONDUCT A SITE VISIT TO ASCERTAIN PRESENT CONDITIONS.

SIGNATURE OF APPLICANT Kimberly Lappin DATE 8-19-25

PRINT NAME: KIMBERLY LAPPIN

SIGNATURE OF PROPERTY OWNER Kimberly Lappin DATE 8-19-25

PRINT NAME: KIMBERLY LAPPIN

**Failure of the applicant or his/her authorized representative to appear before the Board, as scheduled, shall be justifiable cause for denial or dismissal of the case with no refund of appeal fee(s). If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.**

**The applicant will be notified of the time and date of the hearing by electronic mail.**

## **SUBMITTAL CHECKLIST FOR APPEALS NOT RELATED TO SIGNS**

*FOR SIGNS, PLEASE USE SUBMITTAL CHECKLIST ON NEXT PAGE*

<b><u>REQUIRED</u></b>	<b><u>PROVIDED</u></b>	
------------------------	------------------------	--

- |                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | COMPLETED APPLICATION.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <b>1 COPY OF SUPPORTING DOCUMENTS DESCRIBING</b> THE REQUEST, CONSTRUCTION AND/OR WORK INCLUDING BUT NOT LIMITED TO: <ul style="list-style-type: none"><li><input checked="" type="checkbox"/> PLOT PLANS DRAWN TO SCALE, SHOWING THE SHAPE AND DIMENSION OF LOT(S). LOCATION ON THE LOT OF FENCES, OR OTHER STRUCTURES CONCERNING THE REQUEST.</li><li><input checked="" type="checkbox"/> DETAILED PLANS SHOWING CONSTRUCTION MATERIALS AND METHOD OF CONSTRUCTION.<ul style="list-style-type: none"><li>▪ PHOTOS, DRAWINGS, OR RENDERINGS AS NECESSARY TO ACCURATELY DESCRIBE THE REQUEST.</li></ul></li></ul> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | ANY ADDITIONAL INFORMATION INCLUDING REPORTS OR ACCREDITED TESTING AGENCIES, INCLUDING ACCREDITED AGENCIES RECOGNIZED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND ACCEPTED ENGINEERING PRACTICES SHOULD ACCOMPANY YOUR APPEAL.  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>1 COPY OF INFORMATION</b> THAT CLEARLY EXPLAINS THE IMPACTS OF THE REQUEST ON THE AREA.  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>A WRITTEN EXPLANATION OF</b> THE REASONS JUSTIFYING THE REQUEST. IF APPEALING AN ICC CONSTRUCTION CODE, PLEASE EXPLAIN ALTERNATIVES THAT WOULD BE EQUAL TO WHAT THE CODE REQUIRES.   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>MINIMUM SIZE OF ALL DOCUMENTS 8.5" X 11".</b>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | A DIGITAL VERSION OF ALL APPLICATION DOUCUMENTS. E MAILING THEM TO THE DEPARTMENT IS PREFERRED.   |

yard setback for your property, which is zoned R-1C, is 30 feet.

LOT LINE: .... In the case of a corner lot, both lines separating said lot from the street shall be considered front lot lines....

City of Troy zoning ordinance Chapter 83 -- Fences:

Fences in residential areas separating properties shall be of an ornamental type. Such fences may be constructed of metal, wood or masonry.

Any other material, or such material as found to be structurally acceptable to the Chief Building Inspector, shall be used. In residential areas....

Fences shall be constructed to a height of more than thirty (30") inches above the existing grade of the land in that portion of the property in front

of the building setback line..... The maximum heights requirements of this section may be waived with the approval of the Building Board of Appeals (application attached).

Reply all" when submitting the requested information.

*Sincerely,*



**Dominic Abate**  
**Plans Examiner**  
**City of Troy**

O: 248.524.3432

F : 248.689.3120



pdf

**BCBA Application.pdf**

588 KB



To Whom It May Concern,

This letter is in reference to the concern of a privacy fence being installed at 3800 Nash Dr. Troy, Mi. 48083.

The original fence was built with a permit before 2004. The original panels remained up all through the construction of the new panels using the original posts. No posts were removed. The new panels were stick built inside of the original posts moving the fence towards the back yard 2.5 inches and dropping the height by 2 inches.

The new panels cannot be physically removed without destroying them, causing a \$2000 loss. (it was stick built between the original posts).

The old panels were old, unsightly, and falling apart to the point of injuring someone if one happened to break off a post.

The intention and thoughts were the original structure was grandfathered into the property when I purchased the property in 2004. This is why the original posts were used. If the fence has to be moved to 30 feet, this will significantly effect a storage shed located in the back yard and 20-year-old bushes and shrubs that are permanently attached to the inside of the fence panels, by means of flower boxes.

If any adaptations need to be made, perhaps we can take down the 2 corner panels and rebuild 2<sup>nd</sup> post to 2<sup>nd</sup> post at the driveway for better sight at drive, which has never been a problem. The two corner panels are the only place where there are no flower boxes. This would be a \$300 dollar loss instead of \$2000 plus.

This original fence was never a problem until it started deteriorating on the panels. It was unsightly and dangerous.

Again, we did not change the original structure, did not increase the height, width or length of the fence at all. By building the fence inside the yard, we even were able to move the fence panels back 2.5 in. from its original position inside the yard.

It is no longer unsightly or dangerous. People stop by daily to express their likes of the new fence. It is decorative, modern and is a pleasant view for those who pass by.

The dotted line on plot plan shows where corner could be changed, if necessary.

Photos will show construction of the new fence, (including the old fence standing), as it was built within the confines of the back yard.

The newly installed fence being moved would mean all posts removed, losing new fence panels, losing all flower boxes, (secured to posts), all shrubs, and the

storage shed would have to be torn down because it would be outside of dimensions.











Fence Variance Request,  
3800 Nash,  
Applicant: Kimberly Lappin

This property consists of a corner lot. According to the City of Troy Zoning Ordinance, it qualifies as a corner lot with front lot lines along both Nash and Jason. The property is located within the R-1C zoning district which requires a front yard setback of 30 feet, along both Nash and Jason, where the zoning ordinance limits fence height in the front yard to 30 inches (2.5 feet). The petitioner is seeking a fence height variance for the installation of 6 feet high, wood and metal, privacy fence. The fence is proposed to run 66 feet along Jason and return 28 feet to the north face of the house for a total variance length of 6 feet high wood and metal privacy fence of 94 feet in the Jason designated front yard.

Chapter 83 - Fences.





Front view of 3800 Nash



View of intersection of Nash and Jason



View East looking at 3800 Nash front yard along Jason



View South looking at 3800 Nash from Jason



View South looking at 3800 Nash from Jason



View into 3800 Nash rear yard